



160 S. HIBISCUS DRIVE RESIDENCE - MIAMI BEACH, FLORIDA
REVISED FINAL DRB (DRB17-0148) SUBMITTAL WITH VARIANCE - DESIGN REVIEW BOARD

REVISION 1 ON 5/17/2017
REVISION 2 ON 5/24/2017

SCOPE OF WORK

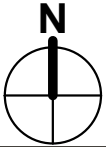
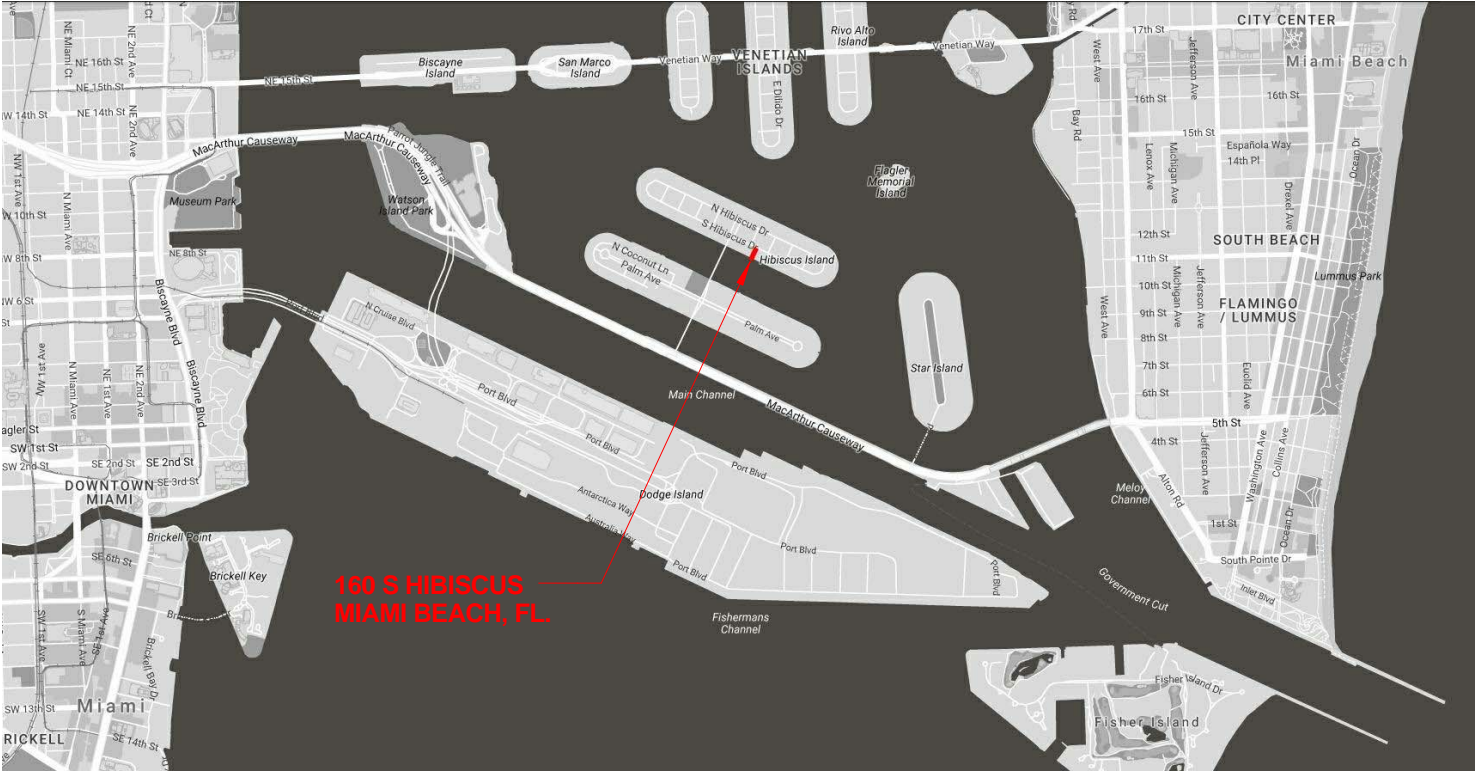
1. DESCRIPTION OF WORK: New construction 2 story single family residence.
2. SCOPE OF WORK INCLUDES:
2.1 Demolition of existing structure
2.2 New construction 2 story single family residence

FINAL DRB SUBMITTAL DEADLINE DATE: 05/15/2015

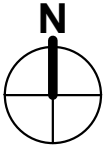
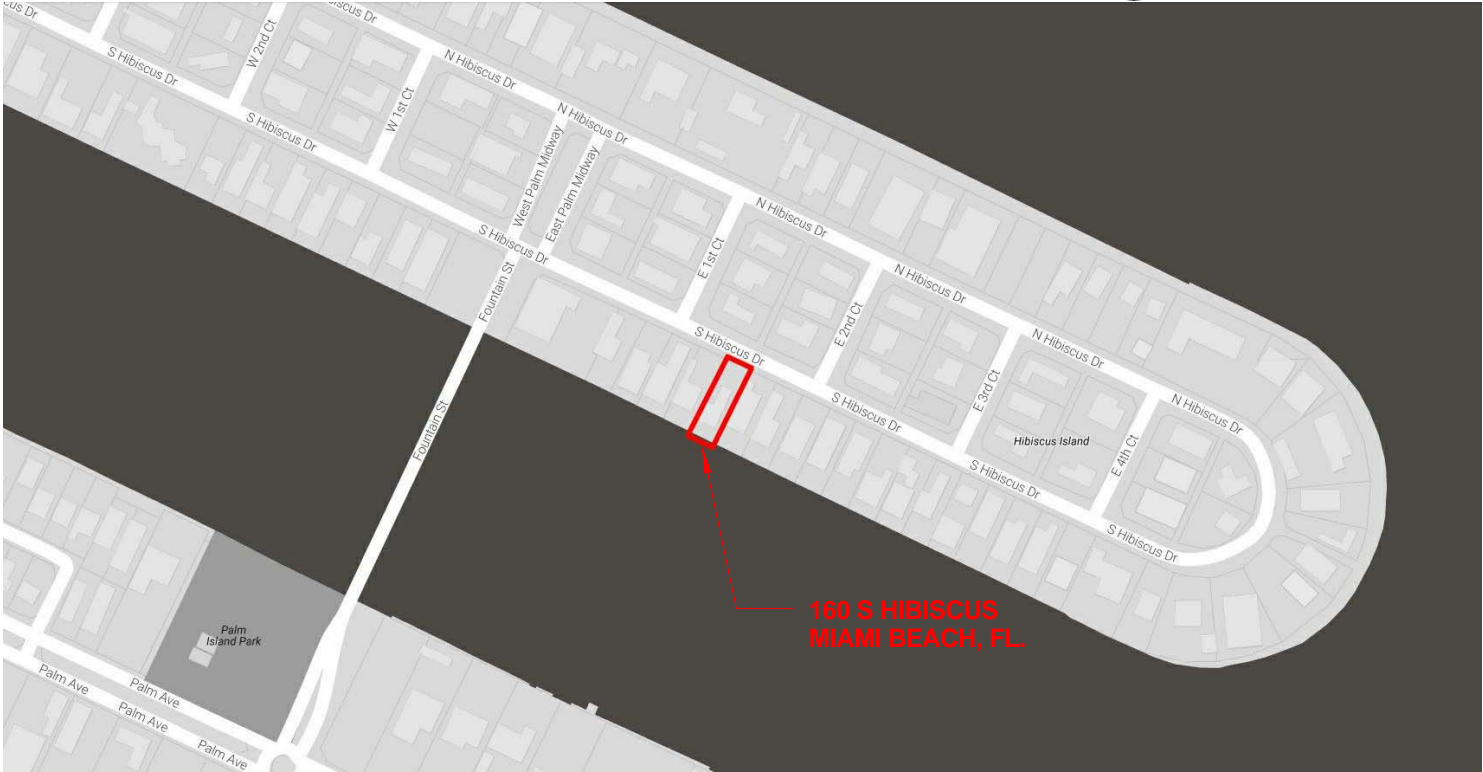
Copyright © 2017 Borges and Associates Architecture. All rights reserved.

