

PLANNING BOARD AGENDA
1700 CONVENTION CENTER DRIVE 3RD FL.

Tuesday, December 17, 2019, 1:00 PM | City Commission Chambers

- I. ATTENDANCE
 - II. APPROVAL OF MINUTES
 - III. CITY ATTORNEY UPDATES
 - IV. SWEARING IN OF PUBLIC
 - V. REQUESTS FOR CONTINUANCES/WITHDRAWALS
 - VI. REQUESTS FOR EXTENSIONS OF TIME
 - VII. DISCUSSION ITEMS
 - VIII. PROGRESS REPORT
 - IX. MODIFICATION OF PREVIOUSLY APPROVED BOARD ORDER
 - X. CONTINUED ITEMS
 - XI. OPEN AND CONTINUED ITEMS
 - XII. NEW APPLICATIONS
 - XIII. AMENDMENTS TO: COMPREHENSIVE PLAN AND LAND DEVELOPMENT REGULATIONS
 - XIV. APPEALS (BOA ONLY)
 - XV. OTHER BUSINESS
 - XVI. ADJOURNMENT
-

ATTENDANCE

APPROVAL OF MINUTES

- 1. After Action Report - November 19, 2019

REQUEST FOR CONTINUANCES/WITHDRAWALS

- 2. PB 18-0244. Telecommunications Ordinance

PROGRESS REPORT

- 3. PB 18-0203 fka File No. 2216. 1615 Lenox Avenue – Parking Lot
- 4. PB 19-0270. 1000 - 1030 Collins Avenue – Fairwind Hotel

NEW APPLICATIONS

- 5. PB 19-0320. 901, 927 Lincoln Road – Sterling Building

CODE AMENDMENTS: (Filed pursuant to Chapter 118, Article III of the Land Development Regulations of the City Code.)

6. PB 19-0332. Definition of Floor Area

ADJOURNMENT

Applications listed herein have been filed with the Planning Department for review by the Planning Board, pursuant Section 118-51 of the City's Land Development Regulations. All persons are invited to attend this meeting or be represented by an agent, or to express their views in writing addressed to the Planning Board c/o the Planning Department, 1700 Convention Center Drive, 2nd Floor, Miami Beach, Florida 33139. Applications for items listed herein are available for public inspection at the following link: or during normal business hours at the Planning Department, 1700 Convention Center Drive, 2nd Floor, Miami Beach, Florida 33139. Inquiries may be directed to the Department at (305) 673-7550.

Any items listed in this agenda may be continued. Under such circumstances, additional legal notice would not be provided. Please contact the Planning Department at (305) 673-7550 for information on the status of continued items.

Pursuant to Section 286.0105, Fla. Stat., the City hereby advises the public that: Appeals of any decision made by this Board with respect to any matter considered at its meeting or hearing, such person will need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. This notice does not constitute consent by the City for the introduction or admission of otherwise inadmissible or irrelevant evidence, nor does it authorize challenges or appeals not otherwise allowed by law.

To request this material in alternate format, sign language interpreter (five-business day notice is required), information on access for persons with disabilities, and accommodation to review any document or participate in any city-sponsored proceedings, call 305.604.2489 and select 1 for English or 2 for Spanish, then option 6; TTY users may call via 711 (Florida Relay Service).

MIAMI BEACH

LAND USE BOARDS

FILE NO.

APPLICANT:

MEETING DATE:

PRIOR ORDER NUMBER:

**Is this a Resident Right to
Know item?**

Yes

**Does this item utilize G.O.
Bond Funds?**

No

ATTACHMENTS:

Description

Type

No Attachments Available

MIAMI BEACH

LAND USE BOARDS

FILE NO.

APPLICANT:

MEETING DATE:

12/17/2019

IN RE:

AN ORDINANCE OF THE MAYOR AND CITY COMMISSION OF THE CITY OF MIAMI BEACH, FLORIDA, AMENDING THE CITY CODE, CHAPTER 104, ENTITLED, "TELECOMMUNICATIONS," ARTICLE I, ENTITLED "COMMUNICATIONS RIGHTS OF WAY," BY AMENDING CHAPTER 104, TO BE CONSISTENT WITH STATE LAW, SECTION 337.401, FLORIDA STATUTES RELATING TO THE USE OF RIGHTS-OF-WAY FOR UTILITIES SUBJECT TO REGULATION; PERMITS; AND FEES; PROVIDING FOR REGULATIONS RELATING TO SMALL CELL COMMUNICATIONS CONSISTENT WITH STATE LAW; REQUIRING DESIGN AND APPROPRIATENESS REVIEW AND APPROVAL BY PLANNING STAFF; REMOVING REVIEW BY THE DESIGN REVIEW BOARD BY MODIFYING SECTION 118-71, ENTITLED, "POWERS AND DUTIES," AND SECTION 118-252, ENTITLED, "APPLICABILITY AND EXEMPTIONS"; AND CONTINUING HISTORIC PRESERVATION BOARD REVIEW UNDER THE CERTIFICATE OF APPROPRIATENESS CRITERIA FOUND AT SECTION 118-102, ENTITLED, "POWERS AND DUTIES," SECTION 118-251, ENTITLED "DESIGN REVIEW CRITERIA," AND SECTION 118-564, ENTITLED, "DECISIONS ON CERTIFICATES OF APPROPRIATENESS"; WHICH HISTORIC DISTRICT REVIEW IS CONSISTENT WITH STATE LAW; PROVIDING FOR CODIFICATION; REPEALER; SEVERABILITY AND AN EFFECTIVE DATE. [Continued From 7-23-19, 9-24-19 and 11-19-19.]

PRIOR ORDER NUMBER:

Is this a Resident Right to Know item?

Yes

Does this item utilize G.O. Bond Funds?

No

ATTACHMENTS:

Description

Type

No Attachments Available

MIAMI BEACH

LAND USE BOARDS

PROPERTY:

1615 Lenox Avenue

FILE NO.

PB 18-0203 fka File No. 2216

APPLICANT:

MEETING DATE:

12/17/2019

IN RE:

Progress report as required by the Conditional Use Permit.

PRIOR ORDER NUMBER:

**Is this a Resident Right to
Know item?**

Yes

**Does this item utilize G.O.
Bond Funds?**

No

ATTACHMENTS:

Description

☐ Staff Report

Type

Memo

MIAMI BEACH


PLANNING DEPARTMENT

Staff Report & Recommendation

PLANNING BOARD

TO: Chairperson and Members
Planning Board

DATE: December 17, 2019

FROM: Thomas R. Mooney, AICP 
Planning Director

SUBJECT: **PB 18-0203 fka File No. 2216. 1615 Lenox Avenue –Progress Report**

BACKGROUND

February 24, 2015 The applicant, Asta Parking, Inc., requested a conditional use permit (CUP) for a surface parking lot in a RM-1 zoning district operating 24 hours a day, pursuant to Section 130, Article III. At the time the Board limited the hours to 7:00 AM to midnight.

September 27, 2016 A building permit was issued for the permanent parking lot.

February 17, 2017 A Business Tax Receipt (BTR) was issued for the permanent parking lot (BTR001902-01-2017.)

April 25, 2017 The applicant appeared before the board for the initial required progress report.

September 25, 2018 The board approved requested modifications to operate the parking lot 24 hours a day, including added conditions to the CUP.

September 23, 2019 A Business Tax Receipt (BTR) was issued for the permanent parking lot (BTR001902-01-2019), including the extended hours of operation.

PROGRESS REPORT

The applicant is before the Board pursuant to Condition No. 3 of the MCUP as follows:

3. Within 90 days of the commencement of the new hours of operation, the owner and/or operator shall be required to appear before the Board for a progress report.

The following conditions were also added to the CUP when the 24-hour operation was approved by the Board on September 25, 2018.

7. A revised site and landscape plan shall be submitted to and approved by staff, in accordance to the following:
 - a. Prior to BTR approval for the change of hours, Planning staff shall perform a site inspection to verify full compliance with the approved landscape plans issued as part of the building permit for the construction of the parking lot. Any damaged or missing plant material shall be replaced, and perpetually maintained as specified on plan.
 - b. Prior to BTR approval for the change of hours, operator shall provide a

maintenance plan inclusive but not limited to trash pick-up, and fertilization, mulching, watering, plant disease prevention, pruning and weeding of landscape areas subject to the review and approval of staff.

- c. In the eventuality of any plant material death, or removal due to natural disaster or theft, operator shall be perpetually responsible for plant material replacement as per originally approved building permit.
- d. Any tree pruning shall only be performed by a Certified Arborist, and as prescribed by City of Miami Beach Code Chapter 46.
- e. On a yearly basis and prior to BTR renewal, operator shall provide a photographic report documenting landscape conditions of the property for the review and approval of staff.

STAFF ANALYSIS

Prior to the issuance of the BTR for the expanded hours of operation, staff inspected the site as required by the CUP and noted numerous deficiencies in the landscaping. Over the course of several months, including additional inspections, the applicant was able to satisfy the requirements of the CUP. Condition 7.e. as noted above, requires evidence of compliance on an annual basis, which should help ensure that the lot is maintained in an acceptable manner. It should also be noted that even without this condition, the applicant is responsible for the on-going upkeep and maintenance of the site during the entire year.

As of the writing of this report, there are no outstanding code violations related to the CUP for the subject property.

STAFF RECOMMENDATION

Staff recommends that the Board discuss the progress report and, provided that there are no open violations related to the CUP at the time of the meeting, suspend further progress reports at this time.

**PLANNING BOARD
CITY OF MIAMI BEACH, FLORIDA**

PROPERTY: 1615 Lenox Avenue

FILE NO. PB 18-0203 fka File No. 2216

IN RE: The application for Conditional Use approval to operate a surface parking lot 24 hours a day, pursuant to Section 130, Article III.

LEGAL DESCRIPTION: Lot 15, Block 47, Lincoln Subdivision, According to the Plat Thereof, as Recorded in Plat Book 9, Page 69, of the Public Records of Miami-Dade County, Florida

MEETING DATE: February 24, 2015, September 25, 2018

MODIFIED CONDITIONAL USE PERMIT

The applicant, Asta Parking, Inc., requested Conditional Use approval to operate a surface parking lot 24 hours a day, pursuant to Section 130, Article III. Notice of the request was given as required by law and mailed out to owners of property within a distance of 375 feet of the exterior limits of the property upon which the application was made.

The Planning Board of the City of Miami Beach makes the following FINDINGS OF FACT, based upon the evidence, information, testimony and materials presented at the public hearing and which are part of the of the record for this matter:

That the property in question is located in the RM-1, Commercial Low Intensity District zoning district; and

That the use is consistent with the Comprehensive Plan for the area in which the property is located; and

That the intended use or construction will not result in an impact that will exceed the thresholds for the levels of service as set forth in the Comprehensive Plan; and

That structures and uses associated with the request are consistent with the Land Development Regulations; and

That the public health, safety, morals, and general welfare will not be adversely affected; and

That necessary safeguards will be provided for the protection of surrounding property, persons, and neighborhood values.

MB

IT IS THEREFORE ORDERED, based upon the foregoing findings of fact, the evidence, information, testimony and materials presented at the public hearing, which are part of the record for this matter, and the staff report and analysis, which is adopted herein, including the staff recommendations, as approved by the Planning Board, and accepted by the applicant, that a Conditional Use Permit as requested and set forth above be GRANTED, subject to the following conditions:

1. This conditional Use Permit is issued to Asta Parking, Inc., Subsequent owners and/or operators shall be required to appear before the Board within 90 days of the change of ownership or operator to affirm their understanding of the conditions listed herein and to obtain a Modification to this Conditional Use Permit.
2. The Planning Board shall maintain jurisdiction on this Conditional Use Permit. If deemed necessary, at the request of the Planning Director or a Board member, the applicant shall present a progress report to the Board. The Board reserves the right to modify the Conditional Use approval at the time of the progress report in a non-substantive manner, to impose additional conditions to address possible problems, and to determine the timing and need for future progress reports. This Conditional Use Permit is also subject to modification or revocation under City Code Sec. 118-194 (c).
3. Within 90 days of the commencement of the new hours of operation, the owner and/or operator shall be required to appear before the Board for a progress report.
4. The Planning Board shall retain the right to call the applicant or operator back before them and make modifications to this Conditional Use Permit should there be valid complaints about loud, excessive, unnecessary, or unusual noise, or if code violations have been issued to the property. Nothing in this provision shall be deemed to limit the right of the Planning Board to call back the applicant or operator for other reasons and for other modifications of this Conditional Use Permit.
5. The conditions of approval for this Conditional Use Permit are binding on the applicant, the property owners, operators, and all successors in interest and assigns. Any change of operator or 50% (fifty percent) or more stock ownership, partnership interest or equivalent, shall require review and approval by the Planning Board as a modification to this Conditional Use Permit. Subsequent owners and operators shall be required to appear before the Board, in advance, to affirm their understanding of the conditions listed herein.
6. The hours of operation for the parking lot shall be ~~from 7:00 AM to Midnight~~ twenty-four (24) hours per day.
7. A revised site and landscape plan shall be submitted to and approved by staff, in accordance to the following:
 - a. ~~All existing and proposed lighting shall be noted on the site plan, subject to the review and approval of staff.~~
 - b. ~~The applicant shall provide a revised landscape plan that includes irrigation.~~

MB

- c. ~~The applicant shall obtain an approved building permit for resurfacing, striping and landscaping, and complete all work on site associated with such permit prior to the issuance of the Certificate of Use/Business Tax Receipt for the extended hours.~~
 - a. Prior to BTR approval for the change of hours, Planning staff shall perform a site inspection to verify full compliance with the approved landscape plans issued as part of the building permit for the construction of the parking lot. Any damaged or missing plant material shall be replaced, and perpetually maintained as specified on plan.
 - b. Prior to BTR approval for the change of hours, operator shall provide a maintenance plan inclusive but not limited to trash pick-up, and fertilization, mulching, watering, plant disease prevention, pruning and weeding of landscape areas subject to the review and approval of staff.
 - c. In the eventuality of any plant material death, or removal due to natural disaster or theft, operator shall be perpetually responsible for plant material replacement as per originally approved building permit.
 - d. Any tree pruning shall only be performed by a Certified Arborist, and as prescribed by City of Miami Beach Code Chapter 46.
 - e. On a yearly basis and prior to BTR renewal, operator shall provide a photographic report documenting landscape conditions of the property for the review and approval of staff.
 - f. All vehicles shall be parked in marked spaces, and there shall not be any tandem parking.
 - g. The applicant shall be responsible for operating this facility in an orderly, clean and quiet manner so that neighboring residents are not disturbed during the hours of operation. This shall include removing all trash from the lot not less than twice daily. The sounding of car alarms, automobile horns, playing of radios or any kind of audio system and screeching of tires shall be prohibited. Two signs, one addressing City Code provisions regarding car alarms, and one prohibiting the screeching of tires and sounding of horns, shall be posted on the site so they are plainly visible by, and legible to, users of the facility.
 - h. The applicant shall install a sign indicating the name and phone number of the operator to report complaints, as well as the phone number for Code Compliance. The design, material and location of such sign shall be part of the revised site plan, and shall be subject to the review and approval of staff. The maximum size of such sign shall not exceed that permitted by the City Code.
8. The applicant shall obtain a full building permit within 18 months from the date of the meeting at which the original Conditional Use permit was issued and the work shall proceed in accordance with the Florida Building Code. Extensions of time for good cause, not to exceed a total of one year for all extensions, may be granted by the Planning Board.

MB

9. The applicant shall resolve all outstanding code violations and fines for the subject property prior to the issuance of a Business Tax Receipt/Certificate of Use for this parking facility.
10. Substantial modifications to the plans submitted and approved as part of the application, as determined by the Planning Director or designee, may require the applicant to return to the Board for approval.
11. The applicant, now and in the future, shall abide by all the documents and statements submitted with this application.
12. Compliance with the aforesaid conditions shall be a prerequisite to obtaining a Certificate of Use/Business Tax Receipt.
13. A Conditional Use Permit which lists the aforementioned conditions shall be recorded in the Public Records of Miami-Dade County at the expense of the applicant, prior to the issuance of a Business Tax Receipt /Certificate of Use, or Certificate of Occupancy, whichever may occur first.
14. This order is not severable, and if any provision or condition hereof is held void or unconstitutional in a final decision by a court of competent jurisdiction, the order shall be returned to the board for reconsideration as to whether the order meets the criteria for approval absent the stricken provision or condition, and/or it is appropriate to modify the remaining conditions or impose new conditions.
15. The establishment and operation of this Conditional Use shall comply with all the aforementioned conditions of approval; non-compliance shall constitute a violation of the Code of the City of Miami Beach, Florida, and shall be subject to enforcement procedures set forth in Section 114-8 of said Code and such enforcement procedures as are otherwise available. Any failure by the applicant to comply with the conditions of this Order shall also constitute a basis for consideration by the Planning Board for a revocation of this Conditional Use permit.
16. Within a reasonable time after applicant's receipt of this Conditional Use Permit as signed and issued by the Planning Director, the applicant shall record it in the Public Records of Miami-Dade County at applicant's expense and then return the recorded instrument to the Planning Department. No building permit, certificate of occupancy, or certificate of completion shall be issued until this requirement has been satisfied.
17. Nothing in this order authorizes a violation of the City Code or other applicable law, nor allows a relaxation of any requirement or standard set forth in the City Code.

Dated this 3rd day of OCTOBER, 2018.

PLANNING BOARD OF THE
CITY OF MIAMI BEACH, FLORIDA

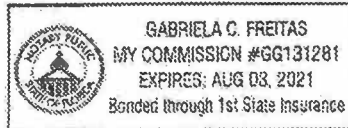
BY: Michael Belush

Michael Belush, Chief of Planning and Zoning
For Chairman

MB

STATE OF FLORIDA)
COUNTY OF MIAMI-DADE)

The foregoing instrument was acknowledged before me this 3rd day of October, 2018, by Michael Belush, Chief of Planning and Zoning of the City of Miami Beach, Florida, a Florida Municipal Corporation, on behalf of the corporation. He is personally known to me.



Notary:

Print Name Gabriella C. Freitas

Notary Public, State of Florida

My Commission Expires: 8-3-21

Commission Number: 99131281

[NOTARIAL SEAL]

Approved As To Form:
Legal Department

Filed with the Clerk of the Planning Board on

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MS

MIAMI BEACH

LAND USE BOARDS

PROPERTY:

1000 - 1030 Collins Avenue – Fairwind Hotel

FILE NO.

PB 19-0270

APPLICANT:

MEETING DATE:

12/17/2019

IN RE:

Progress report due to code violations. [Continued from 11-19-19]

PRIOR ORDER NUMBER:

**Is this a Resident Right to
Know item?**

Yes

**Does this item utilize G.O.
Bond Funds?**

No

ATTACHMENTS:

Description

☐ Staff Report

Type

Memo

MIAMI BEACH

PLANNING DEPARTMENT

Staff Report & Recommendation

PLANNING BOARD

TO: Chairperson and Members
Planning Board

DATE: December 17, 2019

FROM: Thomas R. Mooney, AICP
Planning Director



SUBJECT: **PB 19-0270, 1000 – 1030 Collins Avenue – Fairwind Hotel.**

BACKGROUND

June 25, 2019

A Conditional Use Permit was granted by the Board, for a Neighborhood Impact Establishment and an Outdoor Entertainment Establishment with an occupant content in excess of 200 persons.

October 25, 2019

Field testing of the audio system was performed with the applicant, the applicant's sound consultant, as well as Planning and Code Compliance staff.

November 19, 2019

A progress report was scheduled due to outstanding violations related to the CUP. The nature of the violations was discussed by the Board and the progress report was continued to a date certain of December 17, 2019.

November 25, 2019

A cure letter was sent to the operator (attached).

December 3, 2019

A BTR was issued to include entertainment on the premises as authorized by the CUP.

DECEMBER 19, 2019 UPDATE

Since the November 19, 2019 meeting, the applicant obtained the BTR to include entertainment. As of the writing of this report, no new violations or complaints have been registered with the Code Compliance Department.

PROGRESS REPORT

The applicant is before the Board pursuant to the following conditions:

1. The Planning Board shall maintain jurisdiction of this Conditional Use Permit. The applicant shall appear before the Planning Board for a progress report within 90 days from the issuance of the BTR. The Board reserves the right to modify the Conditional Use approval at the time of a progress report in a non-substantive manner, including modification to the hours of operation, to impose additional conditions to address possible problems and to determine the timing and need for future progress reports. This Conditional Use is also subject to modification or revocation under City Code Sec. 118-194 (c).
11. The Planning Board shall retain the right to call the owner or operator back before the Board and modify the hours of operation or the occupant load should there be valid complaints about loud, excessive, unnecessary, or unusual noise. Nothing in this provision shall be deemed to limit the right of the Planning Board to call back the owner or operator

for other reasons and for other modifications of this Conditional Use Permit.

12. A violation of Chapter 46, Article IV, "Noise," of the Code of the City of Miami Beach, Florida (a/k/a "noise ordinance"), as may be amended from time to time, shall be deemed a violation of this Conditional Use Permit and subject to the remedies as described in section 118-194, Code of the City of Miami Beach, Florida.
15. The establishment and operation of this Conditional Use shall comply with all the aforementioned conditions of approval; non-compliance shall constitute a violation of the Code of the City of Miami Beach, Florida, and shall be subject to enforcement procedures set forth in Section 114-8 of said Code and such enforcement procedures as are otherwise available. Any failure by the applicant to comply with the conditions of this Order shall also constitute a basis for consideration by the Planning Board for a revocation of this Conditional Use.

STAFF ANALYSIS

The Planning Department initially scheduled the progress report for two reasons; first due to code violations that were issued regarding unauthorized entertainment on the property, and second, in anticipation of the issuance of the BTR for the inclusion of entertainment as required by Condition 1. of the CUP.

Since the November 19, 2019 meeting, the applicant obtained the BTR to include entertainment. As of the writing of this report, no new violations or complaints have been registered with the Code Compliance Department.

For reference the following is the list of complaints and violations issued by Code Compliance:

Case Number: ZV2019-02794.
Case Status: Notice of Violation
Open Date: 10/14/2019

While responding to complaint of loud music. I parked vehicle at the rear of property in the alleyway. I met with complainant and heard loud music playing. I then walked to the entrance of the patio by the restaurant and spoke with a lady and asked for the person in charge. I met with two gentleman and ended up talking to the person in charge, Luis Concepcion. I informed him the reason why I was there. There was no dj in the courtyard playing music. He stated on camera there was a dj at the rooftop which is not complying with CUP Section 6(i). The person in charge Luis and I walked back to the rear of the property and the music wasn't loud but within 10 minutes, the music went back up again. Luis was telling me about how we keep showing up and mentioned the complainant by name. He started recording our conversation and saying how unfair he's receiving another violation and that he's not going to sign it. I asked if I can go up to the rooftop and he denied access which is not complying with CUP Section 16. We then walked to the rear of CVS standing on the north side on 10th Street and the music was lowered and raised again. We then walked back to the rear of the building. I mentioned since there's a dj playing loud music on the rooftop, a noise violation will be given, NC2019-12480 which is not complying with CUP Section 12 and 17 and a conditional use permit is required. I asked if he has a permit and he wasn't aware. Luis then wanted to speak to my Supervisor. I contacted CCA Thomas and gave her his phone number. I also informed her a violation will be written. I asked if she would call the manager Luis

Concepcion. He then left and I went back to the vehicle and entered my notes for the Noise Violation.

Met with Director of Operations Carlos Zumaeta. Explained and hand delivered violation.

Case Number: NC2019-121480

Case Status: Appeal

Open Date: 10/13/2019

Section 46-152: Inspection of the above premises this date has revealed that you are in violation of Section 46-152 of the Code of the City of Miami Beach by making, continuing, or causing to be made or continued any unreasonably loud, excessive, unnecessary or unusual noise.

Ref: Loud music from dj on the rooftop.

5th Offense

Body Worn Camera used.

J. Rios (706)

Case Number: NC2019-12464

Case Status: Appeal

Open Date: 10/12/19

LOUD MUSIC

Arrival Time: 3:57 pm

Departure Time: 5:08

Met with Complainant

Reference: Unreasonable Loud and excessive music.

4th Offense: \$ 2,000.00

A.PEREZ736

BWC

LOUD MUSIC COMING FROM THE ROOF TOP OR THE COURT YARD COMPLAINT REQUESTING FOR A CALL BACK

Case Number: NC2019-12309

Case Status: Noise Complaint, no violation issued

Open Date: 09/23/2019

LOUD MUSIC AT THE ROOF TOP

Additional information from 739

Complainant on site

Arrival time@ 9:45 PM

Upon arrival complainant was on site to assist and inform me about the complaint. I walked the surrounding 4 corners of 10th and Collins Ave and music, car noise and unusual street noise was heard. None of the noises was loud and or excessive. I continued the inspection and went to the rooftop of the complainant's building and music was heard. The music was not loud and or excessive. As a courtesy to the complainant I advised him that i will speak to Management at the 1000 Collins Ave

Fairwind Hotel and educate Management the city of Miami Beach Noise Ordinance. I then spoke to the Manager on Duty Lyne Metry and advised her about the complaint and if there was an event at the rooftop. She advised me that no rooftop was taking place. We both walked to the rooftop for verification of the closing. Rooftop was closed. I again educated Lyne Metry the Noise Ordinance to the city of Miami Beach. The complainant was on site to know of the findings of his complaint. Complainant was not pleased with the language of the ordinance. No violation issued at this time.

Body camera in use

Departed @ 10:50 PM

J.Hernandez-739

Case Number: NC2019-12305

Case Status: Noise complaint – Appeal

Open Date: 09/22/2019

Violation of Section 46-152:

Inspection of the above premises this date has revealed that you are in violation of Section 46-152 of the Code of the City of Miami Beach by making, continuing, or causing to be made or continued any unreasonably loud, excessive, unnecessary or unusual noise.

YOU SHALL IMMEDIATELY CEASE THE VIOLATION.

You shall be subject to additional penalties if the violation continues. Repeat violations of Section 46-152 will result in the imposition of larger fines and may also result in revocation, suspension, or the imposition of restrictions on an occupational license and /or certificate of use, or accessory use, and/or injunctive and/or other legal proceedings as provided by law.

3rd Offense \$2000

BWC used

CCO M. Jefferson 747

Arrival 6:18 PM

Responded to a noise complaint of music coming from the rooftop. I drove through Collins Ct on the 900 block and could hear the music from the car. The music could also be heard from the sidewalk on the south side of the property. Upon arrival I parked in front of the property and while exiting my vehicle I could hear the music. I met with the complainant Peter at his property 960 Collins Ave and while inside of the hotel I could not hear the music. While on the porch the music could be heard faintly and we had no issues hearing each other. He then proceeded to take a picture of my name from my shirt. He then request that a supervisor also come to the scene. I made CCA Varela aware. I then made contact with the manager Luis at the Fairwind property and we walked around to the rear. While in Collins Ct we both could hear the music from the rooftop. He immediately called and had the music lowered. To avoid further problems he instructed the staff to cut the music off and move the customers inside. While in Collins Ct I noticed the complainant Peter recording my interaction with the manager Luis from across the street. I then went back to my vehicle to being the noise case. Peter came by the vehicle twice while I was creating the case to request the violation number. The music playing from the property was loud and excessive upon arrival and was immediately turned off during my interaction with the manager Luis. Violation issued. The violation was signed and accepted by the manager Luis.

Case Number: NC2019-12282
Case Status: Noise complaint – Appeal
Open Date: 09/20/2019

Ref: LOUD MUSIC

Inspection of the above premises this date has revealed that you are in violation of Section 46-152 of the Code of the City of Miami Beach by making, continuing, or causing to be made or continued any unreasonably loud, excessive, unnecessary or unusual noise.

YOU SHALL IMMEDIATELY CEASE THE VIOLATION.

You shall be subject to additional penalties if the violation continues. Repeat violations of Section 46-152 will result in the imposition of larger fines and may also result in revocation, suspension, or the imposition of restrictions on an occupational license and /or certificate of use, or accessory use, and/or injunctive and/or other legal proceedings as provided by law.

2nd offense, \$1,000.00 fine

Notice of violation issued

BWC: Used

L. Negron #740

Case Number: CC2019-07778
Case Status: City Code Violation – Notice of Violation
Open Date: 09/06/2019

Section 102-311. Failing to remit Resort Tax returns and/or payments to the City of Miami Beach as required.

Ref; Finance Resort Tax not paid RT 2098411

1s violation issued

Complaint inspection from finance dept

BWC in use

J Randolph 749

Case Number: NC2019-11858
Case Status: Written Warning Notice
Open Date: 07/25/19

loud music /1000 collins ave

Inspection revealed music was loud and excessive-

Written Warning issued

Body camera in use

J.Hernandez-739

Additional information from 739

Complainant on site

Arrival time@ 10:05 PM

Upon arrival the complainant was on site to assist me with the complaint. I stood at the corner of 10th and Collins Ave and could hear the loud and excessive music coming from the atrium of the Fairwinds Hotel. I followed the music to the middle of the building where the music was being played. I walked the surrounding area and ask to speak to the manager on duty. I then was approached by General

Manager Luis Concepcion. I advised him about the complaint and where the music was heard. We both walked to the corner of 10th and Collins Ave and his music was plainly audible. The G.M immediately called the sound man to lower the music for compliance.

Complainant satisfied with the findings and the service of Code

I educated the G.M the city of Miami Beach Noise Ordinance and issued a Written Warning.

Body camera in use

J.Hernandez-739

Departed @ 11:10 PM

STAFF RECOMMENDATION

Staff recommends that the Planning Board discuss the progress report, and although no new complaints or violations have been issued since the prior meeting, continue the progress report to a date certain of January 28, 2020 in order to monitor the property for compliance with the conditions of the CUP.

MIAMI BEACH

City of Miami Beach, 1700 Convention Center Drive, Miami Beach, Florida 33139, www.miamibeachfl.gov

PLANNING DEPARTMENT
Tel: 305-673-7550 Fax: 305-673-7559

November 25, 2019

MLB Fairwinds, LLC
1000 Collins Avenue
Miami Beach, FL 33139

CERTIFIED MAIL
RETURN RECEIPT REQUESTED
#9214 8901 9403 8300 0005 42

Re: PB19-0270, 1000 – 1030 Collins Avenue –
Fairwind Hotel Conditional Use Permit Cure Letter

Dear Sir/Madam:

A Conditional Use Permit to operate a neighborhood impact establishment and outdoor entertainment establishment was issued to MLB Fairwinds, LLC. on June 25, 2019. It has come to the Planning Department's attention that complaints have been made and violations have been issued by the Code Compliance Department regarding the operation of the venue in a manner that is contrary to the issued conditional use permit (CUP).

In light of the inconsistencies with the following conditions of approval contained in the Conditional Use Permit, including operating with entertainment without first amending the Business Tax Receipt (BTR) to include entertainment, and due to issued code violations, **you are requested to appear at the December 17, 2019 Planning Board hearing** for the continuation of the progress report, which was last heard by the Planning Board on November 19th, 2019.:

- 1 The Planning Board shall maintain jurisdiction of this Conditional Use Permit. The applicant shall appear before the Planning Board for a progress report within 90 days from the issuance of the BTR. The Board reserves the right to modify the Conditional Use approval at the time of a progress report in a non-substantive manner, including modification to the hours of operation, to impose additional conditions to address possible problems and to determine the timing and need for future progress reports. This Conditional Use is also subject to modification or revocation under City Code Sec. 118-194 (c).
6. The Applicant agrees to the following operational conditions for the entire facility:
 - f. The roof top and pool deck may remain open:
Monday through Sunday from 10:00 a.m. to 8:00 p.m.
 - i. Entertainment shall be prohibited on the roof top at all times.
8. A Traffic Demand Management (TDM) plan shall be submitted, reviewed and approved by the Transportation Department within 90 days, prior to the issuance of a BTR for the addition of entertainment and include the following:

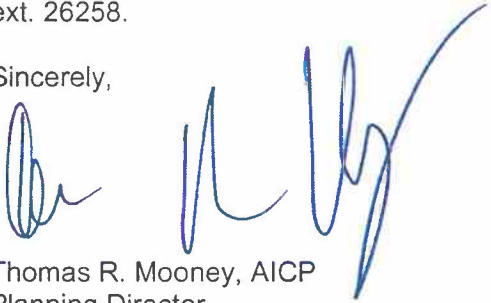
- a. The applicant shall identify locations, acceptable to the Transportation Department, for bicycle racks to be installed in the public right-of-way and within the proposed development. The applicant shall furnish and install the bicycle racks in accordance with the standards outlined in the City of Miami Beach Public Works Manual.
 - b. The applicant shall coordinate with the South Florida Commuter Services in participating in the transit subsidy program.
 - c. The applicant shall provide an analysis proposing for a drop-off and pick-up area shared with the valet drop-off and pick-up spaces.
 - d. The Developer shall conduct an updated valet utilization study incorporating the rideshare demand 60 days after opening of the proposed development with entertainment. The updated analysis shall include weekday peak hour and weekend peak hour analysis. Prior to commencement of the post-opening valet/ride-share analysis, the Developers' Traffic Engineer shall coordinate with the Transportation Department.
- 11 The Planning Board shall retain the right to call the owner or operator back before the Board and modify the hours of operation or the occupant load should there be valid complaints about loud, excessive, unnecessary, or unusual noise. Nothing in this provision shall be deemed to limit the right of the Planning Board to call back the owner or operator for other reasons and for other modifications of this Conditional Use Permit.
- 12 A violation of Chapter 46, Article IV, "Noise," of the Code of the City of Miami Beach, Florida (a/k/a "noise ordinance"), as may be amended from time to time, shall be deemed a violation of this Conditional Use Permit and subject to the remedies as described in section 118-194, Code of the City of Miami Beach, Florida.
- 15 The establishment and operation of this Conditional Use shall comply with all the aforementioned conditions of approval; non-compliance shall constitute a violation of the Code of the City of Miami Beach, Florida, and shall be subject to enforcement procedures set forth in Section 114-8 of said Code and such enforcement procedures as are otherwise available. Any failure by the applicant to comply with the conditions of this Order shall also constitute a basis for consideration by the Planning Board for a revocation of this Conditional Use.
16. The applicant agrees and shall be required to provide access to areas subject to this CUP (not including private residences) for inspection by the City (i.e.: Planning, Code Compliance, Building Department, Fire Safety), to ensure compliance with the terms and conditions of this CUP.

Please be advised that at the time of the progress report, in accordance with the provisions of the City Code, Section 118-194(3), the Planning Board may consider setting a public hearing for the purpose of examining the noncompliance issues and initiate modification/revocation proceedings. Should the Planning Board consider setting a public hearing for the purpose of examining the noncompliance issues and initiate modification/revocation proceedings, this issue may be placed on the next available meeting of the Board.

If a future public hearing is set, the board may consider the issue of noncompliance and the possible modification or revocation of the approval. Based on substantial competent evidence, the board may consider revoking the approval, modifying the conditions thereof, or imposing additional or supplemental conditions.

If you have any questions, please do not hesitate to contact Mr. Michael Belush at (305) 673-7000 ext. 26258.

Sincerely,

A handwritten signature in blue ink, appearing to read 'T. Mooney', with a large, sweeping flourish extending upwards and to the right.

Thomas R. Mooney, AICP
Planning Director

MIAMI BEACH

PLANNING DEPARTMENT

SUBJECT: List of complaints and violations related to
PB 19-0270, 1000 – 1030 Collins Avenue – Fairwind Hotel.

Case Number: ZV2019-02794.
Case Status: Notice of Violation
Open Date: 10/14/2019

While responding to complaint of loud music. I parked vehicle at the rear of property in the alleyway. I met with complainant and heard loud music playing. I then walked to the entrance of the patio by the restaurant and spoke with a lady and asked for the person in charge. I met with two gentleman and ended up talking to the person in charge, Luis Concepcion. I informed him the reason why I was there. There was no dj in the courtyard playing music. He stated on camera there was a dj at the rooftop which is not complying with CUP Section 6(i). The person in charge Luis and I walked back to the rear of the property and the music wasn't loud but within 10 minutes, the music went back up again. Luis was telling me about how we keep showing up and mentioned the complainant by name. He started recording our conversation and saying how unfair he's receiving another violation and that he's not going to sign it. I asked if I can go up to the rooftop and he denied access which is not complying with CUP Section 16. We then walked to the rear of CVS standing on the north side on 10th Street and the music was lowered and raised again. We then walked back to the rear of the building. I mentioned since there's a dj playing loud music on the rooftop, a noise violation will be given, NC2019-12480 which is not complying with CUP Section 12 and 17 and a conditional use permit is required. I asked if he has a permit and he wasn't aware. Luis then wanted to speak to my Supervisor. I contacted CCA Thomas and gave her his phone number. I also informed her a violation will be written. I asked if she would call the manager Luis Concepcion. He then left and I went back to the vehicle and entered my notes for the Noise Violation.

Met with Director of Operations Carlos Zumaeta. Explained and hand delivered violation.

Case Number: NC2019-121480
Case Status: Appeal
Open Date: 10/13/2019

Section 46-152: Inspection of the above premises this date has revealed that you are in violation of Section 46-152 of the Code of the City of Miami Beach by making, continuing, or causing to be made or continued any unreasonably loud, excessive, unnecessary or unusual noise.

Ref: Loud music from dj on the rooftop.
5th Offense
Body Worn Camera used.
J. Rios (706)

Case Number: NC2019-12464
Case Status: Appeal
Open Date: 10/12/19

LOUD MUSIC

Arrival Time: 3:57 pm
Departure Time: 5:08
Met with Complainant
Reference: Unreasonable Loud and excessive music.
4th Offense: \$ 2,000.00
A.PEREZ736
BWC

**LOUD MUSIC COMING FROM THE ROOF TOP OR THE COURT YARD COMPLAINT
REQUESTING FOR A CALL BACK**

Case Number: NC2019-12309
Case Status: Noise Complaint, no violation issued
Open Date: 09/23/2019

LOUD MUSIC AT THE ROOF TOP

Additional information from 739
Complainant on site

Arrival time@ 9:45 PM

Upon arrival complainant was on site to assist and inform me about the complaint. I walked the surrounding 4 corners of 10th and Collins Ave and music, car noise and unusual street noise was heard. None of the noises was loud and or excessive. I continued the inspection and went to the rooftop of the complainant's building and music was heard. The music was not loud and or excessive. As a courtesy to the complainant I advised him that i will speak to Management at the 1000 Collins Ave Fairwind Hotel and educate Management the city of Miami Beach Noise Ordinance. I then spoke to the Manager on Duty Lyne Metry and advised her about the complaint and if there was an event at the rooftop. She advised me that no rooftop was taking place. We both walked to the rooftop for verification of the closing. Rooftop was closed. I again educated Lyne Metry the Noise Ordinance to the city of Miami Beach. The complainant was on site to know of the findings of his complaint. Complainant was not pleased with the language of the ordinance. No violation issued at this time.

Body camera in use

Departed @ 10:50 PM
J.Hernandez-739

Case Number: NC2019-12305
Case Status: Noise complaint – Appeal
Open Date: 09/22/2019

Violation of Section 46-152:

Inspection of the above premises this date has revealed that you are in violation of Section 46-152 of the Code of the City of Miami Beach by making, continuing, or

causing to be made or continued any unreasonably loud, excessive, unnecessary or unusual noise.

YOU SHALL IMMEDIATELY CEASE THE VIOLATION.

You shall be subject to additional penalties if the violation continues. Repeat violations of Section 46-152 will result in the imposition of larger fines and may also result in revocation, suspension, or the imposition of restrictions on an occupational license and /or certificate of use, or accessory use, and/or injunctive and/or other legal proceedings as provided by law.

3rd Offense \$2000

BWC used

CCO M. Jefferson 747

Arrival 6:18 PM

Responded to a noise complaint of music coming from the rooftop. I drove through Collins Ct on the 900 block and could hear the music from the car. The music could also be heard from the sidewalk on the south side of the property. Upon arrival I parked in front of the property and while exiting my vehicle I could hear the music. I met with the complainant Peter at his property 960 Collins Ave and while inside of the hotel I could not hear the music. While on the porch the music could be heard faintly and we had no issues hearing each other. He then proceeded to take a picture of my name from my shirt. He then request that a supervisor also come to the scene. I made CCA Varela aware. I then made contact with the manager Luis at the Fairwind property and we walked around to the rear. While in Collins Ct we both could hear the music from the rooftop. He immediately called and had the music lowered. To avoid further problems he instructed the staff to cut the music off and move the customers inside. While in Collins Ct I noticed the complainant Peter recording my interaction with the manager Luis from across the street. I then went back to my vehicle to being the noise case. Peter came by the vehicle twice while I was creating the case to request the violation number. The music playing from the property was loud and excessive upon arrival and was immediately turned off during my interaction with the manager Luis. Violation issued. The violation was signed and accepted by the manager Luis.

Case Number: NC2019-12282

Case Status: Noise complaint – Appeal

Open Date: 09/20/2019

Ref: LOUD MUSIC

Inspection of the above premises this date has revealed that you are in violation of Section 46-152 of the Code of the City of Miami Beach by making, continuing, or causing to be made or continued any unreasonably loud, excessive, unnecessary or unusual noise.

YOU SHALL IMMEDIATELY CEASE THE VIOLATION.

You shall be subject to additional penalties if the violation continues. Repeat violations of Section 46-152 will result in the imposition of larger fines and may also result in revocation, suspension, or the imposition of restrictions on an occupational license and /or certificate of use, or accessory use, and/or injunctive and/or other legal proceedings as provided by law.

2nd offense, \$1,000.00 fine

Notice of violation issued

BWC: Used

L. Negron #740

Case Number: CC2019-07778
Case Status: City Code Violation – Notice of Violation
Open Date: 09/06/2019

Section 102-311. Failing to remit Resort Tax returns and/or payments to the City of Miami Beach as required.

Ref; Finance Resort Tax not paid RT 2098411
1s violation issued
Complaint inspection from finance dept
BWC in use
J Randolph 749

Case Number: NC2019-11858
Case Status: Written Warning Notice
Open Date: 07/25/19

loud music /1000 collins ave
Inspection revealed music was loud and excessive-
Written Warning issued
Body camera in use
J.Hernandez-739

Additional information from 739
Complainant on site

Arrival time@ 10:05 PM

Upon arrival the complainant was on site to assist me with the complaint. I stood at the corner of 10th and Collins Ave and could hear the loud and excessive music coming from the atrium of the Fairwinds Hotel. I followed the music to the middle of the building where the music was being played. I walked the surrounding area and ask to speak to the manager on duty. I then was approached by General Manager Luis Concepcion. I advised him about the complaint and where the music was heard. We both walked to the corner of 10th and Collins Ave and his music was plainly audible. The G.M immediately called the sound man to lower the music for compliance.

Complainant satisfied with the findings and the service of Code

I educated the G.M the city of Miami Beach Noise Ordinance and issued a Written Warning.

Body camera in use
J.Hernandez-739
Departed @ 11:10 PM

**PLANNING BOARD
CITY OF MIAMI BEACH, FLORIDA**

PROPERTY: 1000 — 1030 Collins Avenue — Fairwind Hotel
FILE NO. PB 19-0270

IN RE: An application for Conditional Use Approval for a Neighborhood Impact Establishment and an Outdoor Entertainment Establishment with an occupant content in excess of 200 persons, pursuant to Chapter 118, Article IV, and Chapter 142, Article V, Division 6 of the City Code.

LEGAL DESCRIPTION: Lots 5-8, Block 30 of Ocean Beach Addition No. 2, According to the Plat Thereof, as Recorded in Plat Book 2, Page 56, of the Public Records of Miami-Dade County, Florida.

MEETING DATE: June 25, 2019

CONDITIONAL USE PERMIT

The applicant, MLB Fairwinds LLC, filed an application with the Planning Director requesting a Conditional Use approval for a Neighborhood Impact Establishment and Outdoor Entertainment Establishment pursuant to Chapter 118, Article IV, and Chapter 142, Article V of the City Code. Notice of the request was given as required by law and mailed out to owners of property within a distance of 375 feet of the exterior limits of the property upon which the application was made.

The Planning Board of the City of Miami Beach makes the following FINDINGS OF FACT, based upon the evidence, information, testimony and materials presented at the public hearing and which are part of the of the record for this matter:

That the property in question is located in the MXE, Mixed-Use Entertainment Zoning District;

That the use is consistent with the Comprehensive Plan for the area in which the property is located;

That the intended use or construction will not result in an impact that will exceed the thresholds for the levels of service as set forth in the Comprehensive Plan;

That structures and uses associated with the request are consistent with the Land Development Regulations;

That the public health, safety, morals, and general welfare will not be adversely affected;

That necessary safeguards will be provided for the protection of surrounding property, persons, and neighborhood values.

IT IS THEREFORE ORDERED, based upon the foregoing findings of fact, the evidence, information, testimony and materials presented at the public hearing, which are part of the

MS

June 25, 2019

PB 19-0270 1000-1030 Collins Avenue – Fairwind Hotel
Page 2 of 6

record for this matter, and the staff report and analysis, which is adopted herein, including the staff recommendations, that the Conditional Use Permit be GRANTED, as provided below:

1. The Planning Board shall maintain jurisdiction of this Conditional Use Permit. The applicant shall appear before the Planning Board for a progress report within 90 days from the issuance of the BTR. The Board reserves the right to modify the Conditional Use approval at the time of a progress report in a non-substantive manner, including modification to the hours of operation, to impose additional conditions to address possible problems and to determine the timing and need for future progress reports. This Conditional Use is also subject to modification or revocation under City Code Sec. 118-194 (c).
2. This Conditional Use Permit is issued to MLB Fairwinds LLC, any changes in ownership of 50% (fifty percent) or more stock ownership, or the equivalent, shall require the new owner to submit an affidavit, approved by City, to the City of Miami Beach Planning Department transferring approval to the new owner and acknowledging acceptance of all conditions established herein prior to the issuance of a new Business Tax Receipt.
3. The conditions of approval for this Conditional Use Permit are binding on the applicant, the property owners, operators, and all successors in interest and assigns.
4. Substantial modifications to the plans submitted and approved as part of the application, as determined by the Planning Director or designee, may require the applicant to return to the Board for approval.
5. The applicant, now and in the future, shall abide by all the documents and statements submitted with this application.
6. The Applicant agrees to the following operational conditions for the entire facility:
 - a. The CUP shall have the following maximum occupant content (including within the interior and exterior portion located on private property) for the Courtyard, outdoor bar area, restaurant on 1020 Collins Avenue, and basement: Less than 300 persons, or any lesser such occupant content as determined by the Fire Marshal.
 - b. The courtyard may remain open with outdoor entertainment:
Monday through Sunday from 8:00 a.m. to 5:00 a.m.

Audio from the subject property, including low-frequency vibrations, shall not be plainly audible or felt, within the interior of the apartment units (with the windows and doors closed) of the abutting building to the north, at any time.

Audio from the subject property shall not be plainly audible at the southern balconies of the abutting apartment building to the north (1040 Collins Avenue) between 11pm and 8am Sunday through Thursday, and between midnight and 8am Fridays, Saturdays, holidays and special events.
 - c. The outdoor bar may remain open:
Monday through Sunday from 8:00 a.m. to 8:00 p.m.

MB

June 25, 2019

PB 19-0270 1000-1030 Collins Avenue – Fairwind Hotel
Page 3 of 6

After 8:00 p.m. the roll down storefronts that face the courtyard shall be closed in order to continue to operate as an indoor bar counter.

- d. The restaurant at 1020 Collins Avenue may remain open:
Monday through Sunday from 8:00 a.m. to 5:00 a.m. and indoor entertainment shall be allowed.
- e. Indoor entertainment at the basement venue may operate:
Monday through Sunday from 8:00 a.m. to 5:00 a.m.
- f. The roof top and pool deck may remain open:
Monday through Sunday from 10:00 a.m. to 8:00 p.m.
- g. At all times that entertainment is operating anywhere on the subject property, a restaurant shall be open with food service, a full menu, and operating kitchen.
- h. The house sound system shall be installed and set in such a manner as to limit the acoustical output of the system and have password protected security on all controls at all times. The equipment and installation plan for the sound system, including the location of all speakers and sound level controls shall be submitted for the review and approval of the Planning Department. Within 60 days of this approval, the sound system in the facility shall be tested by a qualified acoustic professional, and a report shall be submitted to the Planning Department for review, to verify that it is operating as designed. A sound field test shall be performed with staff present to demonstrate that the sound system will comply with the requirements of this CUP.
- i. Entertainment shall be prohibited on the roof top at all times.
- j. A maximum of 2 televisions may be permitted in the courtyard subject to a Certificate of Appropriateness and historic preservation board approval, if required. The volume level of the televisions in the courtyard shall comply with the audio volume limitations stated in this order.
- k. Delivery trucks shall only be permitted to make deliveries from city authorized and designated commercial loading zones.
- l. Delivery trucks shall not be allowed to idle in the loading zone.
- m. Equipment and supplies shall not be stored in areas visible from streets, alleys or nearby buildings.
- n. Deliveries and waste collections may occur daily between 7:00 AM and 10:00 AM.
- o. Loading and deliveries from the alley shall at no time block the passage of any other vehicles along the alley.
- p. All trash containers shall utilize rubber wheels, or the path for the trash containers shall consist of a surface finish that reduces noise, in a manner to be reviewed and approved by staff.

MB

June 25, 2019

PB 19-0270 1000-1030 Collins Avenue – Fairwind Hotel
Page 4 of 6

- q. Adequate trash room space, air conditioned and noise baffled, shall be provided, in a manner to be approved by the Planning and Public Works Departments. Sufficient interior space must be provided so that doors can remain closed while trash and trash bags are being deposited in dumpsters. Doors shall remain closed and secured when not in active use.
 - r. An air conditioned trash room(s)/garbage room(s) shall be large enough, or sufficient in number to accommodate enough dumpsters so that no more than one pick up of garbage per day will be necessary.
 - s. Garbage dumpster covers shall be closed at all times except when in active use.
 - t. Restaurant and bar personnel shall take measures to enforce the Patron Age Restriction of the City Code during the hours of operation of all alcoholic beverage establishments.
 - u. No patrons shall be allowed to queue on public rights-of-way. Security staff shall monitor the crowds to ensure that they do not obstruct the sidewalk.
 - v. The owner/operator shall be responsible for maintaining the areas adjacent to the facility, including the sidewalk, and all areas around the perimeter of the property. These areas shall be kept free of trash, debris and odor, and shall be swept and hosed down at the end of each business day.
 - w. Street flyers and handouts shall not be permitted, including handbills from third-party promotions.
 - x. Special Events may occur on the premises, subject to City ordinances, rules or regulations existing at the time, and may exceed the hours of operation and occupancy loads specified herein, if permitted by the Fire Marshal, subject to the review and approval of staff.
 - y. The host/hostess stand, podium and menu board shall be prohibited in the public right of way, and shall be placed on private property, except as may be permitted under the sidewalk café permit to be reviewed and approved by the Public Works department.
7. The applicant shall participate in a Transportation Concurrency Management Area Plan (TCMA Plan), if deemed necessary, by paying its fair share cost, as determined by the Transportation/Concurrency Management Division, prior to obtaining a Certificate of Occupancy or Business Tax Receipt, whichever may occur first, and any other fair share cost that may be due and owing. Without exception, all concurrency fees, mitigation fees and concurrency administrative costs shall be paid prior to the issuance of a Certificate of Occupancy or Business Tax Receipt.
8. A Traffic Demand Management (TDM) plan shall be submitted, reviewed and approved by the Transportation Department within 90 days, prior to the issuance of a BTR for the addition of entertainment and include the following:
- a. The applicant shall identify locations, acceptable to the Transportation Department, for bicycle racks to be installed in the public right-of-way and within

ms

June 25, 2019

PB 19-0270 1000-1030 Collins Avenue – Fairwind Hotel
Page 5 of 6

- the proposed development. The applicant shall furnish and install the bicycle racks in accordance with the standards outlined in the City of Miami Beach Public Works Manual.
- b. The applicant shall coordinate with the South Florida Commuter Services in participating in the transit subsidy program.
 - c. The applicant shall provide an analysis proposing for a drop-off and pick-up area shared with the valet drop-off and pick-up spaces.
 - d. The Developer shall conduct an updated valet utilization study incorporating the rideshare demand 60 days after opening of the proposed development with entertainment. The updated analysis shall include weekday peak hour and weekend peak hour analysis. Prior to commencement of the post-opening valet/ride-share analysis, the Developers' Traffic Engineer shall coordinate with the Transportation Department.
9. The applicant shall satisfy outstanding liens and past due City bills, if any, to the satisfaction of the City prior to the issuance of an occupational license with entertainment.
 10. The applicant shall obtain a full building permit within 18 months from the date of the meeting, and the work shall proceed in accordance with the Florida Building Code. Extensions of time for good cause, not to exceed a total of one year for all extensions, may be granted by the Planning Board.
 11. The Planning Board shall retain the right to call the owner or operator back before the Board and modify the hours of operation or the occupant load should there be valid complaints about loud, excessive, unnecessary, or unusual noise. Nothing in this provision shall be deemed to limit the right of the Planning Board to call back the owner or operator for other reasons and for other modifications of this Conditional Use Permit.
 12. A violation of Chapter 46, Article IV, "Noise," of the Code of the City of Miami Beach, Florida (a/k/a "noise ordinance"), as may be amended from time to time, shall be deemed a violation of this Conditional Use Permit and subject to the remedies as described in section 118-194, Code of the City of Miami Beach, Florida.
 13. This order is not severable, and if any provision or condition hereof is held void or unconstitutional in a final decision by a court of competent jurisdiction, the order shall be returned to the Board for reconsideration as to whether the order meets the criteria for approval absent the stricken provision or condition, and/or it is appropriate to modify the remaining conditions or impose new conditions.
 14. The Final Order shall be recorded in the Public Records of Miami-Dade County, prior to the issuance of a Building Permit.
 15. The establishment and operation of this Conditional Use shall comply with all the aforementioned conditions of approval; non-compliance shall constitute a violation of the Code of the City of Miami Beach, Florida, and shall be subject to enforcement procedures set forth in Section 114-8 of said Code and such enforcement procedures as are otherwise available. Any failure by the applicant to comply with the conditions of this

mb

June 25, 2019

PB 19-0270 1000-1030 Collins Avenue - Fairwind Hotel

Page 6 of 6

Order shall also constitute a basis for consideration by the Planning Board for a revocation of this Conditional Use.

16. The applicant agrees and shall be required to provide access to areas subject to this CUP (not including private residences) for inspection by the City (i.e.: Planning, Code Compliance, Building Department, Fire Safety), to ensure compliance with the terms and conditions of this CUP.
17. Nothing in this order authorizes a violation of the City Code or other applicable law, nor allows a relaxation of any requirement or standard set forth in the City Code.

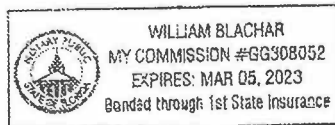
Dated this 18th day of JULY, 2019.

PLANNING BOARD OF THE
CITY OF MIAMI BEACH, FLORIDA

BY: Michael Belush
Michael Belush, AICP
Chief of Planning and Zoning
For Chairman

STATE OF FLORIDA)
COUNTY OF MIAMI-DADE)

The foregoing instrument was acknowledged before me this 18th day of July, 2019, by Michael Belush, Chief of Planning and Zoning of the City of Miami Beach, Florida, a Florida Municipal Corporation, on behalf of the corporation. He is personally known to me.



{NOTARIAL SEAL}

William Blachar
Notary:
Print Name
Notary Public, State of Florida
My Commission Expires: MARCH 5th, 2023
Commission Number: GG308052

Approved As To Form:
Legal Department Nick Fallagas 7/16/2019

Filed with the Clerk of the Planning Board on Jessica Gualinga (7/16/19)

MB

MIAMI BEACH

LAND USE BOARDS

PROPERTY:

927 Lincoln Road – Sterling Building

FILE NO.

PB 19-0320

APPLICANT:**MEETING DATE:**

12/17/2019

LEGAL DESCRIPTION:

33-34 53 42
COMMERCIAL SUB PB 6-5
LOTS 2 TO 4 INC BLK 37
LOT SIZE 150.000 X 150
OR 17622-2790-93 0497 1

IN RE:

An application has been filed requesting a conditional use approval for the construction of a new 7-story hotel addition to the existing structures, with new construction exceeding 50,000 square feet, pursuant to Chapter 118, Article IV, and Chapter 142, Article II, Division 5 of the City Code.

PRIOR ORDER NUMBER:**Is this a Resident Right to
Know item?**

Yes

**Does this item utilize G.O.
Bond Funds?**

No

ATTACHMENTS:

Description	Type
<input type="checkbox"/> Application Documents	Memo
<input type="checkbox"/> Existing Conditions	Memo
<input type="checkbox"/> Landscape Plans	Memo
<input type="checkbox"/> Proposed Project	Memo
<input type="checkbox"/> Supplemental Documents	Memo
<input type="checkbox"/> Staff Report	Memo
<input type="checkbox"/> Recorded Order	Memo

MIAMI BEACH

PLANNING DEPARTMENT

1700 Convention Center Drive, Miami Beach, Florida 33139; Tel: 305.673.7550; Web: www.miamibeachfl.gov/planning

LAND USE BOARD HEARING APPLICATION

The following application is submitted for review and consideration of the project described herein by the land use board selected below. A separate application must be completed for each board reviewing the proposed project.

Application Information			
FILE NUMBER PB-19-0320		Is the property the primary residence & homestead of the applicant/property owner? <input type="checkbox"/> Yes <input type="checkbox"/> No (if "Yes," provide office of the Property Appraiser Summary Report)	
Board of Adjustment <input type="checkbox"/> Variance from a provision of the Land Development Regulations <input type="checkbox"/> Appeal of an administrative decision		Design Review Board <input type="checkbox"/> Design review approval <input type="checkbox"/> Variance	
Planning Board <input checked="" type="checkbox"/> Conditional use permit <input type="checkbox"/> Lot split approval <input type="checkbox"/> Amendment to the Land Development Regulations or zoning map <input type="checkbox"/> Amendment to the Comprehensive Plan or future land use map <input type="checkbox"/> Other:		Historic Preservation Board <input type="checkbox"/> Certificate of Appropriateness for design <input type="checkbox"/> Certificate of Appropriateness for demolition <input type="checkbox"/> Historic district/site designation <input type="checkbox"/> Variance	
Property Information - Please attach Legal Description as "Exhibit A"			
ADDRESS OF PROPERTY 927 Lincoln Road			
FOLIO NUMBER(S) 02-3234-018-0020			
Property Owner Information			
PROPERTY OWNER NAME The Sterling Building Inc.			
ADDRESS 927 Lincoln Road #214		CITY Miami Beach	STATE FL
ZIP CODE 33139			
BUSINESS PHONE 305-469-5800	CELL PHONE	EMAIL ADDRESS sammysterling927@aol.com	
Applicant Information (if different than owner)			
APPLICANT NAME Same as owner			
ADDRESS		CITY	STATE
ZIP CODE			
BUSINESS PHONE	CELL PHONE	EMAIL ADDRESS	
Summary of Request			
PROVIDE A BRIEF SCOPE OF REQUEST Development over 50,000 square feet in size			

Project Information			
Is there an existing building(s) on the site?		<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Does the project include interior or exterior demolition?		<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Provide the total floor area of the new construction.		46278	SQ. FT.
Provide the gross floor area of the new construction (including required parking and all usable area).		46278	SQ. FT.
Party responsible for project design			
NAME Kobi Karp		<input checked="" type="checkbox"/> Architect <input type="checkbox"/> Contractor <input type="checkbox"/> Landscape Architect <input type="checkbox"/> Engineer <input type="checkbox"/> Tenant <input type="checkbox"/> Other _____	
ADDRESS 2915 Biscayne Blvd., Suite 200		CITY Miami	STATE FL ZIPCODE 33137
BUSINESS PHONE	CELL PHONE	EMAIL ADDRESS kobikarp@kobikarp.com	
Authorized Representative(s) Information (if applicable)			
NAME Mickey Marrero, Esq.		<input checked="" type="checkbox"/> Attorney <input type="checkbox"/> Contact <input type="checkbox"/> Agent <input type="checkbox"/> Other _____	
ADDRESS 200 S. Biscayne Blvd., Suite 850		CITY Miami	STATE FL ZIPCODE 33133
BUSINESS PHONE 305-374-5300	CELL PHONE	EMAIL ADDRESS mmarrero@brzoninglaw.com	
NAME		<input type="checkbox"/> Attorney <input type="checkbox"/> Contact <input type="checkbox"/> Agent <input type="checkbox"/> Other _____	
ADDRESS		CITY	STATE ZIPCODE
BUSINESS PHONE	CELL PHONE	EMAIL ADDRESS	
NAME		<input type="checkbox"/> Attorney <input type="checkbox"/> Contact <input type="checkbox"/> Agent <input type="checkbox"/> Other _____	
ADDRESS		CITY	STATE ZIPCODE
BUSINESS PHONE	CELL PHONE	EMAIL ADDRESS	

Please note the following information:

- A separate disclosure of interest form must be submitted with this application if the applicant or owner is a corporation, partnership, limited partnership or trustee.
- All applicable affidavits must be completed and the property owner must complete and sign the "Power of Attorney" portion of the affidavit if they will not be present at the hearing, or if other persons are speaking on their behalf.
- To request this material in alternate format, sign language interpreter (five-day notice is required), information on access for persons with disabilities, and accommodation to review any document or participate in any City sponsored proceedings, call 305.604.2489 and select (1) for English or (2) for Spanish, then option 6; TTY users may call via 711 (Florida Relay Service).

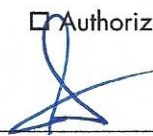
Please read the following and acknowledge below:

- Applications for any board hearing(s) will not be accepted without payment of the required fees. All checks are to be made payable to the "City of Miami Beach".
- All disclosures must be submitted in CMB Application format and be consistent with CMB Code Sub-part A Section 2-482(c):
 - (c) If the lobbyist represents a corporation, partnership or trust, the chief officer, partner or beneficiary shall also be identified. Without limiting the foregoing, the lobbyist shall also identify all persons holding, directly or indirectly, a five percent or more ownership interest in such corporation, partnership, or trust.
- Public records notice – All documentation submitted for this application is considered a public record subject to Chapter 119 of the Florida Statutes and shall be disclosed upon request.
- In accordance with the requirements of Section 2-482 of the code of the City of Miami Beach, any individual or group that will be compensated to speak or refrain from speaking in favor or against an application being presented before any of the City's land use boards, shall fully disclose, prior to the public hearing, that they have been, or will be compensated. Such parties include: architects, engineers, landscape architects, contractors, or other persons responsible for project design, as well as authorized representatives attorneys or agents and contact persons who are representing or appearing on behalf of a third party; such individuals must register with the City Clerk prior to the hearing.
- In accordance with Section 118-31. – Disclosure Requirement. Each person or entity requesting approval, relief or other action from the Planning Board, Design Review Board, Historic Preservation Board or the Board of Adjustment shall disclose, at the commencement (or continuance) of the public hearing(s), any consideration provided or committed, directly or on its behalf, for an agreement to support or withhold objection to the requested approval, relief or action, excluding from this requirement consideration for legal or design professional service rendered or to be rendered. The disclosure shall: (I) be in writing, (II) indicate to whom the consideration has been provided or committed, (III) generally describe the nature of the consideration, and (IV) be read into the record by the requesting person or entity prior to submission to the secretary/clerk of the respective board. Upon determination by the applicable board that the foregoing disclosure requirement was not timely satisfied by the person or entity requesting approval, relief or other action as provided above, then (I) the application or order, as applicable, shall immediately be deemed null and void without further force or effect, and (II) no application form said person or entity for the subject property shall be reviewed or considered by the applicable board(s) until expiration of a period of one year after the nullification of the application or order. It shall be unlawful to employ any device, scheme or artifice to circumvent the disclosure requirements of this section and such circumvention shall be deemed a violation of the disclosure requirements of this section.
- When the applicable board reaches a decision a final order will be issued stating the board's decision and any conditions imposed therein. The final order will be recorded with the Miami-Dade Clerk of Courts. The original board order shall remain on file with the City of Miami Beach Planning Department. Under no circumstances will a building permit be issued by the City of Miami Beach without a copy of the recorded final order being included and made a part of the plans submitted for a building permit.

The aforementioned is acknowledged by:

☐ Owner of the subject property

☒ Authorized representative



SIGNATURE

Sam Hanzbaeg

PRINT NAME

8/27/19

DATE SIGNED

OWNER AFFIDAVIT FOR INDIVIDUAL OWNER

STATE OF _____

COUNTY OF _____

I, _____, being first duly sworn, depose and certify as follows: (1) I am the owner of the property that is the subject of this application. (2) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (3) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (4) I also hereby authorize the City of Miami Beach to enter my property for the sole purpose of posting a Notice of Public Hearing on my property, as required by law. (5) I am responsible for remove this notice after the date of the hearing.

SIGNATURE

Sworn to and subscribed before me this _____ day of _____, 20____. The foregoing instrument was acknowledged before me by _____, who has produced _____ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

NOTARY PUBLIC

My Commission Expires: _____

PRINT NAME**ALTERNATE OWNER AFFIDAVIT FOR CORPORATION, PARTNERSHIP OR LIMITED LIABILITY COMPANY**STATE OF FloridaCOUNTY OF Miami-Dade

I, **Sam Herzberg**, being first duly sworn, depose and certify as follows: (1) I am the **President** (print title) of **The Sterling Building Inc.** (print name of corporate entity). (2) I am authorized to file this application on behalf of such entity. (3) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (4) The corporate entity named herein is the owner of the property that is the subject of this application. (5) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (6) I also hereby authorize the City of Miami Beach to enter my property for the sole purpose of posting a Notice of Public Hearing on my property, as required by law. (7) I am responsible for remove this notice after the date of the hearing.

SIGNATURE

Sworn to and subscribed before me this _____ day of August, 2019. The foregoing instrument was acknowledged before me by Sam Herzberg, who has produced _____ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

NOTARY PUBLIC

My Commission Expires: _____

PRINT NAME**POWER OF ATTORNEY AFFIDAVIT**

STATE OF Florida
 COUNTY OF Miami-Dade

I, Sam Herzberg, being first duly sworn, depose and certify as follows: (1) I am the owner or representative of the owner of the real property that is the subject of this application. (2) I hereby authorize Mickey Marrero, Esq. to be my representative before the Planning Board. (3) I also hereby authorize the City of Miami Beach to enter my property for the sole purpose of posting a Notice of Public Hearing on my property, as required by law. (4) I am responsible for remove this notice after the date of the hearing.

Sam Herzberg - President
PRINT NAME (and Title, if applicable)

SIGNATURE

Sworn to and subscribed before me this 28 day of August, 2019. The foregoing instrument was acknowledged before me by Sam Herzberg, who has produced _____ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP



My Commission Expires: _____

NOTARY PUBLIC**PRINT NAME****CONTRACT FOR PURCHASE**

If the applicant is not the owner of the property, but the applicant is a party to a contract to purchase the property, whether or not such contract is contingent on this application, the applicant shall list the names of the contract purchasers below, including any and all principal officers, stockholders, beneficiaries or partners. If any of the contact purchasers are corporations, partnerships, limited liability companies, trusts, or other corporate entities, the applicant shall further disclose the identity of the individuals(s) (natural persons) having the ultimate ownership interest in the entity. If any contingency clause or contract terms involve additional individuals, corporations, partnerships, limited liability companies, trusts, or other corporate entities, list all individuals and/or corporate entities.

NAME**DATE OF CONTRACT**

NAME, ADDRESS AND OFFICE

% OF STOCK

In the event of any changes of ownership or changes in contracts for purchase, subsequent to the date that this application if

filed, but prior to the date of a final public hearing, the applicant shall file a supplemental disclosure of interest.

DISCLOSURE OF INTEREST
CORPORATION, PARTNERSHIP OR LIMITED LIABILITY COMPANY

If the property that is the subject of the application is owned or leased by a corporation, partnership or limited liability company, list ALL of the owners, shareholders, partners, managers and/or members, and the percentage of ownership held by each. If the owners consist of one or more corporations, partnerships, trusts, partnerships or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity.

The Sterling Building Inc.

NAME OF CORPORATE ENTITY

NAME AND ADDRESS

% OF OWNERSHIP

See Exhibit B

NAME OF CORPORATE ENTITY

NAME AND ADDRESS

% OF OWNERSHIP

If there are additional corporate owners, list such owners, including corporate name and the name, address and percentage of ownership of each additional owner, on a separate page.

DISCLOSURE OF INTEREST
TRUSTEE

If the property that is the subject of the application is owned or leased by a trust, list any and all trustees and beneficiaries of the trust, and the percentage of interest held by each. If the owners consist of one or more corporations, partnerships, trusts, partnerships or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity.

TRUST NAME	
NAME AND ADDRESS	% INTEREST

COMPENSATED LOBBYIST

Pursuant to Section 2-482 of the Miami Beach City Code, all lobbyists shall, before engaging in any lobbying activities, register with the City Clerk. Please list below any and all persons or entities retained by the applicant to lobby City staff or any of the City's land development boards in support of this application.

NAME	ADDRESS	PHONE
<u>Mickey Marrero, Esq.</u>	<u>200 S. Biscayne Blvd., Suite 850, Miami, FL 33131</u>	<u>305-374-5300</u>
<u>Kobi Karp</u>	<u>2915 Biscayne Blvd., Suite 200</u>	<u>305-573-1818</u>
_____	_____	_____

Additional names can be placed on a separate page attached to this application.

APPLICANT HEREBY ACKNOWLEDGES AND AGREES THAT (1) AN APPROVAL GRANTED BY A LAND DEVELOPMENT BOARD OF THE CITY SHALL BE SUBJECT TO ANY AND ALL CONDITIONS IMPOSED BY SUCH BOARD AND BY ANY OTHER BOARD HAVING JURISDICTION, AND (2) APPLICANT'S PROJECT SHALL COMPLY WITH THE CODE OF THE CITY OF MIAMI BEACH AND ALL OTHER APPLICABLE CITY, STATE AND FEDERAL LAWS.

APPLICANT AFFIDAVIT

STATE OF Florida
COUNTY OF Miami-Dade

I, Sam Herzberg, being first duly sworn, depose and certify as follows: (1) I am the applicant or representative of the applicant. (2) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief.

SIGNATURE

Sworn to and subscribed before me this 28 day of August, 2019. The foregoing instrument was acknowledged before me by SAM Herzberg, who has produced _____ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

My Commission Expires: _____

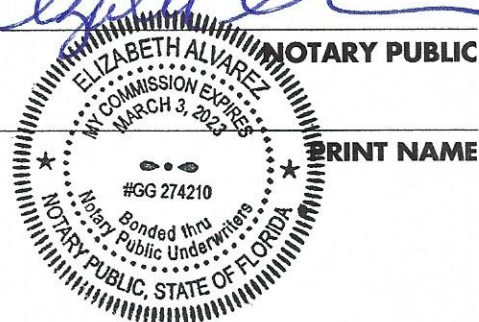


EXHIBIT A

LEGAL DESCRIPTION:

PARCEL 1:

Lots 2, 3, 4, Block 37, COMMERCIAL SUBDIVISION OF THE ALTON BEACH REALTY COMPANY, according to the Plat thereof, as recorded in Plat Book 6, Page 5, of the Public Records of MIAMI-DADE County, Florida.

AND

PARCEL 2:

Lots 5 and 6, Block 37, COMMERCIAL SUBDIVISION OF THE ALTON BEACH REALTY COMPANY, according to the Plat thereof, as recorded in Plat Book 6, Page 5, of the Public Records of MIAMI-DADE County, Florida.

EXHIBIT B

The Sterling Building, Inc.

927 Lincoln Road, #214

Miami Beach, FL 33139

- Sam Herzberg (100%)
927 Lincoln Road, #214
Miami Beach, FL 33139



BERCOW RADELL FERNANDEZ & LARKIN

ZONING, LAND USE AND ENVIRONMENTAL LAW

DIRECT LINE: (305) 377-6238
E-Mail: MMarrero@BRZoningLaw.com

VIA HAND DELIVERY

October 17, 2019

Thomas Mooney, Director
Planning Department
City of Miami Beach
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139

Re: PB19-0320 - Conditional Use Approval for the Sterling Building - 927 Lincoln Road, Miami Beach, Florida

Dear Tom:

This firm represents The Sterling Building, Inc. (the "Applicant"), the applicant and owner of the property located at 927 Lincoln Road ("Property"). The Applicant seeks a conditional use permit allowing new construction in excess of 50,000 square feet. This letter serves as the required letter of intent in connection with the application.

Description of the Property. The Property is located mid-block on the north side of Lincoln Road between Michigan and Jefferson Avenues. The Property is located in and surrounded by the CD-3 zoning district. Also, it is in the Flamingo Park Local Historic District. The Property is composed of multiple buildings and an open courtyard, which were built between 1928 and 1955. The subject buildings are classified as 'Contributing' within the Flamingo Park Local Historic District.

Proposed Development Program. The Applicant is proposing a renovation and addition to the existing historic structures that will accommodate a new hotel with 144 rooms. The renovation will consist of the demolition of the northwest building located along North Lincoln Lane and partial internal demolition to the existing structures to accommodate redevelopment on the site that will retain the existing contributing structures along Lincoln Road. The new construction will result in a seven (7) story building with a rooftop pool deck. The proposed development will result in 52,691 square feet of new construction and a total building area of 91,911 square feet.

The development will include the maintenance and renovation of the existing structures fronting on Lincoln Road, along with the renovation and expansion of the

existing internal courtyard located on the Property. The ground level will remain retail with hotel lobby located on the northern portion of the Property with primary access via North Lincoln Lane.

Conditional Use Request. As the total size of the new construction exceeds 50,000 square feet, the project requires conditional use approval from the Planning Board pursuant to Section 142-303(a)(10) of the City Code (the "Code").

(i) General Guidelines for Conditional Uses. Pursuant to Code Section 118-192(a), review and approval of conditional uses includes evaluation of the proposed use in relation to the following guidelines:

(1) The use is consistent with the comprehensive plan or neighborhood plan if one exists for the area in which the property is located.

The hotel project with ground level retail is consistent with the comprehensive plan and permitted by the underlying CD-3 district regulations.

(2) The intended use or construction will not result in an impact that will exceed the thresholds for the levels of service as set forth in the comprehensive plan.

The construction of the Project is not expected to have any negative impact in excess of the thresholds of level of service for the surrounding roadways and intersections provided for in the comprehensive plan. A traffic study included with the application materials concludes that the proposed project will not adversely impact the traffic in the area.

(3) Structures and uses associated with the request are consistent with these land development regulations.

The hotel project with ground level retail is consistent with the comprehensive plan and permitted by the underlying CD-3 district regulations.

(4) The public health, safety, morals, and general welfare will not be adversely affected.

This redevelopment will benefit the community by promoting the preservation and revitalization of the contributing historic structures and beautifying the Property. With the expansion of the Miami Beach Convention Center, increased hotel use is needed in this area. The tasteful

architecture and enhanced pedestrian experience will attract retailers and spur daytime foot traffic. The new uses created will generate jobs and increase the tax base, thereby stimulating the local economy and jumpstarting consumer activity.

(5) Adequate off-street parking facilities will be provided.

The proposed development is consistent with the parking regulations for the district. The hotel component will have a covered drop-off/pick-up location along North Lincoln Lane for valet and ride-share services.

(6) Necessary safeguards will be provided for the protection of surrounding property, persons, and neighborhood values.

The Applicants' design team has taken great care to design a quality development that will provide for the safety and security of the entire area. The inclusion of the pick-up/drop-off along North Lincoln Lane will ensure that hotel vehicular activity circulate along the less active North Lincoln Lane. The Applicants will be implementing all necessary tools to mitigate any potential harmful effects, including operational constraints such as limited hours for loading operations. Building and façade articulation ensure a beautiful development that is compatible with the district and with the ground level.

(7) The concentration of similar types of uses will not create a negative impact on the surrounding neighborhood. Geographic concentration of similar types of conditional uses should be discouraged.

The redevelopment of the Property will complement and enhance the existing retail use and bring needed activity to the Lincoln Road commercial corridor. The hotel use is also needed to accommodate the newly expanded Miami Beach Convention Center.

(ii) Supplemental Review Criteria for New Construction. Pursuant to Code Section 118-192(b) of the Code, the Planning Board's review of an application for conditional use for new structures 50,000 square feet and over considers the following supplemental review guidelines:

(1) Whether the proposed business operations plan has been provided, including hours of operation, number of employees, goals of business, and other operational

characteristics pertinent to the application, and that such plan is compatible with the neighborhood in which it is located.

An Operations Plan has been provided with the Application.

- (2) Whether a plan for the mass delivery of merchandise has been provided, including the hours of operation for delivery trucks to come into and exit from the neighborhood and how such plan will mitigate any adverse impacts to adjoining and nearby properties, and neighborhood.**

The Applicant proposed two off-street loading spaces at the rear of the Property on Lincoln Road. Additional loading to accommodate the proposed hotel development will utilize on-street loading pursuant to approval by the parking department and waiver by the Historic Preservation Board as provided in Section 130-101(D). There is a commercial loading zone on Michigan Avenue just east of the Property, which will also be used for loading. Additional conditions regarding times of deliveries will be addressed through the traffic study review.

- (3) Whether the scale of the proposed use is compatible with the urban character of the surrounding area and create adverse impacts on the surrounding area, and how the adverse impacts are proposed to be addressed.**

The scale of the proposed hotel use is compatible with the urban character of Lincoln Road which exists and is being further encouraged. Further the hotel use is complementary to the expanded Miami Beach Convention Center, and will serve as a needed additional option for visitors along with the larger Miami Beach Convention Center Hotel. The high quality development and street activation are in line with the character of the area. The design of the structure ensures that the Project's massing does not impact the context and scale of the surrounding built environment.

- (4) Whether the proposed parking plan has been provided, including where and how the parking is located, utilized, and managed, that meets the required parking and operational needs of the structure and proposed uses.**

The proposed use will not require any off-street parking and all parking will be provided through valet parking. The traffic study addresses the proposed valet parking operation, including valet storage, impact on circulation and number of valet runners.

(5) Whether an indoor and outdoor customer circulation plan has been provided that facilitates ingress and egress to the site and structure.

The Project is designed to allow for maximum pedestrian activity and access to the retail along the street frontages along Lincoln Road. The Applicant has maximized efficiency of circulation and use on the Property by making the vehicular access and primary entrance for the hotel along North Lincoln Lane. Additionally, the maintenance and expansion of the internal courtyard will serve as publicly accessible space that will include access to the hotel. The Applicant has maximized the amount of retail on the first floor to service the pedestrian activity.

(6) Whether a security plan for the establishment and supporting parking facility has been provided that addresses the safety of the business and its users and minimizes impacts on the neighborhood.

Safety on the Property will be maintained by onsite security personnel, as well as a comprehensive security system employing video camera monitoring within all areas throughout the Property.

(7) Whether a traffic circulation analysis and plan has been provided that details means of ingress and egress into and out of the neighborhood, addresses the impact of projected traffic on the immediate neighborhood, traffic circulation pattern for the neighborhood, traffic flow through immediate intersections and arterials, and how these impacts are to be mitigated.

The Applicants have engaged a traffic engineer to determine the effect of the Project on the roads and traffic. The Applicant has met with the City's Transportation Department and has already submitted the required traffic study.

(8) Whether a noise attenuation plan has been provided that addresses how noise will be controlled in the loading zone, parking structures and delivery and sanitation areas, to minimize adverse impacts to adjoining and nearby properties.

A noise study was not required with this application.

(9) Whether a sanitation plan has been provided that addresses on-site facilities as well as off-premises issues resulting from the operation of the structure.

The Applicants will contract with a waste collection company for refuse collection as needed during daytime hours only from a trash room with direct access to Michigan Court. Internally, cleaning and maintenance staff will monitor the Property and its adjoining rights-of-way to maintain the areas clean and free from debris.

(10) Whether the proximity of the proposed structure to similar sized structures and to residential uses creates adverse impacts and how such impacts are mitigated.

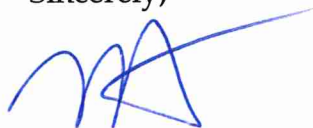
The scale of the proposed hotel use is compatible with the urban character of Lincoln Road which exists and is being further encouraged. Further the hotel use is complementary to the expanded Miami Beach Convention Center, and will serve as a needed additional option for visitors along with the larger Miami Beach Convention Center Hotel. The high quality development and street activation are in line with the character of the area. The design of the structure ensures that the Project's massing does not impact the context and scale of the surrounding built environment.

(11) Whether a cumulative effect from the proposed structure with adjacent and nearby structures arises, and how such cumulative effect will be addressed.

This urban, mixed-use area is active with a variety of uses, pedestrian activity and automobile activity. As already approved, the Proposed Development will add to this environment and service the area without negative impact by improving vehicular access and circulation, providing all required parking on-site and providing ample bicycle parking.

Conclusion. These variances are the minimum required to permit the restoration and redevelopment of the historic Sterling Building on Lincoln Road, which has already obtain a Certificate of Appropriateness from the Historic Preservation Board. If you have any questions or comments, please call me at 305-377-6238.

Sincerely,



Michael J. Marrero

PLANNING DEPARTMENT

1700 Convention Center Drive, Miami Beach, Florida 33139; Tel: 305.673.7550; Web: www.miamibeachfl.gov/planning

BOARD APPLICATION CHECKLIST

A Pre-Application meeting must be scheduled via CAP to obtain a plan case number and for board staff review of all submittals.

Pre-Application meetings for applications that do not require a traffic study are scheduled on a first come-first served basis and must occur no later than five (5) business days prior to CAP First submittal.

Applications requiring a traffic study must meet with the Transportation Department and peer reviewer thirty (30) calendar days prior to the CAP First Submittal deadline to determine the methodology for the traffic impact study and obtain the Transportation Department's checklist. Fifteen (15) days prior to the First submittal the applicant must submit the traffic study via CAP. Seven (7) days prior to First submittal the Transportation Department/Peer Reviewer will provide first round of comments to the applicant. The applicant must address the comments and submit revised traffic study/plans by the CAP First Submittal deadline including a narrative responding to Transportation/Peer Reviewer comments.

Incomplete, or submittals found to be insufficient will not be placed on a Board agenda.

