

BOARD OF ADJUSTMENT AGENDA
1700 CONVENTION CENTER DRIVE 3RD FL.
Friday, May 3, 2019, 9:00 AM | City Commission Chambers

- I. ATTENDANCE
- II. APPROVAL OF MINUTES
- III. CITY ATTORNEY UPDATES
- IV. SWEARING IN OF PUBLIC
- V. REQUESTS FOR CONTINUANCES/WITHDRAWALS
- VI. REQUESTS FOR EXTENSIONS OF TIME
- VII. DISCUSSION ITEMS
- VIII. PROGRESS REPORT
- IX. MODIFICATION OF PREVIOUSLY APPROVED BOARD ORDER
- X. CONTINUED ITEMS
- XI. OPEN AND CONTINUED ITEMS
- XII. NEW APPLICATIONS
- XIII. APPEALS (BOA ONLY)
- XIV. OTHER BUSINESS
- XV. ADJOURNMENT

AGENDA ITEMS

ATTENDANCE

APPROVAL OF MINUTES

- 1. After Action: March 01, 2019

REQUESTS FOR CONTINUANCES/WITHDRAWALS

NEW APPLICATIONS

- 2. ZBA18-0086, 1746 Cleveland Road
- 3. ZBA18-0075, 1375 Marseille Drive

ADJOURNMENT

Applications listed herein have been filed with the Planning Department for review by the Board of Adjustments, pursuant Section 118-136 of the City's Land Development Regulations. All persons are invited to attend this meeting or be represented by an agent, or to express their views in writing addressed to the

Board of Adjustments c/o the Planning Department, 1700 Convention Center Drive, 2nd Floor, Miami Beach, Florida 33139. Applications for items listed herein are available for public inspection at the following link: or during normal business hours at the Planning Department, 1700 Convention Center Drive, 2nd Floor, Miami Beach, Florida 33139. Inquiries may be directed to the Department at (305) 673-7550.

Any items listed in this agenda may be continued. Under such circumstances, additional legal notice would not be provided. Please contact the Planning Department at (305) 673-7550 for information on the status of continued items.

Pursuant to Section 286.0105, Fla. Stat., the City hereby advises the public that: Appeals of any decision made by this Board with respect to any matter considered at its meeting or hearing, such person will need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. This notice does not constitute consent by the City for the introduction or admission of otherwise inadmissible or irrelevant evidence, nor does it authorize challenges or appeals not otherwise allowed by law.

To request this material in alternate format, sign language interpreter (five-business day notice is required), information on access for persons with disabilities, and accommodation to review any document or participate in any city-sponsored proceedings, call 305.604.2489 and select 1 for English or 2 for Spanish, then option 6; TTY users may call via 711 (Florida Relay Service).

BOARD OF ADJUSTMENT MINUTES
1700 CONVENTION CENTER DRIVE 3RD FL.
Friday, March 1, 2019, 9:00 AM | City Commission Chambers

- I. ATTENDANCE
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-

AGENDA ITEMS

ATTENDANCE

APPROVAL OF MINUTES

1. After Action: January 4, 2019

Motion to approve the minutes of the January 4, 2019 meeting.

Motion to Approve
Moved By: James Orlowsky
Supported By: Richard Segal

Ayes: Fox, Goldberg, Klein , Orlowsky, Segal, Urquiza

Absent: Baron

MOTION Passed

REQUESTS FOR CONTINUANCES/WITHDRAWALS

NEW APPLICATIONS

2. ZBA18-0079: 1349 Dade Boulevard -Appeal

Motion to deny the request for appeal.

Motion to Deny
Moved By: Elsa Urquiza
Supported By: Richard Segal

Ayes: Fox, Goldberg, Klein , Orlowsky, Segal, Urquiza

Absent: Baron

MOTION Passed

OTHER BUSINESS

3. Appointment of Chair

Motion to appoint Barton Goldberg as the Chair if the Board of Adjustment

Motion to Approve
Moved By: Richard Segal
Supported By: James Orlowsky

Ayes: Fox, Goldberg, Klein , Orlowsky, Segal, Urquiza

Absent: Baron

MOTION Passed

4. Appointment of Vice-Chair

Motion to appoint Richard Segal as vice-chair of the Board of Adjustment

Motion to Approve
Moved By: James Orlowsky
Supported By:

Ayes: Fox, Goldberg, Klein , Orlowsky, Segal, Urquiza

Absent: Baron

MOTION Passed

ADJOURNMENT

Applications listed herein have been filed with the Planning Department for review by the Board of Adjustments, pursuant Section 118-136 of the City's Land Development Regulations. All persons are invited to attend this meeting or be represented by an agent, or to express their views in writing addressed to the Board of Adjustments c/o the Planning Department, 1700 Convention Center Drive, 2nd Floor, Miami Beach, Florida 33139. Applications for items listed herein are available for public inspection at the following link: or during normal business hours at the Planning Department, 1700 Convention Center Drive, 2nd Floor, Miami Beach, Florida 33139. Inquiries may be directed to the Department at (305) 673-7550.

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MIAMI BEACH

PLANNING DEPARTMENT

1700 Convention Center Drive, Miami Beach, Florida 33139; Tel: 305.673.7550; Web: www.miamibeachfl.gov/planning

LAND USE BOARD HEARING APPLICATION

The following application is submitted for review and consideration of the project described herein by the land use board selected below. A separate application must be completed for each board reviewing the proposed project.

Application Information			
FILE NUMBER ZBA18-0086			
<input checked="" type="radio"/> Board of Adjustment <input type="checkbox"/> Variance from a provision of the Land Development Regulations <input type="checkbox"/> Appeal of an administrative decision		<input type="radio"/> Design Review Board <input type="checkbox"/> Design review approval <input type="checkbox"/> Variance	
<input type="radio"/> Planning Board <input type="checkbox"/> Conditional use permit <input type="checkbox"/> Lot split approval <input type="checkbox"/> Amendment to the Land Development Regulations or zoning map <input type="checkbox"/> Amendment to the Comprehensive Plan or future land use map		<input type="radio"/> Historic Preservation Board <input type="checkbox"/> Certificate of Appropriateness for design <input type="checkbox"/> Certificate of Appropriateness for demolition <input type="checkbox"/> Historic district/site designation <input type="checkbox"/> Variance	
<input type="checkbox"/> Other:			
Property Information - Please attach Legal Description as "Exhibit A"			
ADDRESS OF PROPERTY 1746 CLEVELAND RD, MIAMI BEACH, FL 33141			
FOLIO NUMBER(S) 02-3203-001-0790			
Property Owner Information			
PROPERTY OWNER NAME KEITH FERGUSON			
ADDRESS 1746 CLEVELAND RD,	CITY MIAMI BEACH	STATE FL	ZIP CODE 33141
BUSINESS PHONE	CELL PHONE 305-282-1323	EMAIL ADDRESS KFERGUSON@TRLM.COM	
Applicant Information (if different than owner)			
APPLICANT NAME KEITH FER. GUSON			
ADDRESS	CITY	STATE	ZIP CODE
BUSINESS PHONE	CELL PHONE	EMAIL ADDRESS	
Summary of Request			
PROVIDE A BRIEF SCOPE OF REQUEST PROPOSING A NEW GARAGE FOR THE HOME. FRONT SETBACK VARIANCE WILL BE NEEDED. 20 FT REQUIRED, 13'-2" PROPOSED, 6'-10 VARIANCE REQUESTED.			

Project Information			
Is there an existing building(s) on the site?		<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Does the project include interior or exterior demolition?		MINIMAL <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Provide the total floor area of the new construction.		GARAGE	420.5 SQ. FT.
Provide the gross floor area of the new construction (including required parking and all usable area).			SQ. FT.
Party responsible for project design			
NAME ARCHI-DIEM DEV. INC.		<input type="checkbox"/> Architect <input checked="" type="checkbox"/> Contractor <input checked="" type="checkbox"/> Engineer <input type="checkbox"/> Tenant	<input type="checkbox"/> Landscape Architect <input type="checkbox"/> Other
ADDRESS 6600 SW 43RD ST		CITY Miami	STATE FL ZIPCODE 33155
BUSINESS PHONE	CELL PHONE 954-275-4261	EMAIL ADDRESS MRAULRIVERA@GMAIL.COM	
Authorized Representative(s) Information (if applicable)			
NAME		<input type="checkbox"/> Attorney <input type="checkbox"/> Contact <input type="checkbox"/> Agent <input type="checkbox"/> Other	
ADDRESS		CITY	STATE ZIPCODE
BUSINESS PHONE	CELL PHONE	EMAIL ADDRESS	
NAME		<input type="checkbox"/> Attorney <input type="checkbox"/> Contact <input type="checkbox"/> Agent <input type="checkbox"/> Other	
ADDRESS		CITY	STATE ZIPCODE
BUSINESS PHONE	CELL PHONE	EMAIL ADDRESS	
NAME		<input type="checkbox"/> Attorney <input type="checkbox"/> Contact <input type="checkbox"/> Agent <input type="checkbox"/> Other	
ADDRESS		CITY	STATE ZIPCODE
BUSINESS PHONE	CELL PHONE	EMAIL ADDRESS	

Please note the following information:

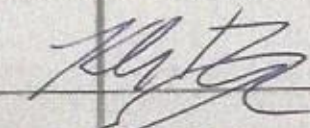
- A separate disclosure of interest form must be submitted with this application if the applicant or owner is a corporation, partnership, limited partnership or trustee.
- All applicable affidavits must be completed and the property owner must complete and sign the "Power of Attorney" portion of the affidavit if they will not be present at the hearing, or if other persons are speaking on their behalf.
- To request this material in alternate format, sign language interpreter (five-day notice is required), information on access for persons with disabilities, and accommodation to review any document or participate in any City sponsored proceedings, call 305.604.2489 and select (1) for English or (2) for Spanish, then option 6; TTY users may call via 711 (Florida Relay Service).

Please read the following and acknowledge below:

- Applications for any board hearing(s) will not be accepted without payment of the required fees. All checks are to be made payable to the "City of Miami Beach".
- Public records notice - All documentation submitted for this application is considered a public record subject to Chapter 119 of the Florida Statutes and shall be disclosed upon request.
- In accordance with the requirements of Section 2-482 of the code of the City of Miami Beach, any individual or group that will be compensated to speak or refrain from speaking in favor or against an application being presented before any of the City's land use boards, shall fully disclose, prior to the public hearing, that they have been, or will be compensated. Such parties include: architects, engineers, landscape architects, contractors, or other persons responsible for project design, as well as authorized representatives attorneys or agents and contact persons who are representing or appearing on behalf of a third party; such individuals must register with the City Clerk prior to the hearing.
- In accordance with Section 118-31. - Disclosure Requirement. Each person or entity requesting approval, relief or other action from the Planning Board, Design Review Board, Historic Preservation Board or the Board of Adjustment shall disclose, at the commencement (or continuance) of the public hearing(s), any consideration provided or committed, directly or on its behalf, for an agreement to support or withhold objection to the requested approval, relief or action, excluding from this requirement consideration for legal or design professional service rendered or to be rendered. The disclosure shall: (I) be in writing, (II) indicate to whom the consideration has been provided or committed, (III) generally describe the nature of the consideration, and (IV) be read into the record by the requesting person or entity prior to submission to the secretary/clerk of the respective board. Upon determination by the applicable board that the foregoing disclosure requirement was not timely satisfied by the person or entity requesting approval, relief or other action as provided above, then (I) the application or order, as applicable, shall immediately be deemed null and void without further force or effect, and (II) no application from said person or entity for the subject property shall be reviewed or considered by the applicable board(s) until expiration of a period of one year after the nullification of the application or order. It shall be unlawful to employ any device, scheme or artifice to circumvent the disclosure requirements of this section and such circumvention shall be deemed a violation of the disclosure requirements of this section.
- When the applicable board reaches a decision a final order will be issued stating the board's decision and any conditions imposed therein. The final order will be recorded with the Miami-Dade Clerk of Courts. The original board order shall remain on file with the City of Miami Beach Planning Department. Under no circumstances will a building permit be issued by the City of Miami Beach without a copy of the recorded final order being included and made a part of the plans submitted for a building permit.

The aforementioned is acknowledged by:

☒ Owner of the subject property ☐ Authorized representative

X  SIGNATURE
Keith Ferguson PRINT NAME
12/18/18 DATE SIGNED

OWNER AFFIDAVIT FOR INDIVIDUAL OWNER

STATE OF FL

COUNTY OF Dade

I, Keith Ferguson, being first duly sworn, depose and certify as follows: (1) I am the owner of the property that is the subject of this application. (2) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (3) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (4) I also hereby authorize the City of Miami Beach to enter my property for the sole purpose of posting a Notice of Public Hearing on my property, as required by law. (5) I am responsible for remove this notice after the date of the hearing.

Sworn to and subscribed before me this 18th day of December, 2018. The foregoing instrument was acknowledged before me by Keith Ferguson, who has produced FL DL as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

My Commission Expires: 04-05-2020



[Signature]

SIGNATURE

[Signature]

NOTARY PUBLIC

Yesenia Hung
PRINT NAME

ALTERNATE OWNER AFFIDAVIT FOR CORPORATION, PARTNERSHIP OR LIMITED LIABILITY COMPANY

STATE OF _____

COUNTY OF _____

I, _____, being first duly sworn, depose and certify as follows: (1) I am the _____ [print title] of _____ [print name of corporate entity]. (2) I am authorized to file this application on behalf of such entity. (3) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (4) The corporate entity named herein is the owner of the property that is the subject of this application. (5) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (6) I also hereby authorize the City of Miami Beach to enter my property for the sole purpose of posting a Notice of Public Hearing on my property, as required by law. (7) I am responsible for remove this notice after the date of the hearing.

Sworn to and subscribed before me this _____ day of _____, 20____. The foregoing instrument was acknowledged before me by _____, who has produced _____ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

My Commission Expires: _____

NOTARY PUBLIC

PRINT NAME

POWER OF ATTORNEY AFFIDAVITSTATE OF FLCOUNTY OF Dade

I, KEITH FERGUSON, being first duly sworn, depose and certify as follows: (1) I am the owner or representative of the owner of the real property that is the subject of this application. (2) I hereby authorize MOISES PAUL RIVERA to be my representative before the BOA Board. (3) I also hereby authorize the City of Miami Beach to enter my property for the sole purpose of posting a Notice of Public Hearing on my property, as required by law. (4) I am responsible for remove this notice after the date of the hearing.

Keith Ferguson

PRINT NAME (and Title, if applicable)

[Signature]

SIGNATURE

Sworn to and subscribed before me this 18th day of December, 2018. The foregoing instrument was acknowledged before me by Keith Ferguson, who has produced FL DL as identification and/or is personally known to me and who did/did not make an oath.

NOTARY SEAL OR STAMP

My Commission Expires: 04-05-2020[Signature]

NOTARY PUBLIC

Yesenia Hung

PRINT NAME

CONTRACT FOR PURCHASE

If the applicant is not the owner of the property, but the applicant is a party to a contract to purchase the property, whether or not such contract is contingent on this application, the applicant shall list the names of the contract purchasers below, including any and all principal officers, stockholders, beneficiaries or partners. If any of the contract purchasers are corporations, partnerships, limited liability companies, trusts, or other corporate entities, the applicant shall further disclose the identity of the individuals(s) (natural persons) having the ultimate ownership interest in the entity. If any contingency clause or contract terms involve additional individuals, corporations, partnerships, limited liability companies, trusts, or other corporate entities, list all individuals and/or corporate entities.

NAME

DATE OF CONTRACT

NAME, ADDRESS AND OFFICE

% OF STOCK

In the event of any changes of ownership or changes in contracts for purchase, subsequent to the date that this application is filed, but prior to the date of a final public hearing, the applicant shall file a supplemental disclosure of interest.

DISCLOSURE OF INTEREST
CORPORATION, PARTNERSHIP OR LIMITED LIABILITY COMPANY

If the property that is the subject of the application is owned or leased by a corporation, partnership or limited liability company, list ALL of the owners, shareholders, partners, managers and/or members, and the percentage of ownership held by each. If the owners consist of one or more corporations, partnerships, trusts, partnerships or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity.

[illegible]

If there are additional corporate owners, list such owners, including corporate name and the name, address and percentage of ownership of each additional owner, on a separate page.

DISCLOSURE OF INTEREST
TRUSTEE

N/A

If the property that is the subject of the application is owned or leased by a trust, list any and all trustees and beneficiaries of the trust, and the percentage of interest held by each. If the owners consist of one or more corporations, partnerships, trusts, partnerships or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity.

TRUST NAME	
NAME AND ADDRESS	% INTEREST

COMPENSATED LOBBYIST

N/A

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Pursuant to Section 2-482 of the Miami Beach City Code, all lobbyists shall, before engaging in any lobbying activities, register with the City Clerk. Please list below any and all persons or entities retained by the applicant to lobby City staff or any of the City's land development boards in support of this application.

NAME	ADDRESS	PHONE

Additional names can be placed on a separate page attached to this application.

APPLICANT HEREBY ACKNOWLEDGES AND AGREES THAT (1) AN APPROVAL GRANTED BY A LAND DEVELOPMENT BOARD OF THE CITY SHALL BE SUBJECT TO ANY AND ALL CONDITIONS IMPOSED BY SUCH BOARD AND BY ANY OTHER BOARD HAVING JURISDICTION, AND (2) APPLICANT'S PROJECT SHALL COMPLY WITH THE CODE OF THE CITY OF MIAMI BEACH AND ALL OTHER APPLICABLE CITY, STATE AND FEDERAL LAWS.

APPLICANT AFFIDAVIT

STATE OF FL
COUNTY OF Dade

I, Keith Ferguson, being first duly sworn, depose and certify as follows: (1) I am the applicant or representative of the applicant. (2) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief.

[Signature]
SIGNATURE

Sworn to and subscribed before me this 19th day of December, 2018. The foregoing instrument was acknowledged before me by Keith Ferguson, who has produced FL DL as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

[Signature]
NOTARY PUBLIC
Yessenia Hung
PRINT NAME

My Commission Expires: 04-05-2020



Planning Department, 1700 Convention Center Drive 2nd Floor
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

Property address: 1746 Cleveland Road Board: BOA Date: 5/30/18

BOARD APPLICATION CHECK LIST

A Pre-Application meeting must be scheduled via CAP to obtain a plan case number and for board staff review of all submittals.
Pre-Application meetings for applications that do not require a traffic study are scheduled on a first come-first served basis and must occur no later than five(5) business days prior to CAP First submittal.
Applications requiring a traffic study must meet with Planning, Transportation, and peer reviewer sixty (60) days* prior to First submittal deadline to determine the methodology for the traffic impact study. This meeting is considered the "Pre-Application meeting" and must be scheduled via CAP to obtain a plan case number for review and payment of fees. Thirty (30) days before First submittal, applicant must provide the traffic study via CAP (see Transportation Department's requirements check list). The Transportation Department/Peer Reviewer will submit first round of comments 15 days prior to First submittal. Applicant must address comments and submit revised traffic study/plans for CAP First submittal deadline.
Incomplete, or submittals found to be insufficient will not be placed on a Board agenda.

ITEM #	FIRST SUBMITTAL (VIA CAP) ** To be uploaded online (CAP) by the applicant before 5:00 pm by First submittal deadline. ALL PLANS MUST BE DIMENSIONED AND LEGIBLE. INCLUDE A GRAPHIC SCALE.	Required
1	Application Fee and Peer review fees shall be paid after Pre-Application meeting and before the First submittal. It is the applicant's responsibility to make this payment, if an invoice is not generated by the CAP system, the applicant should contact staff prior to first submittal to be invoiced and make payment.	✓
2	Copy of signed and dated check list issued at Pre-Application meeting.	✓
3	Completed Board Application, Affidavits & Disclosures of Interest (original signatures).	✓
4	Signed and dated Letter of Intent. Letter must outline application details and identify hardships if Variances are requested. (see also Items # 42,43 and 44).	✓
5	Mailing Labels: Upload property owner's list and copy of original certified letter from provider. See #52 for submittal of Hard copy / originals of these items.	✓
6	Copies of all current or previously active Business Tax Receipts.	
7	School Concurrency Application for projects with a net increase in residential units (no SFH). Provide Planning Department - Miami Dade - School Concurrency Application for Transmittal	
8	Survey: Electronic version of original signed & sealed, dated no more than six months from date of application. Survey must provide: lot area, grade per Section 114-1 of the City Code. (If no sidewalk exists, provide the elevation of the crown of the road) and spot elevations.	✓
9	Architectural Plans and Exhibits (must be 11"x 17")	✓
a	Cover Sheet with bullet point scope of work, clearly labeled "First Submittal" and dated with First Submittal deadline date. Include copies of previous recorded board orders, if applicable.	✓
b	Copy of the original survey included in plan package. See No. 8 above for survey requirements	✓
c	All Applicable Zoning Information (Use Planning Department zoning data sheet format).	✓
d	Context Location Plan, Min 8.5"x11" Color Aerial 1/2 mile radius, identifying project and showing name of streets. (no Google images)	✓
e	Full legal description of the property if not included in survey (for lengthy legal descriptions, attach as a separate document - label clearly).	✓
f	Existing FAR Shaded Diagrams (Single Family Districts: Unit Size and Lot Coverage Shaded Diagrams), if applicable	✓
g	Proposed FAR Shaded Diagrams(Single Family Districts: Unit Size and Lot Coverage Shaded Diagrams), if applicable.	✓
h	Site Plan (fully dimensioned with setbacks, existing and proposed, including adjacent right-of-way widths).	✓

* 60 day lead time for projects including traffic studies is necessary to ensure completion of review and required corrections by Final submittal deadline. Applications cannot be scheduled without evaluated and corrected traffic studies.

Indicate N/A If Not Applicable

Initials: 

Planning Department, 1700 Convention Center Drive 2nd Floor
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

Property address: 1746 Cleveland Road

i	Current color photographs, dated, Min 4"x 6" of project site and existing structures (no Google images)	✓
j	Current, color photographs, dated, Min 4"x6" of interior space (no Google images)	✓
k	Current color photographs, dated, Min 4"x 6" of context, corner to corner, across the street and surrounding properties with a key directional plan (no Google images)	✓
l	Existing Conditions Drawings (Floor Plans & Elevations with dimensions). Number of seats, furniture layout if applicable	✓
m	Demolition Plans (Floor Plans & Elevations with dimensions)	✓
n	Proposed Floor Plans and Roof Plan, including mechanical equipment plan and section marks. Plans shall indicate location of all property lines and setbacks.	✓
o	Proposed Elevations, materials & finishes noted (showing grade, base flood elevation, heights in NGVD values and free board if applicable)	✓
p	Proposed Section Drawings	
q	Color Renderings (elevations and three dimensional perspective drawings).	✓
10	Landscape Plans and Exhibits (must be 11"x 17")	✓
a	Landscape Plan - street and onsite - identifying existing, proposed landscape material, lighting, irrigation, raised curbs, tree survey and tree disposition plan, as well as underground and overhead utilities when street trees are required.	✓
b	Hardscape Plan, i.e. paving materials, pattern, etc.	
11	Copy of original Building Permit Card, & Microfilm, if available.	
12	Copy of previously approved building permits. (provide building permit number).	
13	Existing and Proposed detailed topographic survey depicting existing spot grades (NAVD) as well as all underground/overhead utilities and easements/agreements with recording data. See Part 1 / Section 1 / A. Surveying & Mapping Standards and submittal Requirements of the Public Works Manual. http://www.miamibeachfl.gov/publicworks/engineering/engineeringmanual.aspx?id=12920	
14	Vacant/Unoccupied structures or sites shall provide recent photographic evidence that the site and structure are secured and maintained. The applicant shall obtain and post a No Trespassing Sign from the City's Police Dept.	
15	Historic Resources Report (This report shall include, but not be limited to, copy of the original Building Permit Card and subsequent modifications, Microfilm records, existing condition analysis, photographic and written description of the history and evolution of the original building on the site, all available historic data including original plans, historic photographs and permit history of the structure and any other related information on the property.	
16	Contextual Elevation Line Drawings, corner to corner, across the street and surrounding properties (dated).	
17	Line of Sight studies.	
18	Structural Analysis of existing building including methodology for shoring and bracing.	
19	Proposed exterior and interior lighting plan, including photometric calculations.	
20	Exploded Axonometric Diagram (showing second floor in relationship to first floor).	
21	Neighborhood Context Study. (Planning will provide guidance if necessary for application.)	
22	Required yards open space calculations and shaded diagrams.	
23	Required yards section drawings.	
24	Variance and/or Waiver Diagram	
25	Schematic signage program	
26	Detailed sign(s) with dimensions and elevation drawings showing exact location.	
27	Elevation drawings showing area of building façade for sign calculation (Building ID signs).	
28	Daytime and nighttime renderings for illuminated signs.	

Indicate N/A If Not Applicable

Initials: 

Planning Department, 1700 Convention Center Drive 2nd Floor
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

Property address: 1746 Cleveland Road

29	Floor Plan Indicating area where alcoholic beverages will be displayed.	
30	Survey showing width of the canal (Dimension shall be certified by a surveyor)	
31	Site Plan showing total projection of structures from seawall, location and dimension of all structures inclusive of dock, mooring piles, boat lift, etc.	
32	DERM recommendation/preliminary approval. Docks or any structures shall have approval stamp from DERM or other regulatory agency before submitting for a variance. A letter from DERM or other agency, explaining specific requirements for the project is recommended.	
33	Technical specifications of the boat lift and/ or boat, ship of vessel to be docked or moored.	
34	Survey shall include spot elevations in rear yard and elevation points on the dune adjacent to the property. Provide highest elevation point on the due within the property. Erosion control line and Bulkhead line shall be indicated if present.	
35	Scaled, signed, sealed and dated specific purpose survey (Alcohol License/Distance Separation) distance shown on survey with a straight line.	
36	Proposed Operational Plan: Include deliveries and trash pickup times, hours of operations, number of employees, security and restaurant menu (if applicable).	
37	Maneuvering plan for loading within the existing/proposed conditions, delivery and garbage trucks size (length and width).	
38	Traffic Study, Site plan(s) : Revised version addressing first round of comments from Transportation Department and peer review. (See Transportation Department check list for requirements.)	
39	Sound Study report (Hard copy) with 1 CD.	
40	Site Plan (Identify streets and alleys)	
a	Identify: setbacks _____ Height _____ Drive aisle widths _____ Streets and sidewalks widths _____	
b	# parking spaces & dimensions _____ Loading spaces locations & dimensions _____	
c	# of bicycle parking spaces _____	
d	Interior and loading area location & dimensions _____	
e	Street level trash room location and dimensions _____	
f	Delivery route _____ Sanitation operation _____ Valet drop-off & pick-up _____ Valet route in and out _____	
g	Valet route to and from _____ auto-turn analysis for delivery and sanitation vehicles _____	
h	Indicate any backflow preventer and FPL vault if applicable	
i	Indicate location of the area included in the application if applicable	
j	Preliminary on-street loading plan	
41	Floor Plan (dimensioned)	
a	Total floor area	
b	Identify # seats indoors _____ outdoors _____ seating in public right of way _____ Total _____	
c	Occupancy load indoors and outdoors per venue _____ Total when applicable _____	
42	The letter of Intent shall include and respond to all sea level rise and resiliency review criteria per section 133-50 of the City Code.	✓
43	The Letter of Intent for Variances shall include and respond to all review guidelines in the code as follows:	✓
a	Section 118-53 (d) of the City Code for each Variance.	✓
44	The Letter of Intent for Planning Board shall include and respond to all review guidelines in the code as follows:	
a	For Conditional Use -Section 118-192 (a)(1)-(7)	
b	CU -Entertainment Establishments - Section 142-1362 (a)(1)-(9)	
c	CU - Mechanical Parking - Section 130-38 (3)(c)(i)(1)-(2) & (4)(a)-(k)	
d	CU - Structures over 50,000 SQ.FT. - Section 118-192 (b) (1)-(11)	
e	CU - Religious Institutions - Section 118-192 (c) (1)-(11)	

Indicate N/A If Not Applicable

Initials:

Planning Department, 1700 Convention Center Drive 2nd Floor
 Miami Beach, Florida 33139, www.miamibeachfl.gov
 305.673.7550

Property Address: 1746 Cleveland Road

f	For Lot Splits - Section 118-321 (B) (1)-(6). Also see application instructions	
	<i>Notes: The applicant is responsible for checking above referenced sections of the Code. If not applicable write N/A</i>	

****ADDITIONAL INFORMATION AS MAY BE REQUIRED AT THE PRE-APPLICATION MEETING**

ITEM #	FINAL SUBMITTAL (via CAP)
	Revised and/or supplemented documents and drawings to address staff comments. Plans should be clearly labeled "Final Submittal" and dated with Final Submittal deadline date. Upload documents online (via CAP) before 5:00 pm on final submittal deadline. Staff will review and issue a notice to proceed to Paper Final submittal or to continue submittal to a future meeting if the application is found incomplete.
45	Traffic Study, Site plan(s): This is the final traffic study including any modifications required to address comments from the City's Transportation Department. City's required permit by FDOT should be obtained prior to Final submittal (via CAP).