	COVER	D-000
	160 SOUTH HIBISCUS DRIVE Miami Beach, FL	Date 05/15/2017 Scale


DRAWING INDEX	
Sheet Number	Sheet Name
D-000	COVER
D-001	SITE LOCATION AND INDEX
D-002	SURVEY
D-003	EXISTING SITE CONTEXT
D-004	EXISTING SITE CONTEXT
D-005	NEIGHBORHOOD CONTEXT
D-006	CONTEXT PHOTOMONTAGE
D-007	AERIAL SITE CONTEXT
D-008	EXISTING LOT COVERAGE/UNIT SIZE
D-009	DEMOLITION PLAN
D-100	ZONING CHART
D-101	SETBACKS DIAGRAM
D-102	LOT SIZE DIAGRAM
D-103	AREA CALCULATIONS
D-104	LOT COVERAGE DIAGRAM
D-105	UNIT SIZE-GROUND FLOOR
D-106	UNIT SIZE-2ND FLOOR
D-107	UNIT SIZE-ROOF PLAN
D-108	OPEN AREA DIAGRAM
D-109	AXONOMETRIC DIAGRAM
D-110	WAIVER DIAGRAM - SIDE ELEVATION
D-111	WAIVER DIAGRAM - BUILDING HEIGHT
D-112	VARIANCE DIAGRAM - OPEN AREA
D-113	VARIANCE DIAGRAM - FRONT SETBACK
D-114	VARIANCE DIAGRAM - EAST SIDE YARD
D-115	VARIANCE DIAGRAM - WEST SIDE YARD
D-116	VARIANCE DIAGRAM - LOT WIDTH
D-200	SITE PLAN
D-201	SITE SECTIONS
D-202	SITE SECTIONS
D-300	GROUND FLOOR PLAN
D-301	2ND FLOOR PLAN
D-302	ROOF PLAN
D-400	BUILDING ELEVATIONS
D-401	BUILDING ELEVATIONS
D-402	BUILDING ELEVATIONS
D-403	BUILDING ELEVATIONS
D-500	BUILDING SECTIONS
D-501	BUILDING SECTIONS
D-502	BUILDING SECTIONS
D-600	AXONOMETRIC VIEWS
D-601	AXONOMETRIC VIEWS
D-602	AXONOMETRIC VIEWS
D-603	AXONOMETRIC VIEWS
D-800	RENDERINGS-FRONT
D-801	RENDERINGS-REAR
D-900	EXISTING TREE DISPOSITION PLAN
D-901	LANDSCAPE PLAN
D-902	PLANTING NOTES AND DETAILS



CITY MAP
NTS



NEIGHBORHOOD MAP
NTS

	SITE LOCATION AND INDEX	D-001
	160 SOUTH HIBISCUS DRIVE	Date 05/15/2017
	Miami Beach, FL	Scale

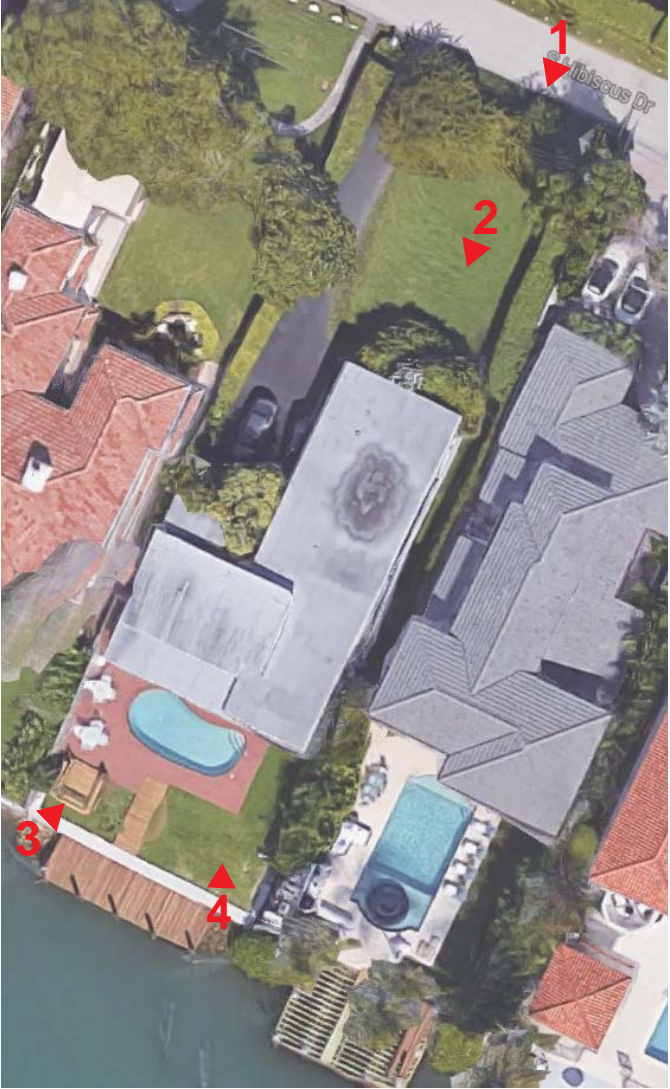
Scale



1: FRONT VIEW (3-19-2017)



2: FRONT VIEW (3-19-2017)



KEY PLAN (3-19-2017)



3: REAR VIEW (3-19-2017)



4: REAR VIEW (3-19-2017)



FRONT AERIAL VIEW



REAR AERIAL VIEW



1: 144 S HIBISCUS



2: 150 S HIBISCUS



3: 160 S HIBISCUS (SITE)



4: 170 S HIBISCUS



5: 176 S HIBISCUS



6: 145 S HIBISCUS



7: 165 S HIBISCUS



8: 185 S HIBISCUS



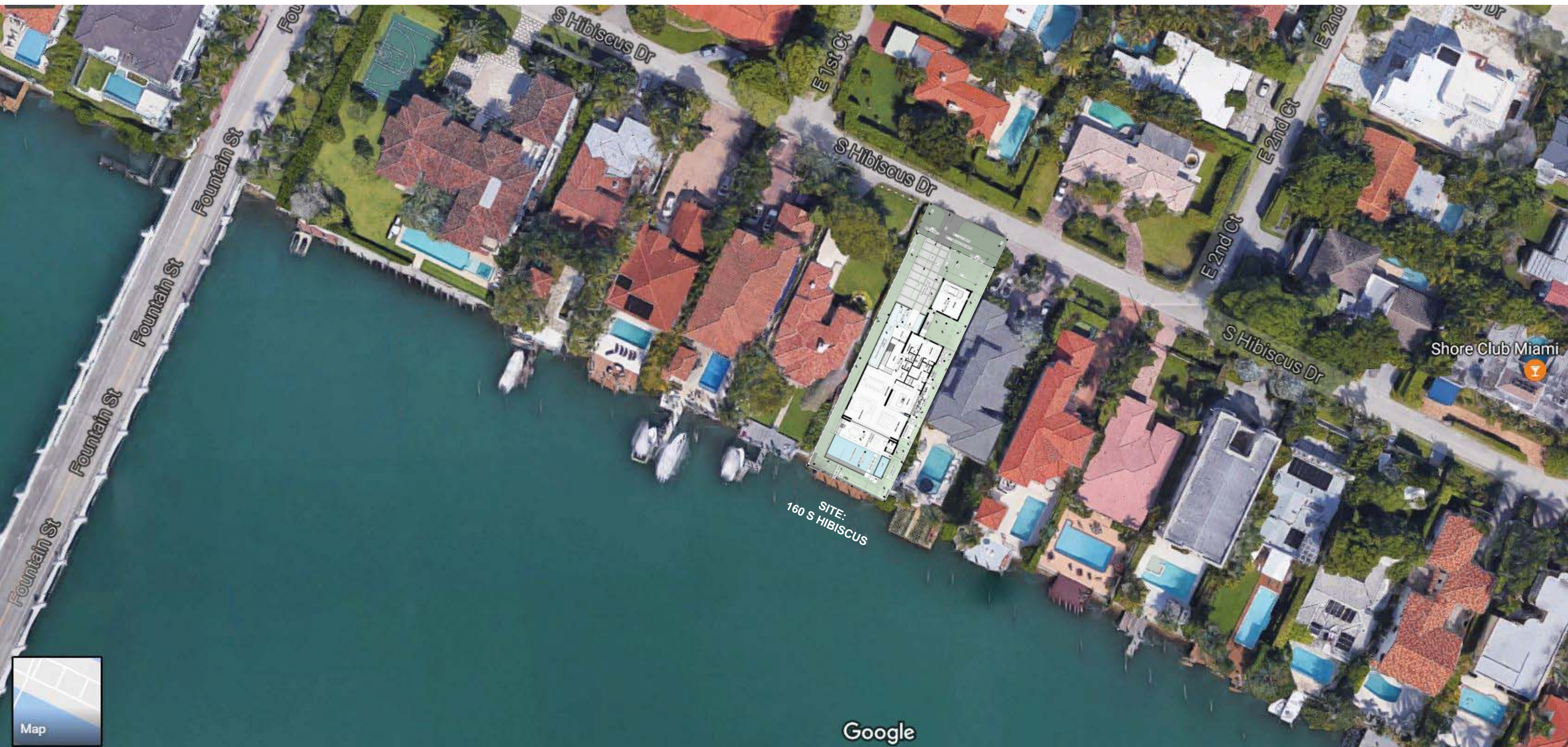
borges architects + associates	NEIGHBORHOOD CONTEXT	D-005
	160 SOUTH HIBISCUS	Date 05/15/2017
	Miami Beach, FL	Scale