Property address: 927 Lincoln Road Board: HPB Date: 8/16/2019

ITEM #	ITEM DESCRIPTION	REQUIRED
CAP FIRST SUBMITTAL To be uploaded online (CAP) by the applicant before 12:00 pm by First submittal deadline. ALL PLANS MUST BE DIMENSIONED AND LEGIBLE. INCLUDE A GRAPHIC SCALE.		
1	Application Fee and Peer review fees shall be paid after Pre-Application meeting and before the First submittal. It is the applicant's responsibility to make this payment, if an invoice is not generated by the CAP system, the applicant should contact staff prior to first submittal to be invoiced and make payment.	✓
a	Is the property the primary residence & homestead of the applicant/property owner? (If yes, provide office of the Property Appraiser Summary Report).	✓
2	Copy of signed and dated check list issued at Pre-Application meeting.	✓
3	Completed Board Application, Affidavits & Disclosures of Interest (original signatures).	✓
4	Signed and dated Letter of Intent. Letter must outline application details and identify hardships if Variances are requested. (see also Items # 42,43 and 44).	✓
5	Mailing Labels: Upload property owner's list and copy of original certified letter from provider. See #52 for submittal of Hard copy / originals of these items.	✓
6	Copies of all current or previously active Business Tax Receipts.	
7	School Concurrency Application for projects with a net increase in residential units (no SFH). Provide Planning Department - Miami Dade - School Concurrency Application for Transmittal	
8	Survey: Electronic version of original signed & sealed, dated no more than six months from date of application. Survey must provide: lot area, grade per Section 114-1 of the City Code. (If no sidewalk exists, provide the elevation of the crown of the road) and spot elevations.	✓
9	Architectural Plans and Exhibits (must be 11"x 17")	✓
a	Cover Sheet with bullet point scope of work, clearly labeled "First Submittal" and dated with First Submittal deadline date. Include copies of previous recorded board orders, if applicable.	✓

Property address: 927 Lincoln RoadBoard: HPBDate: 8/16/2019

ITEM #	ITEM DESCRIPTION	REQUIRED
b	Copy of the original survey included in plan package. See No. 8 above for survey requirements	✓
c	All Applicable Zoning Information (Use Planning Department zoning data sheet format).	✓
d	Context Location Plan, Min 8.5"x11" Color Aerial 1/2 mile radius, identifying project and showing name of streets. (no Google images)	✓
e	Full legal description of the property if not included in survey (for lengthy legal descriptions, attach as a separate document - label clearly).	✓
f	Existing FAR Shaded Diagrams (Single Family Districts: Unit Size and Lot Coverage Shaded Diagrams), if applicable	✓
g	Proposed FAR Shaded Diagrams (Single Family Districts: Unit Size and Lot Coverage Shaded Diagrams), if applicable.	✓
h	Site Plan (fully dimensioned with setbacks, existing and proposed, including adjacent right-of-way widths).	✓
i	Current color photographs, dated, Min 4"x 6" of project site and existing structures (no Google images)	✓
j	Current, color photographs, dated, Min 4"x6" of interior space (no Google images)	✓
k	Current color photographs, dated, Min 4"x 6" of context, corner to corner, across the street and surrounding properties with a key directional plan (no Google images)	✓
l	Existing Conditions Drawings (Floor Plans & Elevations with dimensions). Number of seats, furniture layout if applicable	✓
m	Demolition Plans (Floor Plans & Elevations with dimensions)	✓
n	Proposed Floor Plans and Roof Plan, including mechanical equipment plan and section marks. Plans shall indicate location of all property lines and setbacks.	✓
o	Proposed Elevations, materials & finishes noted (showing grade, base flood elevation, heights in NGVD values and free board if applicable)	✓
p	Proposed Section Drawings	✓
q	Color Renderings (elevations and three dimensional perspective drawings).	✓
10	Landscape Plans and Exhibits (must be 11"x 17")	✓
a	Landscape Plan - street and onsite - identifying existing, proposed landscape material, lighting, irrigation, raised curbs, tree survey and tree disposition plan, as well as underground and overhead utilities when street trees are required.	✓
b	Hardscape Plan, i.e. paving materials, pattern, etc.	✓
11	Copy of original Building Permit Card, & Microfilm, if available.	
12	Copy of previously approved building permits (provide building permit number) and/or Board Orders.	
13	Existing and Proposed detailed topographic survey depicting existing spot grades (NAVD) as well as all underground/overhead utilities and easements/agreements with recording data. See Part 1 / Section 1 / A. Surveying & Mapping Standards and submittal Requirements of the Public Works Manual. http://www.miamibeachfl.gov/publicworks/engineering/engineeringmanual.aspx?id=12920	
14	Vacant/Unoccupied structures or sites shall provide recent photographic evidence that the site and structure are secured and maintained. The applicant shall obtain and post a No Trespassing Sign from the City's Police Dept.	

Property address: 927 Lincoln RoadBoard: HPBDate: 8/16/2019

ITEM #	ITEM DESCRIPTION	REQUIRED
15	Historic Resources Report (This report shall include, but not be limited to, copy of the original Building Permit Card and subsequent modifications, Microfilm records, existing condition analysis, photographic and written description of the history and evolution of the original building on the site, all available historic data including original plans, historic photographs and permit history of the structure and any other related information on the property.	✓
16	Contextual Elevation Line Drawings, corner to corner, across the street and surrounding properties (dated).	✓
17	Line of Sight studies.	
18	Structural Analysis of existing building including methodology for shoring and bracing.	
19	Proposed exterior and interior lighting plan, including photometric calculations.	
20	Exploded Axonometric Diagram (showing second floor in relationship to first floor).	
21	Neighborhood Context Study. (Planning will provide guidance if necessary for application.)	
22	Required yards open space calculations and shaded diagrams.	
23	Required yards section drawings.	
24	Variance and/or Waiver Diagram	✓
25	Schematic signage program	
26	Detailed sign(s) with dimensions and elevation drawings showing exact location.	
27	Elevation drawings showing area of building façade for sign calculation (Building ID signs).	
28	Daytime and nighttime renderings for illuminated signs.	
29	Floor Plan Indicating area where alcoholic beverages will be displayed.	
30	Survey showing width of the canal (Dimension shall be certified by a surveyor)	
31	Site Plan showing total projection of structures from seawall, location and dimension of all structures inclusive of dock, mooring piles, boat lift, etc.	
32	DERM recommendation/preliminary approval. Docks or any structures shall have approval stamp from DERM or other regulatory agency before submitting for a variance. A letter from DERM or other agency, explaining specific requirements for the project is recommended.	
33	Technical specifications of the boat lift and/ or boat, ship of vessel to be docked or moored.	
34	Survey shall include spot elevations in rear yard and elevation points on the dune adjacent to the property. Provide highest elevation point on the dune within the property. Erosion control line and Bulkhead line shall be indicated if present.	
35	Scaled, signed, sealed and dated specific purpose survey (Alcohol License/Distance Separation) distance shown on survey with a straight line.	
36	Proposed Operational Plan: Include deliveries and trash pickup times, hours of operations, number of employees, security and restaurant menu (if applicable).	
37	Maneuvering plan for loading within the existing/proposed conditions, delivery and garbage trucks size (length and width).	
38	Traffic Study, Site plan(s) : Revised version and narrative addressing first round of comments from Transportation Department and peer review, provide a narrative. (See Transportation Department check list for requirements.)	✓
39	Sound Study report (Hard copy) with 1 CD.	
40	Site Plan (Identify streets and alleys)	
a	Identify: setbacks ✓ Height ✓ Drive aisle widths ✓ Streets and sidewalks widths ✓	

Property address: 927 Lincoln Road Board: HPB Date: 8/16/2019

ITEM #	ITEM DESCRIPTION	REQUIRED
b	# parking spaces & dimensions _____ Loading spaces locations & dimensions _____	
c	# of bicycle parking spaces _____	
d	Interior and loading area location & dimensions _____	
e	Street level trash room location and dimensions _____	✓
f	Delivery route _____ Sanitation operation _____ Valet drop-off & pick-up _____ Valet route in and out _____	
g	Valet route to and from _____ auto-turn analysis for delivery and sanitation vehicles _____	
h	Indicate any backflow preventer and FPL vault if applicable	✓
i	Indicate location of the area included in the application if applicable	
j	Preliminary on-street loading plan	✓
41	Floor Plan (dimensioned)	
a	Total floor area	
b	Identify # seats indoors _____ outdoors _____ seating in public right of way _____ Total _____	
c	Occupancy load indoors and outdoors per venue _____ Total when applicable _____	
42	The letter of Intent shall include and respond to all sea level rise and resiliency review criteria per section 133-50 of the City Code.	✓
43	The Letter of Intent for Variances shall include and respond to all review guidelines in the code as follows:	✓
a	Section 118-53 (d) of the City Code for each Variance.	✓
44	The Letter of Intent for Planning Board shall include and respond to all review guidelines in the code as follows:	✓
a	For Conditional Use -Section 118-192 (a)(1)-(7)	
b	CU - NIE and or outdoor Entertainment Establishments - Section 142-1362 (a)(1)-(9)	
c	CU - Mechanical Parking - Section 130-38 (3)(c)(i)(1)-(2) & (4)(a)-(k)	
d	CU - Structures over 50,000 SQ.FT. - Section 118-192 (b) (1)-(11)	✓
e	CU - Religious Institutions - Section 118-192 (c) (1)-(11)	
f	For Lot Splits - Section 118-321 (B) (1)-(6). Also see application instructions	
	Notes: The applicant is responsible for checking above referenced sections of the Code. If not applicable write N/A	
Other	Provide gross square footage calculation which includes all FAR habitable rooftops	✓
Other	Balconies etc	
Other	Provide restoration details	✓

****ADDITIONAL INFORMATION AS MAY BE REQUIRED AT THE PRE-APPLICATION MEETING**

7

Property address: 927 Lincoln Road Board: HPB Date: 8/16/2019

ITEM #	ITEM DESCRIPTION	REQUIRED
FINAL SUBMITTAL (CAP & PAPER) Plans should be clearly labeled "Final Submittal" and dated with Final Submittal deadline date. Final Submittal Documents must be uploaded to the CAP and hard copies must be submitted to the Planning Department prior to 12:00 P.M. on final submittal deadline. Staff will review and issue a notice to proceed or to continue submittal to a future meeting if the application is found incomplete.		
45	Traffic Study, Site plan(s): This is the final traffic study including any modifications required to address comments from the City's Transportation Department. City's required permit by FDOT should be obtained prior to Final submittal (via CAP).	
	PAPER FINAL SUBMITTAL:	
46	Original application with all signed and notarized applicable affidavits and disclosures.	✓
47	Original of all applicable items.	✓
48	One (1) signed and sealed 11"X17" bound, collated set of all the required documents.	✓
49	14 collated copies of all required documents	✓
50	One (1) CD/DVD with electronic copy of entire final application package (plans, application, Letter of Intent, traffic/sound study, etc.) see CD/DVD formatting attached, for instructions.	✓
51	Traffic Study (Hard copy)	
52	Mailing Labels -2 sets of gummed labels and a CD including: Property owner's list and Original certified letter from provider.	✓

ADDITIONAL INFORMATION AND ACKNOWLEDGEMENTS

- A. Other information/documentation required for First submittal will be identified during Pre-Application meeting but may be modified based on further analysis.
- B. It is the responsibility of the applicant to confirm that documents submitted via CAP, Paper Submittal sets (14 copies), and electronic version on CD are consistent with each other and legible.
- C. Plan revisions and supplemental documentation will not be accepted after the Final Submittal deadline
- D. All documents required for Board applications must be submitted in an electronic format (PDF) via CD in the manner prescribed herein. The CD is considered the "Formal Submission", and must include the electronic version of all hard copy documents associated with the application. A new Updated CD will be required if any modifications are made before or after hearing. Failure to comply with the aforementioned may result in a rehearing before the applicable board at the applicant's expense.
- E. Please note that the applicant will be required to submit revised plans pursuant to applicable Board Conditions no later than 60 days after Board Approval. (If applicable)

Sam Henzbers

Applicant or Designee's Name


Applicant or Designee's Signature

8/27/19

Date





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certified lists of property owners within a specific radius + radius maps + mailing labels + mailouts + notice of public hearing site posting
rdrmiami.com | diana@rdrmiami.com | 305.498.1614

August 28, 2019

City of Miami Beach
Planning Department
1700 Convention Center Dr.
Miami Beach, FL 33139

Re: Property owners within 375 feet of:

SUBJECT: 901 Lincoln Road, Miami Beach, FL 33139

FOLIO NUMBER: 02-3234-018-0030

LEGAL DESCRIPTION: 33 34 53 42 COMMERCIAL SUB PB 6-5 LOTS 5 & 6 BLK 37

SUBJECT: 927 Lincoln Road, Miami Beach, FL 33139

FOLIO NUMBER: 02-3234-018-0020

LEGAL DESCRIPTION: 33-34 53 42 COMMERCIAL SUB PB 6-5 LOTS 2 TO 4 INC BLK 37

This is to certify that the attached ownership list, map and mailing labels are a complete and accurate representation of the real estate property and property owners within 375 feet radius of the external boundaries of the subject property listed above, including the subject property. This reflects the most current records on file in the Miami-Dade County Property Appraisers' Office.

Sincerely,

Diana B. Rio

Total number of property owners without repetition: **167, including 4 international**

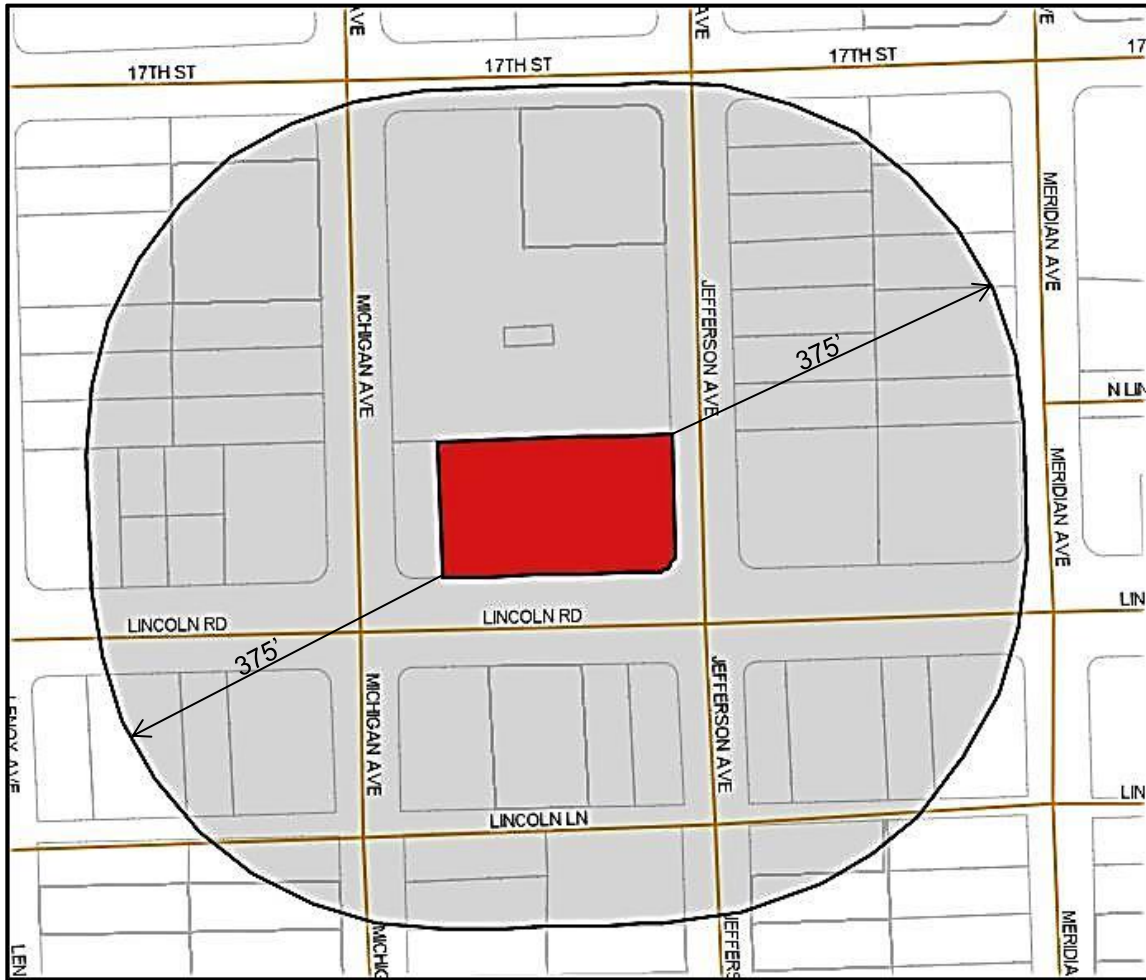


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certified lists of property owners within a specific radius + radius maps + mailing labels + mailouts + notice of public hearing site posting

rdrmiami.com | diana@rdrmiami.com | 305.498.1614

375' RADIUS MAP



SUBJECT: 901 Lincoln Road, Miami Beach, FL 33139

FOLIO NUMBER: 02-3234-018-0030

LEGAL DESCRIPTION: 33 34 53 42 COMMERCIAL SUB PB 6-5 LOTS 5 & 6 BLK 37

SUBJECT: 927 Lincoln Road, Miami Beach, FL 33139

FOLIO NUMBER: 02-3234-018-0020

LEGAL DESCRIPTION: 33-34 53 42 COMMERCIAL SUB PB 6-5 LOTS 2 TO 4 INC BLK 37

Name	Address	City	State	Zip	Country
818 LINCOLN INVESTMENTS LLC	3510 ST JOSEPH BOUL EAST	MONTREAL QUEBEC H1X 1W6			CANADA
ALBAN COLSON	164 AVENUE DU DIX SEPTEMBRE	L2550 LUXEMBOURG			LUXEMBOURG
SAMEER MERCHANT	18 HARBOUR ST #1110	TORONTO ONT M5J 2Z6			CANADA
ZOE WALTERS	106 SKIPPER WAY	PAXTON PE196LQ			UKRAINE
1000 LINCOLN ROAD LLC	1000 LINCOLN RD STE 210	MIAMI BEACH	FL	33139	USA
1020 LINCOLN ROAD LLC	1000 LINCOLN ROAD SUITE 210	MIAMI BEACH	FL	33139	USA
1024 LINCOLN ROAD LLC	1407 BROADWAY 41ST FLOOR	NEW YORK	NY	10018	USA
1680 COSTA LLC C/O DANIEL WARMAN	7800 SW 57 AVE STE 310	MIAMI	FL	33143	USA
1680 LLC	1060 KANE CONCOURSE	BAY HARBOR ISLANDS	FL	33154	USA
1680 MICHIGAN AVE 908AB LLC C/O R MAXWELL SHEINER	210 NE 11 AVE NE	SAINT PETERSBURG	FL	33701-1949	USA
1680 MICHIGAN AVE LLC SUITE 810 LLC	1680 MICHIGAN AVE SUITE 810	MIAMI BEACH	FL	33139	USA
1680 MICHIGAN AVE LLC SUITE 810	360 W ILLINOIS ST #605	CHICAGO	IL	60654	USA
1680 SM PROPERTIES LLC	1060 KANE CONCOURSE	BAY HARBOR ISLANDS	FL	33154	USA
1685 JEFFERSON LLC C/O OCTAZON MANAGEMENT LLC	1835 MIAMI GARDENS DR #176	NORTH MIAMI BEACH	FL	33179	USA
1698 JEFFERSON LLC	121 S ORANGE AVE 940	ORLANDO	FL	32801	USA
1698 JEFFERSON LLC	121 W ORANGE AVE 940	ORLANDO	FL	32801	USA
17TH ST PARTNERS LLC	230 FIFTH ST	MIAMI BEACH	FL	33139-6602	USA
28 X INC	1680 MICHIGAN AVE #910	MIAMI BEACH	FL	33139	USA
440 SOMMA LLC	1680 MICHIGAN AVE #913	MIAMI BEACH	FL	33139	USA
440 SOMMA LLC	411 MICHIGAN AVE	MIAMI BEACH	FL	33139	USA
805 MICHIGAN AVE LLC	1680 MICHIGAN AVE #805	MIAMI BEACH	FL	33139	USA
901 MICHIGAN LLC	1680 MICHIGAN AVE STE 901	MIAMI BEACH	FL	33139	USA
910 LINCOLN LLC C/O INVESCO ADVISORS INC	13155 NOEL RD STE 500	DALLAS	TX	75240	USA
918 STAR LLC C/O TRICAP	590 MADISON AVE 21 FLOOR	NEW YORK	NY	10022	USA
918 STAR LLC C/O TRISTAR CAPITAL	510 LINCOLN RD	MIAMI BEACH	FL	33139	USA
940 LINCOLN RD ENTERPRISES INC	940 LINCOLN RD STE 301	MIAMI BEACH	FL	33139-2627	USA
947 LINCOLN ROAD HOLDINGS LLC	667 MADISON AVE 12 FL	NEW YORK	NY	10065	USA
ALEKSEI STALNOV	1618 MICHIGAN AVE #26	MIAMI BEACH	FL	33139	USA
ALEKSEI STALNOV	1618 MICHIGAN AVE #27	MIAMI BEACH	FL	33139	USA
ALESSANDRA NGUYEN MANORY PRES	1618 MICHIGAN AVE #38	MIAMI BEACH	FL	33139	USA
ALLISON MANAGEMENT INC	1680 MICHIGAN AVE PH 3	MIAMI BEACH	FL	33139-2514	USA
ALMA PROP INC	2650 BISCAYNE BLVD	MIAMI	FL	33137-4531	USA
AMANDA B CAMARA	1698 JEFFERSON AVE #50	MIAMI BEACH	FL	33139	USA
ANA ARRISAO ALONSO JTRS ANA MARIA ALONSO JTRS	1698 JEFFERSON AVE # 12-A	MIAMI BEACH	FL	33139	USA
ANDREW HARROW SUSAN HARROW	6504 SEABIRD WAY	APOLLO BEACH	FL	33572	USA
ARILOU LLC	1680 MICHIGAN AVE STE #1014	MIAMI BEACH	FL	33139	USA
ARMANDO ALVAREZ	1698 JEFFERSON AVE UNIT 18	MIAMI BEACH	FL	33139-7639	USA
ASPEN PARTNERS 1680 LLC	5415 COLLINS AVE #302	MIAMI BEACH	FL	33140-2556	USA
BAMAX CORP	1444 BISCAYNE BLVD # 306	MIAMI	FL	33132	USA
BAMAX CORP	1616 JEFFERSON AVE #20	MIAMI BEACH	FL	33139	USA
BACHELOR FOUNDATION INC	1680 MICHIGAN AVE PH1	MIAMI BEACH	FL	33139-2514	USA
BENK USA LLC	3056 M ST 3 FLR	GEORGETOWN	DC	20007	USA
BLOWN UP LLC	1680 MICHIGAN AVE #1001A	MIAMI BEACH	FL	33139-2549	USA
BLOWN UP LLC	1680 MICHIGAN AVE #1001B	MIAMI BEACH	FL	33139-2549	USA
BLOWN UP LLC	1680 MICHIGAN AVE #1001C	MIAMI BEACH	FL	33139-2549	USA

BLOWN UP LLC	1680 MICHIGAN AVE #1001D	MIAMI BEACH	FL	33139-2549	USA
BOBBY BELL TRS BELL FAMILY TRUST CECILIA BELL TRS	2615 LARKIN ST	SAN FRANCISCO	CA	94109	USA
CAMILLE PUJOS C/O BARNES INTER PROP CONSULTAN	1150 SW 22 ST	MIAMI	FL	33129	USA
CARE RESOURCE COMMUNITY HEALTH CENTERS INC	1680 MICHIGAN AVE 912	MIAMI BEACH	FL	33139	USA
CAREL WORLDWIDE HOLDING CO	9316 BAY DR	SURFSIDE	FL	33154	USA
CARLOS A ZEVALLOS JR	1618 MICHIGAN AVE #36	MIAMI BEACH	FL	33139-2537	USA
CARLOS FERNANDO PENA MORA WANDA I MATIAS	1698 JEFFERSON AVE # 14	MIAMI BEACH	FL	33139	USA
CHRISTOPHER HANDLEY	1698 JEFFERSON AVE #15	MIAMI BEACH	FL	33139-7639	USA
CIRCLE BENEFIT CORP	1000 5 ST SUITE 229	MIAMI BEACH	FL	33139	USA
CITY OF MIAMI BEACH	1130 WASHINGTON AVE	MIAMI BEACH	FL	33139	USA
CITY OF MIAMI BEACH	1700 CONVENTION CENTER DR	MIAMI BEACH	FL	33139	USA
CLPF LINCOLN LLC LEASEE C/O CLARION PARTNERS LLC CITY MIAMI BCH ECON DEV LESSOR	1440 NEW YORK AVENUE NW STE 200	WASHINGTON	DC	20005	USA
DAMI ENTERPRISES LLC	55 PASSAIC AVE	KEARNY	NJ	07032	USA
DAVANESS LLC	2292 CORAL WAY	CORAL GABLES	FL	33145-3509	USA
DIEB INVEST LLC	1619 JEFFERSON AVE #4	MIAMI BEACH	FL	33139	USA
DORSTEN HOLDINGS CORP	5959 COLLINS AVE 1705	MIAMI BEACH	FL	33140	USA
DSD CAPITAL LLC	20801 BISCAYNE BLVD STE 431	AVENTURA	FL	33180	USA
EDGARDO MARIN	1618 MICHIGAN AVE #8	MIAMI BEACH	FL	33139	USA
ELIZABETH A PICOT DANIEL PICOT	168 MARTELLO DR	ST AUGUSTINE	FL	32092	USA
EVA LUISI	20 PINECREST RD	JERSEY CITY	NJ	07305	USA
FEDO LLC	1112 N MIAMI AVE 2 FL	MIAMI	FL	33136	USA
FILIPA LLC	650 NE 52 TER	MIAMI	FL	33137	USA
FIVE POINTS METROPOLITAN LLC	730 12 ST #11	MIAMI BEACH	FL	33139	USA
FMS 5 LLC	9 ISLAND AVE 2409	MIAMI BEACH	FL	33139	USA
FRANCISCO REGO	1619 JEFFERSON AVE #18	MIAMI BEACH	FL	33139-7629	USA
GLOBAL MGMT AND CONSULTING LLC	2203 AVE X	BROOKLYN	NY	11235	USA
GM INVESTMENTS ENTERPRISES LLC	1200 WEST 49 ST	HIALEAH	FL	33012	USA
GMJ GROUP LLC	3360 NE 170 ST	NORTH MIAMI BEACH	FL	33160	USA
GOMBINSKI PROPERTIES LTD PTNSH % STEVEN GOMBINSKI	3737 COLLINS AVE PH2	MIAMI BEACH	FL	33140	USA
GREGORY ULTO	1481 EAST 45 ST	BROOKLYN	NY	11234	USA
GRF INVESTMENTS LLC	737 E ATLANTIC BLVD	POMPANO BEACH	FL	33060	USA
HORTENSIA PEREZ	1698 JEFFERSON AVE 38	MIAMI BEACH	FL	33139-7640	USA
HUGO FERNANDEZ	1698 JEFFERSON AVE #49	MIAMI BEACH	FL	33139-7640	USA
IM JEFFERSON LLC	530 SW 24 RD	MIAMI	FL	33129	USA
INVAMIAMI INC	235 LINCOLN RD 310	MIAMI BEACH	FL	33139	USA
ISABELLA ARCHER TRS ISABELLA ARCHER TRUST	1698 JEFFERSON AVE 37	MIAMI BEACH	FL	33139	USA
ITAMAR MAKMAL	1619 JEFFERSON AVE #8	MIAMI BEACH	FL	33139	USA
IVY MBT PROPERTY LLC C/O IVY REALTY	102 CHESTNUT RIDGE RD STE 204	MONTVALE	NJ	07645	USA
JEFFREY W CHUNG PORNPUN V MARISI	1698 JEFFERSON AVE APT 1	MIAMI BEACH	FL	33139	USA
JOSE M GABILONDO JR	1698 JEFFERSON AVE #34	MIAMI BEACH	FL	33139-7640	USA
JOSE Y VAZQUEZ &W LINDA S VAZQUEZ	200 PARK AVE SOUTH 8TH FLR	NEW YORK	NY	10003	USA
JOSE YUL VAZQUEZ C/O ALTMAN GREENFIELD ET AL LINDA S VAZQUEZ	200 PARK AVE S 8 FLOOR	NEW YORK	NY	10003	USA
JOSEPH MICHAEL ARISSO	1841 SW 92 PL	MIAMI	FL	33165	USA
JUAN M MACIAS &W NELLY C MACIAS	5600 COLLINS AVE 16-H	MIAMI BEACH	FL	33140-2416	USA
JULIANNE M LAKE &H RYAN M POGOZALSKI	10 FOREST HILL DR	HYDE PARK	OH	45208	USA
JUSTIN PANZARELLA	1698 JEFFERSON AVE #22	MIAMI BEACH	FL	33139	USA

KATHLEEN M VIVAS	1618 MICHIGAN AVE 34	MIAMI BEACH	FL	33139	USA
LCKME LLC	285 N COCONUT LN	MIAMI BEACH	FL	33139	USA
LEANDRO GARCIA	1698 JEFFERSON AVE UNIT 23	MIAMI BEACH	FL	33139	USA
LENEX AVE I LLC C/O MERCHANTS NATL PROPERTIES INC	708 THIRD AVE	NEW YORK	NY	10017	USA
LINCOLN 845 LLC % JENEL MGMT CORP	275 MADISON AVE # 702	NEW YORK	NY	10016	USA
LITOIL CORPORATION	900 BISCAYNE BLVD # 601	MIAMI	FL	33132	USA
LUCINDA MARIA ALONSO	1698 JEFFERSON AVE UNIT 33	MIAMI BEACH	FL	33139	USA
LUCY A ARITA	1698 JEFFERSON AVE #48	MIAMI BEACH	FL	33139-7640	USA
LUXE LIVING REALTY LLC	1680 MICHIGAN AVE STE 100	MIAMI BEACH	FL	33139-2519	USA
MAEVA LLC	15805 BISCAYNE BLVD STE 104	NORTH MIAMI BEACH	FL	33160	USA
MAGDIEL PADRON MARTHA CHINEA	1698 JEFFERSON AVE # 21	MIAMI BEACH	FL	33139	USA
MARIA B GALANO MAUGHAN	1698 JEFFERSON AVE #10	MIAMI BEACH	FL	33139	USA
MARIA B DE LA CAMARA LE REM MARIA BEATRIZ GALANO CONRADO ALPIZAR EST OF	1698 JEFFERSON AVE 7	MIAMI BEACH	FL	33139	USA
MARIA E ALVAREZ	1698 JEFFERSON AVE # 19	MIAMI BEACH	FL	33139	USA
MARIA ELENA ALVAREZ ARMANDO ERNESTO ALVAREZ	1698 JEFFERSON AVE 16	MIAMI BEACH	FL	33139	USA
MARK I INVESTMENTS USA LLC	1680 MICHIGAN AVE #803	MIAMI BEACH	FL	33139	USA
MARY J HOLLAND	1698 JEFFERSON AVE #24	MIAMI BEACH	FL	33139-7639	USA
MCEWAN CORPORATION	1680 MICHIGAN AVE #700	MIAMI BEACH	FL	33139	USA
MEISL USA LLC	1618 MICHIGAN AVE #21	MIAMI BEACH	FL	33139-2535	USA
MHUB MIAMI LLC	1680 MICHIGAN AVE #800	MIAMI BEACH	FL	33139	USA
MICHAEL P KANAMINE	1618 MICHIGAN AVE #7	MIAMI BEACH	FL	33139	USA
MICHIGAN HAUS 22 LLC	1896 TIGERTAIL AVE	MIAMI	FL	33133	USA
MICHIGAN HAUS 32 LLC	1896 TIGERTAIL AVE	MIAMI	FL	33133	USA
MOSHE SAS DALIA SAS	290-174 ST UNIT 1805	SUNNY ISLES BEACH	FL	33160	USA
MYESTATES II CORP C/O SHUTTS & BOWEN LLP	201 S BISCAYNE BLVD #1500	MIAMI	FL	33131	USA
NAHLA APARTMENTS LLC	1500 BAY RD UNIT 1464S	MIAMI BEACH	FL	33139	USA
NAHLA USA PROPERTIES LLC	1500 BAY RD 1464S	MIAMI BEACH	FL	33139	USA
NATIVIDAD TALAMAS	1698 JEFFERSON AVE #32	MIAMI BEACH	FL	33139-7640	USA
NAWAL DEUTSCH AKRAM ELFEKI AHMED ELFEKI	1698 JEFFERSON AVE #20	MIAMI BEACH	FL	33139	USA
NICOLAS PITSILOS	13 BLACK WALNUT	PALOS PARK	IL	60464	USA
NORMA 1922 CORP	3370 MARY STREET	MIAMI	FL	33133	USA
OSCAR CAMARA JTRS OSCAR J CAMARA JTRS	1698 JEFFERSON AVE APT 31	MIAMI BEACH	FL	33139	USA
PATRICE REGNIER C/O MIAMI REALTY GROUP NATHALIE REGNIER	90 ALTON RD TH SOUTH	MIAMI BEACH	FL	33139	USA
PAWEL DOMALIK	1698 JEFFERSON AVE # 4	MIAMI BEACH	FL	33139	USA
PJUR GROUP USA LLC	1680 MICHIGAN AVE #920	MIAMI BEACH	FL	33139-2550	USA
PLAYA RETAIL INVESTMENTS LLC	270 BISCAYNE BLVD WAY STE 201	MIAMI	FL	33131	USA
PPF MBL PORTFOLIO LLC C/O LINCOLN ROAD MM LLC	801 ARTHUR GODFREY RD STE 600	MIAMI BEACH	FL	33140	USA
PPF MBL PORTFOLIO LLC (LESSEE) C/O LINCOLN ROAD MM LLC THE SALVATION ARMY (FEE HOLDER)	801 ARTHUR GODFREY RD STE 600	MIAMI BEACH	FL	33140	USA
PRESENT LIGHT HOLDINGS LLC	7950 ABBOTT AVE APT 5	MIAMI BEACH	FL	33141-2628	USA
RAYMOND XU YAPING CHEN	3463 WINDY KNOLL LN	CARMEL	IN	46074	USA
RC LINCOLN RD HOLDINGS LLC C/O CROWN	767 FIFTH AVENUE #24 FLR	NEW YORK	NY	10153	USA
REYNOLD L STONE &W ANN E STONE	1698 JEFFERSON AVE #27	MIAMI BEACH	FL	33139	USA
ROMINA NAPARSTEK JOAQUIN CANO FERNANDEZ DELGADO	1698 JEFFERSON AVE # 29	MIAMI BEACH	FL	33139	USA
S G J HOLDINGS INC	13075 MIRANDA ST	MIAMI	FL	33156	USA
SALEM PROPERTIES CORP	5640 COLLINS AVE APT 5C	MIAMI BEACH	FL	33140	USA
SAM STRAUCH LLC	1750 JAMES AVE #3A	MIAMI BEACH	FL	33139-7500	USA

SIIF LLC	927 LINCOLN RD 200	MIAMI BEACH	FL	33139	USA
SILVIA DISDERI	830 SW 9 STREET CIR 201	BOCA RATON	FL	33486	USA
SILVINA BELMONTE	1619 JEFFERSON AVENUE #24	MIAMI BEACH	FL	33139	USA
SOBE HOMES LLC	300 BAYVIEW DR 1007	SUNNY ISLES BEACH	FL	33160	USA
SOBE PARTNERSHIP LLC	1770 NORTH BAYSHORE DR 3512	MIAMI	FL	33132	USA
SONIA BARROS	1619 JEFFERSON AVE 27	MIAMI BEACH	FL	33139	USA
SOUTH BEACH CONSULTING INC	4045 SHERIDAN AVE #395	MIAMI BEACH	FL	33139	USA
SOUTH BEACH TRISTAR 800 LLC TRICAP	590 MADISON AVE 21 FLOOR	NEW YORK	NY	10022	USA
SOUTH FLORIDA ART CENTER INC	924 LINCOLN RD #205	MIAMI BEACH	FL	33139	USA
SOUTH FLORIDA ART CENTER INC	924 LINCOLN RD UNIT	MIAMI BEACH	FL	33139-2602	USA
SOUTH FLORIDA ART CENTER INC	924 LINCOLN RD UNIT 1B	MIAMI BEACH	FL	33139-2602	USA
SOUTH FLORIDA ART CENTER INC	924 LINCOLN RD UNIT 3B	MIAMI BEACH	FL	33139-2602	USA
STEPHEN H BOURIE &W MICHELLE A BOURIE	1698 JEFFERSON AVE #44	MIAMI BEACH	FL	33139	USA
SUITE 1015 LLC	1680 MICHIGAN AVE	MIAMI BEACH	FL	33139	USA
SUITE 817 LLC	814 W DILIDO DR	MIAMI BEACH	FL	33139	USA
SUPER LINCOLN LLC	3801 COLLINS AVE L4	MIAMI BEACH	FL	33140	USA
SUSAN GOLDSTEIN	1311 BRIGHTWATER #2B	BROOKLYN	NY	11235	USA
SUSANA PENA PEDRO PABLO PORBEN	938 MANITOBA DR	BOWLING GREEN	OH	43402	USA
THALLY INC	1619 JEFFERSON AVE APT 11	MIAMI BEACH	FL	33139-7602	USA
THE ALLAN & MILDRED BERK FAMILY LIMITED PARTNERSHIP	8905 SW 61 CT	MIAMI	FL	33156-1944	USA
THE STERLING BUILDING INC	927 LINCOLN RD #214	MIAMI BEACH	FL	33139-2606	USA
THOMAS MICHAEL REIMANN	1698 JEFFERSON AVE #8	MIAMI BEACH	FL	33139-7639	USA
THOMAS SONGIN	1698 JEFFERSON AVE UNIT 46	MIAMI BEACH	FL	33139	USA
TMAR ALLIANCE CORP	1680 MICHIGAN AVE #735	MIAMI BEACH	FL	33139	USA
TYMOR BRIK	18001 OLD CUTLER RD STE 600	PALMETTO BAY	FL	33157-6444	USA
TYPHOON PROPERTIES LLC	1680 MICHIGAN AVE #1000A	MIAMI BEACH	FL	33139	USA
TYPHOON PROPERTIES LLC	300 S POINTE DR #703	MIAMI BEACH	FL	33139	USA
VERONICA F SASPE	1698 JEFFERSON AVE 43	MIAMI BEACH	FL	33139	USA
VIVIAN BEATRIZ GONZALEZ	6481 SW 85 ST	MIAMI	FL	33143-7939	USA
ZEVEN USA LLC	18501 PINES BLVD 207	PEMBROKE PINES	FL	33029	USA

818 LINCOLN INVESTMENTS LLC
3510 ST JOSEPH BOUL EAST
MONTREAL QUEBEC H1X 1W6
CANADA

ALBAN COLSON
164 AVENUE DU DIX SEPTEMBRE
L2550 LUXEMBOURG
LUXEMBOURG

SAMEER MERCHANT
18 HARBOUR ST #1110
TORONTO ONT M5J 2Z6
CANADA

ZOE WALTERS
106 SKIPPER WAY
PAXTON PE196LQ
UKRAINE

1000 LINCOLN ROAD LLC
1000 LINCOLN RD STE 210
MIAMI BEACH, FL 33139

1020 LINCOLN ROAD LLC
1000 LINCOLN ROAD SUITE 210
MIAMI BEACH, FL 33139

1024 LINCOLN ROAD LLC
1407 BROADWAY 41ST FLOOR
NEW YORK, NY 10018

1680 COSTA LLC
C/O DANIEL WARMAN
7800 SW 57 AVE STE 310
MIAMI, FL 33143

1680 LLC
1060 KANE CONCOURSE
BAY HARBOR ISLANDS, FL 33154

1680 MICHIGAN AVE 908AB LLC
C/O R MAXWELL SHEINER
210 NE 11 AVE NE
SAINT PETERSBURG, FL 33701-1949

1680 MICHIGAN AVE LLC SUITE 810
LLC
1680 MICHIGAN AVE SUITE 810
MIAMI BEACH, FL 33139

1680 MICHIGAN AVE LLC SUITE 810
360 W ILLINOIS ST #605
CHICAGO, IL 60654

1680 SM PROPERTIES LLC
1060 KANE CONCOURSE
BAY HARBOR ISLANDS, FL 33154

1685 JEFFERSON LLC
C/O OCTAZON MANAGEMENT LLC
1835 MIAMI GARDENS DR #176
NORTH MIAMI BEACH, FL 33179

1698 JEFFERSON LLC
121 S ORANGE AVE 940
ORLANDO, FL 32801

1698 JEFFERSON LLC
121 W ORANGE AVE 940
ORLANDO, FL 32801

17TH ST PARTNERS LLC
230 FIFTH ST
MIAMI BEACH, FL 33139-6602

28 X INC
1680 MICHIGAN AVE #910
MIAMI BEACH, FL 33139

440 SOMMA LLC
1680 MICHIGAN AVE #913
MIAMI BEACH, FL 33139

440 SOMMA LLC
411 MICHIGAN AVE
MIAMI BEACH, FL 33139

805 MICHIGAN AVE LLC
1680 MICHIGAN AVE #805
MIAMI BEACH, FL 33139

901 MICHIGAN LLC
1680 MICHIGAN AVE STE 901
MIAMI BEACH, FL 33139

910 LINCOLN LLC
C/O INVESCO ADVISORS INC
13155 NOEL RD STE 500
DALLAS, TX 75240

918 STAR LLC
C/O TRICAP
590 MADISON AVE 21 FLOOR
NEW YORK, NY 10022

918 STAR LLC
C/O TRISTAR CAPITAL
510 LINCOLN RD
MIAMI BEACH, FL 33139

940 LINCOLN RD ENTERPRISES INC
940 LINCOLN RD STE 301
MIAMI BEACH, FL 33139-2627

947 LINCOLN ROAD HOLDINGS LLC
667 MADISON AVE 12 FL
NEW YORK, NY 10065

ALEKSEI STALNOV
1618 MICHIGAN AVE #26
MIAMI BEACH, FL 33139

ALEKSEI STALNOV
1618 MICHIGAN AVE #27
MIAMI BEACH, FL 33139

ALESSANDRA NGUYEN
MANORY PRES
1618 MICHIGAN AVE #38
MIAMI BEACH, FL 33139

ALLISON MANAGEMENT INC
1680 MICHIGAN AVE PH 3
MIAMI BEACH, FL 33139-2514

ALMA PROP INC
2650 BISCAYNE BLVD
MIAMI, FL 33137-4531

AMANDA B CAMARA
1698 JEFFERSON AVE #50
MIAMI BEACH, FL 33139

ANA ARRISSE ALONSO JTRS
ANA MARIA ALONSO JTRS
1698 JEFFERSON AVE # 12-A
MIAMI BEACH, FL 33139

ANDREW HARROW
SUSAN HARROW
6504 SEABIRD WAY
APOLLO BEACH, FL 33572

ARILOU LLC
1680 MICHIGAN AVE STE #1014
MIAMI BEACH, FL 33139

ARMANDO ALVAREZ
1698 JEFFERSON AVE UNIT 18
MIAMI BEACH, FL 33139-7639

ASPEN PARTNERS 1680 LLC
5415 COLLINS AVE #302
MIAMI BEACH, FL 33140-2556

BAMAX CORP
1444 BISCAYNE BLVD # 306
MIAMI, FL 33132

BAMAX CORP
1616 JEFFERSON AVE #20
MIAMI BEACH, FL 33139

BATCHELOR FOUNDATION INC
1680 MICHIGAN AVE PH1
MIAMI BEACH, FL 33139-2514

BENK USA LLC
3056 M ST 3 FLR
GEORGETOWN, DC 20007

BLOWN UP LLC
1680 MICHIGAN AVE #1001A
MIAMI BEACH, FL 33139-2549

BLOWN UP LLC
1680 MICHIGAN AVE #1001B
MIAMI BEACH, FL 33139-2549

BLOWN UP LLC
1680 MICHIGAN AVE #1001C
MIAMI BEACH, FL 33139-2549

BLOWN UP LLC
1680 MICHIGAN AVE #1001D
MIAMI BEACH, FL 33139-2549

BOBBY BELL TRS
BELL FAMILY TRUST
CECILIA BELL TRS
2615 LARKIN ST
SAN FRANCISCO, CA 94109

CAMILLE PUJOS
C/O BARNES INTER PROP CONSULTAN
1150 SW 22 ST
MIAMI, FL 33129

CARE RESOURCE COMMUNITY
HEALTH CENTERS INC
1680 MICHIGAN AVE 912
MIAMI BEACH, FL 33139

CAREL WORLDWIDE HOLDING CO
9316 BAY DR
SURFSIDE, FL 33154

CARLOS A ZEVALLOS JR
1618 MICHIGAN AVE #36
MIAMI BEACH, FL 33139-2537

CARLOS FERNANDO PENA MORA
WANDA I MATIAS
1698 JEFFERSON AVE # 14
MIAMI BEACH, FL 33139

CHRISTOPHER HANDLEY
1698 JEFFERSON AVE #15
MIAMI BEACH, FL 33139-7639

CIRCLE BENEFIT CORP
1000 5 ST SUITE 229
MIAMI BEACH, FL 33139

CITY OF MIAMI BEACH
1130 WASHINGTON AVE
MIAMI BEACH, FL 33139

CITY OF MIAMI BEACH
1700 CONVENTION CENTER DR
MIAMI BEACH, FL 33139

CLPF LINCOLN LLC LEASEE
C/O CLARION PARTNERS LLC
CITY MIAMI BCH ECON DEV LESSOR
1440 NEW YORK AVENUE NW STE 200
WASHINGTON, DC 20005

DAMI ENTERPRISES LLC
55 PASSAIC AVE
KEARNY, NJ 07032

DAVANESS LLC
2292 CORAL WAY
CORAL GABLES, FL 33145-3509

DIEB INVEST LLC
1619 JEFFERSON AVE #4
MIAMI BEACH, FL 33139

DORSTEN HOLDINGS CORP
5959 COLLINS AVE 1705
MIAMI BEACH, FL 33140

DSD CAPITAL LLC
20801 BISCAYNE BLVD STE 431
AVENTURA, FL 33180

EDGARDO MARIN
1618 MICHIGAN AVE #8
MIAMI BEACH, FL 33139

ELIZABETH A PICOT
DANIEL PICOT
168 MARTELLO DR
ST AUGUSTINE, FL 32092

EVA LUISI
20 PINECREST RD
JERSEY CITY, NJ 07305

FEDO LLC
1112 N MIAMI AVE 2 FL
MIAMI, FL 33136

FILIPA LLC
650 NE 52 TER
MIAMI, FL 33137

FIVE POINTS METROPOLITAN LLC
730 12 ST #11
MIAMI BEACH, FL 33139

FMS 5 LLC
9 ISLAND AVE 2409
MIAMI BEACH, FL 33139

FRANCISCO REGO
1619 JEFFERSON AVE #18
MIAMI BEACH, FL 33139-7629

GLOBAL MGMT AND CONSULTING LLC
2203 AVE X
BROOKLYN, NY 11235

GM INVESTMENTS ENTERPRISES LLC
1200 WEST 49 ST
HIALEAH, FL 33012

GMJ GROUP LLC
3360 NE 170 ST
NORTH MIAMI BEACH, FL 33160

GOMBINSKI PROPERTIES LTD PTNSH
% STEVEN GOMBINSKI
3737 COLLINS AVE PH2
MIAMI BEACH, FL 33140

GREGORY ULTO
1481 EAST 45 ST
BROOKLYN, NY 11234

GRF INVESTMENTS LLC
737 E ATLANTIC BLVD
POMPANO BEACH, FL 33060

HORTENSIA PEREZ
1698 JEFFERSON AVE 38
MIAMI BEACH, FL 33139-7640

HUGO FERNANDEZ
1698 JEFFERSON AVE #49
MIAMI BEACH, FL 33139-7640

IM JEFFERSON LLC
530 SW 24 RD
MIAMI, FL 33129

INVAMIAMI INC
235 LINCOLN RD 310
MIAMI BEACH, FL 33139

ISABELLA ARCHER TRS
ISABELLA ARCHER TRUST
1698 JEFFERSON AVE 37
MIAMI BEACH, FL 33139

ITAMAR MAKMAL
1619 JEFFERSON AVE #8
MIAMI BEACH, FL 33139

IVY MBT PROPERTY LLC
C/O IVY REALTY
102 CHESTNUT RIDGE RD STE 204
MONTVALE, NJ 07645

JEFFREY W CHUNG
PORNPUN V MARISI
1698 JEFFERSON AVE APT 1
MIAMI BEACH, FL 33139

JOSE M GABILONDO JR
1698 JEFFERSON AVE #34
MIAMI BEACH, FL 33139-7640

JOSE Y VAZQUEZ &W
LINDA S VAZQUEZ
200 PARK AVE SOUTH 8TH FLR
NEW YORK, NY 10003

JOSE YUL VAZQUEZ
C/O ALTMAN GREENFIELD ET AL
LINDA S VAZQUEZ
200 PARK AVE S 8 FLOOR
NEW YORK, NY 10003

JOSEPH MICHAEL ARISSO
1841 SW 92 PL
MIAMI, FL 33165

JUAN M MACIAS &W
NELLY C MACIAS
5600 COLLINS AVE 16-H
MIAMI BEACH, FL 33140-2416

JULIANNE M LAKE &H
RYAN M POGOZALSKI
10 FOREST HILL DR
HYDE PARK, OH 45208

JUSTIN PANZARELLA
1698 JEFFERSON AVE #22
MIAMI BEACH, FL 33139

KATHLEEN M VIVAS
1618 MICHIGAN AVE 34
MIAMI BEACH, FL 33139

LCKME LLC
285 N COCONUT LN
MIAMI BEACH, FL 33139

LEANDRO GARCIA
1698 JEFFERSON AVE UNIT 23
MIAMI BEACH, FL 33139

LENOX AVE I LLC
C/O MERCHANTS NATL PROPERTIES INC
708 THIRD AVE
NEW YORK, NY 10017

LINCOLN 845 LLC
% JENEL MGMT CORP
275 MADISON AVE # 702
NEW YORK, NY 10016

LITOIL CORPORATION
900 BISCAYNE BLVD # 601
MIAMI, FL 33132

LUCINDA MARIA ALONSO
1698 JEFFERSON AVE UNIT 33
MIAMI BEACH, FL 33139

LUCY A ARITA
1698 JEFFERSON AVE #48
MIAMI BEACH, FL 33139-7640

LUXE LIVING REALTY LLC
1680 MICHIGAN AVE STE 100
MIAMI BEACH, FL 33139-2519

MAEVA LLC
15805 BISCAYNE BLVD STE 104
NORTH MIAMI BEACH, FL 33160

MAGDIEL PADRON
MARTHA CHINEA
1698 JEFFERSON AVE # 21
MIAMI BEACH, FL 33139

MARIA B GALANO MAUGHAN
1698 JEFFERSON AVE #10
MIAMI BEACH, FL 33139

MARIA B DE LA CAMARA LE
REM MARIA BEATRIZ GALANO
CONRADO ALPIZAR EST OF
1698 JEFFERSON AVE 7
MIAMI BEACH, FL 33139

MARIA E ALVAREZ
1698 JEFFERSON AVE # 19
MIAMI BEACH, FL 33139

MARIA ELENA ALVAREZ
ARMANDO ERNESTO ALVAREZ
1698 JEFFERSON AVE 16
MIAMI BEACH, FL 33139

MARK I INVESTMENTS USA LLC
1680 MICHIGAN AVE #803
MIAMI BEACH, FL 33139

MARY J HOLLAND
1698 JEFFERSON AVE #24
MIAMI BEACH, FL 33139-7639

MCEWAN CORPORATION
1680 MICHIGAN AVE #700
MIAMI BEACH, FL 33139

MEISL USA LLC
1618 MICHIGAN AVE #21
MIAMI BEACH, FL 33139-2535

MHUB MIAMI LLC
1680 MICHIGAN AVE #800
MIAMI BEACH, FL 33139

MICHAEL P KANAMINE
1618 MICHIGAN AVE #7
MIAMI BEACH, FL 33139

MICHIGAN HAUS 22 LLC
1896 TIGERTAIL AVE
MIAMI, FL 33133

MICHIGAN HAUS 32 LLC
1896 TIGERTAIL AVE
MIAMI, FL 33133

MOSHE SAS
DALIA SAS
290-174 ST UNIT 1805
SUNNY ISLES BEACH, FL 33160

MYESTATES II CORP
C/O SHUTTS & BOWEN LLP
201 S BISCAYNE BLVD #1500
MIAMI, FL 33131

NAHLA APARTMENTS LLC
1500 BAY RD UNIT 1464S
MIAMI BEACH, FL 33139

NAHLA USA PROPERTIES LLC
1500 BAY RD 1464S
MIAMI BEACH, FL 33139

NATIVIDAD TALAMAS
1698 JEFFERSON AVE #32
MIAMI BEACH, FL 33139-7640

NAWAL DEUTSCH
AKRAM ELFEKI
AHMED ELFEKI
1698 JEFFERSON AVE #20
MIAMI BEACH, FL 33139

NICOLAS PITSILOS
13 BLACK WALNUT
PALOS PARK, IL 60464

NORMA 1922 CORP
3370 MARY STREET
MIAMI, FL 33133

OSCAR CAMARA JTRS
OSCAR J CAMARA JTRS
1698 JEFFERSON AVE APT 31
MIAMI BEACH, FL 33139

PATRICE REGNIER
C/O MIAMI REALTY GROUP
NATHALIE REGNIER
90 ALTON RD TH SOUTH
MIAMI BEACH, FL 33139

PAWEL DOMALIK
1698 JEFFERSON AVE # 4
MIAMI BEACH, FL 33139

PJUR GROUP USA LLC
1680 MICHIGAN AVE #920
MIAMI BEACH, FL 33139-2550

PLAYA RETAIL INVESTMENTS LLC
270 BISCAYNE BLVD WAY STE 201
MIAMI, FL 33131

PPF MBL PORTFOLIO LLC
C/O LINCOLN ROAD MM LLC
801 ARTHUR GODFREY RD STE 600
MIAMI BEACH, FL 33140

PPF MBL PORTFOLIO LLC (LESSEE)
C/O LINCOLN ROAD MM LLC
THE SALVATION ARMY (FEE HOLDER)
801 ARTHUR GODFREY RD STE 600
MIAMI BEACH, FL 33140

PRESENT LIGHT HOLDINGS LLC
7950 ABBOTT AVE APT 5
MIAMI BEACH, FL 33141-2628

RAYMOND XU
YAPING CHEN
3463 WINDY KNOLL LN
CARMEL, IN 46074

RC LINCOLN RD HOLDINGS LLC
C/O CROWN
767 FIFTH AVENUE #24 FLR
NEW YORK, NY 10153

REYNOLD L STONE &W
ANN E STONE
1698 JEFFERSON AVE #27
MIAMI BEACH, FL 33139

ROMINA NAPARSTEK
JOAQUIN CANO FERNANDEZ DELGADO
1698 JEFFERSON AVE # 29
MIAMI BEACH, FL 33139

S G J HOLDINGS INC
13075 MIRANDA ST
MIAMI, FL 33156

SALEM PROPERTIES CORP
5640 COLLINS AVE APT 5C
MIAMI BEACH, FL 33140

SAM STRAUCH LLC
1750 JAMES AVE #3A
MIAMI BEACH, FL 33139-7500

SIIF LLC
927 LINCOLN RD 200
MIAMI BEACH, FL 33139

SILVIA DISDERI
830 SW 9 STREET CIR 201
BOCA RATON, FL 33486

SILVINA BELMONTE
1619 JEFFERSON AVENUE #24
MIAMI BEACH, FL 33139

SOBE HOMES LLC
300 BAYVIEW DR 1007
SUNNY ISLES BEACH, FL 33160

SOBE PARTNERSHIP LLC
1770 NORTH BAYSHORE DR 3512
MIAMI, FL 33132

SONIA BARROS
1619 JEFFERSON AVE 27
MIAMI BEACH, FL 33139

SOUTH BEACH CONSULTING INC
4045 SHERIDAN AVE #395
MIAMI BEACH, FL 33139

SOUTH BEACH TRISTAR 800 LLC
TRICAP
590 MADISON AVE 21 FLOOR
NEW YORK, NY 10022

SOUTH FLORIDA ART CENTER INC
924 LINCOLN RD #205
MIAMI BEACH, FL 33139

SOUTH FLORIDA ART CENTER INC
924 LINCOLN RD UNIT
MIAMI BEACH, FL 33139-2602

SOUTH FLORIDA ART CENTER INC
924 LINCOLN RD UNIT 1B
MIAMI BEACH, FL 33139-2602

SOUTH FLORIDA ART CENTER INC
924 LINCOLN RD UNIT 3B
MIAMI BEACH, FL 33139-2602

STEPHEN H BOURIE &W
MICHELLE A BOURIE
1698 JEFFERSON AVE #44
MIAMI BEACH, FL 33139

SUITE 1015 LLC
1680 MICHIGAN AVE
MIAMI BEACH, FL 33139

SUITE 817 LLC
814 W DILIDO DR
MIAMI BEACH, FL 33139

SUPER LINCOLN LLC
3801 COLLINS AVE L4
MIAMI BEACH, FL 33140

SUSAN GOLDSTEIN
1311 BRIGHTWATER #2B
BROOKLYN, NY 11235

SUSANA PENA
PEDRO PABLO PORBEN
938 MANITOBA DR
BOWLING GREEN, OH 43402

THALLY INC
1619 JEFFERSON AVE APT 11
MIAMI BEACH, FL 33139-7602

THE ALLAN & MILDRED BERK
FAMILY LIMITED PARTNERSHIP
8905 SW 61 CT
MIAMI, FL 33156-1944

THE STERLING BUILDING INC
927 LINCOLN RD #214
MIAMI BEACH, FL 33139-2606

THOMAS MICHAEL REIMANN
1698 JEFFERSON AVE #8
MIAMI BEACH, FL 33139-7639

THOMAS SONGIN
1698 JEFFERSON AVE UNIT 46
MIAMI BEACH, FL 33139

TMAR ALLIANCE CORP
1680 MICHIGAN AVE #735
MIAMI BEACH, FL 33139

TYMOR BRIK
18001 OLD CUTLER RD STE 600
PALMETTO BAY, FL 33157-6444

TYPHOON PROPERTIES LLC
1680 MICHIGAN AVE #1000A
MIAMI BEACH, FL 33139

TYPHOON PROPERTIES LLC
300 S POINTE DR #703
MIAMI BEACH, FL 33139

VERONICA F SASPE
1698 JEFFERSON AVE 43
MIAMI BEACH, FL 33139

VIVIAN BEATRIZ GONZALEZ
6481 SW 85 ST
MIAMI, FL 33143-7939

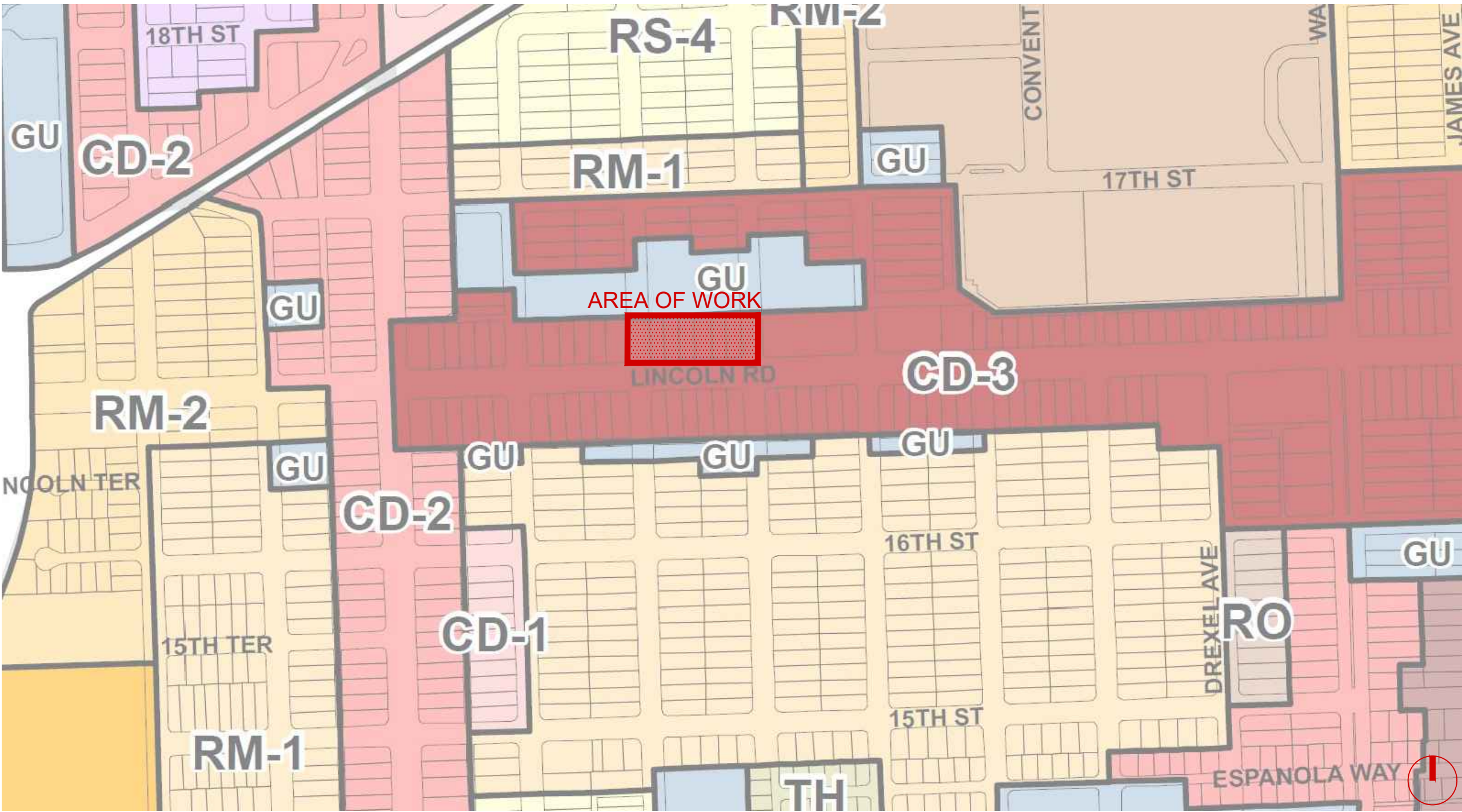
ZEVENS USA LLC
18501 PINES BLVD 207
PEMBROKE PINES, FL 33029

MIAMI BEACH

Planning Department, 1700 Convention Center Drive
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	ZONING INFORMATION				
1	Address:	901 & 927 LINCOLN RD, MIAMI BEACH, FL 33139			
2	Board and File numbers:				
3	Folio number(s):	02-3234-018-0020 / 02-3234-018-0030			
4	Year constructed:	1928	Zoning District:	CD-3 COMMERCIAL, HIGH INTENSITY	
			National Historic District:	Miami Beach Architectural District	
			Local Historic District:	Flamingo Park Historic District	
5	Based Flood Elevation:	8'-0" NGVD	Grade Value in NGVD:	Existing to remain: 6.22' NGVD	
6	Design Flood Elevation	New Addition : 9.00 NGVD	Lot Area:	37,451 SF	
7	Lot Width	250.00'	Lot Depth:	150.00'	
8	Minimum Unit Size	200 SF	Average Unit Size:	235	
9	Existing Use	COMMERCIAL	Proposed Use:	ADDING HOTEL	
		Maximum	Existing	Proposed	Deficiencies
10	Height	75'-0"	30'-4"	75'-0"	-
11	Number of Stories	N/A	2	7	-
12	FAR	2.50/ 93,627.5 SF	47,022 SF	93,342 SF	-
13	Gross Square Footage (Floor Area)				
14	Square Footage by use	N/A	N/A	N/A	-
15	Number of Units Residential	N/A	N/A	N/A	-
16	Number of Units Hotel	N/A	N/A	144	-
17	Number of Seats	N/A	N/A	N/A	-
18	Occupancy Load	N/A	N/A	N/A	-
	Setbacks	Required	Existing	Proposed	Deficiencies
	Pedestal				
23	Front Setback/ LINCOLN RD.:	20'-0"	0'-0"	84'-8"	-
24	Side Interior Setback/ WEST:	20'-0" (80% of LOT WIDTH)	0'-0"	Existing = As Is New Construction = 0'-0"	Variance required
25	Side Facing Street Setback / EAST:	20'-0" (80% of LOT WIDTH)	0'-0"	Existing = As Is New Construction = 100'-0"	-
30	Rear Setback abutting alley/ NORTH:	15'-0"	0'-0"	Existing = As Is New Construction = 0'-0"	Variance required
	Parking	Required	Existing	Proposed	Deficiencies
39	Parking District: 1				
40	Total # of parking spaces	0	0	0	-
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)	-	-	-	-
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)	-	-	-	-
48	Valet Drop off and pick up	-	-	-	-
49	Loading zones and Trash collection areas	3	0	3 (2 on-site, 1 street)	
50	Bike Racks	0	0	10	
	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51	Type of use				
52	Total # of Seats				
53	Total # of Seats per venue (Provide a separate chart for a breakdown calculation)				
54	Total Occupant Content				
55	Occupant content per venue (Provide a separate chart for a breakdown calculation)				
56	Is this a contributing building?	YES			
57	Located within a Local Historic District?	YES			



1 MIAMI BEACH ZONING DESIGNATIONS
N.T.S

REVISIONS / SUBMISSIONS

1883

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN, INCLUDING THE ORIGINAL AND UNREPRODUCED WORK OF KOB KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOB KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA (P) 2019

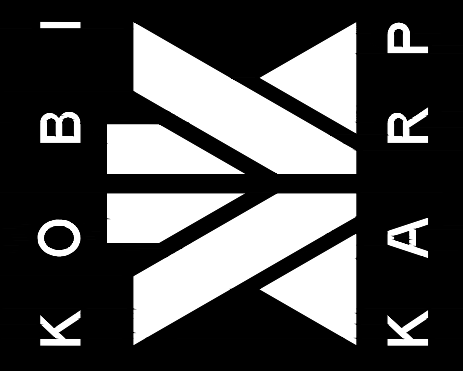
927-929 LINCOLN RD

MIAMI BEACH, FL 33139

PROJECT DATA

Lic. # AR0012578

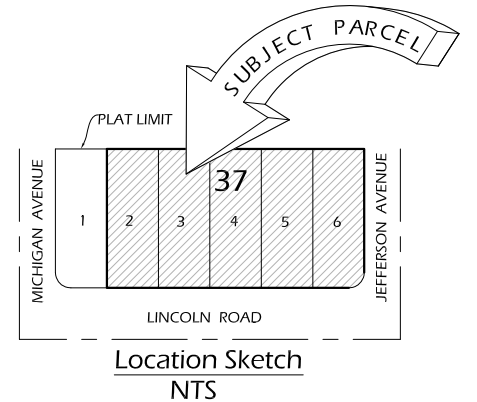
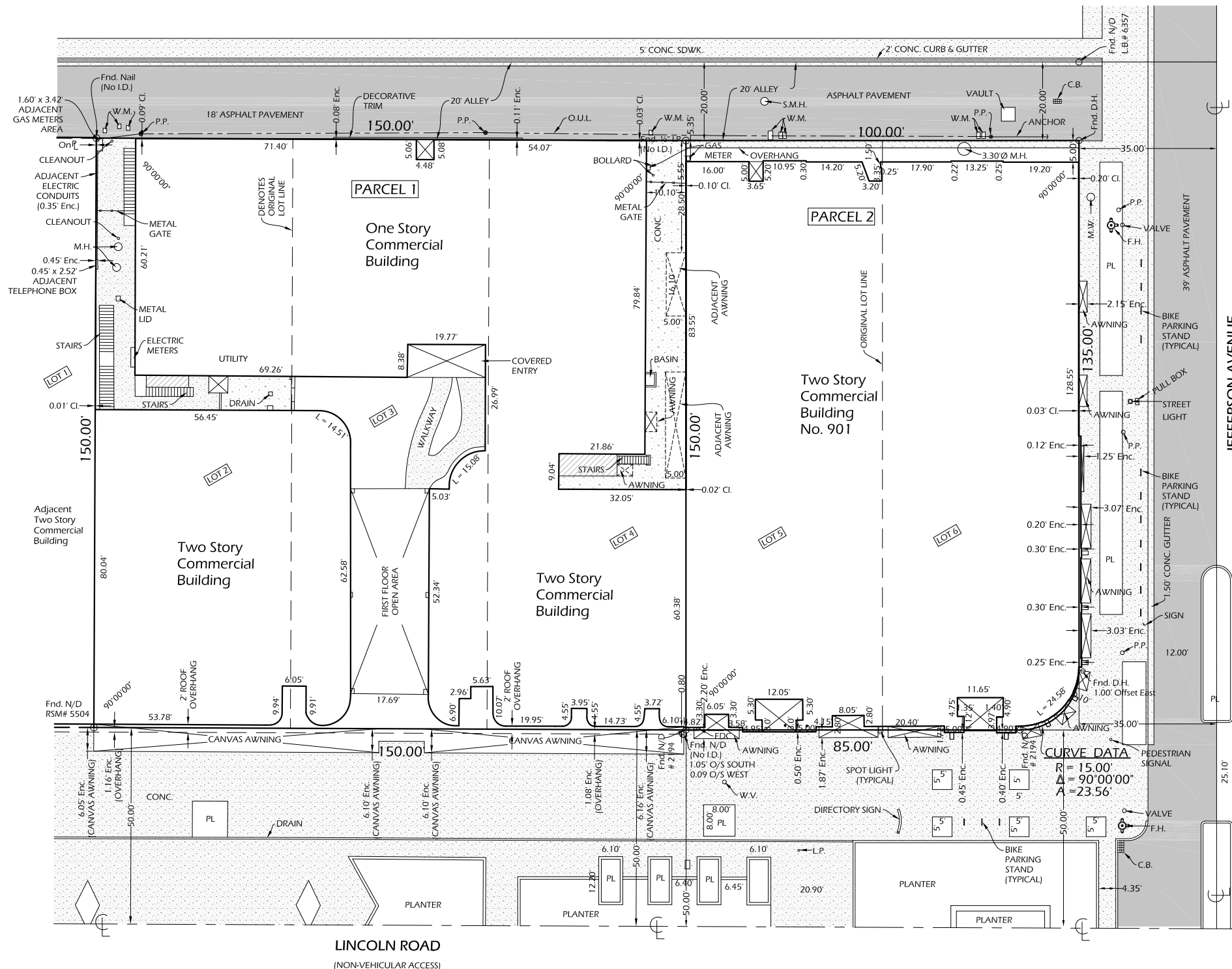
ARCHITECTURE
INTERIOR DESIGN
PLANNING
AIA ASID NCARB
2015 Biscayne Boulevard
Suite 200
Miami, Florida 33137
P: 305.673.7550
F: 305.673.7566
WWW.KOBKARP.COM



DRAWN BY:
CHECKED BY: KK, MP
DATE: 10/18/2019

A0.01

BOUNDARY SURVEY



LEGAL DESCRIPTION:

PARCEL 1:

Lots 2, 3, 4, Block 37, COMMERCIAL SUBDIVISION OF THE ALTON BEACH REALTY COMPANY, according to the Plat thereof, as recorded in Plat Book 6, Page 5, of the Public Records of MIAMI-DADE County, Florida.

AND

PARCEL 2:

Lots 5 and 6, Block 37, COMMERCIAL SUBDIVISION OF THE ALTON BEACH REALTY COMPANY, according to the Plat thereof, as recorded in Plat Book 6, Page 5, of the Public Records of MIAMI-DADE County, Florida.

CERTIFIED TO: The Sterling Building, Inc., a Florida corporation; Beloff Law, P.A.; Chicago Title Insurance Company; City of Miami Beach.

PREPARED FOR: The Sterling Building, Inc.,
901 & 919-939 Lincoln Road, Miami Beach, FL 33139

Encroachments:

Parcel 1:

- Overhead utility lines.
- Portion of the decorative trim is encroaching over the North boundary line.
- Portion of the adjacent 1.60 X 3.42 foot gas meter area, portion of the electric conduits, and the 0.45 X 2.52 foot telephone box are encroaching over the West boundary line.
- Portion of the roof overhang and the canvas awnings are encroaching over the South boundary line.
- The adjacent awning is encroaching over the East boundary line.

Parcel 2:

Encroachments:

- The canvas awnings, the spot lights, and the building trims are encroaching over the East boundary line into the street Right-of-Way (Jefferson Avenue).
- The canvas awnings, portion of the spot lights, and the building trims are encroaching over the Southeasterly boundary line.
- The canvas awnings, the spot lights, portion of the building trims, and the Siamese fire hydrant are encroaching over the South boundary line (Lincoln Road).
- Portion of an awning is encroaching over the West boundary line.

- All clearances and/or encroachments shown hereon are of apparent nature. Fence ownership by visual means. Legal ownership of fences not determined.
- Underground structures, if any, not located.
- Bearings, if shown, are based on assumed meridian or Plat of Record.
- Lands shown hereon were not abstracted for easements and/or right-of-ways of records.
- Legal description provided by client.
- This certification is only for land as described. It is not a certification of title, zoning, easements, or freedom from encumbrances. ABSTRACT NOT REVIEWED.
- There may be additional restrictions not shown on this survey that may be found in the public records of this county. ABSTRACT NOT REVIEWED.
- This BOUNDARY SURVEY has been prepared for the exclusive use of the entities named hereon. The Certificate does not extend to any unnamed party.
- This survey was based on the monuments found on the field. No construction in any manner should be made without the prior written consent of the Surveyor.

LEGEND
A = Central Angle
A/C = Arc
A/C = Air Conditioner
ASPH = Asphalt
BBQ = Barbecue
CB = Catch Basin
CBS = Concrete Block Structure
CH = Chord
Chatta = Chattahoochee

CL = Center Line
CLF = Chain Link Fence
CL = Clear
Conc. = Concrete
D = Deed
Ø = Diameter
DH = Drill Hole
DME = Drainage & Maintenance Easmt
Easmt = Easement
Enc. = Encroachment

F.H. = Fire Hydrant
FDC = Fire Department Connector
FIR = Found 1/2" Iron Rebar
FPL = Florida Power & Light
ID = Identification
I.P. = Iron Pipe
LB = Licensed Business
LME = Lake Maintenance Easement
LP = Light Pole
L.S. = Land Surveyor

M = Measured
MAINT. = Maintenance
ME = Maintenance Easement
MH = Manhole
M = Monument Line
Mon. = Monument
N/A = Not Applicable
N/D = Number
NTS = Not to Scale

O/S = Offset
O.U.L. = Overhead Utility Lines
P.O.B. = Point of Beginning
P = Plat
PB = Plat Book
PC = Point of Curvature
P.C. = Permanent Control Point
PCP = Page
P.L. = Point of Intersection
PKWY = Parkway
PL = Property Line

PL = Planter
PLS = Professional Land Surveyor
P.O.B. = Point of Beginning
P.O.C. = Point of Commencement
P.P. = Power Pole
PRC = Point of Reverse Curvature
PRM = Point of Reference Monument
PT = Point of Tangency
R = Radius
Res. = Residence

R.L.S. = Registered Land Surveyor
RNG = Range
R/R = Railroad
RSM = Registered Surveyor & Mapper
R/W = Right-of-Way
Sdvw = Sidewalk
Sec. = Section
SD = Storm Drain
SMH = Sanitary Manhole
SSMH = Sanitary Sewer Manhole

T = Tangent
Twp. = Township
Typ. = Typical
U.E. = Utility Easement
UTIL = Utility
W.F. = Wood Fence
W.M. = Water Meter
WME = Wall Maintenance Easement

SURVEYOR'S SEAL

Unless it bears the signature and the original raised seal of a Florida licensed surveyor and mapper, this map/report is for informational purposes only and is not valid.