ITEM #	PAPER FINAL SUBMITTAL:	Required
46	Original application with all signed and notarized applicable affidavits and disclosures.	✓
47	Original of all applicable items.	✓
48	One (1) signed and sealed 11"X17" bound, collated set of all the required documents.	✓
49	14 collated copies of all required documents	✓
50	One (1) CD/DVD with electronic copy of entire final application package (plans, application, Letter of Intent, traffic/sound study, etc.) see CD/DVD formatting attached, for instructions.	✓
51	Traffic Study (Hard copy)	
52	Mailing Labels -2 sets of gummed labels and a CD including: Property owner's list and Original certified letter from provider.	✓

ADDITIONAL INFORMATION AND ACKNOWLEDGEMENTS

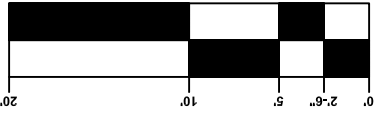
- A. Other information/documentation required for First submittal will be identified during Pre-Application meeting but may be modified based on further analysis.
- B. It is the responsibility of the applicant to confirm that documents submitted via CAP, Paper Submittal sets (14 copies), and electronic version on CD are consistent with each other and legible.
- C. Plan revisions and supplemental documentation will not be accepted after the Final Submittal deadline
- D. All documents required for Board applications must be submitted in an electronic format (PDF) via CD in the manner prescribed herein. The CD is considered the "Formal Submission", and must include the electronic version of all hard copy documents associated with the application. A new Updated CD will be required if any modifications are made before or after hearing. Failure to comply with the aforementioned may result in a rehearing before the applicable board at the applicant's expense.
- E. Please note that the applicant will be required to submit revised plans pursuant to applicable Board Conditions no later than 60 days after Board Approval. (If applicable)


 Applicant's or designee's signature

5/30/18
 Date

Indicate N/A If Not Applicable

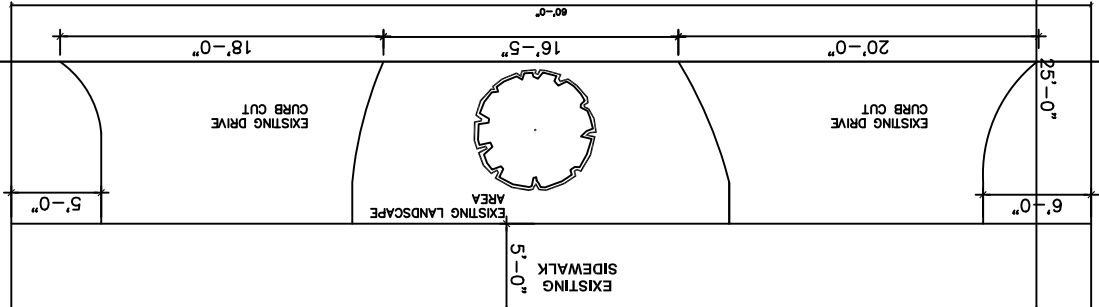
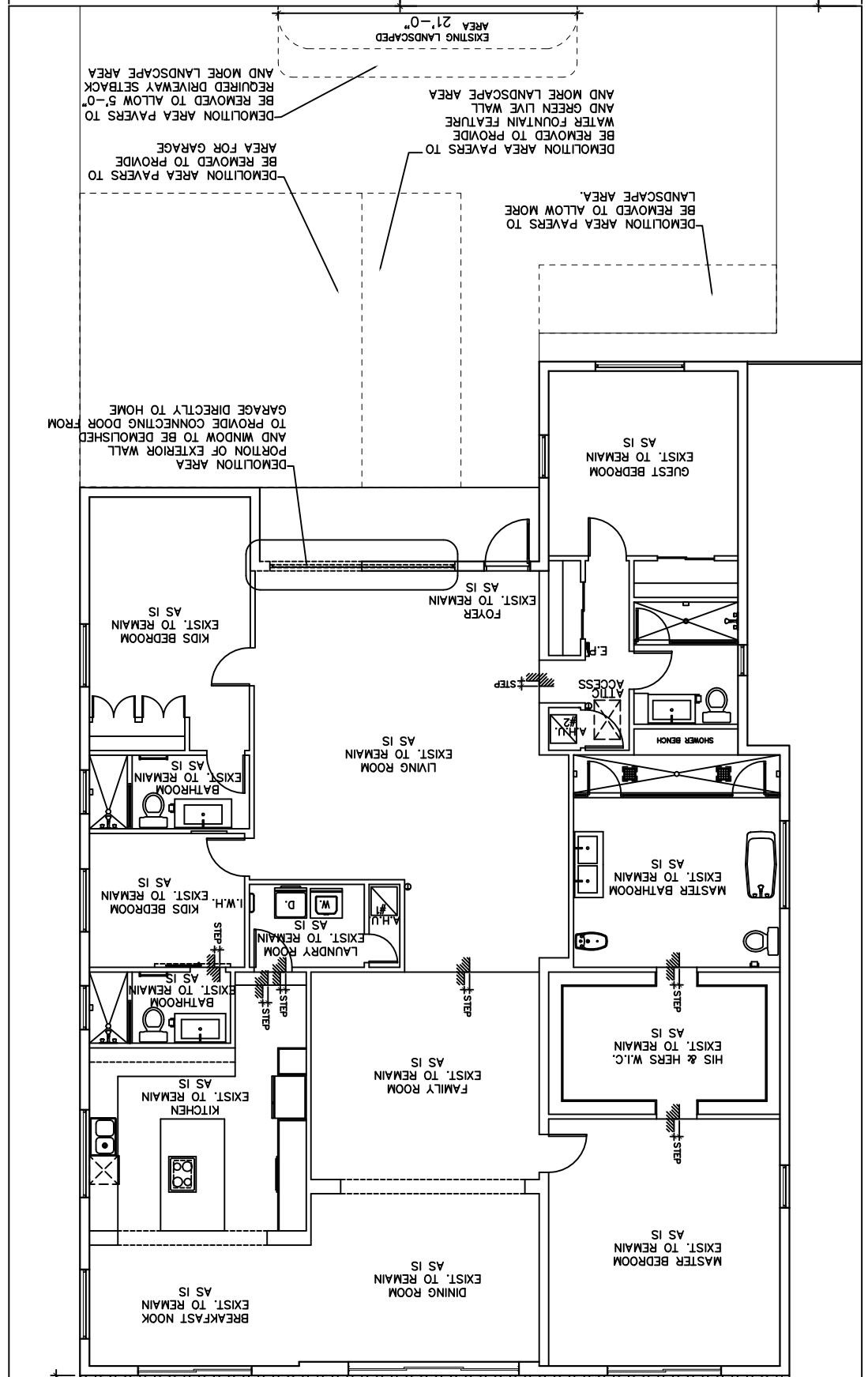
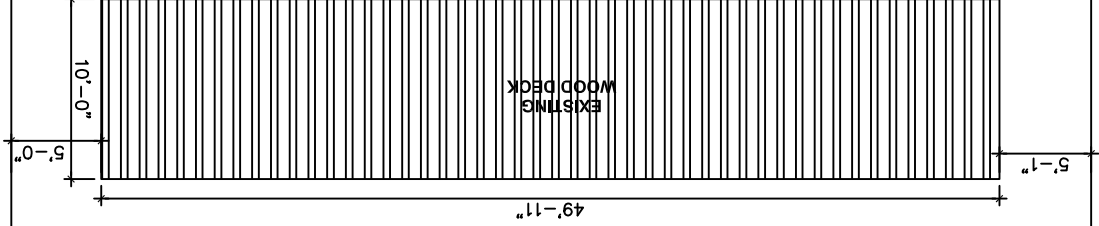
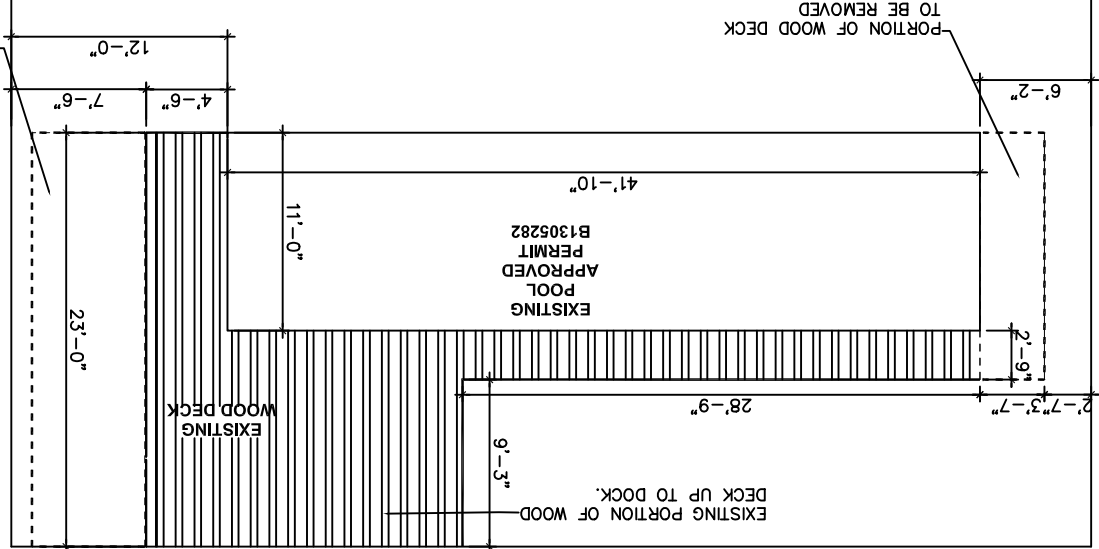
Initials: 

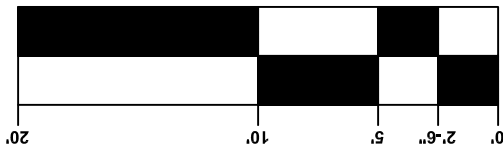


CLEVELAND RD.
DEMOLITION FLOOR PLAN
SCALE: 3/32"
CL.

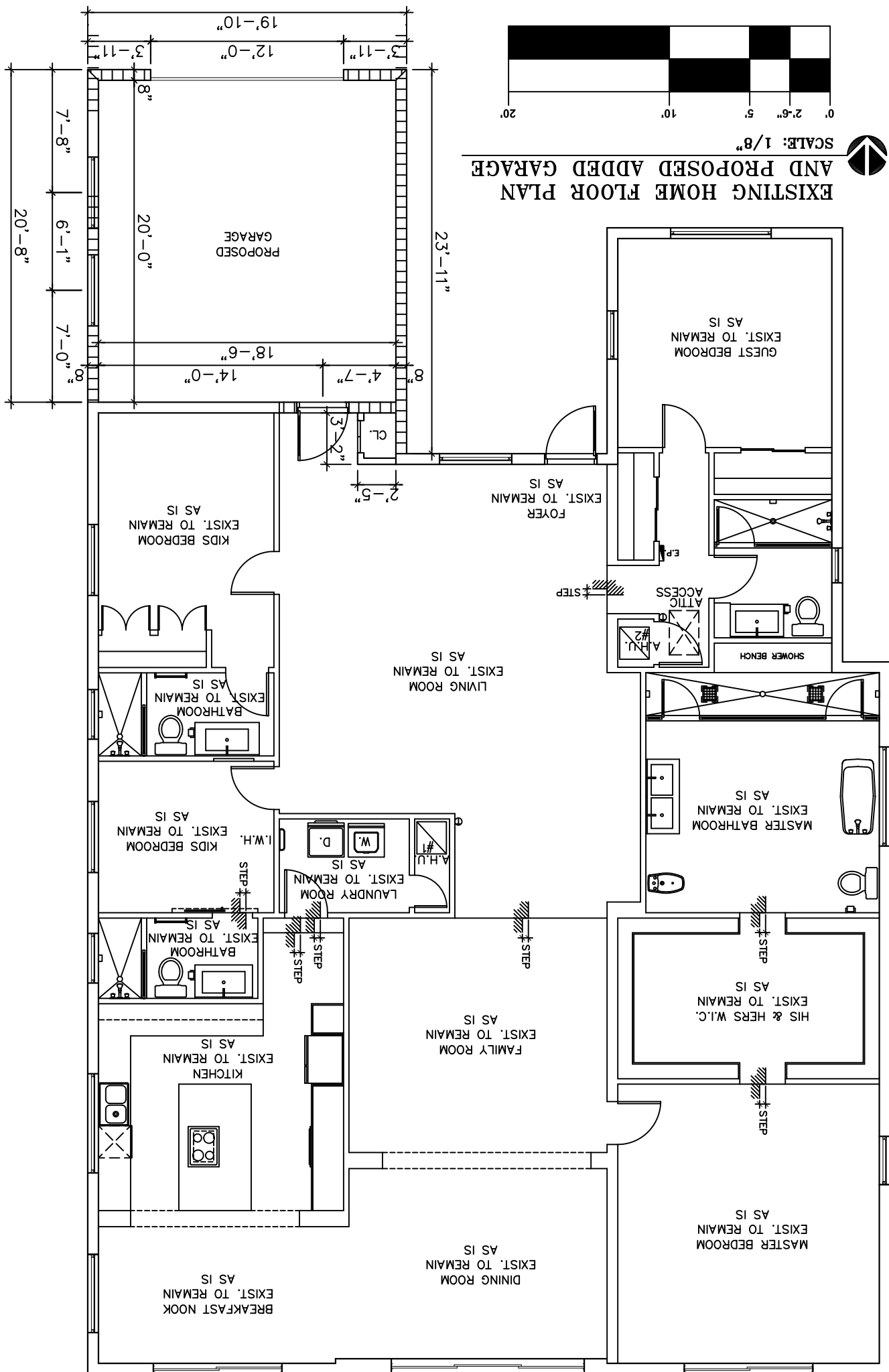
PORTION OF WOOD DECK
TO BE REMOVED

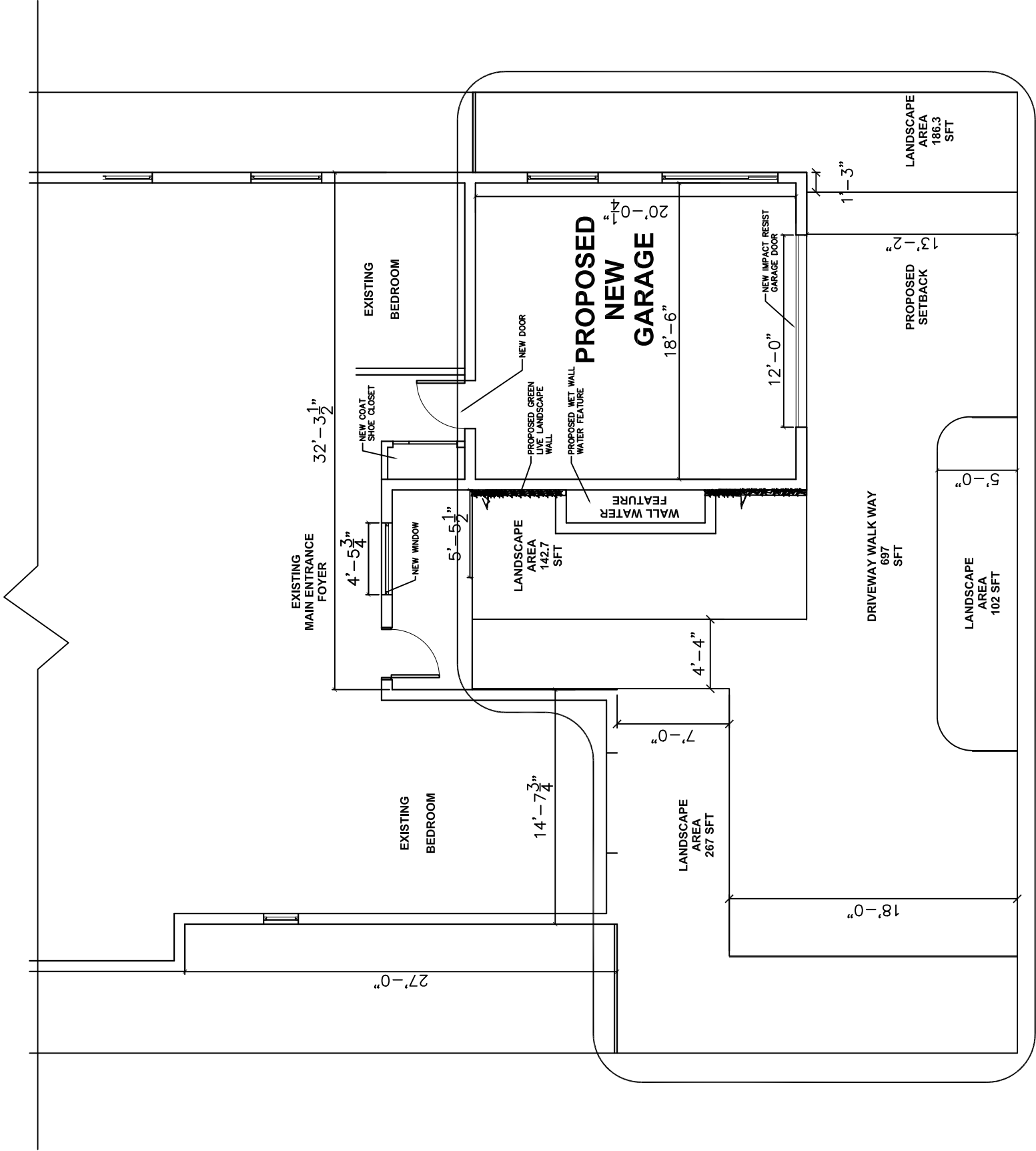
PORTION OF WOOD DECK
TO BE REMOVED





EXISTING HOME FLOOR PLAN
AND PROPOSED ADDED GARAGE





TOTAL FRONT YARD
AREA = 1,395

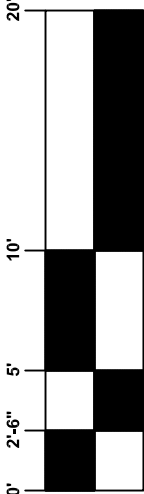
698 SFT FRONT YARD
LANDSCAPE AREA

697 SFT FRONT YARD
DRIVEWAY AREA



FRONT YARD DIAGRAM

SCALE: 1/8"

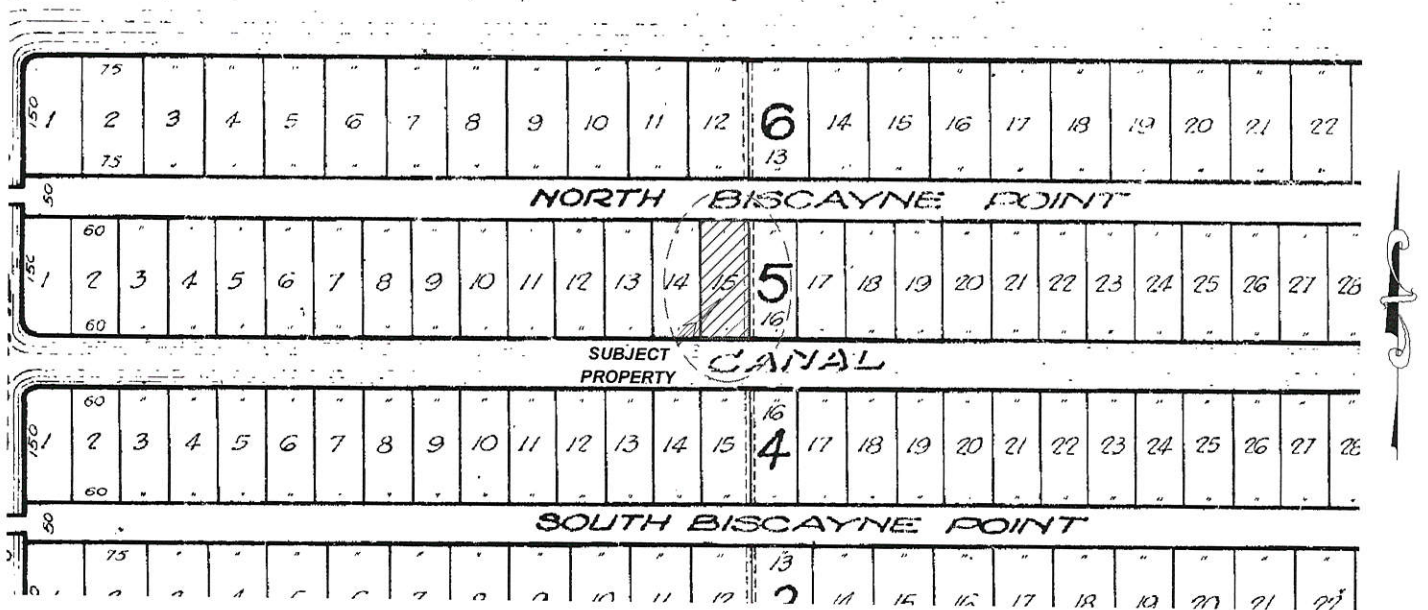


SURVEY OF LOT 15, BLOCK 5, OF BISCAYNE POINT SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 14, PAGE 35, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

PROPERTY ADDRESS: 1746 CLEVELAND RD, MIAMI BEACH, FL 33141
FOR: KEITH F FERGUSON

LOCATION SKETCH

Scale 1" = NT.S.



ABBREVIATION AND MEANING

A = ARC	FNIP. = FEDERAL NATIONAL INSURANCE PROGRAM	RAD. = RADIUS OF RADIAL
A/C = AIR CONDITIONER PAD	IN.&EG. = INGRESS AND EGRESS EASEMENT	RGE. = RANGE
A.E. = ANCHOR EASEMENT	L.F.E. = LOWEST FLOOR ELEVATION	R.P. = RADIUS POINT
A/R = ALUMINIUM ROOF	L.M.E. = LAKE MAINTENANCE EASEMENT	R.O.E. = ROOF OVERHANG EASEMENT
A/S = ALUMINIUM SHED	L.P. = LIGHT POLE	R/W = RIGHT-OF-WAY
ASPH. = ASPHALT	M. = MEASURED DISTANCE	SEC. = SECTION
B.C. = BLOCK CORNER	M/H = MANHOLE	S.I.P. = SET IRON PIPE L.B. #6044
B.C.R. = BROWARD COUNTY RECORDS	N.A.P. = NOT A PART OF	SWK. = SIDEWALK
B.M. = BENCH MARK	NGVD = NATIONAL GEODETIC VERTICAL DATUM	T = TANGENT
B.O.B. = BASIS OF BEARINGS	N.T.S. = NOT TO SCALE	TWP = TOWNSHIP
C = CALCULATED	O.H.L. = OVERHEAD UTILITY LINES	U.E. = UTILITY EASEMENT
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CL = CLEAR	P.C. = POINT OF CURVE	∠ = ANGLE
C.L.F. = CHAIN LINK FENCE	P.C.C. = POINT OF COMPOUND CURVE	△ = CENTRAL ANGLE
C.M.E. = CANAL MAINTENANCE EASEMENTS	PL. = PLANTER	⊕ = CENTER LINE
CONC. = CONCRETE	P.L.S. = PROFESSIONAL LAND SURVEYOR	⊙ = MONUMENT LINE
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C.S. = CONCRETE SLAB	P.O.C. = POINT OF COMMENCEMENT	
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E.T.P. = ELECTRIC TRANSFORMER PAD	PT. = POINT OF TANGENCY	
F.F.E. = FINISHED FLOOR ELEVATION	PVMT. = PAVEMENT	
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F.I.P. = FOUND IRON PIPE	R. = RECORD DISTANCE	
F.I.R. = FOUND IRON ROD		
F.N. = FOUND NAIL		
F.N.D. = FOUND NAIL & DISK		

LEGEND TYPICAL

—OH—	OVERHEAD UTILITY LINES
	C.B.S. = WALL (CBW)
—X—X—	C.L.F. = CHAIN LINK FENCE
—O—O—	I.F. = IRON FENCE
—W—W—	W.F. = WOOD FENCE
x 0.00	= EXISTING ELEVATIONS

SURVEYOR'S NOTES

1) IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY. IF NOT, THEN BEARINGS ARE REFERRED TO COUNTY, TOWNSHIP MAPS.
2) THIS IS A SPECIFIC PURPOSE SURVEY.
3) THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT.
4) IF SHOWN, ELEVATIONS ARE REFERRED TO MIAMI-DADE COUNTY.
ALL ELEVATIONS SHOWN ARE REFERRED TO NATIONAL GEOGRAPHIC VERTICAL DATUM OF 1929 MIAMI DADE COUNTY BENCH MARK NO. O-180 LOCATOR NO. 3220 SE ELEVATION 3.51 FEET OF N.G.V.D. OF 1929

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY: THAT THIS "BOUNDARY SURVEY" OF THE PROPERTY DESCRIBED HEREON, AS RECENTLY SURVEYED AND DRAWN UNDER MY SUPERVISION, COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 61G17-6, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

BY: GEORGE IBARRA (DATE OF FIELD WORK)

10-19-18.

PROFESSIONAL LAND SURVEYOR NO. 2534
STATE OF FLORIDA (VALID COPIES OF THIS SURVEY WILL BEAR THE EMBOSSED SEAL OF THE ATTESTING LAND SURVEYOR).

REVISED ON:

REVISED ON:

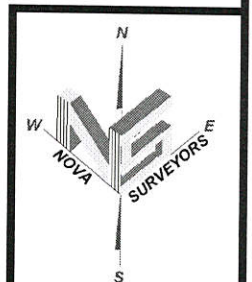
LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY ("SURVEY"):

- THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY.
- EXAMINATIONS OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY. THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD, AND LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.
- BOUNDARY SURVEY MEANS A DRAWING AND / OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND / OR NOT TO SCALE.
- EASEMENTS AS SHOWN ARE PER PLAT BOOK, UNLESS OTHERWISE SHOWN.
- THE TERM "ENCROACHMENT" MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS.
- ARCHITECTS SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS AND SETBACKS, AND THEY WILL BE RESPONSIBLE FOR SUBMITTING PLOT PLANS WITH THE CORRECT INFORMATION FOR THEIR APPROVAL FOR AUTHORIZATION TO AUTHORITIES IN NEW CONSTRUCTIONS, UNLESS OTHERWISE NOTED. THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS.
- FENCE OWNERSHIP NOT DETERMINED.
- THIS PLAN OF SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED.
- HEREON, THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTY.
- THE SURVEYOR MAKES NO GUARANTEES AS TO THE ACCURACY OF THE INFORMATION BELOW. THE LOCAL F.E.M.A.
- AGENT SHOULD BE CONTACTED FOR VERIFICATION. THE FNIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN ZONE: AE COMMUNITY/PANEL/SUFFIX: 120651 0307 L DATE OF FIRM: 09/11/2009
BASE FLOOD ELEVATION: 8FT.