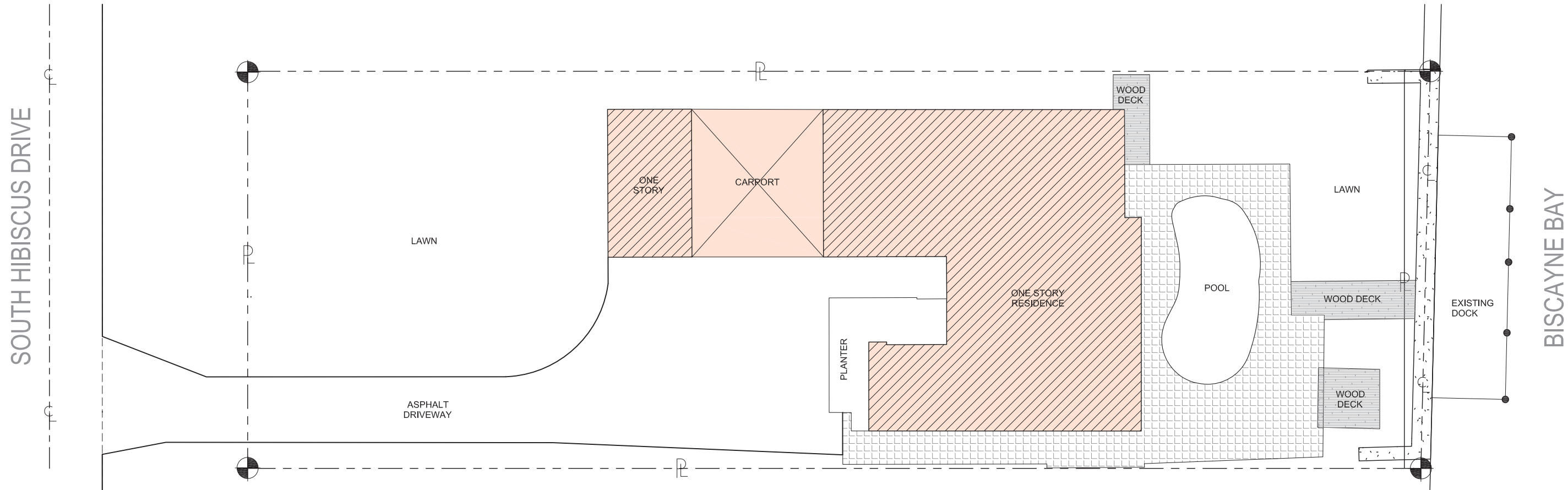


EXISTING



PROPOSED



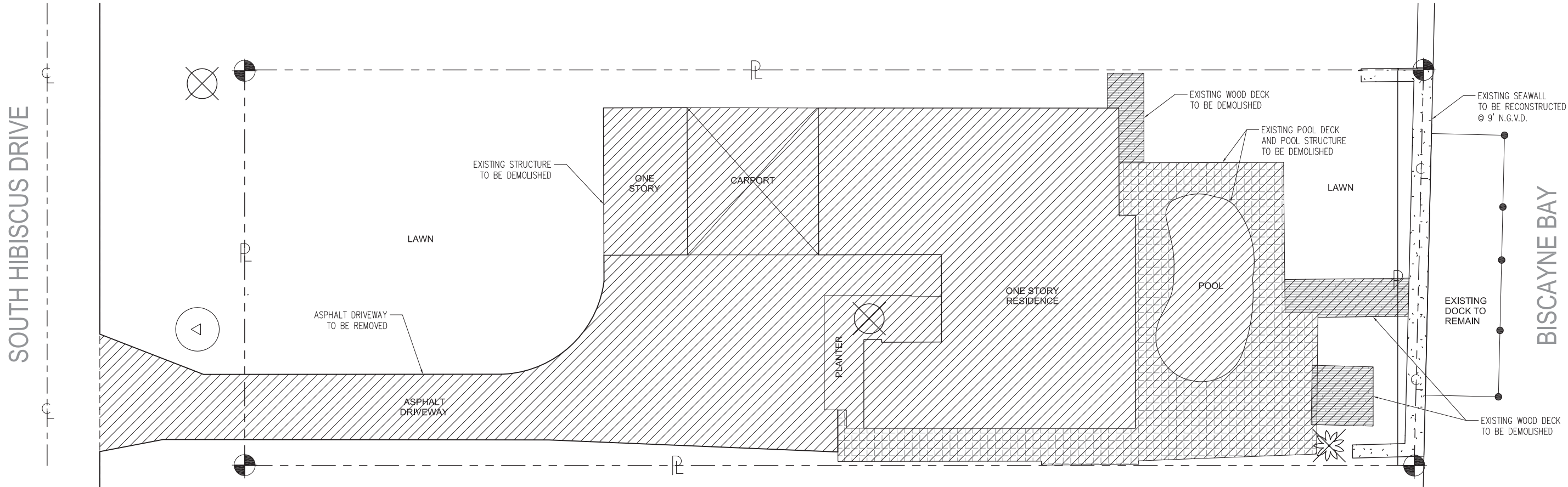


LOT SIZE: 10,719 SF
LOT COVERAGE: 2,693 SF (25%)

UNIT SIZE: 2,248 SF



borges architects + associates	EXISTING LOT COVERAGE / UNIT SIZE	D-008
	160 SOUTH HIBISCUS	Date 05/15/2017
	Miami Beach, FL	Scale 1/16" = 1'-0"



GENERAL NOTES:

PRIOR TO ANY DEMOLITION WORK THE CONTRACTOR SHALL THOROUGHLY SURVEY THE SITE TO ASSURE THAT THIS WORK WILL BE ACCOMPLISHED WITH MINIMAL DISTURBANCE TO THE NEIGHBORS

DISCONNECT & CAP OFF THE EXISTING SEWER, AND WATER LINES

DISCONNECT THE EXISTING ELECTRICAL SYSTEM

CONTRACTOR SHALL CONTROL DUST & DEBRIS THROUGHOUT THE DEMOLITION PROCESS.