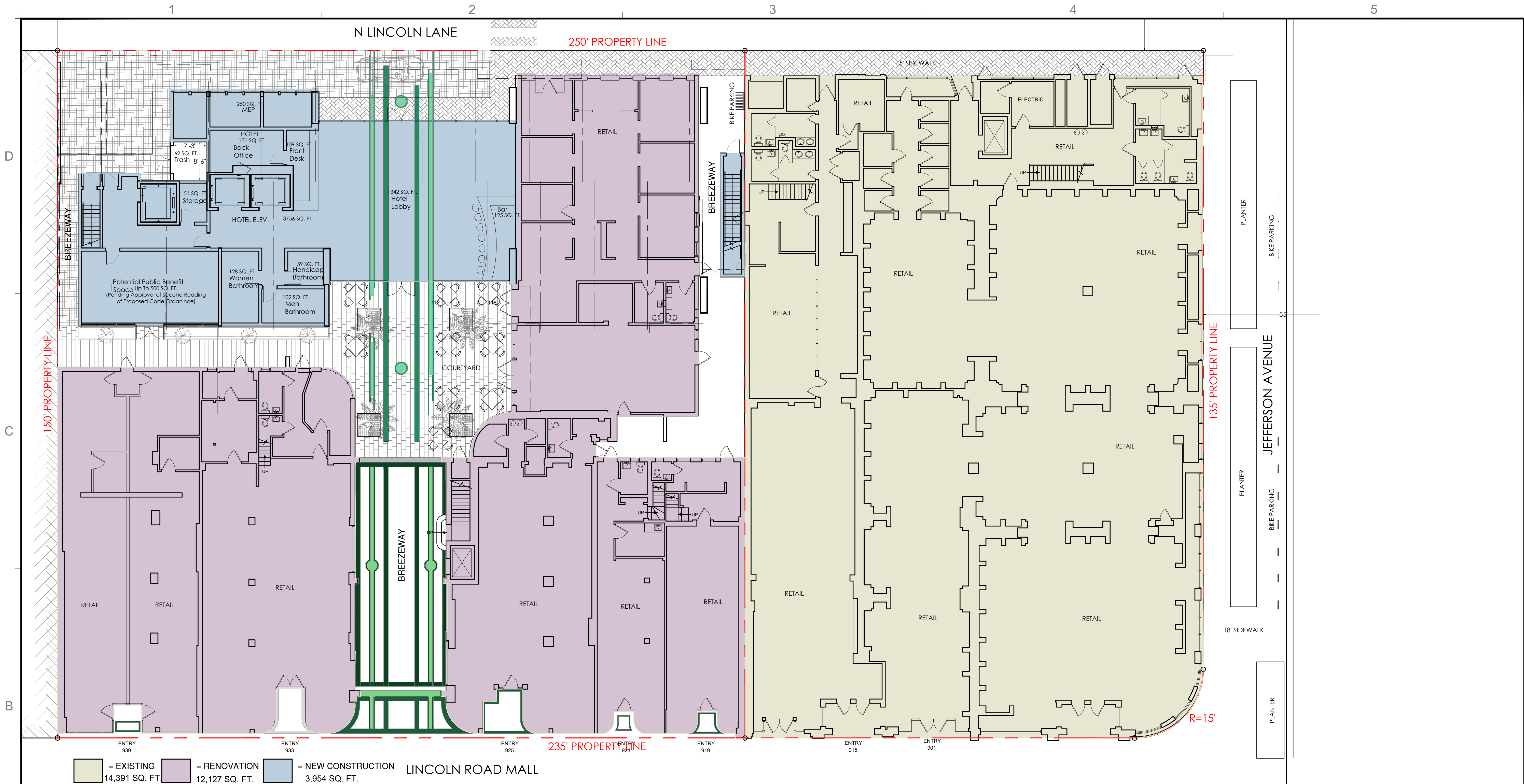
REVISED:

BOUNDARY SURVEY

Nelson Mojarena
NELSON MOJARENA
Registered Surveyor & Mapper No. 5504
State of Florida

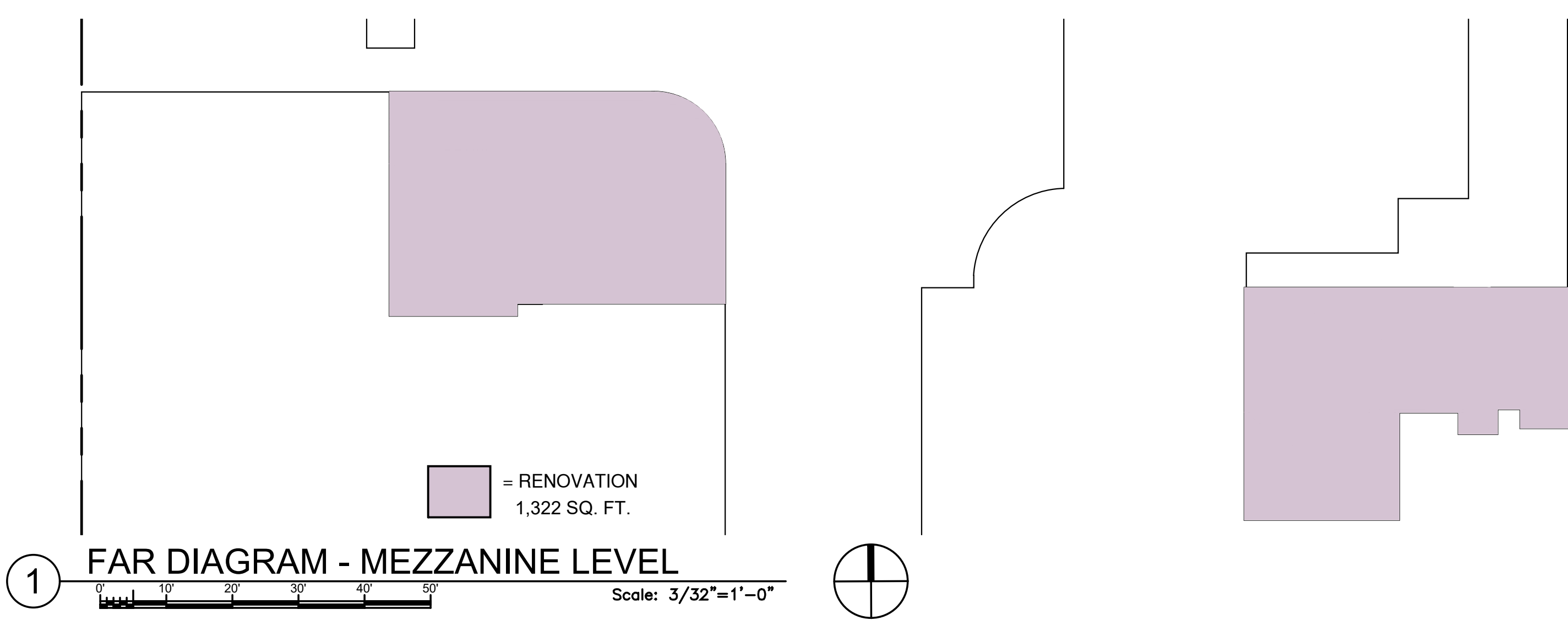
MOJARENA & ASSOCIATES, INC.
Land Surveyors & Mappers
Certificate of Authorization No. 6698
12925 S.W. 132nd Avenue
Miami, Florida 33186 (305) 278-2494

FLOOD ZONE: AE	BASE: 8
DATE: 07-13-19	SCALE: 1" = 20'
DWN. BY: NMJR	JOB NO.: 10-0285C



1 FAR DIAGRAM - GROUND FLOOR

	NEW CONSTRUCTION	RENOVATION	EXISTING	TOTALS
GROUND LEVEL	3,954	12,127	14,391	30,472
MEZZANINE		1,322		1,322
LEVEL 2	5,761	10,133	2,489	18,383
LEVEL 3	8,387		82	8,469
LEVEL 4	8,361			8,361
LEVEL 5	8,320			8,320
LEVEL 6	8,387			8,387
LEVEL 7	8,361			8,361
LEVEL 8	1,267			1,267
TOTALS	52,798	23,582	16,962	
GRAND TOTAL				93,342



1 FAR DIAGRAM - MEZZANINE LEVEL

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FAR CALCULATIONS
PROPOSED LEVEL 1 / MEZZANINE

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F: 305.575.3766
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CHECKED BY: KK, MP

DATE: 10/18/2019

A0.03



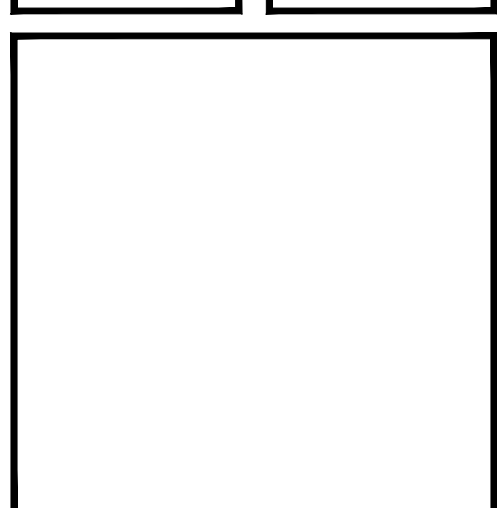
1 FAR DIAGRAM - 4TH FLOOR
Scale: 3/32"=1'-0"

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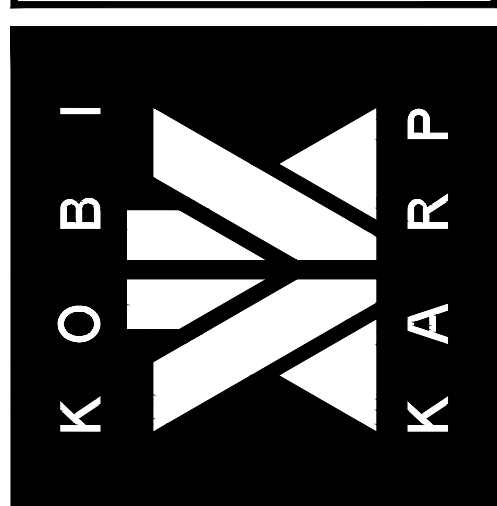
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FAR CALCULATIONS
PROPOSED LEVEL 4



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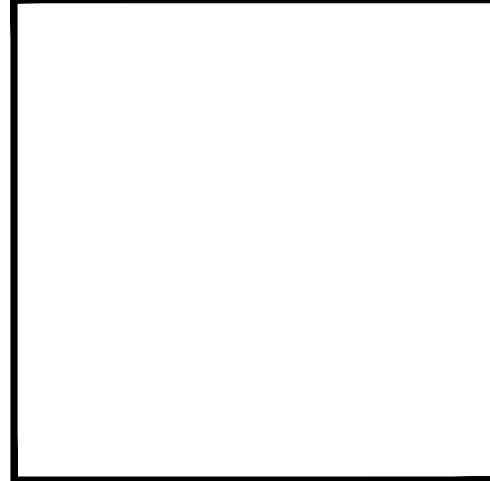
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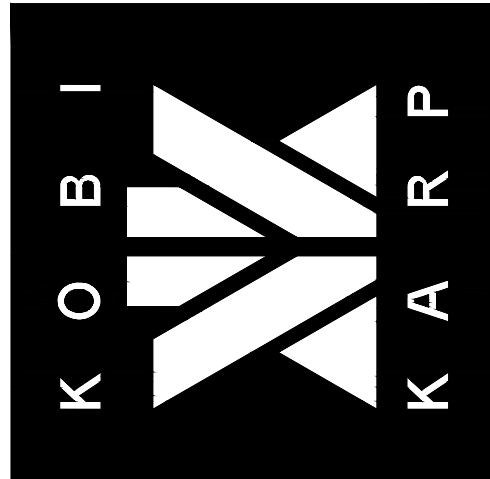
FAR CALCULATIONS
PROPOSED LEVEL 5



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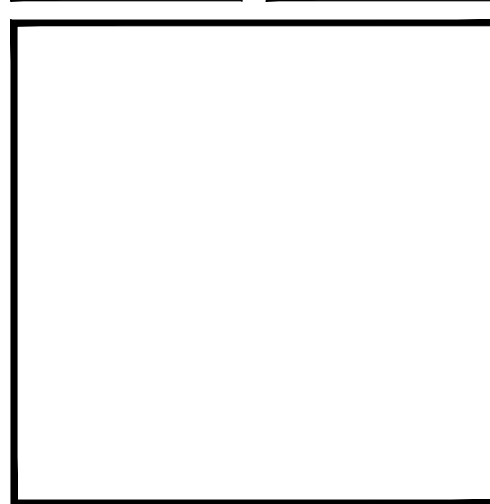
1 FAR DIAGRAM - 6TH FLOOR
Scale: 3/32"=1'-0"

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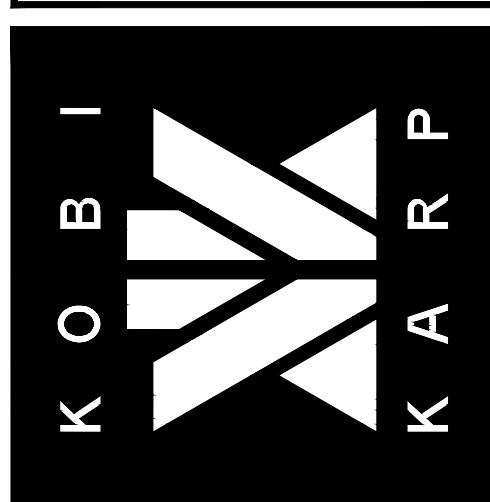
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FAR CALCULATIONS
PROPOSED LEVEL 6



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1 FAR DIAGRAM - 7TH FLOOR
Scale: 3/32"=1'-0"

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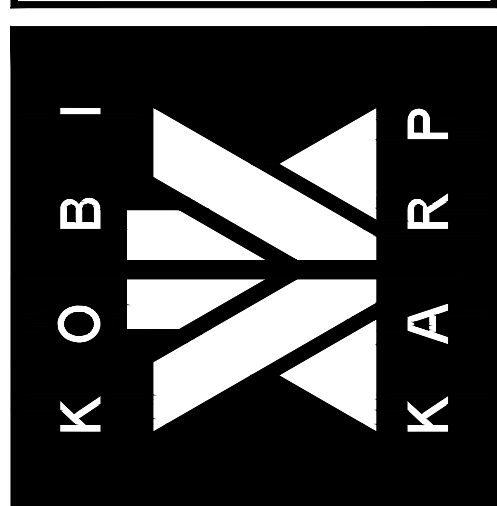
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FAR CALCULATIONS
PROPOSED LEVEL 7

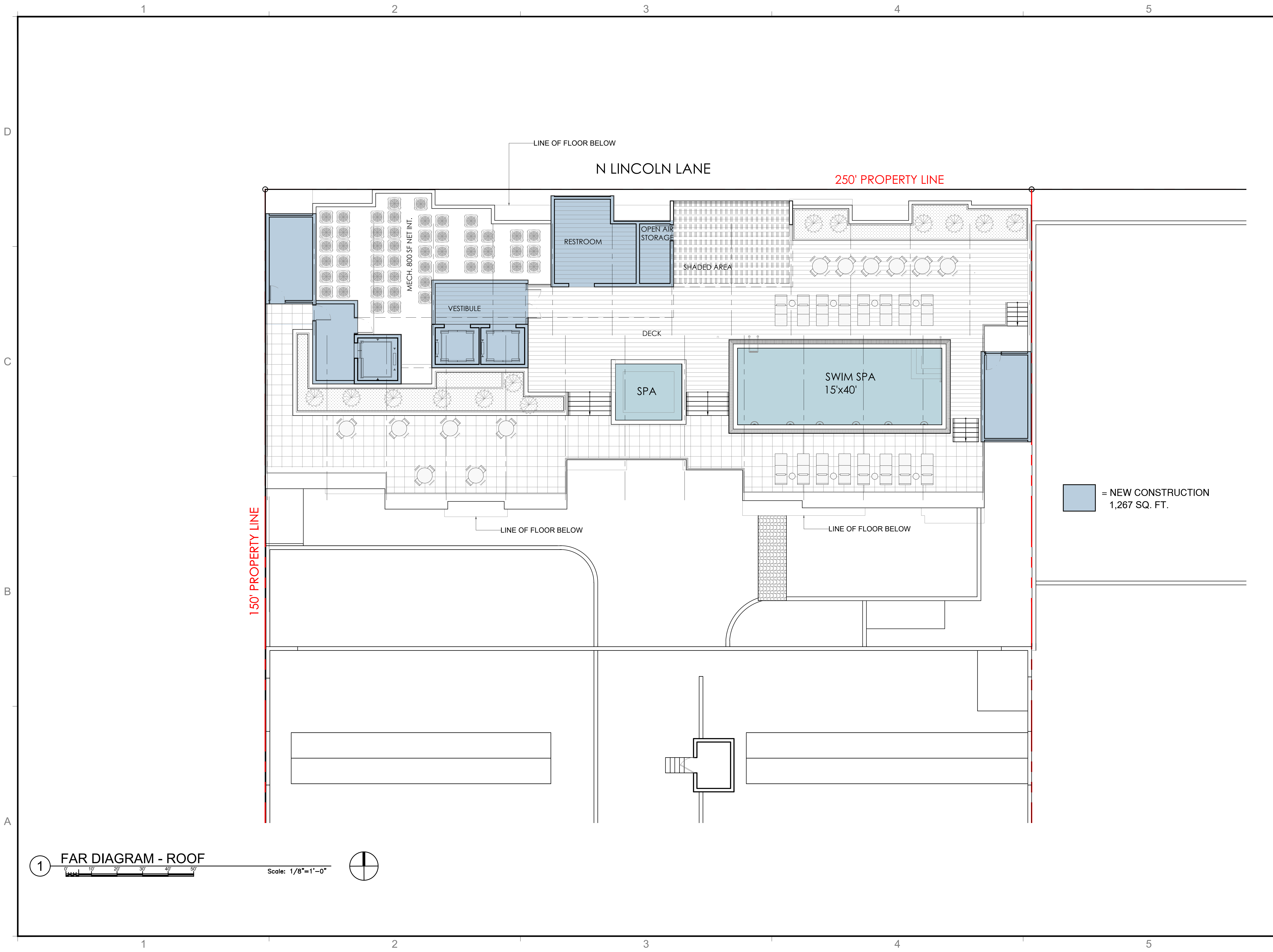
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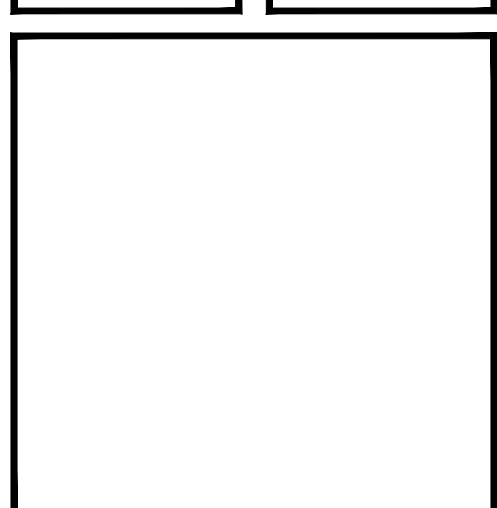
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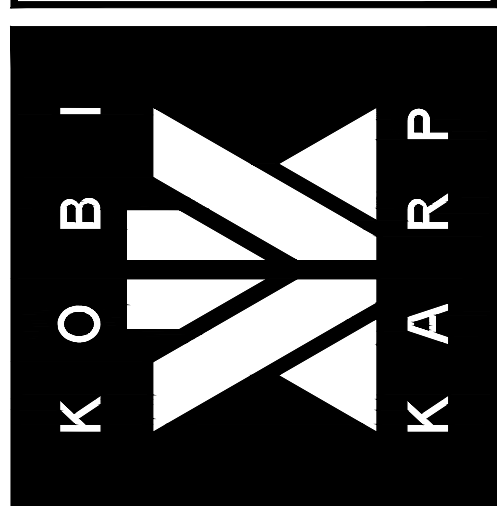
FAR CALCULATIONS
PROPOSED ROOF LEVEL



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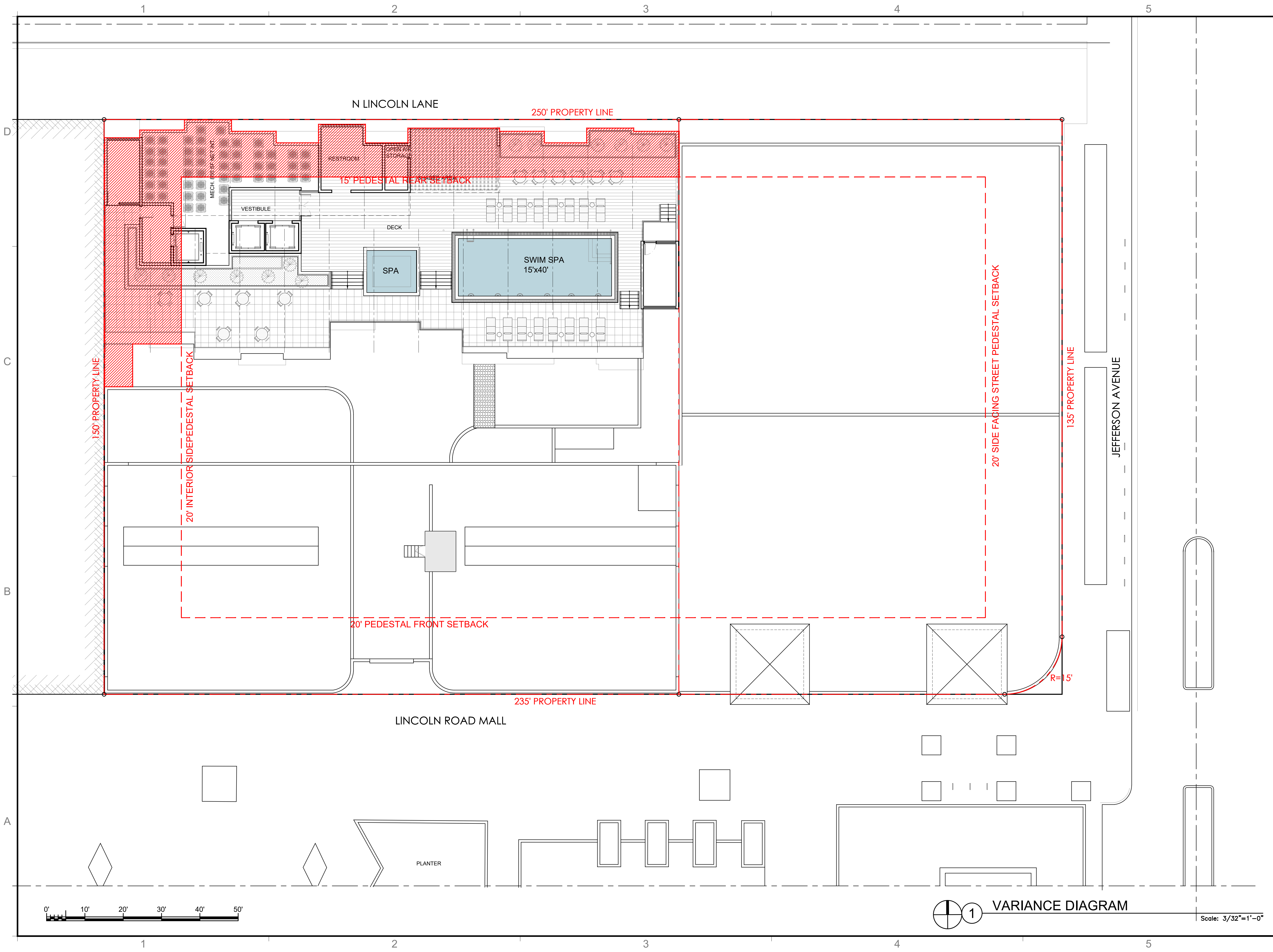
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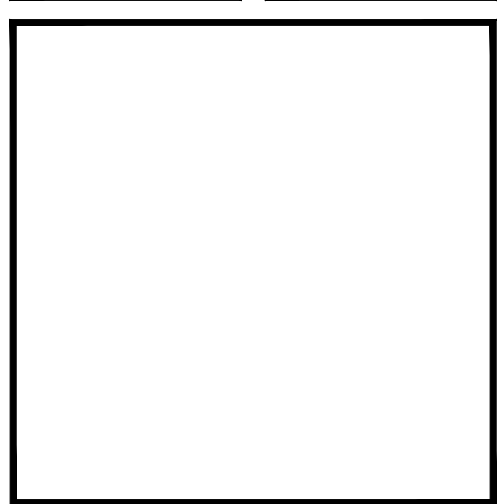
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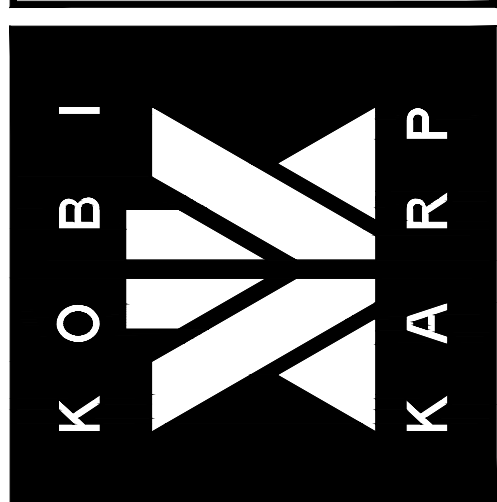
VARIANCE DIAGRAM



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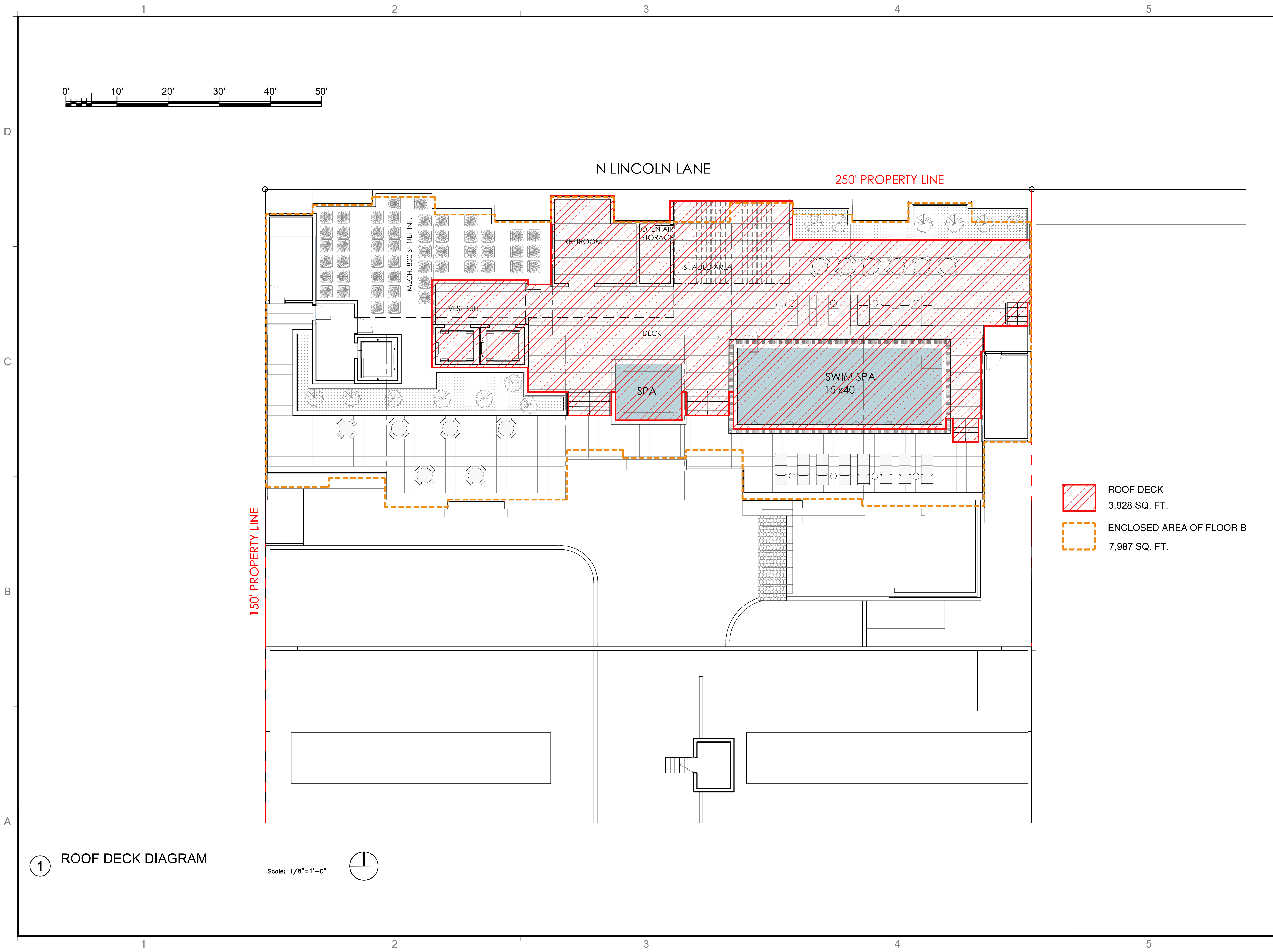


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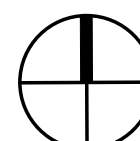
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1 ROOF DECK DIAGRAM



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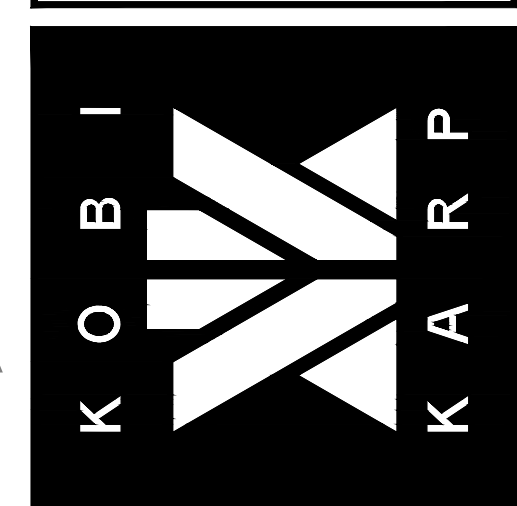
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ROOF DECK DIAGRAM

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A0.11



1 - Original building in the 30's



2 - Stirling Building the 40's



2 - Stirling Building the 70's



3 - Stirling Building the 80's

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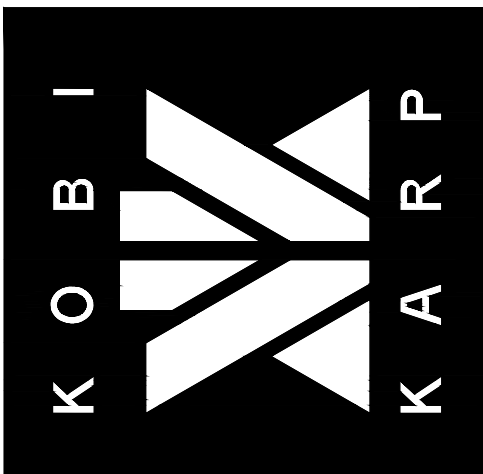
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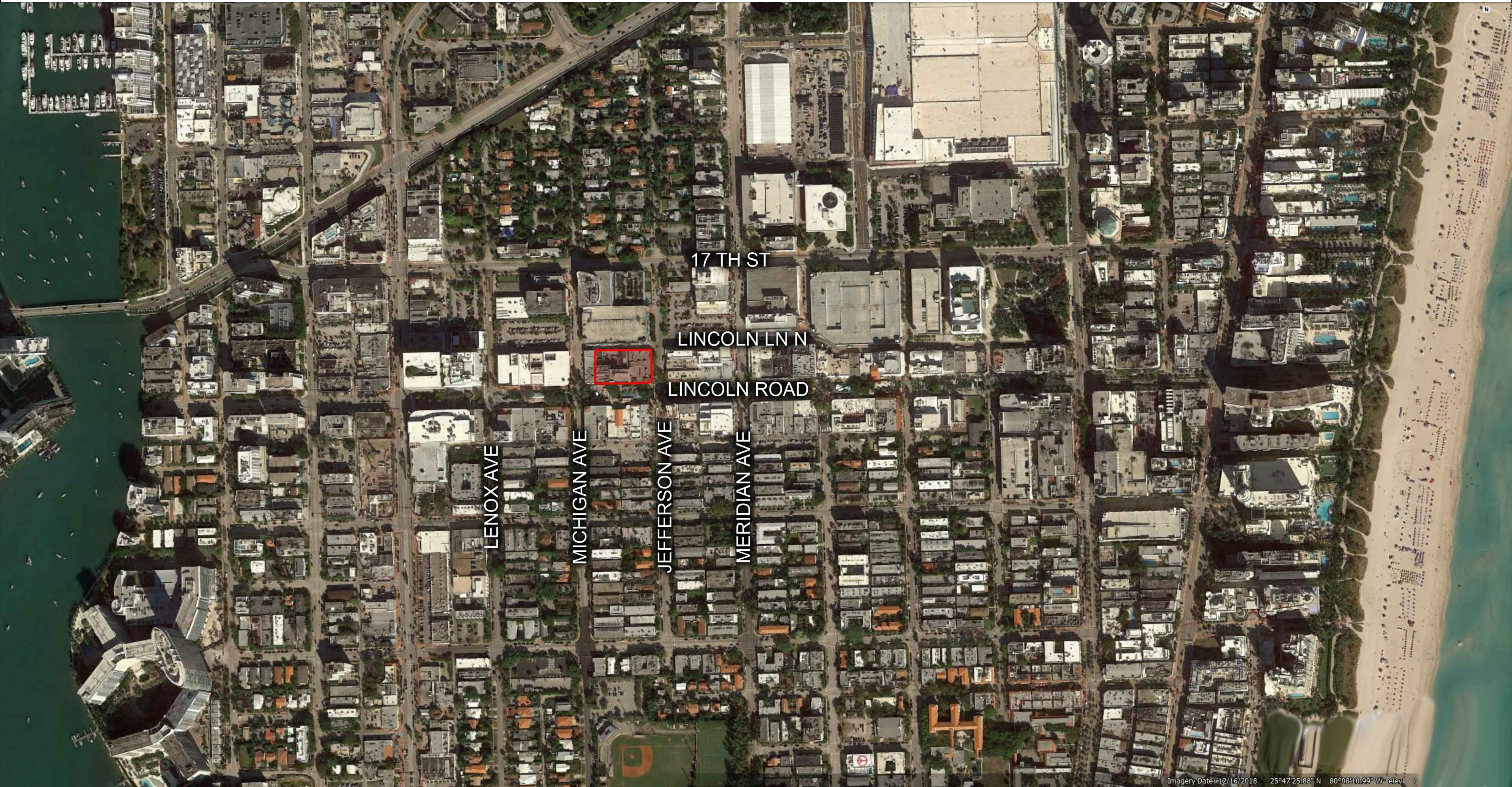
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Imagery Date: 12/16/2018 25°47'25.88" N 80°08'10.99" W elev. 0



1 AERIAL VIEW

N.T.S

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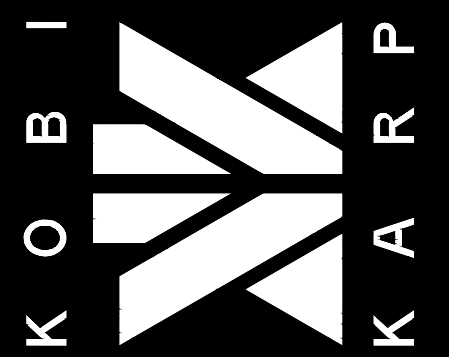
PROJECT DATA

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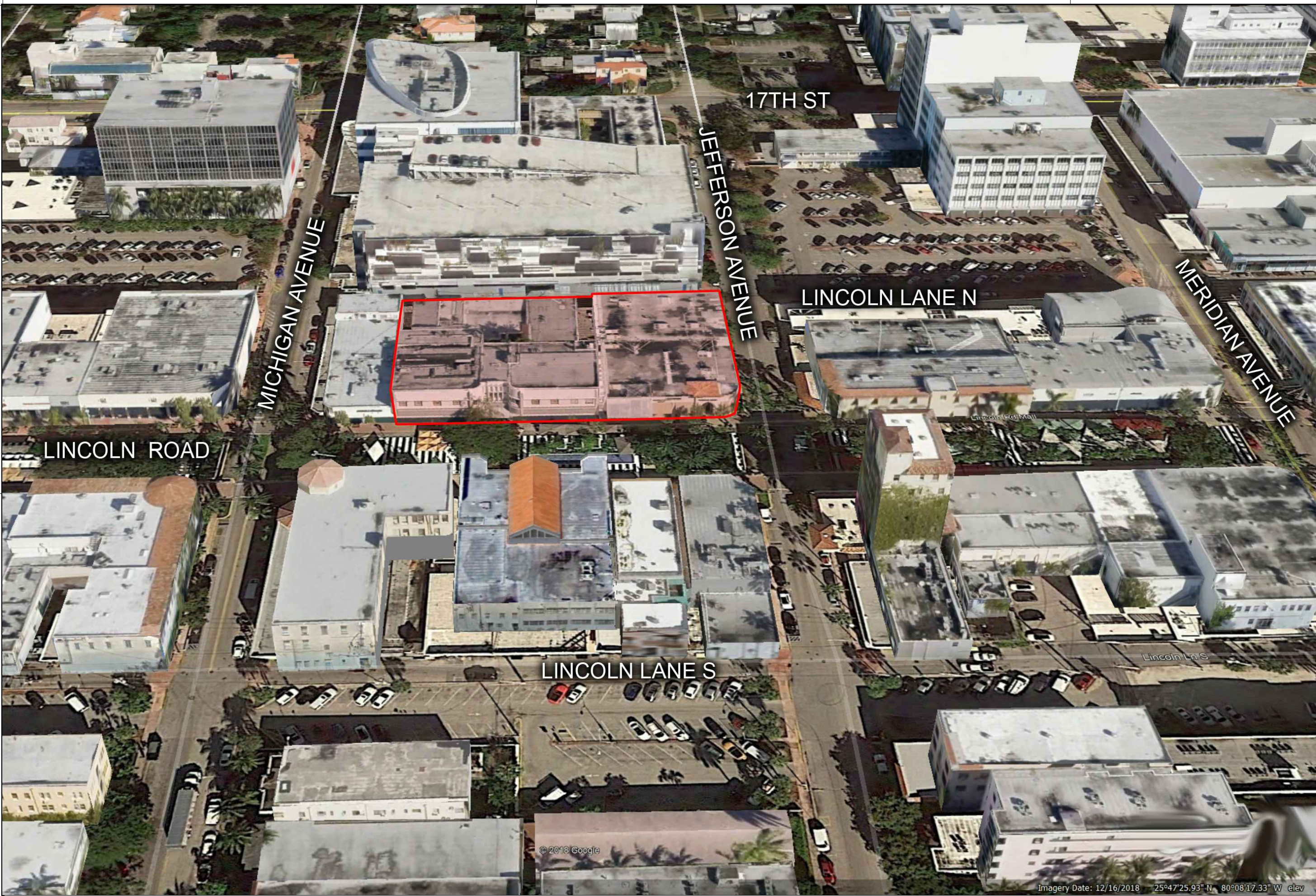


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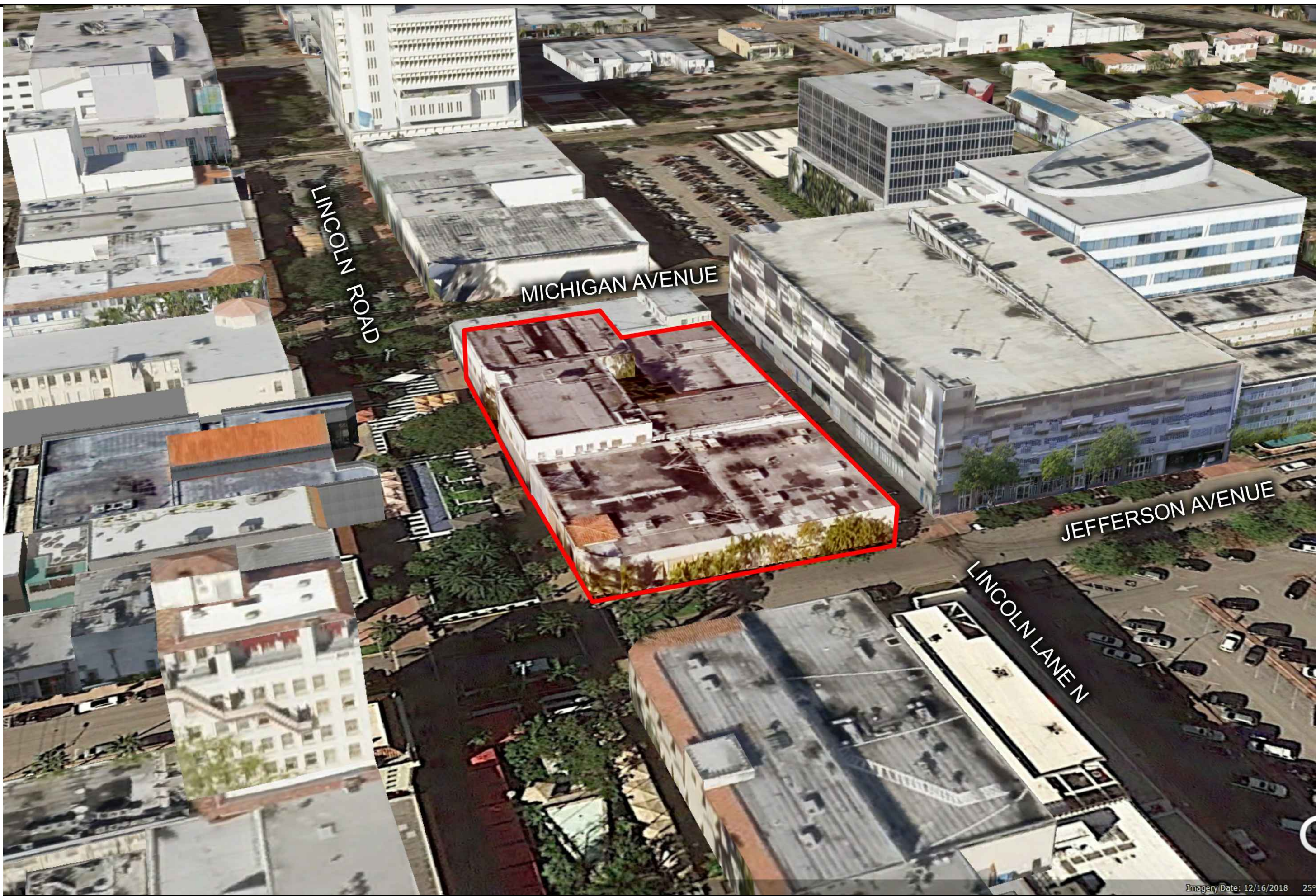
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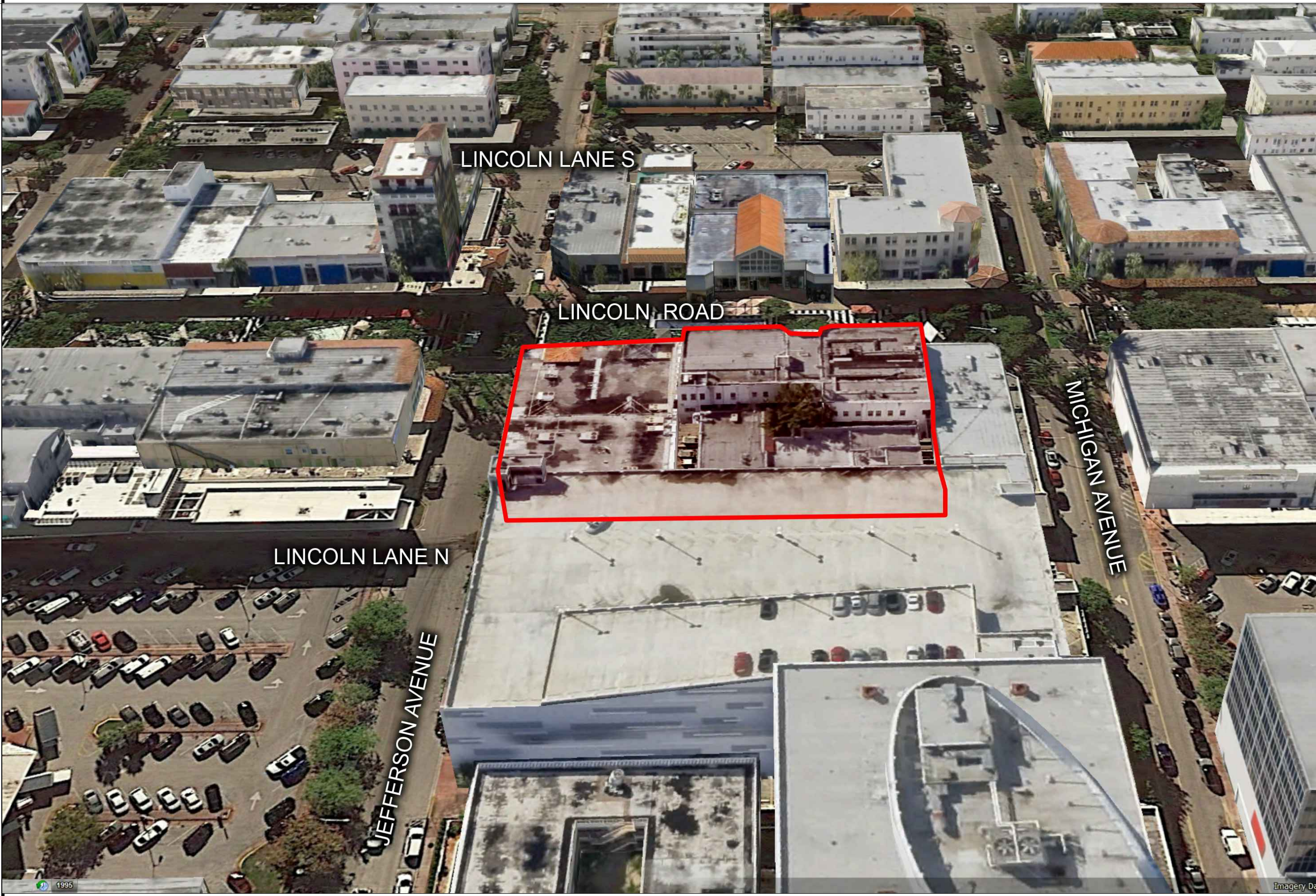
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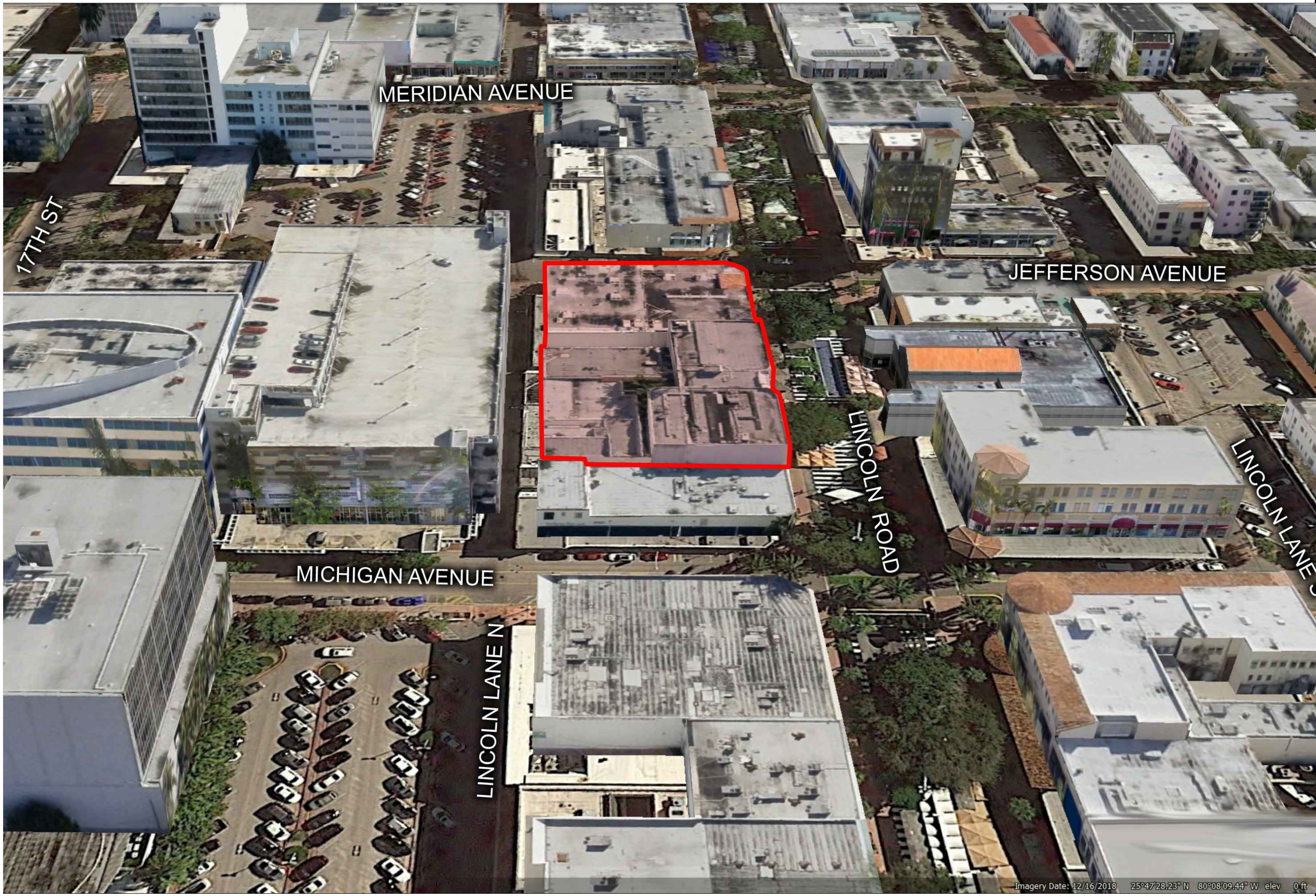
1 SOUTH AXONOMETRIC VIEW
N.T.S.



2 WEST AXONOMETRIC VIEW
N.T.S.



3 NORTH AXONOMETRIC VIEW
N.T.S.



4 EAST AXONOMETRIC VIEW
N.T.S.

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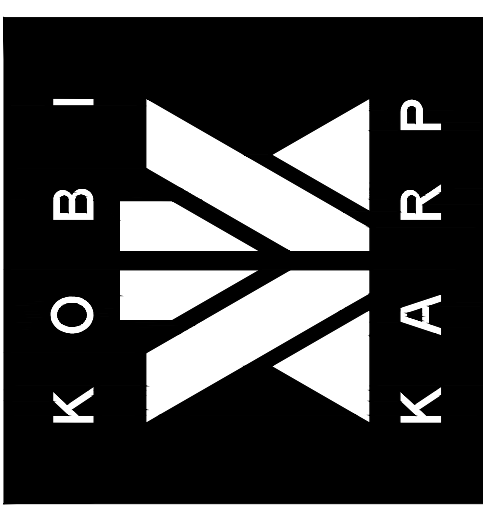
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927-929 LINCOLN RD MIAMI BEACH, FL 33139	AXONOMETRIC VIEWS
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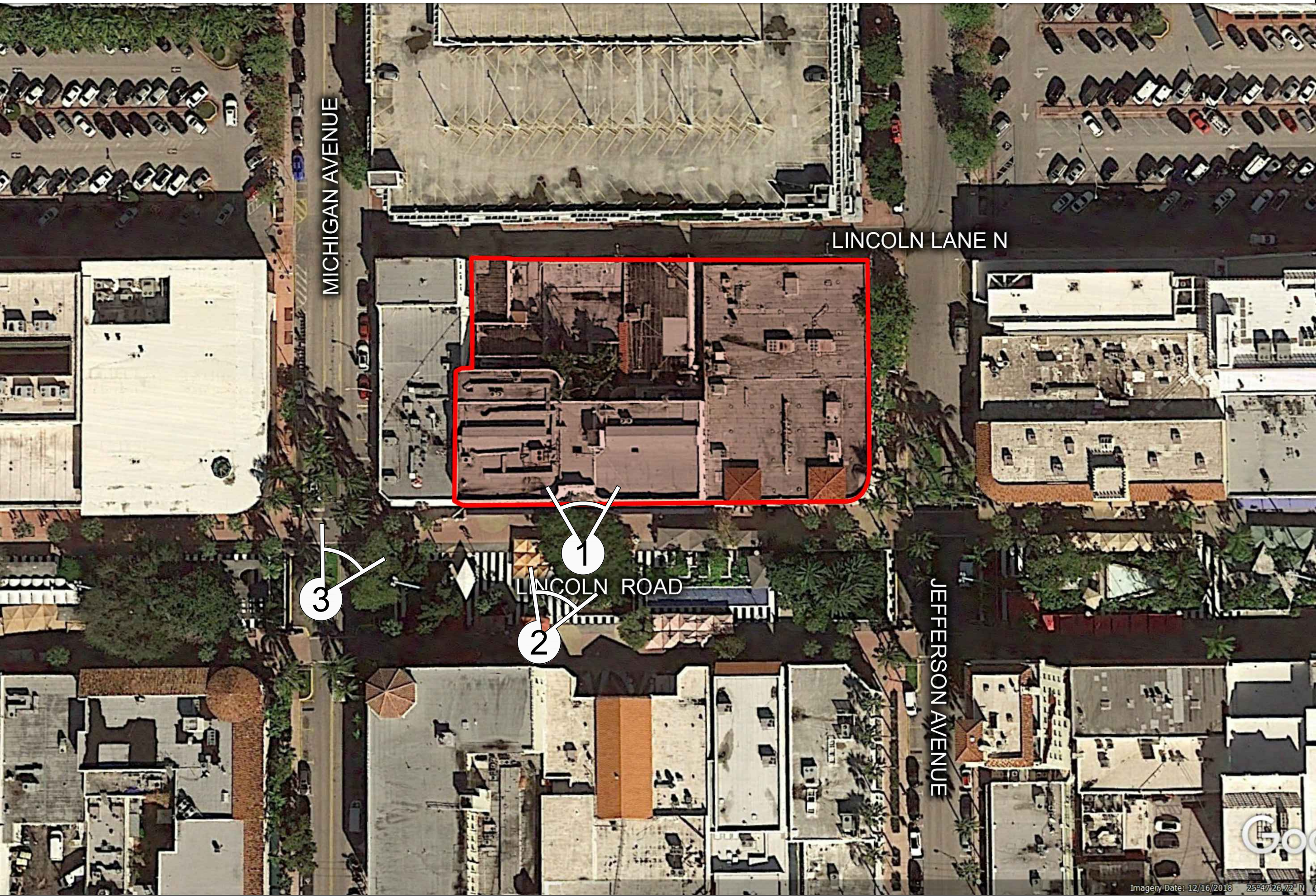
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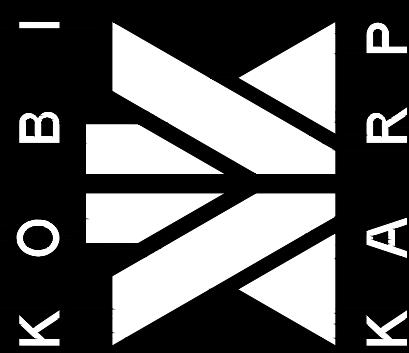
SITE PHOTOS

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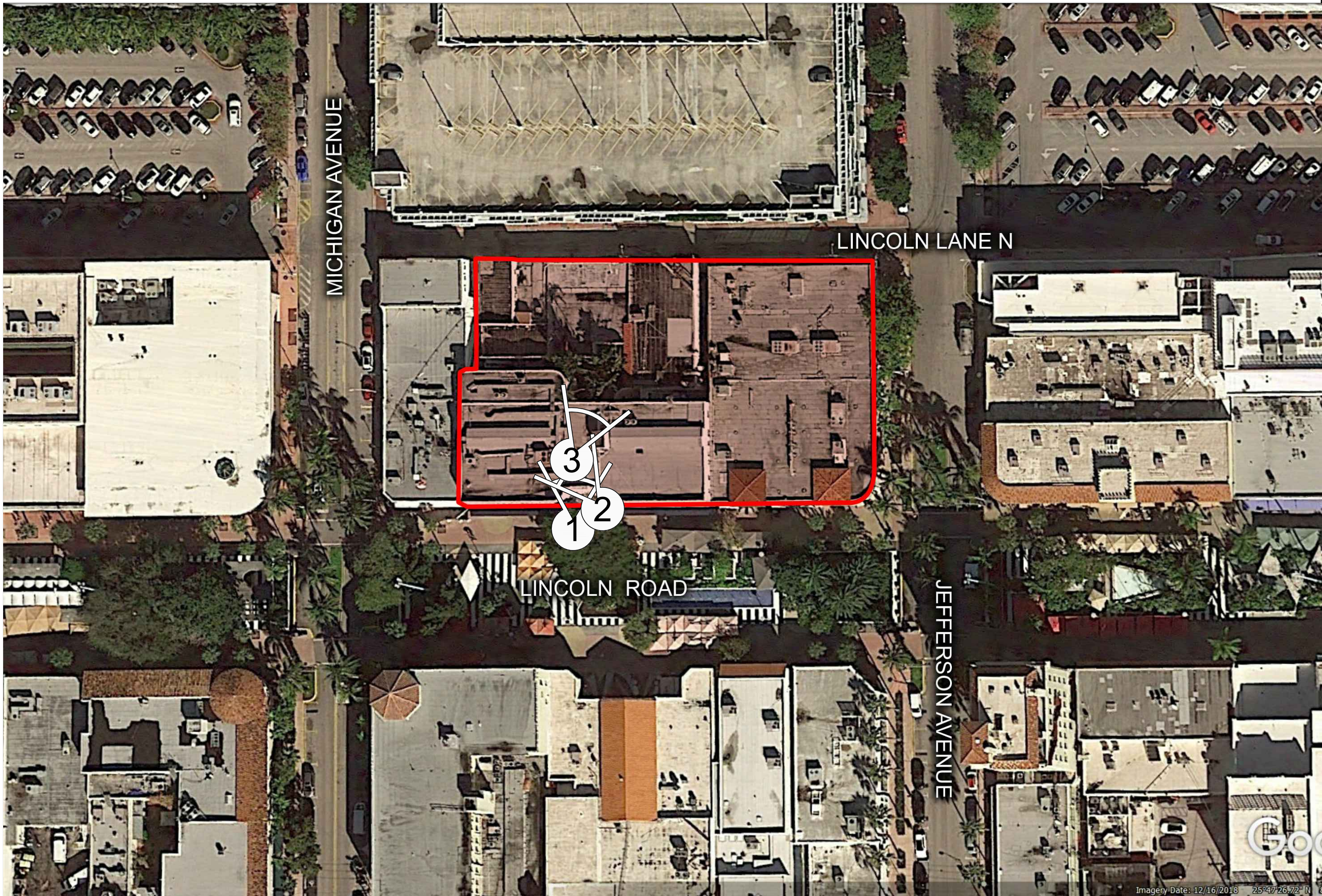
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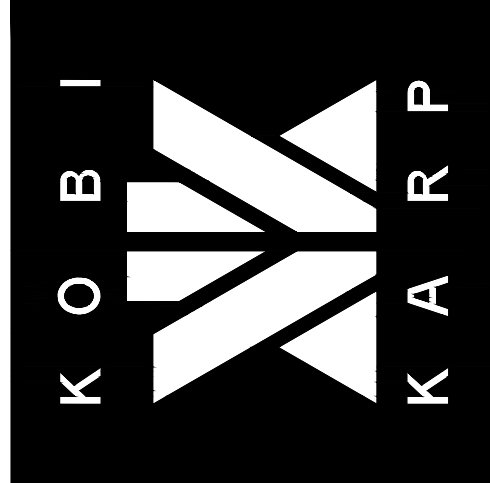
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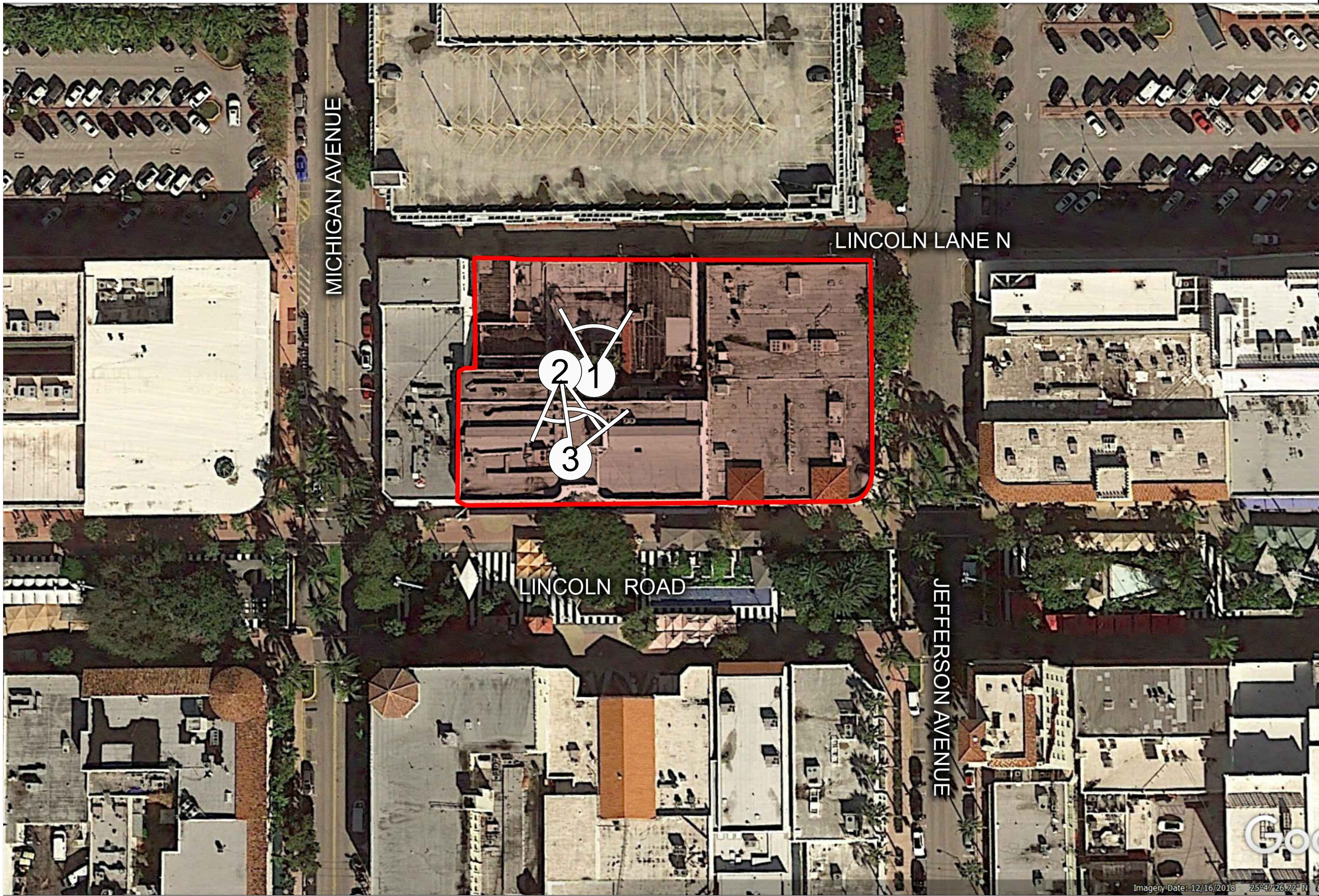
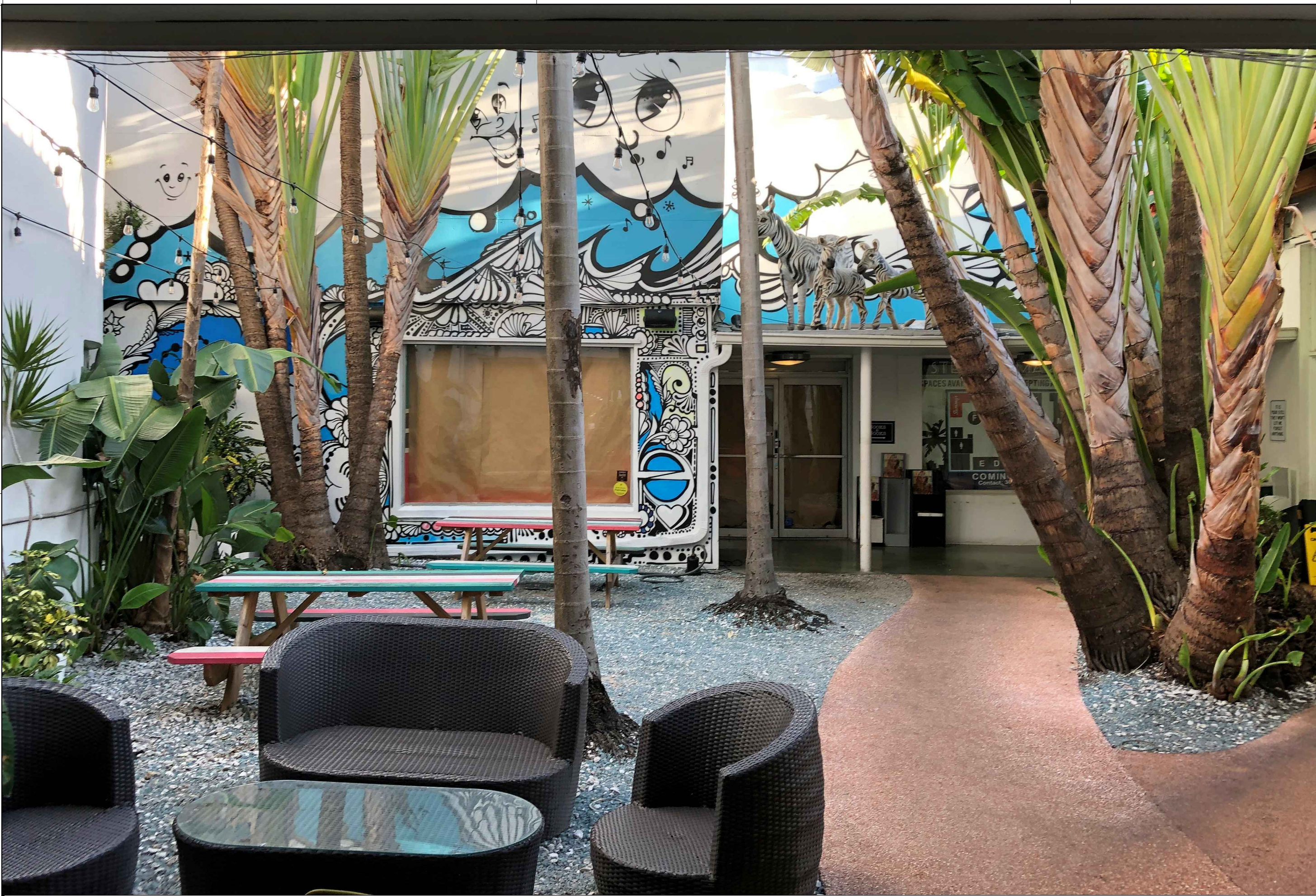
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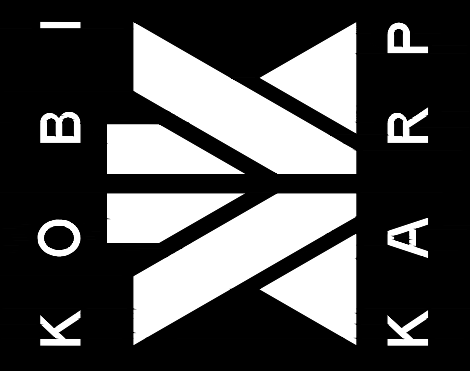
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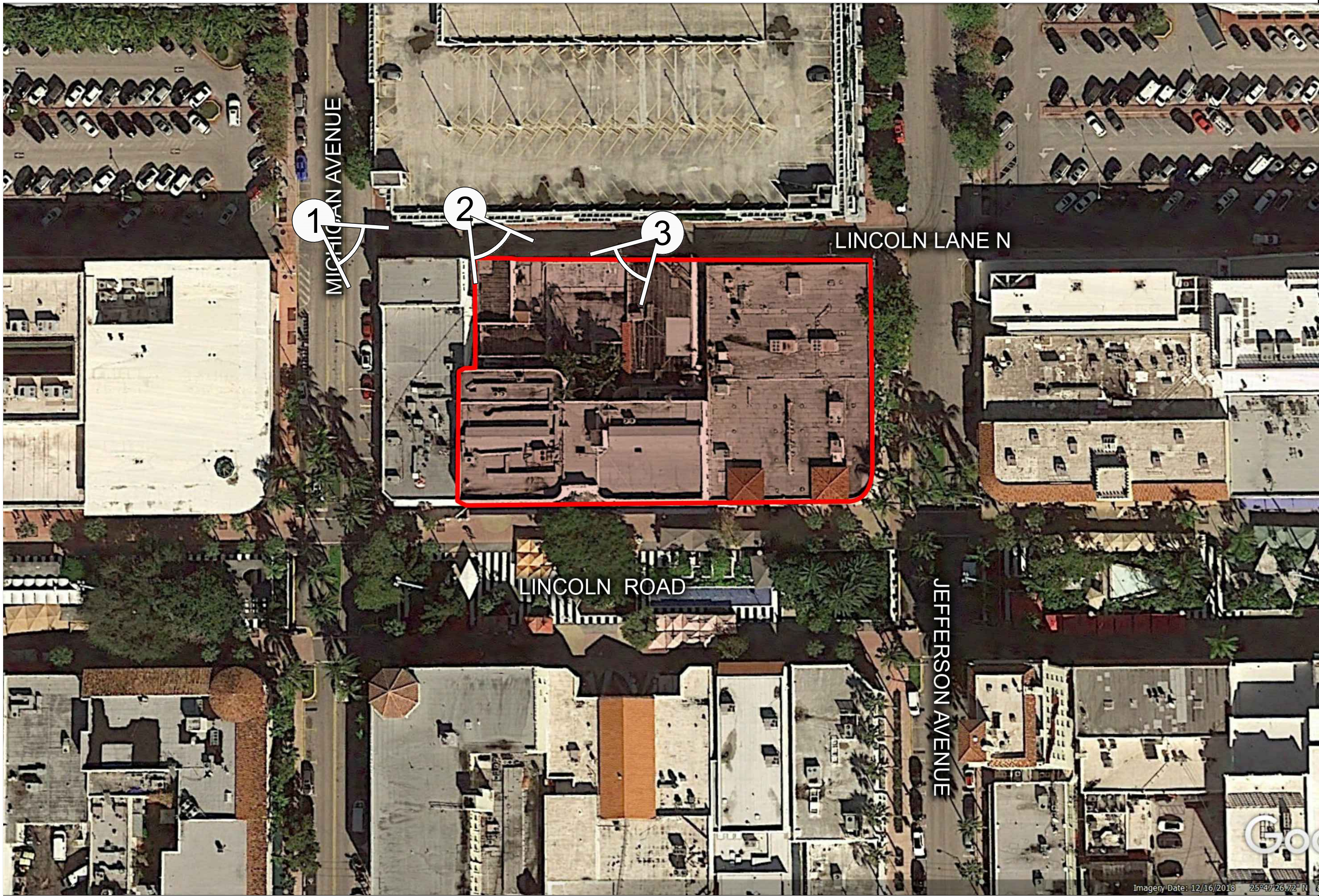
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PLANNING

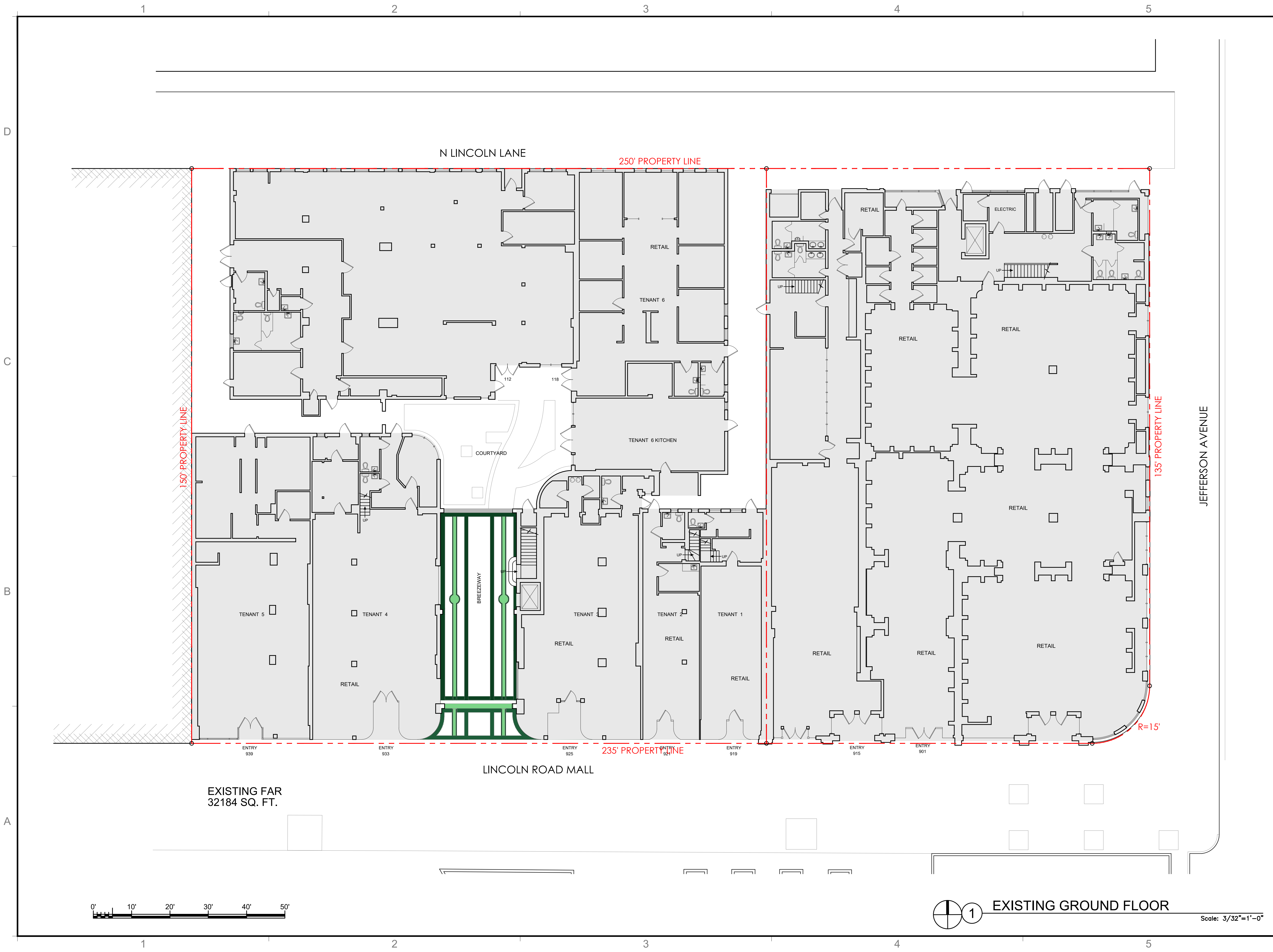
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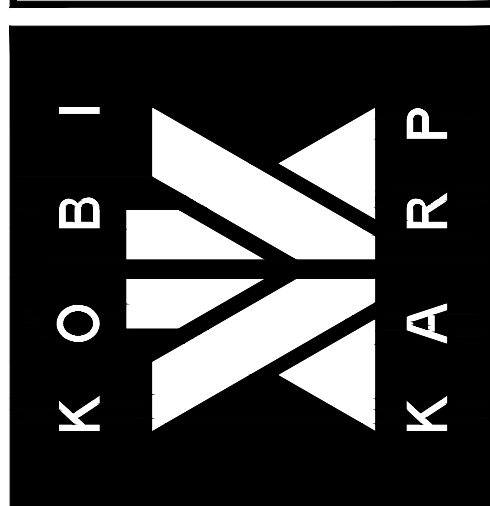
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GROUND FLOOR
EXISTING

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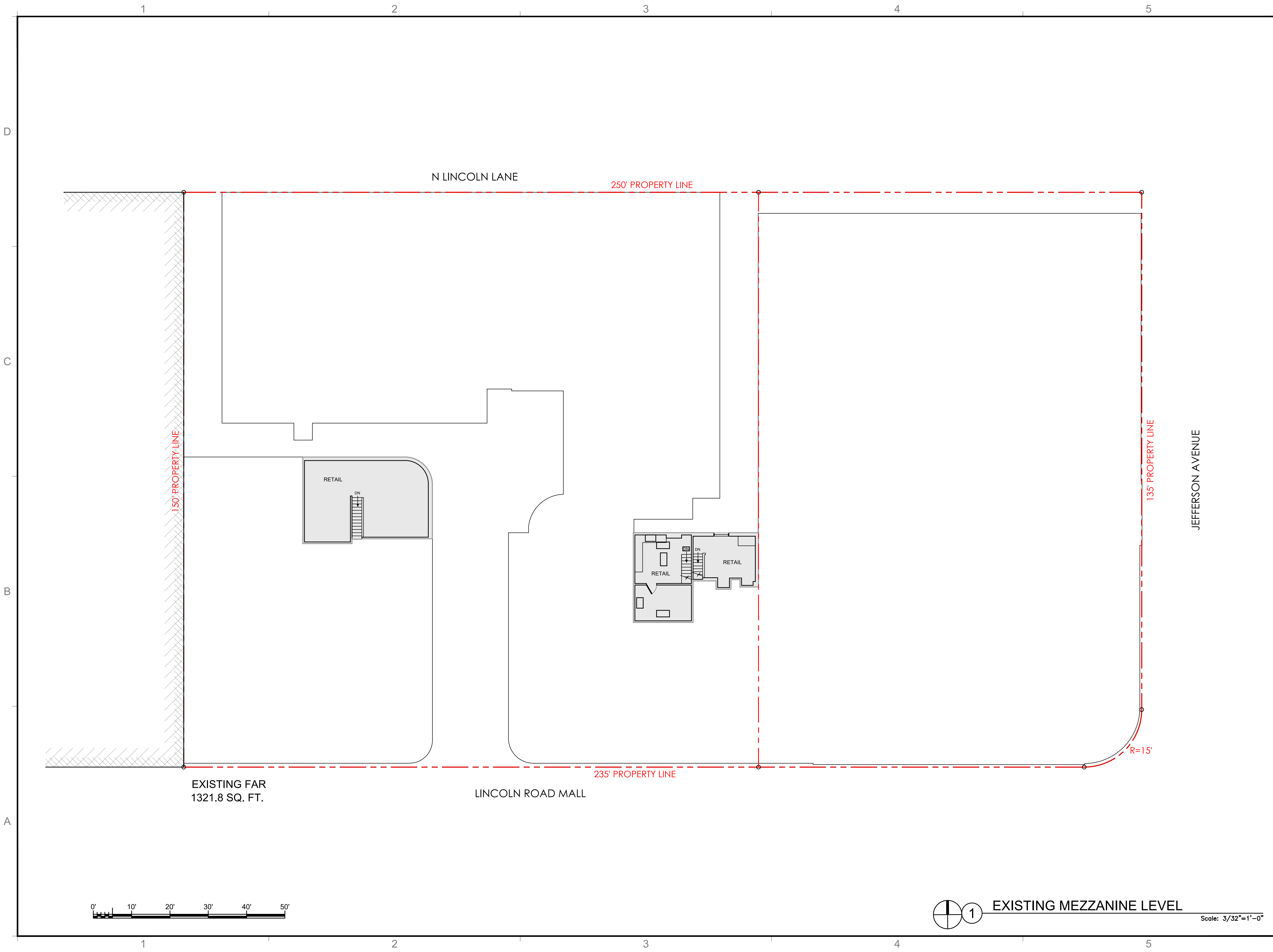


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A1.04



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SECOND LEVEL
EXISTING

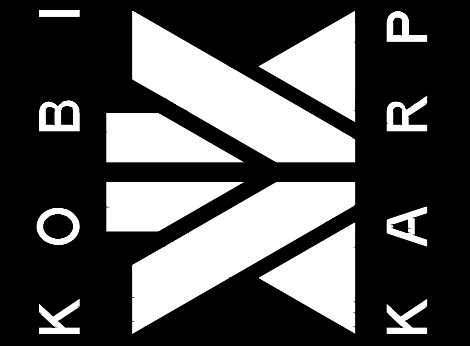
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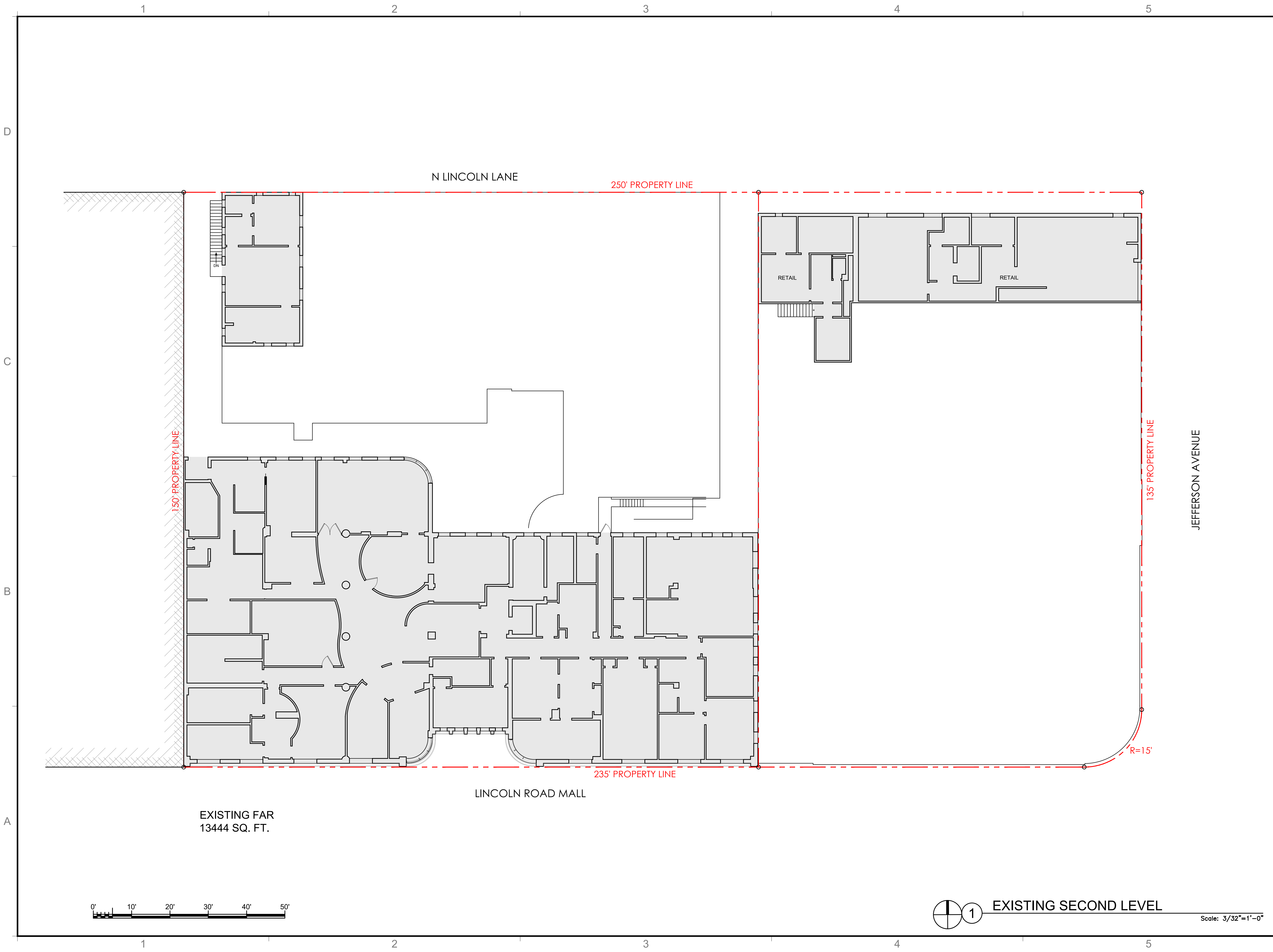


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EXISTING MEZZANINE LEVEL

Scale: 3/32"=1'-0"



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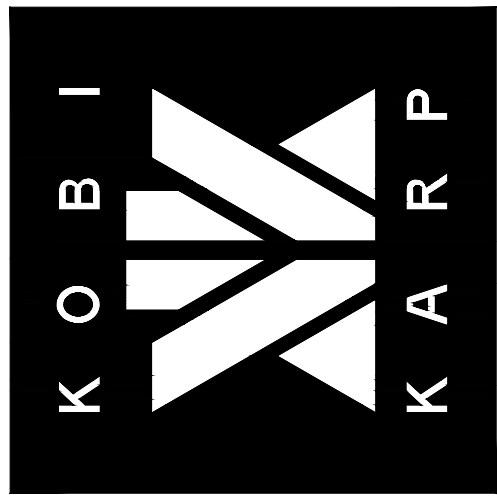
Suite 200

Miami, Florida 33137

C: 305.573.3765

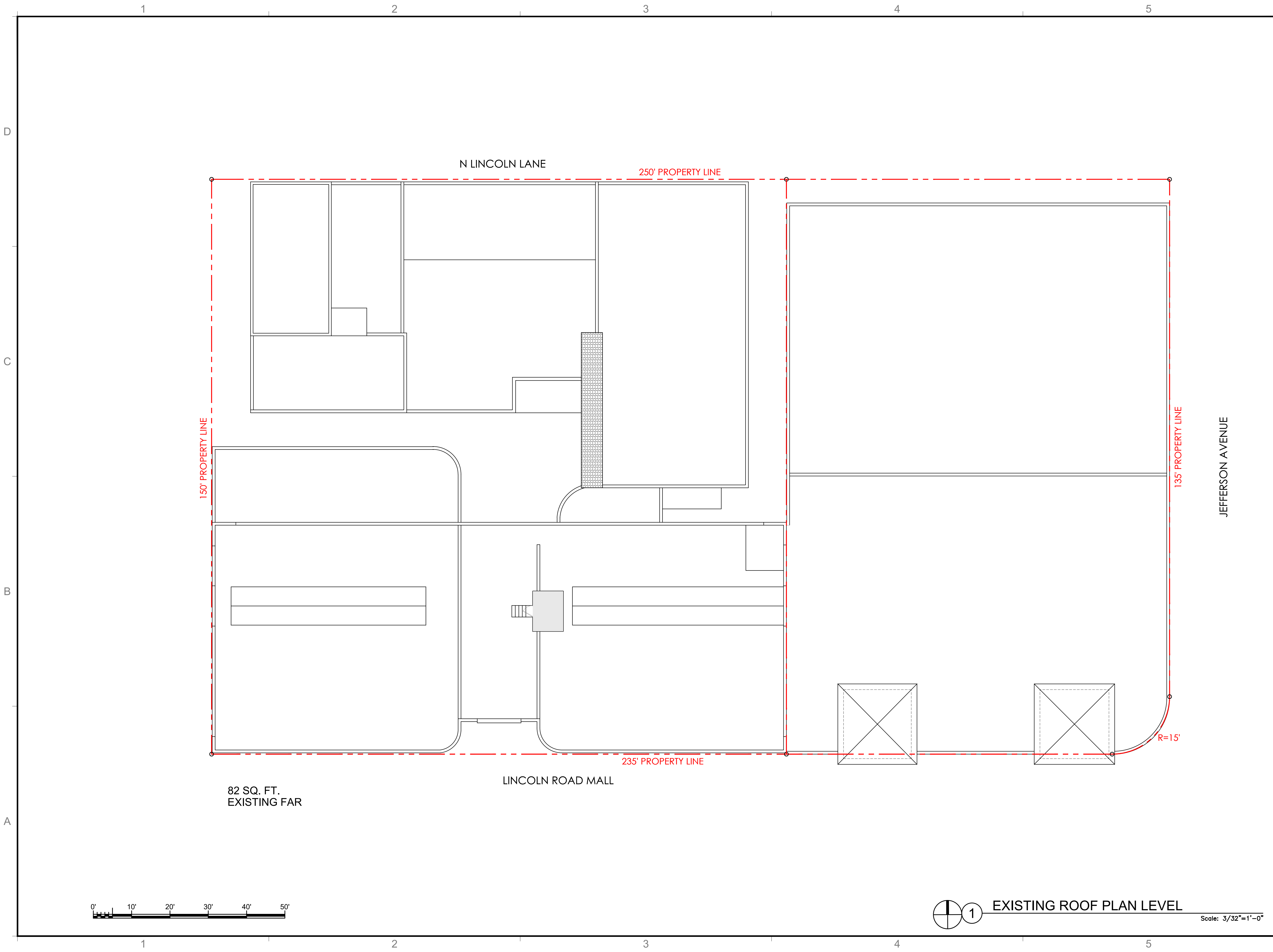
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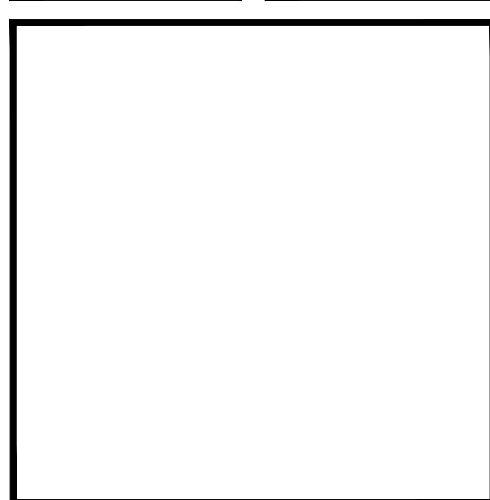
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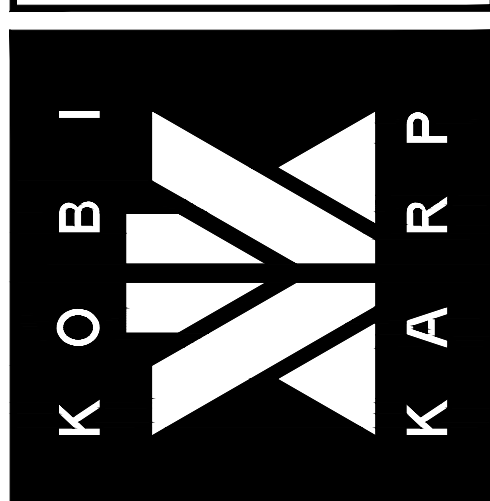
ROOF PLAN
EXISTING



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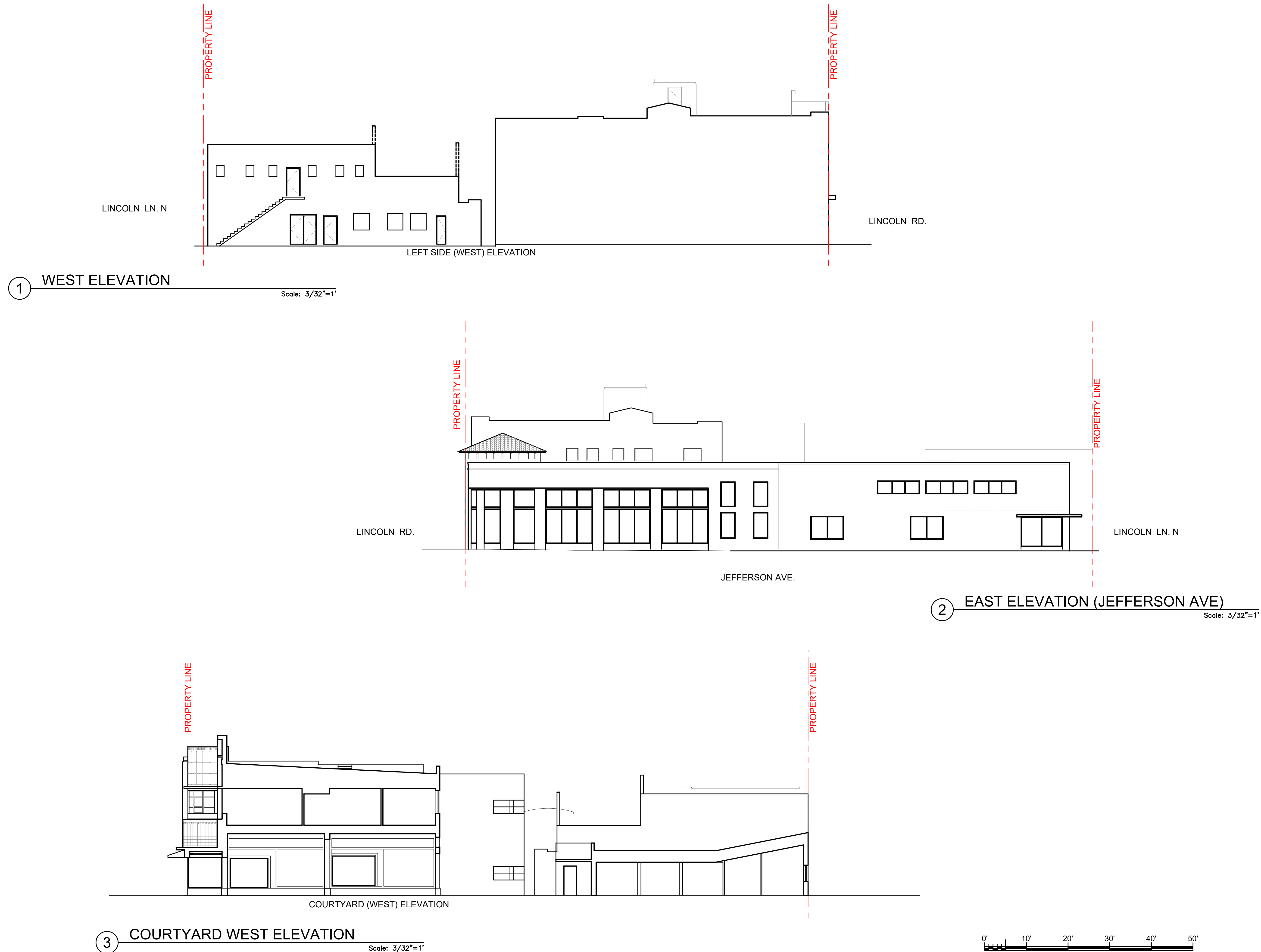