CERTIFIED TO: KEITH F FERGUSON

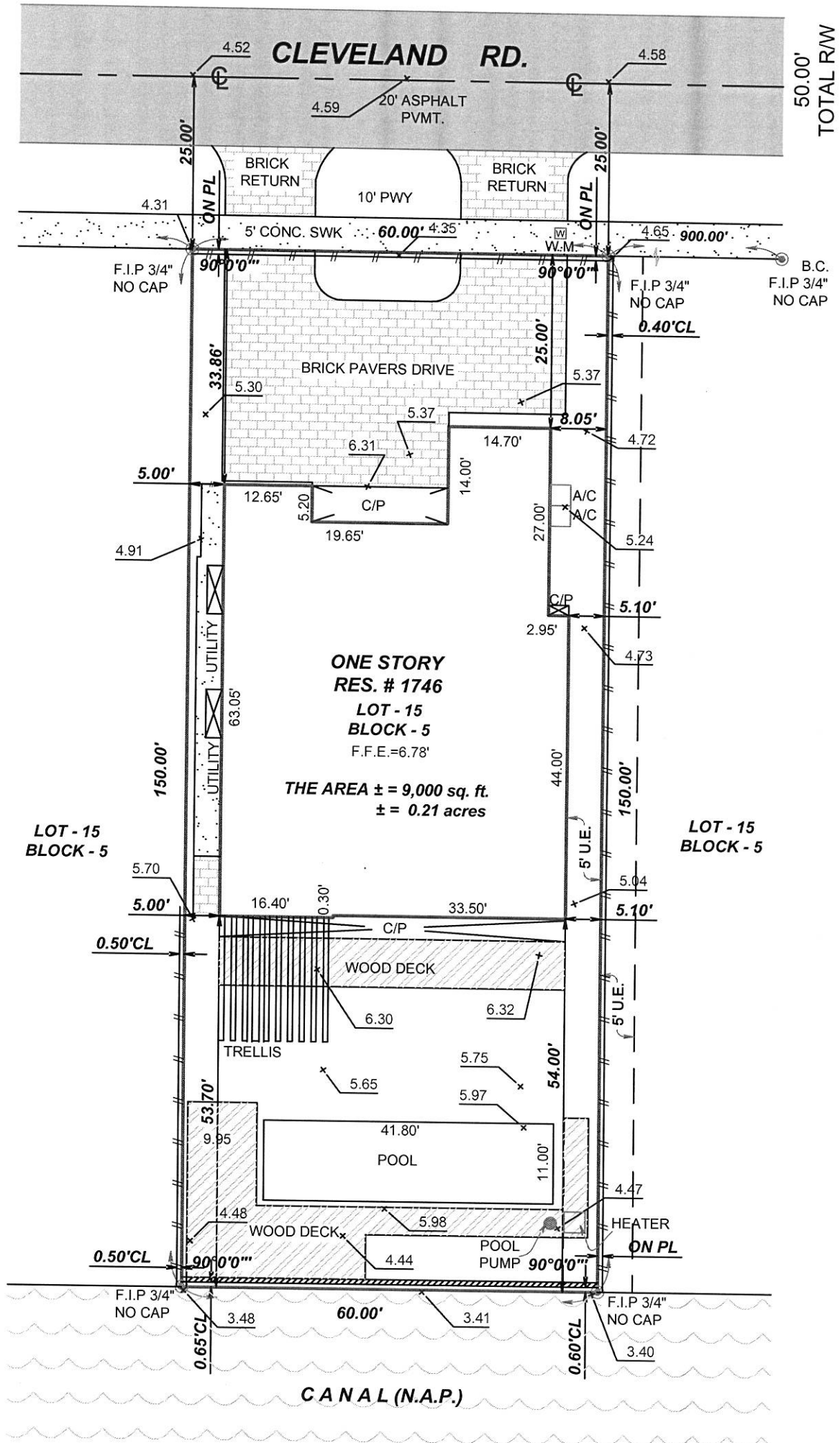


SURVEYOR'S SEAL



BOUNDARY SURVEY

SCALE = 1" = 20'



SURVEYOR'S NOTE:

- There may be Easements recorded in the Public Records not shown on this Survey.

December 16, 2018

Members of the Board of Adjustment
City of Miami Beach
1700 Convention Center Drive
Miami Beach, FL 33139

Re: 1746 CLEVELAND RD. Application to waive the required front setback to build a car garage.

Dear Members of the Board of Adjustment:

My name is Keith Ferguson: my family and I live at 1746 Cleveland Road. After carefully looking at many homes we finally found this home in September 2017. We have lived in Miami Beach for over fifteen years and were excited we found our new home here. Together with my wife and two young children, we decided this was the home we wanted. We love our neighborhood, we love the area and we plan to raise our children in this home. We would like to build a garage at the front area attached to the home structure. It will both provide protection from the elements for our family's car specially during hurricane season while also improving the property aesthetically thru a clean, less cluttered space while still maintaining openness and green elements as well as serve as storage for our kids bicycles and larger toys.

Due to the placement of the home within the lot in order to build the needed garage we will need to apply for a front set back variance. We have exhausted all other locations for this garage and the placement being proposed is the only area that will allow us to build it with minimum impact to the front setback, front yard and main front entrance of the home. The proposed garage will have a setback of 13'-2" as opposed to the required 20 ft. We respectfully are requesting a variance of 6'-10" in order to fit the car garage. This garage will be used only to store our cars. Our neighbors do not oppose our request. This addition to our home will complete our home while improving the appearance of our property. We will really appreciate your support.

As specified in Sec. 118-353. - Variance applications, it seems likely that the placement of the equipment in the requested area will qualify for the granting of a variance:

Sec. 118-353

In order to authorize any variance from the terms of these land development regulations and sections 6-4 and 6-41(a) and (b), the board of adjustment shall find that:

(1)Special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district; This property contains a home built in 1952 the house placement within the land will need a variance in order to fit a 20 ft interior depth dimension garage while still respecting all other setback requirements.

(2)The special conditions and circumstances do not result from the action of the applicant; The house was built in 1952 further addition to the rear of the property were made many years prior to applicant purchasing the home in September 2017, the house placement within the lot is not resulting as an action of the applicant

(3) Granting the variance requested will not confer on the applicant any special privilege that is denied by these land development regulations to other lands, buildings, or structures in the same zoning district; The granting of the variance will allow the applicant to have a car garage, an elements that other properties in the area have.

(4) Literal interpretation of the provisions of these land development regulations would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of these land development regulations and would work unnecessary and undue hardship on the applicant; Literal interpretation of the Code will not permit the location of the garage on the east side or the west side site due to the placement of the home within the lot and the required 20 ft front set back.

(5) The variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure;
This is a minimal variance, providing for reasonable use of the front yard.

(6) The granting of the variance will be in harmony with the general intent and purpose of these land development regulations and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare; and
This variance will not destroy the harmony of the Code not detrimental to our neighborhood.

(7) The granting of this request is consistent with the comprehensive plan and does not reduce the levels of service as set forth in the plan. The planning and zoning director may require applicants to submit documentation to support this requirement prior to the scheduling of a public hearing or anytime prior to the board of adjustment voting on the applicant's request.
This variance is consistent with the comprehensive plan and does not reduce the levels of service as set forth in that plan.

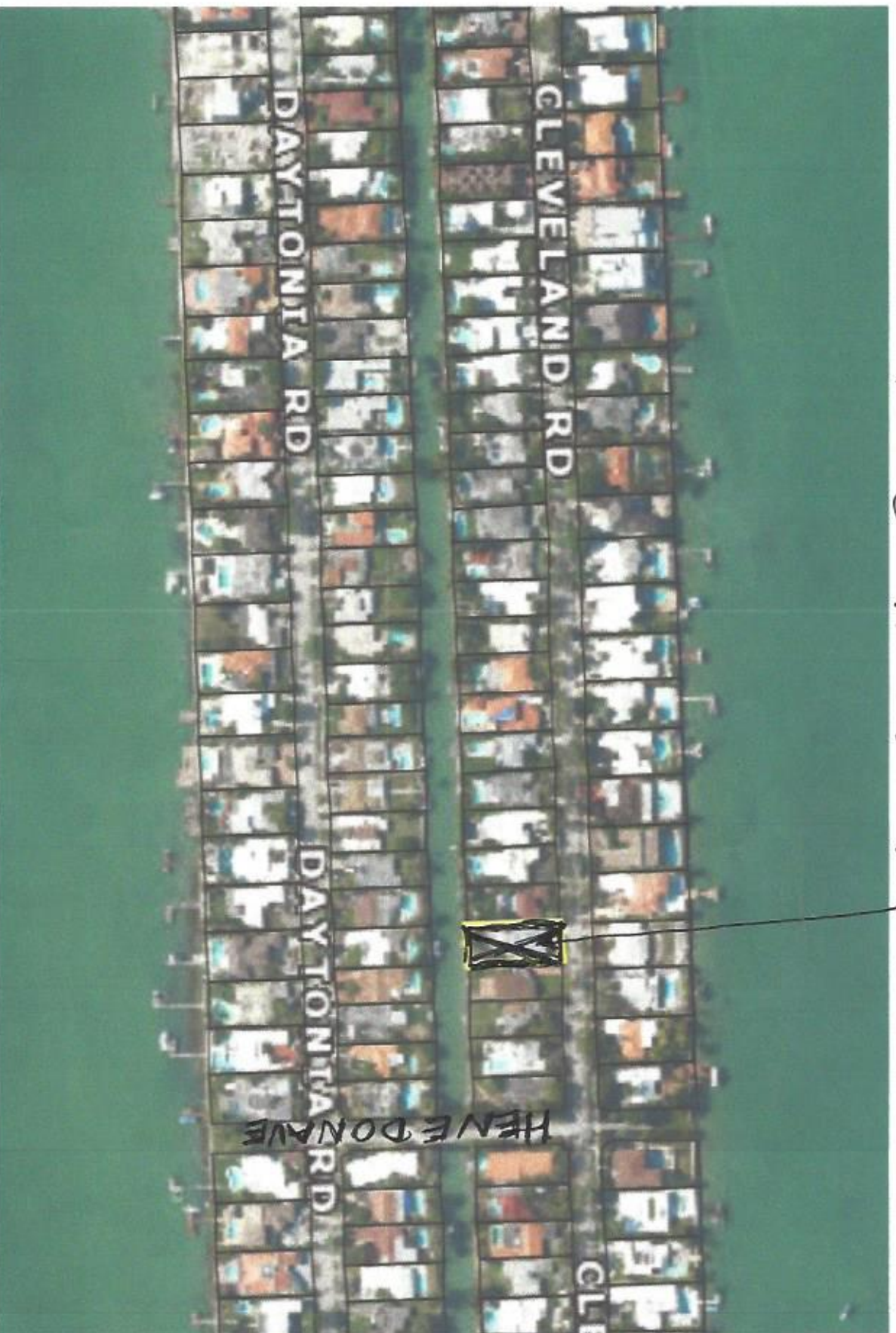
This project shall comply with section 133-50 Criteria Article II -Sea Level Rise and Resiliency Criteria, item 1 through 10 on criteria for development orders .

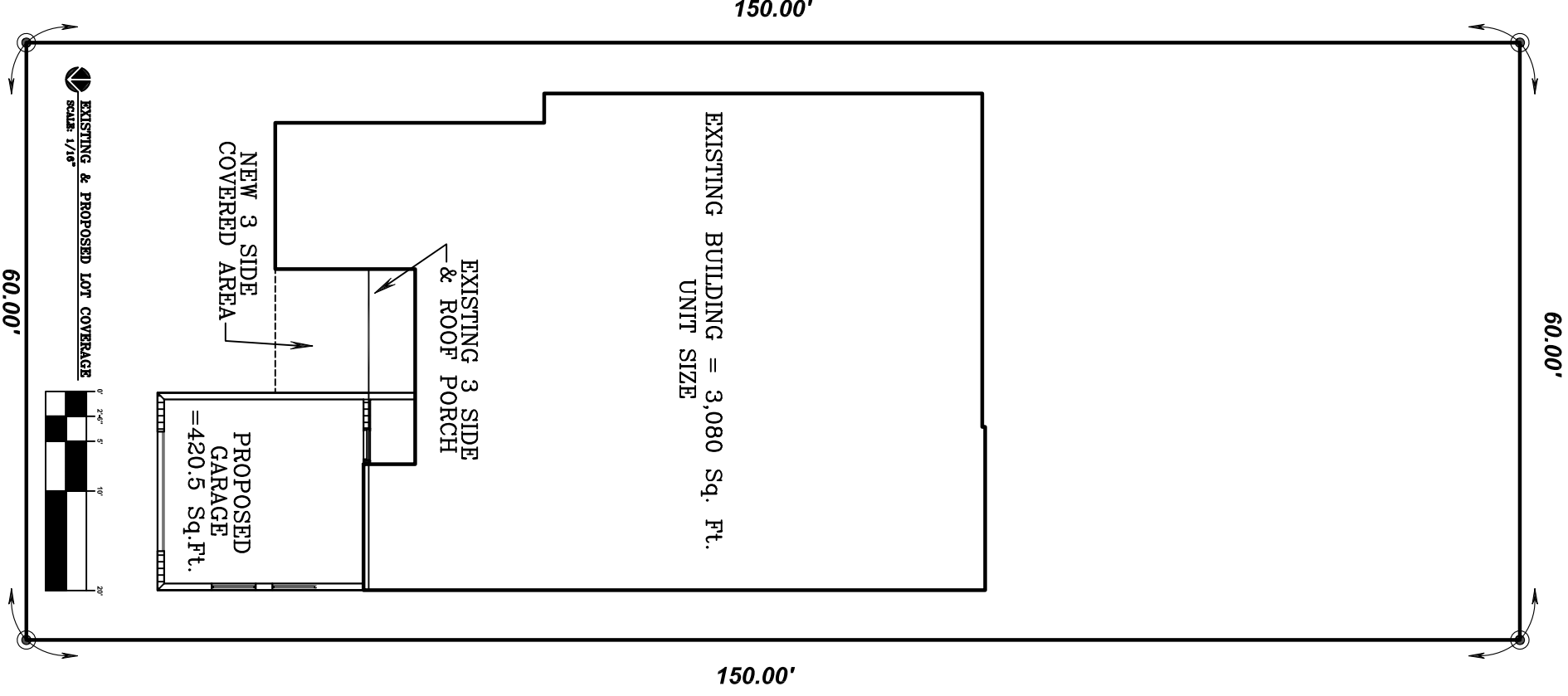
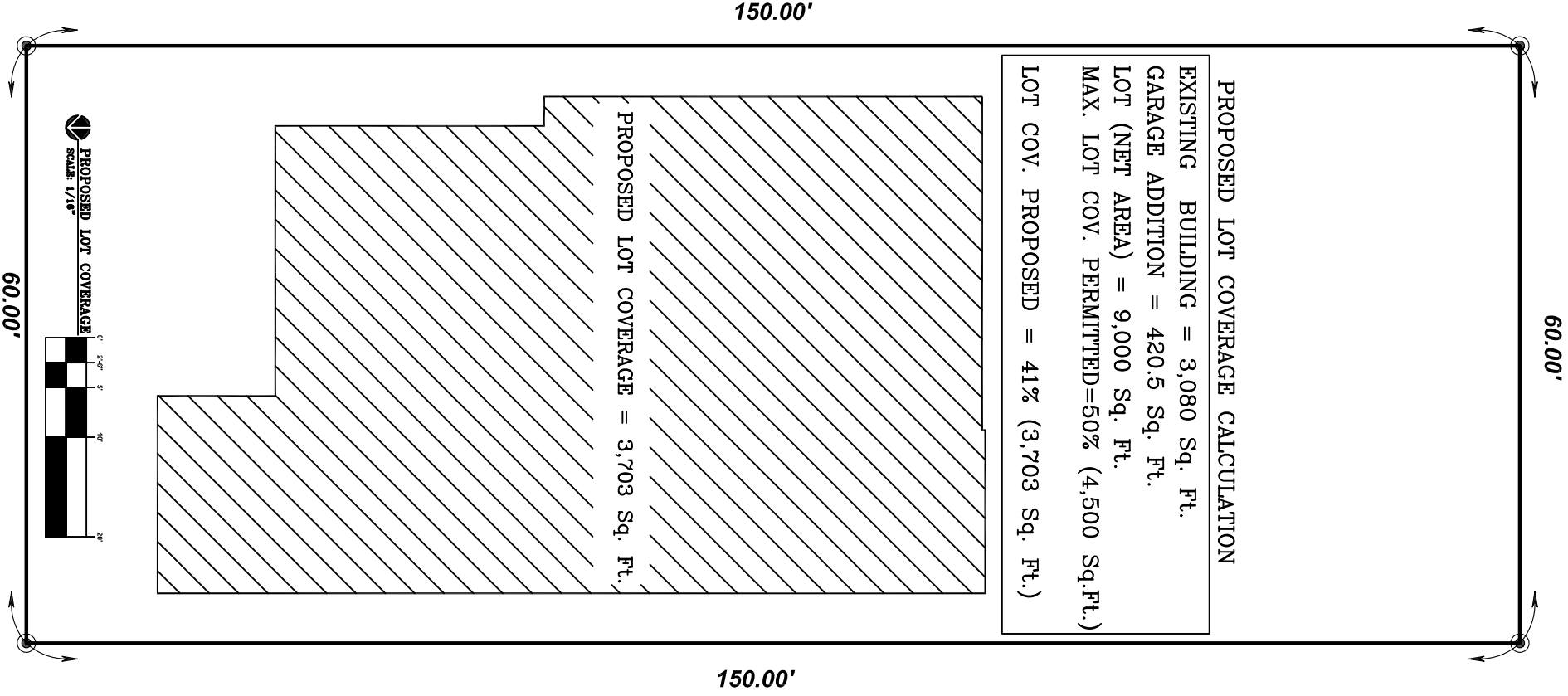
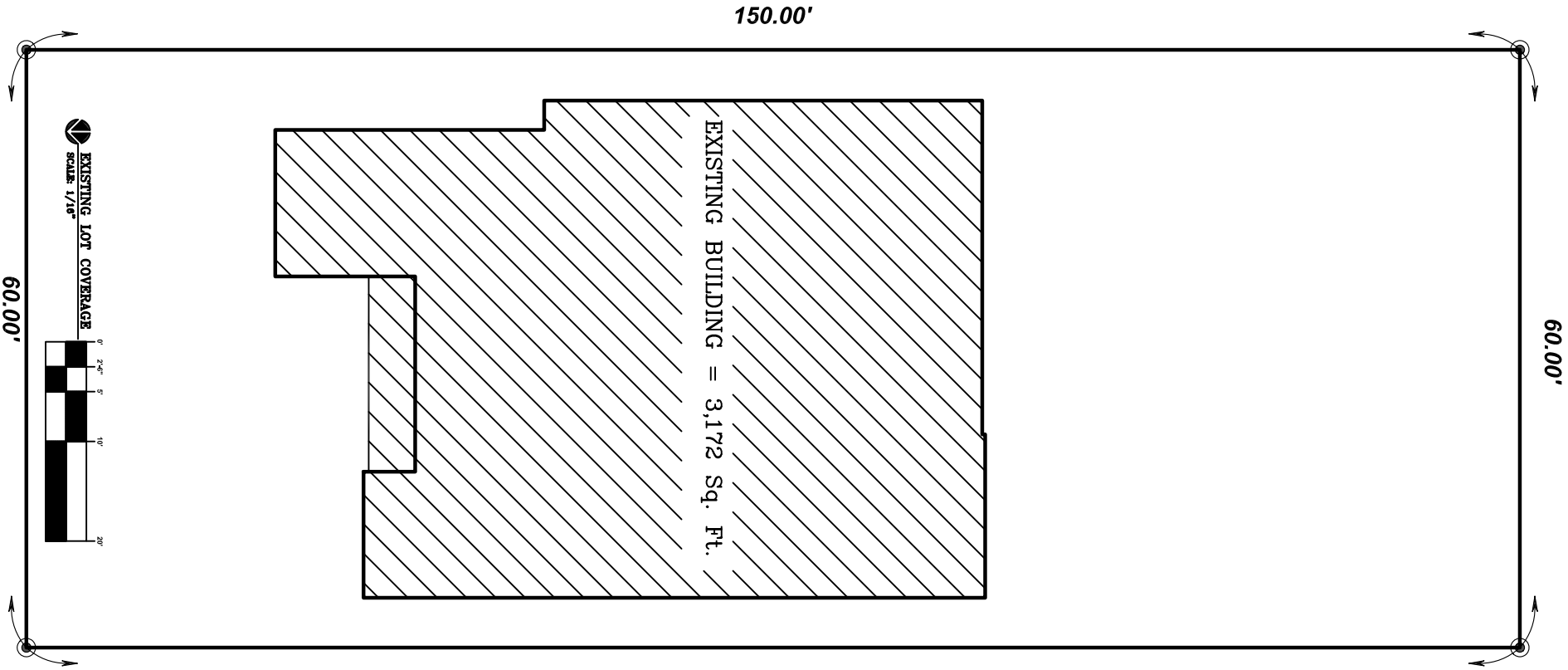
Based on the foregoing, the submitted supporting material, I respectfully request that the Board review and give favorable consideration to this application.

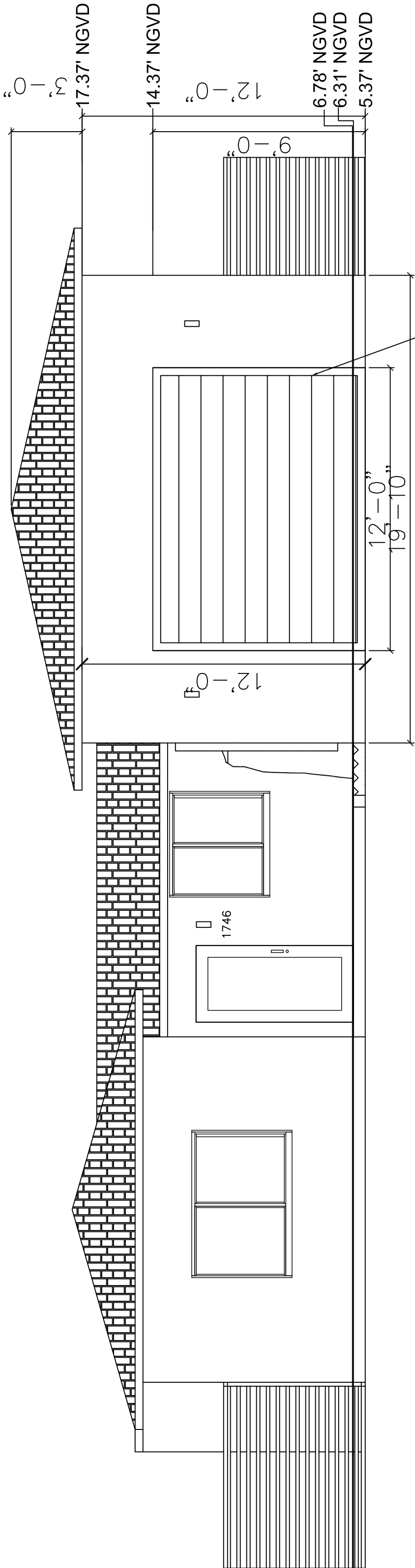
Sincerely,
Keith Ferguson

A handwritten signature in dark ink, appearing to be 'KF', written over a large, light-colored, irregular scribble or background mark.

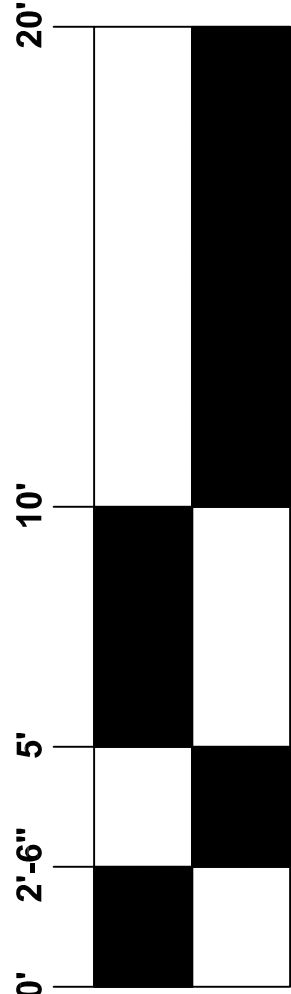
1746 CLEVELAND RD-7





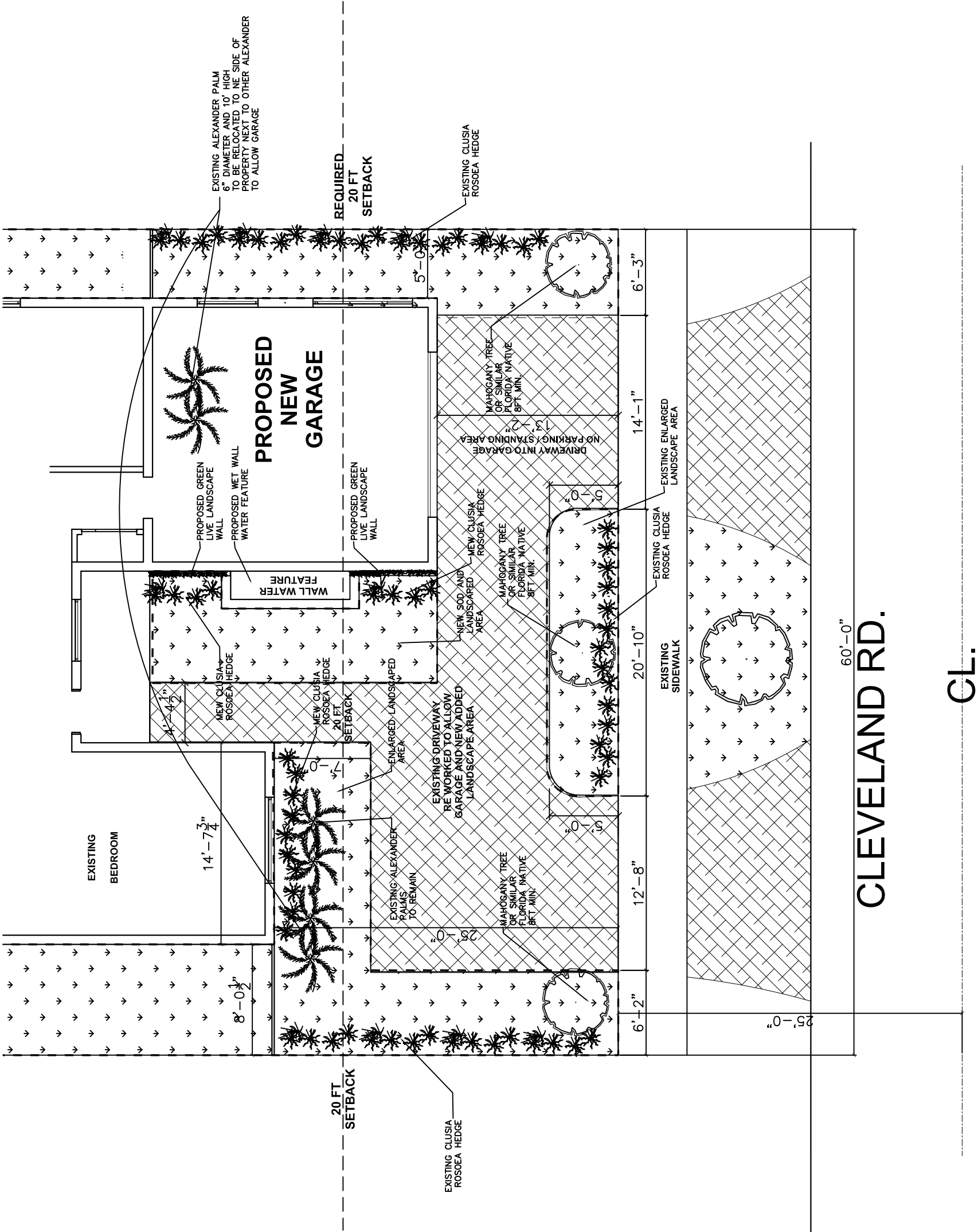


PROPOSED NEW
GARAGE STRUCTURE

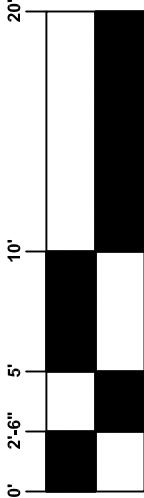


PROPOSED FRONT ELEVATION

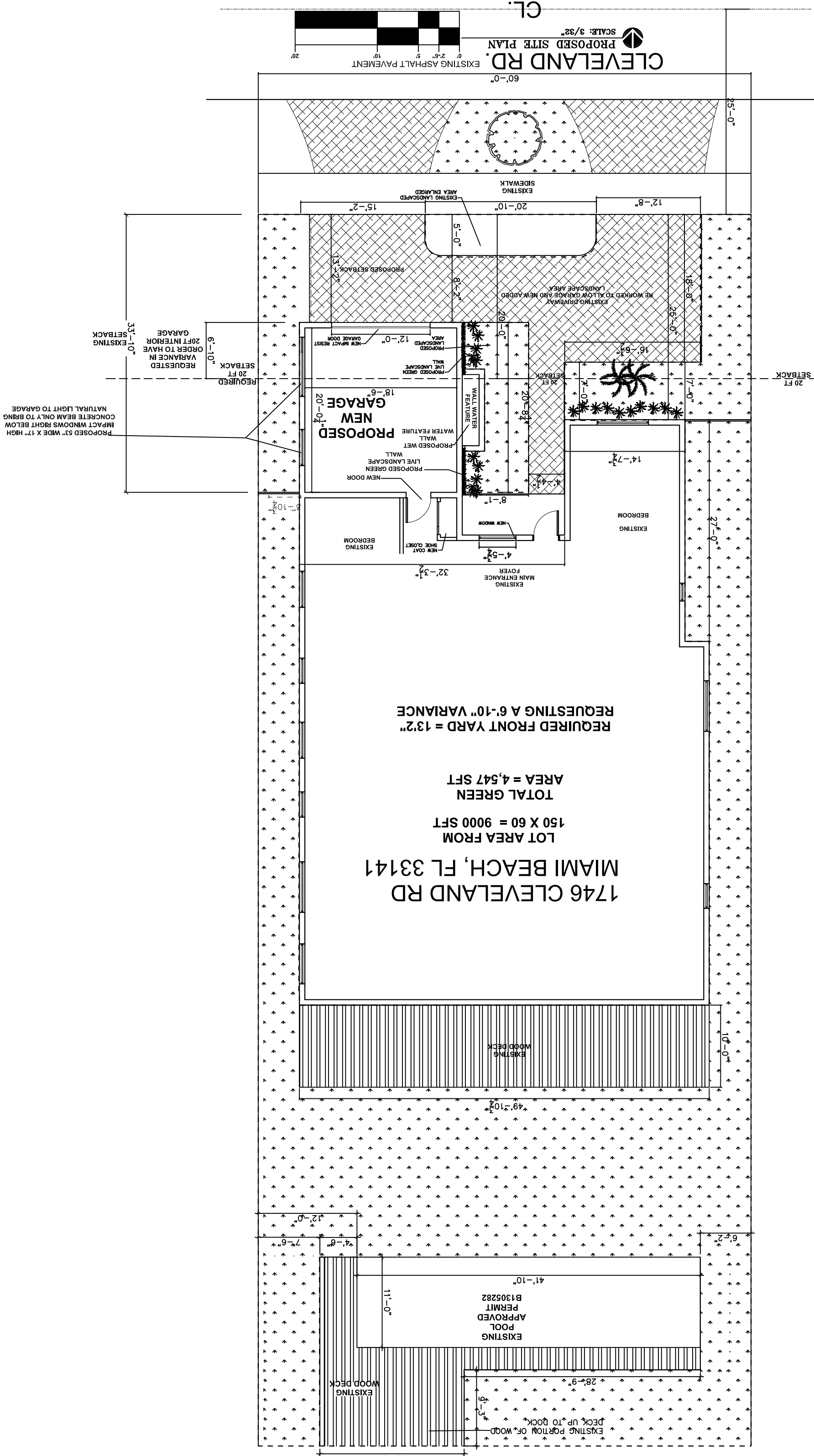
SCALE: 1/4"