CONTRACTOR IS TO BE CAREFUL NOT TO DEMOLISH OR DAMAGE ANY EXISTING STRUCTURE TO REMAIN.



borges architects + associates	DEMOLITION PLAN	D-009
	160 SOUTH HIBISCUS	Date 05/15/2017
	Miami Beach, FL	Scale 1/16" = 1'-0"

ZONING DATA

PROJECT DESCRIPTION: NEW CONSTRUCTION-SINGLE FAMILY
MUNICIPALITY: MIAMI BEACH
STREET ADDRESS: 160 SOUTH HIBISCUS DRIVE, MIAMI BEACH, FL 33139-5130
FOLIO NUMBER: 02-3232-006-0830
ZONING DISTRICT RS-3
FEMA ZONE: AE
BFE:10 NGVD

CODE OF ORDINANCES' REFERENCES:

LOT AREA: 142-105
MINIMUM LOT WIDTH: 142-105
GROSS BUILDING AREA: 142-105
LOT COVERAGE: 142-105
BUILDING HEIGHT: 54-35
BUILDING SETBACKS: 142-106
FENCE HEIGHT:142-1132
DRIVEWAYS: 142-1132
POOL SETBACK: 142-1133
PROJECTIONS: 142-1132, 142-105
OTHER DIMENSIONAL REQUIREMENTS:142-105

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

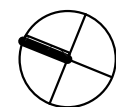
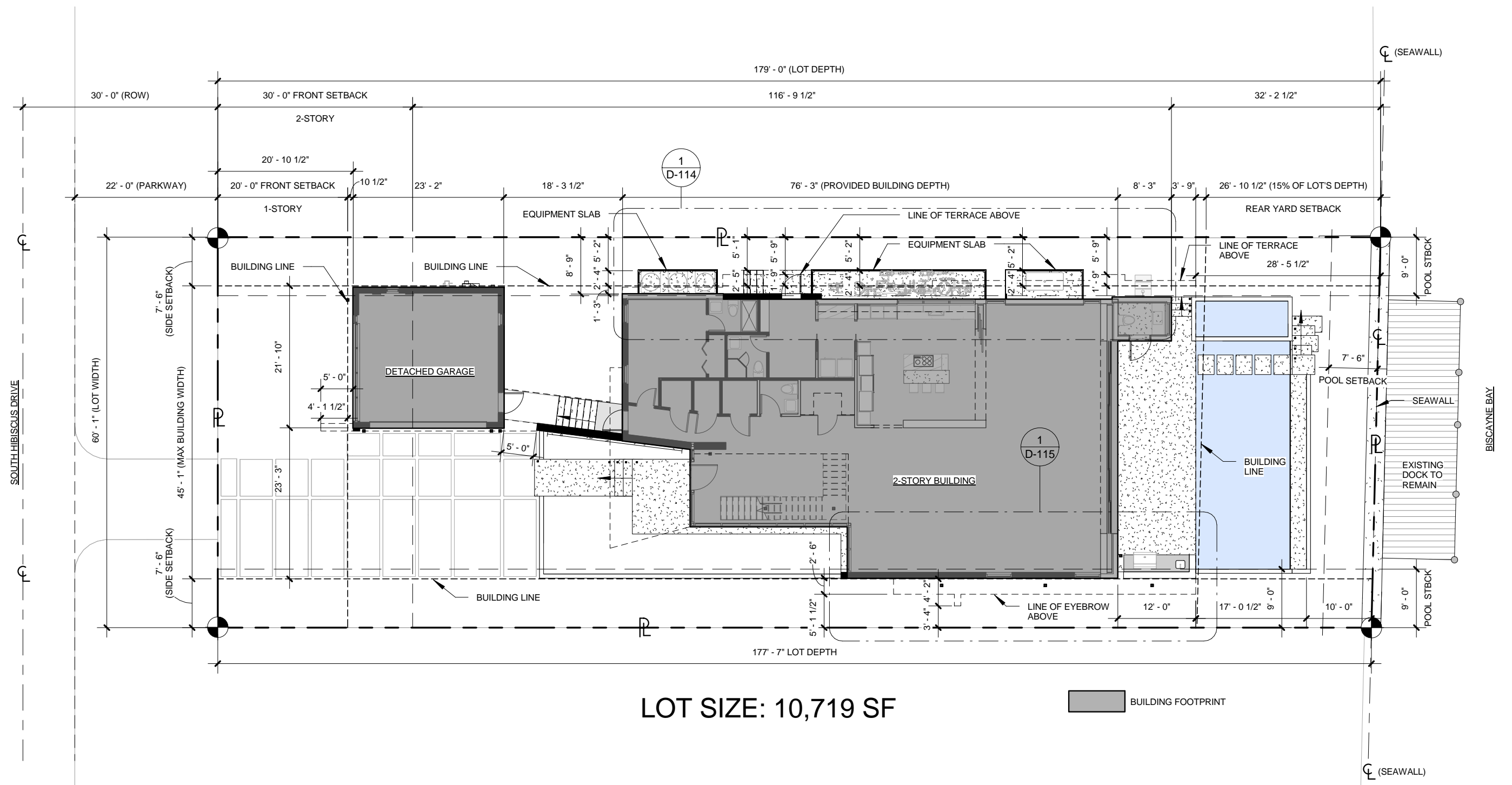
ITEM #	Zoning Information			
1	Address:	160 S HIBISCUS DRIVE, MIAMI BEACH, FL 33139-5130		
2	Folio number(s):	02-3232-006-0830		
3	Board and file numbers :			
4	Year built:	1953	Zoning District:	RS-3
5	Based Flood Elevation:	10 NGVD	Grade value in NGVD:	5.65' NGVD
6	Adjusted grade (Flood+Grade/2):	10'+5.62'/2=7.825'	Free board:	2'-0"
7	Lot Area:	10,719 SF		
8	Lot width:	60'-1"	Lot Depth:	E=179', W=177'-7"
9	Max Lot Coverage SF and %:	3,215.7 SF(30%)	Proposed Lot Coverage SF and %:	2,966 SF (27.7%)
10	Exisiting Lot Coverage SF and %:	2,693 SF (25%)	Lot coverage deducted (garage-storage) SF:	500 SF (GARAGE)
11	Front Yard Open Space SF and %:	825 SF (69%)	Rear Yard Open Space SF and %:	1,070.5 SF (66.3%)
12	Max Unit Size SF and %:	5,359.5 SF (50%)	Proposed Unit Size SF and %:	5,347 SF (49.8%)
13	Existing First Floor Unit Size:	2,248 SF	Proposed First Floor Unit Size:	3,100 SF
14	Existing Second Floor Unit Size	N/A	Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home require DRB Approval)	2,277 SF (77% OF FIRST FLOOR)
15			Proposed Second Floor Unit Size SF and % :	2,173 SF (70%)
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	565 SF (24.6%)

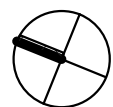
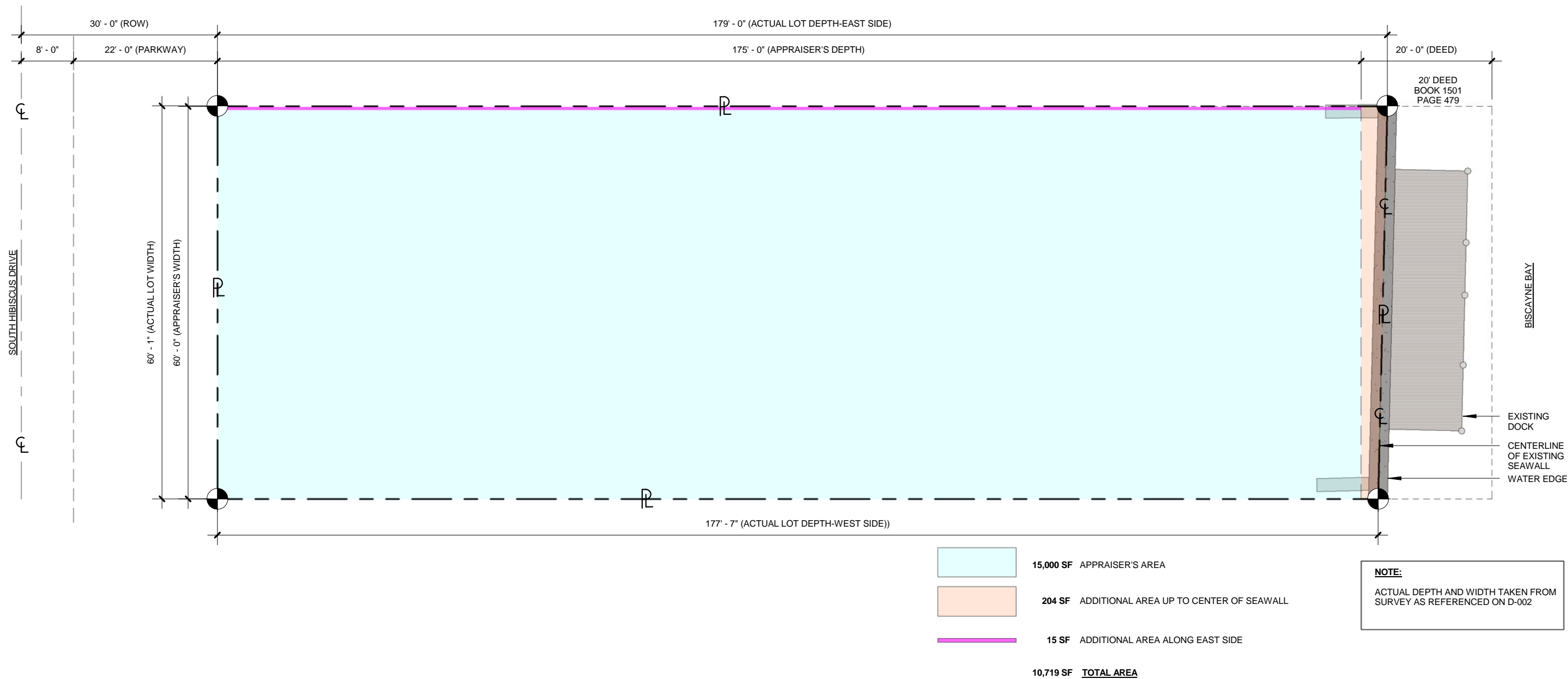
		Required	Existing	Proposed	Deficiencies
17	Height:	24'		28'	N/A
18	Setbacks:				N/A
19	Front First level:	20'	54.44'	20'-10 1/2"	N/A
20	Front Second level:	30'	N/A	62'-3"	N/A
21	Side 1:	7'-6"	5.6'	7'-7"	N/A
22	Side 2 or (facing street):	7'-6"	5.87'	7'-7"	N/A
23	Rear:	26'-10.5"	42.36'	27'-1/2"	N/A
	Accessory Structure Side 1:	N/A	N/A	N/A	N/A
24	Accessory Structure Side 2 or (facing street) :	N/A	N/A	N/A	N/A
25	Accessory Structure Rear:	N/A	N/A	N/A	N/A
26	Sum of Side yard :	15'-0"	10.49'		N/A
27	Located within a Local Historic District?		Yes or <input type="checkbox"/> no		
28	Designated as an individual Historic Single Family Residence Site?		Yes or <input type="checkbox"/> no		
29	Determined to be Architecturally Significant?		Yes or <input type="checkbox"/> no		