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EXISTING ELEVATIONS

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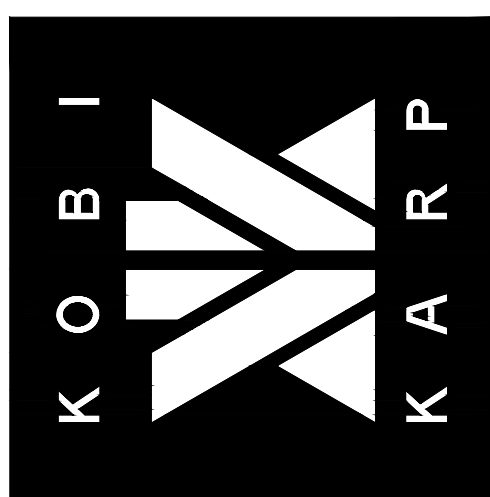
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2915 Biscayne Boulevard

Suite 200
Miami, Florida 33137
C. 305.572.1948

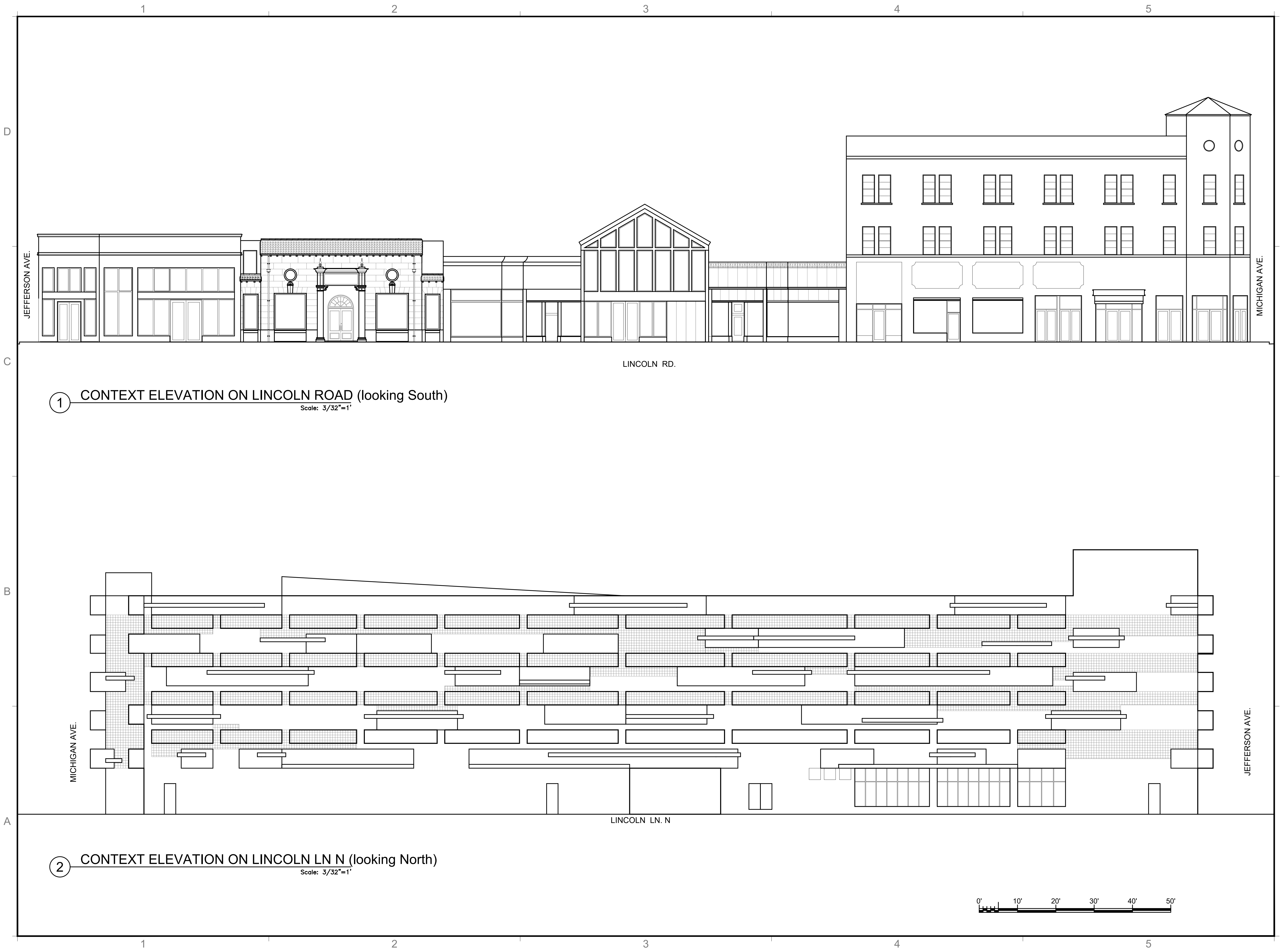
U: 305.573.1618
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A1.09



1 CONTEXT ELEVATION ON LINCOLN ROAD (looking South)
Scale: 3/32"=1'

2 CONTEXT ELEVATION ON LINCOLN LN N (looking North)
Scale: 3/32"=1'

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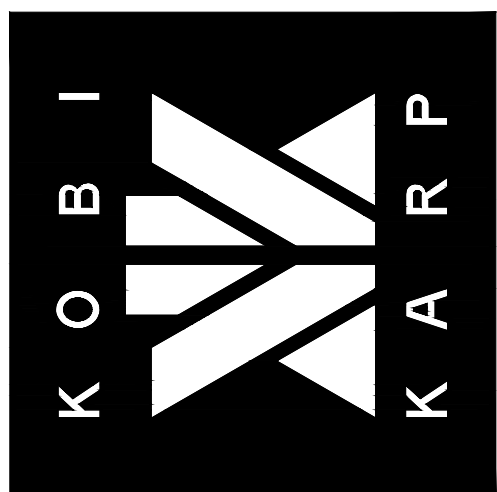
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CONTEXT ELEVATIONS
FLOOR PLAN

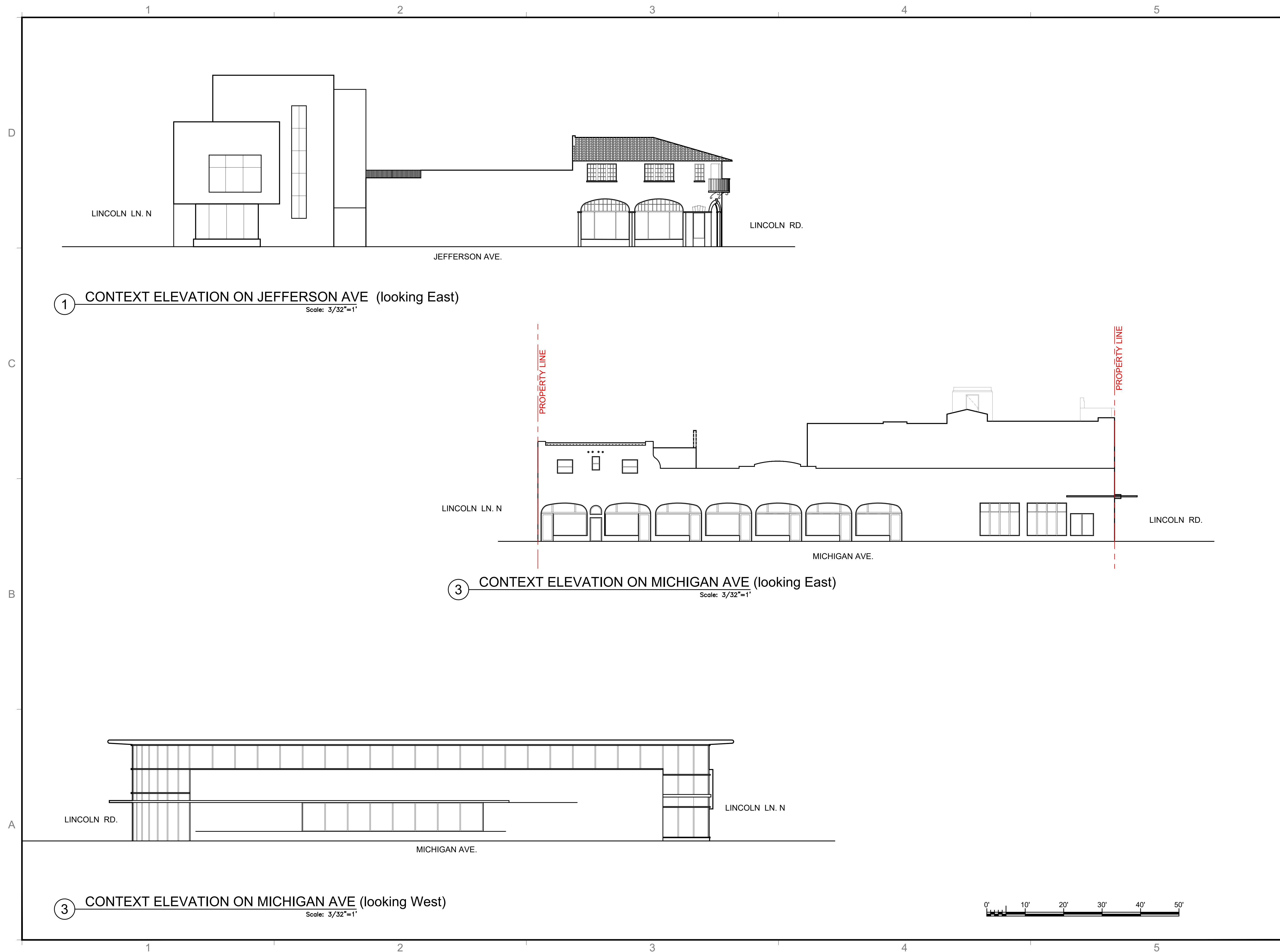
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CONTEXT ELEVATIONS

FLOOR PLAN

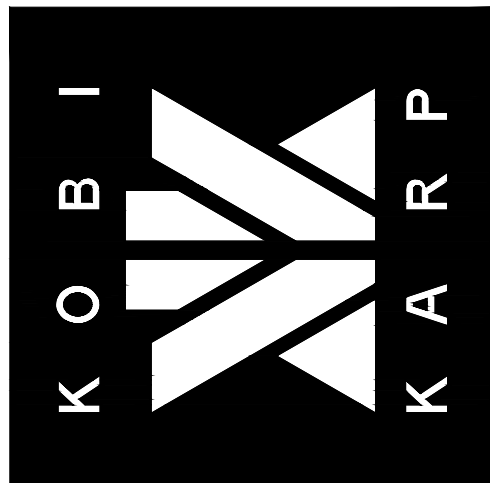
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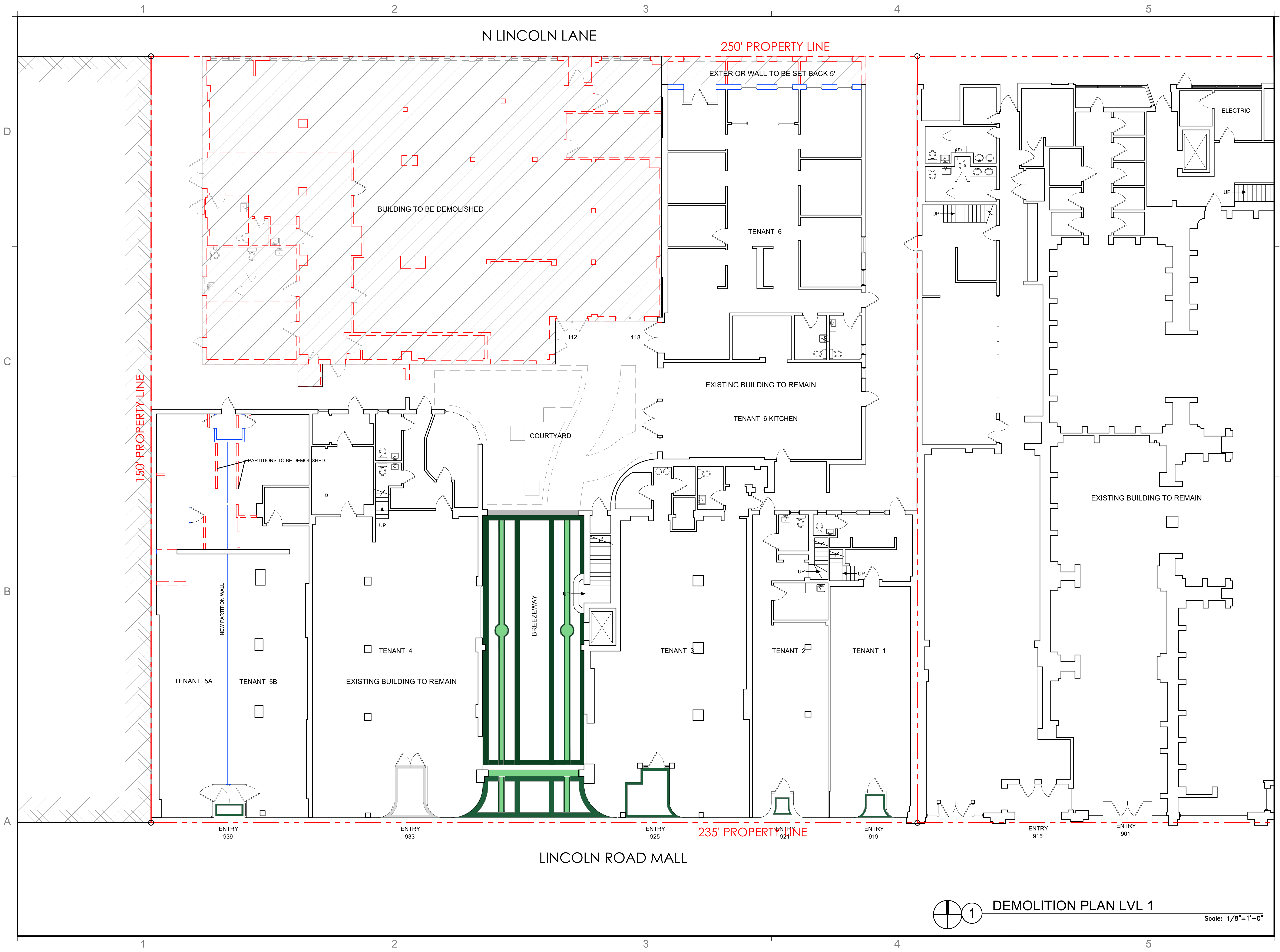
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GROUND FLOOR
DEMOLITION

ARCHITECTURE
INTERIOR DESIGN
PLANNING

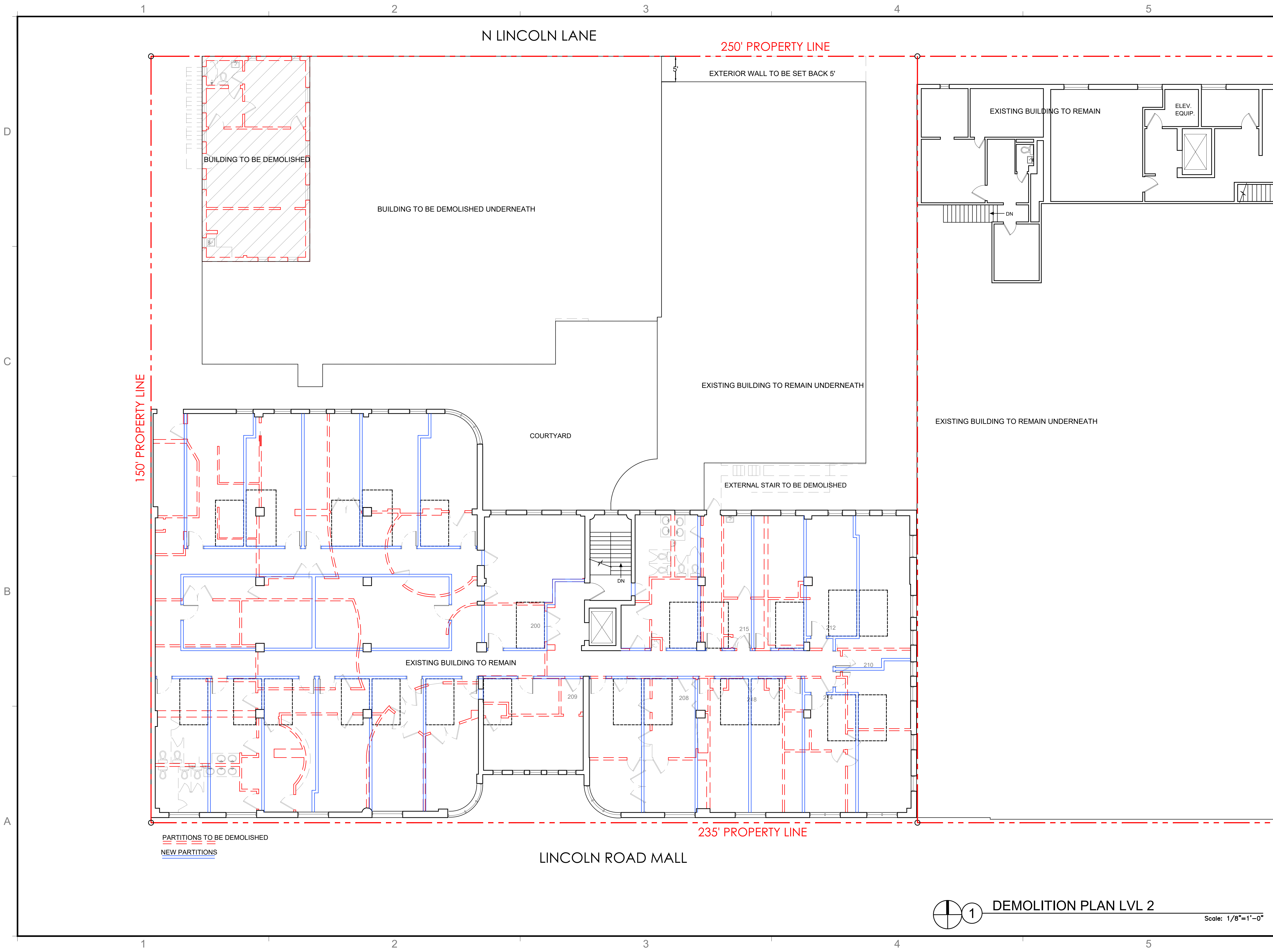
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K A R P

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A2.01



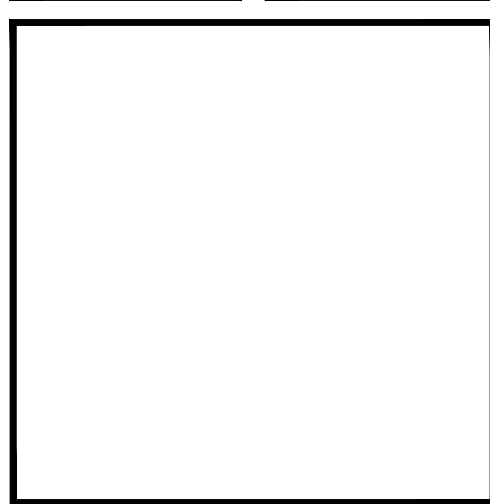
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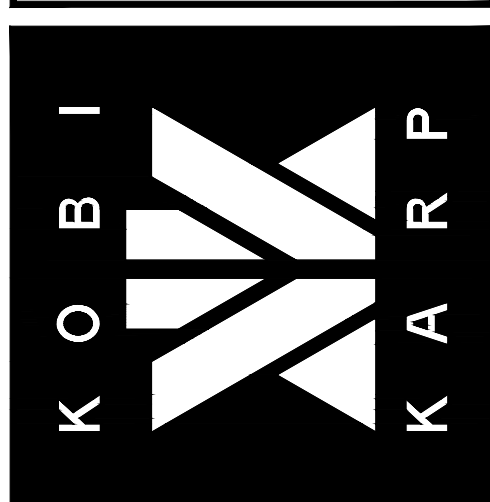
SECOND LEVEL
DEMOLITION



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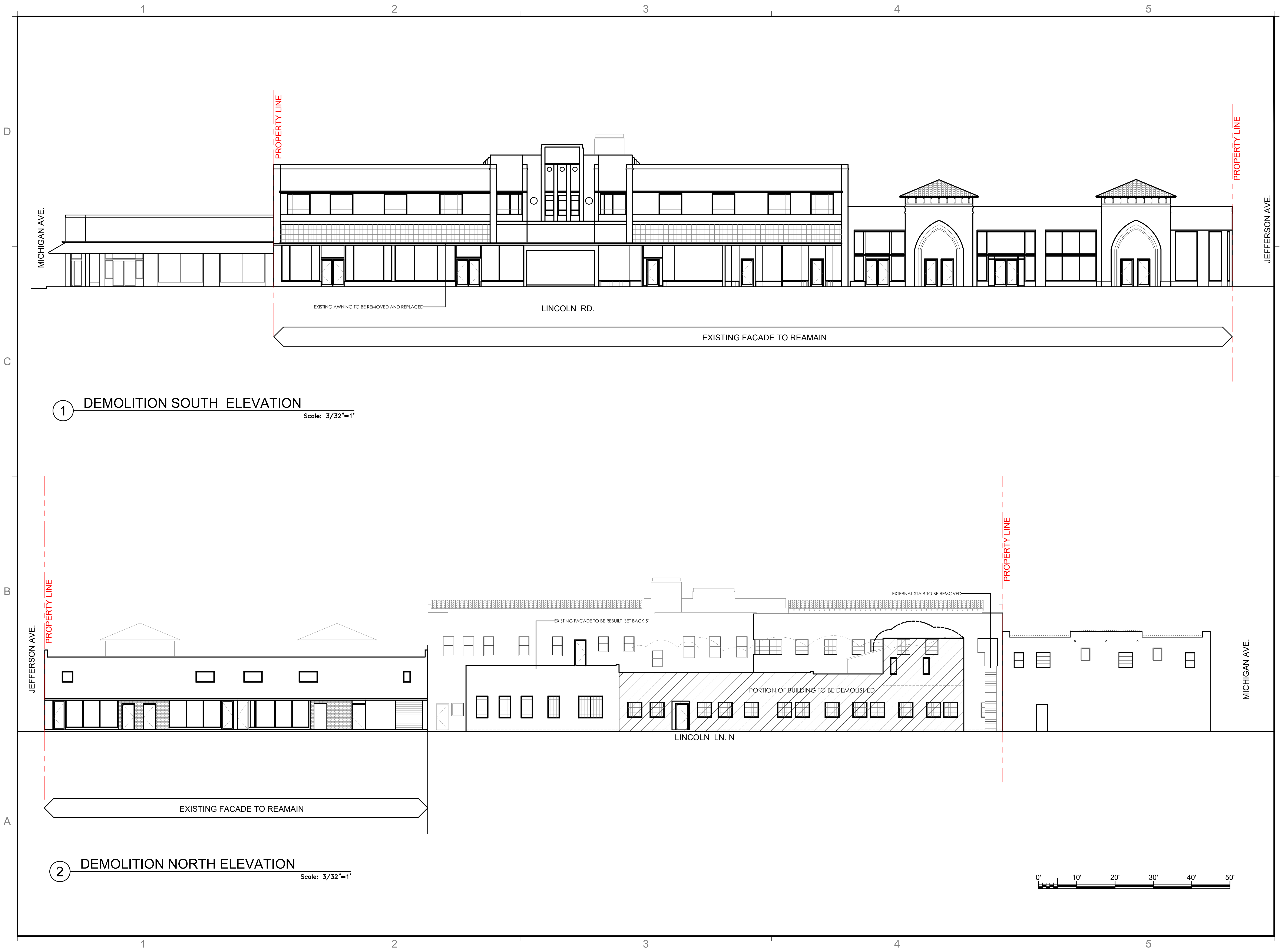


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A2.02



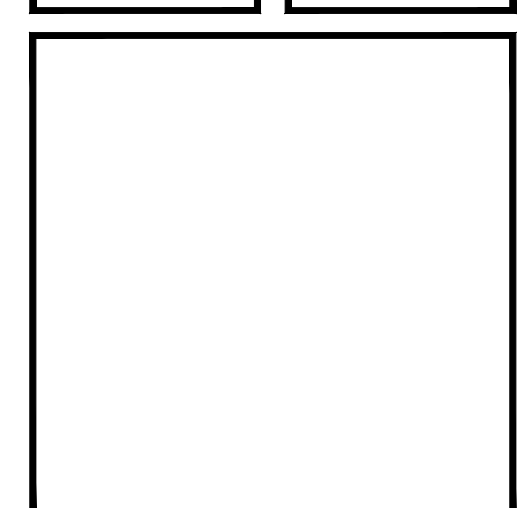
1 DEMOLITION SOUTH ELEVATION
Scale: 3/32"=1'

2 DEMOLITION NORTH ELEVATION
Scale: 3/32"=1'

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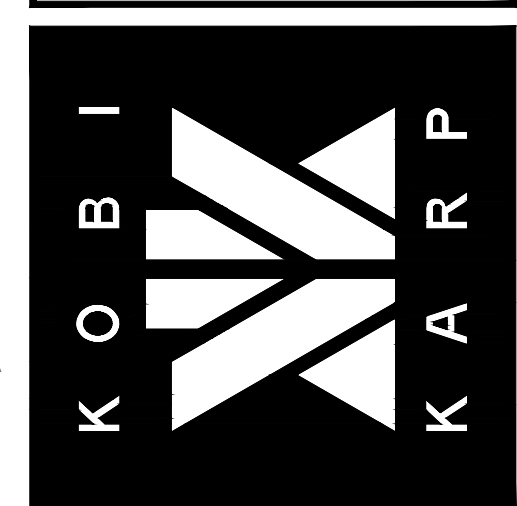
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DEMOLITION ELEVATIONS

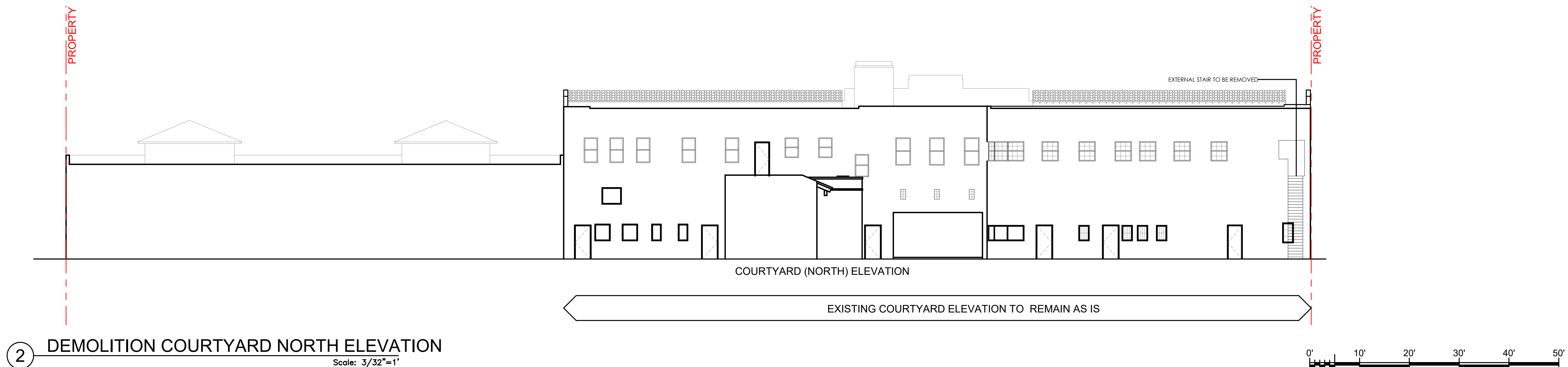
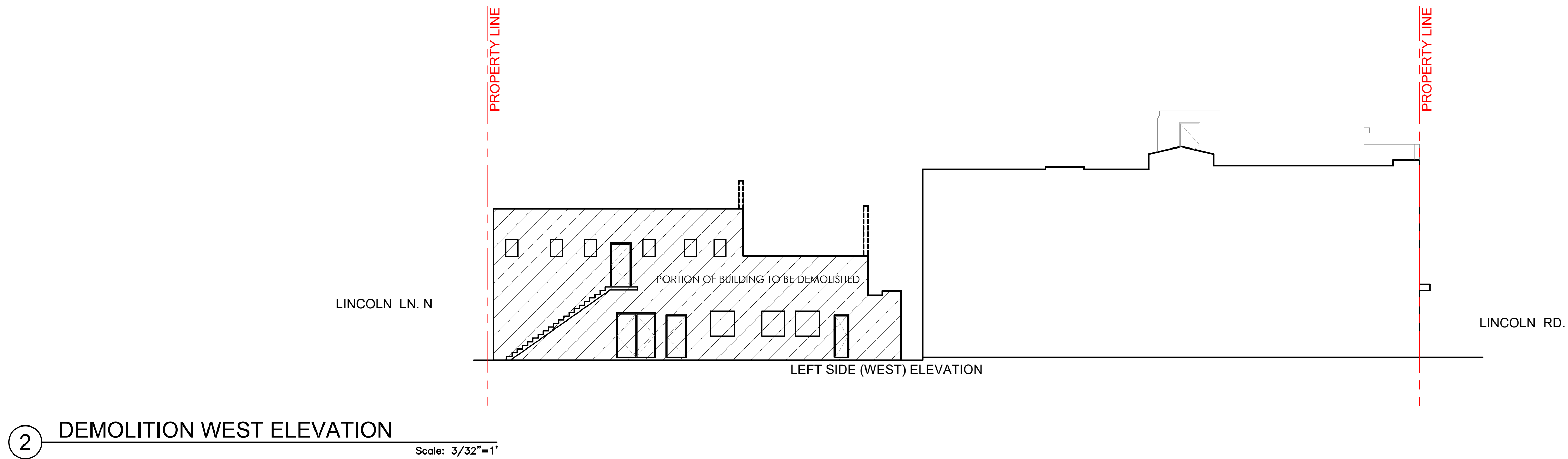
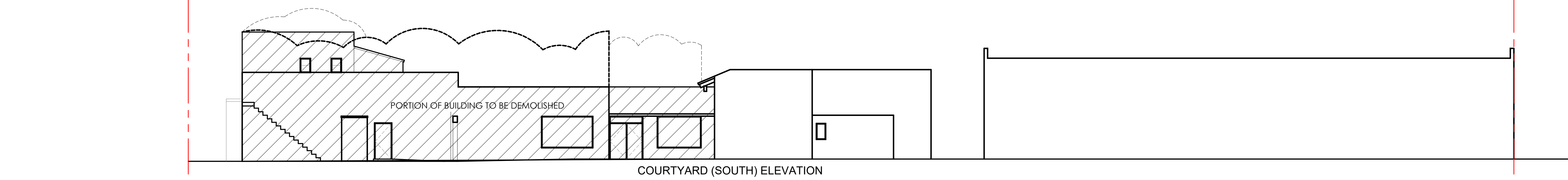


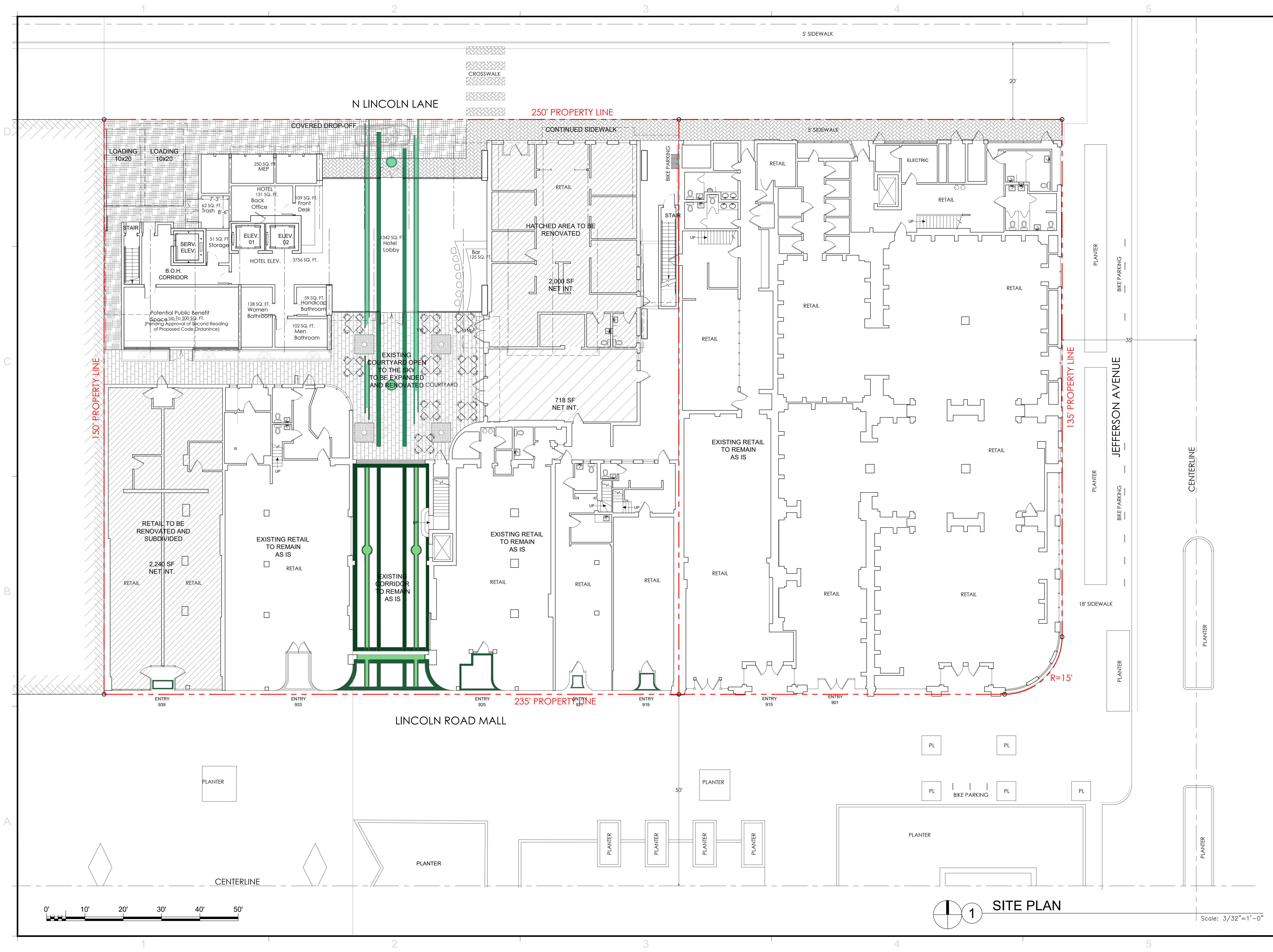
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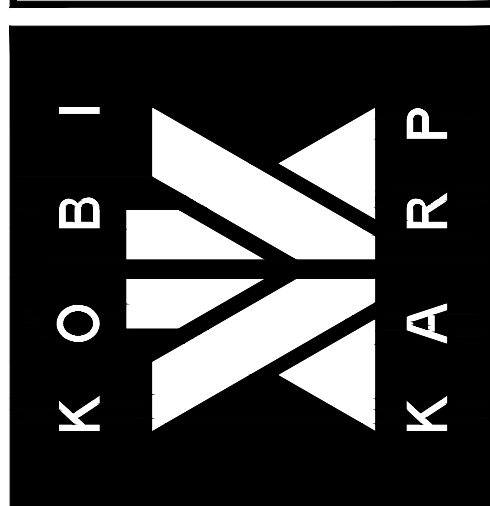
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SITE PLAN

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DATE: 10/18/2019

A3.00



SABAL PALM (CURVED TRUNK, LEANING)



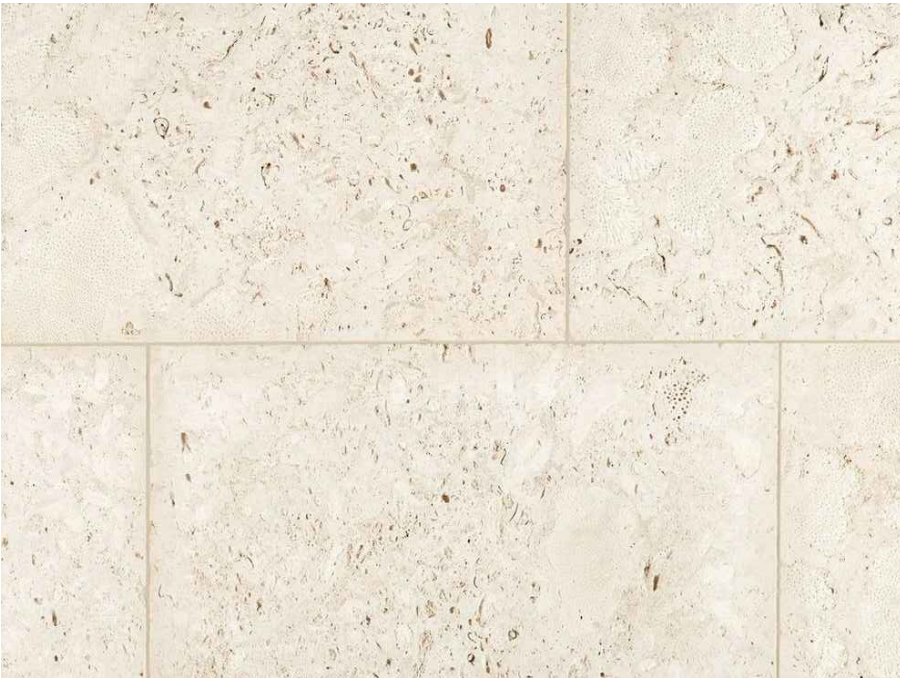
SIMPSON STOPPER TREE



BLACK IRONWOOD TREE



BOSTON FERN



CORAL STONE PAVER



EXISTING GROUND LEVEL FLOORING: IMAGE 1



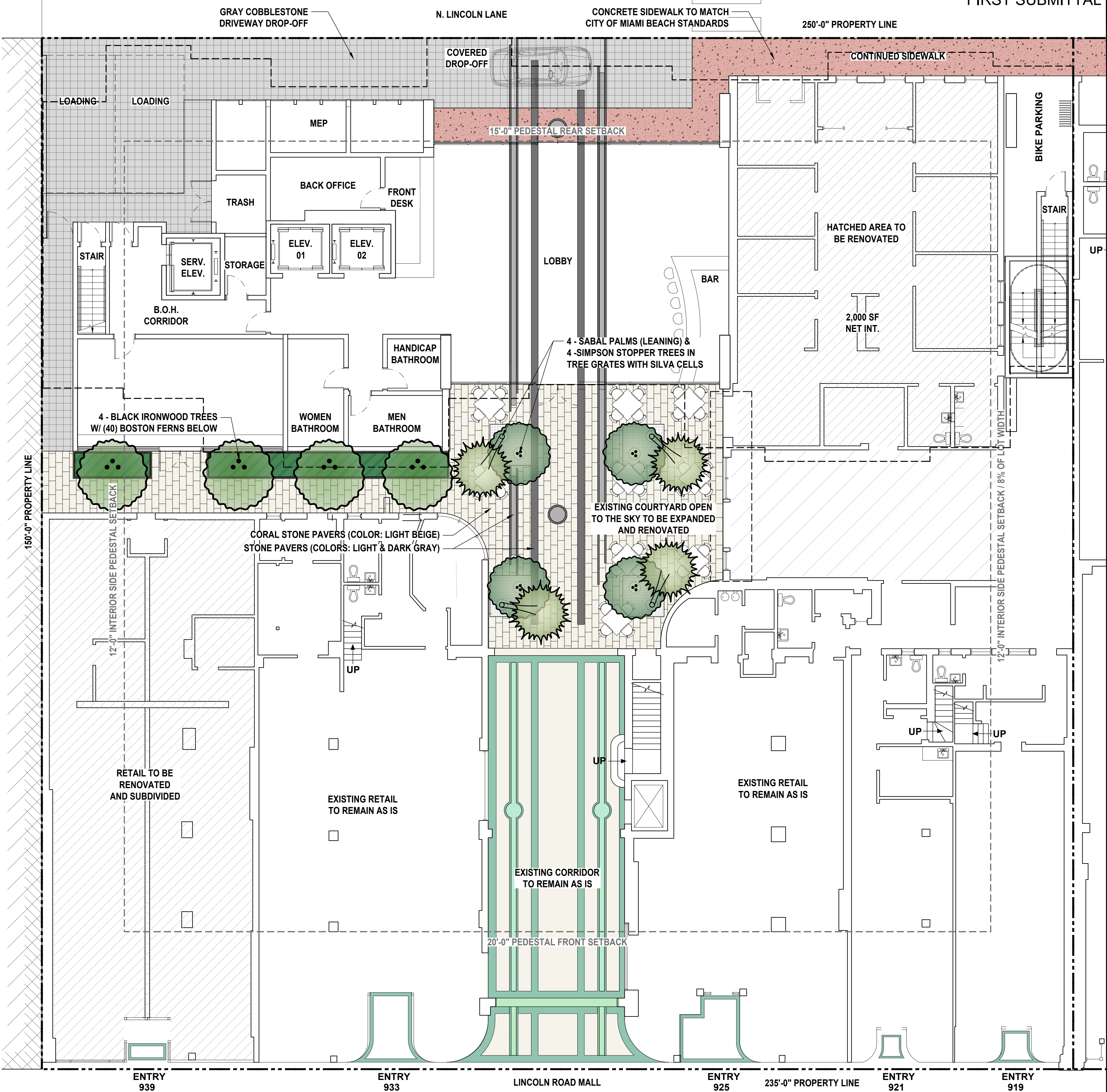
EXISTING GROUND LEVEL FLOORING: IMAGE 2



ART DECO THEMED TREE GRATE



GRAY COBBLESTONE



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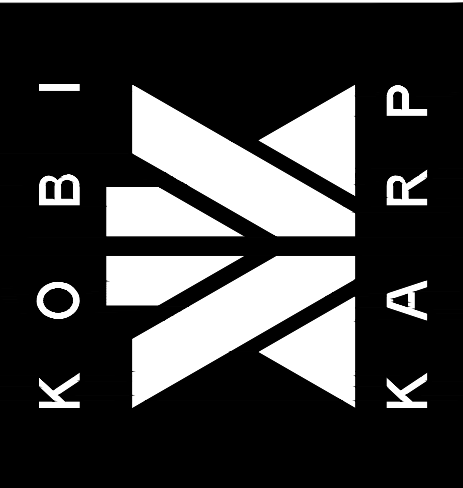
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LANDSCAPE PLAN
GROUND LEVEL

DAVID J. ODISHOO
Lic. # 6666969

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L-101



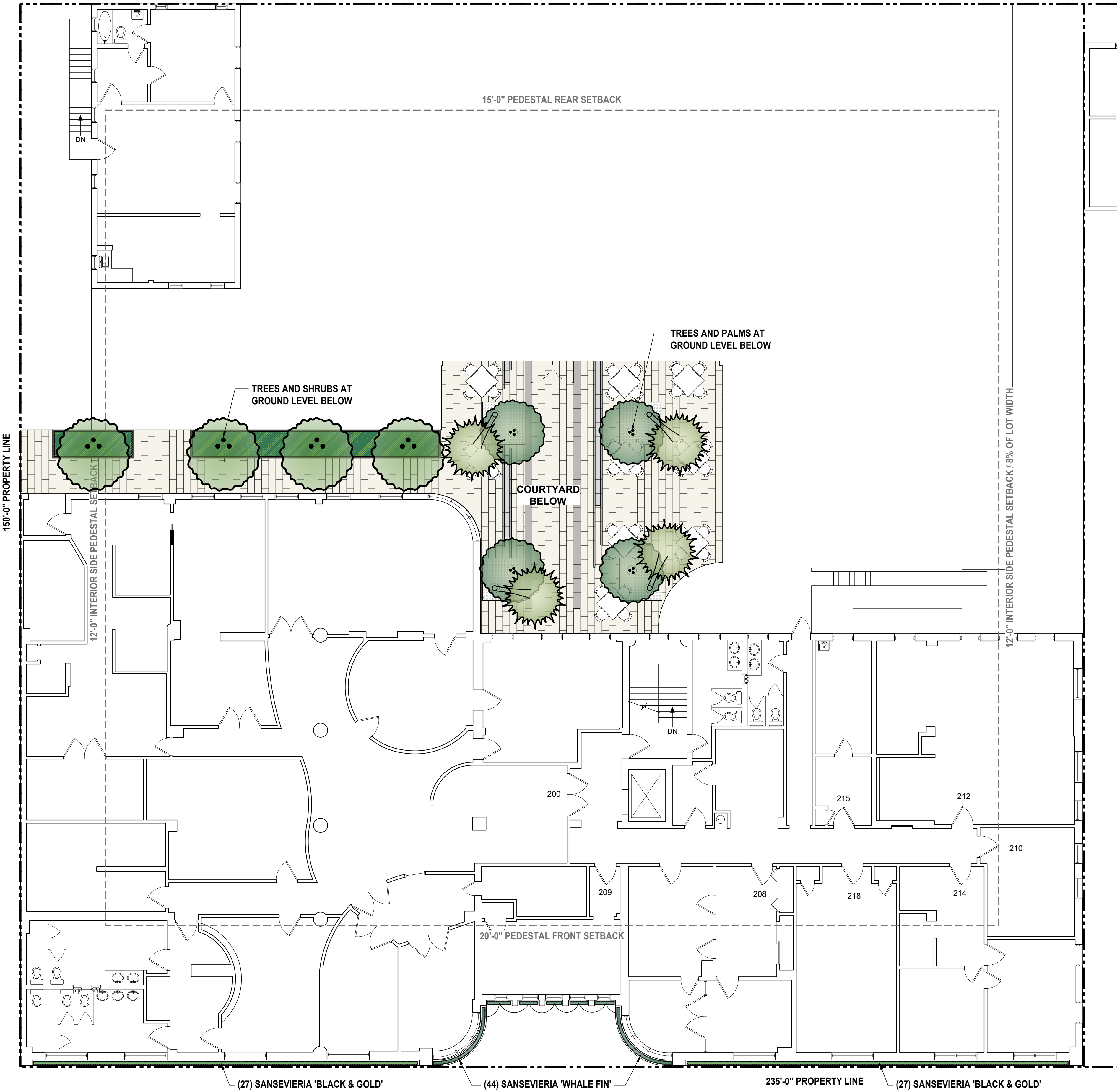
SANSEVIERIA 'WHALE FIN'



SANSEVIERIA 'BLACK & GOLD'



HISTORIC FACADE SECOND FLOOR LINEAR PLANTERS



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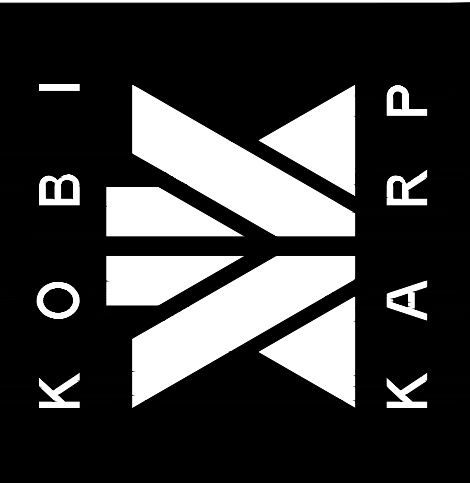
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LANDSCAPE PLAN
SECOND LEVEL

DAVID J. ODISHOO
Lic. # 6666969

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L-200



GUMBO LIMBO TREE



SATIN LEAF TREE



SABAL PALM (CURVED TRUNK, LEANING)



SPANISH STOPPER



THATCH PALM (*THRINAX RADIATA*)



GOLDEN CREEPER (*ERNODEA LITTORALIS*)



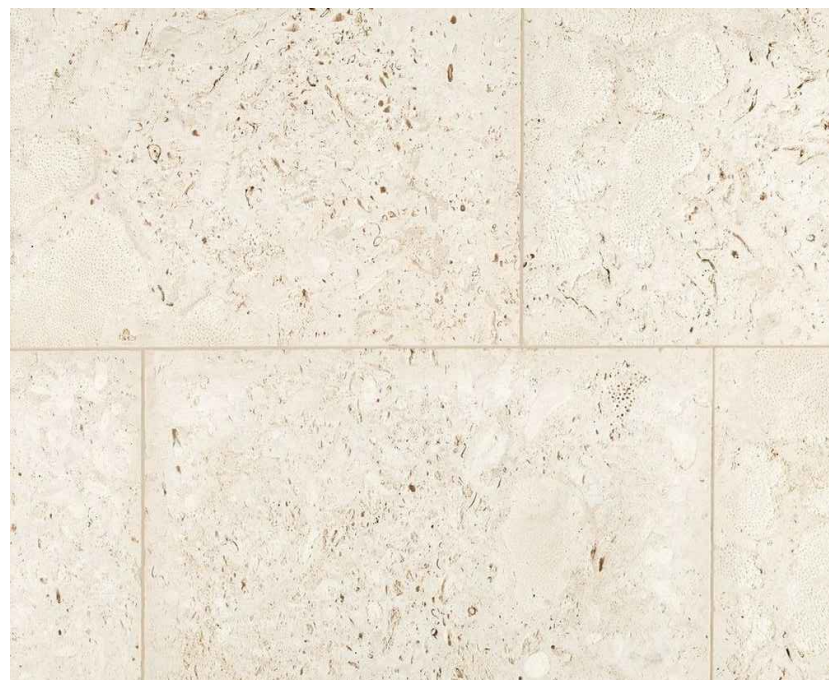
FICUS GREEN ISLAND (*FICUS MICROCARPA*)



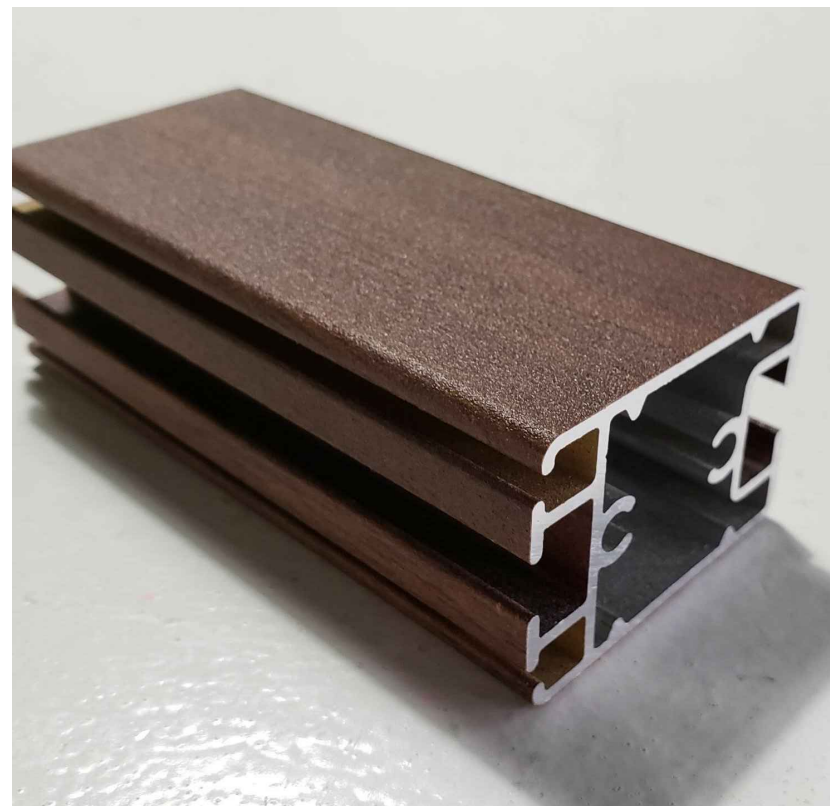
ALCANTAREA VINICOLOR



IPE WOOD DECK



CORAL STONE PAVER



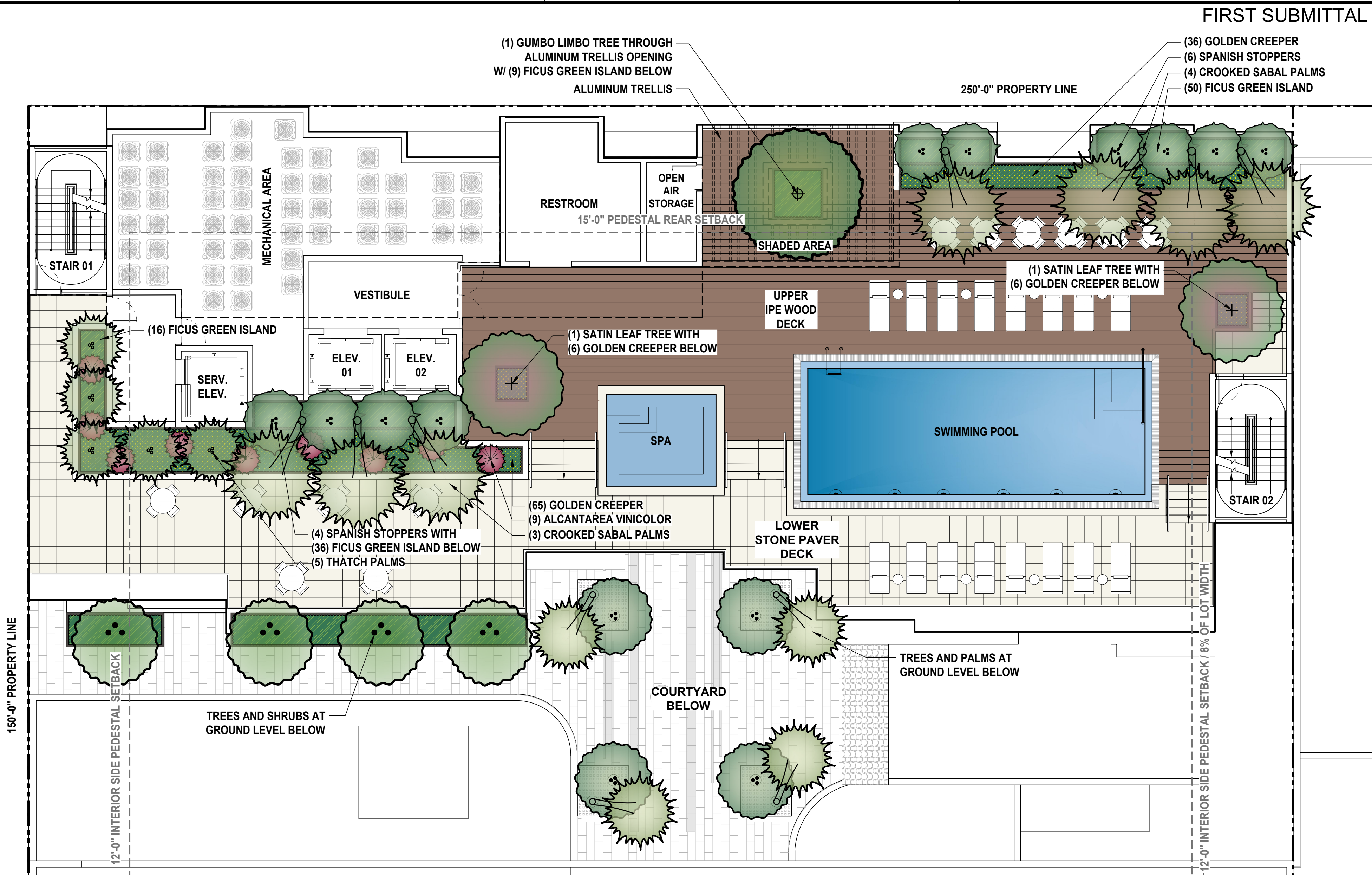
ALUMINUM TRELLIS: DARK BROWN SHADE



ALUMINUM TRELLIS: IMAGE 1



ALUMINUM TRELLIS: IMAGE 2



1 LANDSCAPE PLAN: ROOFTOP LEVEL
Scale: 1/8"=1'-0"

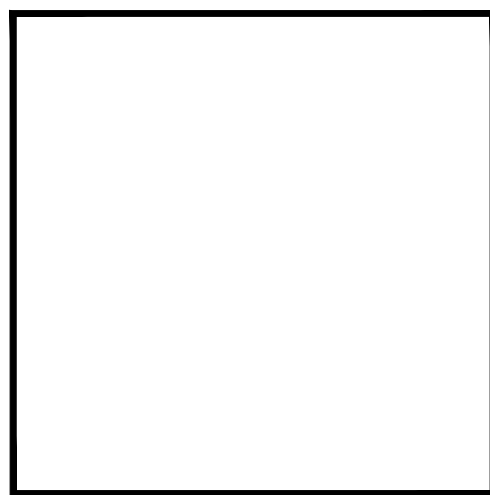
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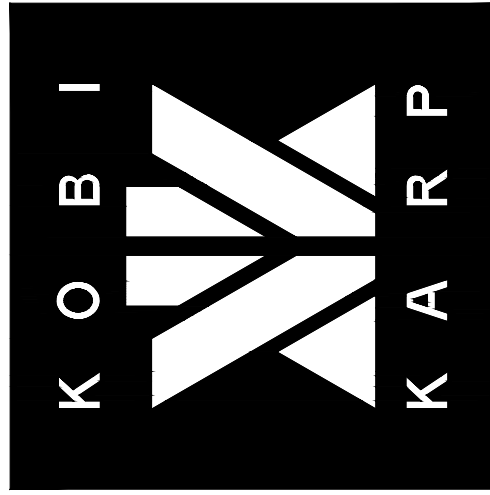
LANDSCAPE PLAN
ROOFTOP LEVEL



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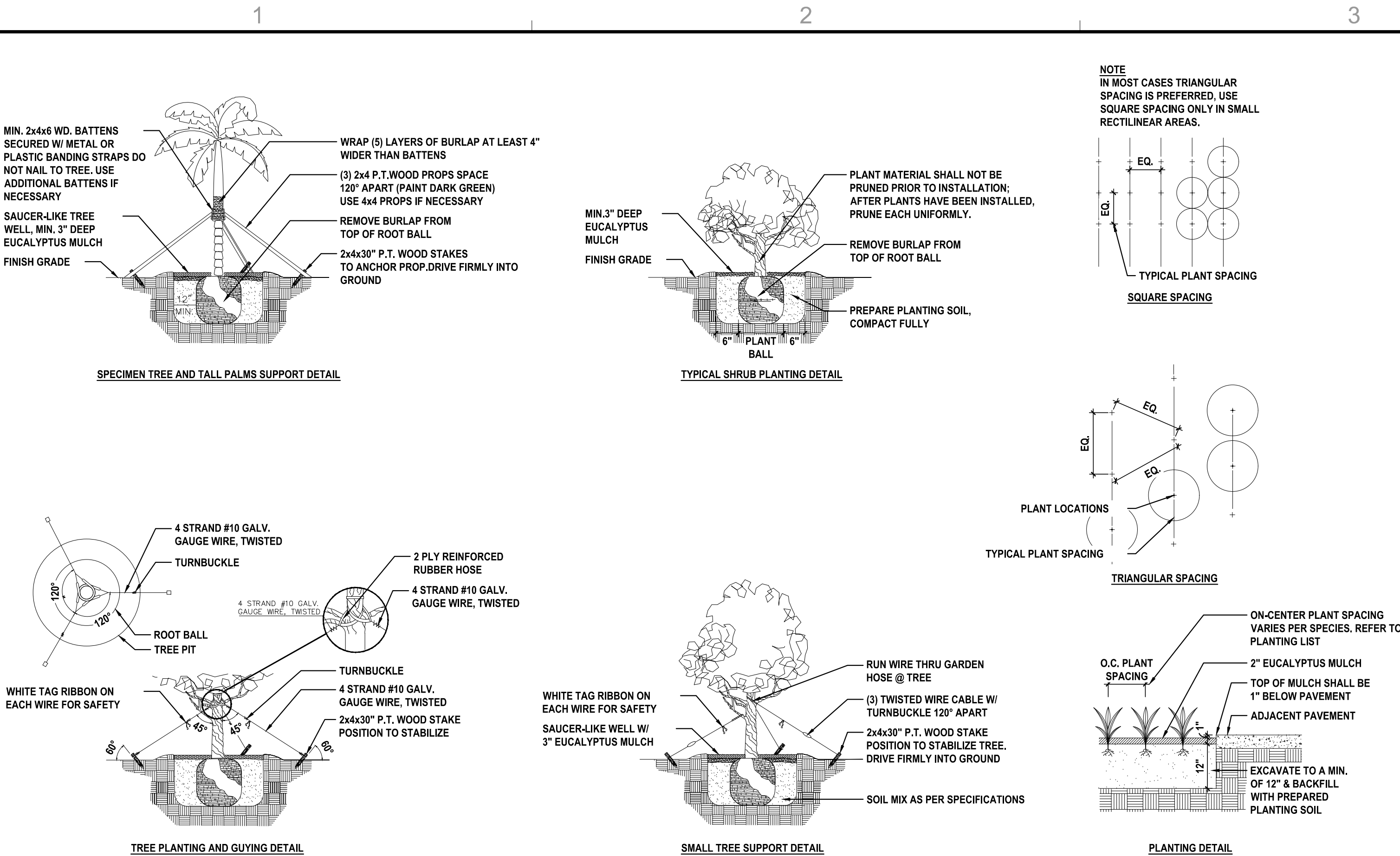
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CHECKED BY:	D.O.
DATE:	09/13/2019

L-300



GENERAL LANDSCAPE NOTES:

1. ALL PLANT MATERIAL IS TO BE FLORIDA NO. 1 OR BETTER. FLORIDA DEPARTMENT OF AGRICULTURE GRADES AND STANDARDS, PARTS I & II 1973, 1975 RESPECTIVELY.
2. ALL PLANTING BEDS TO BE TOPPED WITH 2" MIN. "GRADE A" CYPRESS OR EUCALYPTUS MULCH, UNLESS OTHERWISE NOTED.
3. ALL TREES TO BE STAKED IN A GOOD WORKMANLIKE MANNER. NO NAIL STAKING PERMITTED. (REFER TO PLANTING DETAILS.)
4. LANDSCAPE PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL LOCAL CODES.
5. ALL TREE HOLDS TO BE BACK FILLED AROUND AND UNDER ROOT BALL WITH PLANTING SOIL. ALL SHRUB BEDS TO BE INSTALLED WITH PLANTING SOIL. (SEE SPECS)
6. SOD SHALL BE "FLORATAM" ST. AUGUSTINE (UNLESS OTHERWISE NOTED) SOLID SOD LAID WITH ALTERNATIVE AND ABUTTING JOINTS, WITH 2" TOP SOIL MINIMUM IF REQUIRED. (SEE SPECS)
7. ALL TREES, SHRUBS AND GROUND COVERS SHALL BE GUARANTEED FOR TWELVE MONTHS FROM DATE OF FINAL ACCEPTANCE. ALL PALMS ARE TO BE GUARANTEED FOR ONE YEAR.
8. ALL PLANTING BEDS SHALL BE WEED AND GRASS FREE.
9. ALL TREES, PALMS, SHRUBS AND GROUND COVER PLANTS SHALL BE FERTILIZED AT INSTALLATION WITH LONG LASTING FERTILIZER, ACCORDING TO MANUFACTURERS RECOMMENDATIONS. (SUBMIT SAMPLE FOR APPROVAL.) (SEE SPEC)
10. PLANTING PLAN SHALL TAKE PRECEDENCE OVER PLANT LIST IN CASE OF DISCREPANCIES. (NOTIFY LANDSCAPE ARCHITECT FOR DIRECTION.)
11. LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
12. NO CHANGE SHALL BE MADE WITHOUT THE PRIOR CONSENT OF THE LANDSCAPE ARCHITECT.
13. ALL MATERIAL IS SUBJECT TO AVAILABILITY AT TIME OF INSTALLATION. SUBSTITUTIONS MAY BE MADE AFTER CONSULTATION WITH LANDSCAPE ARCHITECT.
14. ALL NEWLY PLANTED AREAS TO RECEIVE 100% COVERAGE BY AUTOMATIC IRRIGATION SYSTEM. (REFER TO IRRIGATION PLAN.)
15. ALL PLANTING BEDS TO RECEIVE NEW PLANTING SOIL (1/3 EVERGLADES PEAT, 1/3 SAND, 1/3 CYPRESS SAWDUST & CHOPS) MINIMUM 6" DEEP. (REFER TO PLANTING DETAILS.)
16. CONTRACTOR WILL VISIT SITE TO FAMILIARIZED HIMSELF WITH THE SCOPE OF WORK PRIOR TO SUBMITTING A BID.
17. LANDSCAPE CONTRACTOR TO COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR, THE IRRIGATION CONTRACTOR, AND THE ELECTRICAL CONTRACTOR.
18. ALL EXISTING PLANT MATERIAL TO REMAIN SHALL BE PROTECTED. (REFER TO DEMOLITION PLAN.)
19. ALL TREES TO BE RELOCATED WILL GET ROOT PRUNED 30 DAYS MIN. (OR MORE IF REQUIRED BY THE SPECIES). UPON RELOCATION, THIN OUT (UNDER LANDSCAPE ARCHITECT'S DIRECTION) 30% OF THE TREE CANOPY TO BE RELOCATED.
20. AFTER REMOVAL OR RELOCATION OF EXISTING TREES AND PALMS, BACKFILL TREE PIT WITH PLANTING SOIL AND SOD DISTURBED AREA, AS REQUIRED.
21. ALL TREES ON SOD AREAS SHALL RECEIVE A MULCH RING 2' IN DIAMETER TYPICAL.
22. ALL TREES SHALL HAVE A 2" CALIPER AT D.B.H. MINIMUM FOR A 10' HEIGHT TREE.
23. ALL 1 GALLON MATERIAL TO HAVE A 12" SPREAD MINIMUM, ALL 3 GALLON MATERIAL TO HAVE A 20-24" SPREAD MINIMUM.

TREE BRACING NOTES:

- 2" AND LARGER CALIPER TREES BRACED BY GUYING -
1. CHOOSE THE CORRECT SIZE AND NUMBER OF STAKES AND SIZE OF HOSE AND WIRE. GUYING SHALL BE COMPLETED WITHIN 48 HOURS OF PLANTING THE TREE.
 2. CUT LENGTHS OF STAKING HOSE TO EXTEND 2 INCHES PAST TREE TRUNK WHEN WRAPPING AROUND.
 3. SPACE STAKES EVENLY ON OUTSIDE OF WATER RING AND DRIVE EACH FIRMLY INTO THE GROUND. STAKES SHOULD BE DRIVING AT A 30 DEGREE ANGLE WITH THE POINT OF THE STAKE TOWARD THE TREE UNTIL 4 TO 5 INCHES ARE LEFT SHOWING.
 4. PLACE THE HOSE AROUND THE TREE TRUCK JUST ABOVE THE LOWEST BRANCH.
 5. THREAD THE WIRE THROUGH THE HOSE AND PAST THE STAKE, ALLOWING APPROXIMATELY 2 FEET OF EACH OF THE TWO ENDS BEYOND THE STAKE BEFORE CUTTING THE WIRE.
 6. TWIST WIRE AT RUBBER HOSE TO KEEP IT IN PLACE.
 7. PULL WIRE DOWN AND WIND BOTH ENDS AROUND STAKE TWICE. TWIST WIRE BACK ONTO ITSELF TO SECURE IT BEFORE CUTTING OFF THE EXCESS.
 8. THE ABOVE PROCEDURES ARE TO BE FOLLOWED FOR EACH STAKE, KEEPING THE TREE STRAIGHT AT ALL TIMES. THERE SHOULD BE A 1 TO 3 INCH SWAY IN THE TREE (THE WIRES SHOULD NOT BE PULLED TIGHT) FOR BEST ESTABLISHMENT.
 9. FLAG THE GUY WIRES WITH SURVEYOR'S FLAGGING OR APPROVED EQUAL FOR SAFETY.
 10. GUYS ARE NOT TO BE REMOVED UNTIL APPROVED BY LANDSCAPE CONTRACTOR.

PLANT LIST			
GROUND LEVEL			
TREES & PALMS			
Native	Qty	Botanical/Common Name	Specifications
Y	4	<i>Krugiodendron ferreum</i> Black Ironwood	12'-0" Ht x 8'-0" Sp.
Y	11	<i>Myrcianthes fragrans</i> Simpson Stopper	4 (Courtyard) - 12'-0"Ht. x 8'-0" Sp. 7 (Streetside) - 12'-0"Ht. x 8'-0" Sp.
Y	4	<i>Sabal palmetto</i> Leaning Sabal Palm	16'-0" Ht. x 8'-0" Sp.
Shrubs & Groundcover			
Y	424	<i>Arachis glabrata</i> Perennial Peanut (Streetside)	3 Gal. 15" On-Center (O.C.)
Y	40	<i>Nephrolepis exaltata</i> Boston Fern (West Courtyard planter)	3 Gal. 24" On-Center (O.C.)
SECOND LEVEL			
Shrubs & Groundcover			
N	54	<i>Sansevieria trifasciata</i> Sansevieria Black and Gold	1 Gal. 24" On-Center (O.C.)
N	44	<i>Sansevieria masoniana</i> Whale's Fin Sansevieria	1 Gal. 24" On-Center (O.C.)
ROOFTOP LEVEL			
Trees & Palms			
Y	1	<i>Bursera simaruba</i> Gumbo Limbo	16'-0" Ht. x 12'-0" Sp.
Y	2	<i>Chrysophyllum oliviforme</i> Satinleaf	12'-0" Ht. x 10'-0" Sp.
Shrubs & Groundcover			
N	9	<i>Alcantarea Vinicolor</i> Alcantarea Vinicolor	17" Pot, O.C.-As per plan
Y	113	<i>Ernodea littoralis</i> Golden Creeper	3 Gal., 24" On-Center (O.C.)
Y	10	<i>Eugenia foetida</i> Spanish Stopper	8'-0" Ht. x 4'-0" Sp.
N	95	<i>Ficus microcarpa</i> Ficus Green Island	3 Gal., 18" On-Center (O.C.)
Y	7	<i>Sabal palmetto</i> Crooked Sabal Palms	12'-0" Ht. x 6'-0" Sp.
Y	5	<i>Thrinax radiata</i> Thatch Palms	6'-0" Ht. x 4'-0" Sp.

TREE MITIGATION: REMOVED CANOPY						
TREE No	COMMON NAME	SCIENTIFIC NAME	DIAMETER (INCHES)	HEIGHT (FT)	CANOPY (FT)	CANOPY
1	Montgomery Palm	<i>Veitchia montgomeryana</i>	8	35	12	113
2	Montgomery Palm	<i>Veitchia montgomeryana</i>	8	35	12	113
3	Podocarpus	<i>Podocarpus macrophyllus</i>	5	18	15	117
4	Traveller's Tree	<i>Ravenala madagascariensis</i>	9 to 12	22 to 35	30	30
5	Traveller's Tree	<i>Ravenala madagascariensis</i>	9 to 14	23 to 35	30	30
6	Traveller's Tree	<i>Ravenala madagascariensis</i>	9 to 14	24 to 35	30	30
CANOPY TO BE REMOVED (S.F.)						433

MITIGATION LIST - PROPOSED CANOPY					
PROPOSED TREES & PALMS					
Native	Qty	Botanical/Common Name	Specifications	Category	Canopy Credit
Y	1	<i>Bursera simaruba</i> Gumbo Limbo	16'-0" Ht. x 10'-0" Sp.	Category 1 Tree	300
Y	2	<i>Chrysophyllum oliviforme</i> Satinleaf	12'-0" Ht. x 8'-0" Sp.	Category 1 Tree	600
Y	4	<i>Myrcianthes fragrans</i> Simpson Stopper	12'-0" Ht. x 8'-0" Sp.	Category 1 Tree	1200
Y	4	<i>Krugiodendron ferreum</i> Black Ironwood	12'-0" Ht. x 8'-0" Sp.	Category 1 Tree	1200
TOTAL S.F. PROPOSED					3300

FIRST SUBMITTAL

CITY OF MIAMI BEACH

LANDSCAPE LEGEND

INFORMATION REQUIRED TO BE PERMANENTLY AFFIXED TO PLANS
Zoning District CD-3 Lot Area 22,500 sq.ft Acres 0.51 acres

OPEN SPACE		REQUIRED/ALLOWED	PROVIDED
A. Square feet of required Open Space as indicated on site plan: Lot Area = <u>22,500</u> s.f. x <u>20</u> % = <u>4,500</u> s.f.		4,500 s.f.	4,004 s.f.
B. Square feet of parking lot open space required as indicated on site plan: Number of parking spaces <u>N/A</u> x 10 s.f. parking space =		N/A	N/A
C. Total square feet of landscaped open space required: A+B=		4,500 s.f.	4,004 s.f.

LAWN AREA CALCULATION		4,500 s.f.	4,004 s.f.
A. Square feet of landscaped open space required			
B. Maximum lawn area (sod) permitted= <u>20</u> % x <u>4,500</u> s.f.		900 s.f.	0 s.f.