PROPOSED FRONT LANDSCAPE PLAN
SCALE: 1/8"



- NOTES:
1. EXISTING IRRIGATION SYSTEM TO BE REWORKED ACCORDING TO NEW PLATING AREAS





rdr miami | public hearing notification services

certified lists of property owners within a specific radius + radius maps + mailing labels + mailouts + notice of public hearing site posting

rdrmiami.com | diana@rdrmiami.com | 305.498.1614

375' RADIUS MAP



SUBJECT: 1746 Cleveland Road, Miami Beach, FL 33141

FOLIO NUMBER: 02-3203-001-0790

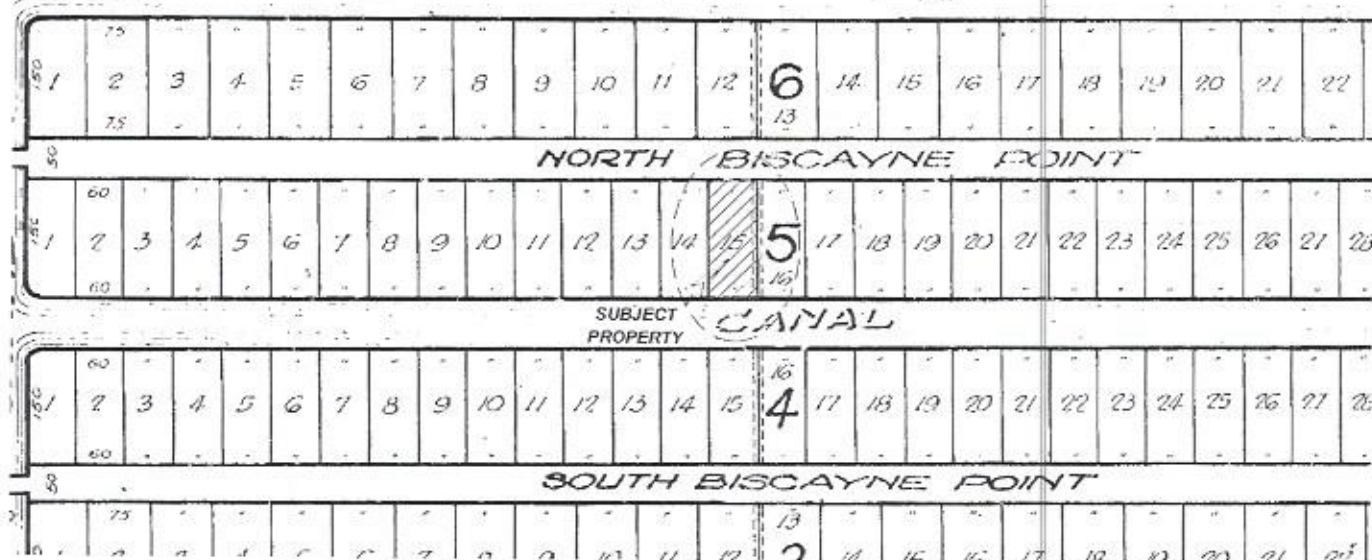
LEGAL DESCRIPTION: BISCAYNE POINT PB 14-35 LOT 15 BLK 5

SURVEY OF LOT 15, BLOCK 5, OF BISCAYNE POINT SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 14, PAGE 35, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

PROPERTY ADDRESS: 1746 CLEVELAND RD, MIAMI BEACH, FL 33141
FOR: KEITH F FERGUSON

LOCATION SKETCH

Scale 1" = NT.S.



ABBREVIATION AND MEANING

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A/C = AIR CONDITIONER PAD
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P.R.C. = POINT OF REVERSE CURVE
PRM = PERMANENT REFERENCE MONUMENT
PT = POINT OF TANGENCY
P.V.M.T. = PAVEMENT
P.W.Y. = PARKWAY
R = RECORD DISTANCE

RAD. = RADIUS OF RADIAL
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= CENTER LINE
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LEGEND TYPICAL

—OH— OVERHEAD UTILITY LINES
C.B.S. = WALL (CBW)
C.L.F. = CHAIN LINK FENCE
IF = IRON FENCE
W.F. = WOOD FENCE
= EXISTING ELEVATIONS

SURVEYOR'S NOTES

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ALL ELEVATIONS SHOWN ARE REFERRED TO NATIONAL GEOGRAPHIC VERTICAL DATUM OF 1929 MIAMI-DADE COUNTY BENCH MARK NO. 0-180 LOCATOR NO. 3220 SE ELEVATION 3.51 FEET OF N.G.V.D. OF 1929

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY, THAT THIS "BOUNDARY SURVEY" OF THE PROPERTY DESCRIBED HEREON, AS RECENTLY SURVEYED AND DRAWN UNDER MY SUPERVISION, COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 61G17-6, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

BY: *George Ibarra*
GEORGE IBARRA (DATE OF FIELD WORK)

PROFESSIONAL LAND SURVEYOR NO. 2534
STATE OF FLORIDA (VALID COPIES OF THIS SURVEY WILL BEAR THE EMBOSSED SEAL OF THE ATTESTING LAND SURVEYOR)

REVISED ON

REVISED ON

LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY ("SURVEY"):

- THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY.
- EXAMINATIONS OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY. THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD, AND LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.
- BOUNDARY SURVEY MEANS A DRAWING AND / OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND / OR NOT TO SCALE.
- EASEMENTS AS SHOWN ARE PER PLAT BOOK, UNLESS OTHERWISE SHOWN.
- THE TERM "ENCROACHMENT" MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS.
- ARCHITECTS SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS AND SETBACKS, AND THEY WILL BE RESPONSIBLE FOR SUBMITTING PLOT PLANS WITH THE CORRECT INFORMATION FOR THEIR APPROVAL FOR AUTHORIZATION TO AUTHORITIES IN NEW CONSTRUCTIONS, UNLESS OTHERWISE NOTED. THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS.
- FENCE OWNERSHIP NOT DETERMINED.
- THIS PLAN OF SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED.
- HEREON, THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTY.
- THE SURVEYOR MAKES NO GUARANTEES AS TO THE ACCURACY OF THE INFORMATION BELOW. THE LOCAL F.E.M.A. AGENT SHOULD BE CONTACTED FOR VERIFICATION. THE FNIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN ZONE: AE COMMUNITY/PANEL/SUFFIX: 120651 0307 L DATE OF FIRM 09/11/2009 BASE FLOOD ELEVATION: 8FT.

CERTIFIED TO: KEITH F FERGUSON



SURVEYOR'S SEAL



1355 NW 97 AV SUITE 200
MIAMI, FLORIDA 33172
TELEPHONE: (305) 264-2660
FAX: (305) 264-0229

DRAWN BY: LG.

Nova Surveyors Inc.
LAND SURVEYORS

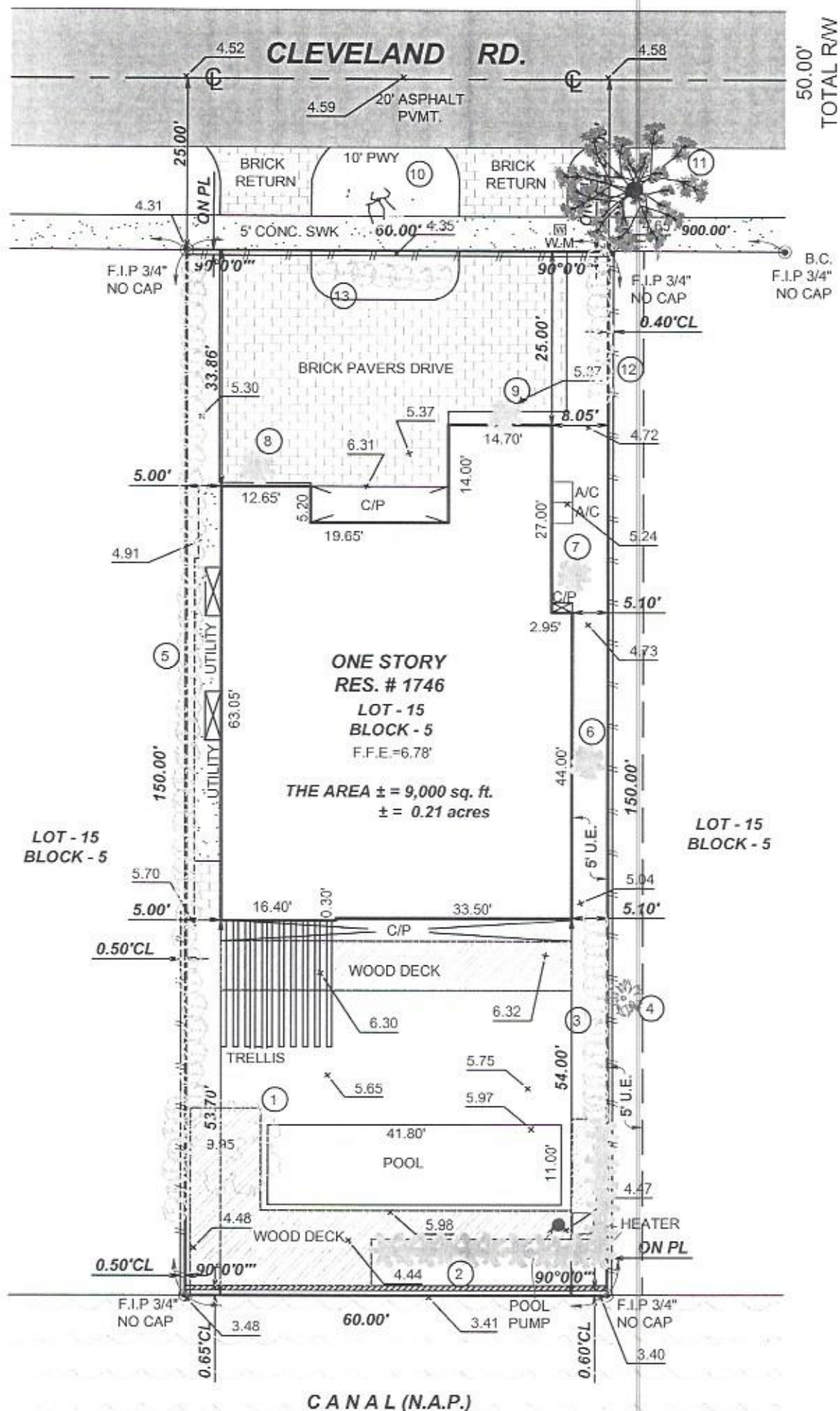
SURVEY No. 17-0000929-3

SHEET No. 3 OF 3

TREE TABLE

TREE TABLE				
No.	TREE NAME	DIAMETER (')	HEIGHT (')	SPREAD (')
1	ROYAL POINCIANA	1.50	30.00	15.00
2	ARECA	0.40	12.00	5.00
3	CAR MOUSE	0.30	9.00	-
4	FICUS	5.00	15.00	-
5	EAR MOUSE	0.30	9.00	-
6	ALEXANDER PALM	0.50	12.00	5.00
7	ALEXANDER PALM	0.50	12.00	5.00
8	ALEXANDER PALM	0.50	10.00	5.00
9	ALEXANDER PALM	0.50	10.00	5.00
10	OAK	1.50	12.00	5.00
11	MAHOGANY	2.00	30.00	20.00
12	EAR MOUSE	0.30	7.00	-
13	EAR MOUSE	0.30	7.00	-

SCALE = 1" = 20'




- There may be Easements recorded in the Public Records not shown on this Survey.

MIAMI BEACH

PLANNING DEPARTMENT

BOARD OF ADJUSTMENT STAFF REPORT

FROM: Thomas R. Mooney, AICP 
Planning Director

DATE: May 3, 2019 Meeting

RE: File No. ZBA18-0086
1746 Cleveland Road – Single-Family Home (Garage Addition)

The applicant, Keith Ferguson, is requesting a variance from the required front setback for the construction of a new 1-story garage addition to an existing 1-story single-family home.

STAFF RECOMMENDATION:

Approval of the requested variance with conditions.

LEGAL DESCRIPTION:

Lot 15, Block 5 of Biscayne Pint Subdivision, according to the plat thereof, as recorded in plat book 14, Page 35, of the public records of Miami-Dade County, Florida.

SITE DATA:

Folio Number –	02-3203-001-0790
Zoning –	RS-4 (Single-Family Residential)
Future Land Use Designation –	RS (Single-Family Residential)
Lot Size –	9,000 S.F. / ~0.21 Acres *
Existing Use –	Single-family Residence
Proposed Use –	Single-family Residence
Proposed Lot Coverage –	3,703 S.F. / 41%
Proposed Unit Size –	3,282.5 S.F. / 36.5%
Year Constructed –	1952

**As per survey submitted by applicant.*

THE PROJECT:

The applicant has submitted the following plans:

- Boundary Survey, by Nova Surveyors, Inc., dated October 19, 2018.
- Tree Survey, by Nova Surveyors, Inc., dated January 9, 2019
- Plans, signed by Moises Rivera, dated February 4, 2019.

The applicant is proposing to construct a garage addition to an existing one-story residence on an interior (waterfront) lot.

The applicant is requesting the following variance(s):

1. A variance to reduce by 6'-10" the minimum required front setback of 20'-0" for the construction of a one-story garage addition located at 13'-2" from the front property line facing Cleveland Road.

- Variance requested from:

Sec. 142-106. Setback requirements for a single-family detached dwelling.

The setback requirements for a single-family detached dwelling in the RS-1, RS-2, RS-3, RS-4 single-family residential districts are as follows:

- (1) Front yards: The minimum front yard setback requirement for these districts shall be 20'-0".*

The existing one-story single family home has larger than required front and rear setbacks and non-conforming side setbacks of approximately 5'-0". The existing lot coverage and unit size are well below the maximum allowed for a one-story structure. The home is being renovated in order to upgrade it to more modern living standards. As part of the renovation, the applicant is proposing a one car garage addition on the west side of the home, which currently has a front setback of approximately 33.9'. In order to construct the garage, as proposed, the front walls of the addition must encroach into the required front yard by 6'-10".

Staff has no objection to the applicant's request, as the east side of the home will be setback approximately 25', which exceeds the minimum 20' required, and the rear setback is approximately 54'-0" where 22'-6" is the minimum required. Staff finds that the location of the existing structure on the site, with larger than required setbacks at the front and rear, create practical difficulties that justify the granting of the requested variance.

PRACTICAL DIFFICULTY AND HARDSHIP CRITERIA

Based on the plans and documents submitted with the application, staff has concluded that the requested variance satisfies Article 1, Section 2 of the Related Special Acts, allowing the granting of a variance if the Board finds that practical difficulties exist with respect to implementing the proposed project at the subject property.

Additionally, staff has concluded that the plans and documents with the application indicate the following, as they relate to the hardship criteria requirements of Section 118-353(d), Miami Beach City Code:

1. That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district;

Satisfied

2. That the special conditions and circumstances do not result from the action of the applicant;

Satisfied

3. That granting the variance requested will not confer on the applicant any special privilege that is denied by this Ordinance to other lands, buildings, or structures in the same zoning district;

Satisfied

4. That literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this Ordinance and would work unnecessary and undue hardship on the applicant;

Satisfied

5. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure;

Satisfied

6. That the granting of the variance will be in harmony with the general intent and purpose of this Ordinance and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare; and

Satisfied

7. That the granting of this request is consistent with the comprehensive plan and does not reduce the levels of service as set forth in the plan.

Satisfied.

COMPLIANCE WITH SEA LEVEL RISE AND RESILIENCY REVIEW CRITERIA

Section 133-50(a) of the Land Development establishes review criteria for sea level rise and resiliency that must be considered as part of the review process for board orders. The following is an analysis of the request based upon these criteria:

- (1) A recycling or salvage plan for partial or total demolition shall be provided.

Not Applicable

- (2) Windows that are proposed to be replaced shall be hurricane proof impact windows.

Satisfied

- (3) Where feasible and appropriate, passive cooling systems, such as operable windows, shall be provided.

Satisfied

- (4) Whether resilient landscaping (salt tolerant, highly water-absorbent, native or Florida friendly plants) will be provided.

Not Satisfied

- (5) Whether adopted sea level rise projections in the Southeast Florida Regional Climate Action Plan, as may be revised from time-to-time by the Southeast Florida Regional Climate Change Compact, including a study of land elevation and elevation of surrounding properties were considered.

Satisfied

- (6) The ground floor, driveways, and garage ramping for new construction shall be adaptable to the raising of public rights-of-ways and adjacent land.

Satisfied

- (7) Where feasible and appropriate, all critical mechanical and electrical systems shall be located above base flood elevation.

Satisfied

- (8) Existing buildings shall be, where reasonably feasible and appropriate, elevated to the base flood elevation.

Satisfied

- (9) When habitable space is located below the base flood elevation plus City of Miami Beach Freeboard, wet or dry flood proofing systems will be provided in accordance with Chapter of 54 of the City Code.

Not Applicable

- (10) Where feasible and appropriate, water retention systems shall be provided.

Satisfied

COMPLIANCE WITH ZONING CODE:

The application, as submitted, appears to be consistent with the applicable requirements of the City Code, with the exception of the variance(s) requests herein. This shall not be considered final zoning review or approval. These and all zoning matters shall require final review and verification by the Zoning Administrator prior to the issuance of a Building Permit.

STAFF ANALYSIS:

The subject site is an interior waterfront lot. The property contains a one-story residence constructed in 1952. The original home was constructed with 5'-0" setbacks on the sides (currently non-conforming) and larger front and rear setbacks. As the site presently has a lot coverage and unit size of 35%, the applicant is proposing renovations to retain the single-story home including a new one-story garage addition at the front, for which the variance is requested. The application is also proposing the reconfiguration of the driveway and pool deck to comply with the City's Land Development Regulations.

Staff is supportive of the requested variance as the physical location of the home and its existing large setbacks dictate the areas available for the proposed addition and result in the practical difficulties that trigger the requested variance. Staff finds that the variance requested is the minimum necessary to improve the property while retaining the existing structure. The proposed garage is designed so that it is compatible with the architecture of the existing home.

A standard parking space is 18' in length. The approval of the variance and construction of the proposed garage will create a 13'-2" section of driveway between the garage and

sidewalk. This section of driveway will not accommodate a typical vehicle, without obstructing the sidewalk. The proposed reconfigured driveway will accommodate two parking spaces, in addition to the garage space. Staff recommends approval of the variances, with the conditions that (i) a minimum of two full size parking spaces are provided on private property, and (ii) in no instance shall the sidewalk or public right-of-way be obstructed by vehicles.

RECOMMENDATION:

In view of the foregoing analysis, staff recommends **approval** of the requested variance, subject to the conditions enumerated in the attached Draft Order.

TRM:RAM:SMW

F:\PLAN\zba\19-ZBA\05-03-2019\Staff Report\ZBA18-0086 - 1746 Cleveland Rd - May19.docx

ZONING/SITE MAP



**BOARD OF ADJUSTMENT
CITY OF MIAMI BEACH, FLORIDA**

PROPERTY: 1746 Cleveland Road

FILE NO. ZBA18-0086

IN RE: An application requesting a front yard setback variance for the construction of a new 1-story garage addition to an existing 1-story single-family home.

LEGAL DESCRIPTION: Lot 15, Block 5 of Biscayne Pint Subdivision, according to the plat thereof, as recorded in plat book 14, Page 35, of the public records of Miami-Dade County, Florida

FOLIO NO. 02-3203-001-0790

MEETING DATE: May 3, 2019

ORDER

The applicant, Keith Ferguson, filed an application with the Planning Department for the following variance(s):

1. A variance to reduce by 6'-10" the minimum required front setback of 20'-0" for the construction of a one-story garage addition located at 13'-2" from the front property line facing Cleveland Road.

– Approved by the Board

The City of Miami Beach Board of Adjustment makes the following FINDINGS OF FACT, based upon the evidence, information, testimony and materials presented at the public hearing and which are part of the record for this matter:

- A. Based on the plans and documents submitted with the application, testimony and information provided by the applicant, and the Planning Department Staff Report, the project as submitted satisfies the requirements of Section 118-353(d) of the Miami Beach Code. Accordingly, the Board of Adjustment has determined the following:

That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district;

That the special conditions and circumstances do not result from the action of the applicant;

That granting the variance requested will not confer on the applicant any special privilege that is denied by this Ordinance to other lands, buildings, or structures in the same zoning district;

That literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this Ordinance and would work unnecessary and undue hardship on the applicant;

That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure;

That the granting of the variance will be in harmony with the general intent and purpose of this Ordinance and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare; and

That the granting of this request is consistent with the comprehensive plan and does not reduce the levels of service as set forth in the plan.

B. The Board hereby **Approves** the requested variance and imposes the following conditions based on its authority in Section 118-354 of the Miami Beach City Code:

1. The final building plans shall be consistent with plans submitted to the Board of Adjustment, signed by Moises Rivera, dated February 4, 2019. Substantial modifications to the plans, as determined by the Planning Director or designee, may require the applicant to return to the Board for approval of the modified plans, even if the modifications do not affect variances approved by the Board.
2. A minimum of two full sized parking spaces, 18'-0" x 8'-6", shall be provided on site.
3. The City sidewalk shall remain clear and unobstructed at all times.
4. A revised landscape plan shall be submitted to and approved by staff. The species, type, quantity, dimensions, spacing, location and overall height of all plant material shall be clearly delineated and subject to the review and approval of staff. At a minimum, such plans shall comply with Chapter 26-Landscape Requirements of the Miami Beach Code and shall incorporate the weather resilient landscaping (salt tolerant, highly water-absorbent, native or Florida friendly plants).
5. A copy of all pages of the recorded Final Order shall be scanned into the plans submitted for building permit, and shall be located immediately after the front cover page of the permit plans.
6. The final building plans shall meet all other requirements of the Land Development Regulations of the City Code.
7. Satisfaction of all conditions is required for the Planning Department to give its approval on a Certificate of Occupancy or Certificate of Completion. A Temporary Certificate of Occupancy, Partial Certificate of Occupancy, or Temporary Certificate of Completion, as applicable, may also be conditionally granted Planning Departmental approval.
8. The conditions of approval herein are binding on the applicant, the property's owners and all successors in interest and assigns.

9. The final order is not severable, and if any provision or condition hereof is held void or unconstitutional in a final decision by a court of competent jurisdiction, the order shall be returned to the Board for reconsideration as to whether the order meets the criteria for approval absent the stricken provision or condition, and/or it is appropriate to modify the remaining conditions or impose new conditions.
10. Nothing in this order authorizes a violation of the City Code or other applicable law, nor allows a relaxation of any requirement or standard set forth in the City Code, except to the extent of the variance(s) granted herein.
11. The Final Order shall be recorded in the Public Records of Miami-Dade County, prior to the issuance of a Building Permit.

The decision of the Board regarding variances shall be final and there shall be no further review thereof except by resort to a court of competent jurisdiction by petition for writ of certiorari.

IT IS HEREBY ORDERED, based upon the foregoing findings of fact, the evidence, information, testimony and materials presented at the public hearing, which are part of the record for this matter, and the staff report and analysis, which are adopted herein, including staff recommendations, as modified by the Board of Adjustment, that the application for Variance(s) Approval is GRANTED for the above-referenced project, subject to those certain conditions specified in Paragraph B hereof, to which the applicant has agreed.

PROVIDED, the applicant shall build substantially in accordance with the plans submitted to the Board of Adjustment with modifications in accordance with the conditions set forth in this Order, as applicable, with staff review and approval.

No building permit may be issued unless and until all conditions of approval that must be satisfied prior to permit issuance as set forth in this Order have been met. The issuance of this Order does not relieve the applicant from obtaining all other required Municipal, County and/or State reviews and permits, including final zoning approval.

When requesting a building permit, the plans submitted to the Building Department for permit shall be consistent with the plans approved by the Board, modified in accordance with the conditions set forth in this Order.

If the Full Building Permit for the project is not issued within eighteen (18) months of the meeting date at which the original Variance Approval was granted, the subject Approval will expire and become null and void, unless the applicant makes application to the Board for an extension of time, in accordance with the requirements and procedures of Chapter 118 of the City Code; the granting of any such extension of time shall be at the discretion of the Board. At the hearing on any such application, the Board may deny or approve the request and modify the above conditions or impose additional conditions. If the Full Building Permit should expire for any reason (including but not limited to construction not commencing and continuing, with required inspections, in accordance with the applicable Building Code), and not reinstated by the Building Official or designee, the Variance Approval will expire and become null and void.

Dated this _____ day of _____, 2019.

BOARD OF ADJUSTMENT
CITY OF MIAMI BEACH, FLORIDA

BY: _____
Rogelio Madan, AICP
Chief of Community Planning & Sustainability
For the Chair

STATE OF FLORIDA)
COUNTY OF MIAMI-DADE)

The foregoing instrument was acknowledged before me this _____ day of _____, _____, by Rogelio Madan, Chief of Community Planning and Sustainability of the City of Miami Beach, Florida, a Florida Municipal Corporation, on behalf of the corporation. He is personally known to me.