Notes:

If not applicable write N/A

All other data information should be presented like the above format





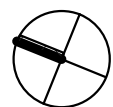
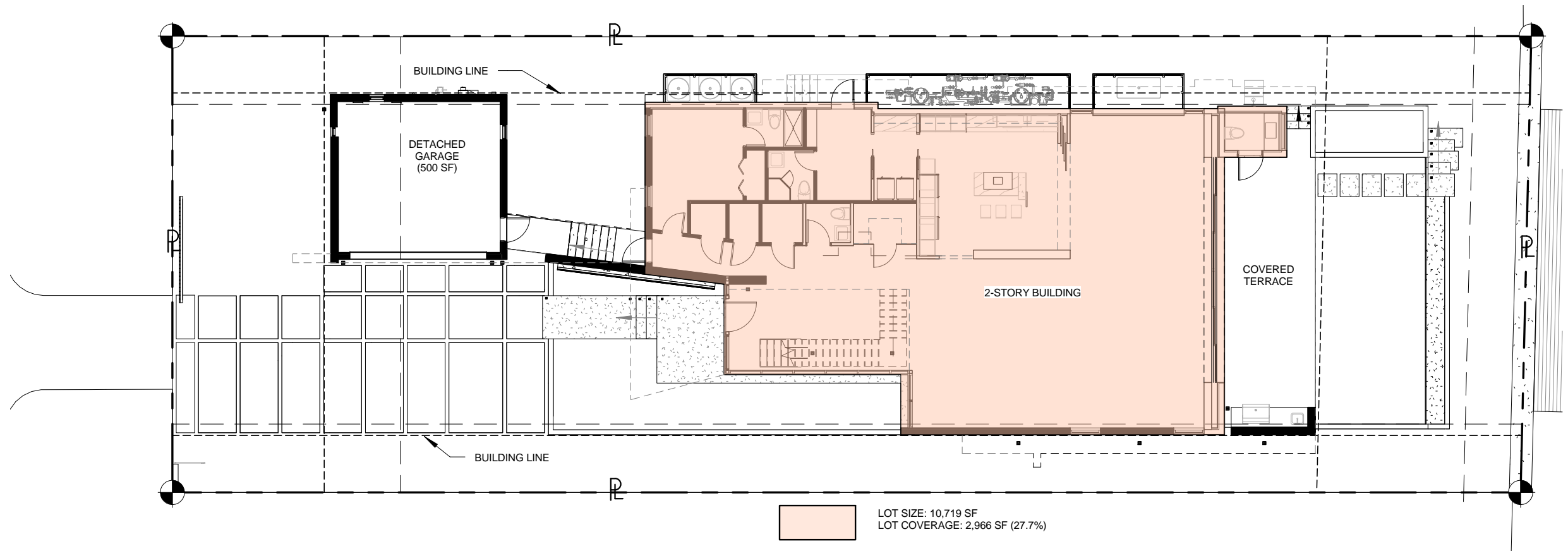
AREA CALCULATIONS

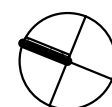
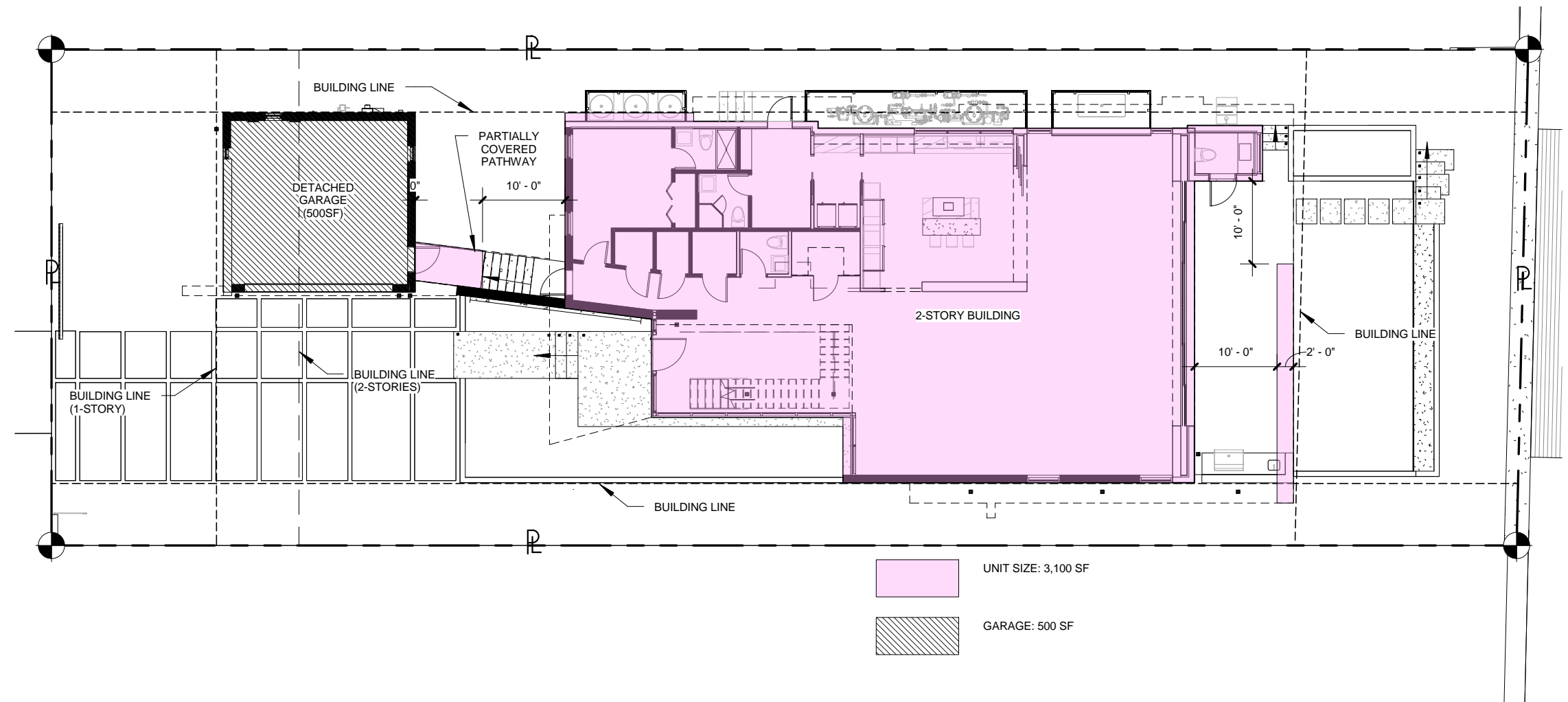
	ALLOWED	PROVIDED
LOT SIZE	10,000 SF. MIN.	10,719 SF. (0.25 ACRES)
LOT COVERAGE	3,215.7 SF, 30% MAX. (10,719 SF X 0.30)	2,966 SF. (27.7%)
UNIT SIZE	5,359.5 SF. MAX (50%)	5,347 SF. (49.8%)
GROUND LEVEL	X SF	3,100 SF.
GARAGE	500 SF	500 SF.
2ND LEVEL	2,158 SF (70% GROUND LEVEL MAX)	2,173 SF. (70% OF GROUND LEVEL)
ROOF	-	74 SF. (ELEVATOR AND LOBBY)
ROOF TERRACE	574.5 SF MAX. 25% OF 2,298 SF (ROOF AREA)	565 SF. (24.6%)