TREES			
A. Number of trees required per lot or net lot acre, less existing number of trees meeting minimum requirements= <u>22</u> trees x <u>0.51</u> net lot acres - number of existing trees=		11	11
B. % Natives required: Number of trees provided x 30% =		3	11
C. % Low maintenance / drought and salt tolerant required: Number of trees provided x 50%=		6	11
D. Street Trees (maximum average spacing of 20' o.c.) <u>140</u> linear feet along street divided by 20'=		7	7
E. Street tree species allowed directly beneath power lines: (maximum average spacing of 20' o.c.): <u>N/A</u> linear feet along street divided by 20'=		N/A	N/A

SHRUBS			
A. Number of shrubs required: Sum of lot and street trees required x 12=		216	279
B. % Native shrubs required: Number of shrubs provided x 50%=		140	175

LARGE SHRUBS OR SMALL TREES			
A. Number of large shrubs or small trees required: Number of required shrubs x 10%=		22	22
B. % Native large shrubs or small trees required: Number of large shrubs or small trees provided x 50%=		11	22

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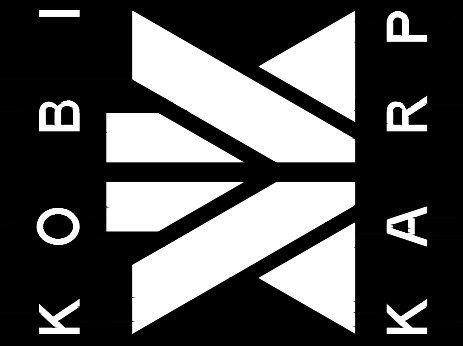
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927-929 LINCOLN RD
12000 NORTH BAYSHORE DRIVE
MIAMI BEACH, FL 33139

PLANTING LIST & DETAILS

Lic. # AR0012578

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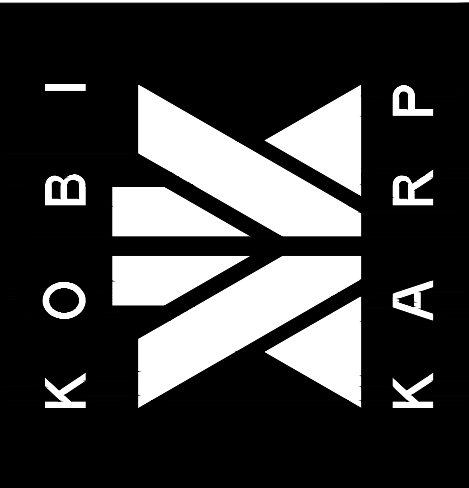
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SECTIONS

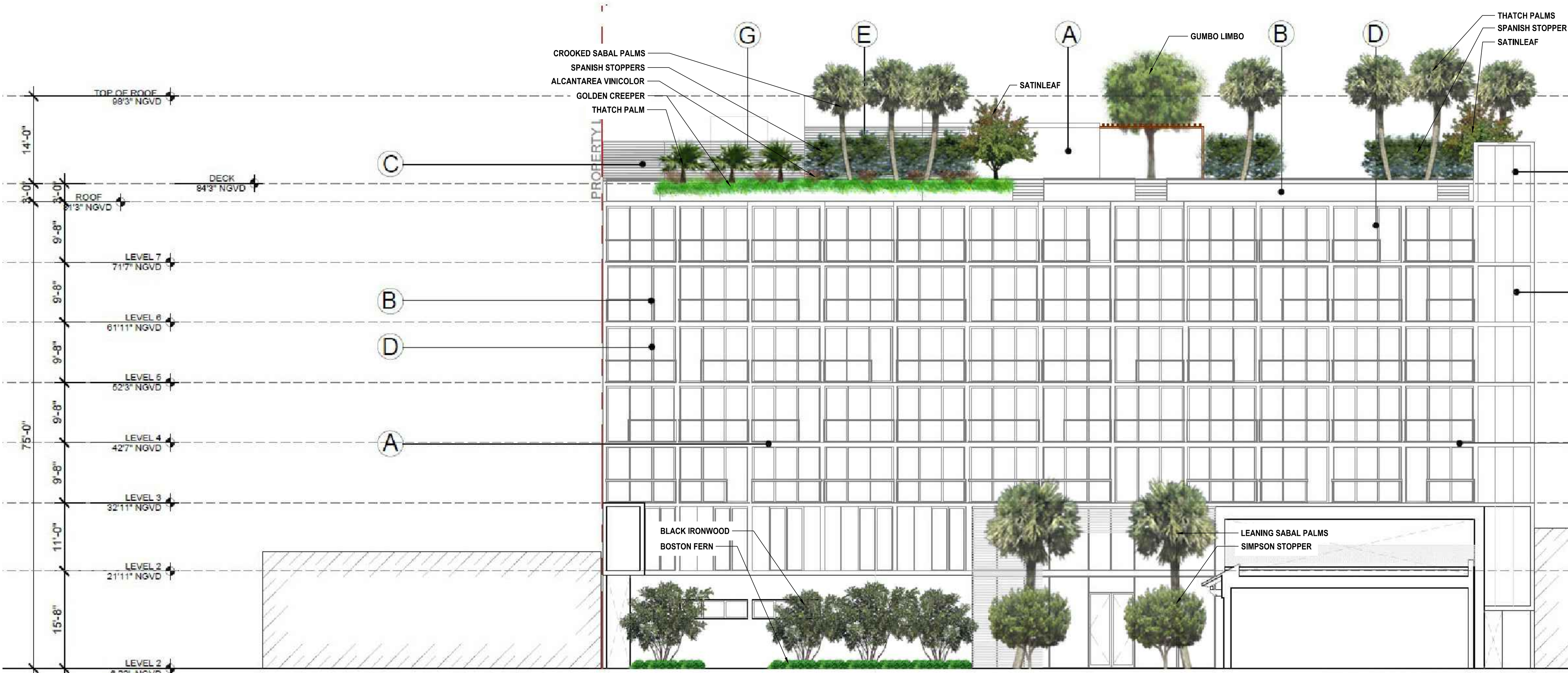
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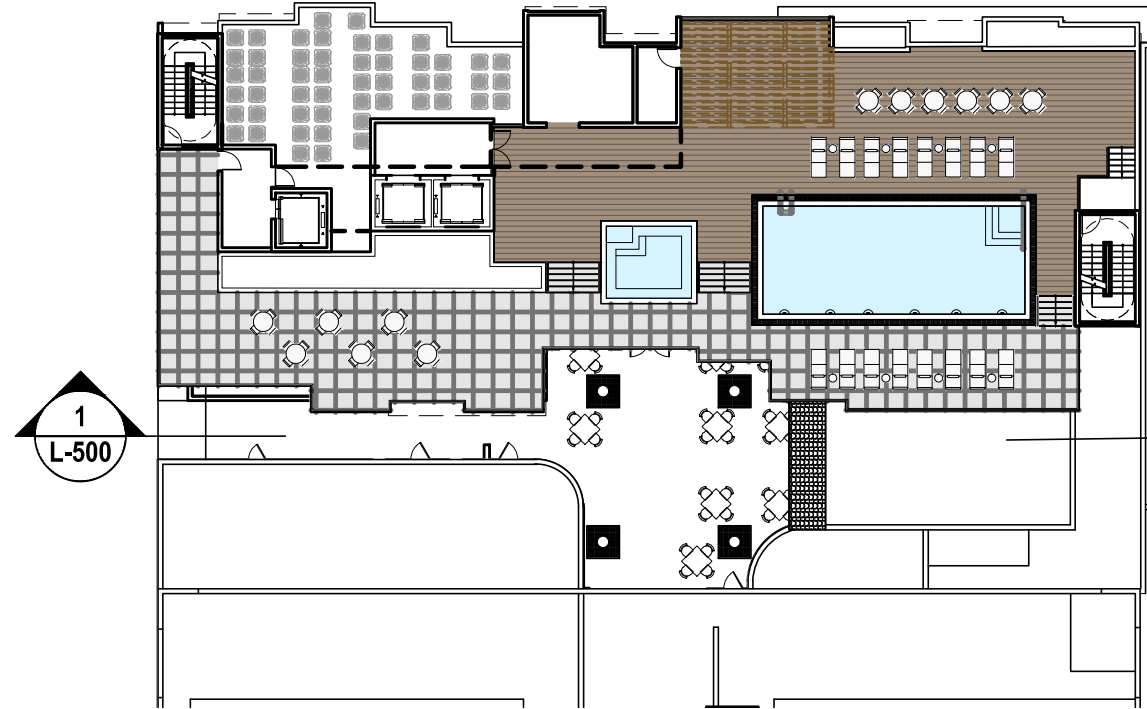


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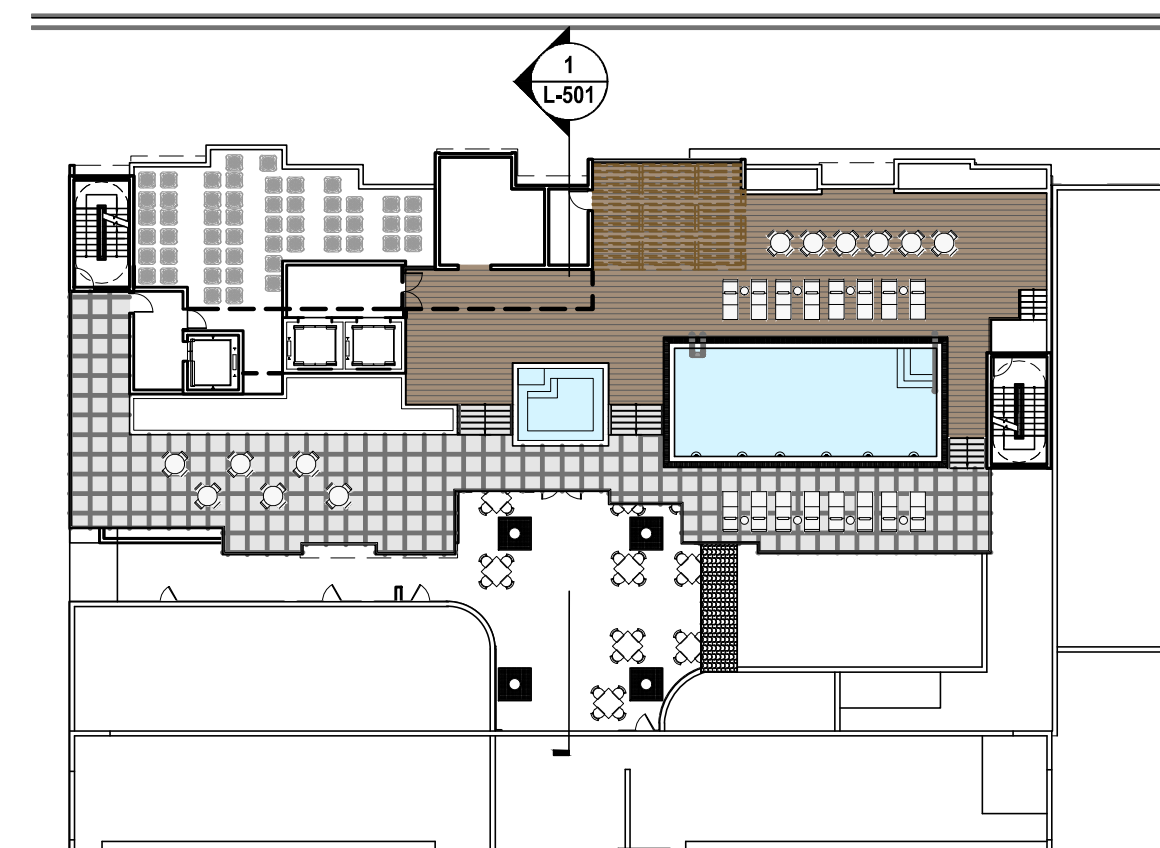
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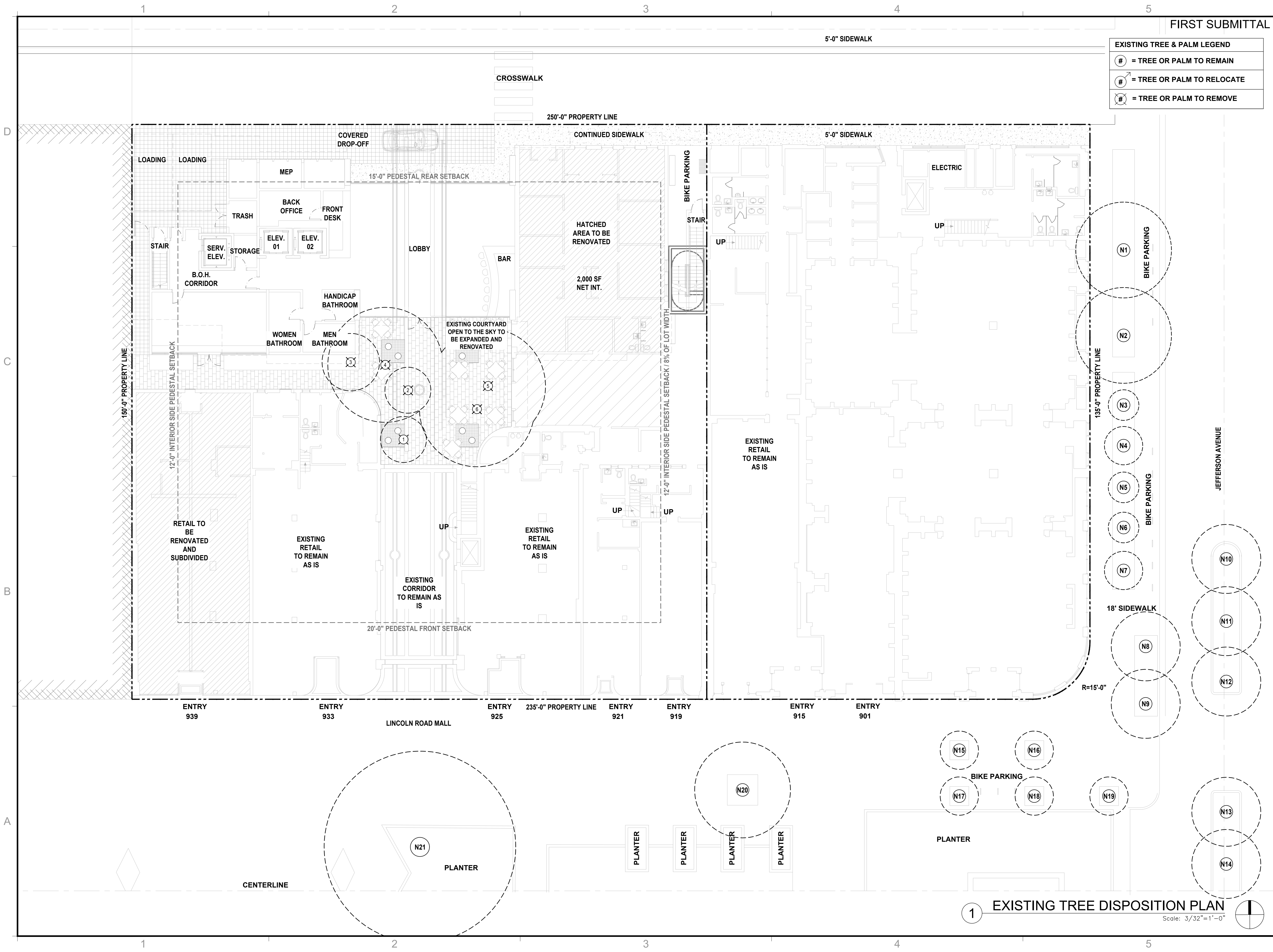
1 SECTION THROUGH COURTYARD:
Scale: 3/32"=1'-0"



2 KEY PLAN



2 KEY PLAN



EXISTING TREE & PALM LEGEND	
#	= TREE OR PALM TO REMAIN
#	= TREE OR PALM TO RELOCATE
#	= TREE OR PALM TO REMOVE

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927-929 LINCOLN RD
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EXISTING TREE
DISPOSITION PLAN

DAVID J. ODISHOO
Lic. # 6666969

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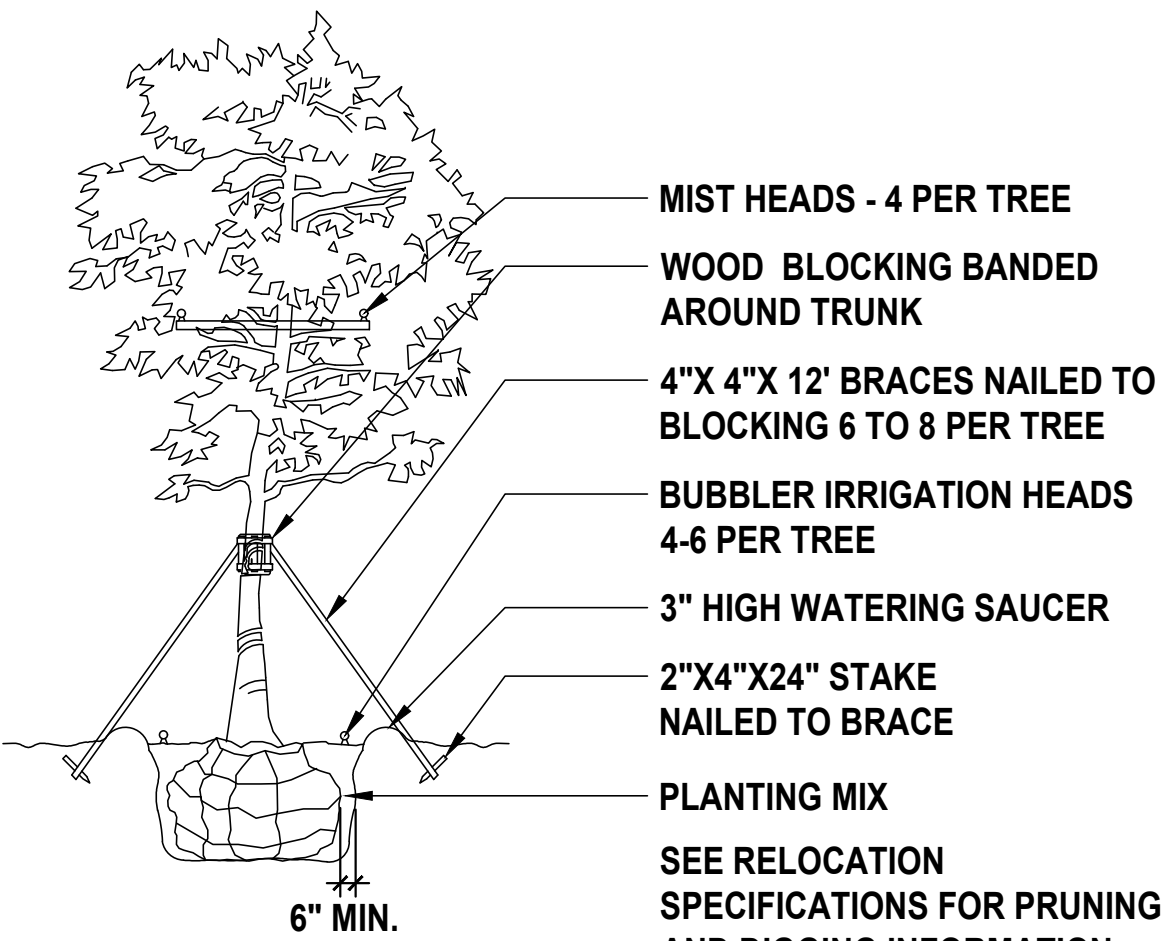
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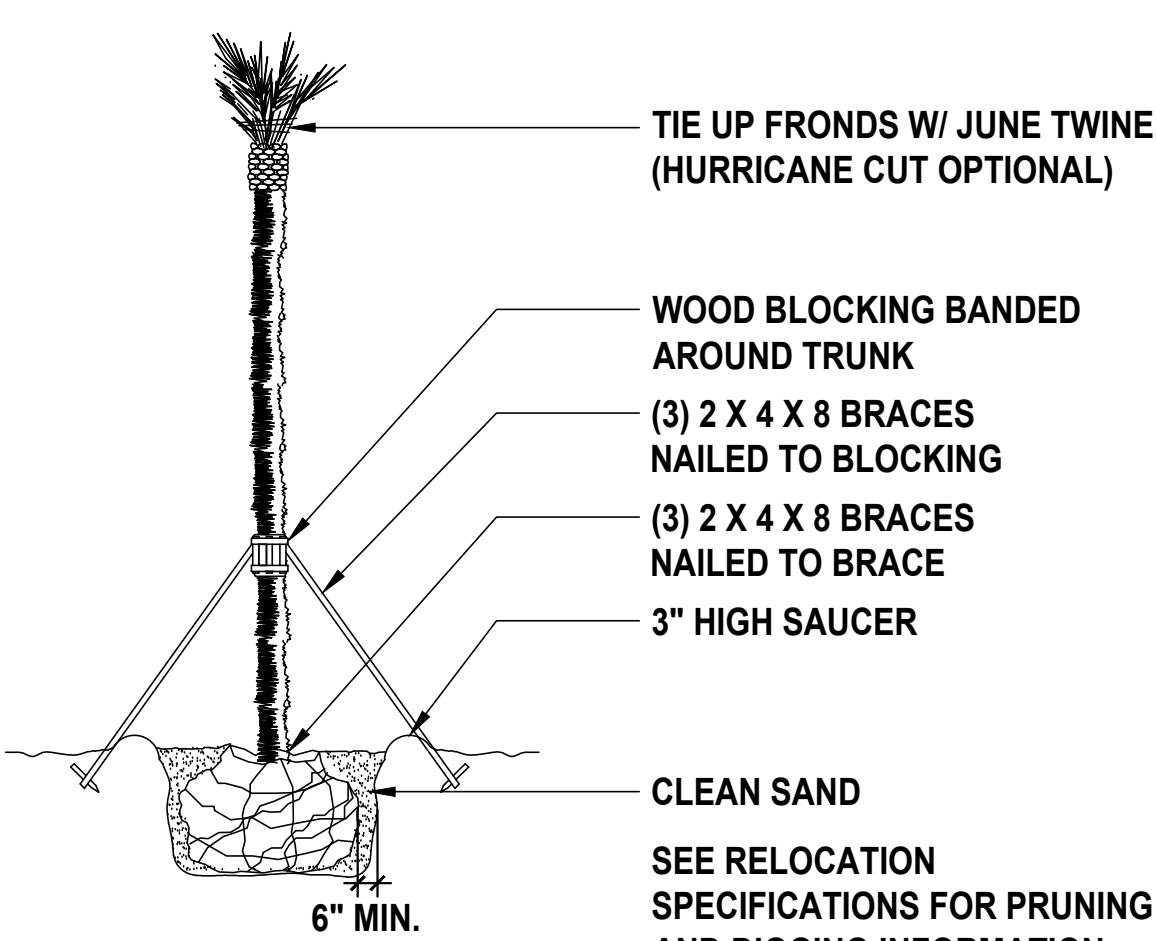
L-600

1 EXISTING TREE DISPOSITION PLAN
Scale: 3/32" = 1'-0"

EXISTING TREE DISPOSITION SCHEDULE							
SURVEY NO.	COMMON NAME	BOTANICAL NAME	DBH (IN.)	HT (FT.)	SP. (FT.)	TRUNK	DISPOSITION
1	Montgomery Palm	<i>Veitchia montgomeryana</i>	8	35	12		Remove
2	Montgomery Palm	<i>Veitchia montgomeryana</i>	8	35	12		Remove
3	Podocarpus	<i>Podocarpus macrophyllus</i>	5	18	15		Remove
4	Travellers Palm	<i>Ravenala madagascariensis</i>	9 to 12	22 to 35	30	5 Trunk Multi	Remove
5	Travellers Palm	<i>Ravenala madagascariensis</i>	9 to 14	22 to 35	30	5 Trunk Multi	Remove
6	Travellers Palm	<i>Ravenala madagascariensis</i>	9 to 14	22 to 35	30	5 Trunk Multi	Remove
TREES IN RIGHT OF WAY / STREET MEDIAN							
N1	Pongame Tree	<i>Millettia pinnata</i>	15	25	12		Remain
N2	Pongame Tree	<i>Millettia pinnata</i>	12	22	12		Remain
N3	Solitaire Palms	<i>Ptychosperma elegans</i>	3	20	6		Remain
N4	Solitaire Palms	<i>Ptychosperma elegans</i>	3	22	6	Triple	Remain
N5	Solitaire Palms	<i>Ptychosperma elegans</i>	3	20	6		Remain
N6	Solitaire Palms	<i>Ptychosperma elegans</i>	3	22	6		Remain
N7	Solitaire Palms	<i>Ptychosperma elegans</i>	3	20	6	Triple	Remain
N8	Coconut Palm	<i>Cocos nucifera</i>	6	25	8		Remain
N9	Coconut Palm	<i>Cocos nucifera</i>	6	25	8		Remain
N10	Coconut Palm	<i>Cocos nucifera</i>	9	30	10		Remain
N11	Coconut Palm	<i>Cocos nucifera</i>	9	30	10		Remain
N12	Coconut Palm	<i>Cocos nucifera</i>	9	30	10		Remain
N13	Coconut Palm	<i>Cocos nucifera</i>	10	32	12		Remain
N14	Coconut Palm	<i>Cocos nucifera</i>	10	35	12		Remain
N15	Sabal Palm	<i>Sabal palmetto</i>	12	25	6		Remain
N16	Sabal Palm	<i>Sabal palmetto</i>	12	25	6		Remain
N17	Sabal Palm	<i>Sabal palmetto</i>	14	25	8		Remain
N18	Sabal Palm	<i>Sabal palmetto</i>	12	25	6		Remain
N19	Sabal Palm	<i>Sabal palmetto</i>	12	25	6		Remain
N20	Crape Myrtle	<i>Lagerstromia indica</i>	18	30	15		Remain
N21	Royal Poinciana Tree	<i>Delonix regia</i>	30	40	30		Remain



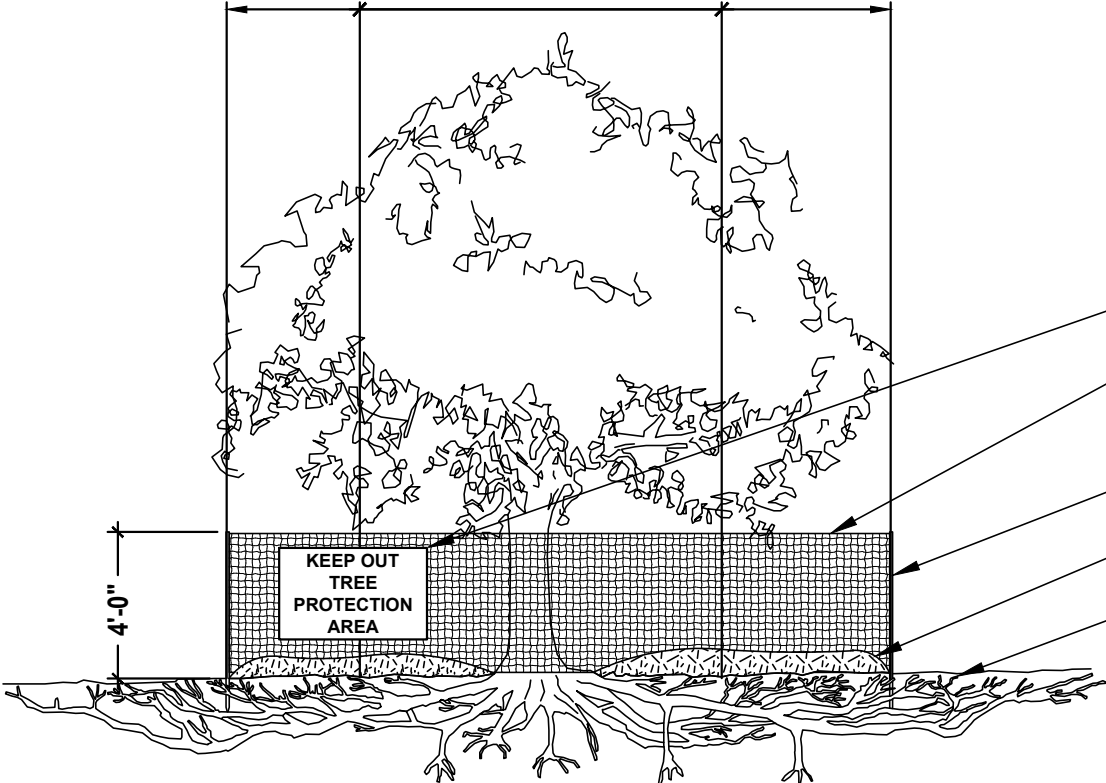
1 TREE RELOCATION DETAIL



2 PALM RELOCATION DETAIL

PROVIDE A ADDITIONAL 8"-12" PROTECTION AREA PER INCH OF DBH ON TREES LARGER THAN 10" DBH

10'-0" PROTECTION MIN.



3 TREE PROTECTION DETAIL

- NOTES:
- 1- SEE SPECIFICATIONS FOR ADDITIONAL TREE PROTECTION REQUIREMENTS.
 - 2- IF THERE IS NO EXISTING IRRIGATION, SEE SPECIFICATIONS FOR WATERING REQUIREMENTS.
 - 3- NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.
 - 4- NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
 - 5- SEE SITE PREPARATION PLAN FOR ANY MODIFICATIONS WITH THE TREE PROTECTION AREA.
 - 8.5" X 11" SIGN LAMINATED IN PLASTIC SPACED EVERY 50' ALONG THE FENCE
 - TREE PROTECTION FENCE: HIGH DENSITY POLYETHYLENE FENCING WITH 3.5" X 1.5" OPENINGS; COLOR- ORANGE. STEEL POSTS INSTALLED AT 8' O.C.
 - 2" X 6'-0" STEEL POSTS OR APPROVED EQUAL
 - 5" THICK MUGH LAYER
 - MAINTAIN EXISTING GRADE WITH THE TREE PROTECTION FENCE UNLESS OTHERWISE INDICATED ON PLANS

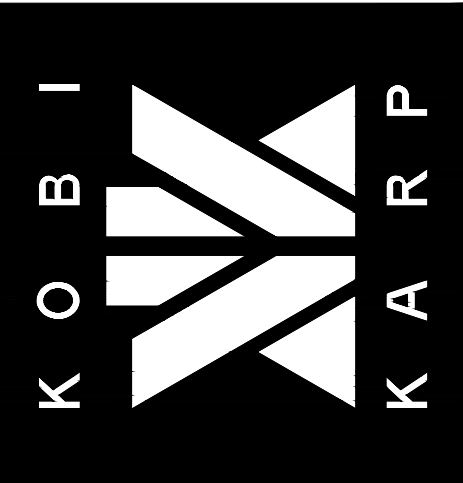
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EXISTING TREE
DISPOSITION SCHEDULE

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CHECKED BY: D.O.
DATE: 9/16/2019

IRRIGATION LEGEND

(2 PER TREE)

DRIP TUBING W/ 0.9 GPH EMITTERS
INSTALLED AT 12" O.C.

RAINBIRD XERI- BUBBLER

DRIP FLUSH NOZZLE

DRIP AIR RELIEF VALVE

IRRIGATION SUB METER

1" PRESSURE VACCUM BREAKER (PVB)
BACKFLOW PREVENTOR

1" MASTER CONTROL VALVE

LASCO SLO-CLOSE FULL BLOCK
TRU-UNION BALL VALVE

RAINBIRD 44LRC 1" QUICK COUPLER
VALVE

RAINBIRD PEB SERIES ELECTRIC VALVES
OR APPROVED EQUAL., IN VALVE BOX

RAINBIRD ESP-LX MODULAR TIMER

RSD-BEX SERIES RAIN SENSOR WITH
METAL BRACKET

PVC PIPE SCH. 40 AS LATERAL LINES
12" BELOW GRADE

HDPE PIPING OR COPPER PIPING
ROUTED BETWEEN PLANTERS, AND
THROUGH BUILDING

CONNECTION BETWEEN IRRIGATION
PIPING AND STUB-OUT TO BE
PROVIDED BY PLUMBER

PVC PIPE SCH. 40 SOLVENT WELD AS
MAINLINES 18" BELOW GRADE

PVC PIPE SCH. 40 AS SLEEVING

VALVE CALLOUT LEGEND

A	— ZONE STATION NUMBER
1"	— VALVE SIZE IN INCHES
18	— FLOW RATE IN G.P.M.

PRIOR TO ANY CONSTRUCTION,
CONTRACTOR SHALL LOCATE ALL UTILITIES
USING "SUNSHINE 811". UTILITIES SHALL BE
PROTECTED THROUGHOUT CONSTRUCTION.

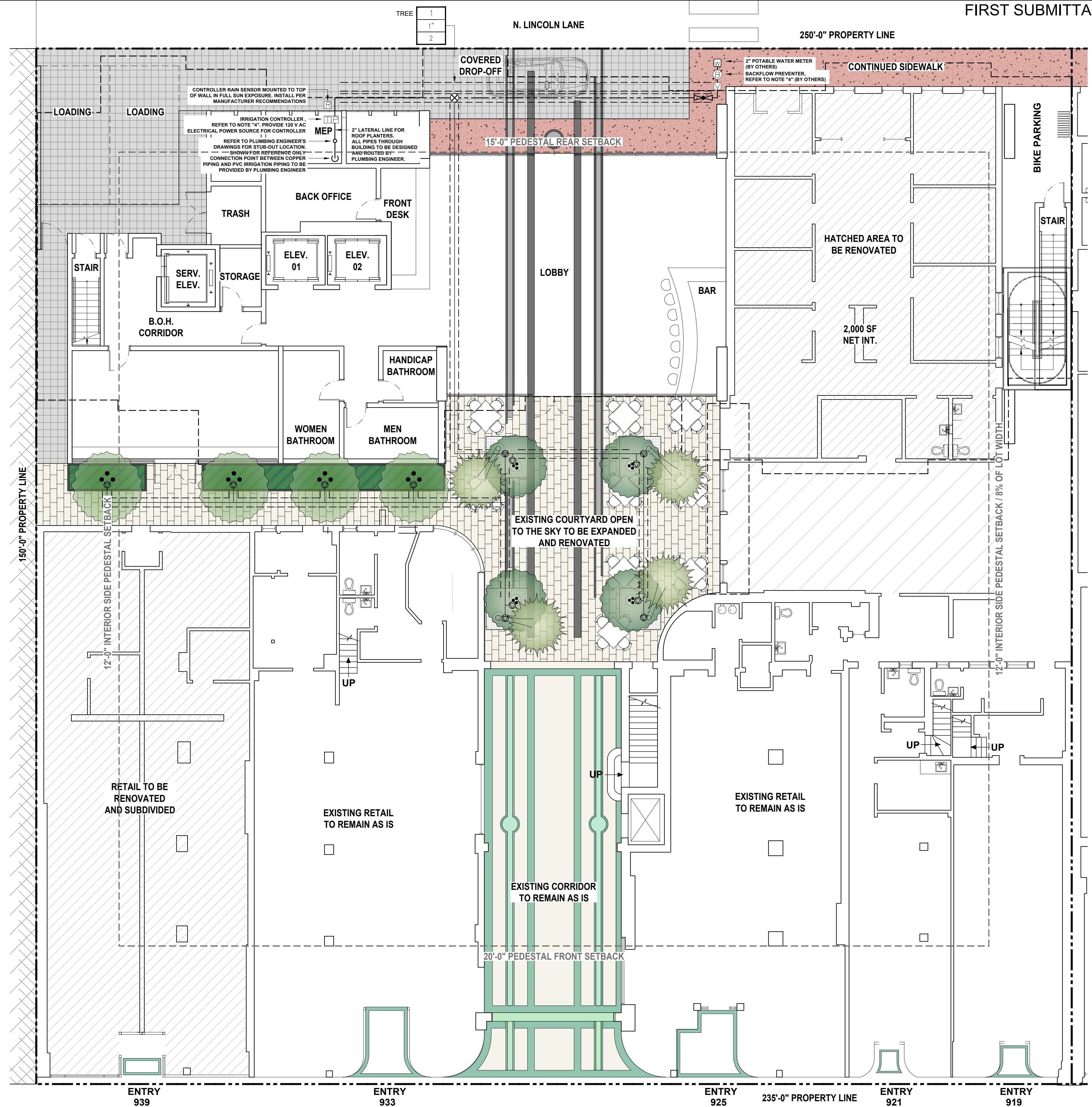


IRRIGATION NOTE:

1. MAIN LINE, LATERAL LINE, AND IRRIGATION SPRINKLER LOCATIONS ARE SHOWN SCHEMATICALLY AND SHALL BE ADJUSTED BASED ON FIELD CONDITIONS. ALL LANDSCAPE AREAS TO RECEIVE 100% COVERAGE BY IRRIGATION SYSTEM.
2. THE PROPOSED LANDSCAPE AND IRRIGATION DESIGN MEETS AND EXCEEDS THE LANDSCAPE CODE REQUIREMENTS AS STIPULATED IN CHAPTER 18-A, MIAMI DADE COUNTY LANDSCAPE ORDINANCE.
3. EXISTING SITE CONDITIONS HAVE BEEN FIELD VERIFIED BY LANDSCAPE ARCHITECT.
4. FINAL LOCATION OF THE BACKFLOW PREVENTER AND AUTOMATIC CONTROLLER SHALL BE APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
5. ALL LANDSCAPE AREAS TO BE 100% COVERED BY A FULLY AUTOMATIC IRRIGATION SYSTEM WITH RAIN SENSOR. SEE THIS SHEET FOR IRRIGATION LAYOUT.
6. LATERAL LINE AND MAINLINE PIPING WITHIN BUILDING SHALL BE TYPE B COPPER AND IS SHOWN FOR CLARITY ONLY. ACTUAL DESIGN AND ROUTING SHALL BE COMPLETED BY PLUMBING ENGINEER AND INSTALLED BY PLUMBING CONTRACTOR. ALL PIPING THROUGH THE BUILDING TO EXTERIOR AND THROUGH BUILDING TO UPPER FLOOR SHALL BE PROVIDED BY PLUMBER.

NOTE:

A ROUGH INSPECTION IS REQUIRED BY MIAMI DADE PRIOR TO TRENCH BACKFILLING. A FINAL INSPECTION IS REQUIRED PRIOR TO COMPLETION OF THE IRRIGATION WORK. SOUTH FLORIDA WATER MANAGEMENT WATER RESTRICTIONS, 'PHASE II RESTRICTIONS' ARE IN EFFECT. NEW LANDSCAPE SHALL BE EXEMPT PER SFWMD FOR A PERIOD OF SIXTY DAYS AFTER INSTALLATION WITH CONTRACTOR AND/OR OWNER TO ASSUME RESPONSIBILITY AFTER THAT INITIAL PERIOD.



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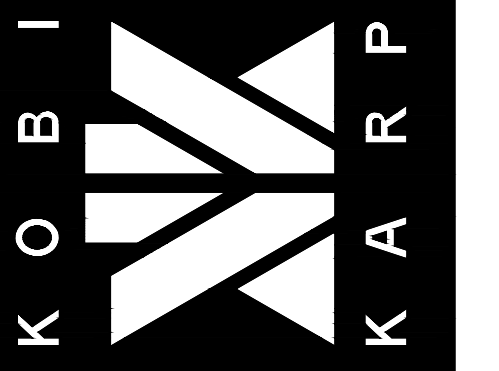
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IRRIGATION PLAN
GROUND LEVEL

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CHECKED BY: D.O.
DATE: 9/16/2019

L-700

IRRIGATION PLAN: COURTYARD

Scale: 1/8"=1'-0"

IRRIGATION LEGEND

- (2 PER TREE)
DRIP TUBING W/ 0.9 GPH EMITTERS
INSTALLED AT 12" O.C.
RAINBIRD XERI- BUBBLER
- DRIP FLUSH NOZZLE
- DRIP AIR RELIEF VALVE
- IRRIGATION SUB METER
- 1" PRESSURE VACCUM BREAKER (PVB)
BACKFLOW PREVENTOR
- 1" MASTER CONTROL VALVE
- LASCO SLO-CLOSE FULL BLOCK
TRU-UNION BALL VALVE
- RAINBIRD 44LRC 1" QUICK COUPLER
VALVE
- RAINBIRD PEB SERIES ELECTRIC VALVES
OR APPROVED EQUAL., IN VALVE BOX
- RAINBIRD ESP-LX MODULAR TIMER
- RSD-BEX SERIES RAIN SENSOR WITH
METAL BRACKET
- PVC PIPE SCH. 40 AS LATERAL LINES
12" BELOW GRADE
- HDPE PIPING OR COPPER PIPING
ROUTED BETWEEN PLANTERS, AND
THROUGH BUILDING
- CONNECTION BETWEEN IRRIGATION
PIPING AND STUB-OUT TO BE
PROVIDED BY PLUMBER
- PVC PIPE SCH. 40 SOLVENT WELD AS
MAINLINES 18" BELOW GRADE
- PVC PIPE SCH. 40 AS SLEEVING

VALVE CALLOUT LEGEND

A	— ZONE STATION NUMBER
1"	— VALVE SIZE IN INCHES
18	— FLOW RATE IN G.P.M.

PRIOR TO ANY CONSTRUCTION,
CONTRACTOR SHALL LOCATE ALL UTILITIES
USING "SUNSHINE 811". UTILITIES SHALL BE
PROTECTED THROUGHOUT CONSTRUCTION.

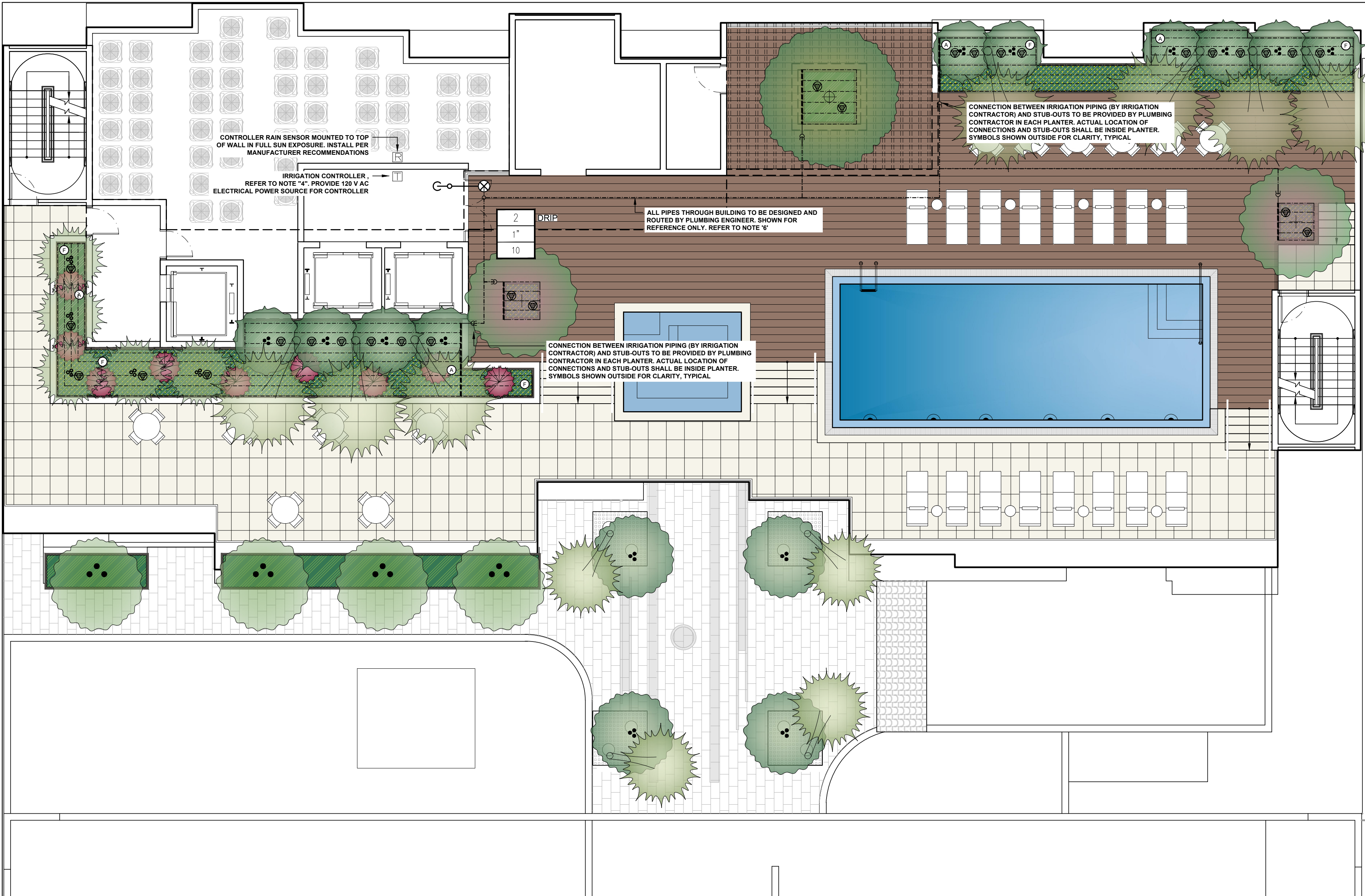


IRRIGATION NOTE:

1. MAIN LINE, LATERAL LINE, AND IRRIGATION SPRINKLER LOCATIONS ARE SHOWN SCHEMATICALLY AND SHALL BE ADJUSTED BASED ON FIELD CONDITIONS. ALL LANDSCAPE AREAS TO RECEIVE 100% COVERAGE BY IRRIGATION SYSTEM.
2. THE PROPOSED LANDSCAPE AND IRRIGATION DESIGN MEETS AND EXCEEDS THE LANDSCAPE CODE REQUIREMENTS AS STIPULATED IN CHAPTER 18-A, MIAMI DADE COUNTY LANDSCAPE ORDINANCE.
3. EXISTING SITE CONDITIONS HAVE BEEN FIELD VERIFIED BY LANDSCAPE ARCHITECT.
4. FINAL LOCATION OF THE BACKFLOW PREVENTER AND AUTOMATIC CONTROLLER SHALL BE APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
5. ALL LANDSCAPE AREAS TO BE 100% COVERED BY A FULLY AUTOMATIC IRRIGATION SYSTEM WITH RAIN SENSOR. SEE THIS SHEET FOR IRRIGATION LAYOUT.
6. LATERAL LINE AND MAINLINE PIPING WITHIN BUILDING SHALL BE TYPE B COPPER AND IS SHOWN FOR CLARITY ONLY. ACTUAL DESIGN AND ROUTING SHALL BE COMPLETED BY PLUMBING ENGINEER AND INSTALLED BY PLUMBING CONTRACTOR. ALL PIPING THROUGH THE BUILDING TO EXTERIOR AND THROUGH BUILDING TO UPPER FLOOR SHALL BE PROVIDED BY PLUMBER.

NOTE:

A ROUGH INSPECTION IS REQUIRED BY MIAMI DADE PRIOR TO TRENCH BACKFILLING. A FINAL INSPECTION IS REQUIRED PRIOR TO COMPLETION OF THE IRRIGATION WORK. SOUTH FLORIDA WATER MANAGEMENT WATER RESTRICTIONS, 'PHASE II RESTRICTIONS' ARE IN EFFECT. NEW LANDSCAPE SHALL BE EXEMPT PER SFWMD FOR A PERIOD OF SIXTY DAYS AFTER INSTALLATION WITH CONTRACTOR AND/OR OWNER TO ASSUME RESPONSIBILITY AFTER THAT INITIAL PERIOD.



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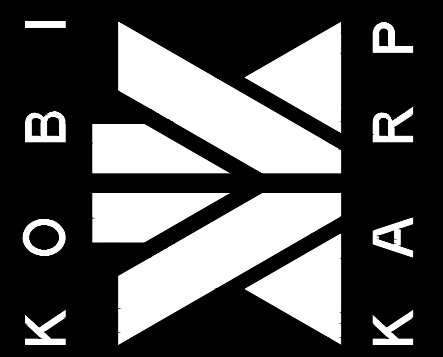
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IRRIGATION PLAN
ROOFTOP LEVEL

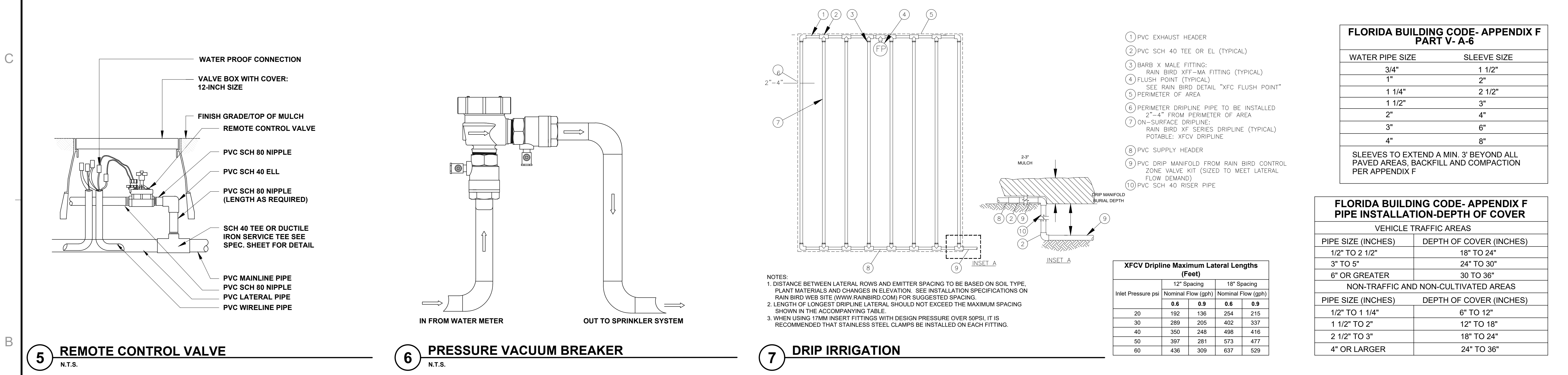
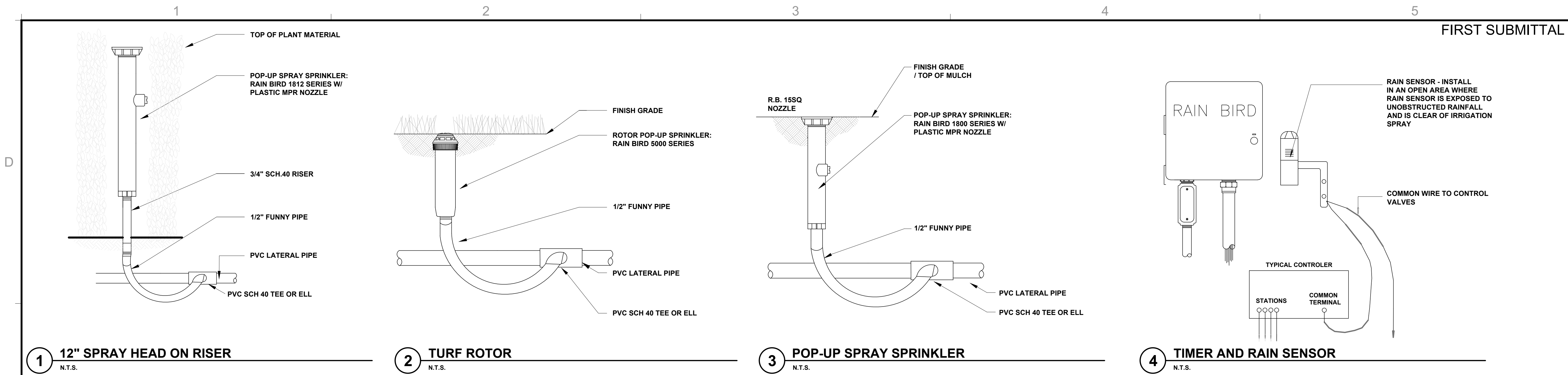
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L-701



IRRIGATION NOTES

1. PIPE SIZES SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS. NO SUBSTITUTIONS OF SMALLER PIPE SIZES SHALL BE PERMITTED, BUT SUBSTITUTIONS OF LARGER SIZES MAY BE APPROVED. ALL DAMAGED AND REJECTED PIPE SHALL BE REMOVED FROM THE SITE AT THE TIME OF SAID REJECTION.

2. ALL MAINLINE, LATERAL LINE AND CONTROL WIRE CONDUIT UNDER PAVING SHALL BE INSTALLED IN SEPARATE SLEEVES. SLEEVES SHALL BE A MINIMUM OF TWICE (2X) THE DIAMETER OF THE PIPE TO BE SLEEVED.

3. INSTALL ALL BACKFLOW PREVENTION DEVICES AND ALL PIPING BETWEEN THE POINT OF CONNECTION AND THE BACKFLOW PREVENTER AS PER LOCAL CODES.

4. FINAL LOCATION OF THE BACKFLOW PREVENTER AND AUTOMATIC CONTROLLER SHALL BE APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

5. 120 VAC ELECTRICAL POWER SOURCE AT CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS. THE ELECTRICAL CONTRACTOR SHALL MAKE THE FINAL CONNECTION FROM THE ELECTRICAL SOURCE TO THE CONTROLLER.

6. ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE UNLESS OTHERWISE SPECIFIED.

7. THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM SPRAY WITH MINIMAL OVERSPRAY ONTO WALKS, STREETS, WALLS, ETC.

8. THIS DESIGN IS DIAGRAMATIC. ALL PIPING, VALVES, ETC., SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHEREVER POSSIBLE. THE CONTRACTOR SHALL LOCATE ALL VALVES IN SHRUB AREAS WHERE POSSIBLE.

9. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, STRUCTURES AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES THROUGH WALLS, UNDER ROADWAYS AND PAVING, ETC.

10. DO NOT WILLINGLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.

11. ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.

12. THE IRRIGATION CONTRACTOR SHALL INSTALL CHECK VALVES ON ALL HEADS IN AREAS WHERE FINISH GRADE EXCEEDS 4:1, WHERE POST VALVE SHUT-OFF DRAINING, OF THE IRRIGATION HEAD OCCURS OR AS DIRECTED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

13. THE CONTRACTOR SHALL PROVIDE 1800 PCS (PRESSURE COMPENSATING SCREENS) AS NECESSARY TO REDUCE OR ELIMINATE OVERSPRAY ONTO STREETS, WALKS OR OTHER AREAS AS DIRECTED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

14. ALL CONTROL WIRES SHALL BE INSTALLED IN PVC CONDUIT.

15. ALL REMOTE CONTROL VALVES, GATE VALVES, QUICK COUPLERS, CONTROL WIRE AND COMPUTER CABLE PULL POINTS SHALL BE INSTALLED IN APPROVED VALVES BOXES WITH COVERS.

16. THE IRRIGATION CONTRACTOR SHALL INSTALL CHECK VALVES ON ALL HEADS IN AREAS WHERE FINISH GRADE EXCEEDS 4:1, WHERE POST VALVE SHUT-OFF DRAINING, OF THE IRRIGATION HEAD OCCURS OR AS DIRECTED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

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IRRIGATION DETAILS
AND NOTES

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L-702

STERLING BUILDING
927-929 LINCOLN RD, MIAMI BEACH, FL 33139
PLANNING BOARD FINAL SUBMITTAL - 10-18-2019

- SCOPE OF WORK:
- SELECTIVE DEMOLITION TO THE EXISTING STRUCTURES TO THE NORTH OF THE EXISTING STERLING BUILDING
 - RENOVATION OF EXISTING STERLING BUILDING SECOND FLOOR TO CONVERT COMMERCIAL SPACE TO 24 LODGING UNITS
 - NEW CONSTRUCTION OF A 120 LODGING UNIT HOTEL ON THE NORTH SIDE OF THE PROPERTY

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COVER

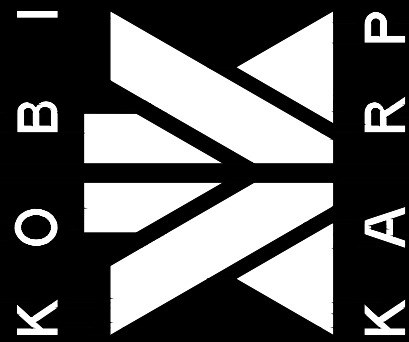
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INDEX

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	SURVEY		A2.02	DEMOLITION 2ND LEVEL PLAN		A5.02	AERIAL SW VIEW
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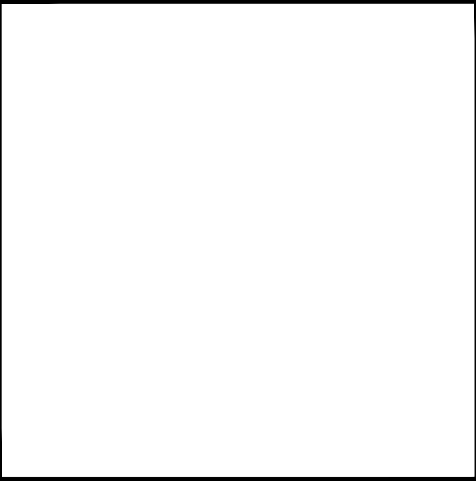
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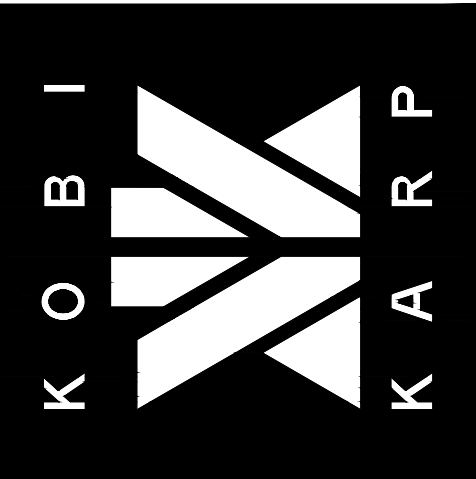
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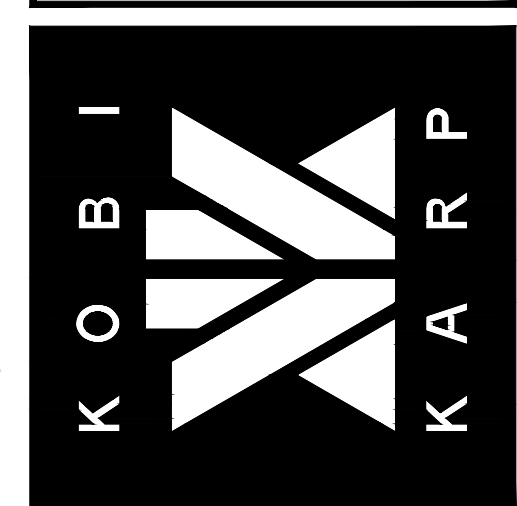
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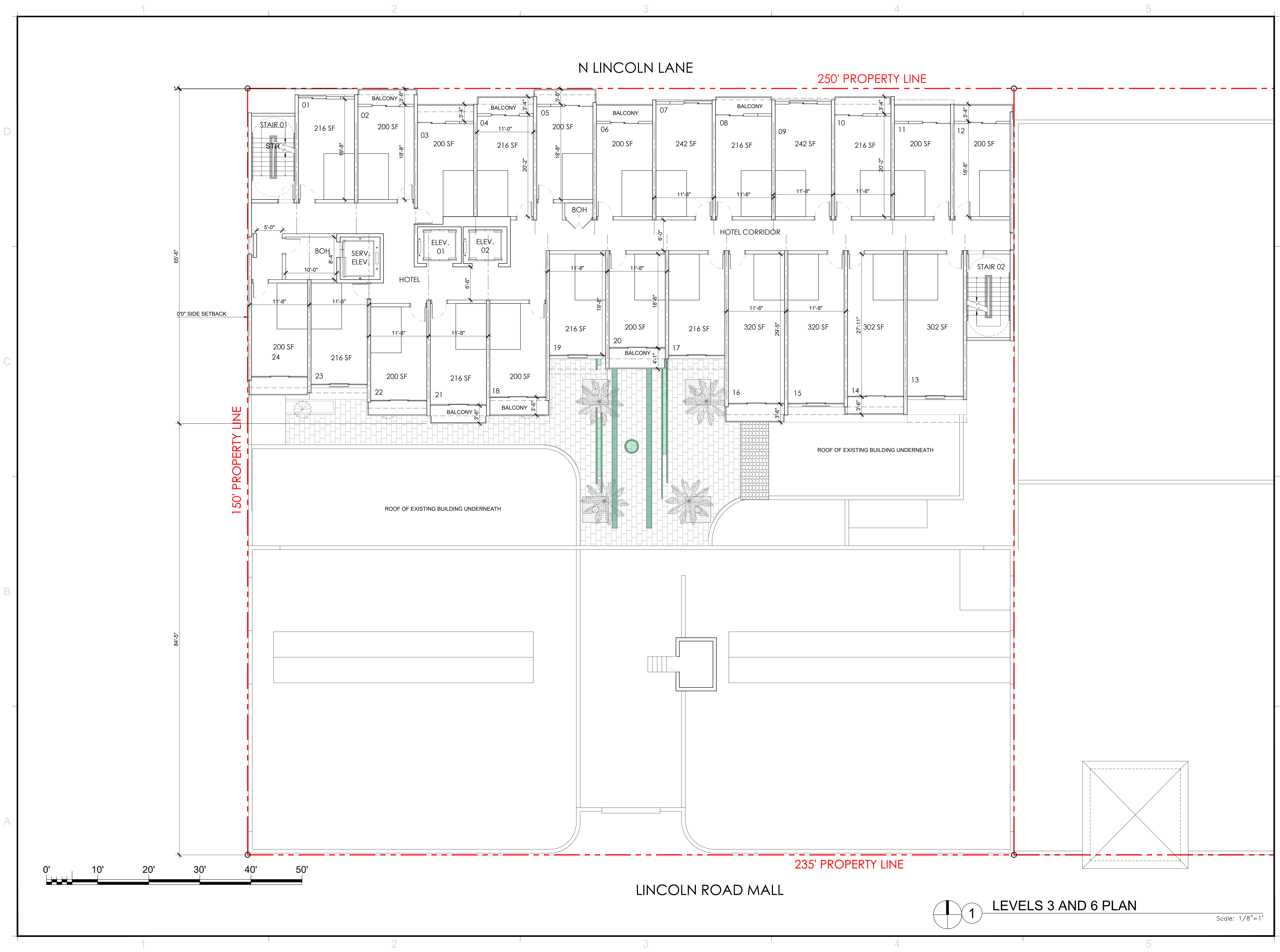


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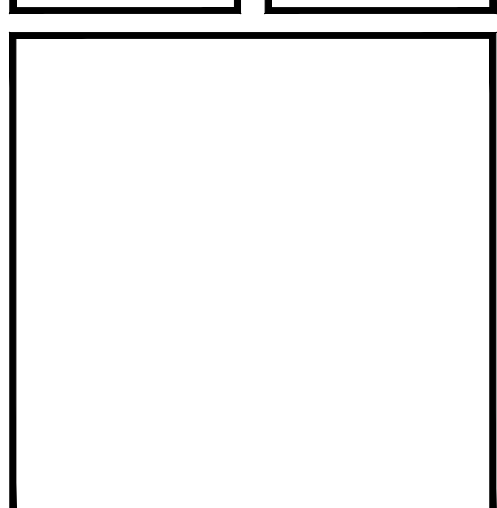
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LEVELS 3 - 6

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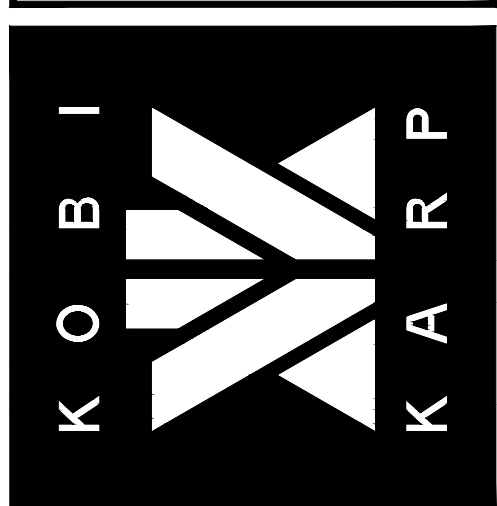


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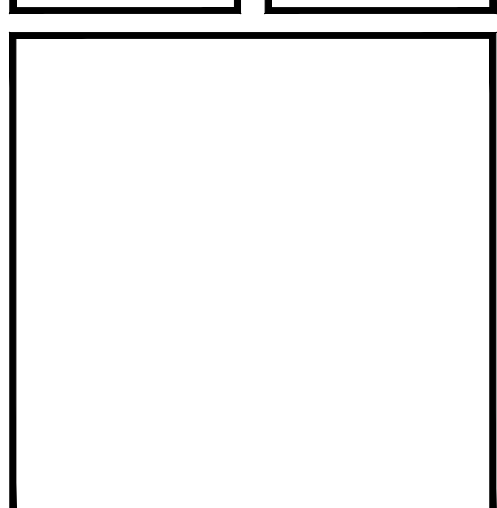
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LEVEL 4 & 7

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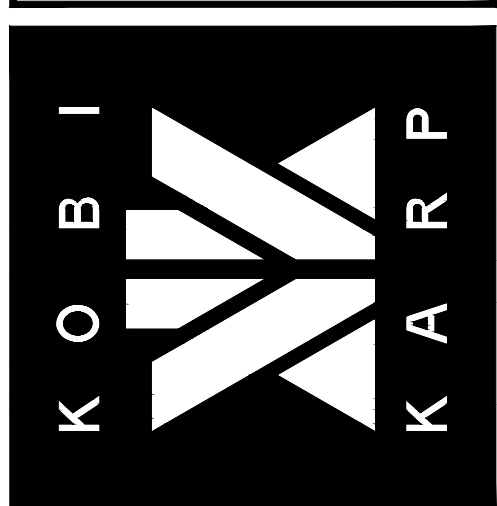


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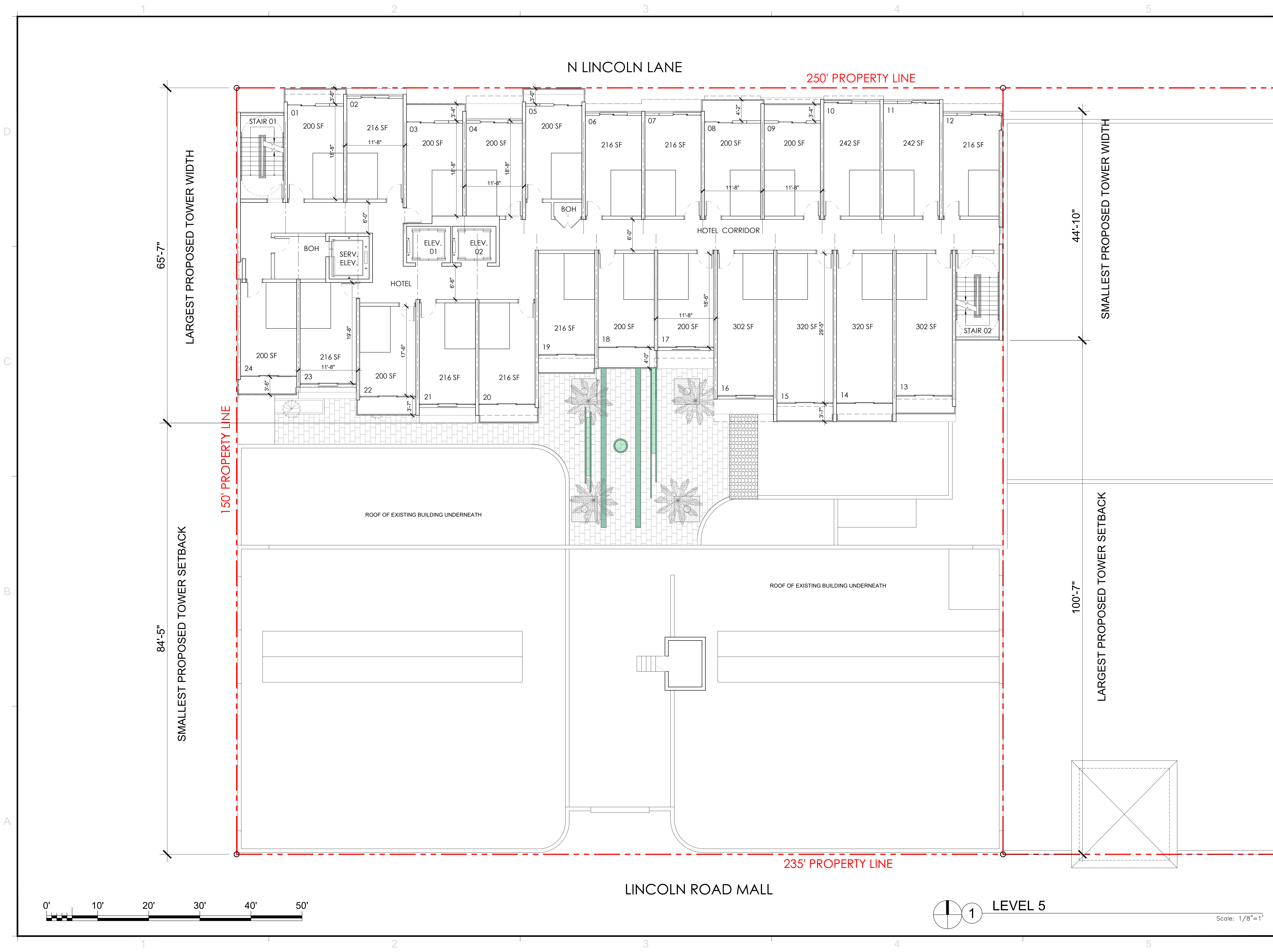


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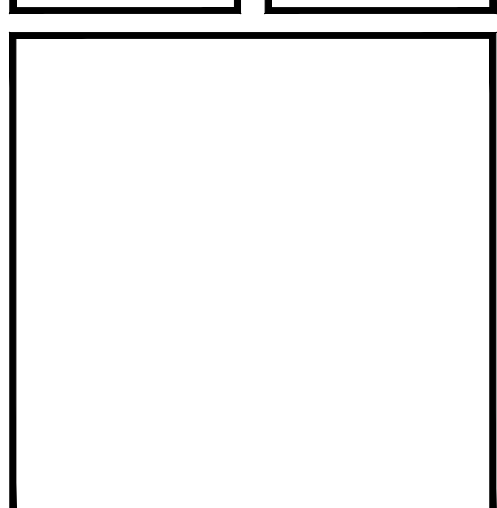
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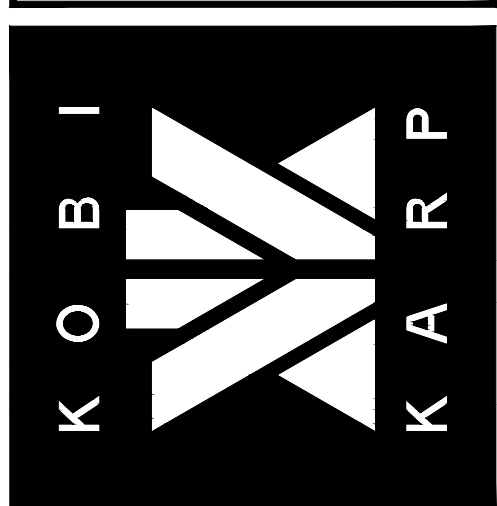
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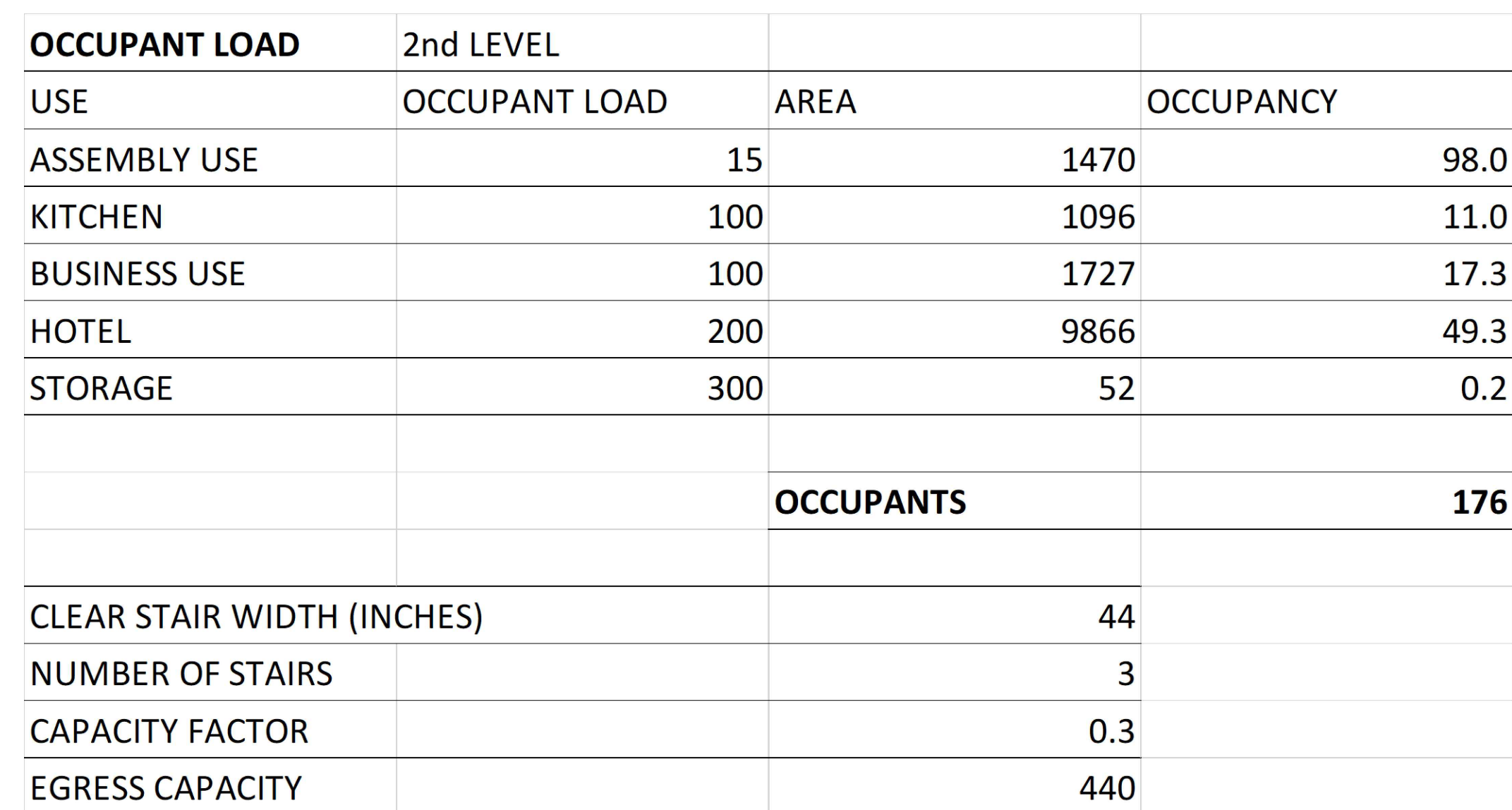
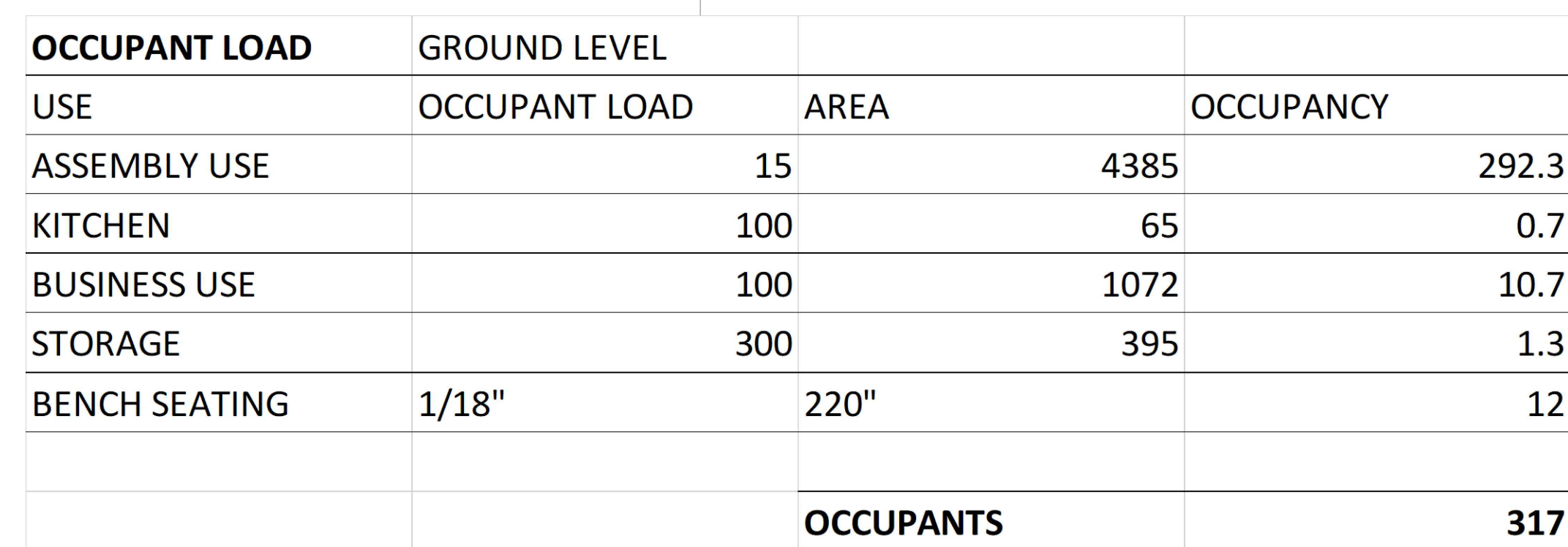


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OCCUPANT LOAD	2nd LEVEL		
USE	OCCUPANT LOAD	AREA	OCCUPANCY
ASSEMBLY USE	15	1470	98.0
KITCHEN	100	1096	11.0
BUSINESS USE	100	1727	17.3
HOTEL	200	9866	49.3
STORAGE	300	52	0.2
		OCCUPANTS	176
CLEAR STAIR WIDTH (INCHES)		44	
NUMBER OF STAIRS		3	
CAPACITY FACTOR		0.3	
EGRESS CAPACITY		440	

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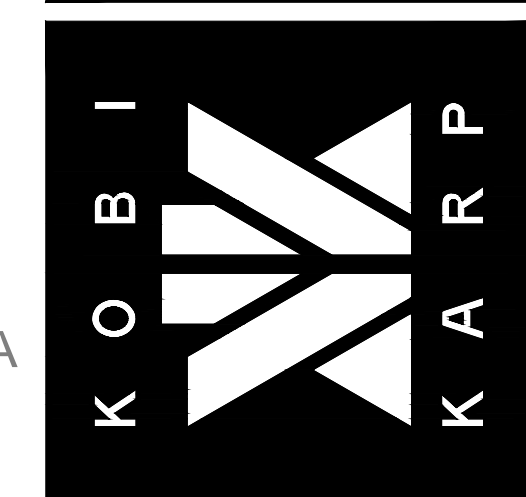
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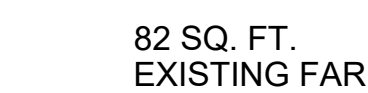
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 1 OCCUPANCY CALCULATION - ROOF LEVEL
Scale: 1/16"=1'

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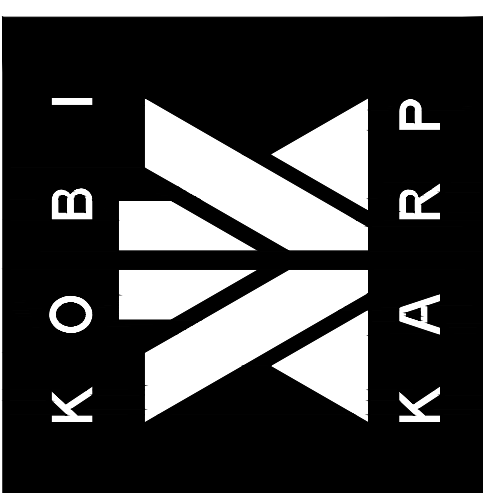
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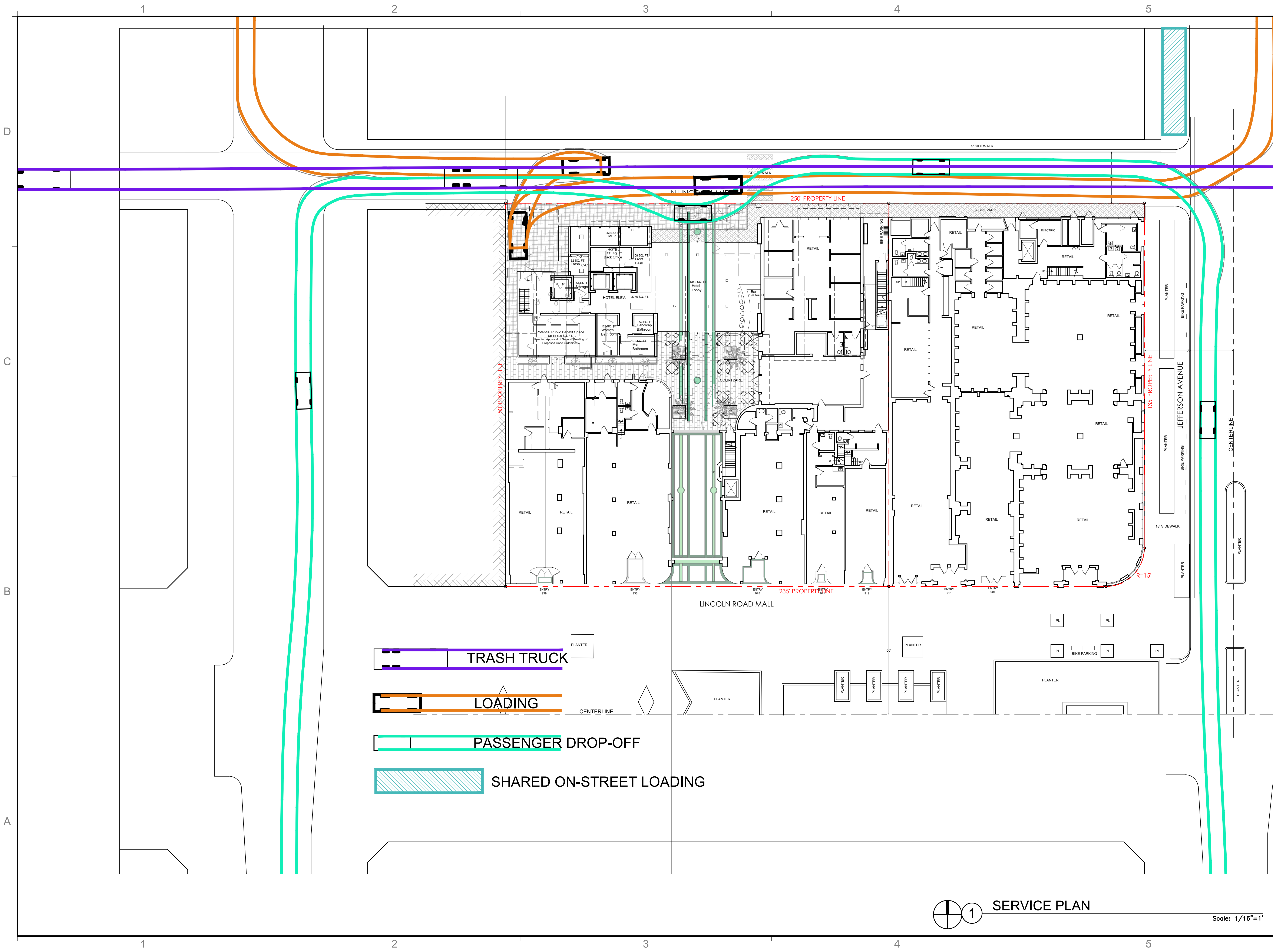
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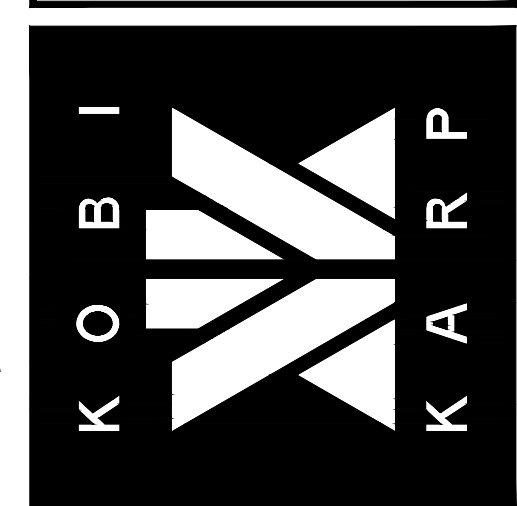
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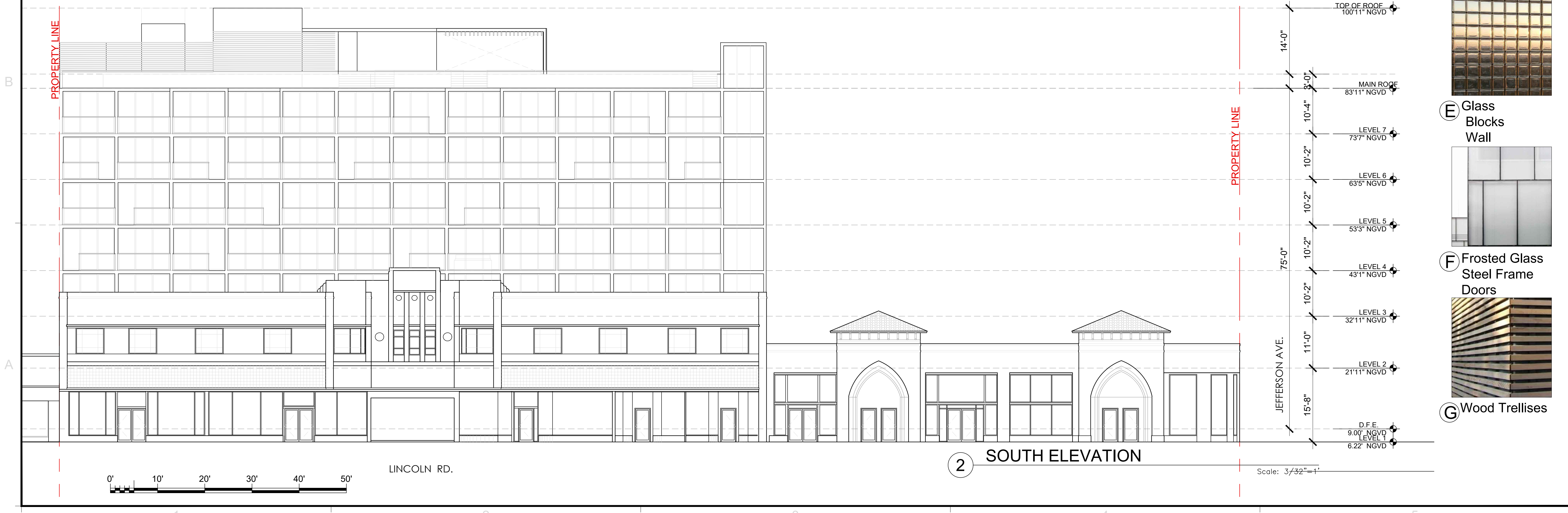
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A3.09



1 RENDERED SOUTH ELEVATION



2 SOUTH ELEVATION



A Exposed Concrete



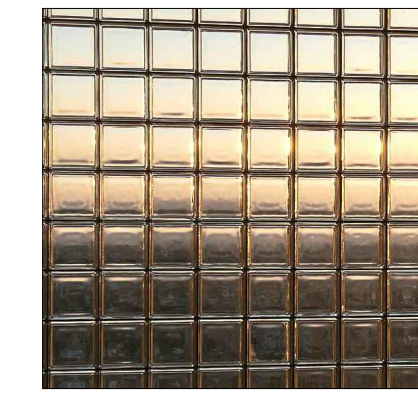
B Glass Railing



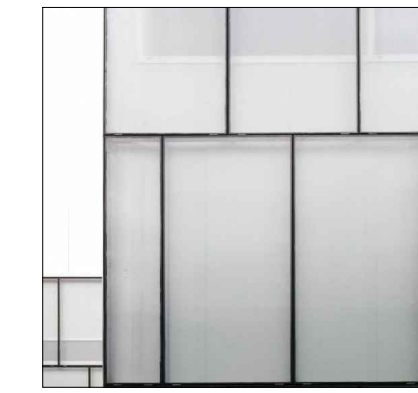
C Painted Scored Stucco



D Aluminium Window Frame



E Glass Blocks Wall



F Frosted Glass Steel Frame Doors



G Wood Trellises

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SOUTH ELEVATION



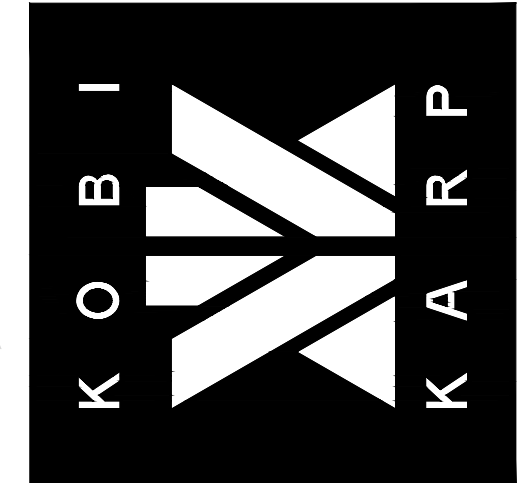
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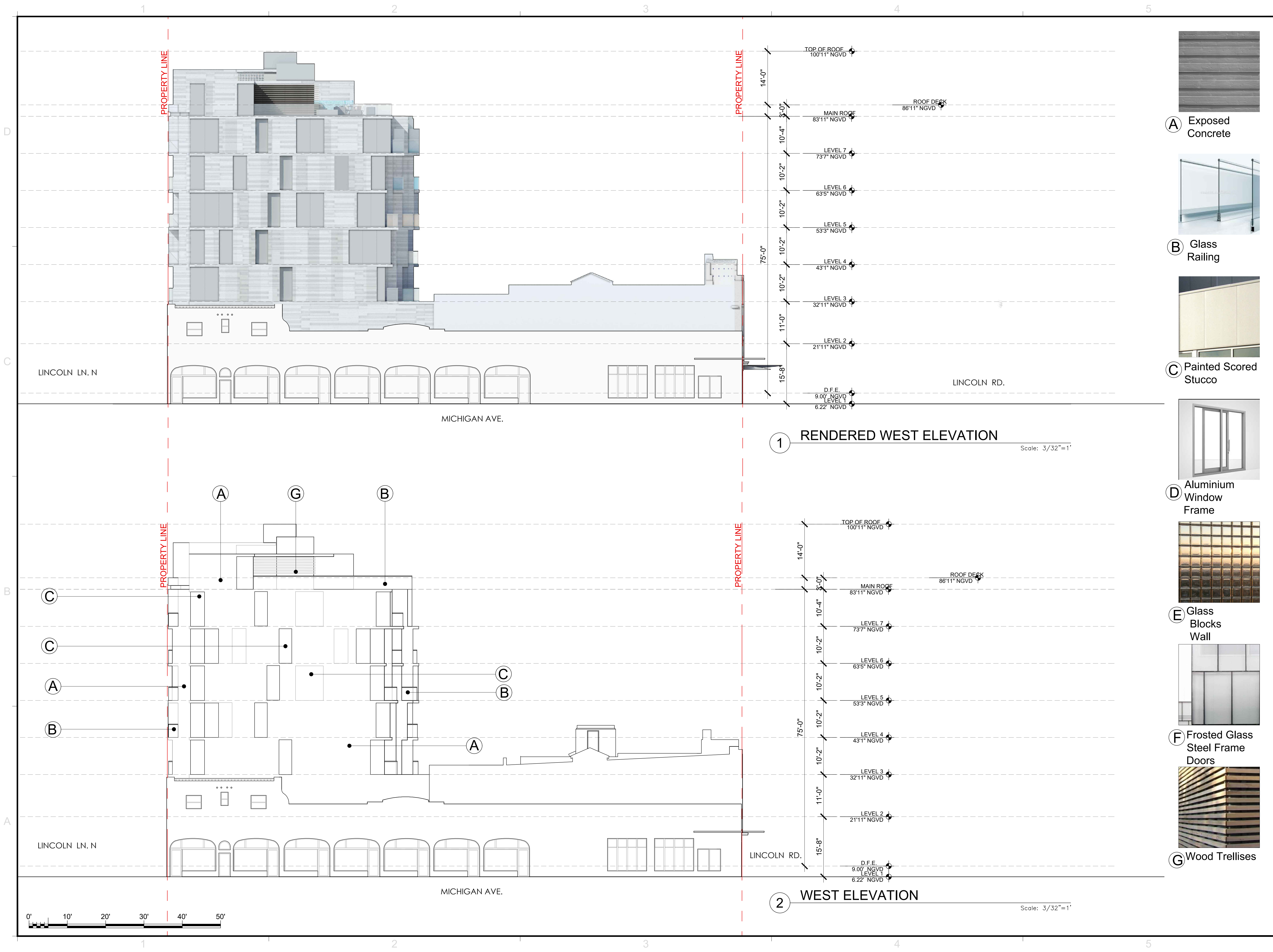
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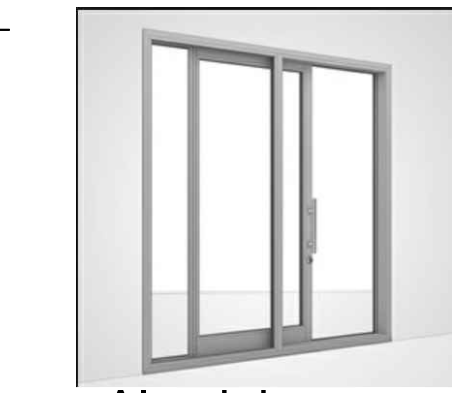
A Exposed Concrete