[NOTARIAL SEAL]

Notary:
Print Name:
Notary Public, State of Florida
My Commission Expires:
Commission Number:

Approved As To Form:
City Attorney's Office ()

Filed with the Clerk of the Board of Adjustment on _____ ()

1700 Convention Center Drive, Miami Beach, Florida 33139; Tel: 305.673.7550; Web: www.miamibeachfl.gov/planning

The following application is submitted for review and consideration of the project described herein by the land use board selected below. A separate application must be completed for each board reviewing the proposed project.

We are committed to providing excellent public service and safety to all who live, work, and play in our vibrant, tropical, historic community.

Project Information				
Is there an existing building(s) on the site?		<input checked="" type="checkbox"/> Yes		<input type="checkbox"/> No
Does the project include interior or exterior demolition?		<input type="checkbox"/> Yes		<input checked="" type="checkbox"/> No
Provide the total floor area of the new construction.		270.38		SQ. FT.
Provide the gross floor area of the new construction (including required parking and all usable area).		270.38		SQ. FT.
Party responsible for project design				
NAME Francisco A. Benitez		<input checked="" type="checkbox"/> Architect <input type="checkbox"/> Contractor <input type="checkbox"/> Landscape Architect <input type="checkbox"/> Engineer <input type="checkbox"/> Tenant <input type="checkbox"/> Other _____		
ADDRESS 420 NW 43rd Place		CITY Miami	STATE FL	ZIPCODE
BUSINESS PHONE 786 - 619 - 5905	CELL PHONE	EMAIL ADDRESS		
Authorized Representative(s) Information (if applicable)				
NAME		<input type="checkbox"/> Attorney <input type="checkbox"/> Contact <input type="checkbox"/> Agent <input type="checkbox"/> Other _____		
ADDRESS		CITY	STATE	ZIPCODE
BUSINESS PHONE	CELL PHONE	EMAIL ADDRESS		
NAME		<input type="checkbox"/> Attorney <input type="checkbox"/> Contact <input type="checkbox"/> Agent <input type="checkbox"/> Other _____		
ADDRESS		CITY	STATE	ZIPCODE
BUSINESS PHONE	CELL PHONE	EMAIL ADDRESS		
NAME		<input type="checkbox"/> Attorney <input type="checkbox"/> Contact <input type="checkbox"/> Agent <input type="checkbox"/> Other _____		
ADDRESS		CITY	STATE	ZIPCODE
BUSINESS PHONE	CELL PHONE	EMAIL ADDRESS		

Please note the following information:

- A separate disclosure of interest form must be submitted with this application if the applicant or owner is a corporation, partnership, limited partnership or trustee.
- All applicable affidavits must be completed and the property owner must complete and sign the "Power of Attorney" portion of the affidavit if they will not be present at the hearing, or if other persons are speaking on their behalf.
- To request this material in alternate format, sign language interpreter (five-day notice is required), information on access for persons with disabilities, and accommodation to review any document or participate in any City sponsored proceedings, call 305.604.2489 and select (1) for English or (2) for Spanish, then option 6; TTY users may call via 711 (Florida Relay Service).

Please read the following and acknowledge below:

- Applications for any board hearing(s) will not be accepted without payment of the required fees. All checks are to be made payable to the "City of Miami Beach".
- Public records notice – All documentation submitted for this application is considered a public record subject to Chapter 119 of the Florida Statutes and shall be disclosed upon request.
- In accordance with the requirements of Section 2-482 of the code of the City of Miami Beach, any individual or group that will be compensated to speak or refrain from speaking in favor or against an application being presented before any of the City's land use boards, shall fully disclose, prior to the public hearing, that they have been, or will be compensated. Such parties include: architects, engineers, landscape architects, contractors, or other persons responsible for project design, as well as authorized representatives attorneys or agents and contact persons who are representing or appearing on behalf of a third party; such individuals must register with the City Clerk prior to the hearing.
- In accordance with Section 118-31. – Disclosure Requirement. Each person or entity requesting approval, relief or other action from the Planning Board, Design Review Board, Historic Preservation Board or the Board of Adjustment shall disclose, at the commencement (or continuance) of the public hearing(s), any consideration provided or committed, directly or on its behalf, for an agreement to support or withhold objection to the requested approval, relief or action, excluding from this requirement consideration for legal or design professional service rendered or to be rendered. The disclosure shall: (I) be in writing, (II) indicate to whom the consideration has been provided or committed, (III) generally describe the nature of the consideration, and (IV) be read into the record by the requesting person or entity prior to submission to the secretary/clerk of the respective board. Upon determination by the applicable board that the forgoing disclosure requirement was not timely satisfied by the person or entity requesting approval, relief or other action as provided above, then (I) the application or order, as applicable, shall immediately be deemed null and void without further force or effect, and (II) no application form said person or entity for the subject property shall be reviewed or considered by the applicable board(s) until expiration of a period of one year after the nullification of the application or order. It shall be unlawful to employ any device, scheme or artifice to circumvent the disclosure requirements of this section and such circumvention shall be deemed a violation of the disclosure requirements of this section.
- When the applicable board reaches a decision a final order will be issued stating the board's decision and any conditions imposed therein. The final order will be recorded with the Miami-Dade Clerk of Courts. The original board order shall remain on file with the City of Miami Beach Planning Department. Under no circumstances will a building permit be issued by the City of Miami Beach without a copy of the recorded final order being included and made a part of the plans submitted for a building permit.

The aforementioned is acknowledged by:

☒ Owner of the subject property ☐ Authorized representative

Raulo Azil
SIGNATURE

RENAUDO AAVIT
PRINT NAME

6/13/18
DATE SIGNED

OWNER AFFIDAVIT FOR INDIVIDUAL OWNERSTATE OF FloridaCOUNTY OF Miami-Dade

I, Reinaldo Aquit, being first duly sworn, depose and certify as follows: (1) I am the owner of the property that is the subject of this application. (2) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (3) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (4) I also hereby authorize the City of Miami Beach to enter my property for the sole purpose of posting a Notice of Public Hearing on my property, as required by law. (5) I am responsible for remove this notice after the date of the hearing.

Reinaldo Aquit
SIGNATURE

Sworn to and subscribed before me this 13 day of June, 2018. The foregoing instrument was acknowledged before me by Reinaldo Aquit, who has produced _____ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

**NOTARY PUBLIC**My Commission Expires: 4/17/19

Heidi Castellano
PRINT NAME

ALTERNATE OWNER AFFIDAVIT FOR CORPORATION, PARTNERSHIP OR LIMITED LIABILITY COMPANY

STATE OF _____

COUNTY OF _____

I, _____, being first duly sworn, depose and certify as follows: (1) I am the _____ (print title) of _____ (print name of corporate entity). (2) I am authorized to file this application on behalf of such entity. (3) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (4) The corporate entity named herein is the owner of the property that is the subject of this application. (5) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (6) I also hereby authorize the City of Miami Beach to enter my property for the sole purpose of posting a Notice of Public Hearing on my property, as required by law. (7) I am responsible for remove this notice after the date of the hearing.

SIGNATURE

Sworn to and subscribed before me this _____ day of _____, 20____. The foregoing instrument was acknowledged before me by _____, who has produced _____ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

NOTARY PUBLIC

My Commission Expires: _____

PRINT NAME

POWER OF ATTORNEY AFFIDAVIT

STATE OF _____

COUNTY OF _____

I, _____, being first duly sworn, depose and certify as follows: (1) I am the owner or representative of the owner of the real property that is the subject of this application. (2) I hereby authorize _____ to be my representative before the _____ Board. (3) I also hereby authorize the City of Miami Beach to enter my property for the sole purpose of posting a Notice of Public Hearing on my property, as required by law. (4) I am responsible for remove this notice after the date of the hearing.

PRINT NAME (and Title, if applicable)**SIGNATURE**

Sworn to and subscribed before me this _____ day of _____, 20____. The foregoing instrument was acknowledged before me by _____, who has produced _____ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

NOTARY PUBLIC

My Commission Expires: _____

PRINT NAME**CONTRACT FOR PURCHASE**

If the applicant is not the owner of the property, but the applicant is a party to a contract to purchase the property, whether or not such contract is contingent on this application, the applicant shall list the names of the contract purchasers below, including any and all principal officers, stockholders, beneficiaries or partners. If any of the contract purchasers are corporations, partnerships, limited liability companies, trusts, or other corporate entities, the applicant shall further disclose the identity of the individuals(s) (natural persons) having the ultimate ownership interest in the entity. If any contingency clause or contract terms involve additional individuals, corporations, partnerships, limited liability companies, trusts, or other corporate entities, list all individuals and/or corporate entities.

NAME**DATE OF CONTRACT**

NAME, ADDRESS AND OFFICE

% OF STOCK

In the event of any changes of ownership or changes in contracts for purchase, subsequent to the date that this application if filed, but prior to the date of a final public hearing, the applicant shall file a supplemental disclosure of interest.

DISCLOSURE OF INTEREST
CORPORATION, PARTNERSHIP OR LIMITED LIABILITY COMPANY

If the property that is the subject of the application is owned or leased by a corporation, partnership or limited liability company, list ALL of the owners, shareholders, partners, managers and/or members, and the percentage of ownership held by each. If the owners consist of one or more corporations, partnerships, trusts, partnerships or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity.

NAME OF CORPORATE ENTITY	
NAME AND ADDRESS	% OF OWNERSHIP

NAME OF CORPORATE ENTITY	
NAME AND ADDRESS	% OF OWNERSHIP

If there are additional corporate owners, list such owners, including corporate name and the name, address and percentage of ownership of each additional owner, on a separate page.

DISCLOSURE OF INTEREST
TRUSTEE

If the property that is the subject of the application is owned or leased by a trust, list any and all trustees and beneficiaries of the trust, and the percentage of interest held by each. If the owners consist of one or more corporations, partnerships, trusts, partnerships or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity.

TRUST NAME	% INTEREST
NAME AND ADDRESS	

COMPENSATED LOBBYIST

Pursuant to Section 2-482 of the Miami Beach City Code, all lobbyists shall, before engaging in any lobbying activities, register with the City Clerk. Please list below any and all persons or entities retained by the applicant to lobby City staff or any of the City's land development boards in support of this application.

NAME	ADDRESS	PHONE
_____	_____	_____
_____	_____	_____
_____	_____	_____

Additional names can be placed on a separate page attached to this application.

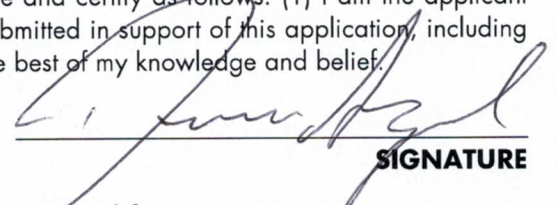
APPLICANT HEREBY ACKNOWLEDGES AND AGREES THAT (1) AN APPROVAL GRANTED BY A LAND DEVELOPMENT BOARD OF THE CITY SHALL BE SUBJECT TO ANY AND ALL CONDITIONS IMPOSED BY SUCH BOARD AND BY ANY OTHER BOARD HAVING JURISDICTION, AND (2) APPLICANT'S PROJECT SHALL COMPLY WITH THE CODE OF THE CITY OF MIAMI BEACH AND ALL OTHER APPLICABLE CITY, STATE AND FEDERAL LAWS.

APPLICANT AFFIDAVIT

STATE OF _____

COUNTY OF _____


I, _____, being first duly sworn, depose and certify as follows: (1) I am the applicant or representative of the applicant. (2) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief.


SIGNATURE

Sworn to and subscribed before me this 12 day of February, 2019. The foregoing instrument was acknowledged before me by _____, who has produced _____ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP




NOTARY PUBLIC

My Commission Expires: 8/25/2020

Margie D. Pinzon
 PRINT NAME

License # A 230-720-77-128-0
 Exp. 4/9/27

Important Message

When buying real estate property, you should not assume that property taxes will remain the same. Whenever there is a change in ownership, the assessed value of the property may reset to full market value, which could result in higher property taxes. Please use our [Tax Estimator](http://www.miamidade.gov/PAPortal/Taxes/TaxEstimator.aspx) (<http://www.miamidade.gov/PAPortal/Taxes/TaxEstimator.aspx>) to approximate your new property taxes.

The Property Appraiser does not send tax bills and does not set or collect taxes. Please visit the [Tax Collector's website](http://www.miamidade.gov/taxcollector/) (<http://www.miamidade.gov/taxcollector/>) directly for additional information.



(<https://www.facebook.com/MiamiDadePA>)



(<https://twitter.com/MiamiDadePA>)

HOMESTEAD EXEMPTION APPLICATION ONLINE FILING

Welcome Ownership Applicants FL Resident US Citizen Verify Information Add Applicants Portability Attachments Complete

Thank you for using the Miami-Dade County Property Appraiser's Online Filing System.

An Online Application has been submitted for the following:

Folio Number **02-3210-013-3310** Roll Year **2019** Date Filed **6/20/2018 6:11:25 PM**

Homestead Application

REINALDO AQUIT Receipt # 161733

Transfer of Homestead Assessment Difference (aka Portability)

None

Attachments:

The following is a list of documents you attached:

NONE

Notice: Additional exemption benefits are available by filing [DR-501 Original Application for Homestead and Related Tax Exemptions](http://dor.myflorida.com/dor/property/forms/current/dr501.pdf) (<http://dor.myflorida.com/dor/property/forms/current/dr501.pdf>) (additional documentation required). Additionally available exemption benefits include:

- Age 65 and older with limited income (amount determined by ordinance).
- Age 65 and older with limited income and permanent residency for 25 years or more
- \$500 widowed.
- \$500 blind
- \$500 totally and permanently disabled
- Total and permanent disability – quadriplegic
- Certain total and permanent disabilities – limited income and hemiplegic, paraplegic, wheelchair required, or legally blind
- Disabled veteran discount, 65 or older
- Veteran disabled 10% or more.
- Disabled veteran confined to wheelchair, service-connected.
- Service-connected totally and permanently disabled veteran and surviving spouse.
- Surviving spouse of veteran who died on active duty.
- Surviving spouse of first responder who died in the line of duty.
- Totally & Permanently Disabled First Responder



Print this receipt for your records

More Online Tools (http://www.miamidade.gov/pa/online_tools.asp)

2/12/2019

RE: Variance 1375 Marseille Dr

ZBA18-0075

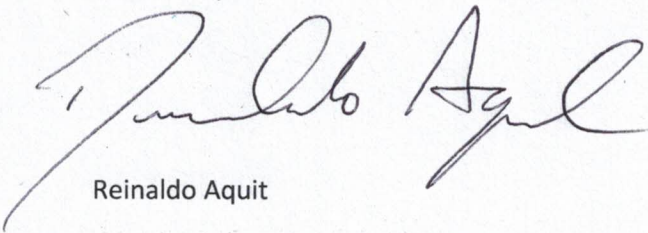
Letter of Intent

To Whom It May Concern:

This letter of intent is in support of my request for a Variance for the rear setback encroachment of 7.84' and the possible side setbacks of 3' of our existing terrace. The intention is to keep the existing open terrace that was purchased as part of our home a year ago. The east side setback of 3' matches the existing overhang of the actual house, and the encroachment in the rear setback of 20' is by 7.84'. This is a complete open terrace with no walls therefore our adjacent neighbors have no objections of the terrace remaining. We purchased our dream home with the existing terrace in mind in hopes of continuing to enjoy our yard.

We request that a Variance be approved that will allow the existing terrace to remain. The hardship that would result from a denial of the Variance request for us may sound small, but we would be losing a very valuable asset to our home.

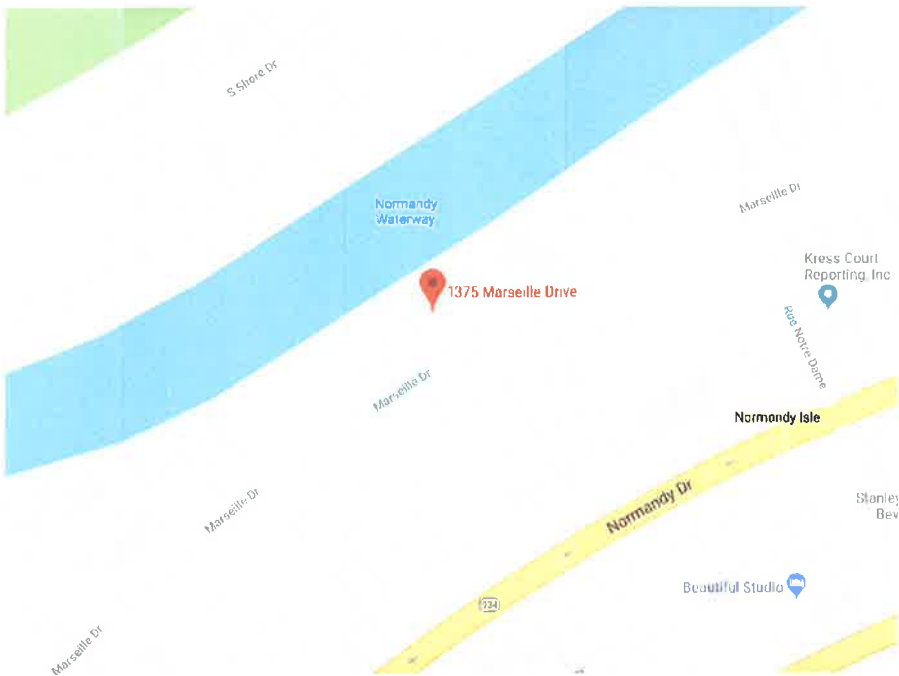
Thank You,

A handwritten signature in black ink, appearing to read 'Reinaldo Aquit', written in a cursive style.

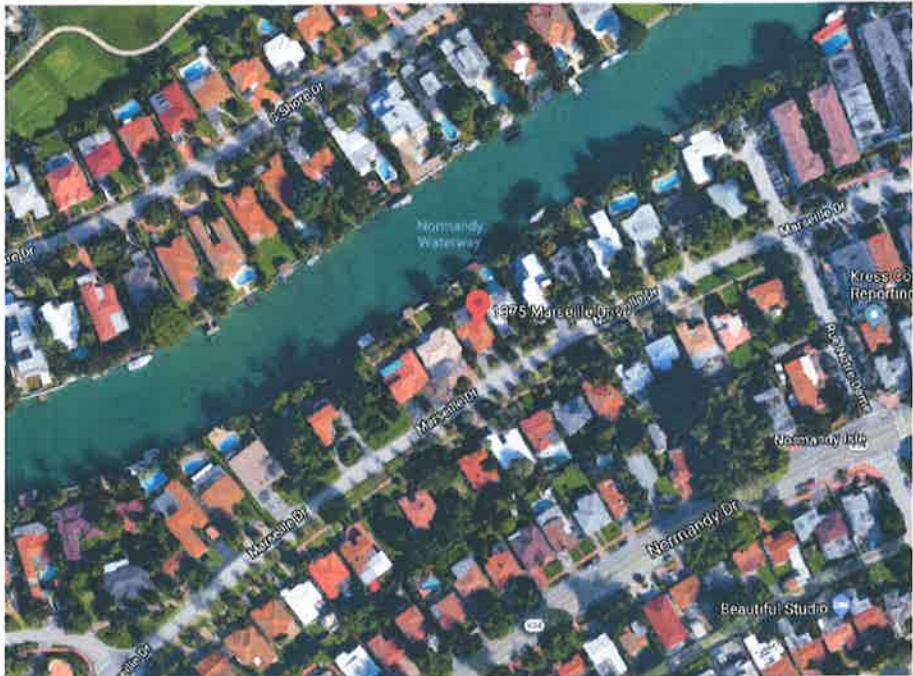
Reinaldo Aquit

NEW TERRACE ADDITION

1375 MARSEILLE DR. MIAMI BEACH FLORIDA 33141



Location Map
SCALE: N.T.S.



Aerial Map
SCALE: N.T.S.



CLIENT

REINALDO AQUIT
1375 MARSEILLE DR. MIAMI BEACH FLORIDA 33141

SURVEYOR

IRELAND AND ASSOCIATES SURVEYING, INC.
1301 S. INTERNATIONAL PARKWAY SUITE 2001
P. 407.678.3366

ARCHITECT

FRANCISCO A. BENITEZ A.I.A. ARCHITECT AR#0007438
420 NW 43rd Pl
Miami, Florida
786.619.5905
Contact: Allan Hidalgo
E-mail: allan@hidalgoarchitectural.com

s y m b o l s :

	BREAK LINE
	WALL TYPE SYMBOL
	COLUMN TAG COLUMN CENTERLINE
	CEILING HEIGHT TAG
	DATUM POINT TAG, ELEVATION HEIGHT FROM / TO
	DETAIL TAG, DETAIL NUMBER SHEET NUMBER
	DETAIL BLOW-UP TAG, DETAIL NUMBER SHEET NUMBER
	AREA DETAIL BOUNDARY
	DRAWING TITLE TAG, SCALE SIZE DETAIL NUMBER
	DRAWING TITLE LABEL
	STEP NOTICE SYMBOL, HEIGHT OF STEP
	DOOR TYPE TAG, DOOR NUMBER
	INTERIOR ELEVATION TAG ELEVATION NUMBER SHEET NUMBER
	INTERIOR ELEVATION TAG, ELEVATION NUMBER SHEET NUMBER
	EXTERIOR ELEVATION TAG ELEVATION NUMBER SHEET NUMBER
	FINISH TAG, FINISH NUMBER FINISH MATERIAL
	FIRE EXTINGUISHER WALL RECESSED
	FIRE EXTINGUISHER WALL MOUNTED
	FIXTURE NOTE,
	MATCH LINE SHEET MATCH LINE SHEET NUMBER
	NORTH ARROW,
	REVISION TAG AND CLOUD DENOTES REVISED AREA DENOTES REVISION NUMBER
	ROOM TAG, ROOM NAME ROOM NUMBER
	SECTION DETAIL TAG, DETAIL NUMBER SHEET NUMBER
	SLOPE RATIO SYMBOL, SLOPE LABEL SLOPE RATIO

A B B R E V I A T I O N S :			
±	AND	JAN	JANITOR
∠	ANGLE	JT	JOINT
⊙	AT		
⊘	CENTER LINE	K	THOUSAND (1,000)
⊙	DIAMETER OR ROUND	KIT	KITCHEN
⊙	PERPENDICULAR		
⊙	POUND OR NUMBER	LAM	LAMINATED
⊙	EXISTING	LAV	LAVATORY
(E)		LP	LOW POINT
		LVR	LOUVER
ABV	ABOVE		
ACCUUS	ACCUUSICAL	MACH	MACHINE
A/C	AIR CONDITIONING	MATL	MATERIAL
AD	AREA DRAIN	MAX	MAXIMUM
ADJ	ADJACENT/ADJUSTABLE	MDF	MEDIUM DENSITY FIBERBOARD
AFF	ABOVE FINISHED FLOOR	MECH	MECHANICAL
A.H.U.	AIR HANDLER UNIT	MEMB	MEMBRANE
ALUM	ALUMINUM	MEZZ	MEZZARINE
AND	ANODIZED	MFR	MANUFACTURE
APPROX	APPROXIMATE (LY)	MH	MAN HOLE
		MIN	MINIMUM
BD	BOARD	MIR	MIRROR
BITUM	BITUMINOUS	MISC	MISCELLANEOUS
BLDG	BUILDING	NO	NOMINAL
BLK	BLOCK	NTD	NOUNDED
BLKG	BLOCKING	NTL	METAL
BM	BEAM	NUL	MULLION
BOT	BOTTOM		
BRZ	BRONZE	N	NORTH
		NO	NOT IN CONTRACT
C.	CHANNEL	NC	NUMBER
CAB	CABINET	NOM	NOMINAL
CB	CATCH BASIN	NTS	NOT TO SCALE
CERC	CERAMIC		
CJ	CONTROL JOINT	OA	OVERALL
CLG	CEILING	OC	ON CENTER
CL	CLOSET	OD	OUTSIDE DIAMETER
CLR	CLEAR	OFF	OFFICE
CLR OPG	CLEAR OPENING	OPNG	OPENING
CMU	CONCRETE MASONRY UNIT		
CNTR	COUNTER	PARTN	PARTITION
COL	COLUMN	PE.D.	PEDESTAL
CONC	CONCRETE	PH	PENTHOUSE
CONSTR.	CONSTRUCTION	P L	PROPERTY LINE
CONT	CONTINUOUS	PL	PLASTIC LAMINATE
CONTR	CONTRACTOR	PLAS	PLASTER
COORD	COORDINATE	PLBG	PLUMBING
CRPT	CARPET	PLWD	PLYWOOD
CT	CERAMIC TILE	PNT	PANEL
CTR	CENTER	PNT	PAINT
		PR	PREFAB
D	DRYER	PREFAB	PRE-FABRICATED
DBL	DOUBLE	PREFIN	PRE-FINISHED
DEPT	DEPARTMENT	PS	PULL STATION
DET	DETAIL	PSF	POUNDS PER SQUARE FOOT
DF	DRINKING FOUNTAIN	PSI	POUNDS PER SQUARE INCH
DI	DECK DRAIN	PT	PRESSURE TREATED
DIAN	DIAMETER	PRCT	PRE-CAST
DIM	DIMENSION	PREFAB	PREFABRICATED
DISP	DISPENSER	PVMT	PAVEMENT
DN	DOWN	PVC	POLYVINYL CHLORIDE
DR	DOOR		
DS	DROPSPOUT	QT	QUARRY TILE
DTL	DETAIL	QTY	QUANTITY
DW	DISHWASHER		
DWG	DRAWING	R	RISER OR RADIUS
		R&S	ROD AND SHELF
E	EAST	RA	RETURN AIR
EA	EACH	RAD	RADIUS
EJ	EXPANSION JOINT	RD	ROOF DRAIN
EL	ELEVATION	REF	REFRIGERATOR
ELECT	ELECTRICAL	REINF	REINFORCED
ELEV	ELEVATION	REQ'D	REQUIRED
EMER	EMERGENCY	REV	REVISION
ENCL	ENCLOSE/ENCLOSURE	RM	ROOM
EQ	EQUAL	RO	ROUGH OPENING
EQUIP	EQUIPMENT	RTU	ROOF TOP UNIT
ELECTRO	ELECTROSTATIC SPRAYED PAINT	RWL	RAIN WATER LEADER
EMC	ELECTRIC WATER COOLER		
EXIST	EXISTING	S	SOUTH
EXP	EXPANSION	SC	SOLID CORE
EXT	EXTERIOR	SCHD	SCHEDULE
		SEC	SECTION
FA	FIRE ALARM	SHT	SHEET
FD	FLOOR DRAIN	SHWR	SHOWER
FDN	FOUNDATION	SIM	SIMILAR
FE	FIRE EXTINGUISHER	SPEC	SPECIFICATION
FEC	FIRE EXTINGUISHER CABINET	SQ	SQUARE
FF/FIN/FLR.	FINISH FLOOR	SS	STAINLESS STEEL
FFE	FINISH FLOOR ELEVATION	SSK	SERVICE SINK
FHC	FIRE HOSE CABINET	STA	STATION
FHR	FIRE HOSE RACK	STC	SOUND TRANSMISSION COEFF.
FIXT	FIXTURE	STD	STANDARD
FLR	FLOOR	STL	STEEL
FLUOR	FLUORESCENT	STOR	STORAGE
FND	FOUNDATION	STRUCT	STRUCTURAL/STRUCTURE
FP	FIRE PROOF	SUSP	SUSPENDED
FRT	FIRE RETARDANT TREATED	SYM	SYMMETRICAL
FT	FOOT		
FTG	FOOTING	T	TREAD OR TOILET
FURN	FURNITURE	TELE	TELEPHONE
FURR	FURRING	TEMP	TEMPERED
		T&G	TONGUE AND GROOVE
GA	GAUGE	THK	THICK (NESS)
GALV	GALVANIZED	THRES.	

1. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ANY GOVERNMENTAL AGENCIES NECESSARY IN ORDER TO ESTABLISH ANY UTILITY EASEMENTS OR LINES PRESENT WITHIN THE PROPERTY PRIOR TO PERFORMING ANY WORK.
2. CONCRETE SHALL HAVE 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE NOTED (U.O.N.)
3. ALL REINFORCING STEEL SHALL BE DEFORMED BARS, AND SHALL HAVE A MINIMUM YIELD STRENGTH OF 60,000 PSI STEEL GRADE 60, AND MEET ASTM A-36 SPECS.
4. ALL STRUCTURAL STEEL SHALL HAVE A MINIMUM YIELD STRENGTH OF 36,000 PSI, AND MEET ASTM A-36 SPECS.
5. ALL DETAILING, FABRICATION AND PLACING OF REINFORCING BARS MUST FOLLOW THE ACI "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES", U.O.N..
6. STRUCTURAL DRAWINGS SHALL BE WORKED TOGETHER WITH ARCHITECTURAL, A/C, ELECTRICAL AND MECHANICAL DWGS. TO LOCATE OPENINGS, DRAINS, SLEEVES, SLOPES, DERESSED SLABS, BOLTS, CURBS, ETC.
7. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI-301ETC. "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS."
8. REMOVAL OF FORMWORK SHALL BE IN ACCORDANCE WITH ACI-347 RECOMMENDED PRACTICE FOR CONCRETE FORMWORK."
9. DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN.
10. REBARS SHOWN ON SECTIONS ARE FOR PLACEMENT DETAIL ONLY, SIZE AND AMOUNT OF REBARS ARE AS PER SCHEDULES.
11. NO TIE BEAMS SHALL BE FORMED/POURED PRIOR TO TRUSS SHOP DRAWINGS APPROVAL.
12. WINDOW MANUFACTURER TO VERIFY ALL WINDOW OPENINGS AT FIELD PRIOR TO WINDOW PLACEMENT.
13. ARCHITECT/ INTERIOR DESIGN ENGINEER'S VISITS AT THE SITE DURING CONSTRUCTION SHALL BE SCHEDULED WITH CONTRACTOR BEFORE COMMENCING OF WORK AND DURING CONSTRUCTION SHALL BE COORDINATED WITHIN 48 HOURS IN ADVANCE PRIOR TO INSPECTION.
14. VERIFY ALL DIMENSIONS ON DRAWINGS AND CONDITIONS AT JOB SITE PRIOR TO COMMENCING WORK. NOTIFY ARCHITECT OR OWNER REPRESENTATIVE OF ANY DISCREPANCIES AND SECURE AN INTERPRETATION OR DECISION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN.
15. OBTAIN THE LATEST SET OF DRAWINGS, INCLUDING ANY REVISIONS, BEFORE COMMENCING WORK. NO CHANGES OR SUBSTITUTIONS SHALL BE MADE WITHOUT THE WRITTEN PERMISSION OF THE OWNER/ARCHITECT/ INTERIOR DESIGNER.
16. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF THE "FLORIDA BUILDING CODE - RESIDENTIAL 2007" , ALL LOCAL CODES SHALL PREVAIL.
17. THE ARCHITECT DOES NOT ACCEPT RESPONSIBILITY FOR THE MISINTERPRETATION OF THESE PLANS BY OTHERS, THE REVIEW AND APPROVAL OF SHOP DRAWINGS OR PRODUCT CONTROL APPROVAL BY OTHERS.
18. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY ITEMS PURCHASED BY THE OWNER AND GIVEN TO HIM FOR INSTALLATION.
19. THE CONTRACTOR SHALL NOT PROCEED WITH ANY ADDITIONAL SERVICES OR WORK WITHOUT PRIOR NOTIFICATION TO THE OWNER, FOLLOWED BY A CHANGE ORDER.
20. THE CONTRACTOR SHALL MAKE REQUIRED ARRANGEMENTS, SECURE AND PAY FOR ALL SANITARY FACILITIES, BARRICADES, ENCLOSURES, AND FENCING AS NEEDED FOR AND DURING THE PROGRESS OF CONSTRUCTION, CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES.
21. DO NOT SUBSTITUTE MATERIALS, EQUIPMENTS OR METHODS OF CONSTRUCTION UNLESS SUCH SUBSTITUTIONS OR CHANGES HAVE BEEN APPROVED IN WRITING BY THE OWNER/ ARCHITECT/ ENGINEER.
22. THE ARCHITECT/ INTERIOR DESIGNER /OWNER HAS THE RIGHT TO REFUSE ANY MATERIAL AND WORKMANSHIP THAT DOES NOT MEET HIGH QUALITY STANDARDS OF THE VARIOUS TRADES INVOLVED.
23. CONTRACTOR SHALL MAINTAIN AN ACCURATE RECORD OF CHANGE ORDERS AND VARIATIONS THROUGHOUT THE PROGRESS OF THE WORK. USE ONE SET OF DOCUMENTS EXCLUSIVELY FOR THIS JOB.
24. CONTRACTOR SHALL DELIVER THE ANNOTATED JOB RECORD SET TO THE OWNER UPON COMPLETION OF THE WORK AS A CONDITION OF ACCEPTANCE.
25. CLEANING AND DEBRIS REMOVAL - THE OWNER SHALL RECEIVE THE PROPERTY FREE FROM DUST. ALL GLASS SURFACES SHALL BE CLEAN AND DEBRIS SHALL BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL MAKE EFFORT TO MAINTAIN THE FLOOR CLEAN DURING CONSTRUCTION PROGRESS. LEFTOVERS FORM MEALS CONSUMED ON PREMISES SHALL BE DEPOSITED IN SEALED CONTAINERS.
26. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION, AND FOR THE SEQUENCES AND PROCEDURES TO BE USED.
27. THE ARCHITECTURAL AND STRUCTURAL DRAWINGS SHALL GOVERN THE LOCATIONS OF THE INSTALLATIONS OF THE MECHANICAL AND ELECTRICAL SYSTEM. CONTRACTOR MUST INFORM THE ARCHITECT BEFORE FORMING ANY CONCRETE BEAM IF INTERFERING WITH A/C DUCT OR PLUMBING FIXTURES EXACT LOCATION, ANY DEVIATION FROM THE MECHANICAL/ ELECTRICAL PLANS TO ACCOMMODATE THE ABOVE CONDITIONS SHALL BE MADE WITHOUT ADDITIONAL COST TO THE OWNER.
28. THE CONTRACTOR SHALL PRODUCE, BY MEANS OF SHOP DRAWINGS, ALL ADDITIONAL DETAILS WHICH ARE INFERRABLE FROM THESE PLANS AND WHICH ARE NECESSARY FOR THE EXECUTION AND COMPLETION OF THE CONSTRUCTION.
29. THE CONTRACTOR MUST FURNISH ALL LABOR, TOOLS, MATERIALS AND EQUIPMENT NECESSARY TO EXECUTE THE CONSTRUCTION OF THIS JOB.
30. UPON ACCEPTANCE AS SUBSTANTIALLY COMPLETE, THE ARCHITECT SHALL ISSUE THE CONTRACTOR A "PUNCHLIST," INDICATING THE OBSERVED DEFICIENCIES IN THE WORK. THE CONTRACTOR SHALL MAKE SUCH CORRECTIONS AND ACHIEVE FINAL COMPLETION WITHIN 14 CALENDAR WORKING DAYS.
31. ANY OMISSION OF EQUIPMENT INSTALLATIONS AND MATERIALS SHALL BE PROMPTLY RECTIFIED, BY CONTRACTOR UPON NOTIFICATION BY ARCHITECT/ ENGINEER/ OWNER.
32. ANY OTHER SERVICES NECESSARY FOR THE COMPLETION OF THIS JOB THAT MAY BE INVOLUNTARY UNDER THE JURISDICTION OF THE FLORIDA BUILDING CODE AND NOT SPECIFIED IN THE "GENERAL NOTES AND OR SPECIFICATIONS" ARE THE CONTRACTOR'S SOLE RESPONSIBILITY.
33. CONTRACTOR SHALL SUBMIT TO ARCHITECT/ ENGINEER & BUILDING DEPARTMENT ALL REQUIRED SHOP DRAWINGS FOR REVIEW AND APPROVAL AS REQUIRED.
34. ALL GLASS SHOWER AND TUB ENCLOSURES SHALL BE RECEIVE CATEGORY II - SAFETY GLAZING.
35. ALL FIXED GLASS SHALL BE 1/4" THICK (U.O.N.)
36. ALL CEILINGS SHALL BE SEALED SO THAT AIR FLOW FROM SHAFTS, WALL CHASES, CAVITIES AND BETWEEN CONDITIONED AND UNCONDITIONED ATTIC SPACE IS STOPPED.
37. USE ONLY HIGH HAT LIGHTS WITH SEALED CANS OR SEAL THEM FROM THE ATTIC DRYWALL SO THAT COLD AIR DOES NOT GET INTO THE ATTIC.
38. ALL DIFFUSERS AND GRILLS SHALL HAVE GASKETTS AND THE FIBERGLASS BOOT

[illegible]

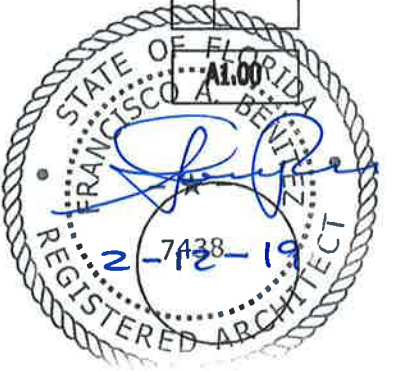
NEW TERRACE FOR RENALDO AQUIT
1375 MARSEILLE DR.
MIAMI BEACH, FLORIDA





FRANCISCO A. BENITEZ A.I.A. ARCHITECT
AR 0007438/420 NW. 43rd. Place Miami, FL. PH 786 619 5905
REVISIONS:
DRAWN: A. BENITEZ
CHECKED: ALAN REINALDO
DATE: 4-19-2012

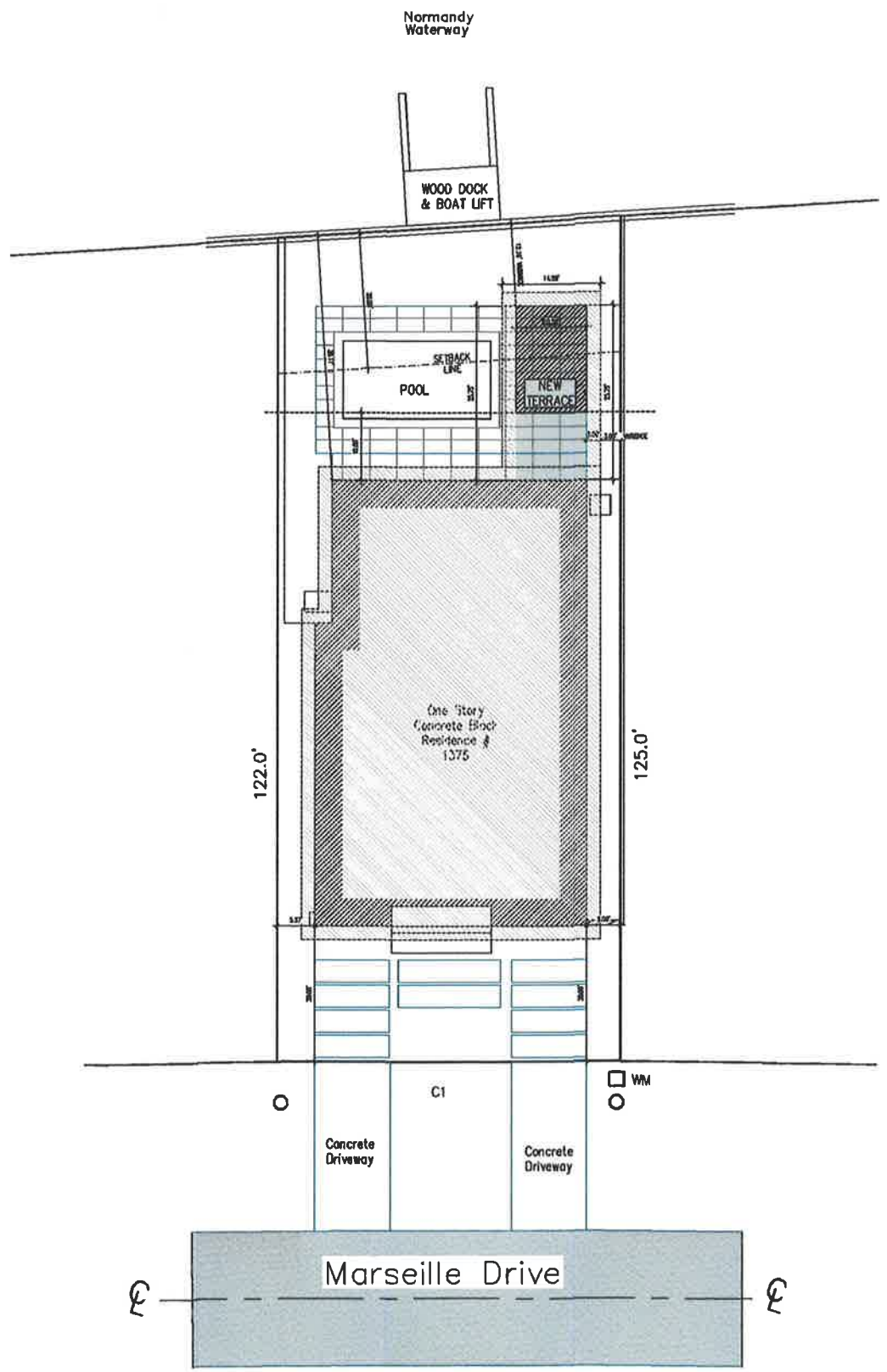
NEW TERRACE FOR REINALDO AQUIT
1375 MARSEILLE DR.
MIAMI BEACH, FLORIDA



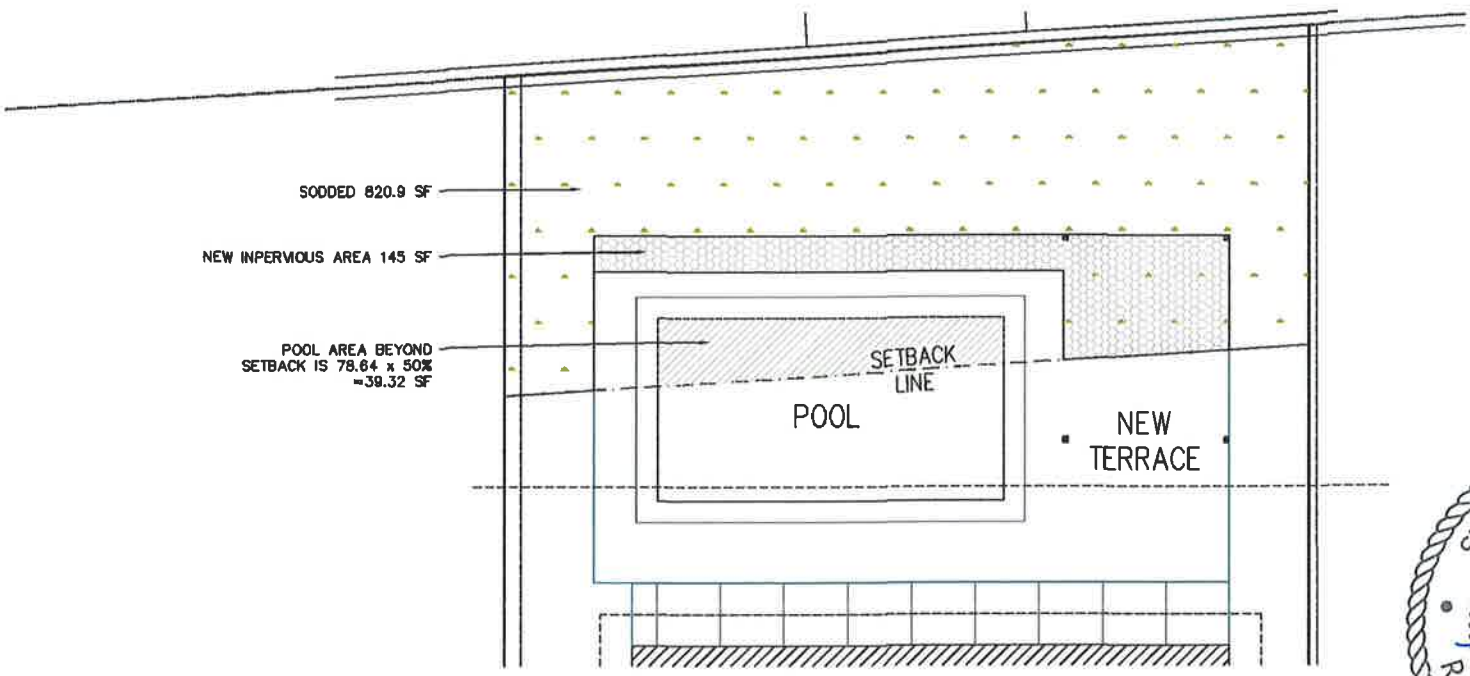
SCOPE OF WORK

1. PERMIT FOR AFTER THE FACT CONSTRUCTION OF AN OPEN TERRACE
2. REQUEST FOR A VARIANCE TO REDUCE THE REAR SETBACK BY 7.00 FEET

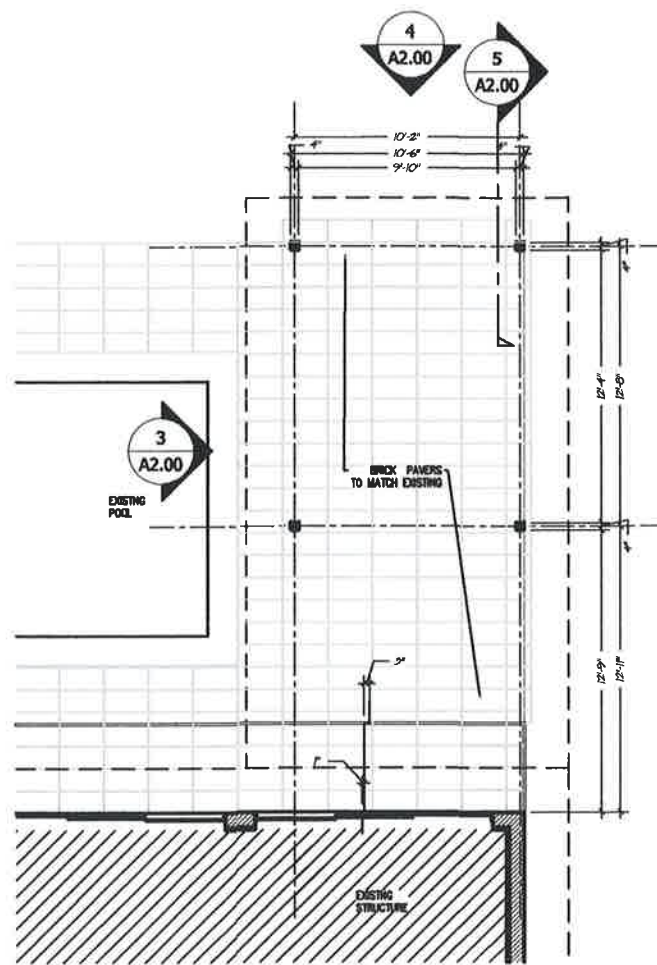
Zoning Data				
Site Address:	1375 MARSEILLE DR Miami Beach, FL 33141			
Folio Number:	02-3210-013-3910			
Legal Description:	2-3-10-11 53 42 PB 25-60 OCEAN SIDE SEC ISLE OF NORMANDY LOT 16 BLK 19 LOT SIZE 50.960 X 125 OR 18564-4885 04 1999 1 COC 263147-4408 01 2008 4			
PROPERTY OWNER:	REINALDO AQUIT			
NET LOT AREA:	LOT 1: 6970.00	total 6970.00	acres 0.146	
CLASSIFICATION OF WORK:	AS BUILT ADDITION OF A TERRACE			
NEW AREA	270.38 SF			
	REQ'D./ALLOWED	EXISTING	AS BUILT	
ZONING:	RS-4			
USE:	RESIDENTIAL			
MIN. LOT AREA	6000.00	6970.00		
MIN. LOT WIDTH	50.00	50.00		
SETBACKS				
FRONT	20.00	20.09		
REAR	20.00	36.17	12.16	VARIANCE
SIDE INTERIOR	15.00 ADDED	5.58		
SIDE INTERIOR	25% OF WIDTH	5.00		
MAX. BUILDING HIGH FT.	27.00	13.71		
	50%	0.40		
MAX. FLOOR AREA SQ.FT	3185.00	2545.30		
	45%	68%	3%	
MAX IMPERVIOUS AREA	2866.50	4198.00	165.00	
REAR YARD AREA	3013.40 sf			
	70%	81%	71%	
SODDED	708.38	820.90	715.22	
IMPERVIOUS			145.00	
POOL		78.64		
Area Tabulation				
	Existing	Proposed		
A/C area	2191.00 sf			
Garage	354.30 sf			
Terrace		270.00 sf		
Total	2545.30 sf	270 sf		
Grand Total		2815.30 sf		



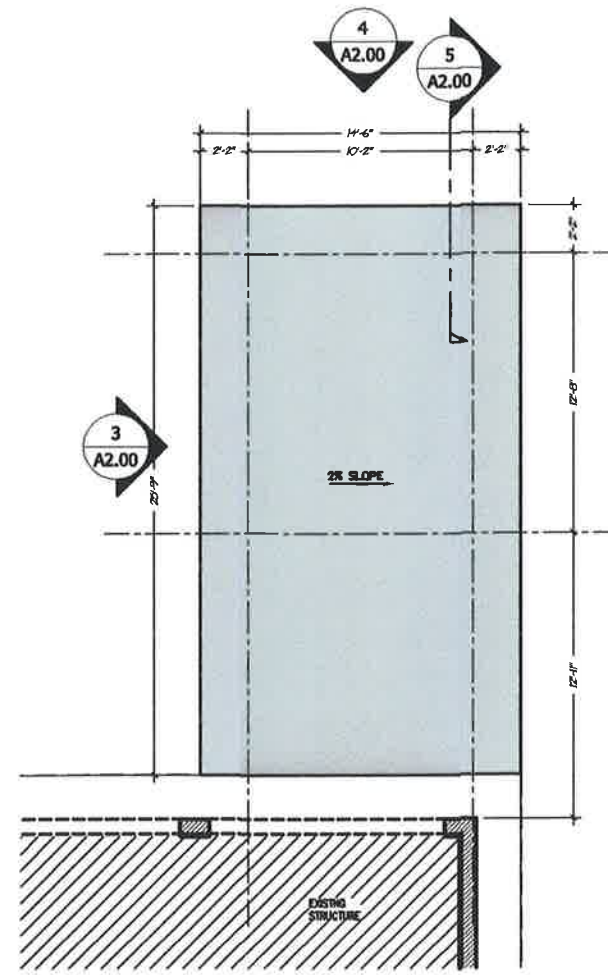
01 Site Plan
SCALE: 3/32"=1'-0"



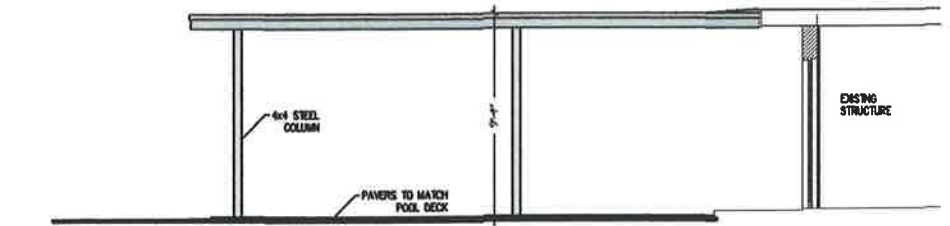
02 Rear Yard (Pervious vs Impervious Area)
SCALE: 3/16"=1'-0"



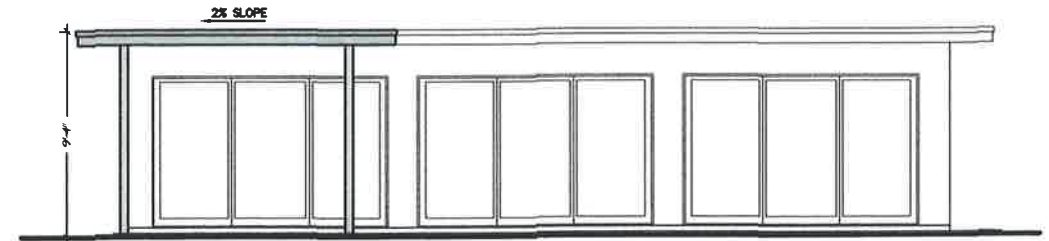
01 **Proposed Floor Plan**
SCALE: 1/4"=1'-0"



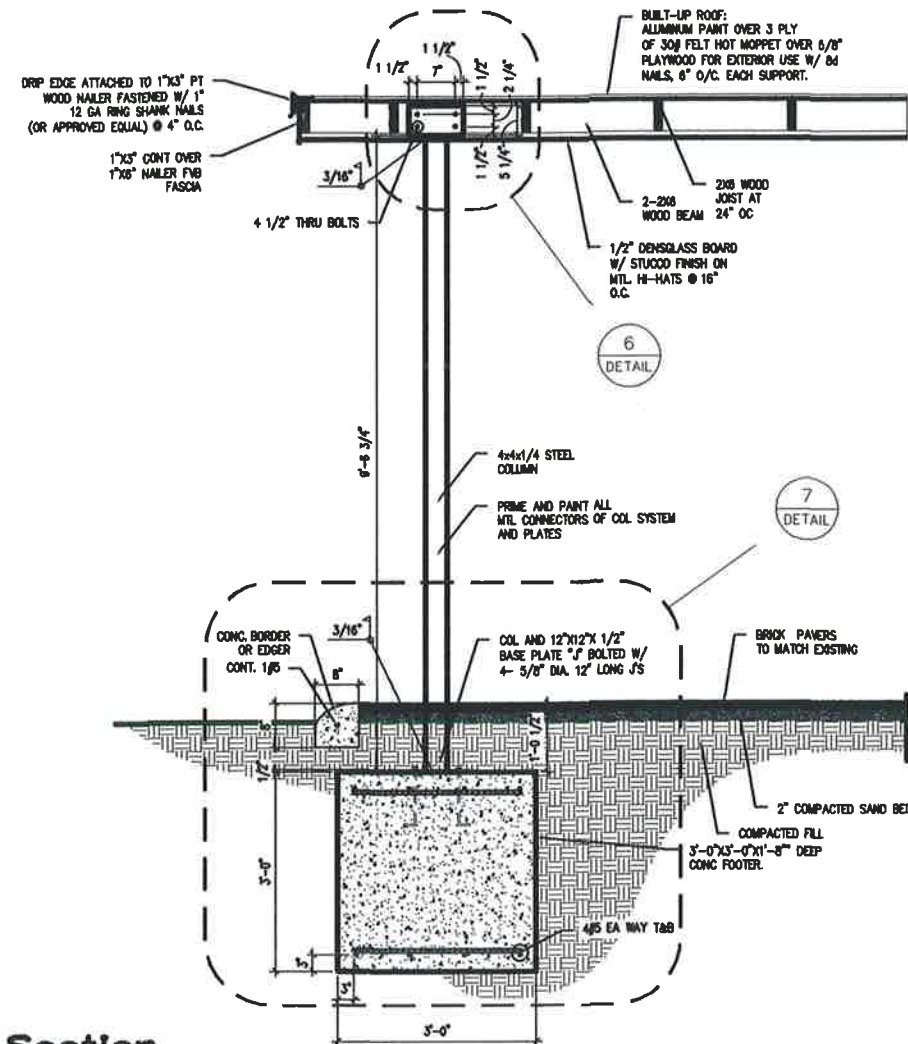
02 **Proposed Roof Plan**
SCALE: 1/4"=1'-0"



03 **Proposed Side Elevation**
SCALE: 1/4"=1'-0"



04 **Proposed Rear Elevation**
SCALE: 1/4"=1'-0"