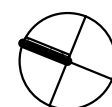
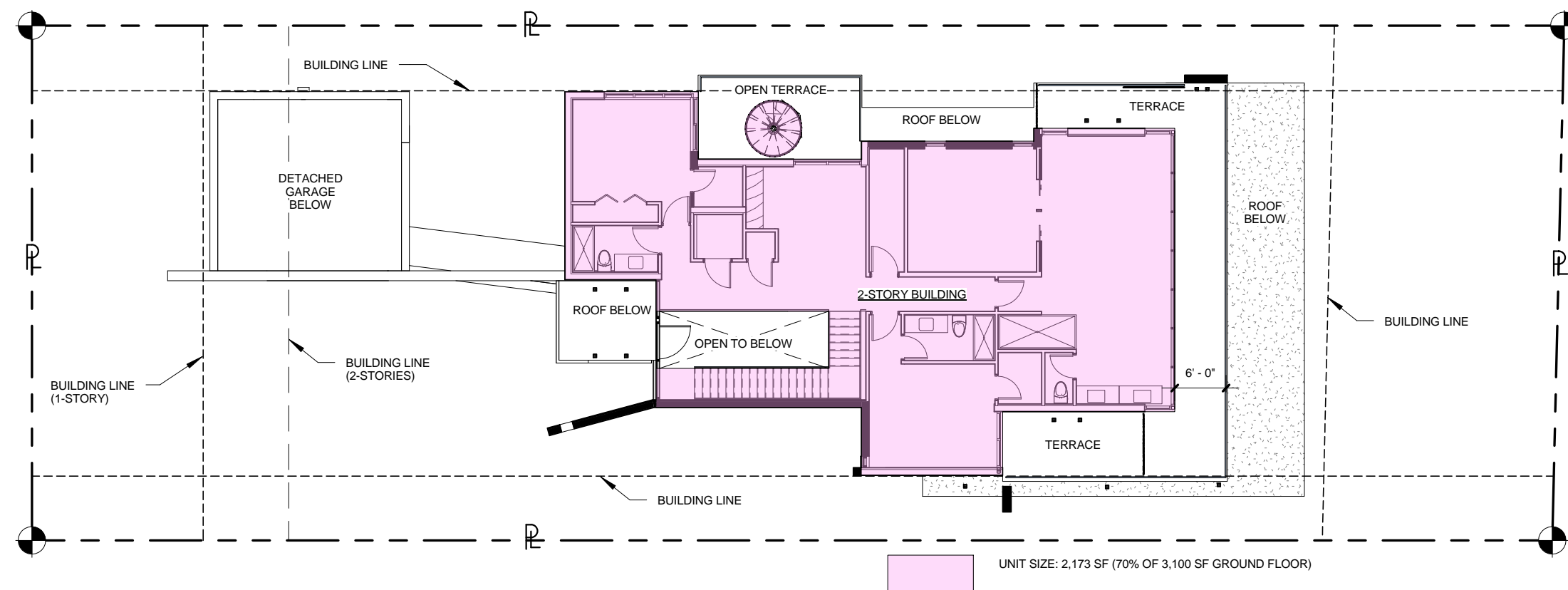
ZONING DATA

PROJECT DESCRIPTION: NEW CONSTRUCTION-SINGLE FAMILY
MUNICIPALITY: MIAMI BEACH
STREET ADDRESS: 160 SOUTH HIBISCUS DRIVE, MIAMI BEACH, FL 33139-5130
FOLIO NUMBER: 02-3232-006-0830
ZONING DISTRICT RS-3
FEMA ZONE: AE
BFE:10 NGVD

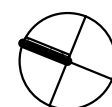
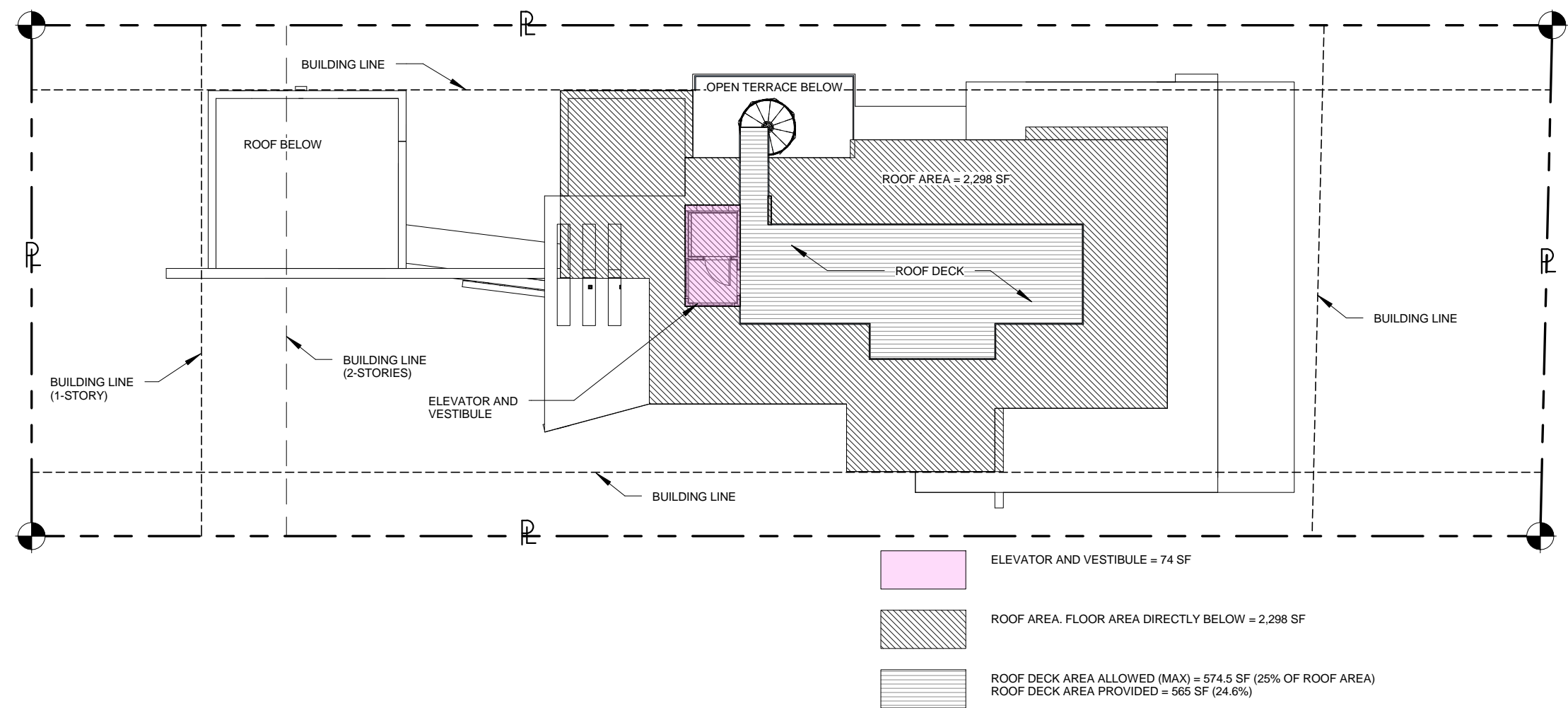
CODE OF ORDINANCES' REFERENCES:
LOT AREA: 142-105
MINIMUM LOT WIDTH: 142-105
GROSS BUILDING AREA: 142-105
LOT COVERAGE: 142-105
BUILDING HEIGHT: 54-35
BUILDING SETBACKS: 142-106
FENCE HEIGHT:142-1132
DRIVEWAYS: 142-1132
POOL SETBACK: 142-1133
PROJECTIONS: 142-1132, 142-105
OTHER DIMENSIONAL REQUIREMENTS:142-105