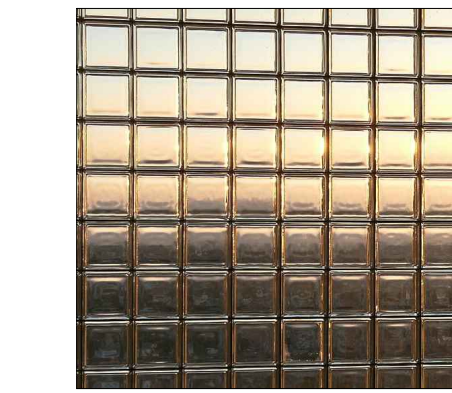
B Glass Railing



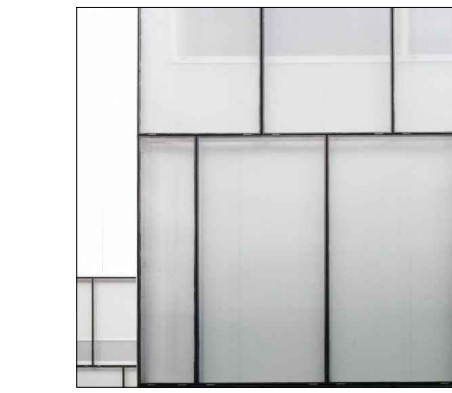
C Painted Scored Stucco



D Aluminium Window Frame



E Glass Blocks Wall



F Frosted Glass Steel Frame Doors



G Wood Trellises

REVISIONS / SUBMISSIONS

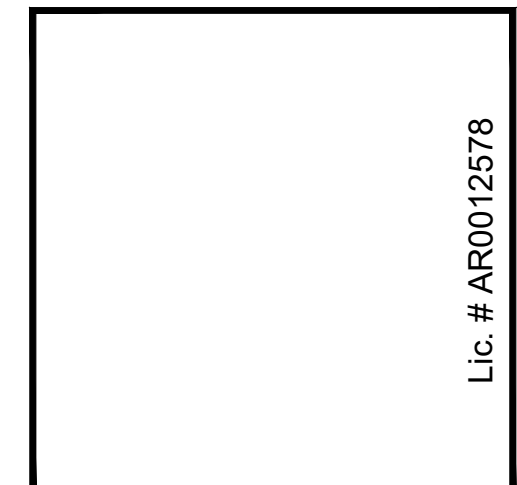
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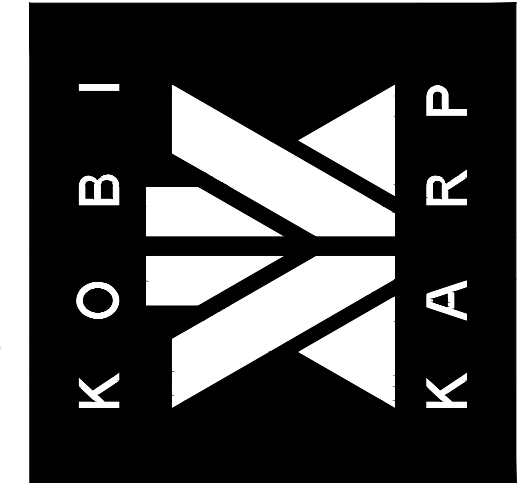
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WEST ELEVATION



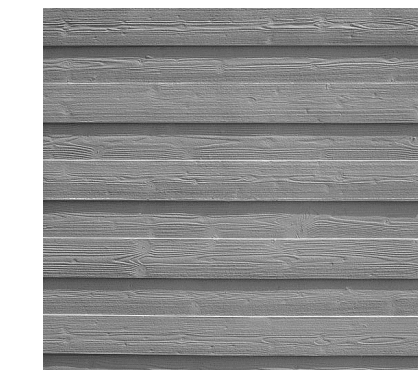
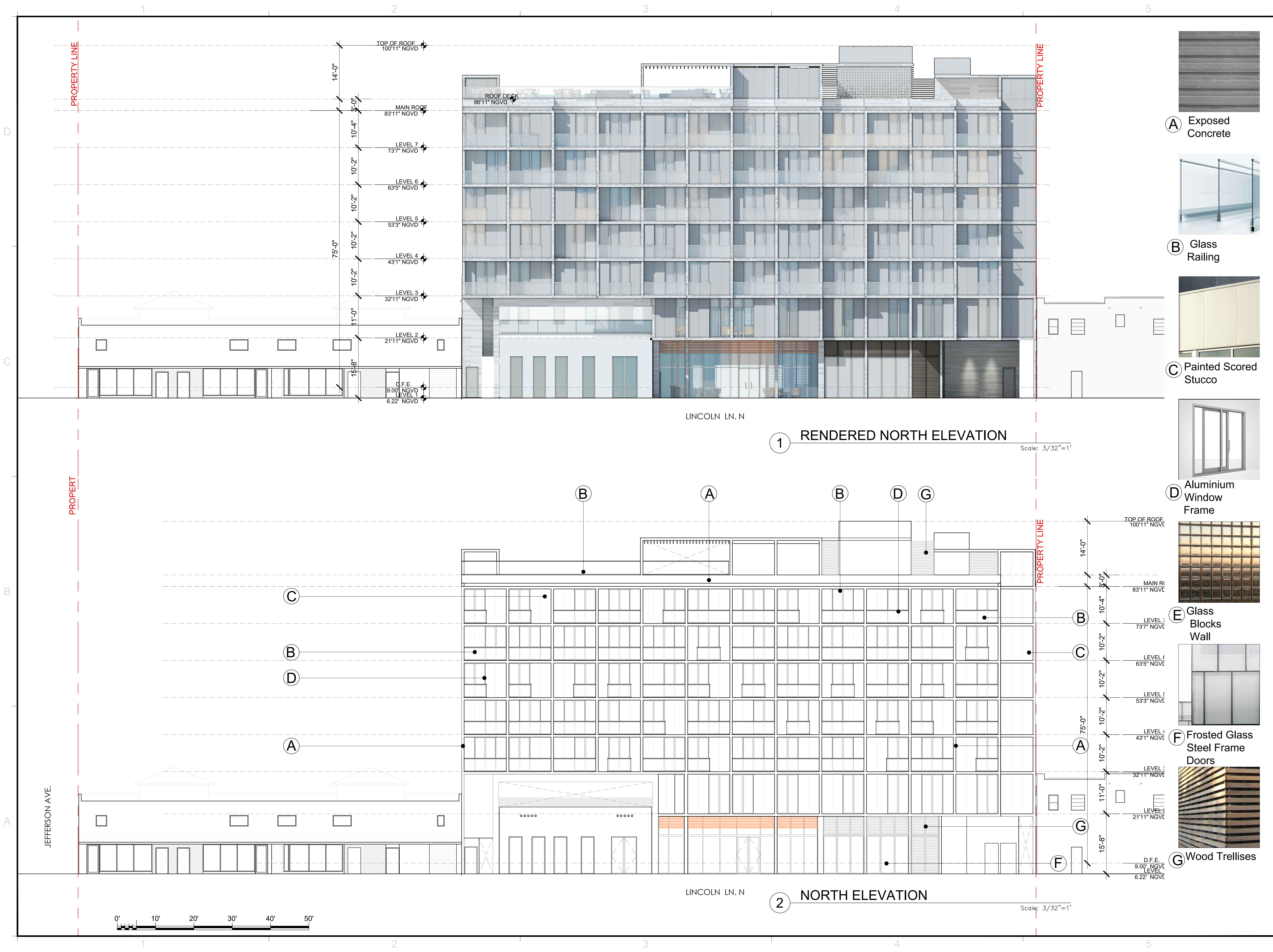
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A Exposed Concrete



B Glass Railing



C Painted Scored Stucco



D Aluminium Window Frame



E Glass Blocks Wall



F Frosted Glass Steel Frame Doors



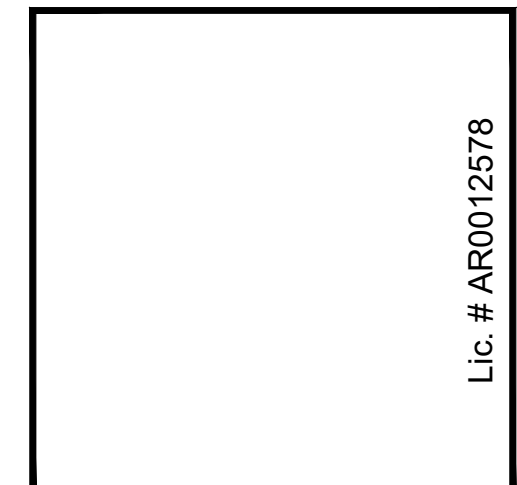
G Wood Trellises

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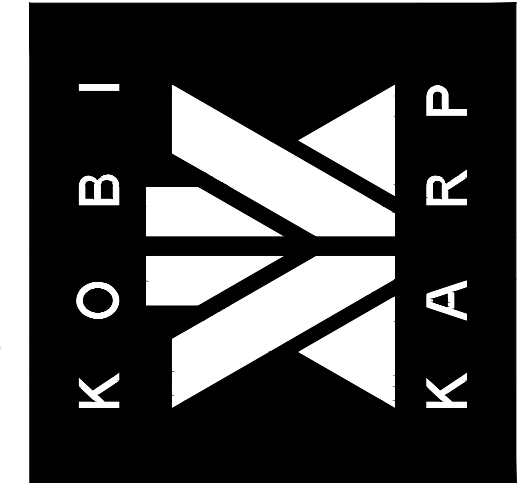
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NORTH ELEVATION

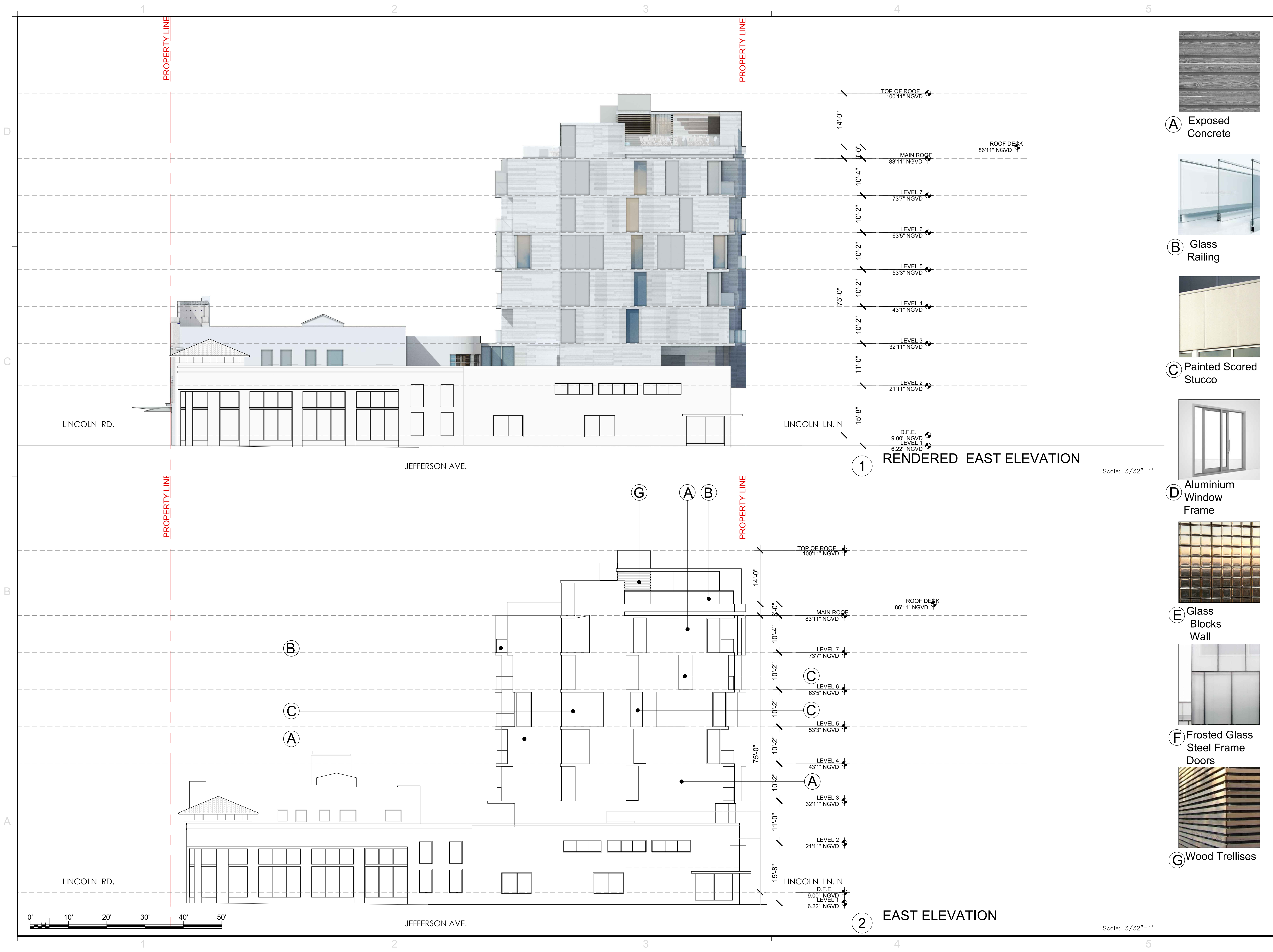


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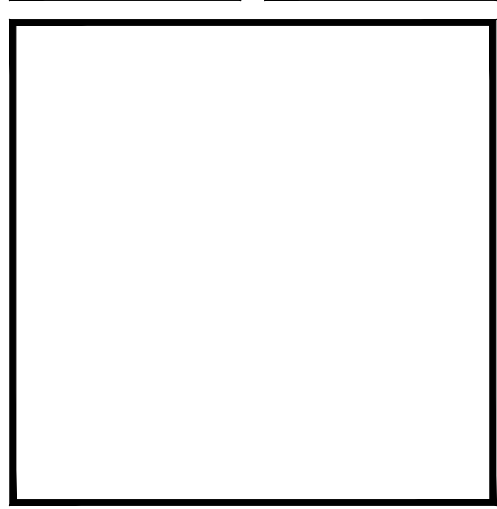
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EAST ELEVATION

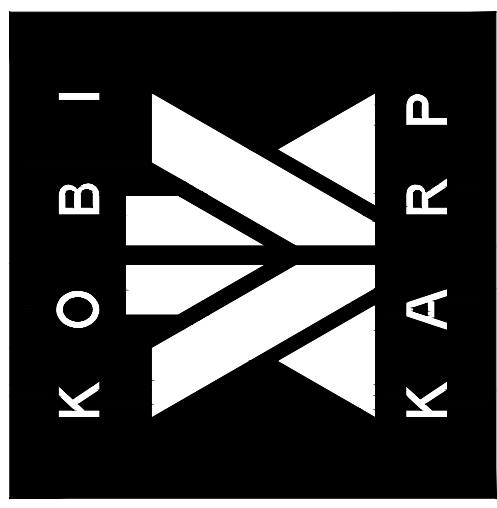


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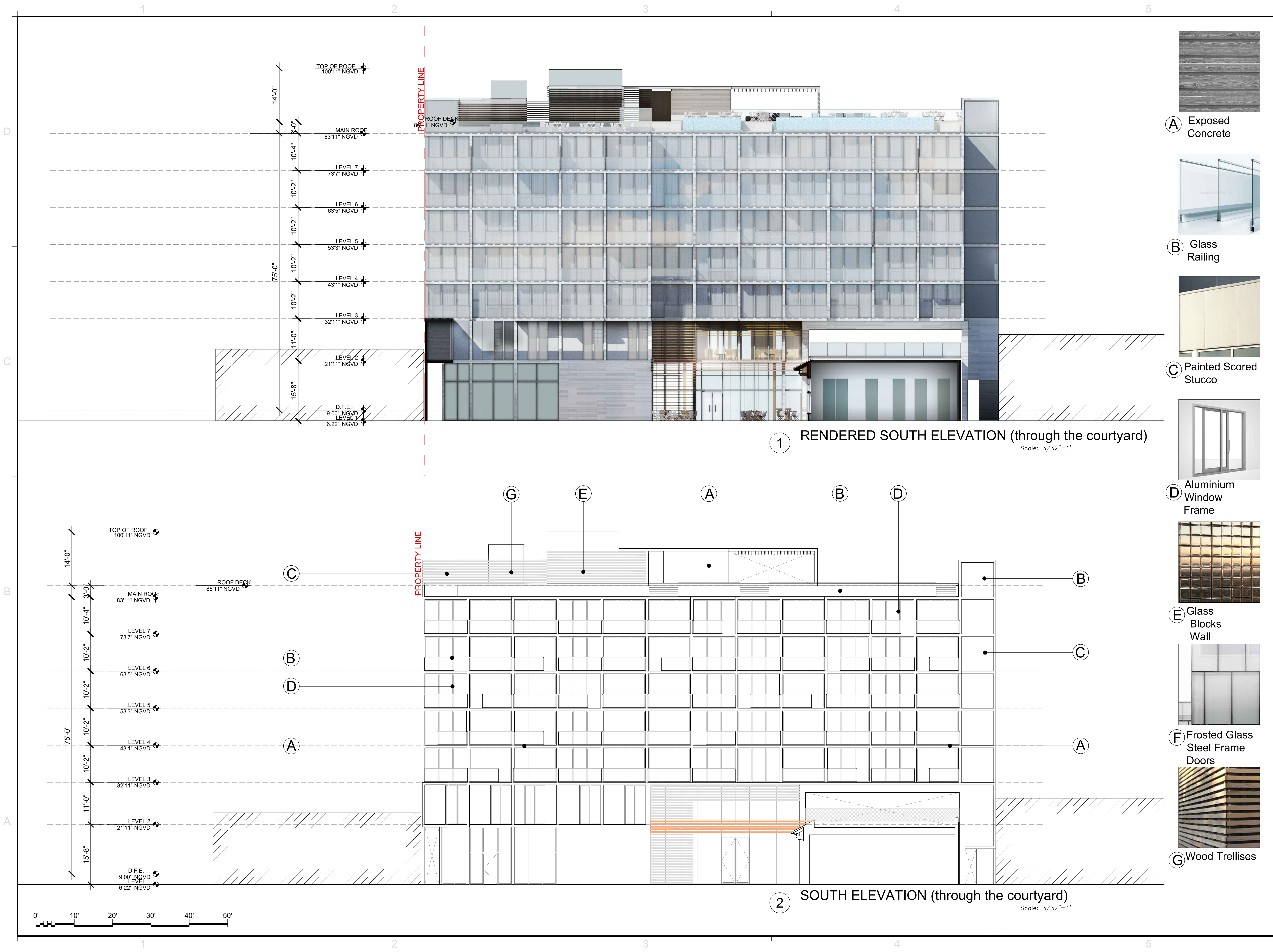
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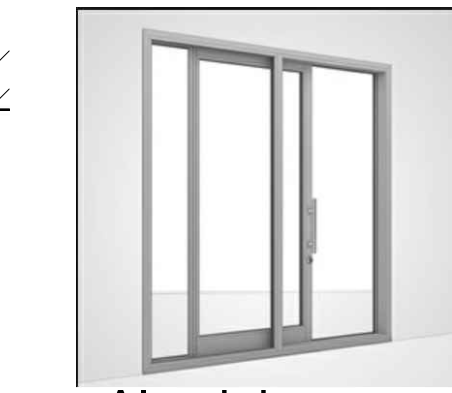
A Exposed Concrete



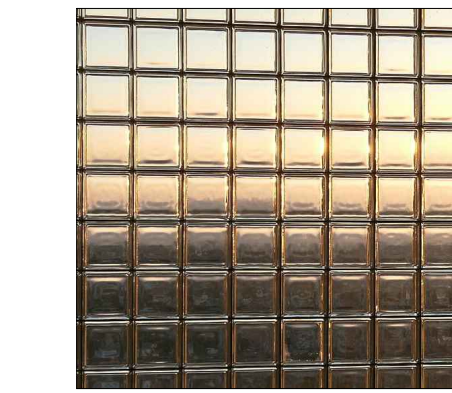
B Glass Railing



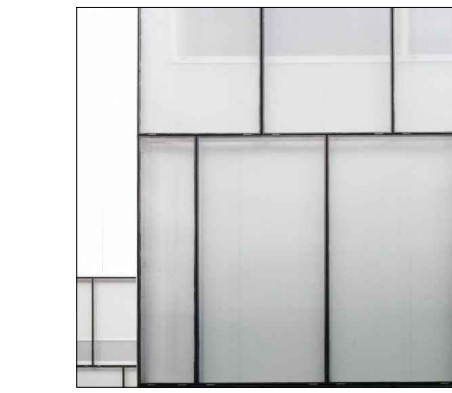
C Painted Scored Stucco



D Aluminium Window Frame



E Glass Blocks Wall



F Frosted Glass Steel Frame Doors



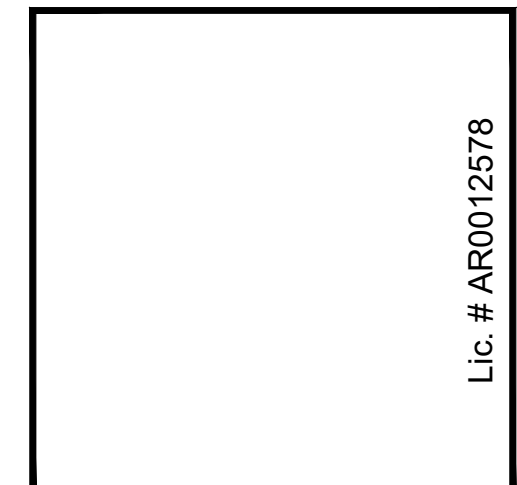
G Wood Trellises

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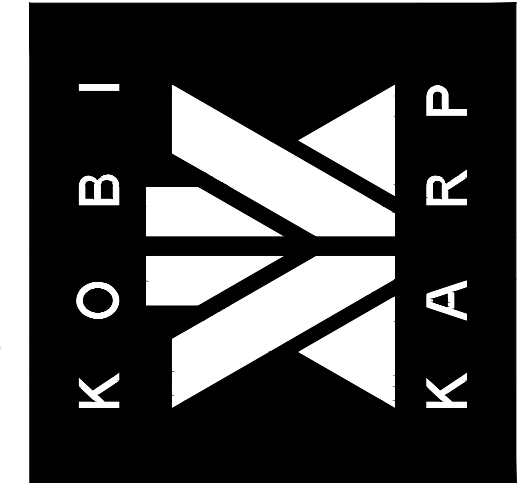
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SOUTH ELEVATION

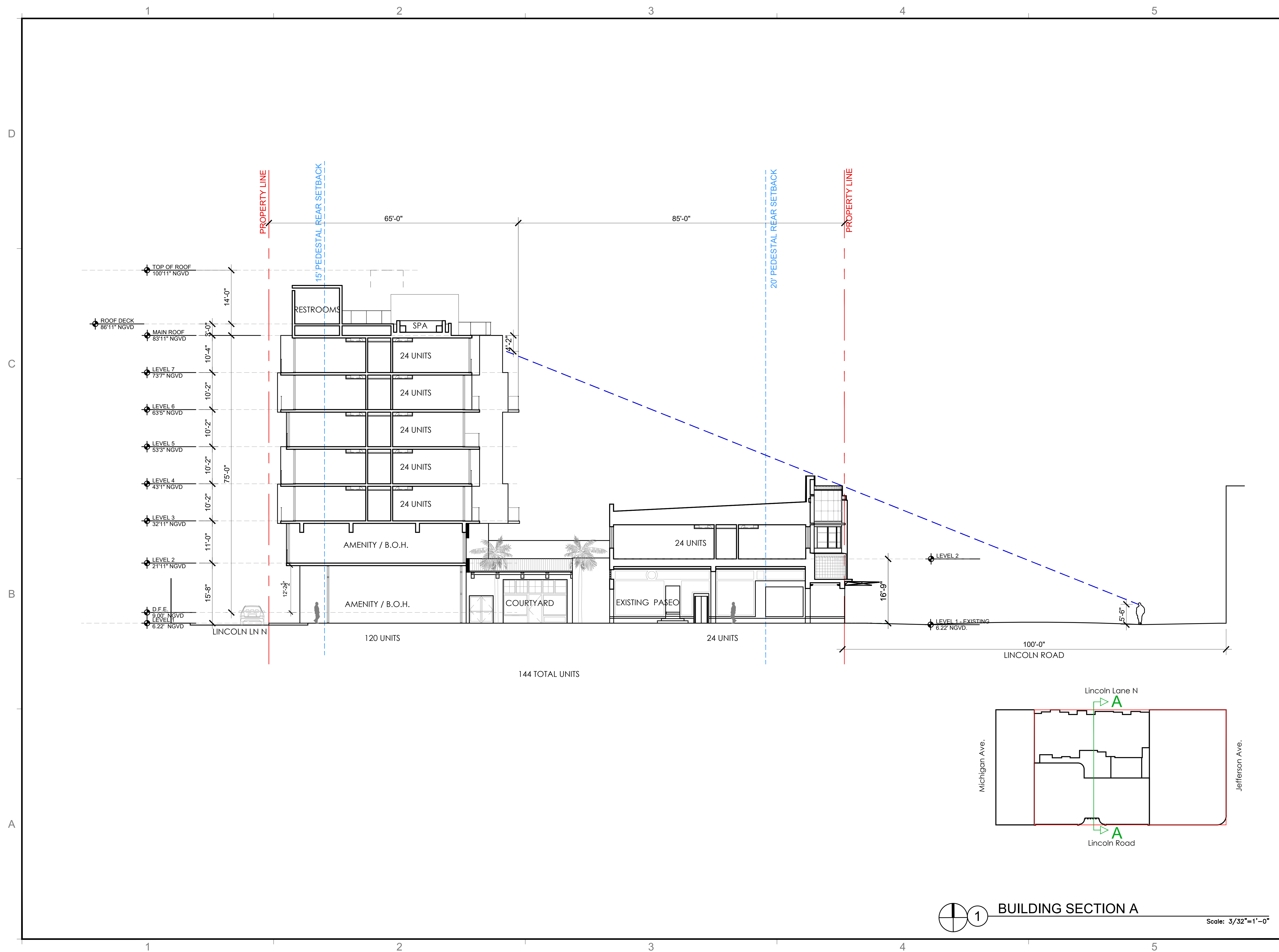


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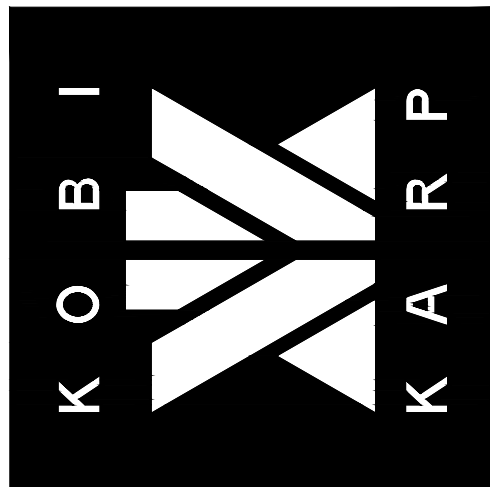
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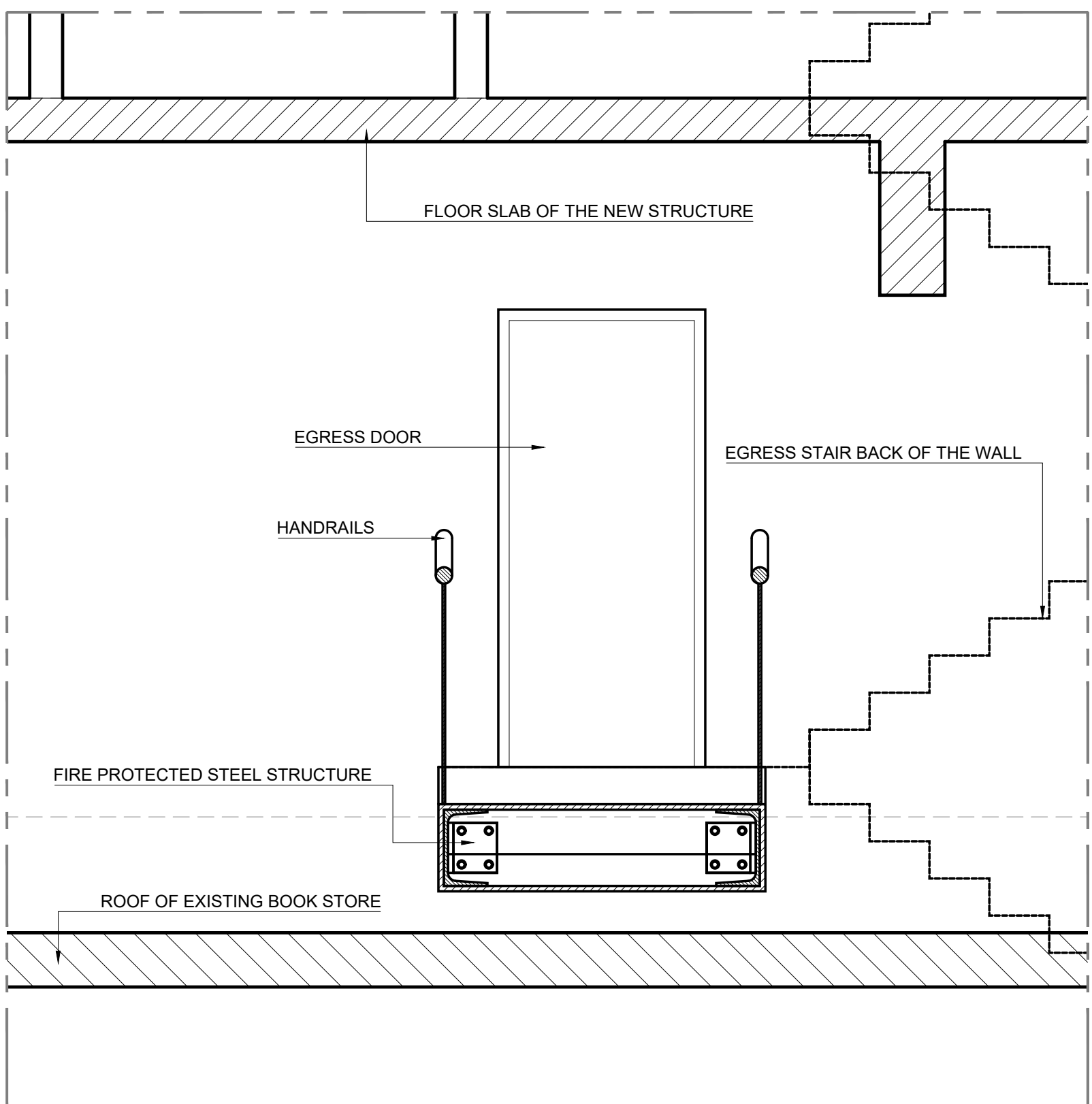
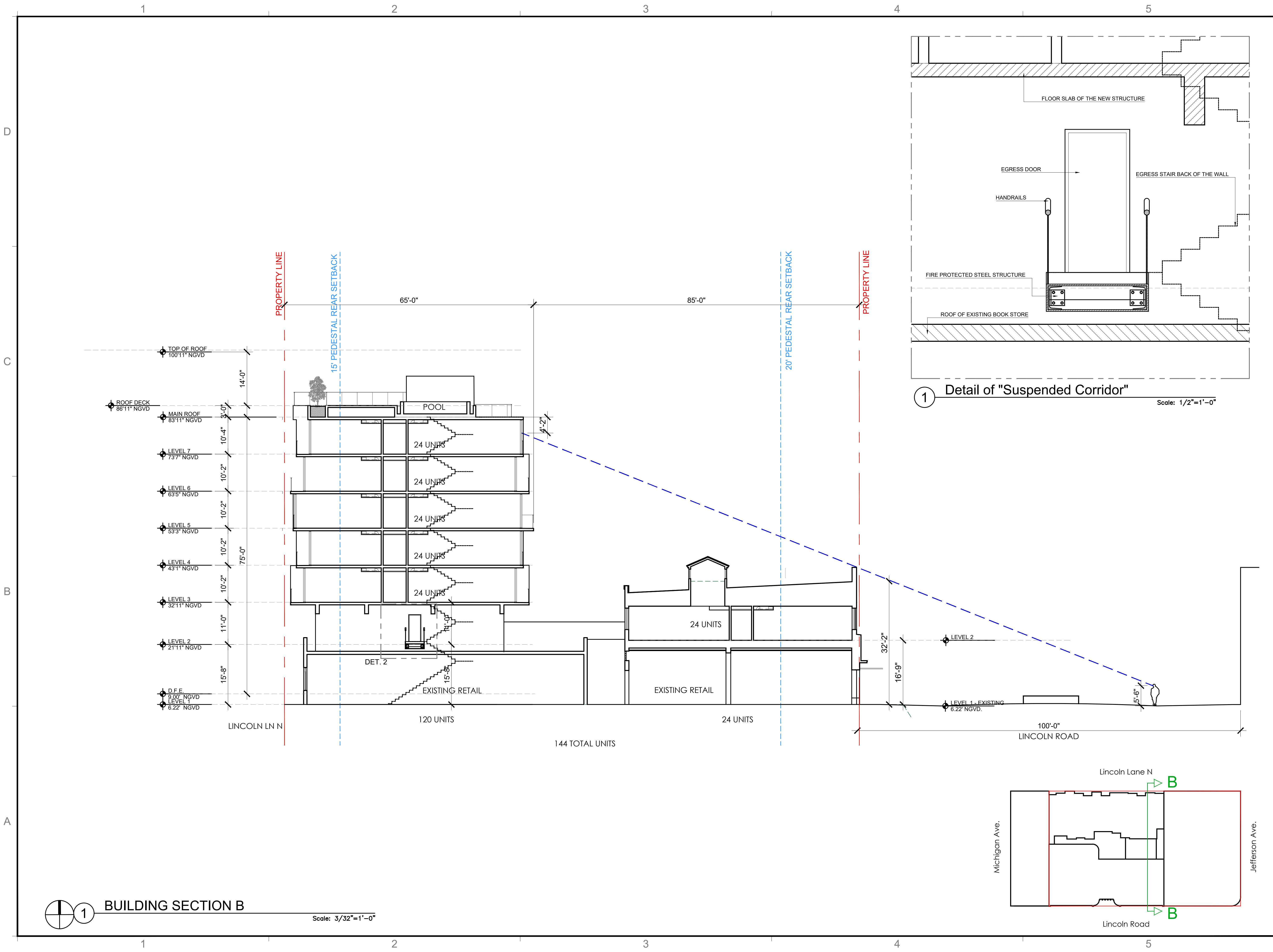
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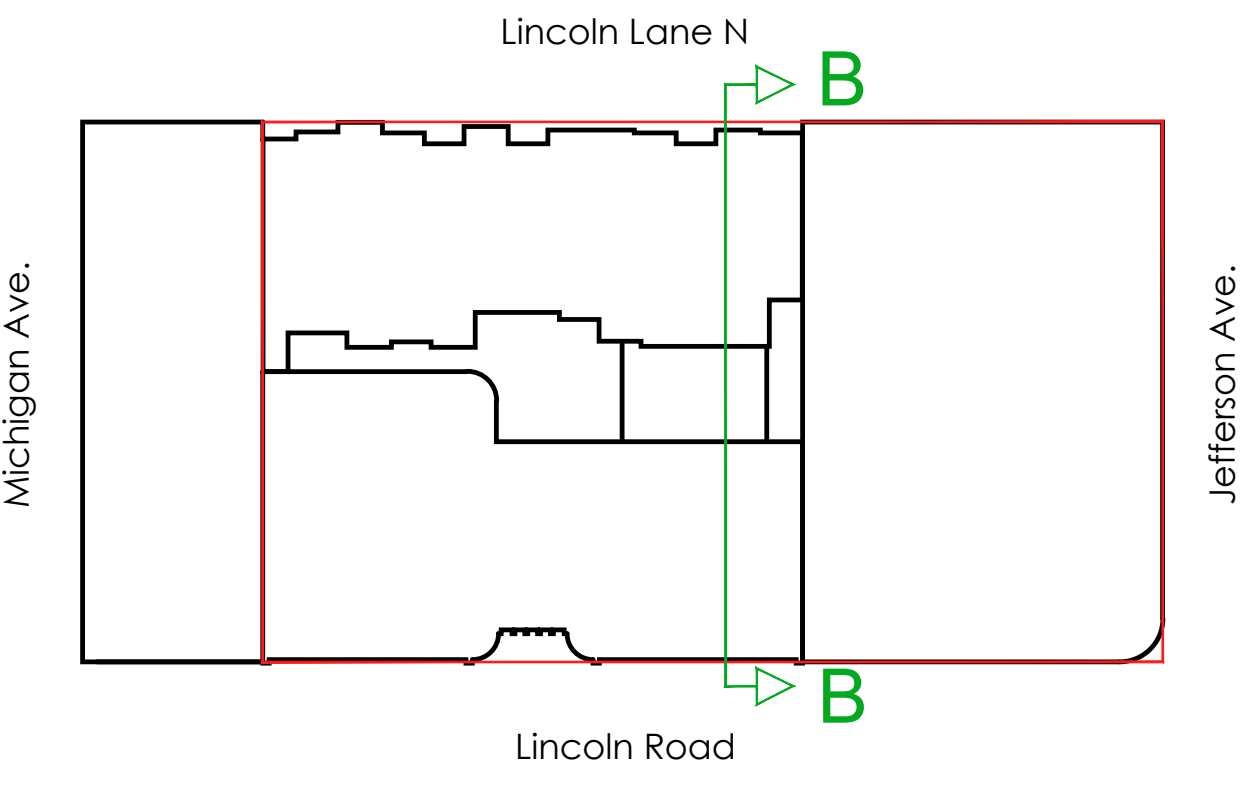


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A4.06



1 Detail of "Suspended Corridor" Scale: 1/2"=1'-0"



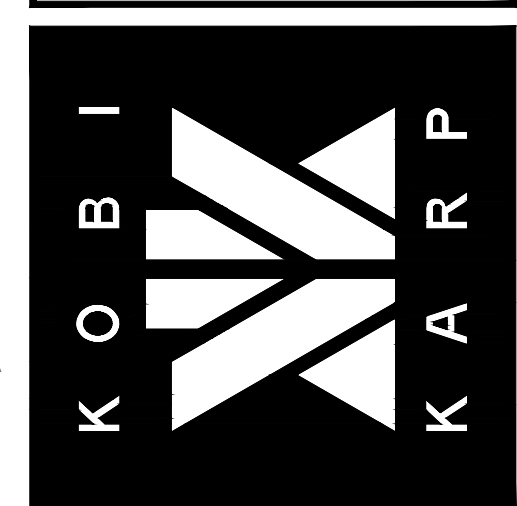
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BUILDING SECTION B

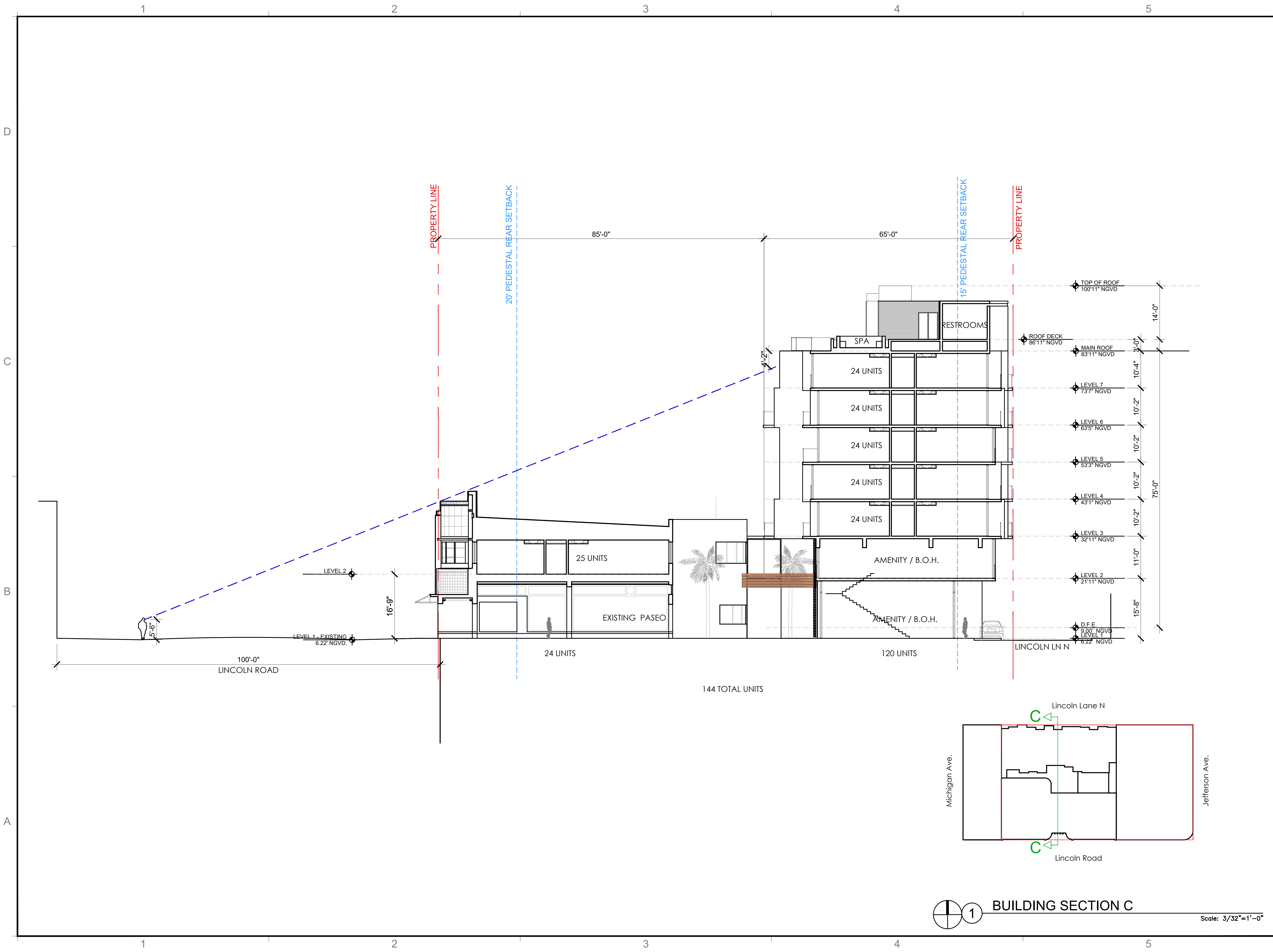
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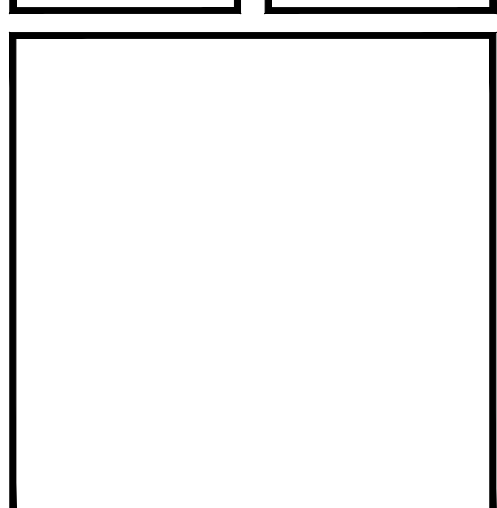
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BUILDING SECTION C

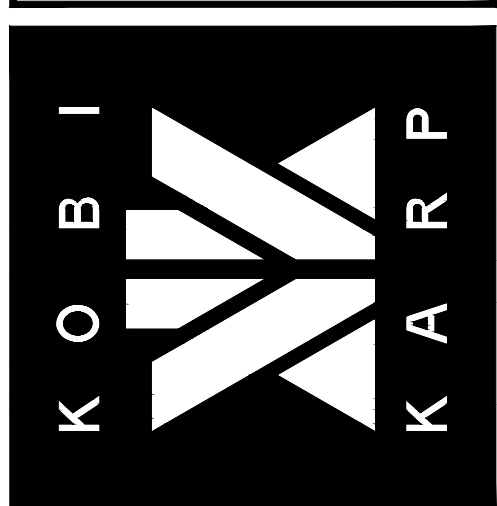


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1 BUILDING PERSPECTIVE SECTION
Scale: N/A

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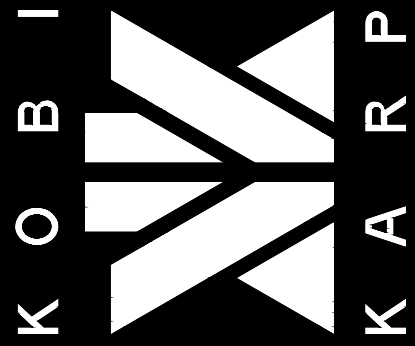
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PERSPECTIVE SECTION

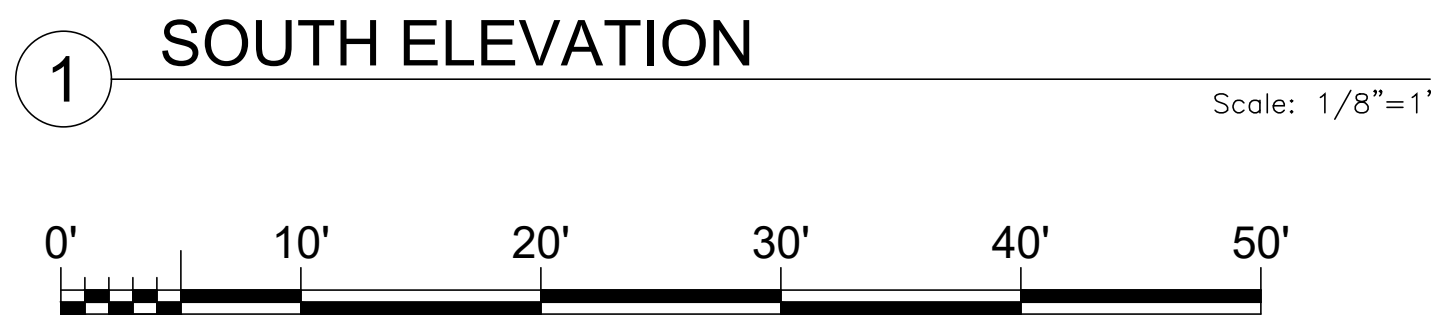
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A Exposed Concrete



B Glass Railing



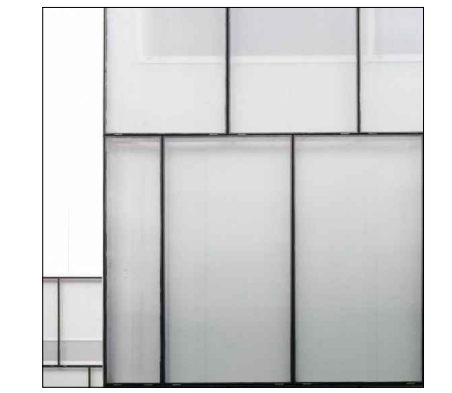
C Painted Scored Stucco



D Aluminium Window Frame



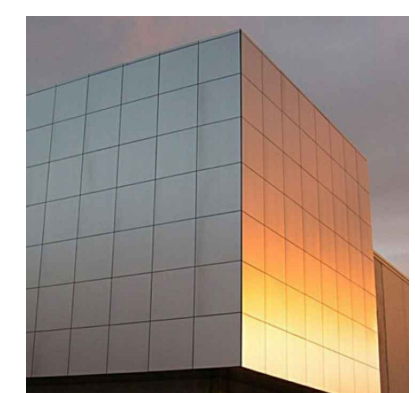
E Glass Blocks Wall



F Frosted Glass Steel Frame Doors



G Wood Trellises



J Stainless Steel



H Glass Mosaic Overflow

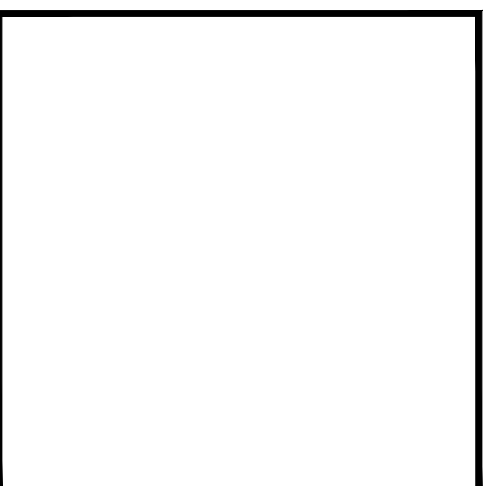
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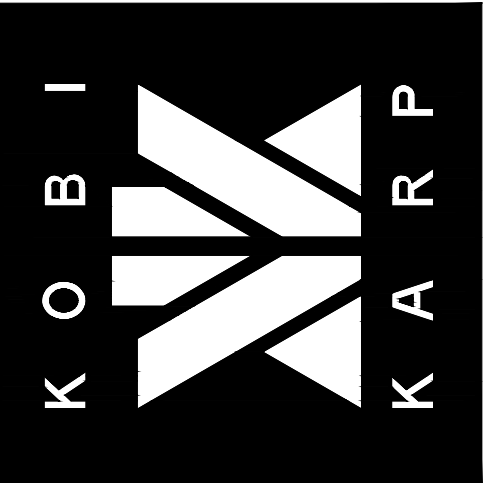
ENLARGED SOUTH ELEV.



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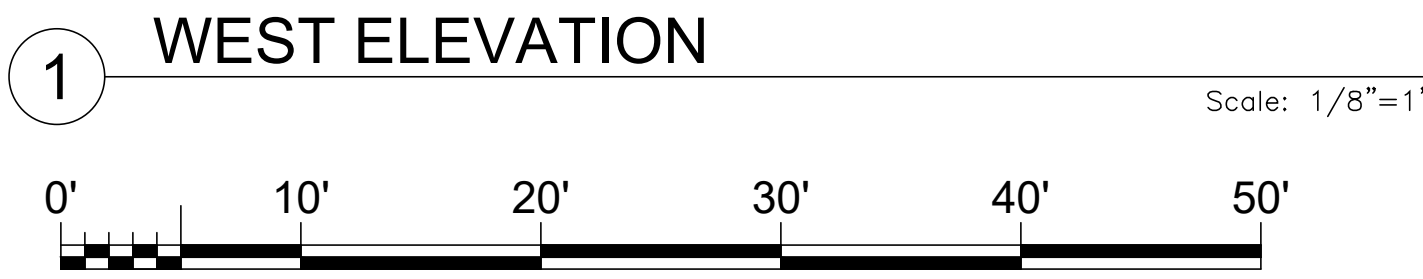
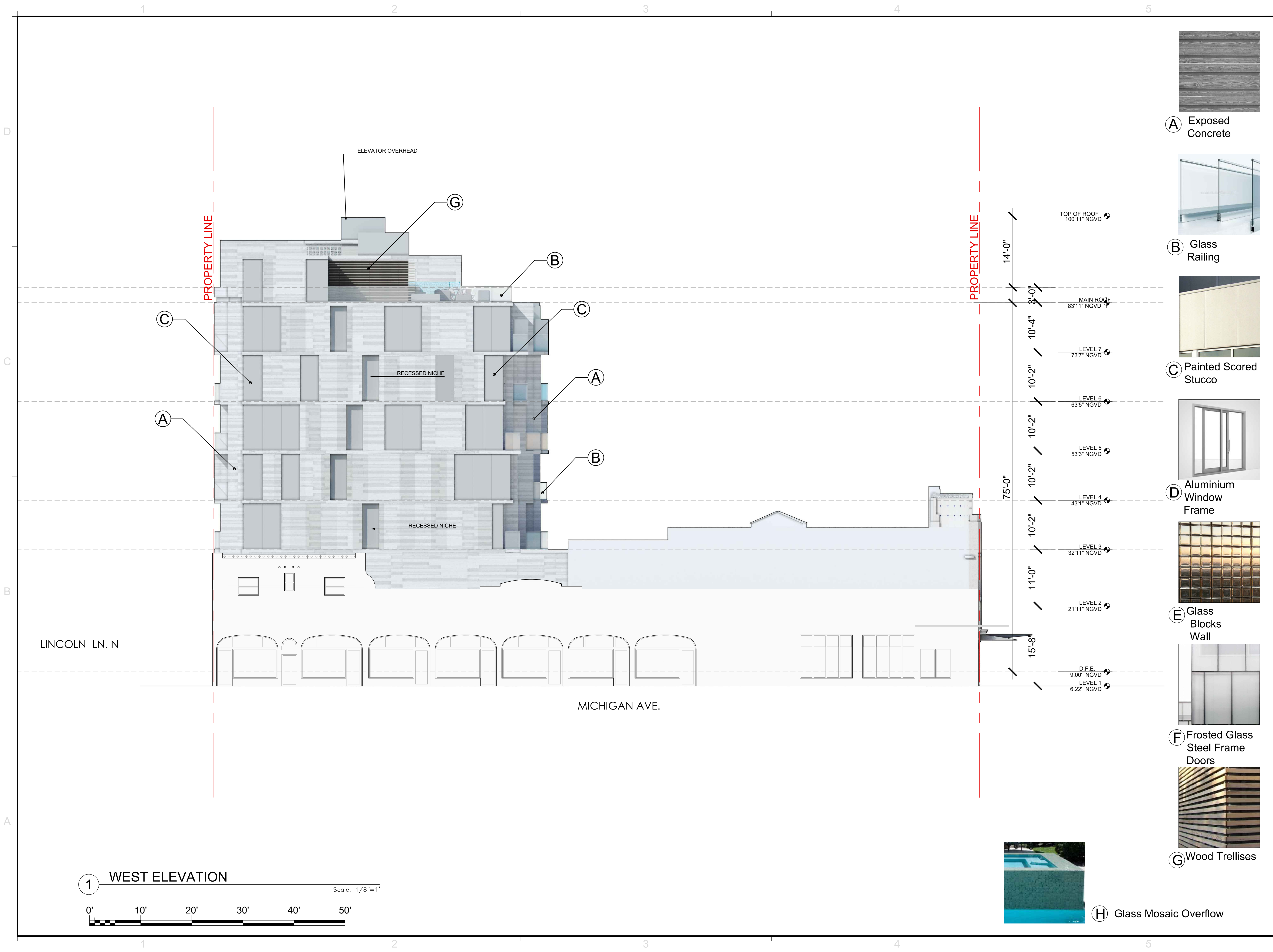
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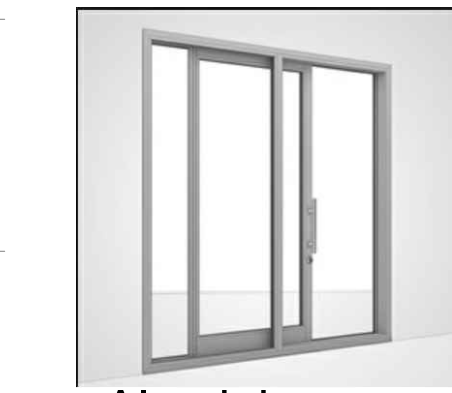
A Exposed Concrete



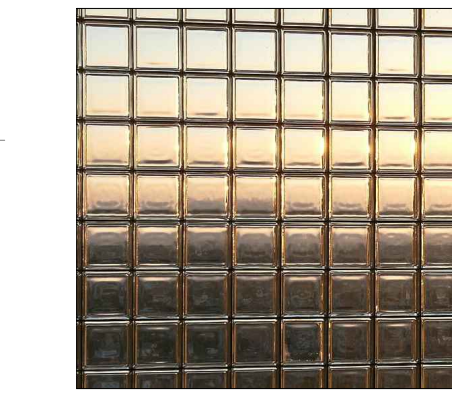
B Glass Railing



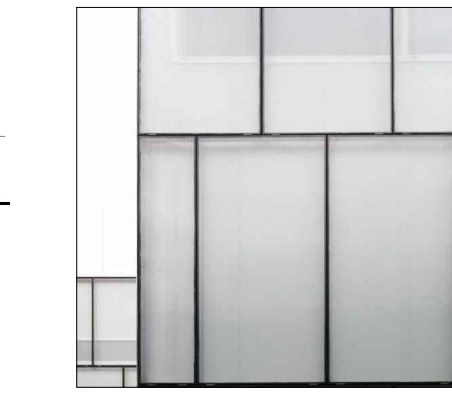
C Painted Scored Stucco



D Aluminium Window Frame



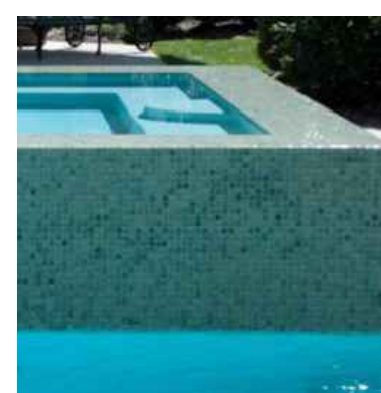
E Glass Blocks Wall



F Frosted Glass Steel Frame Doors



G Wood Trellises



H Glass Mosaic Overflow

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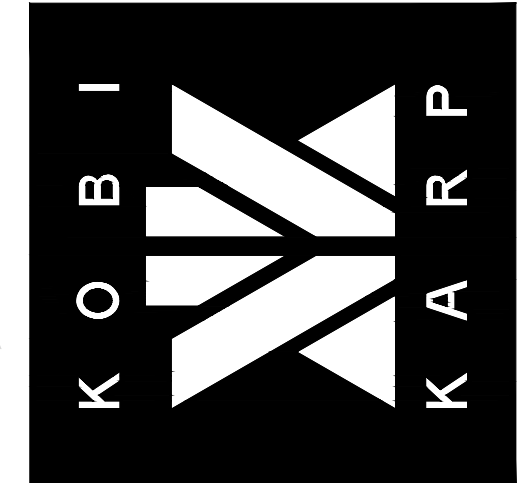
ENLARGED WEST ELEV.



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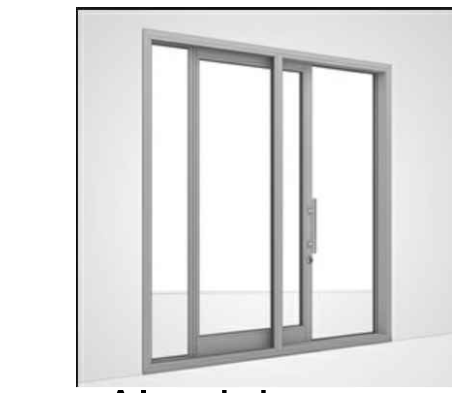
A Exposed Concrete



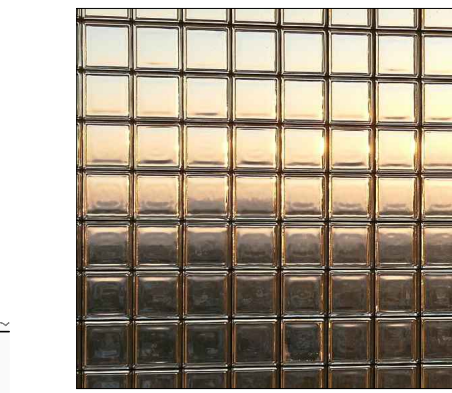
B Glass Railing



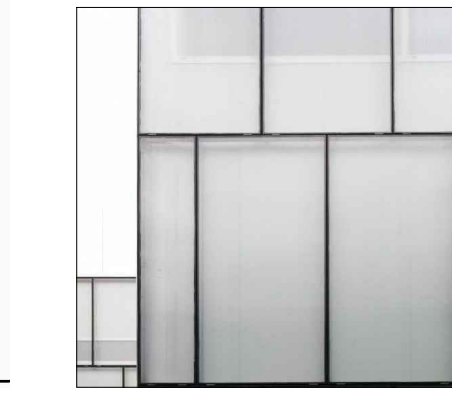
C Painted Scored Stucco



D Aluminium Window Frame



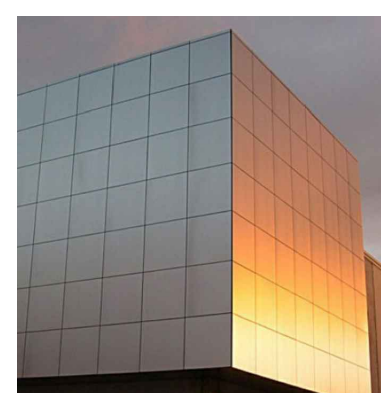
E Glass Blocks Wall



F Frosted Glass Steel Frame Doors



G Wood Trellises



J Stainless Steel



I Clay Trellises



H Glass Mosaic Overflow

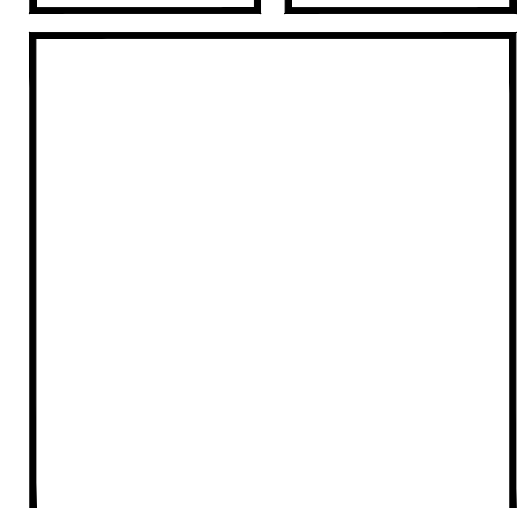
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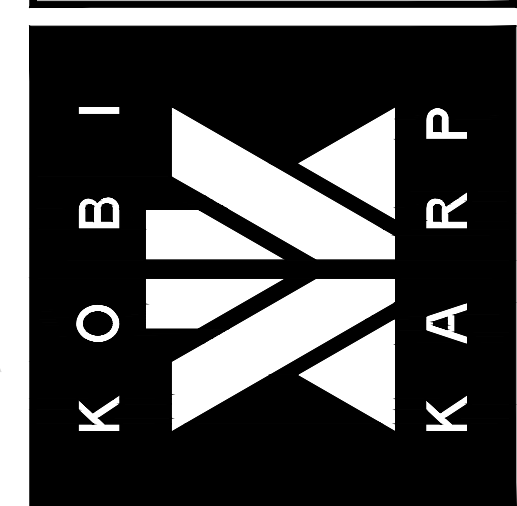
ENLARGED NORTH ELEV.



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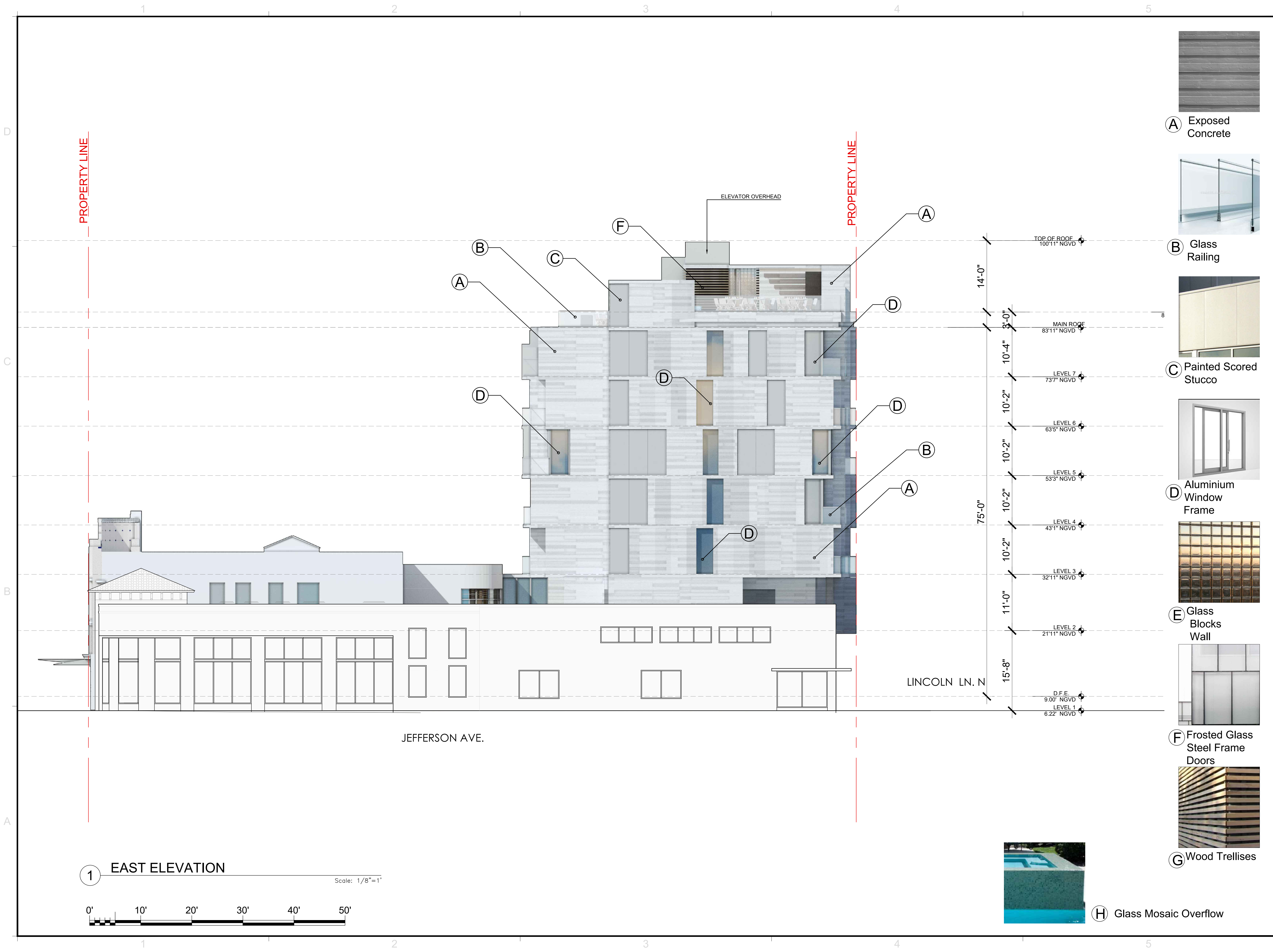


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ENLARGED EAST ELEV.

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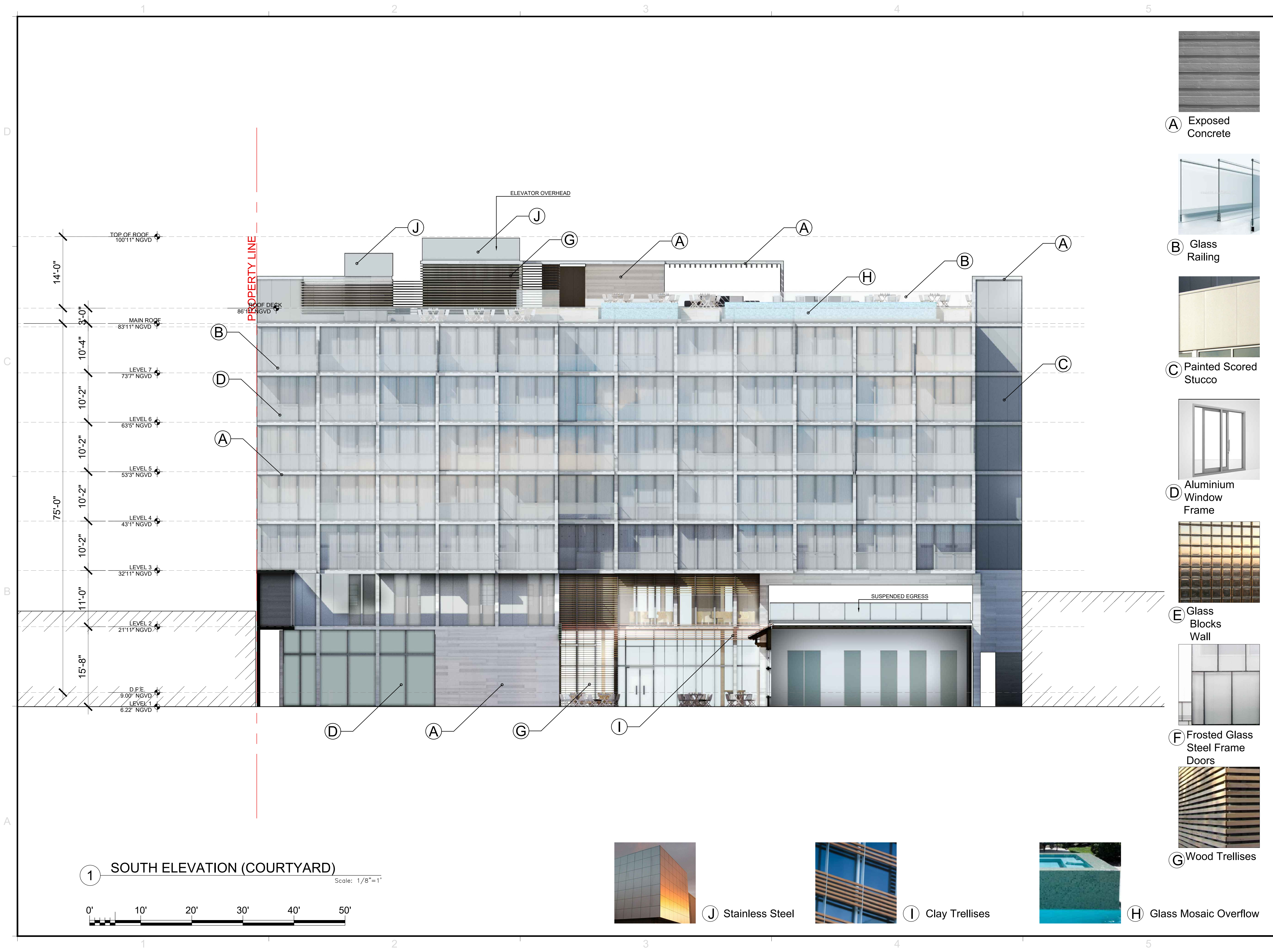
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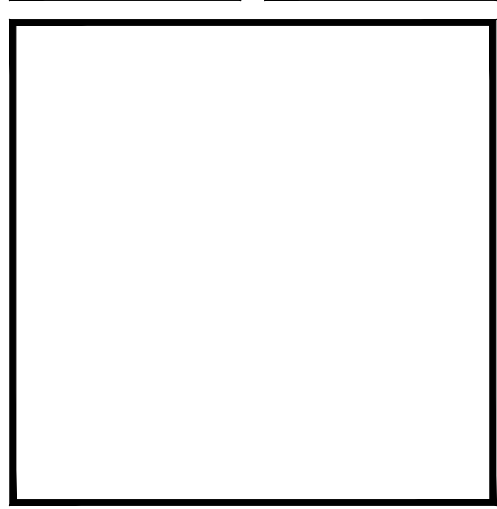
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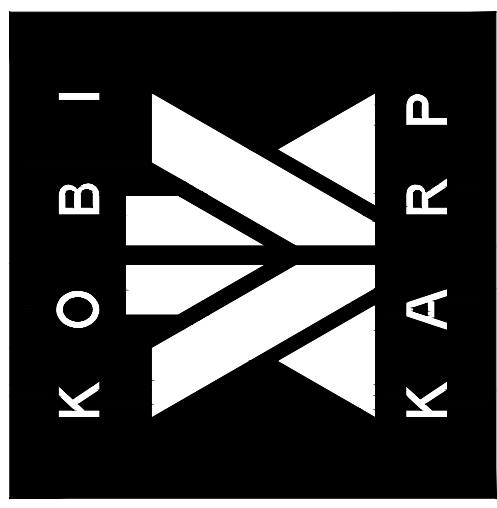
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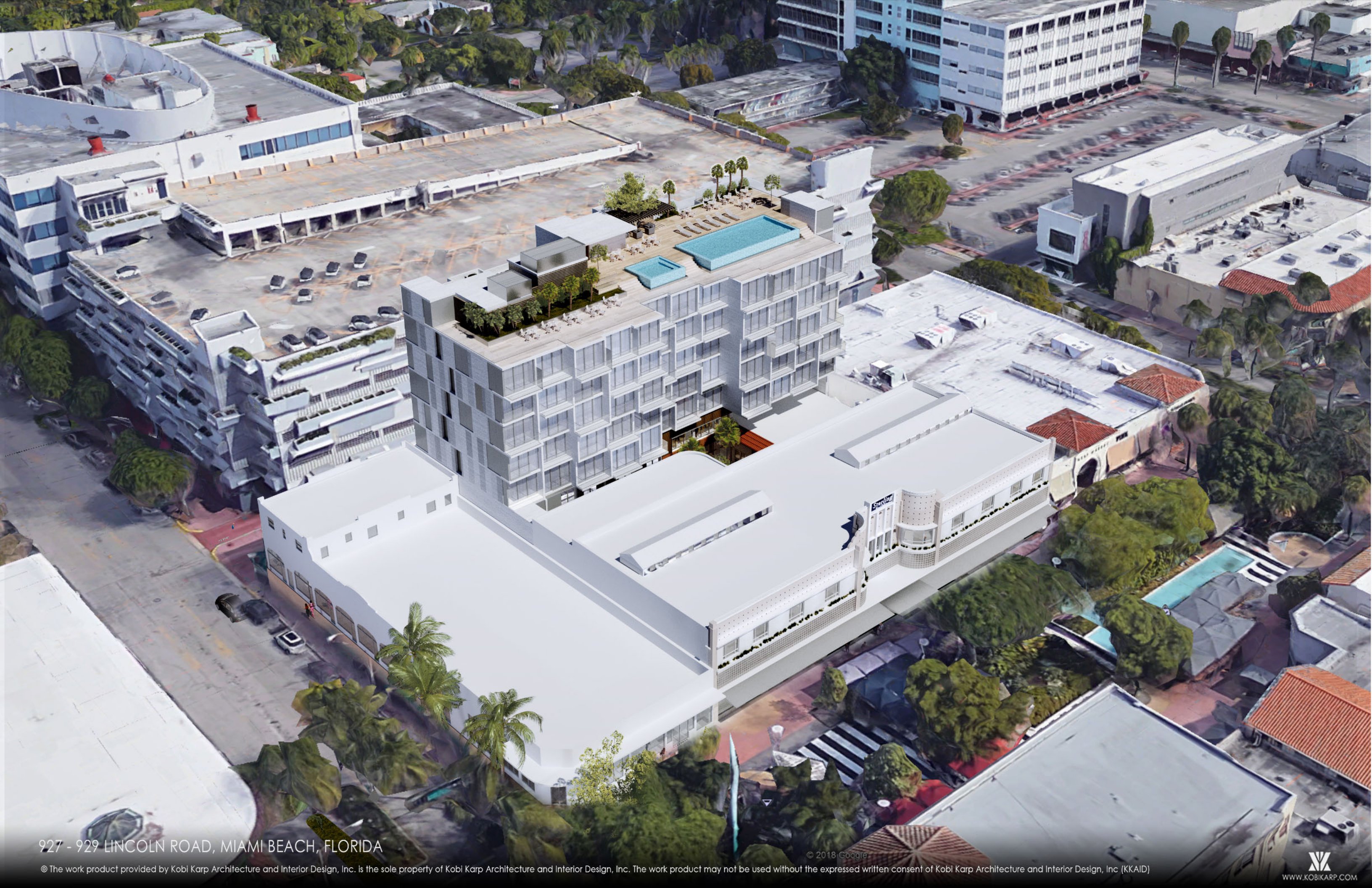
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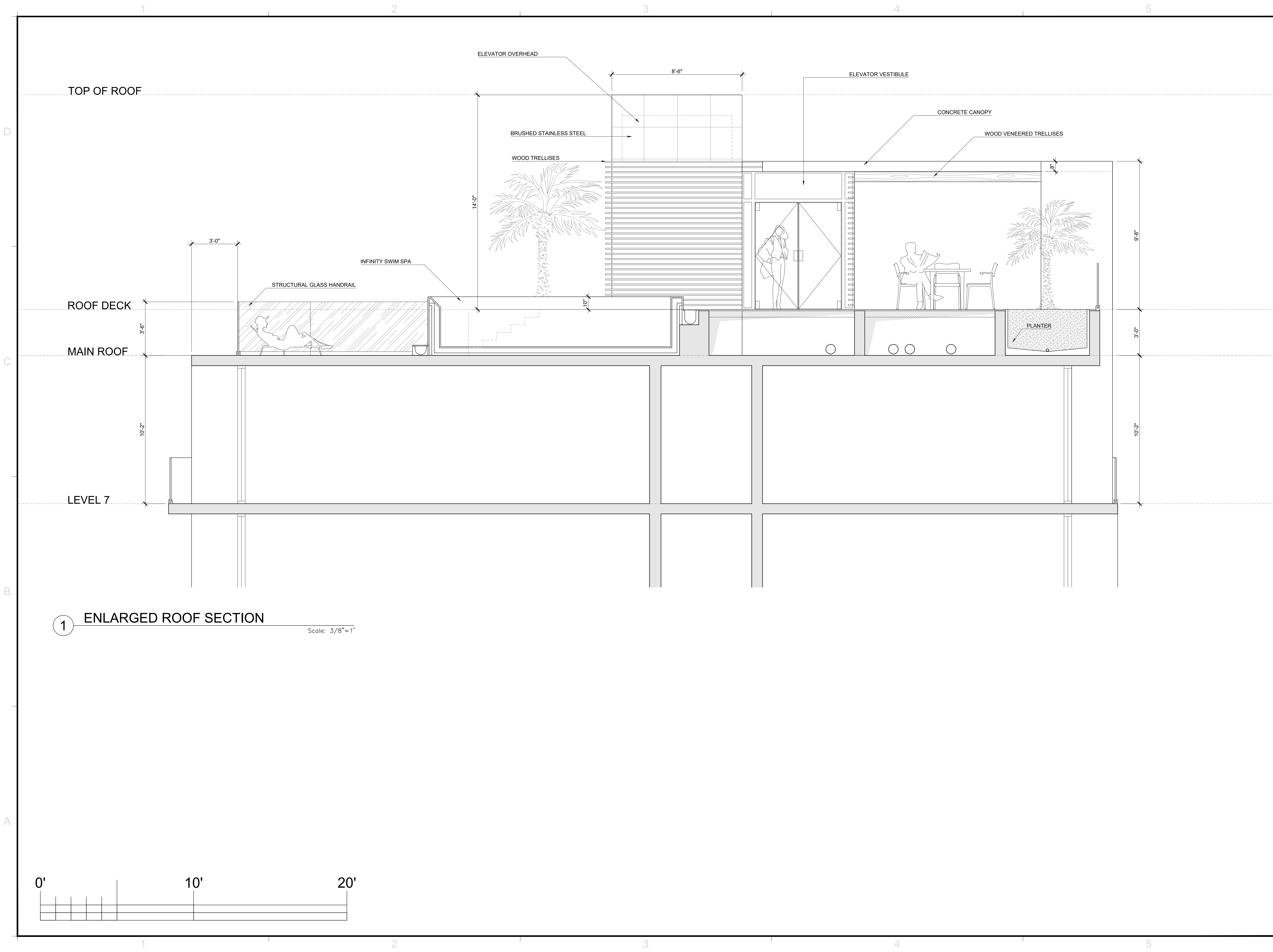
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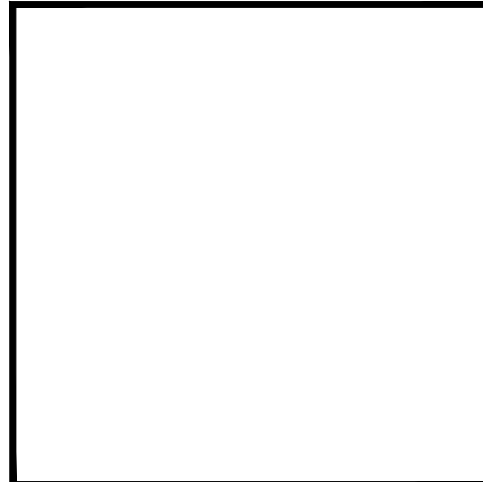
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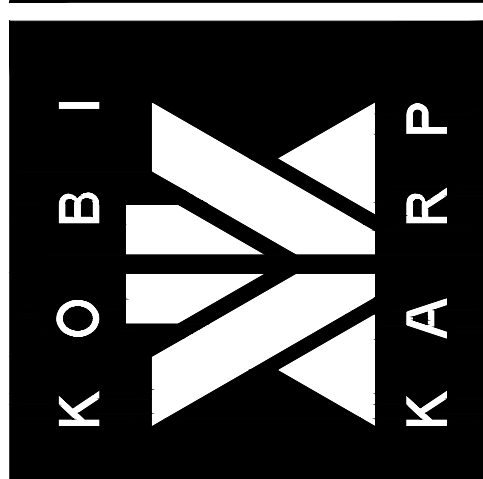
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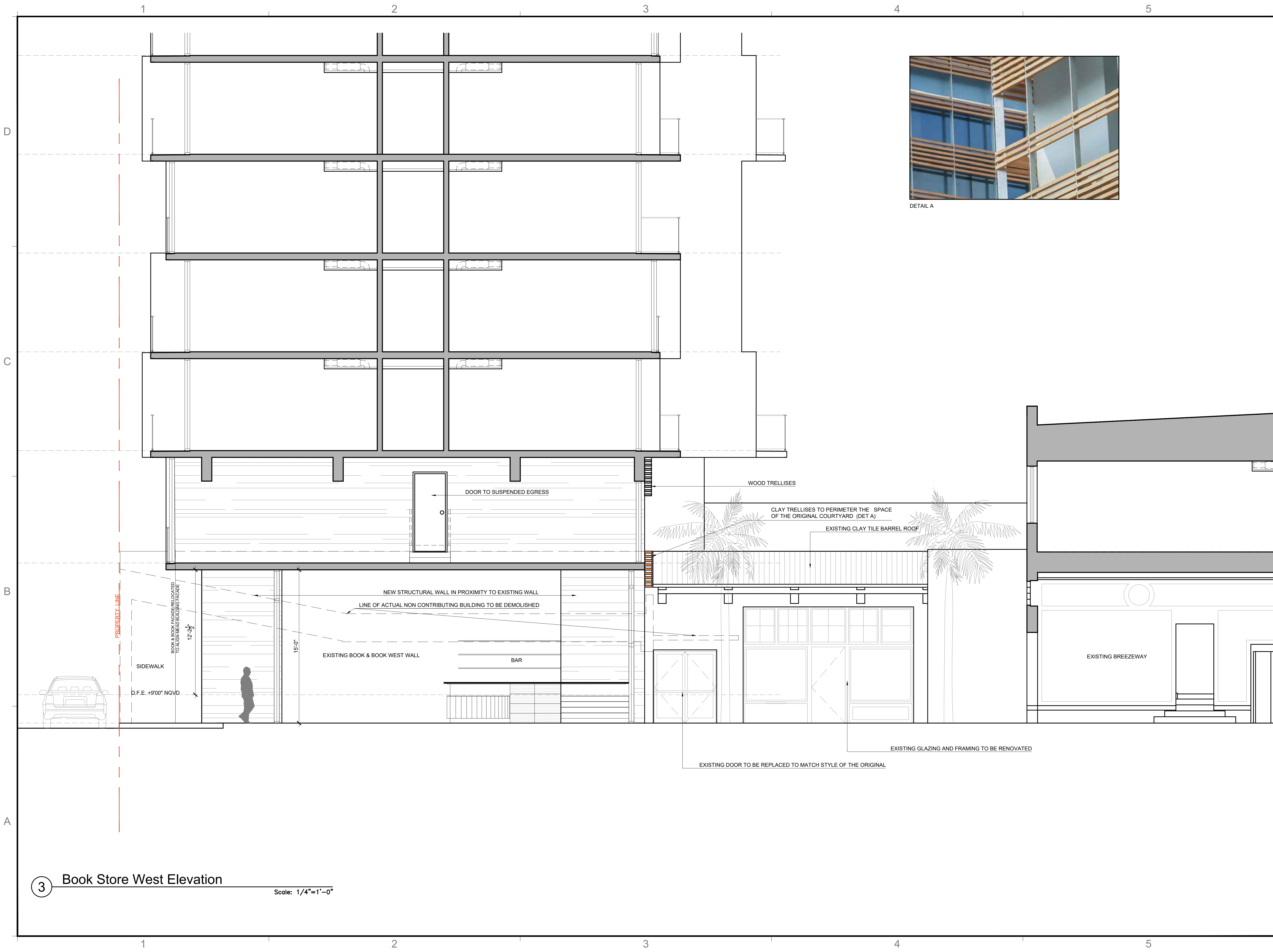
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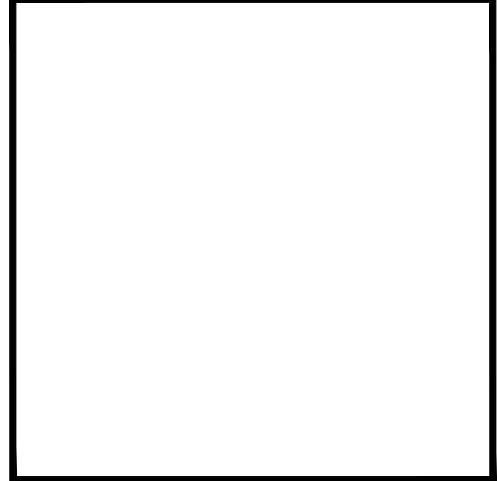
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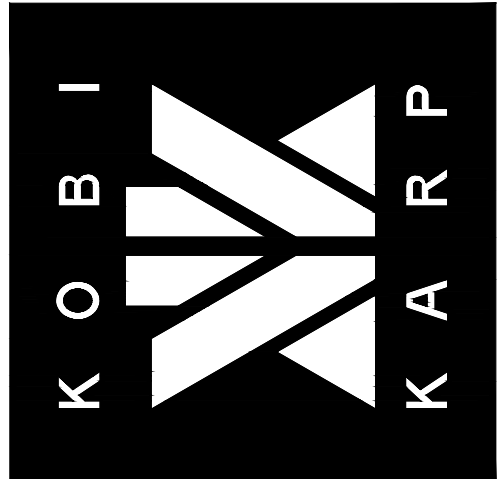
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The Sterling Building – 927 Lincoln Road

HOTEL OPERATIONS PLAN

A. Number of Employees per Shift

AM Shift - Total of 16 associates

1 General Manager

8 housekeepers

1 houseman

1-2 laundry attendants for offsite transfer

2 front desk associates

1 engineer

PM Shift - Total of 4 Associates

1 General Manager

1 houseman/Laundry

2 front desk associate

Overnight Shift - Total of 3 Associates

1 houseman/security

1 front desk associate

1 night audit/front desk support

B. Employee Parking Plan / Transportation Demand Management (TDM) Plan

1. The owner shall offer a program to hotel employees to either obtain monthly passes from Miami-Dade Transit to allow employees to travel to and from the property without the need for automobiles, or provide an option for monthly City of Miami Beach parking garage passes (at each employee's option).