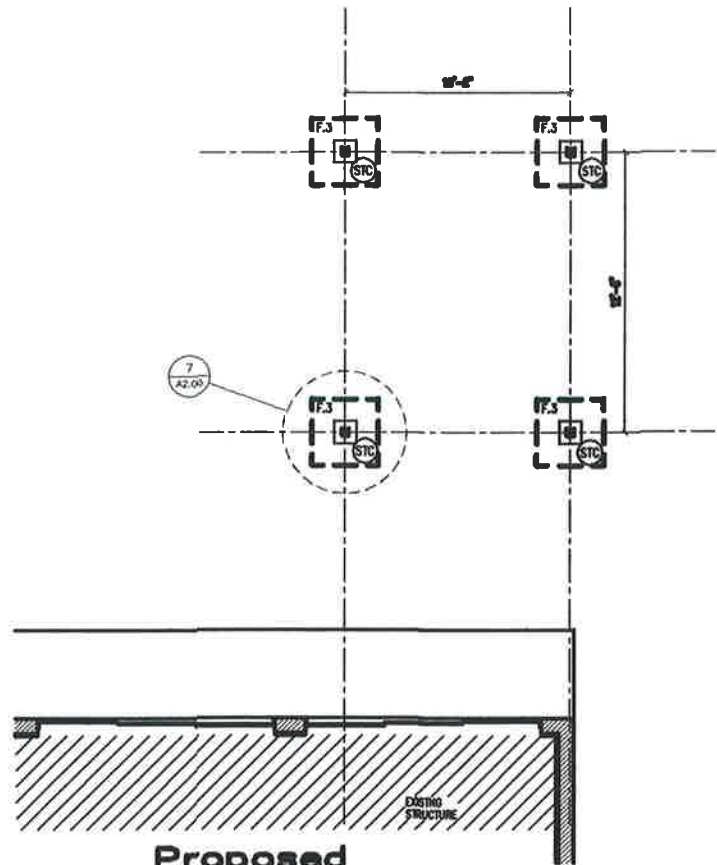


05 **Section**
SCALE: 3/4"=1'-0"

FRANCISCO A. BENITEZ A.I.A. ARCHITECT
AR 0007438/420 NW 43rd. Place Miami, FL/ PH 786 619 5905
OWNER: A. BENITEZ
DATE: 4-8-2025

NEW TERRACE FOR REINALDO AQUIT
1375 MARCELLE DR.
MIAMI BEACH, FLORIDA

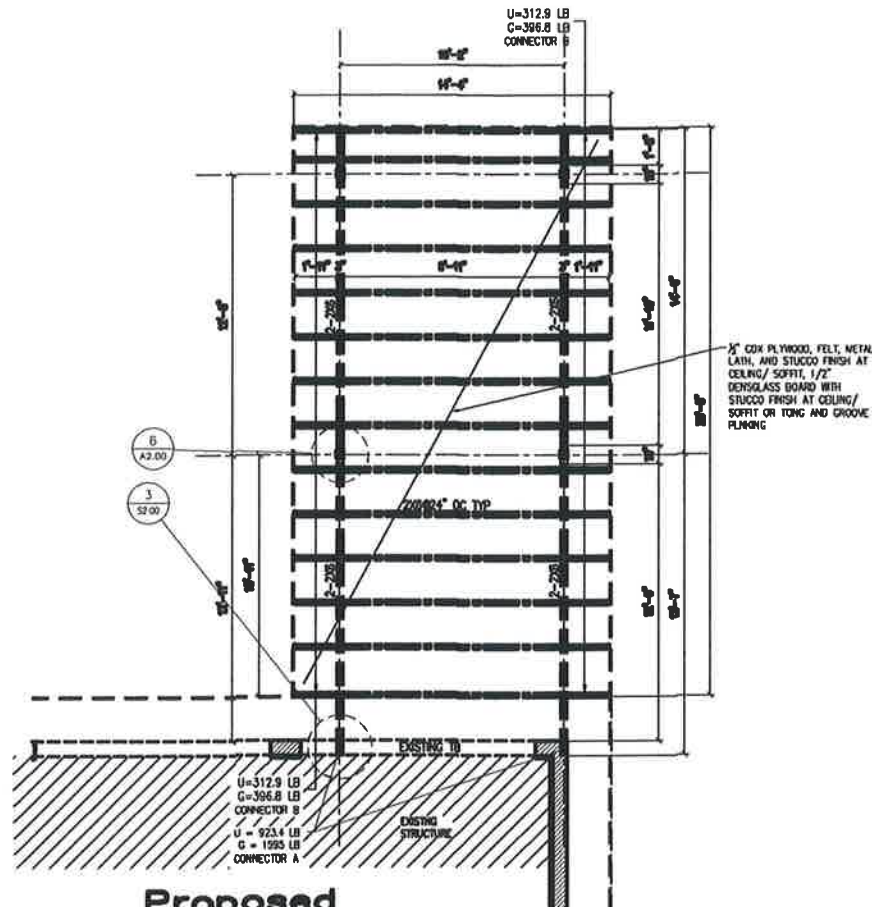




O1 Proposed Foundation Plan
SCALE: 1/4"=1'-0"

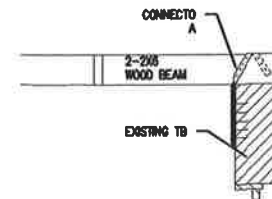
COLUMN SCHEDULE				
MARK	SIZE	REINFORCEMENT VERTICAL OR BASE PLATE	REINFORCEMENT TIES OR CAP PLATE	REMARKS
STC	4" x 4" x 1/4"	12" x 12" x 1/2"		

FOOTING SCHEDULE						
MARK	WIDTH	LENGTH	THICKNESS	GRAV. CONC.	REF. CONC.	TO BE
FL3	30"	30"	30"		(1) #5 @ 12" O.C.	(1) #5 @ 12" O.C.



O2 Proposed Roof Framing Plan
SCALE: 1/4"=1'-0"

WOOD CONNECTOR	
Ⓐ	MYRT, CONNECT TO CONCRETE WITH 5 #1/4" TAPCONS AND 7 (100) TO CARRIED MEMBER ALLOWABLE UPLIFT 1125 LBS NOA 15-0507.01
Ⓑ	LUS25-2, CONNECT TO CARRIED MEMBER WITH 4 (100) AND 4 (100) TO CARRIED MEMBER ALLOWABLE UPLIFT 1000 LBS FL 10635-R3



O3 Detail
SCALE: 3/4"=1'-0"

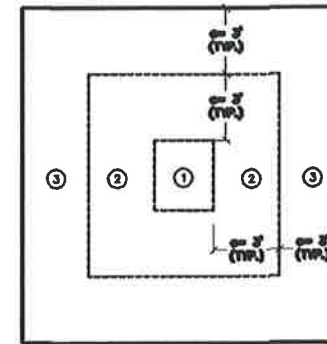
ROOF LOAD NOTES :

TRUSSES TO BE DESIGNED FOR WIND LOAD COMPONENTS AND GLAZING (GAG) LOADING CRITERIA BASED ON:

- 1) WIND LOADS:
F.S.D. 2017
ASCE 7-10
ULTIMATE WIND SPEED = 175 MPH
EXPOSURE = C
CATEGORY = II
WIND FACTOR = 0.8
MEAN ROOF HEIGHT = 8.33 FT
BASIC WIND PRESSURE = 33.84 PSF
 $K_1 = K_2 = 0.85$ $K_d = 0.85$
 $s = 3.0$ FT
ROOF ZONE 1 $P = -34.62$ PSF
ROOF ZONE 2 $P = -51.83$ PSF
ROOF ZONE 3 $P = -51.83$ PSF

8. OTHER LOADS:

DEAD LOAD:
WOOD JOISTS _____ 10 PSF
LINE LOAD:
ROOF (NON-ACCESSIBLE) _____ 30 PSF
TOTAL LOAD: _____ 40 PSF



ROOF WIND LOAD DIAGRAM
SCALE: 1/4"=1'-0"

PLYWOOD ROOF SHEAR DIAPHRAGM SCHEDULE

	PANEL GRADE	FRAMING TRUSS SPACING	MINIMUM PANEL THICKNESS	NAILING SCHEDULE	COMMON NAIL SIZE	REMARKS
ROOF	APA RATED SHEATHING EXP.1	2'-0"	19/32" NOM.	6" @ ZONE 1 6" @ ZONE 2 & 3	10d COMMON NAIL	CABLE ENDS (SEE NOTE-6)

NOTES:

1. INSTALL PLYWOOD PANELS AS SHOWN ON DETAIL ABOVE.
2. OSB SHEATHING IS NOT ALLOWED IN THE HIGH VELOCITY HURRICANE ZONES "HVMZ".
3. PLYWOOD ROOF SHEATHING CD GRADE, AND SHALL BE RATED FOR EXPOSURE 1, WITH A MINIMUM NOMINAL THICKNESS OF 19/32" AND SHALL BE CONTINUOUS OVER (2) OR MORE SPANS WITH THE LONG DIMENSION OR STRENGTH AXIS OF THE PANEL PERPENDICULAR TO SUPPORTS.
4. PANEL END JOINTS SHALL OCCUR OVER TRUSSES. JOINTS SHALL BE STAGGERED AND PARALLEL TO THE TRUSSES, AND ENDS AT DIAPHRAGM BOUNDARIES SHALL BE ATTACHED TO A MINIMUM 2-INCH-THICK NOMINAL FASCIA BOARD.
5. ROOF SHEATHING PANELS SHALL BE PROVIDED WITH THE MINIMUM OF 2"x4" EDGEWISE BLOCKING AT ALL HORIZONTAL PANEL JOINTS FOR A DISTANCE AT LEAST 4 FEET FROM EACH GABLE END, UNLESS OTHERWISE NOTED.
6. ZONES 1, 2 & 3 ARE AS SHOWN ON UPLIFT DIAGRAM ABOVE.

WOOD TRUSSES BRACING NOTES:

- A. PERMANENT WEB BRACING SHALL BE INSTALLED ACCORDING TO INDIVIDUAL TRUSS DRAWINGS. REFER TO SHOP DRAWINGS. (WEB BRACING IS NOT SHOWN ON ROOF FRAMING PLAN). HOWEVER, THE PERMANENT WEB AND HORIZONTAL LATERAL BRACING SHALL MEET AT LEAST THE MINIMUM REQUIREMENTS SPECIFIED IN THIS SHEET. THE PERMANENT WEB AND HORIZONTAL LATERAL BRACING SHALL BE RESTRAINED TO PREVENT LATERAL MOVEMENT BY SOLID ANCHORAGE TO END WALLS, OR BY PERMANENT DIAGONAL BRACING IN THE PLANE OF THE WEB MEMBER AT INTERVALS NOT TO EXCEED TWENTY (20) FEET ALONG CONTINUOUS WEB BRACE. (REFER TO HIB-91, SECTION 1323.1 AND DETAILS BELOW ON THIS SHEET. IN THE EVENT OF CONFLICT BETWEEN SHOP DRAWINGS AND THE ORDER OF RECORD PERMANENT LATERAL BRACING REQUIREMENTS, THE PROVISIONS OF THE MORE STRINGENT SHALL GOVERN).
- B. ALL TOP CHORDS ARE ASSEMBLED TO BE SHEATHED, AND ALL BOTTOM CHORDS SHALL BRACED BY A 2"x4" CONTINUOUS LATERAL BRACING SPACED NOT MORE THAN 10 FEET AND NAILED TO UPPER SIDE OF THE BOTTOM CHORD WITH 2-16d. REFER TO INDIVIDUAL TRUSS DRAWINGS FOR ACTUAL BRACING REQUIREMENTS. THE CITYWALL CEILING IS NOT TO BE CONSIDERED A CEILING DIAPHRAGM.
- C. BRACING SHOWN ON PLANS DOES NOT INCLUDE TEMPORARY BRACING REQUIRED FOR THE ERECTION AND INSTALLATION OF TRUSSES PRIOR TO THE INSTALLATION OF PERMANENT CROSS BRACING AND WEB LATERAL BRACING REQUIREMENTS. TEMPORARY BRACING IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHOULD REMAIN IN PLACE AS LONG AS NECESSARY FOR THE SAFE AND ACCEPTABLE INSTALLATION OF THE ROOF OR FLOOR. (REF: HIB-91 SUMMARY SHEET).
- D. REFER TO HIB-91 COMMENTARY AND RECOMMENDATIONS FOR HANDLING, INSTALLATION AND BRACING METAL PLATE CONNECTED WOOD TRUSSES. APPENDIX G, FOR RECOMMENDED SEQUENCE OF INSTALLING BRACING COMPONENTS.



FRANCISCO A. BENITEZ A.I.A., ARCHITECT
AR 0007438/420 NW 43rd Place Miami, FL / PH 786 619 5905
OWNER: A. BELLAR
DESIGNED: A. BELLAR
DATE: 4-18-2022

NEW TERRACE FOR RENALDO AGUIR

1375 MARSEILLE DR.
MIAMI BEACH, FLORIDA







CARLOS J. MARADIAGA
GEORGINA CABRERA
Property Owners Data Research Services
3802 SW 79th Avenue, #117
Miami, Florida 33155
Phone: (305) 262-8965 • (786)344-9776
E-mail: DataResearchAssociates@gmail.com

Date: August 2, 2018

Number of Owners: 54 (including Subject.)

COVER LETTER & CERTIFICATION

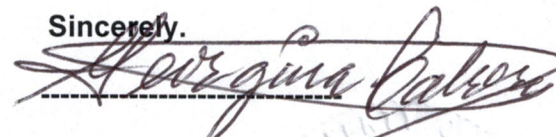
To: CITY HALL, MIAMI BEACH, FL
Department of Building, Planning, & Zoning.
1700 Convention Center DR, Miami Beach, FL 33139

RE: Property Owners within a 375'Foot Radius of.
PROPERTY ADDRESS : 1375 Marseille Dr, Miami Beach, FL 33141

LEGAL DESCRIPTION:
2-3-10-11-53 42 PB 25-60 OCEAN SIDE SEC ISLE
OF NORMANDY LOT 16 BLK 19 LOT SIZE 50.960 X 125 OR
18564-4885 04 19991

I certify that the attached Ownership list, Map, and Mailing Labels are a complete and Accurate representation of the real estate Property Owners within a 375'-foot radius Of the subject(s) Property listed above. The information reflects the most current Records, on file in the Miami- Dade County Tax Assessor's Office.

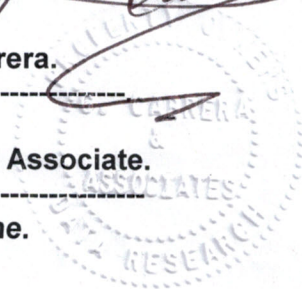
Sincerely,

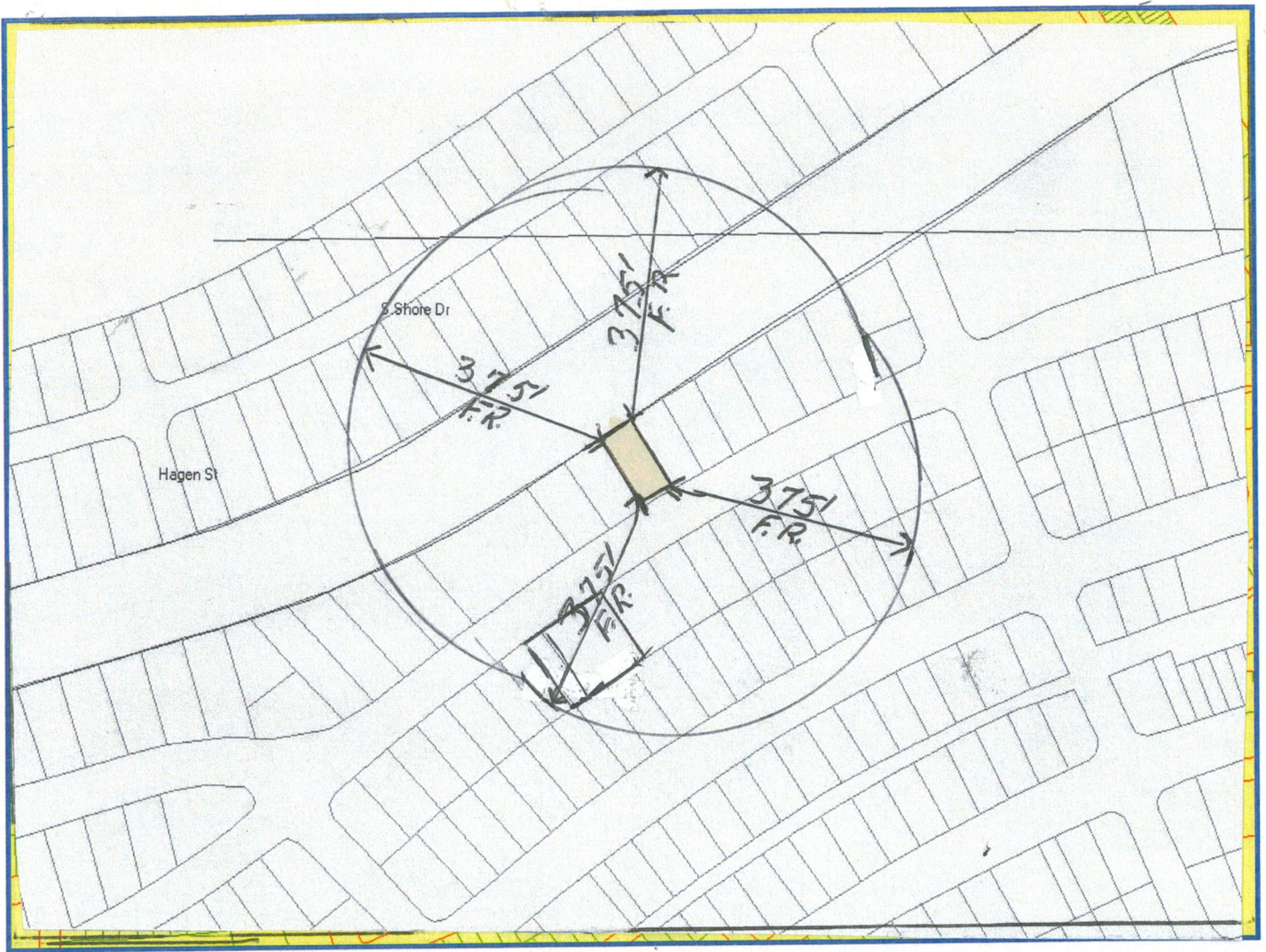


Georgina Cabrera.

Data Research Associate.

Company Name.





375"FOOT RADIUS MAP

APPROXIMATE SCALE = 1"= 375'

PROPERTY ADDRESS: 1375 MARSEILLE DR MIAMI BEACH, FL 33141

LEGAL DESCRIPTION: 2-3-10-11 53 42 PB 25-60 OCEAN SIDE SEC ISLE OF
NORMANDY LOT 16 BLK 19 LOT SIZE 50.960 X 125 OR
18564-4885 04 1999 1





OFFICE OF THE PROPERTY APPRAISER

Summary Report

Generated On : 8/2/2018

Property Information	
Folio:	02-3210-013-3310
Property Address:	1375 MARSEILLE DR Miami Beach, FL 33141-3606
Owner	REINALDO AQUIT
Mailing Address	1375 MARSEILLE DR MIAMI BEACH, FL 33141 USA
PA Primary Zone	0100 SINGLE FAMILY - GENERAL
Primary Land Use	0101 RESIDENTIAL - SINGLE FAMILY : 1 UNIT
Beds / Baths / Half	2 / 1 / 1
Floors	1
Living Units	1
Actual Area	2,574 Sq.Ft
Living Area	2,191 Sq.Ft
Adjusted Area	2,111 Sq.Ft
Lot Size	6,370 Sq.Ft
Year Built	1950

Assessment Information			
Year	2018	2017	2016
Land Value	\$318,500	\$341,381	\$325,125
Building Value	\$243,215	\$246,487	\$195,918
XF Value	\$38,303	\$38,700	\$3,925
Market Value	\$600,018	\$626,568	\$524,968
Assessed Value	\$600,018	\$626,568	\$524,968

Benefits Information				
Benefit	Type	2018	2017	2016
Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).				

Short Legal Description	
2-3-10-11 53 42 PB 25-60	
OCEAN SIDE SEC ISLE OF NORMANDY	
LOT 16 BLK 19	
LOT SIZE 50.960 X 125	
OR 18564-4885 04 1999 1	



Taxable Value Information			
	2018	2017	2016
County			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$600,018	\$626,568	\$524,968
School Board			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$600,018	\$626,568	\$524,968
City			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$600,018	\$626,568	\$524,968
Regional			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$600,018	\$626,568	\$524,968

Sales Information			
Previous Sale	Price	OR Book-Page	Qualification Description
01/02/2018	\$1,030,000	30844-3416	Qual by exam of deed
04/24/2015	\$670,000	29607-0659	Financial inst or "In Lieu of Foreclosure" stated
12/13/2013	\$1,100	28978-1003	Financial inst or "In Lieu of Foreclosure" stated
01/01/2008	\$0	26147-4408	Sales which are disqualified as a result of examination of the deed

The Office of the Property Appraiser is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser and Miami-Dade County assumes no liability, see full disclaimer and User Agreement at <http://www.miamidade.gov/info/disclaimer.asp>

Version:

<u>NAME</u>	<u>ADDRESS</u>	<u>CITY</u>	<u>STATE</u>	<u>ZIP</u>	<u>COUNTRY</u>
1359 Normandy Dr LLC	Carrera 50 No 125-06	BOGOTA			COLOMBIA
Elite Group One Investment LLC	204 Three Island Blvd	HALLANDALE	FL	33009	
470 Investments Llc	2137 Nw 2 Ave	MIAMI	FL	33127	
Cfh Investments Llc	355 Alhambra Cir 801	CORAL GABLES	FL	33134	
Normandy Marseille Llc	927 Lincoln Rd Ste 200	MIAMI BEACH	FL	33139	
Franck Roger Milenko Suznjevic	490 S Shore Dr	MIAMI BEACH	FL	33141	
Marine Aude Karine Rivierre Irwin Loeb & Gertrude	460 S Shore Dr	MIAMI BEACH	FL	33141	
Richard J Leonard & Diane S	450 S Shore Dr	MIAMI BEACH	FL	33141	
Manuel Lopez	520 S Shore Dr	MIAMI BEACH	FL	33141	
Paul Leary	510 S Shore Dr	MIAMI BEACH	FL	33141	
Dana M Gordon	500 S Shore Dr	MIAMI BEACH	FL	33141	
Reinaldo Aquit	1375 Marseille Dr	MIAMI BEACH	FL	33141	
Osmany Prada	1385 Marseille Dr	MIAMI BEACH	FL	33141	
Folko Weltzien	1379 Marseille Dr	MIAMI BEACH	FL	33141	
Marcia Beatriz Witecv Dan Recio	1355 Marseille Dr	MIAMI BEACH	FL	33141	
Sheldon Shapiro	1345 Marseillle Dr	MIAMI BEACH	FL	33141	
Valenk Llc	1325 Marseille Dr	MIAMI BEACH	FL	33141	
Ricardo A Otero & Charles E Morganstern	1313 Marseille Dr	MIAMI BEACH	FL	33141	
Paul A Siska & Tatiana A Siska	1365 Marseille Dr	MIAMI BEACH	FL	33141	
Louis Bondi	1360 Marseille Dr	MIAMI BEACH	FL	33141	
Jason Obrien	1320 Marseille Dr	MIAMI BEACH	FL	33141	
Emilie Obrien	1374 Marseille Dr	MIAMI BEACH	FL	33141	
Joseph Amir Zeitouni	1370 Marseille Dr	MIAMI BEACH	FL	33141	
Sherri Rebecca Zeitouni Sandy Araujo Cox	1370 Marseille Dr	MIAMI BEACH	FL	33141	
Divina Orpi (Trust)	1348 Marseille Dr	MIAMI BEACH	FL	33141	
Modesto Obregon & Angela Y	1384 Marseille Dr	MIAMI BEACH	FL	33141	
Eleanor Silnicki	1340 Marseille Dr	MIAMI BEACH	FL	33141	
Eleanor Silnicki (Ben) Robert W Evans & Angela	1415 Marseille Dr	MIAMI BEACH	FL	33141	
Odalys Munoz	1420 Marseille Dr	MIAMI BEACH	FL	33141	
Marta Sanchez	1345 Normandy Dr	MIAMI BEACH	FL	33141	
Ramon Martell	1381 Normandy Dr	MIAMI BEACH	FL	33141	
David Michael Lawrence	1365 Normandy Dr	MIAMI BEACH	FL	33141	
Cassia Cordeiro Lawrence	1397 Normandy Dr	MIAMI BEACH	FL	33141	
Lenny Joseph	1375 Normandy Dr	MIAMI BEACH	FL	33141	
Chimezie Joseph	1375 Normandy Dr	MIAMI BEACH	FL	33141	
Victor R Vergara	1389 Normandy Dr	MIAMI BEACH	FL	33141	
Maraarita Veraara	1325 Normandy Dr	MIAMI BEACH	FL	33141	
David G Samberg Le	1325 Normandy Dr	MIAMI BEACH	FL	33141	
Violet Sambeera Le Edward Sulton	1325 Normandy Dr	MIAMI BEACH	FL	33141	
Joy Andre	1331 Normandy Dr	MIAMI BEACH	FL	33141	
Ernesto Luis Meireles	1355 Normandy Dr	MIAMI BEACH	FL	33141	
Leslie Lopez	1405 Normandy Dr	MIAMI BEACH	FL	33141	
Benitta Berke & Adrienne Berke	7450 N Sacramento	CHICAGO	IL	60645	

1359 Normandy Dr LLC
Carrera 50 No 125-06
BOGOTA, COLOMBIA

Elite Group One Investment LLC
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HALLANDALE, FL 33009

470 Investments Llc
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Jason Obrien
Emilie Obrien
1320 Marseille Dr
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Joseph Amir Zeitouni
Sherri Rebecca Zeitouni
1374 Marseille Dr
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Sandy Araujo Cox
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MIAMI BEACH, FL 33141

Lenny Joseph
Chimezie Joseph
1397 Normandy Dr
MIAMI BEACH, FL 33141

Victor R Vergara
Margarita Vergara
1375 Normandy Dr
MIAMI BEACH, FL 33141

David G Samberg Le
Violet Sambeerg Le
1389 Normandy Dr
MIAMI BEACH, FL 33141

Edward Sulton
1325 Normandy Dr
MIAMI BEACH, FL 33141

Joy Andre
1331 Normandy Dr
MIAMI BEACH, FL 33141

Ernesto Luis Meireles
1355 Normandy Dr
MIAMI BEACH, FL 33141

Leslie Lopez
1405 Normandy Dr
MIAMI BEACH, FL 33141

Benitta Berke & Adrienne Berke
7450 N Sacramento
CHICAGO, IL 60645

Dhruv Khanna
Namita Khanna
2625 Willow Cove
DECATUR, GA 30033

Nicolas Invest Llc
90 Alton Rd Th South
MIAMI BEACH, FL 33139

Georgiy Brusovanik
Lauren Luis Bursovanik
430 S Shore Dr
MIAMI BEACH, FL 33141

Kimberly Lewis
Ronald W Lewis
440 S Shore Dr
MIAMI BEACH, FL 33141

Lambeth Usa Corp
540 S Shore Dr
MIAMI BEACH, FL 33141

Alain Said Ouelhadj/Corinne
Villain Ouelhadj
530 S Shore Dr
MIAMI BEACH, FL 33141

John Vinent & A Lopez
1310 Marseilles Dr
MIAMI BEACH, FL 33141

Lieselotte Schnarr
1300 Marseille Dr
MIAMI BEACH, FL 33141

Normandy Star Llc
1445 Marseille Dr
MIAMI BEACH, FL 33141

Martin Warner
Virginia Fernandez de Larrea
1440 Marseille Dr
MIAMI BEACH, FL 33141