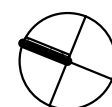
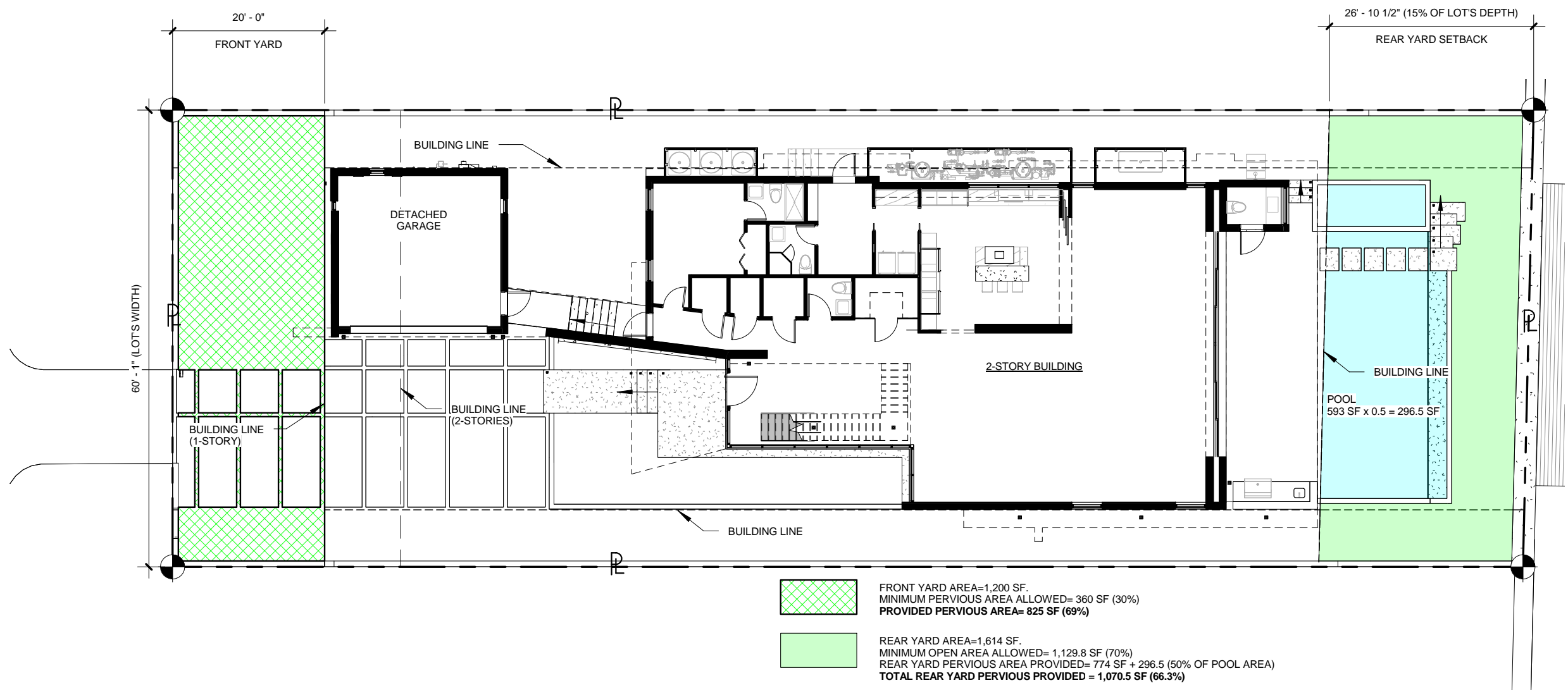




borges architects + associates	UNIT SIZE-2ND FLOOR		D-106
	160 SOUTH HIBISCUS DRIVE		Date 05/15/2017
	Miami Beach, FL		Scale 1/16" = 1'-0"



borges architects + associates	UNIT SIZE-ROOF PLAN		D-107
	160 SOUTH HIBISCUS DRIVE		Date 05/15/2017
	Miami Beach, FL		Scale 1/16" = 1'-0"



RELEVANT CODE INFORMATION

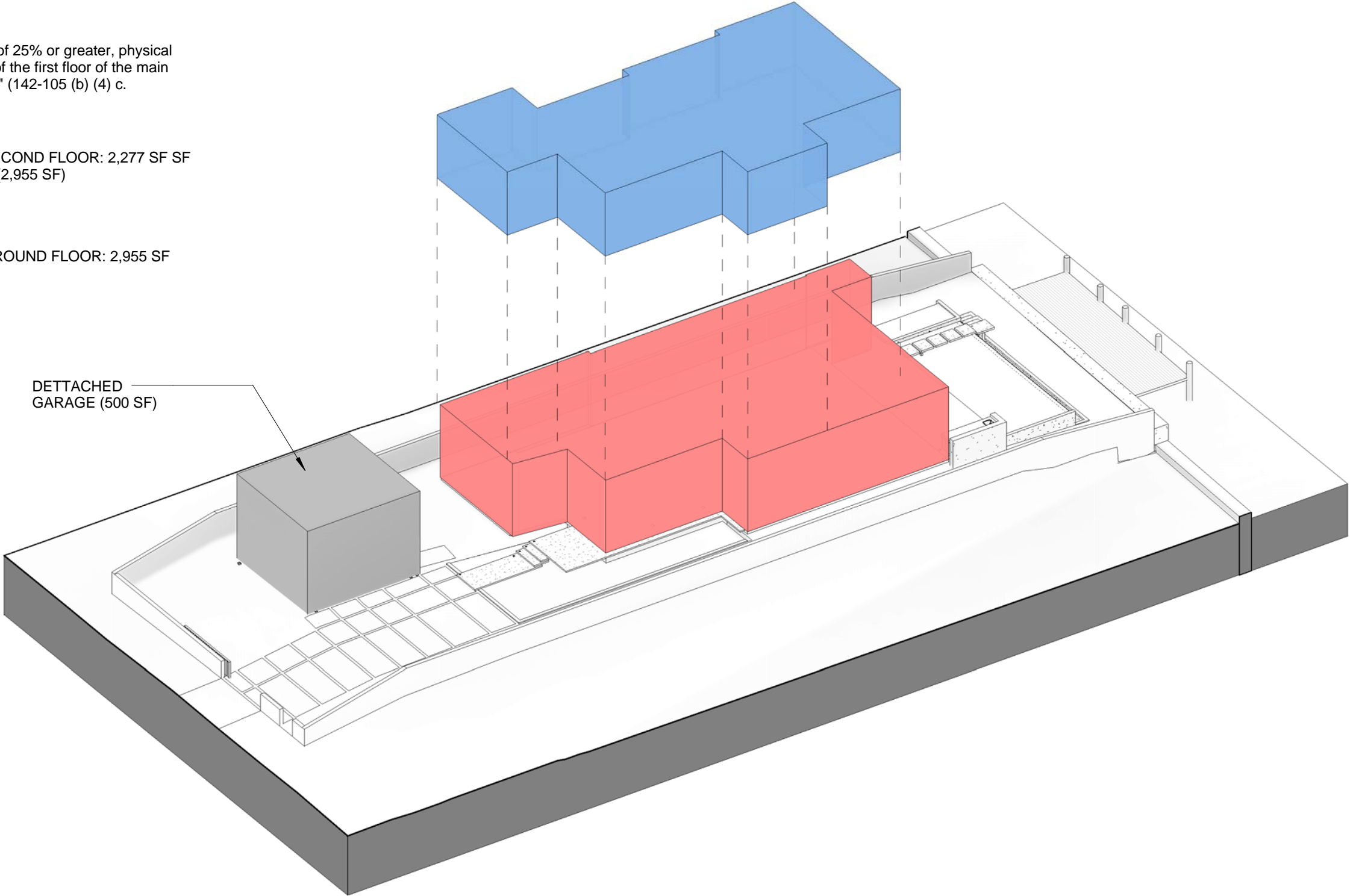
"For two story homes with an overall lot coverage of 25% or greater, physical volume of the second floor shall not exceed 70% of the first floor of the main home, inclusive of any enclosed parking structure." (142-105 (b) (4) c.