2. The owner shall provide transit information to its guests and employees, including route schedules and maps.
3. The owner shall provide a carpool incentive program for employees.
4. The owner shall appoint one employee of the hotel to serve as the Transportation Demand Management (TDM) Program Administrator, whose duties will include encouraging and facilitating employees' use of mass transit or bicycles for travel to work.
5. The plans shall include six foot hallways and elevators that can accommodate bicycles.
6. There are 11 bicycle docks along Jefferson Avenue on the east side of the Property, and 3 bicycle docks on the SE corner of the Property. Additionally, there are 16 bike share docks at the east side of Jefferson Avenue, north of Lincoln Lane North.
7. Guest shall be encouraged to use ride sharing transportation modes such as Uber or Lyft. As such, the hotel shall provide guests with an Uber Discount Code to encourage and facilitate the use of these services for first time uses.
8. Guests shall be provided with promo codes for Citi Bike. Citi Bike currently has two (2) stations in close proximity to the property. We will work with Citi Bike to create a future station at our block.

C. Parking Plan

1. Valet parking will be offered for all hotel guests at the porte-cochere along Lincoln Lane North for drop-off and pick-up.
2. The porte-cochere provides space for 3 vehicles – 2 for valet and 1 for ride share drop-off and pick-up.
3. Self-parking is available for retail patrons in the Lincoln Parking Garage located just north of the site, as well as several other garages and public parking lots around Lincoln Road.

D. Pool Deck / Bar / Restaurant

1. Food and drink shall be served throughout the day.

2. Alcohol shall be served at all hours when pool is open.
3. The pool deck bar will be open to hotel guests and their invitees.
4. The pool will be open from 7:00 am to 10:00 pm.
5. The property will include one full service restaurant.
6. There is no proposed entertainment at the restaurant.
7. Outdoor speakers will be used in the rooftop pool area, but will be limited to ambient background music.
8. The restaurants will be open to the general public, not only guests of the hotel.
9. The Applicant has not determined the branding of the restaurants, as it still in the preliminary stages, so there is no sample menu available.

E. Laundry

1. No laundry will be done on site. Laundry will be outsourced to an off-site vendor.

F. Delivery Schedule

All deliveries shall occur through the designated off-street delivery area or the nearby commercial loading zone. Additionally, trash pickup will also occur internally within the property, as noted on the plans.

<u>Type of Delivery</u>	<u>Day of Week</u>	<u>Time of Day</u>
Laundry	7 days per week	6:30 am to 9:00 am
Waste/Trash pickup	7 days per week	Morning
Beverage	1 day per week	7:00am to 9:00 am
Food Products	3 days per week	7:00 am to 9:00 am

G. Security Plan

1. Cameras will be provided throughout the hotel in order to assist with security.
2. Hotel staff or security personnel will be available at all times 24/7 to provide security and address guest concerns.
3. During high occupancy of the hotel, additional security may be provided.

The Sterling Building - 927 Lincoln Road

RETAIL OPERATIONS PLAN

A. Number of Employees per Shift

Day Shift - Estimated Total of 40 employees

Evening Shift - Total of 55 Employees

B. Employee Parking Plan

1. Employees will be encouraged to use bike transportation. There are 11 bicycle docks along Jefferson Avenue on the east side of the Property, and 3 bicycle docks on the SE corner of the Property. Additionally, there are 16 bike share docks at the east side of Jefferson Avenue, north of Lincoln Lane North.
2. Employees shall be encouraged to use ride sharing transportation modes such as Uber or Lyft.
3. Guests shall be provided with promo codes for Citi Bike. Citi Bike currently has two (2) stations in close proximity to the property. We will work with Citi Bike to create a future station at our block.
4. Employees that use cars will be able to park at the Lincoln Parking Garage located just north of the site, as well as several other garages and public parking lots around Lincoln Road.

C. Parking Plan

1. Self-parking is available for retail patrons in the Lincoln Parking Garage located just north of the site, as well as several other garages and public parking lots around Lincoln Road.

D. Delivery and Trash Pick-up Schedule

All deliveries shall occur through the designated off-street delivery area or the nearby commercial loading zone. Additionally, trash pickup will also occur internally within the property, as noted on the plans.

<u>Type of Delivery</u>	<u>Day of Week</u>	<u>Time of Day</u>
Retail Products	Varies per tenant	varies per tenant
Waste/Trash pickup	7 days per week	Morning
Beverage	1 day per week	7:00am to 9:00 am
Food Products	3 days per week	7:00 am to 9:00 am



E. Security Plan

1. Cameras will be provided throughout the property in order to assist with security.
2. In conjunction with the hotel on the site, hotel staff or security personnel will be available at all times 24/7 to provide security and address guest concerns.
3. During high occupancy of the hotel, additional security may be provided for the property.



MEMORANDUM

To: Firat Akcay, City of Miami Beach

From: Adrian K. Dabkowski, P.E., PTOE
Alex Iliev, E.I.  

Cc: Josiel Ferrer, P.E., City of Miami Beach

Date: August 15, 2019

**Subject: 927 Lincoln Road/The Sterling Building
Maneuverability Analysis**

Kimley-Horn and Associates, Inc. has prepared a maneuverability analysis for the 927 Lincoln Road redevelopment. The areas included in the analysis include the valet drop-off/pick-up area and loading areas. The analysis was performed using Transoft Solutions Inc.'s *AutoTurn 10* software which applies vehicle turning templates consistent with American Association of State Highway and Transportation Officials' (AASHTO), *A Policy on Geometric Design of Highways and Streets*, 7th Edition. The analysis was prepared using passenger car (P) design vehicle for the valet drop-off/pick-up areas. Delivery vans comparable to P design vehicles will be used for deliveries and loading activities in the loading bays. The following summarizes the results of this analysis.

Valet

Access to the valet drop-off/pick-up will be provided via Lincoln Lane North along the north side of the property. A P design vehicle will be able to maneuver into the porte-cochere area allowing space for up to three (3) vehicles of stacking and by-pass the porte-cochere as Lincoln Lane North is 17-feet wide, refer to Attachment A.

Loading Area Access

Delivery vans, comparable to P vehicles, will be used for loading activities at the site and will be able to maneuver through Lincoln Lane North into the loading areas, refer to Attachment A.

Conclusion

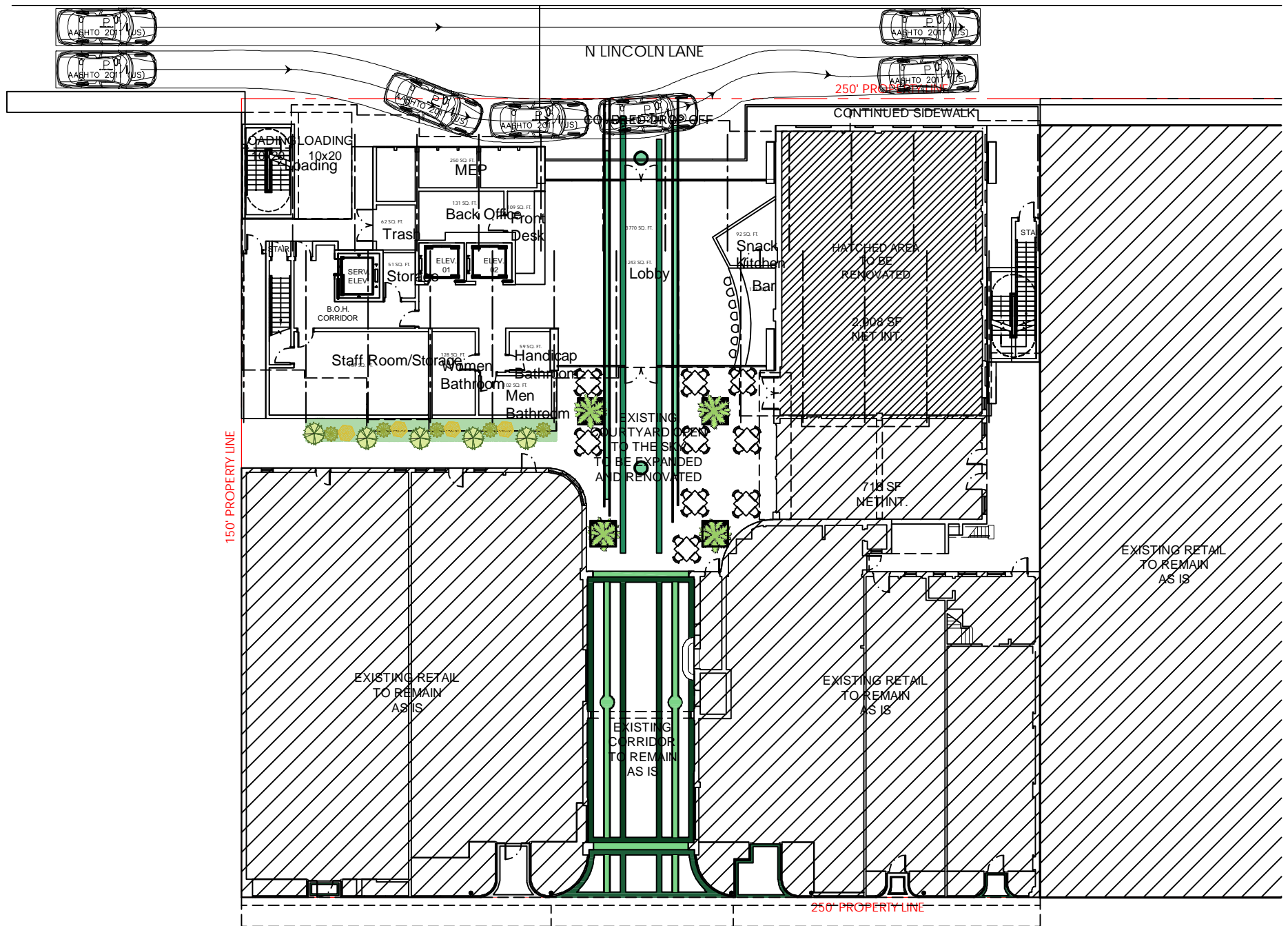
In conclusion, passenger vehicles and delivery van traffic will be able to ingress, egress, and travel through the site's porte-cochere area without any conflicts.

K:\FTL_TPTO\143115000-927 Lincoln Rd\Correspondence\927 Lincoln Road Maneuverability Analysis.docx

Attachment A

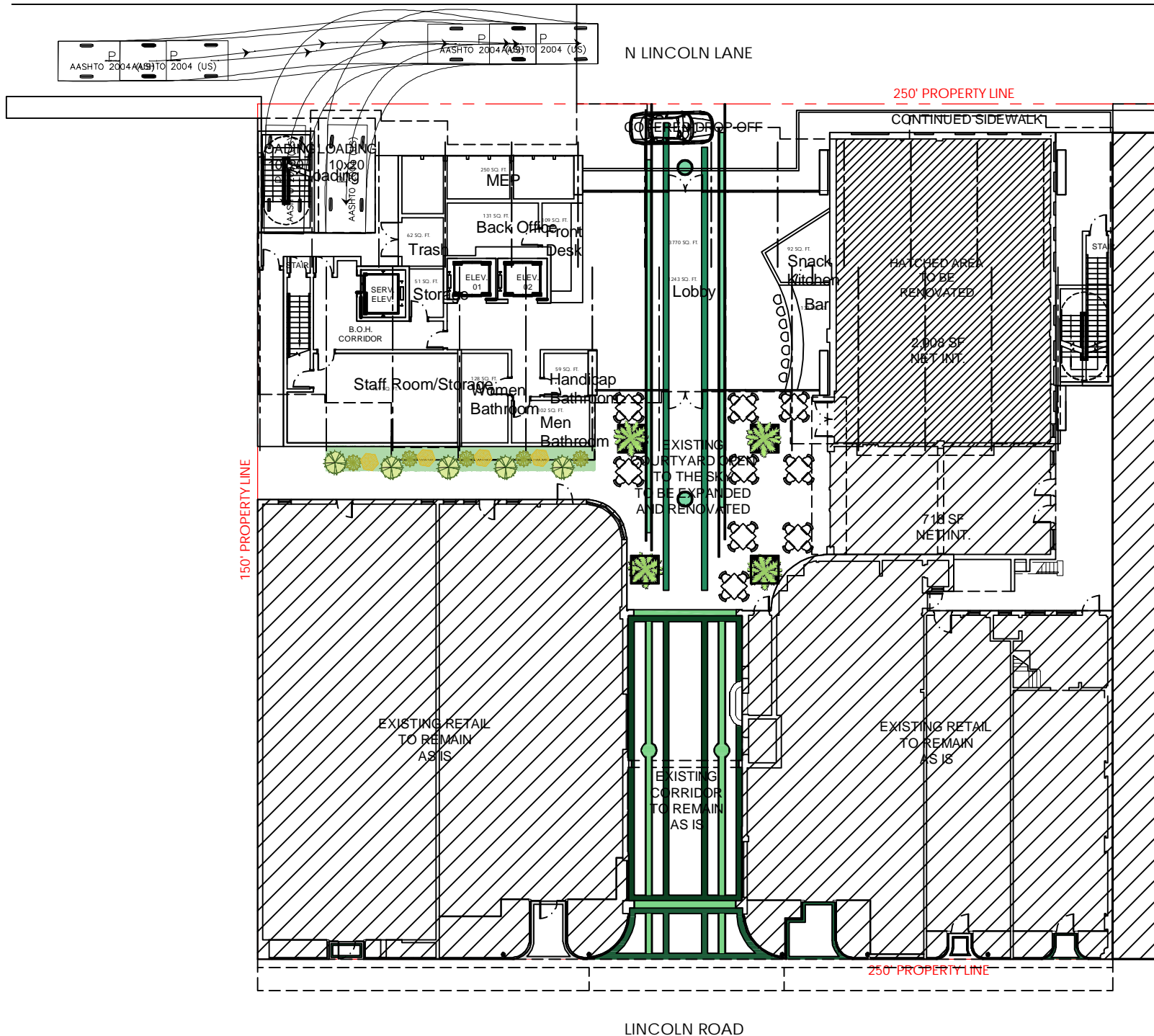
Maneuverability Plots

Valet



LINCOLN ROAD

Loading





August 15, 2019

Firat Akcay
City of Miami Beach
Transportation Department
1688 Meridian Avenue, Suite 801
Miami Beach, Florida 33139

**Re: 927 Lincoln Road/The Sterling Building Redevelopment
Traffic Assessment
Miami Beach, Florida**

Dear Mr. Akcay:

Kimley-Horn and Associates, Inc. has performed a traffic assessment for the proposed 927 Lincoln Road redevelopment located on the south side of Lincoln Lane North between Michigan Avenue and Jefferson Avenue in Miami Beach, Florida. The parcels proposed for redevelopment currently consist of 32,378 square feet of retail space and 11,162 square feet of office space. The proposed redevelopment consists of 27,736 square feet of retail space and a 145-room hotel. A project location map and conceptual site plan are provided in Attachment A-1. The traffic assessment's methodology is consistent with the requirements outlined by the City of Miami Beach. Methodology correspondence details and assessment requirements are included in Attachment B-1. The following sections summarize the completed analysis.

TRIP GENERATION

Trip generation calculations for the proposed project were performed using the Institute of Transportation Engineers' (ITE) *Trip Generation Manual*, 10th Edition. Trip generation for the existing land uses was based on ITE Land Use Codes (LUC) 820 (Shopping Center) and LUC 710 (General Office Building). Trip generation for the proposed land uses was based on LUC 820 (Shopping Center) and LUC 310 (Hotel).

A multimodal (public transit, bicycle, and pedestrian) factor based on US Census *Means of Transportation to Work* data was reviewed for the census tracts in the vicinity of the redevelopment. A multimodal factor of 51.3 percent (51.3%) was found within the vicinity of the redevelopment. However, based on the input from the City of Miami Beach and to provide a conservative analysis, a multimodal factor of 20.0 percent (20.0%) was applied to the trip generation calculations to account for the urban environment in which the project site is located. It is expected that employees, guests, and patrons will choose to walk, bike, or use public transit to and from the proposed redevelopment.

Internal capture is expected between complementary land uses within the project. Internal capture trips for the project were determined based upon methodology contained in the ITE's *Trip Generation Handbook*, 3rd Edition. An internal capture rate of 7.4 percent (7.4%) was calculated for the existing development during the A.M. peak hour and 3.0 percent (3.0%) for the P.M. peak hour. An internal capture rate of 2.7 percent (2.7%) is expected for the proposed redevelopment during the A.M. peak hour and 5.1 percent (5.1%) during the P.M. peak hour.

Lincoln Road districtwide internal capture/captive market trip rates were determined based on average pass-by capture rates provided in the ITE's *Trip Generation Handbook*, 3rd Edition. Lincoln Road is a destination where patrons visit multiple sites. Therefore, a pass-by rate of 34.0 percent (34.0%) was utilized for the retail during the P.M. peak hour. Note that retail trips are expected to self-park in one (1) of the areawide parking garages, arrive by rideshare, and walk or bicycle to the site and Lincoln Road

The redevelopment is expected to generate 23 weekday net new A.M. peak hour trips and 36 weekday net new P.M. peak hour trips. Detailed trip generation calculations and US Census *Means of Transportation to Work* data are included in Attachment C-1.

Based on data collected from the Cadillac Hotel, it was assumed that 42.6 percent (42.6%) of net new hotel trips will be taxi/rideshare and the remaining hotel trips will be valet. Detailed rideshare and valet trip data are included in Attachment C-1.

HOTEL VALET SERVICE AND OPERATIONS ANALYSIS

The hotel patrons of the redevelopment will be served by one (1) porte-cochere along Lincoln Lane North providing valet drop-off and pick-up operations. The porte-cochere provides storage for approximately three (3) vehicles. It is expected that two (2) spaces will be used for valet operations and one (1) space will be used for taxi/rideshare. The drop-off/pick-up spaces are flexible in order to meet actual demand. Note that Lincoln Lane North is 17-foot wide and can accommodate two (2) vehicles side-by-side.

Self-parking for retail patrons is available in the Lincoln Parking Garage located north of the site. All other guests and patrons visiting the hotel not utilizing taxi/rideshare will have their vehicles valeted on-site.

Vehicles dropped-off in the valet will be driven by the valet attendant eastbound on Lincoln Lane North, northbound on Jefferson Avenue, and westbound to the Lincoln Parking Garage located north of the site. To provide a conservative analysis it is assumed that valet vehicles will be parked on the 6th floor of the garage. Valet pick-up vehicles will exit on the east side of the Lincoln Parking Garage, travel northbound on Jefferson Avenue, travel westbound on 17th Street, travel southbound on Michigan Avenue, and travel eastbound back on Lincoln Lane North to access the on-site porte-cochere. Figure 2 contained in Attachment D-1 provides a graphic illustration of the proposed valet routes to and from the parking garage.

The valet queuing operations analysis was performed based on the methodology outlined in ITE's *Transportation and Land Development*, 1988. The analysis was performed to determine if valet operations could accommodate vehicular queues without blocking travel lanes on Lincoln Lane North. Valet operations were analyzed for the number of valet attendants and required vehicle stacking. The valet analysis was prepared for the hotel porte-cochere.

Valet Assumptions

The queuing analysis used the multiple-channel waiting line model with Poisson arrivals and exponential service times. The queuing analysis is based on the coefficient of utilization, ρ , which is the ratio of the average vehicle arrival rate over the average service rate multiplied by the number of channels.

Valet attendants will be stationed at the on-site porte-cochere. Valet drop-off trip service time was calculated based on the time it would take a valet parking attendant to obtain and park a drop-off vehicle in the Lincoln Parking Garage and return to the valet station. Valet pick-up trip service time was calculated based on the time it would take a valet parking attendant to bring a parked vehicle back to a patron at the on-site porte-cochere for pick-up. The following summarizes the total valet drop-off and pick-up service times.

The service time for valet drop-off operation corresponds to the following:

- Exchange between valet attendant and driver including unloading luggage (1 minute)
- Valet attendant drives vehicle from porte-cochere to parking garage (3.3 minutes)
- Valet attendant returns to valet station (1.3 minutes)
- Total service rate: 5.6 minutes

The service time for valet pick-off operation corresponds to the following:

- Valet attendant proceeds to the garage to retrieve the vehicle (1.3 minutes)
- Valet attendant drives vehicle from parking garage to the porte-cochere (5.9 minutes)
- Exchange between valet attendant and driver and loading baggage (1.0 minutes)
- Total service rate: 8.2 minutes

The calculated average service time for vehicles valeted from the on-site porte-cochere is 5.6 minutes for valet drop-off and 8.2 minutes for valet pick-up. Processing times include the time for the exchange between the driver and valet attendants and time to unload and load baggage. Detailed travel time calculations are included in Attachment D-1.

If the coefficient of utilization (average service rate/valet attendant service capacity) is greater than one (>1), the calculation methodology does not yield a finite queue length. This result indicates overcapacity conditions for the valet area. The valet attendant service capacity is the number of total trips a valet attendant can make in a one-hour period multiplied by the number of valet attendants.

The analysis determined the required queue storage, M , which is exceeded P percent of the time. This analysis seeks to ensure that the queue length does not exceed the storage provided at a level of confidence of 95 percent (95%). Three (3) vehicle drop-off/pick-up spaces are provided for valet operations/rideshare. Note that the valet analysis assumes two (2) spaces will be used for valet and one (1) space will be used for taxi/rideshare. The drop-off/pick-up spaces are flexible in order to meet actual demand.

An iterative approach was used to determine the number of valet attendants required to accommodate the proposed redevelopment demand during the analysis hour and ensure that the 95th percentile valet queue does not extend beyond the designated valet service area. Detailed valet analysis calculation worksheets are provided in Attachment D-1.

Results of the highest demand condition valet operations analysis demonstrate that a maximum of seven (7) valet attendants would be required so that the vehicle drop-off/pick-up storage would not be exceeded. It should be noted that projected vehicular volumes and estimated valet processing times

were conservatively assumed in the analysis. If it is determined that valet processing times can be performed more efficiently and/or actual traffic volumes are lower than projected, a reduced number of valet attendants may be adequate to serve the site.

DELIVERIES

Parking on site for delivery vehicles will be provided by two (2) 10 feet by 20 feet loading bays located on the northwest corner of the redevelopment on Lincoln Lane North. Additionally, the Jefferson Avenue on-street loading zone located east of the site will be used for larger delivery vehicles that cannot access Lincoln Lane North. Detailed loading zone locations are shown in Attachment E-1.

BICYCLE PARKING

Currently, 11 bicycle docks are provided along Jefferson Avenue on the east side of the project site and three (3) bicycle docks are provided on the southeast corner of the project site at the intersection of Jefferson Avenue and Lincoln Road. Additional bicycle parking is not proposed in the vicinity of the project site.

A 16 dock Citibike station is located on the east side of Jefferson Avenue north of Lincoln Lane North. A 16 dock Citibike station is also located on the west side of Michigan Avenue north of Lincoln Road.

MID-BLOCK CROSSWALK WARRANT ANALYSIS

A mid-block crosswalk warrant analysis was conducted for a 200-foot segment on Jefferson Avenue, 100 feet north of Lincoln Lane North and 100 feet south of Lincoln Lane North. Traffic data was collected during a 12-hour period from 10:00 A.M. to 10:00 P.M. for three (3) days, August 1st, 2019 (Thursday) to August 3rd, 2019 (Saturday). Traffic data is provided in Attachment F-1.

A mid-block crosswalk warrant analysis was conducted based upon the guidelines contained in the Florida Department of Transportation's (FDOT), *Traffic Engineering Manual* (TEM), 2019. The TEM was used to evaluate the need for a mid-block crosswalk and the appropriate treatment for the crosswalk.

The results from the TEM's mid-block crosswalk analysis are summarized in Table 1. As shown, Lincoln Lane North between Lincoln Road (south) and 17th Street (north) satisfies all applicable criteria under Section 3.8.5(3) and Section 3.8.5(4) in the TEM with the exception of Criterion 4(b) on August 2nd, 2019 (Friday).

Table 1: TEM Mid-Block Crosswalk Analysis	
TEM Mid-Block Crosswalk Warrant Section 3.8.5	Analysis Results
3(b)-1: Minimum of 20 pedestrians in one hour	Satisfied
3(b)-2: Minimum of 18 pedestrians during each of any two hours of an average day	Satisfied
3(b)-3: Minimum of 15 pedestrians during each of any three hours of an average day	Satisfied
4(a): Minimum roadway volume >2,000 ADT	Satisfied
4(b): Minimum distance to alternative crossing 300 feet	Not Satisfied
4(c): Minimum block length/intersection spacing 660 feet	Not Applicable
4(d): Located outside of intersection influence	Satisfied

TRANSPORTATION DEMAND MANAGEMENT STRATEGIES

The applicant has committed to providing the following TDM strategies to encourage people to use public transportation, use bicycles and walk, use car/vanpools, and find alternatives to the typical workday hours to reduce the impacts of the project traffic on the surrounding roadway network:

- Providing 20 subsidized transit passes for employees
- Provide transit information including route schedules and maps at the hotel
- Carpool incentive program for employees
- Six-foot wide hallways
- Elevators that can accommodate bicycles
- Improved sidewalks around the site by providing a 5-foot wide sidewalk on Lincoln Lane North

CONCLUSION

The redevelopment is expected to generate 23 weekday net new A.M. peak hour trips and 36 net new P.M. peak hour trips.

A valet operations analysis was conducted to determine the that the 95th percentile valet queue would not extend beyond the valet service area onto Lincoln Lane North. Based upon the conservative assumptions applied to the highest traffic demand condition, it was estimated that a maximum of seven (7) valet attendants may be required during peak periods. It should be noted that projected vehicular volumes and estimated valet processing times were conservatively assumed in the analysis. If it is determined that valet processing times can be performed more efficiently and/or actual traffic volumes are lower than projected, a reduced number of valet attendants may be adequate to serve the site.

Additionally, a mid-block crosswalk warrant analysis was conducted based upon the guidelines contained in the Florida Department of Transportation's (FDOT), *Traffic Engineering Manual* (TEM). The results of the TEM warrant analysis indicate that all criteria under Section 3.8.5(3) and Section 3.8.5(4) in the TEM are warranted with the exception of Criterion 4(b).

TDM strategies are also proposed as part of the redevelopment to relieve the impacts of project traffic on the surrounding roadway network. The applicant will be providing subsidized transit passes for employees, provide travel information at the hotel, car pool incentives for employees, wide hallways and elevators to accommodate bicycles, and improve the sidewalk on Lincoln Lane North.

If you have any questions regarding this analysis, please feel free to contact me.

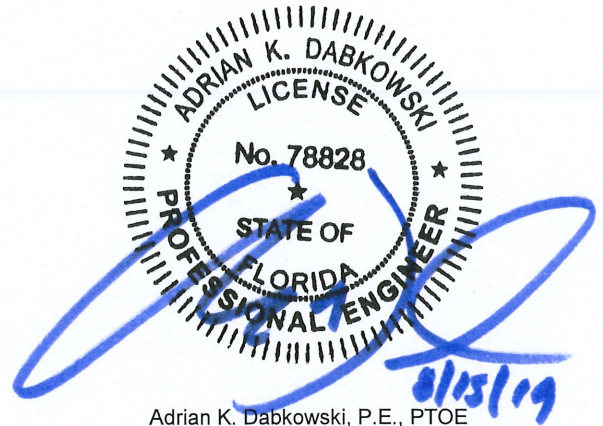
Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.



Adrian K. Dabkowski, P.E., PTOE
Associate

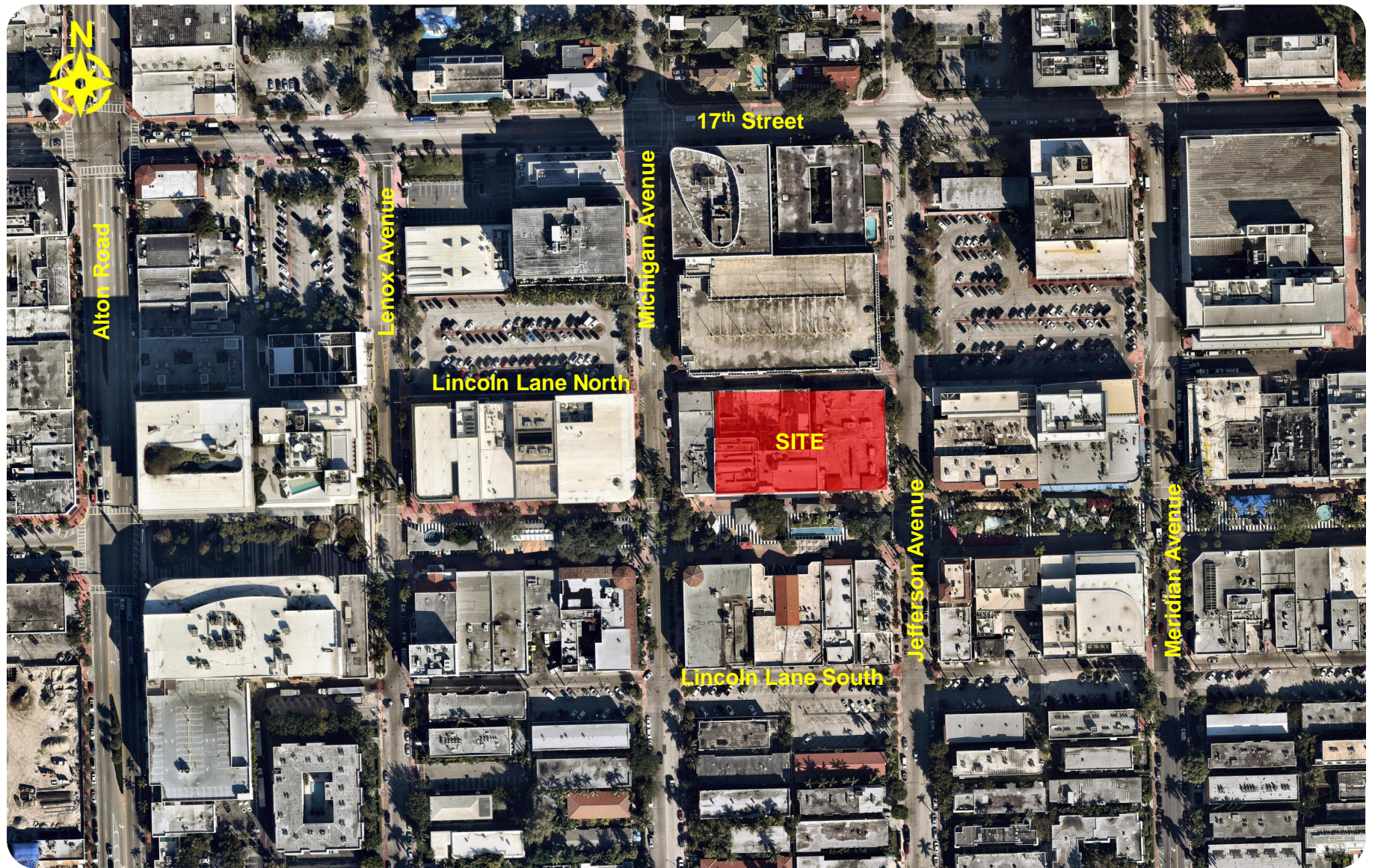
Copy To: Josiel Ferrer, P.E., City of Miami Beach

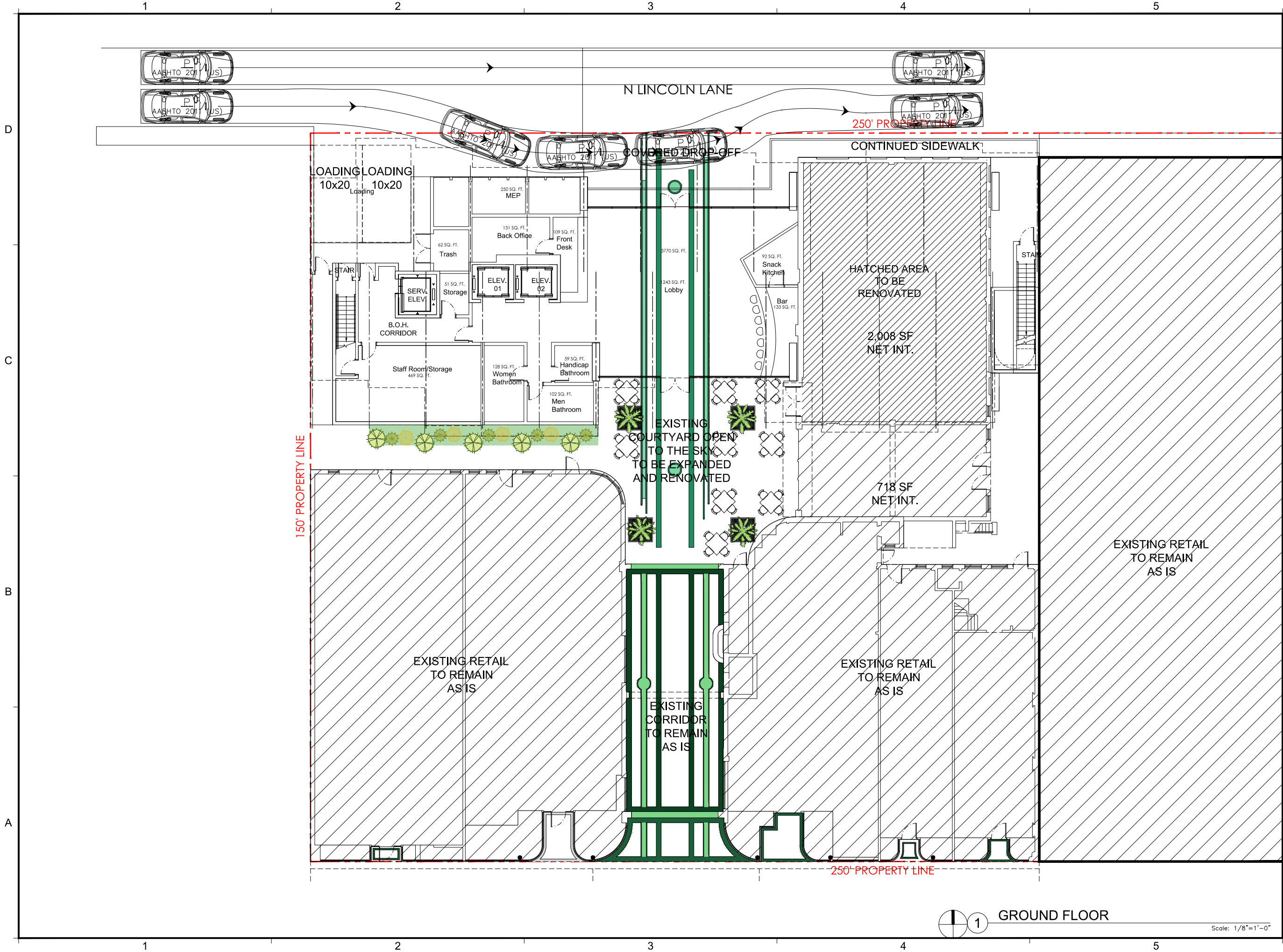


Adrian K. Dabkowski, P.E., PTOE
Florida Registration Number 78828
Kimley-Horn and Associates, Inc.
600 North Pine Island Road, Suite 450
Plantation, Florida 33324
CA # 00000696

Attachment A-1

Location Map and Site Plan





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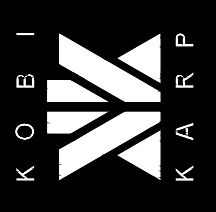
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DRAWN BY:
CHECKED BY: KK, MP
DATE: 07/08/2019

A3.01

1 GROUND FLOOR

Scale: 1/8"=1'-0"

Attachment B-1

Methodology Correspondence

Iliev, Alex

From: Akcay, Firat <FiratAkcay@miamibeachfl.gov>
Sent: Wednesday, August 14, 2019 4:00 PM
To: Dabkowski, Adrian
Cc: Ferrer, Josiel; Mickey Marrero; Iliev, Alex
Subject: RE: 927 Lincoln Road Redevelopment | Traffic Assessment Methodology

Categories: External

Adrian, the methodology is ok to proceed.

Mickey, we understand fully that this hotel being located on Lincoln Road will have minor impact to traffic. However, the loading operations from Lincoln Lane North is still a concern. If there is a way to modify the loading zone to be tandem totaling 40' in length rather than side to side this would be preferable and would eliminate blocking of traffic when loading and unloading. The concern is that alley's are used as commercial loading zones that do not require a permit and deliveries can and will take place here. The vehicular traffic on Lincoln Lane North will suffer from the commercial loading use of the alley which will negatively impact the hotel patrons.

Thank you



*Firat Akcay, M.S.C.E. MBA
Transportation Analyst
Transportation Department
1688 Meridian Avenue, Suite 801, Miami Beach, FL 33139
Tel: 305-673-7000, ext 6839*

We are committed to providing excellent public service and safety to all who live, work and play in our vibrant, tropical, historic community.



Please do not print this e-mail unless necessary.

From: Dabkowski, Adrian <Adrian.Dabkowski@Kimley-horn.com>
Sent: Wednesday, July 31, 2019 6:10 PM
To: Akcay, Firat <FiratAkcay@miamibeachfl.gov>
Cc: Ferrer, Josiel <JOSIELFERRER@miamibeachfl.gov>; Mickey Marrero <mmarrero@brzoninglaw.com>; Iliev, Alex <Alex.Iliev@kimley-horn.com>
Subject: 927 Lincoln Road Redevelopment | Traffic Assessment Methodology

[THIS MESSAGE COMES FROM AN EXTERNAL EMAIL - USE CAUTION WHEN REPLYING AND OPENING LINKS OR ATTACHMENTS]

Good afternoon Firat:



Thank you for taking the time to meet with us on Monday to discuss the 927 Lincoln Road Redevelopment project. Our proposed traffic assessment methodology is attached. Let us know if the City has any comments.



MEMORANDUM

To: Firat Akcay
City of Miami Beach

Cc: Josiel Ferrer-Diaz, P.E., City of Miami Beach

From: Adrian K. Dabkowski, P.E., PTOE 
Alex Iliev, E.I. 

Date: July 31, 2019

Subject: 927 Lincoln Road
Traffic Assessment Methodology

The purpose of this memorandum is to summarize the traffic assessment methodology for the 927 Lincoln Road redevelopment located at 927-929 Lincoln Road in Miami Beach, Florida. On-site parking will not be provided. Hotel patrons will be able to valet or self-park. Additionally, a portion of patrons are expected to utilize rideshare. The parcels proposed for redevelopment contain 32,378 square feet of retail space and 11,162 square feet of office space. The proposed redevelopment consists of 27,736 square feet of retail space and a 145-room hotel. A location map and conceptual site plan for the proposed redevelopment are included in Attachment A. The following sections summarize our proposed methodology.

TRIP GENERATION

Trip generation calculations for the proposed project were performed using the Institute of Transportation Engineers' (ITE) *Trip Generation Manual*, 10th Edition. Trip generation for the existing land uses was based on ITE Land Use Codes (LUC) 820 (Shopping Center) and 710 (General Office Building). Trip generation for the proposed land use was based on 820 (Shopping Center) and LUC 710 (Hotel).

A multimodal (public transit, bicycle, and pedestrian) factor based on US Census *Means of Transportation to Work* data was reviewed for the census tracts in the vicinity of the development. The US Census data indicated that there is a 51.3 percent (51.3%) multimodal factor within the vicinity of the redevelopment. However, to provide a conservative analysis, a multimodal factor of 20.0 percent (20.0%) was applied to the trip generation calculations to account for the urban environment in which the project site is located. It is expected that guests and patrons will choose to walk, bike, or use public transit to and from the proposed redevelopment as no on-site parking is provided.

Internal capture is expected between complementary land uses within the project. Internal capture trips for the project were determined based upon methodology contained in the ITE's *Trip Generation Handbook*, 3rd Edition. An internal capture rate of 7.4 percent (7.4%) was calculated for the existing development during the A.M. peak hour and 2.0 percent (2.0%) for the P.M. peak hour. An internal capture rate of 2.7 percent (2.7%) is expected for the proposed redevelopment during the A.M. peak hour and 5.1 percent (5.1%) during the P.M. peak hour.

Lincoln Road districtwide internal capture/captive market trip rates were determined based on average pass-by capture rates provided in the ITE's *Trip Generation Handbook*, 3rd Edition. Lincoln Road is a destination where patrons visit multiple sites. Therefore, a pass-by rate of 34.0 percent (34.0%) was utilized for the retail during the P.M. peak hour.

The redevelopment is expected to generate 23 weekday net new A.M. peak hour trips and 35 weekday net new P.M. peak hour trips. Detailed trip generation calculations and US Census *Means of Transportation to Work* data are included in Attachment B.

It was assumed 42.6 percent (42.6%) of net new trips will be taxi/rideshare and the remaining will be valet based on data collected from the Cadillac Hotel. Detailed rideshare and valet trip data are included in Attachment C.

VALET ANALYSIS

A valet operations queuing analysis will be prepared for the vehicle drop-off/pick-up area to determine if queues spill back into public right-of-way.

Trip generation estimates will be utilized to provide for the highest demand (weekday P.M. peak hour) scenario. The valet operations queuing analysis will be conducted consistent with procedures described in ITE's *Transportation and Land Development*, 1988. A traffic circulation figure will be prepared to illustrate the valet routes to and from the vehicle drop-off/pick-up area.

MID-BLOCK CROSSWALK ASSESSMENT

Pedestrian features around the site will be evaluated including a mid-block crossing at the intersection of Jefferson Avenue and Lincoln Lane North.

Pedestrian count data will be collected and analyzed for a 12-hour period at the intersection of Jefferson Avenue and Lincoln Lane North on a Thursday, Friday and Saturday between 10:00 A.M. and 10:00 P.M. for pedestrians crossing Jefferson Avenue within 100 feet of Lincoln Lane North.

A mid-block crosswalk warrant analysis will be conducted based upon the guidelines contained the Florida Department of Transportation's (FDOT) *Traffic Engineering Manual* (TEM) and the Federal Highway Administration's (FHWA), *Manual on Uniform Traffic Control Devices* (MUTCD). The TEM will be used to evaluate the need for a mid-block crosswalk and the appropriate treatment for the crosswalk, if warranted.

ON-SITE BICYCLE PARKING

The existing and proposed parking for bicycles (short-term, long-term, and Citibike locations) will be documented. The site plan will denote bicycle parking that can be accommodated on-site.

DELIVERIES

The proposed delivery circulation and loading areas will be documented as part of the assessment.

TRANSPORTATION DEMAND MANAGEMENT STRATEGIES

Transportation Demand Management (TDM) strategies will be developed to reduce the impact of project traffic on the surrounding roadway network and promote trip reduction. Typical measures promote bicycling and walking, encourage car/vanpooling and offer alternatives to the typical workday.

DOCUMENTATION OF FINDINGS

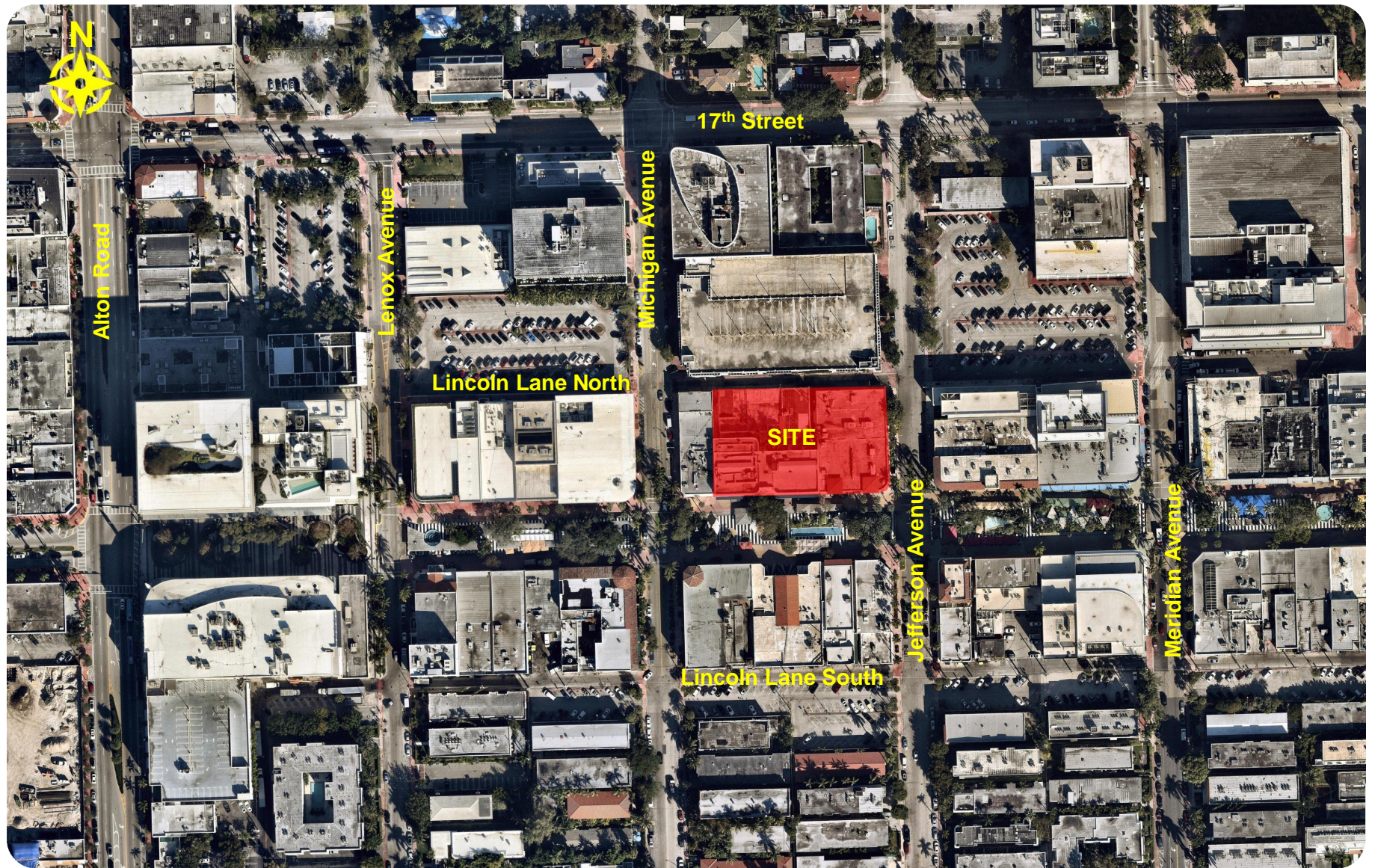
A technical letter documenting the trip generation, valet analysis, mid-block crosswalk assessment, on-site bicycle parking, deliveries, and TDM strategies will be provided. The letter will include supporting documents including data collection, calculations, and analysis findings. The letter will also include text and graphics necessary to summarize the assumptions and analysis.

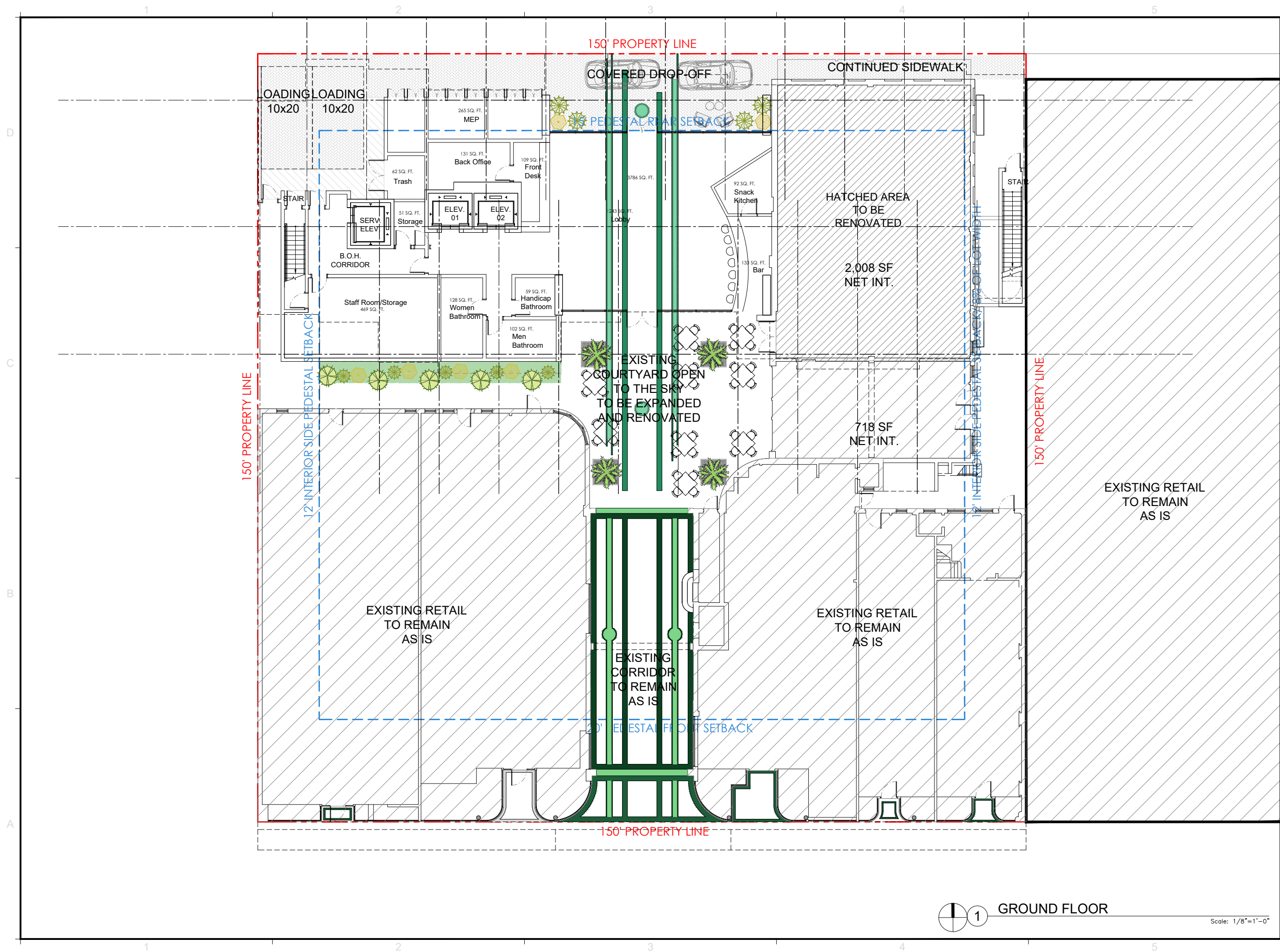
MANEUVERABILITY ANALYSIS

A maneuverability analysis for the porte-cochere areas and loading will be performed utilizing Transoft Solutions' *AutoTURN* software. Deficiencies related to maneuverability, traffic flow, and vehicular conflicts will be documented in a technical memorandum.

Attachment A

Location Map and Conceptual Site Plan





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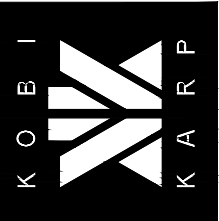
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CHECKED BY:	KK, MP
DATE:	07/08/2019

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Attachment B

Trip Generation Calculations and U.S. Census
Data

AM PEAK HOUR TRIP GENERATION COMPARISON

EXISTING WEEKDAY AM PEAK HOUR TRIP GENERATION

ITE TRIP GENERATION CHARACTERISTICS					DIRECTIONAL DISTRIBUTION		GROSS VOLUMES			MULTIMODAL REDUCTION		EXTERNAL TRIPS			INTERNAL CAPTURE		NET NEW EXTERNAL TRIPS			PASS-BY CAPTURE		NET NEW EXTERNAL TRIPS			
Land Use	ITE Edition	ITE Code	Scale	ITE Units	Percent		In	Out	Total	Percent	MR Trips	In	Out	Total	Percent	IC Trips	In	Out	Total	Percent	PB Trips	In	Out	Total	
					In	Out																			
GROUP 1	1 Shopping Center	10	820	32,378	ksf	62%	38%	19	11	30	20.0%	6	15	9	24	8.3%	2	14	8	22	0.0%	0	14	8	22
	2 General Office Building	10	710	11,162	ksf	86%	14%	32	5	37	20.0%	7	26	4	30	6.7%	2	25	3	28	0.0%	0	25	3	28
	3																								
	4																								
	5																								
	6																								
	7																								
	8																								
	9																								
	10																								
	11																								
	12																								
	13																								
	14																								
	15																								
ITE Land Use Code					Rate or Equation		Total:	51	16	67	20.0%	13	41	13	54	7.4%	4	39	11	50	0.0%	0	39	11	50
820					Y=0.94(X)																				
710					Y=0.94*(X)+26.49																				

PROPOSED WEEKDAY AM PEAK HOUR TRIP GENERATION

ITE TRIP GENERATION CHARACTERISTICS					DIRECTIONAL DISTRIBUTION		GROSS VOLUMES			MULTIMODAL REDUCTION		EXTERNAL TRIPS			INTERNAL CAPTURE		NET NEW EXTERNAL TRIPS			PASS-BY CAPTURE		NET NEW EXTERNAL TRIPS				
Land Use	ITE Edition	ITE Code	Scale	ITE Units	Percent		In	Out	Total	Percent	MR Trips	In	Out	Total	Percent	IC Trips	In	Out	Total	Percent	PB Trips	In	Out	Total		
					In	Out																				
1 Shopping Center	10	820	27.736	ksf	62%	38%	16	10	26	20.0%	5	13	8	21	4.8%	1	12	8	20	0.0%	0	12	8	20		
2 Hotel	10	310	145	room	59%	41%	40	27	67	20.0%	13	32	22	54	1.9%	1	32	21	53	0.0%	0	32	21	53		
3																										
4																										
5																										
6																										
7																										
8																										
9																										
10																										
11																										
12																										
13																										
14																										
15																										
ITE Land Use Code					Rate or Equation		Total:	56	37	93	20.0%	18	45	30	75	2.7%	2	44	29	73	0.0%	0	44	29	73	
820					Y=0.94(X)																					
310					Y=0.5*(X)+-5.34																					
																						NET NEW TRIPS		IN	OUT	TOTAL
																								5	18	23

NET NEW TRIPS	IN	OUT	TOTAL
	5	18	23

PM PEAK HOUR TRIP GENERATION COMPARISON

EXISTING WEEKDAY PM PEAK HOUR TRIP GENERATION

	ITE TRIP GENERATION CHARACTERISTICS					DIRECTIONAL DISTRIBUTION		GROSS VOLUMES			MULTIMODAL REDUCTION		EXTERNAL TRIPS			INTERNAL CAPTURE		NET NEW EXTERNAL TRIPS			PASS-BY CAPTURE		NET NEW EXTERNAL TRIPS		
	Land Use	ITE Edition	ITE Code	Scale	ITE Units	Percent		In	Out	Total	Percent	MR Trips	In	Out	Total	Percent	IC Trips	In	Out	Total	Percent	PB Trips	In	Out	Total
						In	Out																		
GROUP 1	1 Shopping Center	10	820	32,378	ksf	48%	52%	113	123	236	20.0%	47	90	99	189	1.1%	2	88	99	187	34.0%	64	58	65	123
	2 General Office Building	10	710	11,162	ksf	16%	84%	2	12	14	20.0%	3	1	10	11	18.2%	2	1	8	9	0.0%	0	1	8	9
	3																								
	4																								
	5																								
	6																								
	7																								
	8																								
	9																								
	10																								
	11																								
	12																								
	13																								
	14																								
	15																								
ITE Land Use Code		Rate or Equation				Total:		115	135	250	20.0%	50	91	109	200	2.0%	4	89	107	196	32.7%	64	59	73	132
820		LN(Y) = 0.74*LN(X)+2.89																							
710		LN(Y) = 0.95*LN(X)+0.36																							

PROPOSED WEEKDAY PM PEAK HOUR TRIP GENERATION

	ITE TRIP GENERATION CHARACTERISTICS					DIRECTIONAL DISTRIBUTION		GROSS VOLUMES			MULTIMODAL REDUCTION		EXTERNAL TRIPS			INTERNAL CAPTURE		NET NEW EXTERNAL TRIPS			PASS-BY CAPTURE		NET NEW EXTERNAL TRIPS		
	Land Use	ITE Edition	ITE Code	Scale	ITE Units	Percent		In	Out	Total	Percent	MR Trips	In	Out	Total	Percent	IC Trips	In	Out	Total	Percent	PB Trips	In	Out	Total
						In	Out																		
GROUP 2	1 Shopping Center	10	820	27,736	ksf	48%	52%	101	109	210	20.0%	42	81	87	168	3.6%	6	79	83	162	34.0%	55	52	55	107
	2 Hotel	10	310	145	room	51%	49%	42	41	83	20.0%	17	33	33	66	9.1%	6	29	31	60	0.0%	0	29	31	60
	3																								
	4																								
	5																								
	6																								
	7																								
	8																								
	9																								
	10																								
	11																								
	12																								
	13																								
	14																								
	15																								
ITE Land Use Code		Rate or Equation				Total:		143	150	293	20.0%	59	114	120	234	5.1%	12	108	114	222	24.8%	55	81	86	167
820		LN(Y) = 0.74*LN(X)+2.89																							
310		Y=0.75*(X)+-26.02																							

	IN	OUT	TOTAL
NET NEW TRIPS	22	13	35

Internal Capture Reduction Calculations

Methodology for A.M. Peak Hour and P.M. Peak Hour
based on the *Trip Generation Handbook*, 3rd Edition, published by the Institute of Transportation Engineers

Methodology for Daily
based on the average of the Unconstrained Rates for the A.M. Peak Hour and P.M. Peak Hour

SUMMARY (EXISTING)

GROSS TRIP GENERATION					
INPUT	Land Use	A.M. Peak Hour		P.M. Peak Hour	
		Enter	Exit	Enter	Exit
	Office	26	4	1	10
	Retail	15	9	90	99
	Restaurant	0	0	0	0
	Cinema/Entertainment	0	0	0	0
	Residential	0	0	0	0
	Hotel	0	0	0	0
		41	13	91	109
INTERNAL TRIPS					
OUTPUT	Land Use	A.M. Peak Hour		P.M. Peak Hour	
		Enter	Exit	Enter	Exit
	Office	1	1	0	2
	Retail	1	1	2	0
	Restaurant	0	0	0	0
	Cinema/Entertainment	0	0	0	0
	Residential	0	0	0	0
	Hotel	0	0	0	0
		2	2	2	2
OUTPUT	Total % Reduction	7.4%		2.0%	
	Office	6.7%		18.2%	
	Retail	8.3%		1.1%	
	Restaurant				
	Cinema/Entertainment				
	Residential				
	Hotel				
EXTERNAL TRIPS					
OUTPUT	Land Use	A.M. Peak Hour		P.M. Peak Hour	
		Enter	Exit	Enter	Exit
	Office	25	3	1	8
	Retail	14	8	88	99
	Restaurant	0	0	0	0
	Cinema/Entertainment	0	0	0	0
	Residential	0	0	0	0
	Hotel	0	0	0	0
		39	11	89	107

Internal Capture Reduction Calculations

Methodology for A.M. Peak Hour and P.M. Peak Hour
based on the *Trip Generation Handbook*, 3rd Edition, published by the Institute of Transportation Engineers

Methodology for Daily
based on the average of the Unconstrained Rates for the A.M. Peak Hour and P.M. Peak Hour

SUMMARY (PROPOSED)

GROSS TRIP GENERATION

INPUT	Land Use	A.M. Peak Hour		P.M. Peak Hour	
		Enter	Exit	Enter	Exit
	Office	0	0	0	0
	Retail	13	8	81	87
	Restaurant	0	0	0	0
	Cinema/Entertainment	0	0	0	0
	Residential	0	0	0	0
	Hotel	32	22	33	33
		45	30	114	120

INTERNAL TRIPS

OUTPUT	Land Use	A.M. Peak Hour		P.M. Peak Hour	
		Enter	Exit	Enter	Exit
	Office	0	0	0	0
	Retail	1	0	2	4
	Restaurant	0	0	0	0
	Cinema/Entertainment	0	0	0	0
	Residential	0	0	0	0
	Hotel	0	1	4	2
		1	1	6	6

OUTPUT	Total % Reduction	2.7%	5.1%
	Office		
	Retail	4.8%	3.6%
	Restaurant		
	Cinema/Entertainment		
	Residential		
	Hotel	1.9%	9.1%

EXTERNAL TRIPS

OUTPUT	Land Use	A.M. Peak Hour		P.M. Peak Hour	
		Enter	Exit	Enter	Exit
	Office	0	0	0	0
	Retail	12	8	79	83
	Restaurant	0	0	0	0
	Cinema/Entertainment	0	0	0	0
	Residential	0	0	0	0
	Hotel	32	21	29	31
		44	29	108	114

B08301

MEANS OF TRANSPORTATION TO WORK

Universe: Workers 16 years and over

2013-2017 American Community Survey 5-Year Estimates

Supporting documentation on code lists, subject definitions, data accuracy, and statistical testing can be found on the American Community Survey website in the Technical Documentation section.

Sample size and data quality measures (including coverage rates, allocation rates, and response rates) can be found on the American Community Survey website in the Methodology section.

Although the American Community Survey (ACS) produces population, demographic and housing unit estimates, it is the Census Bureau's Population Estimates Program that produces and disseminates the official estimates of the population for the nation, states, counties, cities, and towns and estimates of housing units for states and counties.

$$(71+271+335)/1,319=51.3\%$$

	Census Tract 42.04, Miami-Dade County, Florida	
	Estimate	Margin of Error
Total:	1,319	+/-253
Car, truck, or van:	447	+/-147
Drove alone	424	+/-142
Carpooled:	23	+/-27
In 2-person carpool	8	+/-12
In 3-person carpool	15	+/-25
In 4-person carpool	0	+/-13
In 5- or 6-person carpool	0	+/-13
In 7-or-more-person carpool	0	+/-13
Public transportation (excluding taxicab):	71	+/-62
Bus or trolley bus	71	+/-62
Streetcar or trolley car (carro publico in Puerto Rico)	0	+/-13
Subway or elevated	0	+/-13
Railroad	0	+/-13
Ferryboat	0	+/-13
Taxicab	49	+/-45
Motorcycle	10	+/-16
Bicycle	271	+/-159
Walked	335	+/-121
Other means	52	+/-48
Worked at home	84	+/-58

Data are based on a sample and are subject to sampling variability. The degree of uncertainty for an estimate arising from sampling variability is represented through the use of a margin of error. The value shown here is the 90 percent margin of error. The margin of error can be interpreted roughly as providing a 90 percent probability that the interval defined by the estimate minus the margin of error and the estimate plus the margin of error (the lower and upper confidence bounds) contains the true value. In addition to sampling variability, the ACS estimates are subject to nonsampling error (for a discussion of nonsampling variability, see Accuracy of the Data). The effect of nonsampling error is not represented in these tables.

Workers include members of the Armed Forces and civilians who were at work last week.

While the 2013-2017 American Community Survey (ACS) data generally reflect the February 2013 Office of Management and Budget (OMB) definitions of metropolitan and micropolitan statistical areas; in certain instances the names, codes, and boundaries of the principal cities shown in ACS tables may differ from the OMB definitions due to differences in the effective dates of the geographic

entities.

Estimates of urban and rural populations, housing units, and characteristics reflect boundaries of urban areas defined based on Census 2010 data. As a result, data for urban and rural areas from the ACS do not necessarily reflect the results of ongoing urbanization.

Source: U.S. Census Bureau, 2013-2017 American Community Survey 5-Year Estimates

Explanation of Symbols:

1. An '***' entry in the margin of error column indicates that either no sample observations or too few sample observations were available to compute a standard error and thus the margin of error. A statistical test is not appropriate.
2. An '-' entry in the estimate column indicates that either no sample observations or too few sample observations were available to compute an estimate, or a ratio of medians cannot be calculated because one or both of the median estimates falls in the lowest interval or upper interval of an open-ended distribution.
3. An '-' following a median estimate means the median falls in the lowest interval of an open-ended distribution.
4. An '+' following a median estimate means the median falls in the upper interval of an open-ended distribution.
5. An '****' entry in the margin of error column indicates that the median falls in the lowest interval or upper interval of an open-ended distribution. A statistical test is not appropriate.
6. An '*****' entry in the margin of error column indicates that the estimate is controlled. A statistical test for sampling variability is not appropriate.
7. An 'N' entry in the estimate and margin of error columns indicates that data for this geographic area cannot be displayed because the number of sample cases is too small.
8. An '(X)' means that the estimate is not applicable or not available.

Attachment C

Cadillac Hotel Rideshare and Valet Data

Hotel Valet Drop-off and Pick-up Traffic Data Summary
Friday October 22, 2010

Taxi vs Valet Trips								
Time	Total Site Pick-up Trips	Total Site Drop-off Trips	Taxi Trips	Taxi Pick-up Trips	Taxi Drop- off Trips	Taxi + Valet + Self Park	Valet Pick- up	Valet Drop- off
18:00	17	18	23	16	7	71	1	11
18:15	17	10	16	12	4	77	5	6
18:30	15	7	16	12	4	83	3	3
18:45	41	13	12	9	3	101	32	10
19:00	24	4	10	7	3	83	17	1
19:15	20	8	11	8	3	79	12	5
19:30	20	15	11	8	3	66	12	12
19:45	27	6	9	7	2	61	20	4
20:00	21	8	15	11	4	74	10	4
20:15	18	2	20	15	1	60	3	1
20:30	26	8	15	11	4	56	15	4
20:45	46	6	15	11	4	37	35	2

42.6% Taxi Trips Observed

Attachment C-1

Trip Generation Calculations and U.S. Census
Data

AM PEAK HOUR TRIP GENERATION COMPARISON

EXISTING WEEKDAY AM PEAK HOUR TRIP GENERATION

ITE TRIP GENERATION CHARACTERISTICS						DIRECTIONAL DISTRIBUTION		GROSS VOLUMES			MULTIMODAL REDUCTION		EXTERNAL TRIPS			INTERNAL CAPTURE		NET NEW EXTERNAL TRIPS			PASS-BY CAPTURE		NET NEW EXTERNAL TRIPS			
Land Use		ITE Edition	ITE Code	Scale	ITE Units	Percent		In	Out	Total	Percent	MR Trips	In	Out	Total	Percent	IC Trips	In	Out	Total	Percent	PB Trips	In	Out	Total	
GROUP 1	1	Shopping Center	10	820	32.378	ksf	62%	38%	19	11	30	20.0%	6	15	9	24	8.3%	2	14	8	22	0.0%	0	14	8	22
	2	General Office Building	10	710	11.162	ksf	86%	14%	32	5	37	20.0%	7	26	4	30	6.7%	2	25	3	28	0.0%	0	25	3	28
	3																									
	4																									
	5																									
	6																									
	7																									
	8																									
	9																									
	10																									
	11																									
	12																									
	13																									
	14																									
	15																									
ITE Land Use Code		Rate or Equation				Total:	51	16	67	20.0%	13	41	13	54	7.4%	4	39	11	50	0.0%	0	39	11	50		
820		Y=0.94(X)																								
710		Y=0.94*(X)+26.49																								

PROPOSED WEEKDAY AM PEAK HOUR TRIP GENERATION

ITE TRIP GENERATION CHARACTERISTICS						DIRECTIONAL DISTRIBUTION		GROSS VOLUMES			MULTIMODAL REDUCTION		EXTERNAL TRIPS			INTERNAL CAPTURE		NET NEW EXTERNAL TRIPS			PASS-BY CAPTURE		NET NEW EXTERNAL TRIPS			
Land Use		ITE Edition	ITE Code	Scale	ITE Units	Percent		In	Out	Total	Percent	MR Trips	In	Out	Total	Percent	IC Trips	In	Out	Total	Percent	PB Trips	In	Out	Total	
						In	Out																			
GROUP 2	1	Shopping Center	10	820	27.736	kst	62%	38%	16	10	26	20.0%	5	13	8	21	4.8%	1	12	8	20	0.0%	0	12	8	20
	2	Hotel	10	310	145	room	59%	41%	40	27	67	20.0%	13	32	22	54	1.9%	1	32	21	53	0.0%	0	32	21	53
	3																									
	4																									
	5																									
	6																									
	7																									
	8																									
	9																									
	10																									
	11																									
	12																									
	13																									
	14																									
	15																									
ITE Land Use Code		Rate or Equation				Total:	56	37	93	20.0%	18	45	30	75	2.7%	2	44	29	73	0.0%	0	44	29	73		
820		Y=0.94(X)																								
310		Y=0.5*(X)+-5.34																								
						NET NEW TRIPS		IN	OUT	TOTAL																
								5	18	23																

PM PEAK HOUR TRIP GENERATION COMPARISON

EXISTING WEEKDAY PM PEAK HOUR TRIP GENERATION

ITE TRIP GENERATION CHARACTERISTICS						DIRECTIONAL DISTRIBUTION		GROSS VOLUMES			MULTIMODAL REDUCTION		EXTERNAL TRIPS			INTERNAL CAPTURE		NET NEW EXTERNAL TRIPS			PASS-BY CAPTURE		NET NEW EXTERNAL TRIPS			
Land Use	ITE Edition	ITE Code	Scale	ITE Units	Percent		In	Out	Total	Percent	MR Trips	In	Out	Total	Percent	IC Trips	In	Out	Total	Percent	PB Trips	In	Out	Total		
					In	Out																				
GROUP 1	1	Shopping Center	10	820	32,378	ksf	48%	52%	113	123	236	20.0%	47	90	99	189	1.6%	3	88	98	186	34.0%	63	58	65	123
	2	General Office Building	10	710	11,162	ksf	16%	84%	2	12	14	20.0%	3	2	9	11	27.3%	3	1	7	8	0.0%	0	1	7	8
	3																									
	4																									
	5																									
	6																									
	7																									
	8																									
	9																									
	10																									
	11																									
	12																									
	13																									
	14																									
	15																									
ITE Land Use Code						Rate or Equation		Total:	115	135	250	20.0%	50	92	108	200	3.0%	6	89	105	194	32.5%	63	59	72	131
820						LN(Y) = 0.74*LN(X)+2.89																				
710						LN(Y) = 0.95*LN(X)+0.36																				

PROPOSED WEEKDAY PM PEAK HOUR TRIP GENERATION

ITE TRIP GENERATION CHARACTERISTICS					DIRECTIONAL DISTRIBUTION		GROSS VOLUMES			MULTIMODAL REDUCTION		EXTERNAL TRIPS			INTERNAL CAPTURE		NET NEW EXTERNAL TRIPS			PASS-BY CAPTURE		NET NEW EXTERNAL TRIPS							
Land Use	ITE Edition	ITE Code	Scale	ITE Units	Percent		In	Out	Total	Percent	MR Trips	In	Out	Total	Percent	IC Trips	In	Out	Total	Percent	PB Trips	In	Out	Total					
					In	Out																							
GROUP 2	1	Shopping Center	10	820	27,736	ksf	48%	52%	101	109	210	20.0%	42	81	87	168	3.6%	6	79	83	162	34.0%	55	52	55	107			
	2	Hotel	10	310	145	room	51%	49%	42	41	83	20.0%	17	33	33	66	9.1%	6	29	31	60	0.0%	0	29	31	60			
	3																												
	4																												
	5																												
	6																												
	7																												
	8																												
	9																												
	10																												
	11																												
	12																												
	13																												
	14																												
	15																												
ITE Land Use Code					Rate or Equation		Total:		143	150	293	20.0%	59	114	120	234	5.1%	12	108	114	222	24.8%	55	81	86	167			
820					LN(Y) = 0.74*LN(X)+2.89																			Valet Trip Percentage of Hotel Trips ⁽¹⁾			57.4%	57.4%	57.4%
310					Y=0.75*(X)+26.02																			Proposed Hotel Valet Trips			17	18	35
(1) Valet trip percentage based off Cadillac Hotel rideshare and valet data.																													
																						IN		OUT		TOTAL			
																						22		14		36			

Internal Capture Reduction Calculations

Methodology for A.M. Peak Hour and P.M. Peak Hour
based on the *Trip Generation Handbook*, 3rd Edition, published by the Institute of Transportation Engineers

Methodology for Daily
based on the average of the Unconstrained Rates for the A.M. Peak Hour and P.M. Peak Hour

SUMMARY (EXISTING)

GROSS TRIP GENERATION					
INPUT	Land Use	A.M. Peak Hour		P.M. Peak Hour	
		Enter	Exit	Enter	Exit
	Office	26	4	2	9
	Retail	15	9	90	99
	Restaurant	0	0	0	0
	Cinema/Entertainment	0	0	0	0
	Residential	0	0	0	0
	Hotel	0	0	0	0
		41	13	92	108
INTERNAL TRIPS					
OUTPUT	Land Use	A.M. Peak Hour		P.M. Peak Hour	
		Enter	Exit	Enter	Exit
	Office	1	1	1	2
	Retail	1	1	2	1
	Restaurant	0	0	0	0
	Cinema/Entertainment	0	0	0	0
	Residential	0	0	0	0
	Hotel	0	0	0	0
		2	2	3	3
OUTPUT	Total % Reduction	7.4%		3.0%	
	Office	6.7%		27.3%	
	Retail	8.3%		1.6%	
	Restaurant				
	Cinema/Entertainment				
	Residential				
	Hotel				
EXTERNAL TRIPS					
OUTPUT	Land Use	A.M. Peak Hour		P.M. Peak Hour	
		Enter	Exit	Enter	Exit
	Office	25	3	1	7
	Retail	14	8	88	98
	Restaurant	0	0	0	0
	Cinema/Entertainment	0	0	0	0
	Residential	0	0	0	0
	Hotel	0	0	0	0
		39	11	89	105

Internal Capture Reduction Calculations

Methodology for A.M. Peak Hour and P.M. Peak Hour
based on the *Trip Generation Handbook*, 3rd Edition, published by the Institute of Transportation Engineers

Methodology for Daily
based on the average of the Unconstrained Rates for the A.M. Peak Hour and P.M. Peak Hour

SUMMARY (PROPOSED)

GROSS TRIP GENERATION					
INPUT	Land Use	A.M. Peak Hour		P.M. Peak Hour	
		Enter	Exit	Enter	Exit
	Office	0	0	0	0
	Retail	13	8	81	87
	Restaurant	0	0	0	0
	Cinema/Entertainment	0	0	0	0
	Residential	0	0	0	0
	Hotel	32	22	33	33
		45	30	114	120
INTERNAL TRIPS					
OUTPUT	Land Use	A.M. Peak Hour		P.M. Peak Hour	
		Enter	Exit	Enter	Exit
	Office	0	0	0	0
	Retail	1	0	2	4
	Restaurant	0	0	0	0
	Cinema/Entertainment	0	0	0	0
	Residential	0	0	0	0
	Hotel	0	1	4	2
		1	1	6	6
OUTPUT	Total % Reduction	2.7%		5.1%	
	Office				
	Retail	4.8%		3.6%	
	Restaurant				
	Cinema/Entertainment				
	Residential				
	Hotel	1.9%		9.1%	
EXTERNAL TRIPS					
OUTPUT	Land Use	A.M. Peak Hour		P.M. Peak Hour	
		Enter	Exit	Enter	Exit
	Office	0	0	0	0
	Retail	12	8	79	83
	Restaurant	0	0	0	0
	Cinema/Entertainment	0	0	0	0
	Residential	0	0	0	0
	Hotel	32	21	29	31
		44	29	108	114

B08301

MEANS OF TRANSPORTATION TO WORK

Universe: Workers 16 years and over

2013-2017 American Community Survey 5-Year Estimates

Supporting documentation on code lists, subject definitions, data accuracy, and statistical testing can be found on the American Community Survey website in the Technical Documentation section.

Sample size and data quality measures (including coverage rates, allocation rates, and response rates) can be found on the American Community Survey website in the Methodology section.

Although the American Community Survey (ACS) produces population, demographic and housing unit estimates, it is the Census Bureau's Population Estimates Program that produces and disseminates the official estimates of the population for the nation, states, counties, cities, and towns and estimates of housing units for states and counties.

$$(71+271+335)/1,319=51.3\%$$

	Census Tract 42.04, Miami-Dade County, Florida	
	Estimate	Margin of Error
Total:	1,319	+/-253
Car, truck, or van:	447	+/-147
Drove alone	424	+/-142
Carpooled:	23	+/-27
In 2-person carpool	8	+/-12
In 3-person carpool	15	+/-25
In 4-person carpool	0	+/-13
In 5- or 6-person carpool	0	+/-13
In 7-or-more-person carpool	0	+/-13
Public transportation (excluding taxicab):	71	+/-62
Bus or trolley bus	71	+/-62
Streetcar or trolley car (carro publico in Puerto Rico)	0	+/-13
Subway or elevated	0	+/-13
Railroad	0	+/-13
Ferryboat	0	+/-13
Taxicab	49	+/-45
Motorcycle	10	+/-16
Bicycle	271	+/-159
Walked	335	+/-121
Other means	52	+/-48
Worked at home	84	+/-58

Data are based on a sample and are subject to sampling variability. The degree of uncertainty for an estimate arising from sampling variability is represented through the use of a margin of error. The value shown here is the 90 percent margin of error. The margin of error can be interpreted roughly as providing a 90 percent probability that the interval defined by the estimate minus the margin of error and the estimate plus the margin of error (the lower and upper confidence bounds) contains the true value. In addition to sampling variability, the ACS estimates are subject to nonsampling error (for a discussion of nonsampling variability, see Accuracy of the Data). The effect of nonsampling error is not represented in these tables.

Workers include members of the Armed Forces and civilians who were at work last week.

While the 2013-2017 American Community Survey (ACS) data generally reflect the February 2013 Office of Management and Budget (OMB) definitions of metropolitan and micropolitan statistical areas; in certain instances the names, codes, and boundaries of the principal cities shown in ACS tables may differ from the OMB definitions due to differences in the effective dates of the geographic

entities.

Estimates of urban and rural populations, housing units, and characteristics reflect boundaries of urban areas defined based on Census 2010 data. As a result, data for urban and rural areas from the ACS do not necessarily reflect the results of ongoing urbanization.

Source: U.S. Census Bureau, 2013-2017 American Community Survey 5-Year Estimates

Explanation of Symbols:

1. An '***' entry in the margin of error column indicates that either no sample observations or too few sample observations were available to compute a standard error and thus the margin of error. A statistical test is not appropriate.
2. An '-' entry in the estimate column indicates that either no sample observations or too few sample observations were available to compute an estimate, or a ratio of medians cannot be calculated because one or both of the median estimates falls in the lowest interval or upper interval of an open-ended distribution.
3. An '-' following a median estimate means the median falls in the lowest interval of an open-ended distribution.
4. An '+' following a median estimate means the median falls in the upper interval of an open-ended distribution.
5. An '****' entry in the margin of error column indicates that the median falls in the lowest interval or upper interval of an open-ended distribution. A statistical test is not appropriate.
6. An '*****' entry in the margin of error column indicates that the estimate is controlled. A statistical test for sampling variability is not appropriate.
7. An 'N' entry in the estimate and margin of error columns indicates that data for this geographic area cannot be displayed because the number of sample cases is too small.
8. An '(X)' means that the estimate is not applicable or not available.