Lillian Santana
1430 Marseille Dr
MIAMI BEACH, FL 33141

Nestor Di Palma & Maria
1315 Normandy Dr
MIAMI BEACH, FL 33141

Bernardo Epelbaum & Lilia
1423 Normandy Dr
MIAMI BEACH, FL 33141

Alejandro Torres
1411 Normandy Dr
MIAMI BEACH, FL 33141

7220 Rue Notre Dame Llc
7220 Rue Notre Dame
MIAMI BEACH, FL 33141

Parcel ID	Legal Description	Owner Name 1	Property Address Link
0232100100100	NORMANDY WATERWAY SUB PB 40-60 LOT 13 BLK 19 LOT SIZE 63.660 X 12: FOLKO WELTZIEN		1379 MARSEILLE DR
0232100100110	NORMANDY WATERWAY SUB PB 40-60 LOT 18 BLK 19 LOT SIZE 59.000 X 13: DAN RECIO		1355 MARSEILLE DR
0232100100120	NORMANDY WATERWAY SUB PB 40-60 LOT 19 BLK 19 LOT SIZE 61.360 X 13: SHELTON SHAPIRO		1345 MARSEILLE DR
0232100100130	NORMANDY WATERWAY SUB PB 40-60 LOT 20 BLK 19 LOT SIZE 61.470 X 14: ** CONFIDENTIAL **		1335 MARSEILLE DR
0232100100140	NORMANDY WATERWAY SUB PB 40-60 LOT 21 BLK 19 LOT SIZE 61.600 X 15: VALENK LLC		1325 MARSEILLE DR
0232100100150	9-10 53 42 NORMANDY WATERWAY SUB PB 40-60 LOT 22 BLK 19 LOT SIZE 6 RICARDO A OTERO &		1313 MARSEILLE DR
0232100100170	9 10 53 42 NORMANDY WATERWAY SUB PB 40-60 BEG 98.02FTSE OF NE CC JEANNETTE LUCKY RAMOS		1301 MARSEILLE DR
0232100120190	2ND REV PL OF PORT OF OCEAN SIDE SEC & TROUVILLE SEC OF ISLE OF N RUE NOTRE DAME APARTMENTS LLC		7155 RUE NOTRE DAME
0232100120480	ISLE OF NORMANDY OCEAN SIDE & TROUVILLE SECS 2ND REV PB 40-35 LC REGIS GILBERTO INC		1251 NORMANDY DR
0232100120490	ISLE OF NORMANDY OCEAN SIDE & TROUVILLE SECS 2ND REV PB 40-35 NE GK INVEST LLC		7115 RUE NOTRE DAME
0232100120500	ISLE OF NORMANDY OCEAN SIDE & TROUVILLE SECS 2ND REV PB 40-35 LC B O R N INC		1259 NORMANDY DR
0232100120710	ISLE OF NORMANDY OCEAN SIDE & TROUVILLE SECS 2ND REV PB 40-35 LC MICHAEL GUTIERREZ		1398 NORMANDY DR
0232100120730	ISLE OF NORMANDY OCEAN SIDE & TROUVILLE SECS 2ND REV PB 40-35 LC GUSTAVO SERRANO		1350 NORMANDY DR
0232100120740	3-10 53 42 ISLE OF NORMANDY OCEAN SIDE & TROUVILLE SECS 2ND REV F MARIA LUISA AROCHO		1330 NORMANDY DR
0232100120750	ISLE OF NORMANDY OCEAN SIDE & TROUVILLE SECS 2ND REV PB 40-35 LC MARIE TOWERS		1316 NORMANDY DR
0232100120870	ISLE OF NORMANDY OCEAN SIDE & TROUVILLE SECS 2ND REV PB 40-35 E1 MODESTO OBREGON & ANGELA Y		1384 MARSEILLE DR
0232100120880	ISLE OF NORMANDY OCEAN SIDE & TROUVILLE SECS 2ND RIV PB 40-35 LO LOUIS BONDI		1360 MARSEILLE DR
0232100120890	ISLE OF NORMANDY OCEAN SIDE & TROUVILLE SECS 2ND REV PB 40-35 LC ELEANOR SILNICKI		1340 MARSEILLE DR
0232100120900	ISLE OF NORMANDY OCEAN SIDE & TROUVILLE SECS 2ND REV PB 40-35 LC ELITE GROUP ONE INVESTMENT LLC		1330 MARSEILLE DR
0232100120910	ISLE OF NORMANDY OCEAN SIDE & TROUVILLE SECS 2ND REV PB 40-35 LC JASON OBRIEN		1320 MARSEILLE DR
0232100120920	3-10 53 42 ISLE OF NORMANDY OCEAN SIDE & TROUVILLE SECS 2ND REV F JOHN VINENT & A LOPEZ		1310 MARSEILLE DR
0232100120930	ADVERSE POSSESSION CLAIM FILED PURSUANT TO FS 95.18 DEPARTMENT LIESELOTTE SCHNARR		1300 MARSEILLE DR
0232100120940	ISLE OF NORMANDY OCEAN SIDE & TROUVILLE SECS 2ND REV PB 40-35 LC JOE R WILLIAMS		7100 RUE NOTRE DAME
0232100120950	ISLE OF NORMANDY OCEAN SIDE & TROUVILLE SECS 2ND REV PB 40-35 LC NESTOR DI PALMA & MARIA		1315 NORMANDY DR
0232100120960	ISLE OF NORMANDY OCEAN SIDE & TROUVILLE SECS 2ND REV PB 40-35 LC JOY ANDRE		1331 NORMANDY DR
0232100120970	ISLE OF NORMANDY OCEAN SIDE & TROUVILLE SECS 2ND REV PB 40-35 LC ERNESTO LUIS MEIRELES		1355 NORMANDY DR
0232100120980	ISLE OF NORMANDY OCEAN SIDE & TROUVILLE SECS 2ND REV PB 40-35 LC DAVID MICHAEL LAWRENCE		1365 NORMANDY DR
0232100120990	ISLE OF NORMANDY OCEAN SIDE & TROUVILLE SECS 2ND REV PB 40-35 LC RAMON MARTELL		1381 NORMANDY DR
0232100121000	ISLE OF NORMANDY OCEAN SIDE & TROUVILLE SECS 2ND REV PB 40-35 LC LENNY JOSEPH		1397 NORMANDY DR
0232100121060	ISLE OF NORMANDY OCEAN SIDE 2ND REV PB 40-35 LOT 17 BLK 19 LOT SIZE PAUL A SISK &		1365 MARSEILLE DR
0232100131160	OCEAN SIDE SEC ISLE OF NORMANDY PB 25-60 LOTS 1 & 2 BLK 10 LOT SIZE NAMUNCURA ORGANIZATION INC		1240 NORMANDY DR
0232100132850	2-3-10-1-53 42 PB 25-60 OCEAN SIDE SEC ISLE OF NORMANDY LOTS 18 & 1 MAXIMO EVARISTO SANJUAN		1390 NORMANDY DR
0232100132860	CONFIDENTIAL	** CONFIDENTIAL **	
0232100132870	OCEAN SIDE SEC ISLE OF NORMANDY PB 25-60 LOTS 22 & 23 BLK 17 LOT S HULYA OZDEN & SAYRA MOTO		1368 NORMANDY DR
0232100132880	OCEAN SIDE SEC ISLE OF NORMANDY PB 25-60 LOTS 24 & 25 BLK 17 LOT S ALEIDA MUNOZ		1360 NORMANDY DR
0232100132900	OCEAN SIDE SEC ISLE OF NORMANDY PB 25-60 LOTS 28 & 29 BLK 17 LOT S ARIZA SWEET HOME PROPERTIES LLC		1340 NORMANDY DR

BOUNDARY SURVEY

LEGAL DESCRIPTION:

LOT 16, BLOCK 19, OCEAN SIDE SECTION OF THE ISLE OF NORMANDY, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 25, PAGE(S) 60, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

FLOOD INFORMATION:

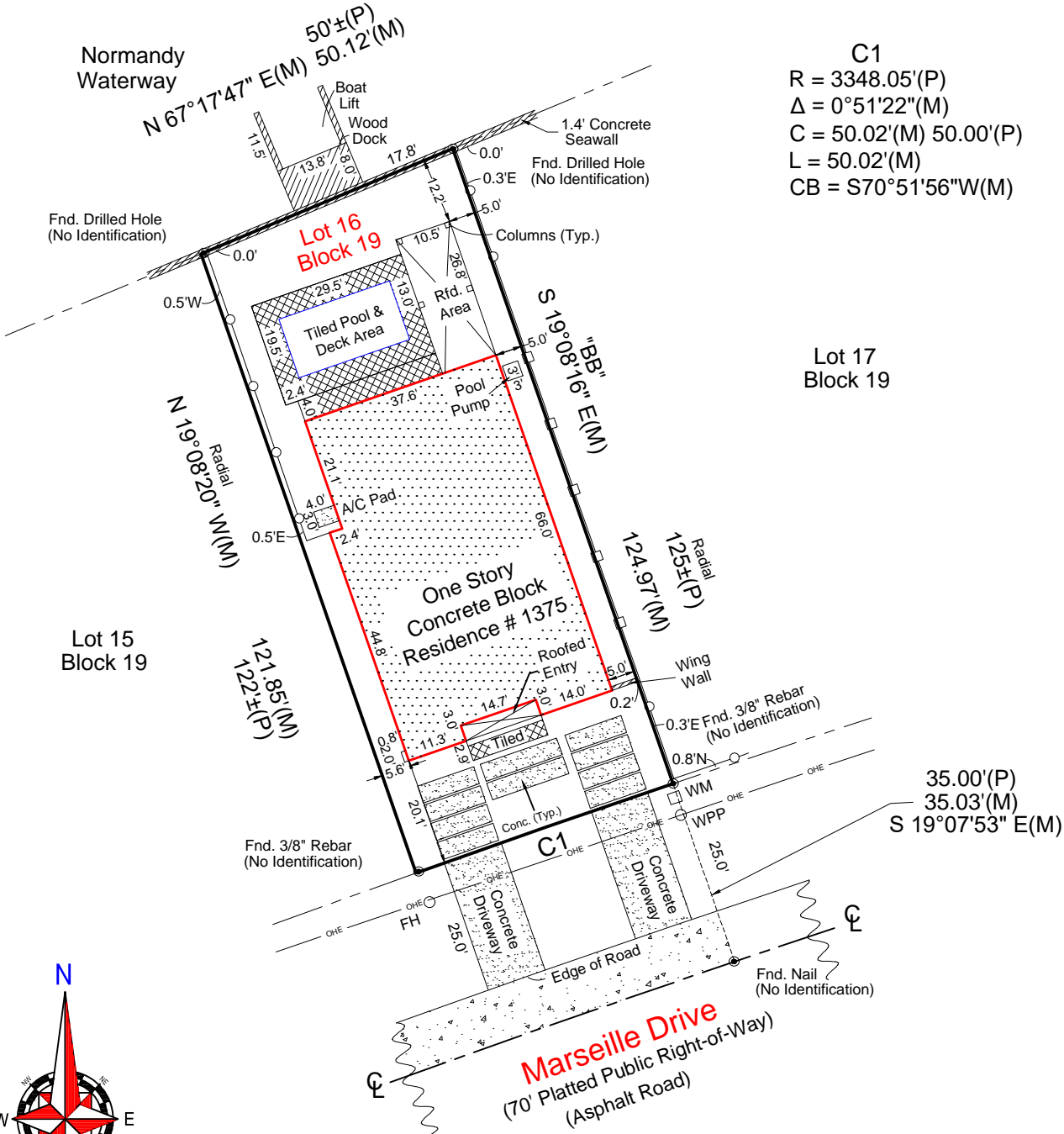
BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE AE. THIS PROPERTY WAS FOUND IN CITY OF MIAMI BEACH, COMMUNITY NUMBER 120651, DATED 9/11/2009.

CERTIFIED TO:

REINALDO AQUIT



1375 MARSEILLE DRIVE, MIAMI BEACH, FLORIDA 33141



C1
R = 3348.05'(P)
Δ = 0°51'22"(M)
C = 50.02'(M) 50.00'(P)
L = 50.02'(M)
CB = S70°51'56"W(M)

Lot 17
Block 19

35.00'(P)
35.03'(M)
S 19°07'53" E(M)

Note:
All Bearings Shown Hereon
are "ASSUMED"

WPP - Wooden Power Pole
FH - Fire Hydrant

Revision: Updated Survey - 05/31/18
Original Survey - 03/21/16

Field Date: 5/30/2018 Date Completed: 05/31/18
Drawn By: T.K. File Number: S-27114 U2

-Legend-	
C	- Calculated
CB	- Centerline
CM	- Concrete Monument
Conc.	- Concrete
D	- Description
DE	- Drainage Easement
Esmt.	- Easement
F.E.M.A.	- Federal Emergency Management Agency
FFE	- Finished Floor Elevation
Fnd.	- Found
IP	- Iron Pipe
L	- Length (Arc)
M	- Measured
N&D	- Nail & Disk
N.R.	- Non-Radial
ORB	- Official Records Book
P	- Plat
P.B.	- Plat Book
□	- Wood Fence
PC	- Point of Curvature
Pg.	- Page
PI	- Point of Intersection
P.O.B.	- Point of Beginning
P.O.L.	- Point on Line
PP	- Power Pole
PRM	- Permanent Reference Monument
PT	- Point of Tangency
R	- Radius
Rad.	- Radial
R&C	- Rebar & Cap
Rec.	- Recovered
Rfd.	- Roofed
Set	- Set 1/2" Rebar & Cap "LB 7623"
Typ.	- Typical
UE	- Utility Easement
WM	- Water Meter
Δ	- Delta (Central Angle)
—○—	- Chain Link Fence

-NOTES-
>Survey is Based upon the Legal Description Supplied by Client.
>Abutting Properties Deeds have NOT been Researched for Gaps, Overlaps and/or Hiatus.
>Subject to any Easements and/or Restrictions of Record.
>Bearing basis shown hereon, is Assumed and Based upon the Line Denoted with a "BB".
>Building Ties are NOT to be used to reconstruct Property Lines.
>Fence Ownership is NOT determined.
>Roof Overhangs, Underground Utilities and/or Footers have NOT been located UNLESS otherwise noted.
>Septic Tanks and/or Drainfield locations are approximate and MUST be verified by appropriate Utility Location Companies.
>Use of This Survey for Purposes other than Intended, Without Written Verification, Will be at the User's Sole Risk and Without Liability to the Surveyor. Nothing Hereon shall be Construed to give ANY Rights or Benefits to Anyone Other than those Certified.

NONE VISIBLE

-POINTS OF INTEREST-

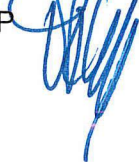
I hereby Certify that this Boundary Survey of the above Described Property is True and Correct to the Best of my Knowledge and Belief as recently Surveyed under my Direction on the Date Shown, Based on Information furnished to Me as Noted and Conforms to the Standards of Practice for Land Surveying in the State of Florida in accordance with Chapter 6J-17.052 Florida Administrative Codes, Pursuant to Section 472.027 Florida Statutes.

Patrick K. Ireland, P.S.M. 6637, LB 7623
This Survey is intended ONLY for the use of Said Certified Parties.
This Survey NOT VALID UNLESS signed and Embossed with Surveyor's Seal.
Ireland & Associates Surveying, Inc.
1301 S. International Parkway Suite 2001
Lake Mary, Florida 32746
www.irelandsurveying.com
Office-407.678.3366 Fax-407.320.8165

MIAMI BEACH

PLANNING DEPARTMENT

BOARD OF ADJUSTMENT STAFF REPORT

FROM: Thomas R. Mooney, AICP
Planning Director 

DATE: May 3, 2019 Meeting

RE: File No. ZBA18-0075
1375 Marseille Drive – Single-Family Home (Covered Terrace)

The applicant, Reinaldo Aquit, is requesting an after-the-fact rear yard setback variance and an after-the-fact interior side yard variance for the retention of a covered terrace in the rear yard of a single-family home.

STAFF RECOMMENDATION:

Approval of the requested variance with conditions.

LEGAL DESCRIPTION:

Lot 16, Block 19, Ocean Side Section of the Isle of Normandy, according to the plat thereof, as recorded in plat book 25, Page 60, of the public records of Miami-Dade County, Florida.

SITE DATA:

Folio Number –	02-3210-013-3310
Zoning –	RS-4 (Single-Family Residential)
Future Land Use Designation –	RS (Single-Family Residential)
Lot Size –	6,370 S.F./ ~0.15 Acres *
Existing Use –	Single-family Residence
Proposed Use –	Single-family Residence
Year Constructed –	1950

**As per Miami-Dade Property Appraiser.*

THE PROJECT:

The applicant has submitted the following plans:

- Boundary Survey, by Ireland & Associates Surveying, Inc., dated May 31, 2018.
- New Terrace Addition, signed by Francisco Benitez, Architect, dated February 12, 2019.

The applicant is requesting variances for the retention of a covered terrace at the rear of the property. The existing roof structure was constructed without a permit. The Building Department issued a violation for the work, BVC18000031, on May 10, 2018, which requires the applicant to remove the structure or obtain a permit.

The applicant is requesting the following variance(s):

1. **A variance to reduce by 7'-10" the minimum required rear setback of 20'-0" for the retention of a covered terrace addition located at 12'-2" from the rear property line.**

- Variance requested from:

Sec. 142-106. Setback requirements for a single-family detached dwelling.

The setback requirements for a single-family detached dwelling in the RS-1, RS-2, RS-3, RS-4 single-family residential districts are as follows:

- (3) Rear yards: The rear setback requirement shall be 15 percent of the lot depth, 20 feet minimum, 50 feet maximum. At least 70 percent of the required rear yard shall be sodded or landscaped pervious open space; when located at or below adjusted grade, the water portion of a swimming pool may count toward this requirement, when located above adjusted grade, the water portion of a swimming pool may count towards 50% of this requirement, provided adequate infrastructure is incorporated into the design of the pool to fully accommodate on-site stormwater retention.*

The existing one-story single family home has larger than required rear setback of 39'-0", where a 20'-0" setback is required. The covered terrace, which is attached to the home, is opened on all sides with a solid roof. The covered terrace extends from the rear of the home a distance of about 28'-8", encroaching into the required rear yard by 7'-10". The City's Land Development Regulations permit rear yard setback encroachments, such as cabanas, however, these encroachments must be detached from the main structure (house) and separated by a minimum distance of 5'-0". Therefore, if the existing covered terrace was separated from the main structure by 5'-0" the requested variance would not be needed.

2. **A variance to exceed by 0'-11" the maximum projection of 1'-3" for a roof overhang into a required interior side yard for the retention of a covered terrace addition with a roof overhang which projects into the required interior side yard by 2'-2".**

- Variance requested from:

Sec. 142-1132. Allowable encroachments within required yards.

- (o) Projections.* In all districts, every part of a required yard shall be open to the sky, except as authorized by these land development regulations. The following may project into a required yard for a distance not to exceed 25 percent of the required yard up to a maximum projection of six feet, unless otherwise noted.

- (7) Roof overhangs.*

The existing one-story single family home has a non-conforming interior side yard setback of 5'-0" and a non-conforming roof overhang projection of 2'-2". The covered terrace was constructed to match the homes non-conformities. The City's Land Development

Regulations permit the maintenance of this nonconforming interior side yard setback up to 5'-0" from the interior side yard property line. However, the City code is silent on nonconforming projections, therefore the requested variance is to retain the structure as currently constructed. Alternatively the structure could be modified to reduce the projection of the overhang by 0'-11".

PRACTICAL DIFFICULTY AND HARDSHIP CRITERIA

Based on the plans and documents submitted with the application, staff has concluded that the requested variance satisfies Article 1, Section 2 of the Related Special Acts, allowing the granting of a variance if the Board finds that practical difficulties exist with respect to implementing the proposed project at the subject property.

Additionally, staff has concluded that the plans and documents with the application indicate the following, as they relate to the hardship criteria requirements of Section 118-353(d), Miami Beach City Code:

1. That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district;

Satisfied

2. That the special conditions and circumstances do not result from the action of the applicant;

Satisfied

3. That granting the variance requested will not confer on the applicant any special privilege that is denied by this Ordinance to other lands, buildings, or structures in the same zoning district;

Satisfied

4. That literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this Ordinance and would work unnecessary and undue hardship on the applicant;

Satisfied

5. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure;

Satisfied

6. That the granting of the variance will be in harmony with the general intent and purpose of this Ordinance and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare; and

Satisfied

7. That the granting of this request is consistent with the comprehensive plan and does not reduce the levels of service as set forth in the plan.

Satisfied

COMPLIANCE WITH SEA LEVEL RISE AND RESILIENCY REVIEW CRITERIA

Section 133-50(a) of the Land Development establishes review criteria for sea level rise and resiliency that must be considered as part of the review process for board orders. The following is an analysis of the request based upon these criteria:

- (1) A recycling or salvage plan for partial or total demolition shall be provided.
Not Applicable
- (2) Windows that are proposed to be replaced shall be hurricane proof impact windows.
Satisfied
- (3) Where feasible and appropriate, passive cooling systems, such as operable windows, shall be provided.
Satisfied
- (4) Whether resilient landscaping (salt tolerant, highly water-absorbent, native or Florida friendly plants) will be provided.
Not Applicable
- (5) Whether adopted sea level rise projections in the Southeast Florida Regional Climate Action Plan, as may be revised from time-to-time by the Southeast Florida Regional Climate Change Compact, including a study of land elevation and elevation of surrounding properties were considered.
Satisfied
- (6) The ground floor, driveways, and garage ramping for new construction shall be adaptable to the raising of public rights-of-ways and adjacent land.
Satisfied
- (7) Where feasible and appropriate, all critical mechanical and electrical systems shall be located above base flood elevation.
Satisfied
- (8) Existing buildings shall be, where reasonably feasible and appropriate, elevated to the base flood elevation.

Satisfied

- (9) When habitable space is located below the base flood elevation plus City of Miami Beach Freeboard, wet or dry flood proofing systems will be provided in accordance with Chapter of 54 of the City Code.

Not Applicable

- (10) Where feasible and appropriate, water retention systems shall be provided.

Satisfied

COMPLIANCE WITH ZONING CODE:

The application, as submitted, appears to be consistent with the applicable requirements of the City Code, with the exception of the variance(s) requests herein. This shall not be considered final zoning review or approval. These and all zoning matters shall require final review and verification by the Zoning Administrator prior to the issuance of a Building Permit.

STAFF ANALYSIS:

The subject site is an interior waterfront lot, and contains a one-story residence constructed in 1950. The original home was constructed with 5'-0" setbacks on the sides (currently non-conforming). The construction of the existing covered terrace without an approved building permit resulted in a building violation. In order to cure the opened violation, a permit must be obtained to demolish the structure or legalize it. In order to retain the current structures, two variances, as outlined above, are being requested.

The requested variance for the rear yard setback has a minimal impact, since the covered terrace would be permitted if it was separated from the main structure by 5'-0". The roof overhang of the covered terrace as proposed encroaches further than permitted in to the interior side yard. However, this encroachment follows the established nonconformity of the main structure. Staff has no objection to the requested variances, as they are minor in nature and recognizes the practical difficulty of modifying the existing structure to comply with the current Land Development Regulation

RECOMMENDATION:

In view of the foregoing analysis, staff recommends **approval** of the requested variance, subject to the conditions enumerated in the attached Draft Order.

TRM:RAM:SMW

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ZONING/SITE MAP



**BOARD OF ADJUSTMENT
CITY OF MIAMI BEACH, FLORIDA**

PROPERTY: 1375 Marseille Drive

FILE NO. ZBA18-0075

IN RE: An application requesting an after-the-fact rear yard setback variance and an after-the-fact interior side yard variance for the retention of a covered terrace in the rear yard of a single-family home.

LEGAL DESCRIPTION: Lot 16, Block 19, Ocean Side Section of the Isle of Normandy, according to the plat thereof, as recorded in plat book 25, Page 60, of the public records of Miami-Dade County, Florida.

FOLIO NO. 02-3210-013-3310

MEETING DATE: May 3, 2019

ORDER

The applicant, Reinaldo Aquit, filed an application with the Planning Department for the following variance(s):

1. A variance to reduce by 7'-10" the minimum required rear setback of 20'-0" for the retention of a covered terrace addition located at 12'-2" from the rear property line.
– **Approved by the Board**
2. A variance to exceed by 0'-11" the maximum projection of 1'-3" for a roof overhang into a required interior side yard for the retention of a covered terrace addition with a roof overhang which projects into the required interior side yard by 2'-2".
– **Approved by the Board**

The City of Miami Beach Board of Adjustment makes the following FINDINGS OF FACT, based upon the evidence, information, testimony and materials presented at the public hearing and which are part of the record for this matter:

- A. Based on the plans and documents submitted with the application, testimony and information provided by the applicant, and the Planning Department Staff Report, the project as submitted satisfies the requirements of Section 118-353(d) of the Miami Beach Code. Accordingly, the Board of Adjustment has determined the following:

That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district;

That the special conditions and circumstances do not result from the action of the applicant;

That granting the variance requested will not confer on the applicant any special privilege that is denied by this Ordinance to other lands, buildings, or structures in the same zoning district;

That literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this Ordinance and would work unnecessary and undue hardship on the applicant;

That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure;

That the granting of the variance will be in harmony with the general intent and purpose of this Ordinance and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare; and

That the granting of this request is consistent with the comprehensive plan and does not reduce the levels of service as set forth in the plan.

B. The Board hereby **Approves** the requested variance and imposes the following conditions based on its authority in Section 118-354 of the Miami Beach City Code:

1. The final building plans shall be consistent with plans submitted to the Board of Adjustment, New Terrace Addition, signed by Francisco Benitez, Architect, dated February 12, 2019.
2. Substantial modifications to the plans, as determined by the Planning Director or designee, may require the applicant to return to the Board for approval of the modified plans, even if the modifications do not affect variances approved by the Board.
3. The sides of the covered terrace shall remain opened and shall not be enclosed..
4. A revised landscape plan shall be submitted to and approved by staff. The species, type, quantity, dimensions, spacing, location and overall height of all plant material shall be clearly delineated and subject to the review and approval of staff. At a minimum, such plans shall comply with Chapter 26-Landscape Requirements of the Miami Beach Code and shall incorporate the weather resilient landscaping (salt tolerant, highly water-absorbent, native or Florida friendly plants).
5. A copy of all pages of the recorded Final Order shall be scanned into the plans submitted for building permit, and shall be located immediately after the front cover page of the permit plans.
6. The final building plans shall meet all other requirements of the Land Development Regulations of the City Code.

7. Satisfaction of all conditions is required for the Planning Department to give its approval on a Certificate of Occupancy or Certificate of Completion. A Temporary Certificate of Occupancy, Partial Certificate of Occupancy, or Temporary Certificate of Completion, as applicable, may also be conditionally granted Planning Departmental approval.
8. The conditions of approval herein are binding on the applicant, the property's owners and all successors in interest and assigns.
9. The final order is not severable, and if any provision or condition hereof is held void or unconstitutional in a final decision by a court of competent jurisdiction, the order shall be returned to the Board for reconsideration as to whether the order meets the criteria for approval absent the stricken provision or condition, and/or it is appropriate to modify the remaining conditions or impose new conditions.
10. Nothing in this order authorizes a violation of the City Code or other applicable law, nor allows a relaxation of any requirement or standard set forth in the City Code, except to the extent of the variance(s) granted herein.
11. The Final Order shall be recorded in the Public Records of Miami-Dade County, prior to the issuance of a Building Permit.

The decision of the Board regarding variances shall be final and there shall be no further review thereof except by resort to a court of competent jurisdiction by petition for writ of certiorari.

IT IS HEREBY ORDERED, based upon the foregoing findings of fact, the evidence, information, testimony and materials presented at the public hearing, which are part of the record for this matter, and the staff report and analysis, which are adopted herein, including staff recommendations, as modified by the Board of Adjustment, that the application for Variance(s) Approval is GRANTED for the above-referenced project, subject to those certain conditions specified in Paragraph B hereof, to which the applicant has agreed.

PROVIDED, the applicant shall build substantially in accordance with the plans submitted to the Board of Adjustment with modifications in accordance with the conditions set forth in this Order, as applicable, with staff review and approval.

No building permit may be issued unless and until all conditions of approval that must be satisfied prior to permit issuance as set forth in this Order have been met. The issuance of this Order does not relieve the applicant from obtaining all other required Municipal, County and/or State reviews and permits, including final zoning approval.

When requesting a building permit, the plans submitted to the Building Department for permit shall be consistent with the plans approved by the Board, modified in accordance with the conditions set forth in this Order.

If the Full Building Permit for the project is not issued within eighteen (18) months of the meeting date at which the original Variance Approval was granted, the subject Approval will expire and become null and void, unless the applicant makes application to the Board for an extension of

Dated this _____ day of _____, 2019.

BY: _____
Rogelio Madan, AICP
Chief of Community Planning & Sustainability
For the Chair

The foregoing instrument was acknowledged before me this _____ day of _____, _____, by Rogelio Madan, Chief of Community Planning and Sustainability of the City of Miami Beach, Florida, a Florida Municipal Corporation, on behalf of the corporation. He is personally known to me.

Notary:
Print Name:
Notary Public, State of Florida
My Commission Expires:
Commission Number:

Filed with the Clerk of the Board of Adjustment on _____ ()