Attachment D-1

Valet Analysis

Valet Routing



Valet Data

Hotel Valet Drop-off and Pick-up Traffic Data Summary
Friday October 22, 2010

Taxi vs Valet Trips								
Time	Total Site Pick-up Trips	Total Site Drop-off Trips	Taxi Trips	Taxi Pick-up Trips	Taxi Drop- off Trips	Taxi + Valet + Self Park	Valet Pick- up	Valet Drop- off
18:00	17	18	23	16	7	71	1	11
18:15	17	10	16	12	4	77	5	6
18:30	15	7	16	12	4	83	3	3
18:45	41	13	12	9	3	101	32	10
19:00	24	4	10	7	3	83	17	1
19:15	20	8	11	8	3	79	12	5
19:30	20	15	11	8	3	66	12	12
19:45	27	6	9	7	2	61	20	4
20:00	21	8	15	11	4	74	10	4
20:15	18	2	20	15	1	60	3	1
20:30	26	8	15	11	4	56	15	4
20:45	46	6	15	11	4	37	35	2

42.6% Taxi Trips Observed

Valet Processing Time

Valet Drop-off/Pick-Up Calculated Travel Time

Parking Garage Calculated Travel Time

VALET DROP-OFF			
VEHICLE TRAVEL TIME		VALET ATTENDANT TRAVEL TIME	
Travel Times (Assume 15 mph speed)		Travel Times (Assume 5 ft/s speed)	
To Valet Garage (In vehicle)		Return from Valet Garage (Walk/Run) to Valet Area	
Distance	Travel Time	Distance	Travel Time
0.83 miles	3.3 minutes	0.07 miles	1.3 minutes
Controlled Delay	1.0 Minutes		
Total Time	5.6 Minutes		

Parking Garage Calculated Travel Time

VALET PICK-UP			
VALET ATTENDANT TRAVEL TIME		VEHICLE TRAVEL TIME	
Travel Times (Assume 5 ft/s speed)		Travel Times (Assume 15 mph speed)	
To Valet Garage (Walk/Run)		Return from Valet Garage (In Vehicle) to Valet Area	
Distance	Travel Time	Distance	Travel Time
0.07 miles	1.3 minutes	0.98 miles	3.9 minutes
Controlled Delay	3.0 Minutes		
Total Time	8.2 Minutes		

Valet Analysis

Parking Garage Valet Drop-Off Analysis

Arrival Rate

IN	OUT
17	18

veh/hr

Number of Valet Attendants (N) = 7

Level of Confidence = 0.95

Storage Provided On-Site = 2 vehicles

Service Rate

IN	OUT
5.60	8.20

mins/veh

Total Entering and Exiting Vehicles(q) = 35 veh/hr

Service Capacity per N (60 mins/Service Rate) (Q) = 8.65 veh/hr/pos

Average Service Rate (t) = 6.94 mins/veh

rho (t/Q) = 0.578

Service Time = 6.94 mins/veh

Expected (avg.) number of vehicles in the system	E(m)=	0.19	
Expected (avg.) number of vehicles waiting in queue	E(n)=	4.24	
Mean time in the queue	E(w)=	0.33	mins
Mean time in system	E(t)=	7.27	mins

Proportion of customers who wait (P) (E(w) > 0)= 14.18%

Probability of a queue exceeding a length (M) P(x > M)= 5.00%

Queue length which is exceeded 5.00% of the times is equal to 0.7 vehicles

Attachment E-1
Loading Zone Locations



Attachment F-1

Traffic Data

Traffic Data Location



Figure 4
Pedestrian Count Location
927 Lincoln Road
Miami Beach, Florida

Pedestrian and Bicycle Crossing Data

Pedestrian Study

Location: Jefferson Ave B

Date: 08/01/2019

City: Miami Beach

Day: Thursday

TIME	Peds		15-Min Total	Hourly Total
	EB	WB		
10:00 AM	6	7	13	52
10:15 AM	7	5	12	54
10:30 AM	7	3	10	49
10:45 AM	8	9	17	44
11:00 AM	12	3	15	34
11:15 AM	4	3	7	30
11:30 AM	2	3	5	38
11:45 AM	4	3	7	54
12:00 PM	6	5	11	64
12:15 PM	6	9	15	75
12:30 PM	10	11	21	108
12:45 PM	9	8	17	122
1:00 PM	15	7	22	141
1:15 PM	18	30	48	
1:30 PM	23	12	35	
1:45 PM	16	20	36	
Totals	153	138	291	
2:00 PM	7	7	14	83
2:15 PM	12	9	21	97
2:30 PM	4	18	22	108
2:45 PM	13	13	26	115
3:00 PM	13	15	28	134
3:15 PM	7	25	32	138
3:30 PM	15	14	29	136
3:45 PM	27	18	45	123
4:00 PM	15	17	32	112
4:15 PM	11	19	30	109
4:30 PM	6	10	16	107
4:45 PM	19	15	34	117
5:00 PM	9	20	29	110
5:15 PM	11	17	28	103
5:30 PM	12	14	26	101
5:45 PM	16	11	27	95
6:00 PM	13	9	22	102
6:15 PM	10	16	26	110
6:30 PM	14	6	20	102
6:45 PM	19	15	34	110
7:00 PM	17	13	30	94
7:15 PM	8	10	18	88
7:30 PM	11	17	28	83
7:45 PM	10	8	18	74
8:00 PM	14	10	24	71
8:15 PM	9	4	13	56
8:30 PM	9	10	19	51
8:45 PM	3	12	15	51
9:00 PM	5	4	9	45
9:15 PM	2	6	8	
9:30 PM	12	7	19	
9:45 PM	8	1	9	
Totals	361	390	751	
Grand Total	514	528	1042	

Pedestrian Study

Location: Jefferson Ave B

Date: 08/02/2019

City: Miami Beach

Day: Friday

TIME	Peds		TOTAL	Hourly Total
	EB	WB		
10:00 AM	9	3	12	53
10:15 AM	2	6	8	53
10:30 AM	5	10	15	65
10:45 AM	8	10	18	73
11:00 AM	6	6	12	70
11:15 AM	11	9	20	95
11:30 AM	10	13	23	110
11:45 AM	6	9	15	114
12:00 PM	15	22	37	125
12:15 PM	15	20	35	120
12:30 PM	14	13	27	102
12:45 PM	19	7	26	100
1:00 PM	18	14	32	94
1:15 PM	8	9	17	
1:30 PM	14	11	25	
1:45 PM	12	8	20	
Totals	172	170	342	
2:00 PM	21	11	32	130
2:15 PM	23	8	31	139
2:30 PM	16	19	35	131
2:45 PM	19	13	32	133
3:00 PM	18	23	41	143
3:15 PM	10	13	23	133
3:30 PM	21	16	37	147
3:45 PM	25	17	42	127
4:00 PM	19	12	31	110
4:15 PM	13	24	37	115
4:30 PM	2	15	17	111
4:45 PM	10	15	25	127
5:00 PM	13	23	36	132
5:15 PM	14	19	33	128
5:30 PM	16	17	33	114
5:45 PM	14	16	30	124
6:00 PM	14	18	32	125
6:15 PM	10	9	19	120
6:30 PM	20	23	43	127
6:45 PM	17	14	31	117
7:00 PM	16	11	27	109
7:15 PM	11	15	26	118
7:30 PM	15	18	33	127
7:45 PM	12	11	23	114
8:00 PM	18	18	36	119
8:15 PM	18	17	35	115
8:30 PM	12	8	20	94
8:45 PM	10	18	28	110
9:00 PM	12	20	32	109
9:15 PM	3	11	14	
9:30 PM	23	13	36	
9:45 PM	10	17	27	
Totals	475	502	977	
Grand Total	647	672	1319	

Pedestrian Study

Location: Jefferson Ave B

Date: 08/03/2019

City: Miami Beach

Day: Saturday

TIME	Peds		TOTAL	Hourly Total
	EB	WB		
10:00 AM	3	6	9	35
10:15 AM	3	3	6	43
10:30 AM	6	6	12	56
10:45 AM	5	3	8	47
11:00 AM	11	6	17	61
11:15 AM	8	11	19	54
11:30 AM	2	1	3	49
11:45 AM	11	11	22	65
12:00 PM	6	4	10	66
12:15 PM	6	8	14	92
12:30 PM	10	9	19	111
12:45 PM	13	10	23	109
1:00 PM	12	24	36	113
1:15 PM	18	15	33	
1:30 PM	10	7	17	
1:45 PM	10	17	27	
Totals	134	141	275	
2:00 PM	16	9	25	106
2:15 PM	15	20	35	112
2:30 PM	17	12	29	117
2:45 PM	11	6	17	109
3:00 PM	20	11	31	120
3:15 PM	20	20	40	99
3:30 PM	13	8	21	93
3:45 PM	15	13	28	113
4:00 PM	5	5	10	124
4:15 PM	15	19	34	135
4:30 PM	22	19	41	136
4:45 PM	23	16	39	117
5:00 PM	3	18	21	96
5:15 PM	15	20	35	113
5:30 PM	14	8	22	91
5:45 PM	8	10	18	102
6:00 PM	7	31	38	100
6:15 PM	8	5	13	91
6:30 PM	20	13	33	95
6:45 PM	7	9	16	85
7:00 PM	21	8	29	100
7:15 PM	8	9	17	96
7:30 PM	9	14	23	113
7:45 PM	13	18	31	115
8:00 PM	8	17	25	104
8:15 PM	20	14	34	99
8:30 PM	13	12	25	75
8:45 PM	11	9	20	69
9:00 PM	5	15	20	87
9:15 PM	6	4	10	
9:30 PM	7	12	19	
9:45 PM	25	13	38	
Totals	420	417	837	
Grand Total	554	558	1112	

Average Daily Traffic Data

VOLUME

Jefferson Ave Bet. Lincoln Rd Mall & 17th St

Day: Thursday
Date: 8/1/2019City: Miami Beach
Project #: FL19_1018_001

DAILY TOTALS					NB	SB					EB	WB	Total
					1,146	828					0	0	1,974
AM Period	NB	SB	EB	WB	TOTAL		PM Period	NB	SB	EB	WB	TOTAL	
00:00	4	3			7		12:00	23	14			37	
00:15	9	6			15		12:15	15	12			27	
00:30	6	1			7		12:30	18	13			31	
00:45	6	25	4	14	10	39	12:45	24	80	14	53	38	133
01:00	4	3			7		13:00	18	25			43	
01:15	3	2			5		13:15	25	10			35	
01:30	0	0			0		13:30	22	15			37	
01:45	0	7	0	5	0	12	13:45	26	91	12	62	38	153
02:00	1	1			2		14:00	21	9			30	
02:15	1	1			2		14:15	21	10			31	
02:30	0	0			0		14:30	23	9			32	
02:45	2	4	0	2	2	6	14:45	21	86	9	37	30	123
03:00	0	1			1		15:00	30	7			37	
03:15	0	1			1		15:15	25	21			46	
03:30	0	0			0		15:30	15	10			25	
03:45	1	1	1	3	2	4	15:45	25	95	13	51	38	146
04:00	0	0			0		16:00	35	19			54	
04:15	0	0			0		16:15	19	17			36	
04:30	2	0			2		16:30	26	19			45	
04:45	0	2	3	3	3	5	16:45	21	101	9	64	30	165
05:00	0	1			1		17:00	23	27			50	
05:15	0	0			0		17:15	23	18			41	
05:30	1	1			2		17:30	28	27			55	
05:45	2	3	2	4	4	7	17:45	25	99	23	95	48	194
06:00	2	1			3		18:00	18	16			34	
06:15	1	1			2		18:15	26	18			44	
06:30	1	0			1		18:30	22	7			29	
06:45	0	4	5	7	5	11	18:45	34	100	21	62	55	162
07:00	4	3			7		19:00	18	10			28	
07:15	0	2			2		19:15	14	9			23	
07:30	3	4			7		19:30	16	11			27	
07:45	5	12	7	16	12	28	19:45	12	60	12	42	24	102
08:00	4	5			9		20:00	16	13			29	
08:15	9	4			13		20:15	16	13			29	
08:30	5	11			16		20:30	20	11			31	
08:45	9	27	6	26	15	53	20:45	20	72	9	46	29	118
09:00	11	15			26		21:00	14	10			24	
09:15	7	6			13		21:15	13	15			28	
09:30	9	9			18		21:30	9	9			18	
09:45	11	38	16	46	27	84	21:45	10	46	11	45	21	91
10:00	15	12			27		22:00	17	4			21	
10:15	14	13			27		22:15	14	4			18	
10:30	21	9			30		22:30	11	5			16	
10:45	14	64	18	52	32	116	22:45	6	48	3	16	9	64
11:00	2	16			18		23:00	6	5			11	
11:15	19	18			37		23:15	8	7			15	
11:30	10	13			23		23:30	7	0			7	
11:45	20	51	11	58	31	109	23:45	9	30	7	19	16	49
TOTALS	238	236			474		TOTALS	908	592			1500	
SPLIT %	50.2%	49.8%			24.0%		SPLIT %	60.5%	39.5%			76.0%	

DAILY TOTALS					NB	SB					EB	WB	Total
					1,146	828					0	0	1,974
AM Peak Hour	11:45	10:45			11:15		PM Peak Hour	15:45	17:00			17:00	
AM Pk Volume	76	65			128		PM Pk Volume	105	95			194	
PK Hr Factor	0.826	0.903			0.865		PK Hr Factor	0.750	0.880			0.882	
7 - 9 Volume	39	42	0	0	81		4 - 6 Volume	200	159	0	0	359	
7 - 9 Peak Hour	08:00	07:45			08:00		4 - 6 Peak Hour	16:00	17:00			17:00	
7 - 9 Pk Volume	27	27	0	0	53		4 - 6 Pk Volume	101	95	0	0	194	
PK Hr Factor	0.750	0.614	0.000	0.000	0.828		PK Hr Factor	0.721	0.880	0.000	0.000	0.882	

VOLUME

Jefferson Ave Bet. Lincoln Rd Mall & 17th St

Day: Friday
Date: 8/2/2019City: Miami Beach
Project #: FL19_1018_001

DAILY TOTALS					NB	SB					EB	WB	Total
					1,213	798					0	0	2,011
AM Period	NB	SB	EB	WB	TOTAL	PM Period	NB	SB	EB	WB	TOTAL		
00:00	0	2			2	12:00	17	12			29		
00:15	6	0			6	12:15	20	11			31		
00:30	7	1			8	12:30	19	18			37		
00:45	5	18	2	5	23	12:45	20	76	6	47	123		
01:00	3	1			4	13:00	14	6			20		
01:15	5	1			6	13:15	10	10			20		
01:30	3	0			3	13:30	24	14			38		
01:45	2	13	0	2	15	13:45	11	59	12	42	101		
02:00	1	0			1	14:00	21	9			30		
02:15	1	0			1	14:15	25	19			44		
02:30	1	0			1	14:30	28	16			44		
02:45	1	4	1	1	5	14:45	29	103	19	63	166		
03:00	1	0			1	15:00	25	17			42		
03:15	0	1			1	15:15	26	15			41		
03:30	0	0			0	15:30	33	15			48		
03:45	0	1	2	3	4	15:45	27	111	12	59	170		
04:00	1	0			1	16:00	26	21			47		
04:15	0	0			0	16:15	27	12			39		
04:30	0	3			3	16:30	21	11			32		
04:45	3	4	2	5	9	16:45	25	99	22	66	165		
05:00	0	3			3	17:00	20	21			41		
05:15	1	0			1	17:15	25	18			43		
05:30	1	2			3	17:30	29	22			51		
05:45	3	5	3	8	13	17:45	23	97	20	81	178		
06:00	0	1			1	18:00	28	21			49		
06:15	3	1			4	18:15	11	6			17		
06:30	1	1			2	18:30	19	14			33		
06:45	1	5	2	5	10	18:45	18	76	18	59	135		
07:00	7	7			14	19:00	23	14			37		
07:15	5	4			9	19:15	19	12			31		
07:30	3	5			8	19:30	18	18			36		
07:45	4	19	6	22	41	19:45	29	89	16	60	149		
08:00	3	4			7	20:00	19	12			31		
08:15	3	6			9	20:15	25	11			36		
08:30	7	8			15	20:30	19	10			29		
08:45	7	20	10	28	48	20:45	14	77	11	44	121		
09:00	7	10			17	21:00	24	8			32		
09:15	6	10			16	21:15	23	4			27		
09:30	9	10			19	21:30	18	5			23		
09:45	8	30	9	39	69	21:45	24	89	10	27	116		
10:00	13	11			24	22:00	24	11			35		
10:15	13	8			21	22:15	4	5			9		
10:30	11	13			24	22:30	20	5			25		
10:45	11	48	9	41	89	22:45	15	63	5	26	89		
11:00	14	12			26	23:00	13	6			19		
11:15	10	3			13	23:15	21	5			26		
11:30	14	14			28	23:30	12	5			17		
11:45	10	48	12	41	89	23:45	13	59	8	24	83		
TOTALS	215	200			415	TOTALS	998	598			1596		
SPLIT %	51.8%	48.2%			20.6%	SPLIT %	62.5%	37.5%			79.4%		

DAILY TOTALS					NB	SB					EB	WB	Total
					1,213	798					0	0	2,011
AM Peak Hour	11:45	11:45			11:45	PM Peak Hour	14:45	16:45			17:15		
AM Pk Volume	66	53			119	PM Pk Volume	113	83			186		
PK Hr Factor	0.825	0.736			0.804	PK Hr Factor	0.856	0.943			0.912		
7 - 9 Volume	39	50	0	0	89	4 - 6 Volume	196	147	0	0	343		
7 - 9 Peak Hour	08:00	08:00			08:00	4 - 6 Peak Hour	16:00	16:45			16:45		
7 - 9 Pk Volume	20	28	0	0	48	4 - 6 Pk Volume	99	83	0	0	182		
PK Hr Factor	0.714	0.700	0.000	0.000	0.706	PK Hr Factor	0.917	0.943	0.000	0.000	0.892		

VOLUME

Jefferson Ave Bet. Lincoln Rd Mall & 17th St

Day: Saturday
Date: 8/3/2019City: Miami Beach
Project #: FL19_1018_001

DAILY TOTALS					NB	SB					EB	WB	Total
					1,058	681					0	0	1,739
AM Period	NB	SB	EB	WB	TOTAL	PM Period	NB	SB	EB	WB	TOTAL		
00:00	14	5			19	12:00	16	17			33		
00:15	11	6			17	12:15	24	11			35		
00:30	7	3			10	12:30	13	8			21		
00:45	4	36	5	19	9	12:45	17	70	14	50	31	120	
01:00	5	1			6	13:00	17	16			33		
01:15	8	1			9	13:15	12	14			26		
01:30	5	4			9	13:30	20	7			27		
01:45	3	21	2	8	5	13:45	15	64	12	49	27	113	
02:00	0	0			0	14:00	15	17			32		
02:15	3	1			4	14:15	27	17			44		
02:30	3	0			3	14:30	28	17			45		
02:45	0	6	0	1	0	14:45	20	90	17	68	37	158	
03:00	1	0			1	15:00	15	19			34		
03:15	2	0			2	15:15	29	13			42		
03:30	1	1			2	15:30	18	7			25		
03:45	0	4	0	1	0	15:45	19	81	14	53	33	134	
04:00	1	2			3	16:00	17	14			31		
04:15	1	0			1	16:15	29	14			43		
04:30	0	0			0	16:30	26	12			38		
04:45	0	2	3	5	3	16:45	21	93	13	53	34	146	
05:00	1	1			2	17:00	22	14			36		
05:15	0	1			1	17:15	22	12			34		
05:30	0	0			0	17:30	26	15			41		
05:45	0	1	0	2	0	17:45	16	86	14	55	30	141	
06:00	0	3			3	18:00	30	19			49		
06:15	2	1			3	18:15	21	8			29		
06:30	2	1			3	18:30	5	4			9		
06:45	1	5	2	7	3	18:45	0	56	0	31	0	87	
07:00	0	1			1	19:00	0	0			0		
07:15	0	1			1	19:15	14	4			18		
07:30	2	1			3	19:30	17	10			27		
07:45	0	2	1	4	1	19:45	19	50	14	28	33	78	
08:00	2	3			5	20:00	23	11			34		
08:15	1	3			4	20:15	24	7			31		
08:30	2	3			5	20:30	12	13			25		
08:45	5	10	6	15	11	20:45	14	73	12	43	26	116	
09:00	5	3			8	21:00	23	10			33		
09:15	6	5			11	21:15	15	11			26		
09:30	5	4			9	21:30	18	11			29		
09:45	7	23	4	16	11	21:45	13	69	7	39	20	108	
10:00	6	9			15	22:00	18	9			27		
10:15	11	8			19	22:15	22	14			36		
10:30	8	6			14	22:30	12	1			13		
10:45	17	42	4	27	21	22:45	19	71	6	30	25	101	
11:00	11	15			26	23:00	19	8			27		
11:15	11	8			19	23:15	13	6			19		
11:30	13	7			20	23:30	9	5			14		
11:45	17	52	19	49	36	23:45	10	51	9	28	19	79	
TOTALS	204	154			358	TOTALS	854	527			1381		
SPLIT %	57.0%	43.0%			20.6%	SPLIT %	61.8%	38.2%			79.4%		

DAILY TOTALS					NB	SB					EB	WB	Total
					1,058	681					0	0	1,739
AM Peak Hour	11:30	11:45			11:45	PM Peak Hour	16:15	14:15			14:15		
AM Pk Volume	70	55			125	PM Pk Volume	98	70			160		
PK Hr Factor	0.729	0.724			0.868	PK Hr Factor	0.845	0.921			0.889		
7 - 9 Volume	12	19	0	0	31	4 - 6 Volume	179	108	0	0	287		
7 - 9 Peak Hour	08:00	08:00			08:00	4 - 6 Peak Hour	16:15	17:00			16:15		
7 - 9 Pk Volume	10	15	0	0	25	4 - 6 Pk Volume	98	55	0	0	151		
PK Hr Factor	0.500	0.625	0.000	0.000	0.568	PK Hr Factor	0.845	0.917	0.000	0.000	0.878		

MIAMI BEACH

PLANNING DEPARTMENT

Staff Report & Recommendation

Planning Board

TO: Chairperson and Members
Planning Board

DATE: December 17, 2019

FROM: Thomas R. Mooney, AICP
Planning Director



SUBJECT: **PB 19-0320 901, 927 Lincoln Road.**

An application has been filed requesting a conditional use approval for the construction of a new 7-story hotel addition to the existing structures, with new construction exceeding 50,000 square feet, pursuant to Chapter 118, Article IV, and Chapter 142, Article II, Division 5 of the City Code.

RECOMMENDATION

Approval with conditions

ZONING / SITE DATA

Future Land Use: CD-3 – Commercial, high intensity
Zoning: CD-3 – Commercial, high intensity

LEGAL DESCRIPTION:

PARCEL 1:

Lots 2, 3, 4, Block 37, COMMERCIAL SUBDIVISION OF THE ALTON BEACH REALTY COMPANY, according to the Plat thereof, as recorded in Plat Book 6, Page 5, of the Public Records of MIAMI-DADE County, Florida.

AND

PARCEL 2:

Lots 5 and 6, Block 37, COMMERCIAL SUBDIVISION OF THE ALTON BEACH REALTY COMPANY, according to the Plat thereof, as recorded in Plat Book 6, Page 5, of the Public Records of MIAMI-DADE County, Florida.

Land Uses: See Zoning/Site map at the end of this report.
North: Commercial/Parking Garage
South: Commercial
East: Commercial
West: Commercial

Lot Size: 37,451 SF
Maximum FAR: 2.50 = 93,627 SF
Proposed FAR: 93,342 SF*
Maximum Height: 75'-0"
Proposed Height: 75'-0" - 7-story

Proposed Uses:

Hotel: 144 units
Retail: 14,391 SF at 901 Lincoln Road ground floor
12,127 SF at 927 Lincoln Road ground floor

Parking required: 0

Parking provided: 0

Loading spaces required: 3

Loading spaces Provided: 2 (The Historic Preservation Board may waive the requirements for properties containing a contributing building, provided an on-street loading plan is approved by the Parking Department.

Historic District: Flamingo Park Local Historic District

* As represented by the applicant.

HISTORY

On October 16, 2019, the City Commission adopted Ordinance No. 2019-4303, which modified the zoning regulations for properties on the north side of Lincoln Road between Pennsylvania Ave and Lincoln Rd, which Ordinance is summarized as follows:

- The Ordinance reduced the parking requirements to zero for new hotel units as part of additions to a contributing building;
- Increased the maximum building height from 50 feet to 75 feet for properties with a minimum lot area of 30,000 SF, and a minimum of 100 new hotel rooms;
- Created additional setback requirements from Lincoln Road and the side streets for new construction over 50 feet in height;
- Reduced the minimum hotel room size to 200 SF, provided that certain amenity requirements are satisfied;
- In order for an applicant to avail itself of the room size and height incentives, the applicant must participate in a public benefits program as set forth below:
 - (1) *Provide ground-floor public benefit space.* On-site, ground floor space within the building in which the hotel is located shall be provided, with a minimum area of 500 square feet, for use by Miami Beach-based not-for-profit entities and/or artisans, as workshops, or for display or demonstration purposes, either of which shall be open to public view ("Public Benefit Space"). Any required land use board approvals associated with a Public Benefit Space approved pursuant to this paragraph shall be the responsibility of the non-profit entity or artisan, respectively.
 - (2) *Contribution to Art in Public Places fund.* In addition to providing an on-site Public Benefit Space pursuant to subsection (d)(1), above, a hotel shall provide a contribution to the City's Art in Public Places fund, the amount of which shall be equal to 0.5% of the total of all construction costs associated with the proposed hotel project, regardless of the number of permits associated with the project or whether the applicant intends to construct the hotel in phases. Full payment of the contribution shall be made prior to the issuance of a certificate of occupancy.

- (3) *Final approval.* Prior to the issuance of a final certificate of occupancy for the property, a covenant executed by the property owner shall be submitted to the City, in a form approved by the City Attorney and City Manager, which covenant shall, at a minimum, identify the location of the Public Benefit Space, and require a hotel owner and/or operator to maintain the Public Benefit Space for so long as the hotel use on the subject property remains active, unless a shorter term is approved by resolution of the City Commission.
 - (4) There shall be a limit of 500 hotel units constructed between Pennsylvania Avenue and Lenox Avenue, which utilize the unit size and/or height incentives set forth in this subsection (d).
- Allows multistory roof-top additions for hotel uses only, subject to certain requirements.

THE PROJECT

The applicant has submitted revised plans entitled “Sterling Building”, as prepared by Kobi Karp as registered Architect, dated October 18, 2019. The proposal consists of a new 7-story, mixed-use building with 144 hotel units, commercial and a ‘public benefits space’ on the ground floor.

The proposal is scheduled to be considered by the Historic Preservation Board on January 14, 2020 (File No. HPB19-0345).

COMPLIANCE WITH CONDITIONAL USE REVIEW GUIDELINES:

Conditional Uses may be approved in accordance with the procedures and standards set forth in the City Code Art. 4, Sec. 118-191 and Sec. 118-192:

1. **The use is consistent with the Comprehensive Plan or Neighborhood Plan if one exists for the area in which the property is located.**

Consistent – The request is consistent with the Comprehensive Plan, as the CD-3 Category permits the following:

*Uses which may be Permitted: Various types of commercial uses including **business and professional offices, retail sales and service establishments, eating and drinking establishments**; apartment residential uses; apartment hotels; and hotels.*

2. **The intended use or construction will not result in an impact that will exceed the thresholds for the levels of service as set forth in the Comprehensive Plan**

Consistent – The proposal should not result in an impact that would exceed the thresholds for the levels of service as set forth in the Comprehensive Plan; however, a concurrency analysis will be performed at the time of building permit application. Kimley Horn & Associates was retained by the applicant to conduct a traffic assessment. See the Memorandum from the Transportation Department.

3. **Structures and uses associated with the request are consistent with this Ordinance.**

Partially Consistent – The Historic Preservation Board application includes variances to reduce the required side interior setback and rear setback for the new construction and a waiver of the line-of-sight requirements pursuant to Section 142-1161 (d)(2) of the City Code.

These comments shall not be considered final zoning review or approval. These and all zoning matters shall require final review and verification by the Planning Department prior to the issuance of a Building Permit.

4. Public health, safety, morals and general welfare will not be adversely affected.

Consistent – The proposed project should not adversely affect the general welfare of nearby residents and businesses, provided protections are put in place to ensure that the proposed commercial uses do not have a negative impact on the adjacent areas.

5. Adequate off-street parking facilities will be provided.

Consistent – Pursuant to Ordinance No. 2019-4303, relating to hotels on Lincoln Road, there are no off-street parking requirements for new hotel units as part of additions to contributing historic buildings on Lincoln Road between Pennsylvania Avenue and Lenox Avenue.

6. Necessary safeguards will be provided for the protection of surrounding property, persons, and neighborhood values.

Consistent - The proposed project is not expected to adversely affect surrounding values provided appropriate safeguards are put in place to mitigate any potential negative impacts.

7. The concentration of similar types of uses will not create a negative impact on the surrounding neighborhood. Geographic concentration of similar types of conditional uses should be discouraged.

Consistent – The proposed uses for the project are permitted in the CD-3 zoning district. While other buildings larger than 50,000 SF are located in the vicinity of this project, adverse impacts are not expected from the geographic concentration of such uses if the impacts are properly controlled.

COMPLIANCE WITH REVIEW GUIDELINES CRITERIA FOR NEW STRUCTURES 50,000 SQUARE FEET AND OVER

Pursuant to Section 118-192(b), in reviewing an application for conditional use for new structures 50,000 square feet and over, the Planning Board shall apply the following supplemental review guidelines criteria in addition to the standard review guidelines:

1. Whether the proposed business operations plan has been provided, including hours of operation, number of employees, goals of business, and other operational characteristics pertinent to the application, and that such plan is compatible with the neighborhood in which it is located.

Consistent – The applicant's operations plan provides characteristics of the proposed project. The project is generally compatible with the surrounding neighborhood, which consists primarily of commercial uses.

2. Whether a plan for the mass delivery of merchandise has been provided, including the hours of operation for delivery trucks to come into and exit from the neighborhood and how such plan shall mitigate any adverse impacts to adjoining and nearby properties, and neighborhood.

Partially Consistent– The plans indicate that loading will take place from the required (2) two loading spaces contained within the building, and in a nearby loading zone located on Michigan Avenue. The operational plan includes hours of operation for deliveries. Plans will have to be revised to demonstrate compliance with the loading requirements prior to obtaining a building permit. Staff is recommending conditions relative to the servicing of the proposed uses. See delivery and Sanitation Analysis.

3. **Whether the scale of the proposed use is compatible with the urban character of the surrounding area and creates adverse impacts on the surrounding area, and how the adverse impacts are proposed to be addressed.**

Consistent – The scale of the proposed project is compatible with nearby buildings and the CD-3 zoning district's allowable development. However the scale, massing, architecture and compatibility issues will be further reviewed by the Historic Preservation Board.

4. **Whether the proposed parking plan has been provided, including where and how the parking is located, utilized, and managed, that meets the required parking and operational needs of the structure and proposed uses.**

Consistent – Pursuant to Ordinance No. 2019-4303, relating to hotels on Lincoln Road, there are no off-street parking requirements for new hotel units as part of additions to contributing historic buildings on Lincoln Road between Pennsylvania Avenue and Lenox Avenue. The first floor provides access to the hotel drop-off area, two loading spaces and trash pick-up location, the. See Parking Analysis.

5. **Whether an indoor and outdoor customer circulation plan has been provided that facilitates ingress and egress to the site and structure.**

Consistent – The plans indicate that the hotel lobby at the ground floor will have a pedestrian access from North Lincoln Lane and Lincoln Road. The ground floor commercial spaces are located directly along Lincoln Road frontages. These spaces will be directly accessed from the sidewalk. The valet is located on the ground floor at the Hotel drop-off area on the north side of the project (North Lincoln Lane.)

6. **Whether a security plan for the establishment and supporting parking facility has been provided that addresses the safety of the business and its users and minimizes impacts on the neighborhood.**

Consistent – The applicant proposes to provide 24-hour security. There will be hotel staff or security personnel available and cameras will be provided throughout the property in order to assist with security.

7. **Whether a traffic circulation analysis and plan has been provided that details means of ingress and egress into and out of the neighborhood, addresses the impact of projected traffic on the immediate neighborhood, traffic circulation pattern for the neighborhood, traffic flow through immediate intersections and arterials, and how these impacts are to be mitigated.**

Consistent – Kimley Horn & Associates was retained by the applicant to conduct a traffic assessment. See the Memorandum from the Transportation Department for additional information.

8. **Whether a noise attenuation plan has been provided that addresses how noise shall be controlled in the loading zone, parking structures and delivery and sanitation areas, to minimize adverse impacts to adjoining and nearby properties.**

Consistent – A Sound study was not required for this application.

9. **Whether a sanitation plan has been provided that addresses on-site facilities as well as off-premises issues resulting from the operation of the structure.**

Consistent – Trash pick-up is proposed to occur via the trash and loading area contained within the proposed building with access on North Lincoln Lane. Sanitation collection is limited to morning hours, pursuant to the operational plan, and the trash room is enclosed and air-conditioned.

10. **Whether the proximity of the proposed structure to similar size structures and to residential uses create adverse impacts and how such impacts are mitigated.**

Consistent – The project, as a 75-foot tall, seven (7) story building, with limited ground floor commercial uses, would serve as an appropriate transition to the 5-story parking garage to the west.

There are no residential uses adjacent to the site; therefore, adverse impacts are not expected from the proposed project due to proximity to similar structures.

11. **Whether a cumulative effect from the proposed structure with adjacent and nearby structures arises, and how such cumulative effect shall be addressed.**

Consistent – The CD-3 zoning district allows the scale of development proposed. While there are other buildings of this scale in the surrounding vicinity, negative impacts from a cumulative effect are not expected.

COMPLIANCE WITH SEA LEVEL RISE AND RESILIENCY REVIEW CRITERIA

Section 133-50(a) of the Land Development establishes review criteria for sea level rise and resiliency that must be considered as part of the review process for board orders. The following is an analysis of the request based upon these criteria:

- (1) **A recycling or salvage plan for partial or total demolition shall be provided.**
Not Consistent. Information was not provided.
- (2) **Windows that are proposed to be replaced shall be hurricane proof impact windows.**
Not Consistent. Information was not provided.
- (3) **Where feasible and appropriate, passive cooling systems, such as operable windows, shall be provided.**
Not Consistent. Information was not provided.
- (4) **Whether resilient landscaping (salt tolerant, highly water-absorbent, native or Florida friendly plants) will be provided.**
Not Consistent. Information was not provided.

- (5) **Whether adopted sea level rise projections in the Southeast Florida Regional Climate Action Plan, as may be revised from time-to-time by the Southeast Florida Regional Climate Change Compact, including a study of land elevation and elevation of surrounding properties were considered.**
Not Consistent. Information was not provided.
- (6) **The ground floor, driveways, and garage ramping for new construction shall be adaptable to the raising of public rights-of-ways and adjacent land.**
Not Consistent. Information was not provided.
- (7) **Where feasible and appropriate, all critical mechanical and electrical systems shall be located above base flood elevation.**
Not Consistent. Information was not provided.
- (8) **Existing buildings shall be, where reasonably feasible and appropriate, elevated to the base flood elevation.**
Not Consistent. Information was not provided.
- (9) **When habitable space is located below the base flood elevation plus City of Miami Beach Freeboard, wet or dry flood proofing systems will be provided in accordance with Chapter of 54 of the City Code.**
Not Consistent. Information was not provided.
- (10) **Where feasible and appropriate, water retention systems shall be provided.**
Not Consistent. The applicant did not provide information concerning water retention.

ANALYSIS

The proposal consists of the renovation and addition to the existing buildings that are classified as “contributing” within the Flamingo Park Historic District. The renovation consists of the demolition of the northwest building located along North Lincoln Lane and a partial internal demolition to the existing structures along Lincoln Road. The new construction consists of a new 7-story building with 144 hotel units, a hotel lobby located on the ground floor on Lincoln Lane and facing the existing courtyard, a ‘public benefit space’ (which is required in order for the applicant to be eligible for the height and room size incentives), and the existing commercial spaces facing Lincoln Road and Jefferson Avenue.

No entertainment is proposed, and the square footage of the proposed project is 93,342 SF as represented by the applicant. The proposed uses are permissible in the CD-3 zoning district and are compatible with the surrounding neighborhood.

Traffic, Parking and Access

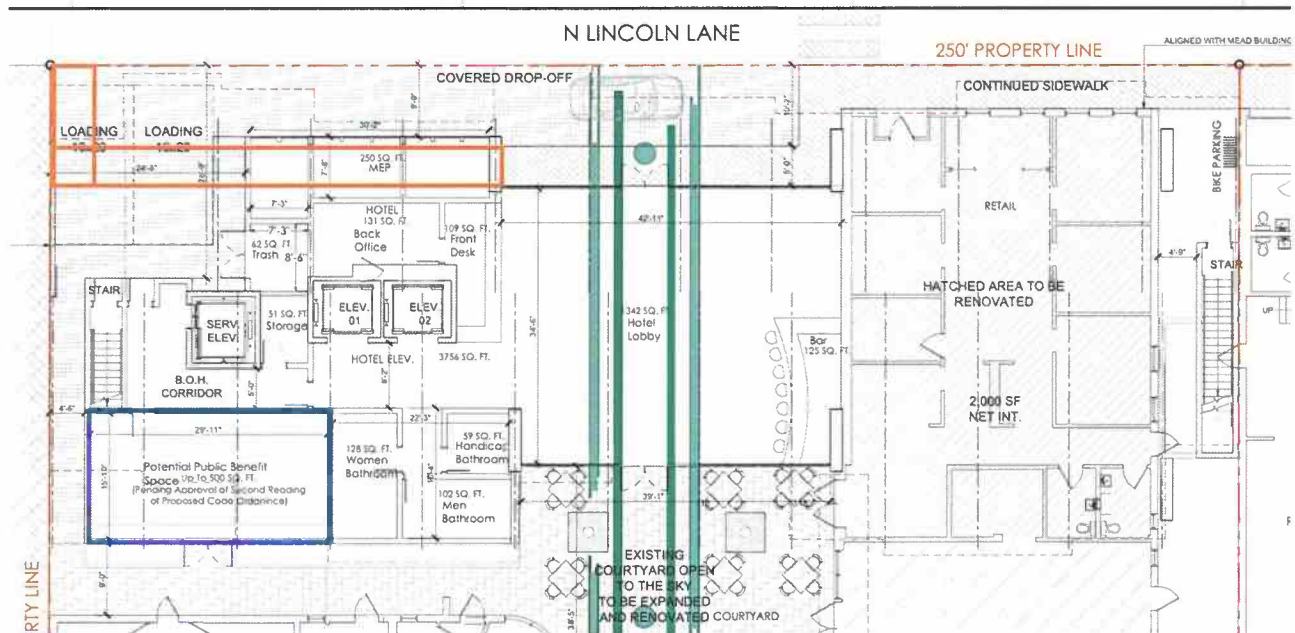
There are no off-street parking requirements for this development. The project will have a covered drop-off/ pick-up area along North Lincoln Lane, including valet station, ride-share services, two loading spaces and access to the hotel lobby. Lincoln Road access is only for pedestrians.

Based upon the traffic assessment submitted, the proposed project will create an additional 23 weekday net new AM peak hour trips and 36 weekday net new PM peak hour trips.

For further information, please refer to the memo provide by the Transportation Department (attached).

In reviewing the overall site plan, staff has identified two issues that should be addressed. The first

is the lack of a continuous sidewalk for pedestrians along North Lincoln Lane. The diagram below shows the applicant's proposal, with the sidewalk ending in the center of the property. Staff would recommend that the sidewalk continue westward and return northward as indicated by the red outline in the site plan below:



Staff is recommending the following condition to address this concern:

The proposed five (5') foot wide sidewalk located to the south of the proposed covered drop off area on Lincoln Lane North shall be expanded westward to the west property line, and then return northward to the north property line in order to allow for a connection to a future sidewalk which could be constructed along the northern property line of the west abutting parcel, in a manner to be reviewed and approved by staff. This shall require the reconfiguration of the proposed loading zones and area labeled as 'MEP'.

Second, staff is concerned that the required 'public benefits space', as outlined in blue in the site plan above is pushed to the back corner, near the service alley. Instead, staff recommends that the public benefit space be swapped with the bathrooms which are shown abutting the existing courtyard. Staff recommends the following condition to address this concern:

The 'potential public benefits space' shall be located eastward, abutting the open courtyard, or in another suitably prominent location as determined by the Historic Preservation Board.

Delivery and Sanitation

The plans indicate that loading will take place from the required (2) two loading spaces contained within the building. Additionally, the applicant has indicated that they will utilize the commercial loading zones located on Jefferson Avenue or Michigan Avenue. Deliveries are proposed to be from 6:00 am to 9:00 am and waste collection between morning hours.

RECOMMENDATION

In view of the foregoing analysis, staff recommends that the application for the Conditional Use Permit be approved, subject to the conditions enumerated in the attached draft Order.

ZONING/SITE MAP



**PLANNING BOARD
CITY OF MIAMI BEACH, FLORIDA**

PROPERTY: 901 – 927 Lincoln Road

FILE NO. PB 19-0320

IN RE: An application has been filed requesting a conditional use approval for the construction of a new 7-story hotel addition to the existing structures, with new construction exceeding 50,000 square feet, pursuant to Chapter 118, Article IV, and Chapter 142, Article II, Division 5 of the City Code.

**LEGAL
DESCRIPTION:**

LEGAL DESCRIPTION:

PARCEL 1:

Lots 2, 3, 4, Block 37, COMMERCIAL SUBDIVISION OF THE ALTON BEACH REALTY COMPANY, according to the Plat thereof, as recorded in Plat Book 6, Page 5, of the Public Records of MIAMI-DADE County, Florida.

AND

PARCEL 2:

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MEETING DATE: December 17, 2019

CONDITIONAL USE PERMIT

The applicant, The Sterling Building Inc, requested Conditional Use approval for the construction of a new 7-story hotel addition to the existing structures exceeding 50,000 square feet, pursuant to Chapter 118, Article IV, and Chapter 142, Article II of the City Code. Notice of the request was given as required by law and mailed out to owners of property within a distance of 375 feet of the exterior limits of the property upon which the application was made.

The Planning Board of the City of Miami Beach makes the following FINDINGS OF FACT, based upon the evidence, information, testimony and materials presented at the public hearing and which are part of the of the record for this matter:

That the property in question is located in the CD-3 – Commercial, High Intensity Zoning District.

That the use is consistent with the Comprehensive Plan for the area in which the property is located;

That the intended use or construction will not result in an impact that will exceed the thresholds for the levels of service as set forth in the Comprehensive Plan;

That structures and uses associated with the request are consistent with the Land Development Regulations;

That the public health, safety, morals, and general welfare will not be adversely affected;

That necessary safeguards will be provided for the protection of surrounding property, persons, and neighborhood values.

IT IS THEREFORE ORDERED, based upon the foregoing findings of fact, the evidence, information, testimony and materials presented at the public hearing, which are part of the record for this matter, and the staff report and analysis, which is adopted herein, including the staff recommendations, that the Conditional Use Permit be **GRANTED**, as provided below:

1. This Conditional Use Permit is issued to The Sterling Building Inc, to construct a 7-story hotel addition to the existing structures, with commercial spaces on the ground floor including. Any proposed change of use shall require the review and approval of the Planning Board.
2. The Planning Board shall maintain jurisdiction of this Conditional Use Permit. The applicant shall appear before the Planning Board for a progress report within 180 days from the issuance of the BTR. The progress report shall include, but not be limited to, updated information on traffic conditions surrounding the site. The Board reserves the right to modify the Conditional Use approval at the time of a progress report in a non-substantive manner, to impose additional conditions to address possible problems and to determine the timing and need for future progress reports. This Conditional Use is also subject to modification or revocation under City Code Sec. 118-194 (c).
3. This Conditional Use Permit is issued to The Sterling Building, any changes in ownership or 50% (fifty percent) or more stock ownership, or the equivalent, shall require the new owner to submit an affidavit, approved by City, to the City of Miami Beach Planning Department transferring approval to the new owner and acknowledging acceptance of all conditions established herein prior to the issuance of a new Business Tax Receipt.
4. The Planning Board shall retain the right to call the owner or operator back before them and make modifications to this Conditional Use Permit should there be valid complaints about loud, excessive, unnecessary, or unusual noise. Nothing in this provision shall be deemed to limit the right of the Planning Board to call back the owner or operator for other reasons and for other modifications of this Conditional Use Permit.
5. Substantial modifications to the plans submitted and approved as part of the application, as determined by the Planning Director or designee, shall require the applicant to return to the Board for approval.
6. The applicant, now and in the future, shall abide by all the documents and statements submitted with this application.
7. As part of the building permit plans for the project, the applicant shall submit revised architectural drawings, which shall be subject to the review and approval of staff; at a minimum, such plans shall satisfy the following:
 - a. The proposed five (5') foot wide sidewalk located to the south of the proposed covered drop off area on Lincoln Lane North shall be expanded westward to the west property line, and then return northward to the north property line in order to allow for a connection

- to a future sidewalk which could be constructed along the northern property line of the west abutting parcel, in a manner to be reviewed and approved by staff. This shall require the reconfiguration of the proposed Loading zones and area labeled as 'MEP'.
- b. The proposed pick-up/ drop-off area on North Lincoln Lane may also incorporate a loading space.
 - c. The location of the 'public benefits space' shown on the submitted plans shall not be permitted as proposed. Such space shall be relocated to a significantly more visible, and publicly accessible location. This may include, but shall not be limited to, the abutting open courtyard, or in another suitably prominent location as determined by staff.
8. The Applicant agrees to the following operational conditions for all permitted and accessory uses and shall bind itself, lessees, permittees, concessionaires, renters, guests, users, and successors and assigns and all successors in interest in whole or in part to comply with the following operational and noise attenuation requirements and/or limitations. The applicant shall ensure through appropriate contracts, assignments and management rules that these restrictions are enforced and the applicant agrees to include the rules and regulations set forth in these conditions in any contract or assignment:
- a. All trash containers shall utilize rubber wheels, or the path for the trash containers shall consist of a surface finish that reduces noise, in a manner to be reviewed and approved by staff.
 - b. Adequate air-conditioned and noise baffled trash room space shall be provided, in a manner to be approved by the Planning staff. Doors shall remain closed and secured when not in active use.
 - c. Trash dumpster covers shall be closed at all times except when in active use.
 - d. Delivery trucks shall not be allowed to idle in the loading areas.
 - e. Delivery and trash trucks shall only be permitted to park in the designated loading bays.
 - f. Deliveries and trash pick-ups only may only take place between 6:00 AM and 12:00 PM.
 - g. Outdoor entertainment as defined by the City Code shall not be permitted, unless approved by the Planning Board.
9. The applicant shall address the following Concurrency and Traffic requirements, as applicable:
- a. A Method of Transportation (MOT) shall be submitted to Public Works Department staff for review and approval prior to the issuance of a building permit. The MOT shall address any traffic flow disruption due to construction activity on the site.
 - b. Prior to the issuance of a building permit, the applicant shall participate in a Transportation Concurrency Management Area Plan (TCMA Plan), if deemed necessary, by paying its fair share cost, as may be determined as determined by the Concurrency Management Division.

- c. A final concurrency determination shall be conducted prior to the issuance of a Building Permit. Mitigation fees and concurrency administrative costs, if required, shall be paid prior to the issuance of any Building Permit.
 - d. A revised operational plan shall be submitted to the City of Miami Beach Transportation Department 30 days and 120 days after opening showing updated valet and rideshare vehicle demand and whether the queuing is contained within the space provided. In the case that queuing exceeds the designated drop-off area, the supplemental study shall propose a mitigation plan for City review and approval.
10. All new construction over 7,000 square feet or ground floor additions (whether attached or detached) to existing structures that encompass over 10,000 square feet of additional floor area shall be required to be, at a minimum, certified as LEED Gold by USGBC. In lieu of achieving LEED Gold certification, properties can elect to pay a sustainability fee, pursuant to Chapter 133 of the City Code. This fee is set as a percentage of the cost of construction.
11. The applicant shall satisfy outstanding liens and past due City bills, if any, to the satisfaction of the City prior to the issuance of a Building permit.
12. The applicant shall obtain a full building permit within 18 months from the date of approval of this Conditional Use Permit, and the work shall proceed in accordance with the Florida Building Code. Extensions of time for good cause, not to exceed a total of one year for all extensions, may be granted by the Planning Board.
13. This order is not severable, and if any provision or condition hereof is held void or unconstitutional in a final decision by a court of competent jurisdiction, the order shall be returned to the Board for reconsideration as to whether the order meets the criteria for approval absent the stricken provision or condition, and/or it is appropriate to modify the remaining conditions or impose new conditions.
14. The Final Order shall be recorded in the Public Records of Miami-Dade County, prior to the issuance of a Building Permit.
15. The establishment and operation of this Conditional Use shall comply with all the aforementioned conditions of approval; non-compliance shall constitute a violation of the Code of the City of Miami Beach, Florida, and shall be subject to enforcement procedures set forth in Section 114-8 of said Code and such enforcement procedures as are otherwise available. Any failure by the applicant to comply with the conditions of this Order shall also constitute a basis for consideration by the Planning Board for a revocation of this Conditional Use.
16. The applicant agrees and shall be required to provide access to areas subject to this CUP (not including private residences) for inspection by the City (i.e.: Planning, Code Compliance, Building Department, Fire Safety), to ensure compliance with the terms and conditions of this CUP
17. Nothing in this order authorizes a violation of the City Code or other applicable law, nor allows a relaxation of any requirement or standard set forth in the City Code.

Dated this _____ day of _____, 2019.

PLANNING BOARD OF THE
CITY OF MIAMI BEACH, FLORIDA

BY: _____
Michael Belush, AICP
Chief of Planning & Zoning
For Chairman

STATE OF FLORIDA)
COUNTY OF MIAMI-DADE)

The foregoing instrument was acknowledged before me this _____ day of _____, _____, by Michael Belush, Planning and Zoning Manager of the City of Miami Beach, Florida, a Florida Municipal Corporation, on behalf of the corporation. He is personally known to me.

Notary:
Print Name
Notary Public, State of Florida
My Commission Expires:
Commission Number:

{NOTARIAL SEAL}

Approved As To Form:
Legal Department _____ ()

Filed with the Clerk of the Planning Board on _____ ()

**PLANNING BOARD
CITY OF MIAMI BEACH, FLORIDA**

PROPERTY: 901 – 927 Lincoln Road

FILE NO. PB 19-0320

IN RE: An application for a conditional use approval for the construction of a new 7-story hotel addition to the existing structures, with new construction exceeding 50,000 square feet, pursuant to Chapter 118, Article IV, and Chapter 142, Article II, Division 5 of the City Code.

**LEGAL
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MEETING DATE: December 17, 2019

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The Planning Board of the City of Miami Beach makes the following FINDINGS OF FACT, based upon the evidence, information, testimony and materials presented at the public hearing and which are part of the of the record for this matter:

That the property in question is located in the CD-3 – Commercial, High Intensity Zoning District.

That the use is consistent with the Comprehensive Plan for the area in which the property is located;

That the intended use or construction will not result in an impact that will exceed the thresholds for the levels of service as set forth in the Comprehensive Plan;

That structures and uses associated with the request are consistent with the Land Development Regulations;

December 17, 2019

PB 19-0320 – 901 – 927 Lincoln Road - CUP

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That the public health, safety, morals, and general welfare will not be adversely affected;

That necessary safeguards will be provided for the protection of surrounding property, persons, and neighborhood values.

IT IS THEREFORE ORDERED, based upon the foregoing findings of fact, the evidence, information, testimony and materials presented at the public hearing, which are part of the record for this matter, and the staff report and analysis, which is adopted herein, including the staff recommendations, that the Conditional Use Permit be **GRANTED**, as provided below:

1. This Conditional Use Permit is issued to The Sterling Building Inc, to construct a 7-story hotel addition to the existing structures, with commercial spaces on the ground floor including. Any proposed change of use shall require the review and approval of the Planning Board.
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December 17, 2019

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Page 3 of 5

- to a future sidewalk which could be constructed along the northern property line of the west abutting parcel, in a manner to be reviewed and approved by staff. This shall require the reconfiguration of the proposed Loading zones and area labeled as 'MEP'. Further, provided that all regulatory agencies having authority over Lincoln Lane North approve of such, a sidewalk shall also be constructed in the Lincoln Lane North alley, abutting the parcel located immediately to the west of the subject site, and connecting to Michigan Avenue.
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December 17, 2019

PB 19-0320 -- 901 -- 927 Lincoln Road - CUP

Page 4 of 5

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 13. This order is not severable, and if any provision or condition hereof is held void or unconstitutional in a final decision by a court of competent jurisdiction, the order shall be returned to the Board for reconsideration as to whether the order meets the criteria for approval absent the stricken provision or condition, and/or it is appropriate to modify the remaining conditions or impose new conditions.
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December 17, 2019

PB 19-0320 -- 901 -- 927 Lincoln Road - CUP

Page 5 of 5

17. Nothing in this order authorizes a violation of the City Code or other applicable law, nor allows a relaxation of any requirement or standard set forth in the City Code.

Dated this 12th day of FEBRUARY, 2020.

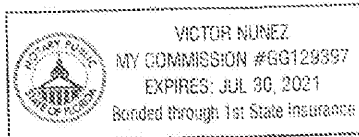
PLANNING BOARD OF THE
CITY OF MIAMI BEACH, FLORIDA

BY:

Michael Belush
Michael Belush, AICP
Chief of Planning & Zoning
For Chairman

STATE OF FLORIDA)
COUNTY OF MIAMI-DADE)

The foregoing instrument was acknowledged before me this 12th day of February, 2020, by Michael Belush, Chief of Planning & Zoning of the City of Miami Beach, Florida, a Florida Municipal Corporation, on behalf of the corporation. He is personally known to me.



(NOTARIAL SEAL)

V. Nunez
Notary:
Print Name
Notary Public, State of Florida
My Commission Expires: Jul 30, 2021
Commission Number: 66129397

Approved As To Form: Nick Allegro (2/11/2020)
Legal Department

Filed with the Clerk of the Planning Board on Jessie Gentry (2/12/2020)

MB

**PLANNING BOARD
CITY OF MIAMI BEACH, FLORIDA**

PROPERTY: 901 – 927 Lincoln Road

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 - c. Trash dumpster covers shall be closed at all times except when in active use.
 - d. Delivery trucks shall not be allowed to idle in the loading areas.
 - e. Delivery and trash trucks shall only be permitted to park in the designated loading bays.
 - f. Deliveries and trash pick-ups only may only take place between 6:00 AM and 12:00 PM.
 - g. Outdoor entertainment as defined by the City Code shall not be permitted, unless approved by the Planning Board.
9. The applicant shall address the following Concurrency and Traffic requirements, as applicable:
- a. A Method of Transportation (MOT) shall be submitted to Public Works Department staff for review and approval prior to the issuance of a building permit. The MOT shall address any traffic flow disruption due to construction activity on the site.

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December 17, 2019

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- b. Prior to the issuance of a building permit, the applicant shall participate in a Transportation Concurrency Management Area Plan (TCMA Plan), if deemed necessary, by paying its fair share cost, as may be determined as determined by the Concurrency Management Division.
 - c. A final concurrency determination shall be conducted prior to the issuance of a Building Permit. Mitigation fees and concurrency administrative costs, if required, shall be paid prior to the issuance of any Building Permit.
 - d. A revised operational plan shall be submitted to the City of Miami Beach Transportation Department 30 days and 120 days after opening showing updated valet and rideshare vehicle demand and whether the queuing is contained within the space provided. In the case that queuing exceeds the designated drop-off area, the supplemental study shall propose a mitigation plan for City review and approval.
10. All new construction over 7,000 square feet or ground floor additions (whether attached or detached) to existing structures that encompass over 10,000 square feet of additional floor area shall be required to be, at a minimum, certified as LEED Gold by USGBC. In lieu of achieving LEED Gold certification, properties can elect to pay a sustainability fee, pursuant to Chapter 133 of the City Code. This fee is set as a percentage of the cost of construction.
 11. The applicant shall satisfy outstanding liens and past due City bills, if any, to the satisfaction of the City prior to the issuance of a Building permit.
 12. The applicant shall obtain a full building permit within 18 months from the date of approval of this Conditional Use Permit, and the work shall proceed in accordance with the Florida Building Code. Extensions of time for good cause, not to exceed a total of one year for all extensions, may be granted by the Planning Board.
 13. This order is not severable, and if any provision or condition hereof is held void or unconstitutional in a final decision by a court of competent jurisdiction, the order shall be returned to the Board for reconsideration as to whether the order meets the criteria for approval absent the stricken provision or condition, and/or it is appropriate to modify the remaining conditions or impose new conditions.
 14. The Final Order shall be recorded in the Public Records of Miami-Dade County, prior to the issuance of a Building Permit.
 15. The establishment and operation of this Conditional Use shall comply with all the aforementioned conditions of approval; non-compliance shall constitute a violation of the Code of the City of Miami Beach, Florida, and shall be subject to enforcement procedures set forth in Section 114-8 of said Code and such enforcement procedures as are otherwise available. Any failure by the applicant to comply with the conditions of this Order shall also constitute a basis for consideration by the Planning Board for a revocation of this Conditional Use.
 16. The applicant agrees and shall be required to provide access to areas subject to this CUP (not including private residences) for inspection by the City (i.e.: Planning, Code Compliance, Building Department, Fire Safety), to ensure compliance with the terms and conditions of this CUP

mb

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17. Nothing in this order authorizes a violation of the City Code or other applicable law, nor allows a relaxation of any requirement or standard set forth in the City Code.

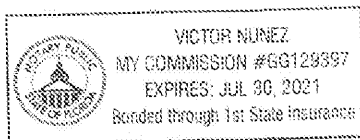
Dated this 12th day of FEBRUARY, 2020.

PLANNING BOARD OF THE
CITY OF MIAMI BEACH, FLORIDA

BY: Michael Belush
Michael Belush, AICP
Chief of Planning & Zoning
For Chairman

STATE OF FLORIDA)
COUNTY OF MIAMI-DADE)

The foregoing instrument was acknowledged before me this 12th day of February, 2020, by Michael Belush, Chief of Planning & Zoning of the City of Miami Beach, Florida, a Florida Municipal Corporation, on behalf of the corporation. He is personally known to me.



{NOTARIAL SEAL}

V. Nunez
Notary:
Print Name
Notary Public, State of Florida
My Commission Expires: JUL 30, 2021
Commission Number: 66129397

Approved As To Form: Nick Allegro (2/11/2020)
Legal Department

Filed with the Clerk of the Planning Board on Jessie Gentry (2/12/2020)

MB

MIAMI BEACH

LAND USE BOARDS

FILE NO.

PB 19-0332

APPLICANT:**MEETING DATE:**

12/17/2019

IN RE:

AN ORDINANCE OF THE MAYOR AND CITY COMMISSION OF THE CITY OF MIAMI BEACH, FLORIDA, AMENDING SUBPART B OF THE CITY CODE, ENTITLED "LAND DEVELOPMENT REGULATIONS," CHAPTER 114, ENTITLED "GENERAL PROVISIONS," SECTION 114-1, ENTITLED "DEFINITIONS," TO MODIFY FOR CLARIFICATION PURPOSES THE DEFINITION OF "FLOOR AREA"; AND PROVIDING FOR REPEALER, SEVERABILITY, CODIFICATION, AND AN EFFECTIVE DATE. (SUBJECT TO REFERRAL BY THE CITY COMMISSION ON DECEMBER 11, 2019)

PRIOR ORDER NUMBER:**Is this a Resident Right to Know item?**

Yes

Does this item utilize G.O. Bond Funds?

No

ATTACHMENTS:

Description		Type
<input type="checkbox"/>	Staff Report	Memo
<input type="checkbox"/>	Ordinance	Memo

MIAMI BEACH

PLANNING DEPARTMENT

Staff Report & Recommendation

PLANNING BOARD

TO: Chairperson and Members
Planning Board

DATE: December 17, 2019

FROM: Thomas R. Mooney, AICP
Planning Director

MB for TRM

SUBJECT: **PB 19-0332. Floor Area Clarification.**

REQUEST

PB 19-0332. FLOOR AREA CLARIFICATION. AN ORDINANCE OF THE MAYOR AND CITY COMMISSION OF THE CITY OF MIAMI BEACH, FLORIDA, AMENDING SUBPART B OF THE CITY CODE, ENTITLED "LAND DEVELOPMENT REGULATIONS," CHAPTER 114, ENTITLED "GENERAL PROVISIONS," SECTION 114-1, ENTITLED "DEFINITIONS," TO MODIFY FOR CLARIFICATION PURPOSES THE DEFINITION OF "FLOOR AREA"; AND PROVIDING FOR REPEALER, SEVERABILITY, CODIFICATION, AND AN EFFECTIVE DATE.

RECOMMENDATION

Transmit the proposed ordinance amendment to the City Commission with a favorable recommendation.

HISTORY

On July 10, 2019, the Planning Director issued a determination pertaining to the definition of 'floor area' in chapter 114 of the Land Development Regulations of the City Code. The determination reaffirmed that the following elements are included within the definition of floor area: (1) voids in floors to accommodate elevator shafts; (2) voids in floors to accommodate mechanical/ventilation/trash shafts; and (3) stairwells, including stairwells within accessory garages.

On November 1, 2019, the Board of Adjustment, by a 5-2 vote, reversed the Planning Director's July 10, 2019 determination. On December 4, 2019, the Planning Director and the City, through outside counsel, appealed the decision of the BOA by filing a writ of certiorari in circuit court. The appeal operates to stay the BOA order and all matters related to it.

On December 11, 2019, at the request of Mayor Dan Gelber, Commissioner Mark Samuelian, and Commissioner Michael Góngora, the City Commission referred the proposed ordinance amendment to the Planning Board for review and recommendation (item C4K).

REVIEW CRITERIA

Pursuant to Section 118-163 of the City Code, in reviewing a request for an amendment to these land development regulations, the board shall consider the following when applicable:

1. **Whether the proposed change is consistent and compatible with the**

comprehensive plan and any applicable neighborhood or redevelopment plans.

Consistent – The proposed ordinance is consistent with the goals, objectives, and policies of the Comprehensive Plan.

2. **Whether the proposed change would create an isolated district unrelated to adjacent or nearby districts.**

Not applicable – The proposed amendment does not modify district boundaries.

3. **Whether the change suggested is out of scale with the needs of the neighborhood or the city.**

Consistent - The proposed ordinance amendment is not out of scale with the surrounding neighborhood.

4. **Whether the proposed change would tax the existing load on public facilities and infrastructure.**

Consistent – The proposed ordinance will not affect the load on public facilities and infrastructure.

5. **Whether existing district boundaries are illogically drawn in relation to existing conditions on the property proposed for change.**

Not applicable. – The proposed amendment does not modify district boundaries.

6. **Whether changed or changing conditions make the passage of the proposed change necessary.**

Consistent – The need to provide clarifications for the definition of floor area makes passage of the proposed change necessary.

7. **Whether the proposed change will adversely influence living conditions in the neighborhood.**

Consistent – The proposed ordinance amendment will not adversely affect living conditions in the neighborhood.

8. **Whether the proposed change will create or excessively increase traffic congestion beyond the levels of service as set forth in the comprehensive plan or otherwise affect public safety.**

Consistent – The proposed change will not create or increase traffic congestion from what is currently permitted.

9. **Whether the proposed change will seriously reduce light and air to adjacent areas.**

Consistent – The proposed change will not seriously reduce light and air to adjacent areas.

10. **Whether the proposed change will adversely affect property values in the adjacent**

area.

Consistent – The proposed change should not adversely affect property values in the adjacent areas.

11. **Whether the proposed change will be a deterrent to the improvement or development of adjacent property in accordance with existing regulations.**

Consistent – The proposed change should not be a deterrent to the improvement or development of properties in the City.

12. **Whether there are substantial reasons why the property cannot be used in accordance with existing zoning.**

Not applicable.

13. **Whether it is impossible to find other adequate sites in the city for the proposed use in a district already permitting such use.**

Not applicable.

COMPLIANCE WITH SEA LEVEL RISE AND RESILIENCY REVIEW CRITERIA

Section 133-50(b) of the Land Development Regulations establishes the following review criteria when considering ordinances, adopting resolutions, or making recommendations:

- (1) **Whether the proposal affects an area that is vulnerable to the impacts of sea level rise, pursuant to adopted projections.**

Partially Consistent – The proposal does affect areas that are vulnerable to the impacts of sea level rise in the long term.

- (2) **Whether the proposal will increase the resiliency of the City with respect to sea level rise.**

Consistent – The proposal will not affect the resiliency of the City with respect to sea level rise.

- (3) **Whether the proposal is compatible with the City's sea level rise mitigation and resiliency efforts.**

Consistent – The proposal does not diminish and is compatible with the City's sea level rise mitigation and resiliency efforts.

ANALYSIS

The maximum square footage (intensity) of a building is regulated by the Floor Area Ratio (FAR), and applies to all zoning districts except for single-family districts. The maximum floor area for a property is determined by multiplying the lot size by the FAR of the zoning district.

Covered stairwells, elevator shafts, and mechanical chutes have been treated as floor area in the City of Miami Beach since 1971. In this regard, under ordinance 1891, from 1971 to 1989, the definition of floor area specified which areas of the floors of a building are included in the calculation of FAR. These included, expressly, stairwells and elevator shafts, as well as any other

residential area.

Beginning in 1988 the Zoning Ordinance Review Committee (ZORC) performed a comprehensive review of ordinance 1891 and recommended that the definition of floor area be rearranged and consolidated to include all areas of the floor, without listing specific inclusions, and that only a list of 'exclusions' would apply. Ordinance 89-2665, adopted in 1989, amended the definition of floor area, in accordance with the stylistic recommendation of ZORC. This definition, except for the addition of new explicitly defined exclusions without changing the meaning of the term, has remained in place up until today.

Section 114-1 of the Land Development Regulations (LDRs), which was adopted in 1989, defines Floor Area Floor as follows:

Floor Area means the sum of the gross horizontal areas of the floors of a building or buildings, measured from the exterior faces of exterior walls or from the exterior face of an architectural projection, from the centerline of walls separating two attached buildings.

It then provides specific portions of the building that may be excluded from the floor area limitations, which include the following:

- (1) Accessory water tanks or cooling towers.*
- (2) Uncovered steps.*
- (3) Attic space, whether or not a floor actually has been laid, providing structural headroom of less than seven feet six inches.*
- (4) Terraces, breezeways, or open porches.*
- (5) Floor space used for required accessory off-street parking spaces. However, up to a maximum of two spaces per residential unit may be provided without being included in the calculation of the floor area ratio.*
- (6) Commercial parking garages and noncommercial parking garages when such structures are the main use on a site.*
- (7) Mechanical equipment rooms located above main roof deck.*
- (8) Exterior unenclosed private balconies.*
- (9) Floor area located below grade when the top of the slab of the ceiling is located at or below grade. However, if any portion of the top of the slab of the ceiling is above grade, the floor area that is below grade shall be included in the floor area ratio calculation. Despite the foregoing, for existing contributing structures that are located within a local historic district, national register historic district, or local historic site, when the top of the slab of an existing ceiling of a partial basement is located above grade, one-half of the floor area of the corresponding floor that is located below grade shall be included in the floor area ratio calculation.*
- (10) Enclosed garbage rooms, enclosed within the building on the ground floor level.*

On July 10, 2019, the Planning Director issued a determination reaffirming that stairwells, stairways, covered steps, and elevator shafts at every floor count towards the maximum floor area. In addition to reconfirming the plain and unambiguous definition of floor area as noted above, the July 10, 2019 determination was consistent with nearly 50 years of code administration and precedent, including two previous determinations of prior Planning Directors, both of which were previously affirmed by the Board of Adjustment (BOA).

The July 10, 2019 determination was appealed to the BOA, and on November 1, 2019, the BOA

overturned the planning director's determination. The BOA order is not final due to the appeal filed in circuit court. The decision of the BOA, should it go into effect, would have major impacts to the City and overturn nearly 50 years of zoning precedent. Additionally, it would create significant ambiguity and inconsistency in the way development applications are reviewed by staff for compliance with the LDRs. The current definition is free of ambiguity and has allowed for consistent and effective administration and review.

Staff has reviewed the floor area calculations for nine recent development projects (see chart below). If these projects were to exclude stairwells, stairways, covered steps, and elevator shafts from the floor area calculations, the overall square footage and intensity would increase from between 7% and 16%, for an average increase of 9.5%.

Project	Additional SF	Percent Increase	Total SF
Flamingo RM2 Addition	11,518 SF	12%	99K SF
1733-59 Purdy	6,098 SF	9%	67K SF
7140 Collins Avenue	10,769 SF	6%	174K SF
7145 Carlyle	20,275 SF	8%	255K SF
Monad Terrace	16,520 SF	9%	193K SF
57 and Collins	13,208 SF	7%	190K SF
68 and Indian Creek	8,225 SF	9%	95K SF
1344 15th Terrace	771 SF	10%	8K SF
14 Ferrey Lane	932 SF	16%	7K SF

A geographic information systems (GIS) analysis was also performed to estimate which apartment (non-condominium) and commercial buildings have available floor area in the City. This GIS analysis utilized the Miami-Dade County Property Appraiser's data on building size. While the building size calculations from the Property Appraiser may not be identical to the City's floor area calculations, they provide a good estimate of the impact that an across the board increase in floor area would have city wide. Additionally, the analysis does not consider unified development sites, which may have additional impacts on the allowable FAR in some zoning districts and the movement of floor area between lots.

Currently there are an estimated 22,979,726 square feet of floor area available within the City within properties containing apartments and commercial buildings. If this were increased by an additional 9.5%, there would be an estimated 27,122,711 square feet of floor area available to properties containing apartments and commercial buildings. This represents a potential estimated increase of 4,142,985 square feet. Such an across the board increase in floor area could have significant impacts on levels of service in the City including water, sanitary sewer, solid waste, storm water sewer, and transportation.

This analysis is important as it quantifies the potential increase in floor area, city wide, resulting from the conversion of currently included areas of a building into excluded areas. It also clearly shows that such increases are not trivial or minimal in any way and underscores the importance of evaluating increases in FAR on a more limited, strategic basis.

The proposed ordinance clarifies the areas of a building that count towards the maximum floor area limitations and reaffirms the definition of floor area that the City has consistently and uniformly applied to every building for nearly 50 years. The ordinance affirms that the definition of floor area includes *stairwells, stairways, covered steps, elevator shafts at every floor (including mezzanine level elevator shafts), and mechanical chutes and chases at every floor (including mezzanine level)*. The proposal is consistent with how floor area ratio (FAR) limitations have been calculated since the adoption of zoning ordinance 89-2665 in 1989, as well as the previous ordinance that was in effect from 1971 to 1989 (ordinance 1891).

Finally, it is important to note the proposed amendment does not affect single family home districts (RS-1, 2, 3, & 4). Single family districts are regulated by unit size limitations, lot coverage, and height limits, and are not subject to FAR restrictions.

RECOMMENDATION

In view of the foregoing analysis, staff recommends that the Planning Board transmit the proposed ordinance amendment to the City Commission with a favorable recommendation.

Definition of Floor Area

ORDINANCE NO. _____

AN ORDINANCE OF THE MAYOR AND CITY COMMISSION OF THE CITY OF MIAMI BEACH, FLORIDA, AMENDING SUBPART B OF THE CITY CODE, ENTITLED "LAND DEVELOPMENT REGULATIONS," CHAPTER 114, ENTITLED "GENERAL PROVISIONS," SECTION 114-1, ENTITLED "DEFINITIONS," TO MODIFY FOR CLARIFICATION PURPOSES THE DEFINITION OF "FLOOR AREA"; AND PROVIDING FOR REPEALER, SEVERABILITY, CODIFICATION, AND AN EFFECTIVE DATE.

WHEREAS, City Code Section 114-1 sets forth explicit definitions of the technical terms "floor area" and "floor area ratio," and provides specific requirements for the measurement and calculation of floor area; and

WHEREAS, the City relies upon the terms "floor area" and "floor area ratio" as objective intensity standards for the control of population densities, building intensities, and for comprehensively planning the necessary public infrastructure to support orderly growth and development; and

WHEREAS, one purpose of the City's regulation of a property's maximum floor area and/or floor area ratio ("FAR") is to provide a quantifiable and objective mechanism to control both the size and intensity, as well as the overall mass, of a building; and

WHEREAS, pursuant to City Code Section 114-1, the term "floor area" means "the sum of the gross horizontal areas of the floors of a building or buildings, measured from the exterior faces of exterior walls or from the exterior face of an architectural projection, from the centerline of walls separating two attached buildings"; and

WHEREAS, Section 114-1 enumerates ten elements of a building that are excluded from the definition of "floor area"; and

WHEREAS, if a building element is not listed as an exclusion from the calculation of "floor area," then the element is deemed to be included in the calculation of "floor area"; and

WHEREAS, the City has consistently counted elevator shafts, stairwells, and mechanical chutes and chases as "floor area" for more than 48 years; and

WHEREAS, on two prior occasions in 1994, the Planning Director was formally asked to determine whether the definition of floor area includes voids in floors to accommodate elevator shafts, voids in floors to accommodate mechanical/ventilation/trash shafts, and stairwells; and

WHEREAS, on both occasions, the Planning Director concluded that voids in floors to accommodate elevator shafts, voids in floors to accommodate mechanical/ventilation/trash shafts, and stairwells were included in the definition of floor area; and

WHEREAS, on both occasions, the Board of Adjustment affirmed the administrative determinations of the Planning Director; and

WHEREAS, on July 10, 2019, the Planning Director issued a determination concluding that the following elements are included within the definition of floor area: (1) voids in floors to accommodate elevator shafts; (2) voids in floors to accommodate mechanical/ventilation/trash shafts; and (3) voids in floors to accommodate stairwells, including voids to accommodate stairwells within accessory garages; and

WHEREAS, in a clear departure from its limited quasi-judicial authority, the Board of Adjustment voted on November 1, 2019, to reverse the July 10, 2019 determination, and effectively amend the Land Development Regulations—without the authority to do so—to create a new exclusion from the definition of Floor Area for the elements identified in the immediately preceding recital; and

WHEREAS, the Board of Adjustment's decision is not consistent with the plain text of the definition of Floor Area, not consistent with the legislative intent of the City Commission, and not consistent with the intent and purpose of the land development regulations; and

WHEREAS, the Mayor and City Commission now desire to codify and re-affirm the Planning Director's longstanding interpretation and declare that no exception to the definition of Floor Area exists other than those exceptions explicitly defined in the Land Development Regulations. For the avoidance of doubt, the following building elements are – and always have been -- included in the calculation of floor area: (1) covered steps, stairways and stairwells; (2) elevator shafts at every floor and mezzanine level; and (3) mechanical chutes and chases at every floor and mezzanine level.

NOW THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COMMISSION OF THE CITY OF MIAMI BEACH, FLORIDA.

Section 1. Chapter 114 of the City Code, entitled "General Provisions," is hereby amended as follows:

CHAPTER 114 – GENERAL PROVISIONS

Sec. 114-1.-Definitions

The following words, terms and phrases when used in this subpart B, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:

* * *

Floor area means the sum of the gross horizontal areas of the floors of a building or buildings, measured from the exterior faces of exterior walls or from the exterior face of an architectural projection, from the centerline of walls separating two attached buildings. For the purpose of clarity, floor area includes, but is not limited to, stairwells, stairways, covered steps, elevator shafts at every floor (including mezzanine level elevator shafts), and mechanical chutes and chases at every floor (including mezzanine level).

~~However, the floor area of a building shall not include the following~~ For the avoidance of doubt, unless otherwise provided for in these land development regulations, floor area excludes only the spaces expressly identified below:

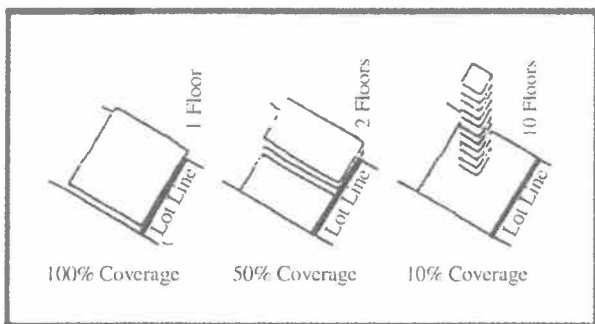
- (1) Accessory water tanks or cooling towers.

- (2) Uncovered steps.
- (3) Attic space, whether or not a floor actually has been laid, providing structural headroom of less than seven feet six inches.
- (4) Terraces, breezeways, or open porches.
- (5) Floor space used for required accessory off-street parking spaces. However, up to a maximum of two spaces per residential unit may be provided without being included in the calculation of the floor area ratio.
- (6) Commercial parking garages and noncommercial parking garages when such structures are the main use on a site.
- (7) Mechanical equipment rooms located above main roof deck.
- (8) Exterior unenclosed private balconies.
- (9) Floor area located below grade when the top of the slab of the ceiling is located at or below grade. However, if any portion of the top of the slab of the ceiling is above grade, the floor area that is below grade shall be included in the floor area ratio calculation. Despite the foregoing, for existing contributing structures that are located within a local historic district, national register historic district, or local historic site, when the top of the slab of an existing ceiling of a partial basement is located above grade, one-half of the floor area of the corresponding floor that is located below grade shall be included in the floor area ratio calculation.
- (10) Enclosed garbage rooms, enclosed within the building on the ground floor level.

Volumetric buildings, used for storage, where there are no interior floors, the floor area shall be calculated as if there was a floor for every eight feet of height.

When transfer of development rights are involved, see chapter 118, article V for additional regulations that address floor area.

Floor area ratio means the floor area of the building or buildings on any lot divided by the area of the lot.



Each example illustrated above has a floor area ratio of 1.0.

*

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*

SECTION 2. Repealer.

All ordinances or parts of ordinances and all section and parts of sections in conflict herewith are hereby repealed.

SECTION 3. Codification.

It is the intention of the City Commission, and it is hereby ordained that the provisions of this ordinance shall become and be made part of the Code of the City of Miami Beach as amended; that the sections of this ordinance may be renumbered or relettered to accomplish such intention; and that the word "ordinance" may be changed to "section" or other appropriate word.

SECTION 4. Severability.

If any section, subsection, clause or provision of this Ordinance is held invalid, the remainder shall not be affected by such invalidity.

SECTION 5. Effective Date.

This Ordinance shall take effect ten days following adoption.

PASSED AND ADOPTED this _____ day of _____, 2019.

Dan Gelber, Mayor

ATTEST:

Rafael E. Granado, City Clerk

APPROVED AS TO FORM
AND LANGUAGE
AND FOR EXECUTION

Paul C. Smith 12-3-19
City Attorney Date

First Reading: _____, 2020.

Second Reading: _____, 2020

Verified By: _____
Thomas R. Mooney, AICP
Planning Director

Definition of Floor Area

ORDINANCE NO. _____

AN ORDINANCE OF THE MAYOR AND CITY COMMISSION OF THE CITY OF MIAMI BEACH, FLORIDA, AMENDING SUBPART B OF THE CITY CODE, ENTITLED "LAND DEVELOPMENT REGULATIONS," CHAPTER 114, ENTITLED "GENERAL PROVISIONS," SECTION 114-1, ENTITLED "DEFINITIONS," TO MODIFY FOR CLARIFICATION PURPOSES THE DEFINITION OF "FLOOR AREA"; AND PROVIDING FOR REPEALER, SEVERABILITY, CODIFICATION, AND AN EFFECTIVE DATE.

WHEREAS, City Code Section 114-1 sets forth explicit definitions of the technical terms "floor area" and "floor area ratio," and provides specific requirements for the measurement and calculation of floor area; and

WHEREAS, the City relies upon the terms "floor area" and "floor area ratio" as objective intensity standards for the control of population densities, building intensities, and for comprehensively planning the necessary public infrastructure to support orderly growth and development; and

WHEREAS, one purpose of the City's regulation of a property's maximum floor area and/or floor area ratio ("FAR") is to provide a quantifiable and objective mechanism to control both the size and intensity, as well as the overall mass, of a building; and

WHEREAS, pursuant to City Code Section 114-1, the term "floor area" means "the sum of the gross horizontal areas of the floors of a building or buildings, measured from the exterior faces of exterior walls or from the exterior face of an architectural projection, from the centerline of walls separating two attached buildings"; and

WHEREAS, Section 114-1 enumerates ten elements of a building that are excluded from the definition of "floor area"; and

WHEREAS, if a building element is not listed as an exclusion from the calculation of "floor area," then the element is deemed to be included in the calculation of "floor area"; and

WHEREAS, the City has consistently counted elevator shafts, stairwells, and mechanical chutes and chases as "floor area" for more than 48 years; and

WHEREAS, on two prior occasions in 1994, the Planning Director was formally asked to determine whether the definition of floor area includes voids in floors to accommodate elevator shafts, voids in floors to accommodate mechanical/ventilation/trash shafts, and stairwells; and

WHEREAS, on both occasions, the Planning Director concluded that voids in floors to accommodate elevator shafts, voids in floors to accommodate mechanical/ventilation/trash shafts, and stairwells were included in the definition of floor area; and

WHEREAS, on both occasions, the Board of Adjustment affirmed the administrative determinations of the Planning Director; and

WHEREAS, on July 10, 2019, the Planning Director issued a determination concluding that the following elements are included within the definition of floor area: (1) voids in floors to accommodate elevator shafts; (2) voids in floors to accommodate mechanical/ventilation/trash shafts; and (3) voids in floors to accommodate stairwells, including voids to accommodate stairwells within accessory garages; and

WHEREAS, in a clear departure from its limited quasi-judicial authority, the Board of Adjustment voted on November 1, 2019, to reverse the July 10, 2019 determination, and effectively amend the Land Development Regulations—without the authority to do so—to create a new exclusion from the definition of Floor Area for the elements identified in the immediately preceding recital; and

WHEREAS, the Board of Adjustment’s decision is not consistent with the plain text of the definition of Floor Area, not consistent with the legislative intent of the City Commission, and not consistent with the intent and purpose of the land development regulations; and

WHEREAS, the Mayor and City Commission now desire to codify and re-affirm the Planning Director’s longstanding interpretation and declare that no exception to the definition of Floor Area exists other than those exceptions explicitly defined in the Land Development Regulations. For the avoidance of doubt, the following building elements are – and always have been -- included in the calculation of floor area: (1) covered steps, stairways and stairwells; (2) elevator shafts at every floor and mezzanine level; and (3) mechanical chutes and chases at every floor and mezzanine level.

NOW THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COMMISSION OF THE CITY OF MIAMI BEACH, FLORIDA.

Section 1. Chapter 114 of the City Code, entitled “General Provisions,” is hereby amended as follows:

CHAPTER 114 – GENERAL PROVISIONS

Sec. 114-1.-Definitions

The following words, terms and phrases when used in this subpart B, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:

* * *

Floor area means the sum of the gross horizontal areas of the floors of a building or buildings, measured from the exterior faces of exterior walls or from the exterior face of an architectural projection, from the centerline of walls separating two attached buildings. For the purpose of clarity, floor area includes, but is not limited to, stairwells, stairways, covered steps, elevator shafts at every floor (including mezzanine level elevator shafts), and mechanical chutes and chases at every floor (including mezzanine level).

~~However, the floor area of a building shall not include the following~~ For the avoidance of doubt, unless otherwise provided for in these land development regulations, floor area excludes only the spaces expressly identified below:

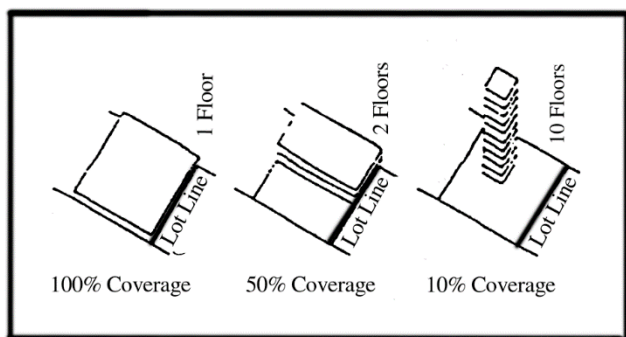
- (1) Accessory water tanks or cooling towers.

- (2) Uncovered steps.
- (3) Attic space, whether or not a floor actually has been laid, providing structural headroom of less than seven feet six inches.
- (4) Terraces, breezeways, or open porches.
- (5) Floor space used for required accessory off-street parking spaces. However, up to a maximum of two spaces per residential unit may be provided without being included in the calculation of the floor area ratio.
- (6) Commercial parking garages and noncommercial parking garages when such structures are the main use on a site.
- (7) Mechanical equipment rooms located above main roof deck.
- (8) Exterior unenclosed private balconies.
- (9) Floor area located below grade when the top of the slab of the ceiling is located at or below grade. However, if any portion of the top of the slab of the ceiling is above grade, the floor area that is below grade shall be included in the floor area ratio calculation. Despite the foregoing, for existing contributing structures that are located within a local historic district, national register historic district, or local historic site, when the top of the slab of an existing ceiling of a partial basement is located above grade, one-half of the floor area of the corresponding floor that is located below grade shall be included in the floor area ratio calculation.
- (10) Enclosed garbage rooms, enclosed within the building on the ground floor level.

Volumetric buildings, used for storage, where there are no interior floors, the floor area shall be calculated as if there was a floor for every eight feet of height.

When transfer of development rights are involved, see chapter 118, article V for additional regulations that address floor area.

Floor area ratio means the floor area of the building or buildings on any lot divided by the area of the lot.



Each example illustrated above has a floor area ratio of 1.0.

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SECTION 2. Repealer.

All ordinances or parts of ordinances and all section and parts of sections in conflict herewith are hereby repealed.

SECTION 3. Codification.

It is the intention of the City Commission, and it is hereby ordained that the provisions of this ordinance shall become and be made part of the Code of the City of Miami Beach as amended; that the sections of this ordinance may be renumbered or relettered to accomplish such intention; and that the word "ordinance" may be changed to "section" or other appropriate word.

SECTION 4. Severability.

If any section, subsection, clause or provision of this Ordinance is held invalid, the remainder shall not be affected by such invalidity.

SECTION 5. Effective Date.

This Ordinance shall take effect ten days following adoption.

PASSED AND ADOPTED this _____ day of _____, 2019.

Dan Gelber, Mayor

ATTEST:

Rafael E. Granado, City Clerk

APPROVED AS TO FORM
AND LANGUAGE
AND FOR EXECUTION

City Attorney

Date

First Reading: _____, 2020.

Second Reading: _____, 2020

Verified By: _____
Thomas R. Mooney, AICP
Planning Director