PHYSICAL VOLUME OF SECOND FLOOR: 2,277 SF SF
77% OF GROUND FLOOR (2,955 SF)

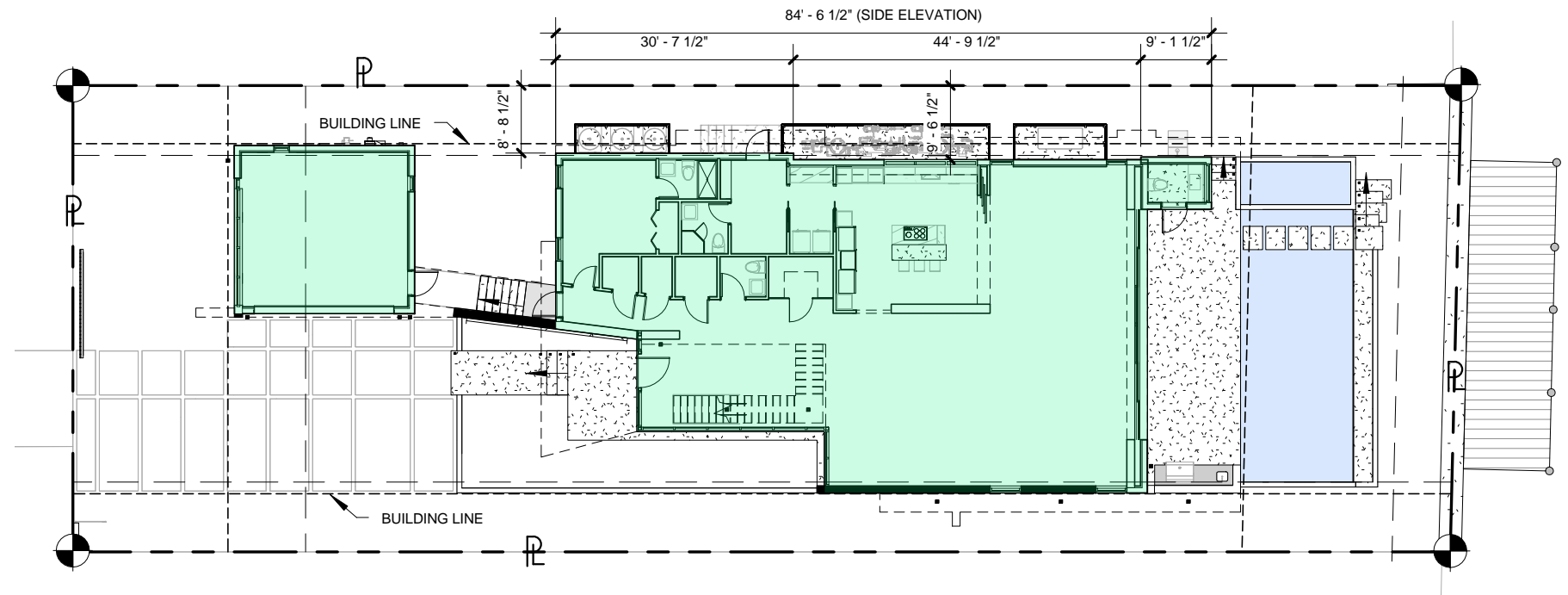


PHYSICAL VOLUME OF GROUND FLOOR: 2,955 SF

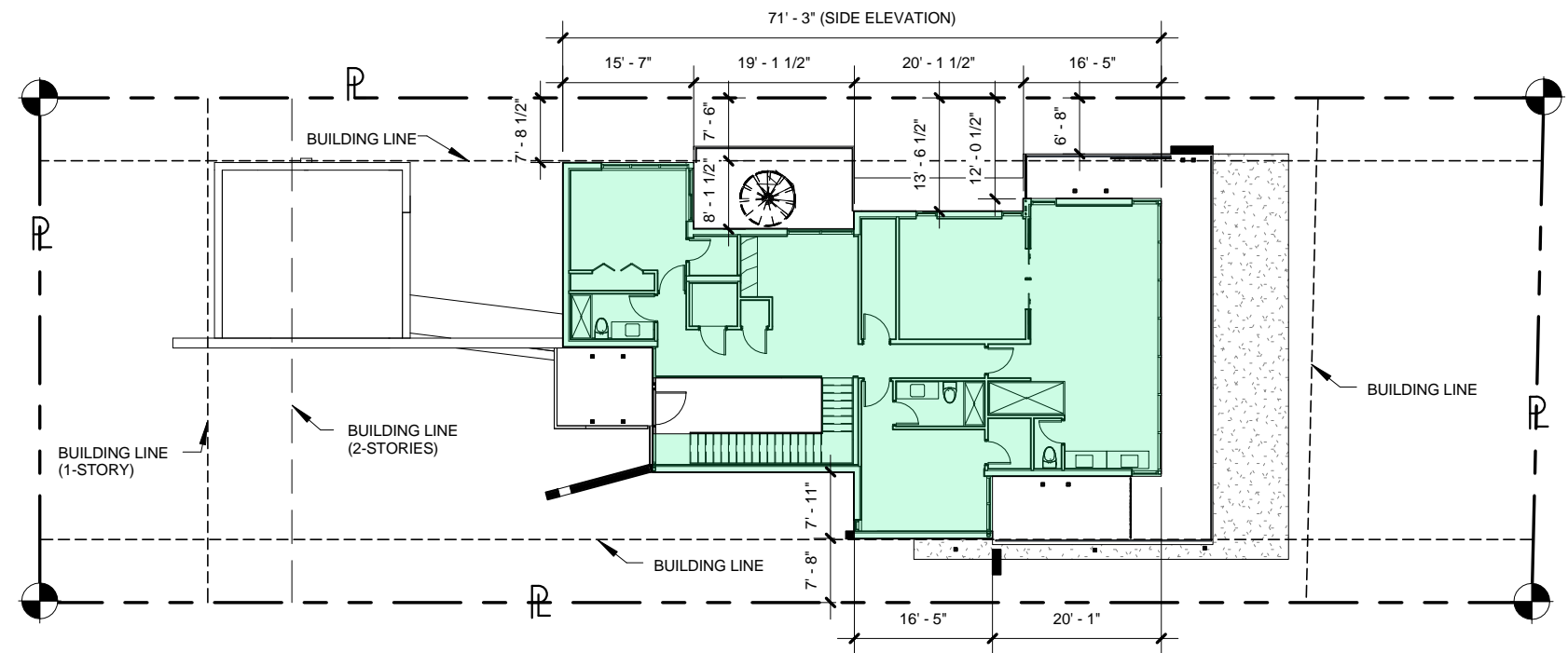


DETTACHED
GARAGE (500 SF)

1 EXPLODED AXONOMETRIC DIAGRAM



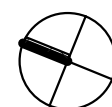
① SIDE ELEVATION - GROUND FLOOR
3/64" = 1'-0"

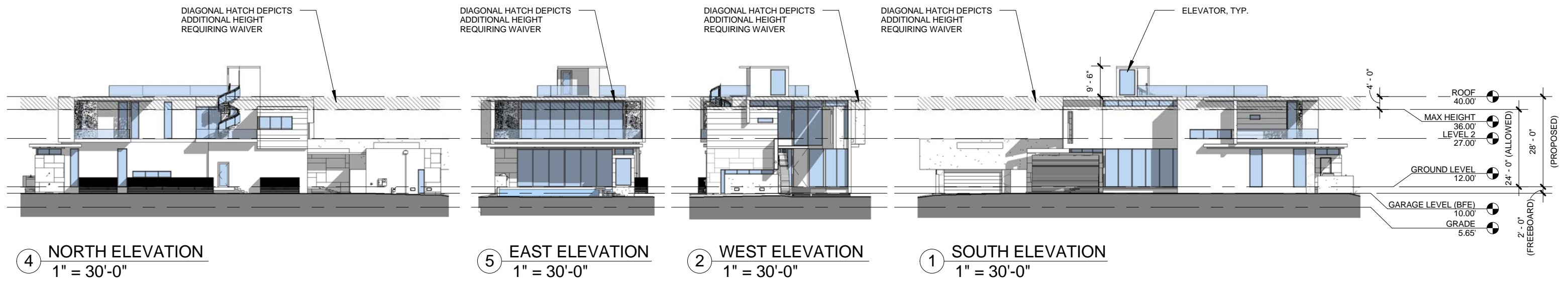


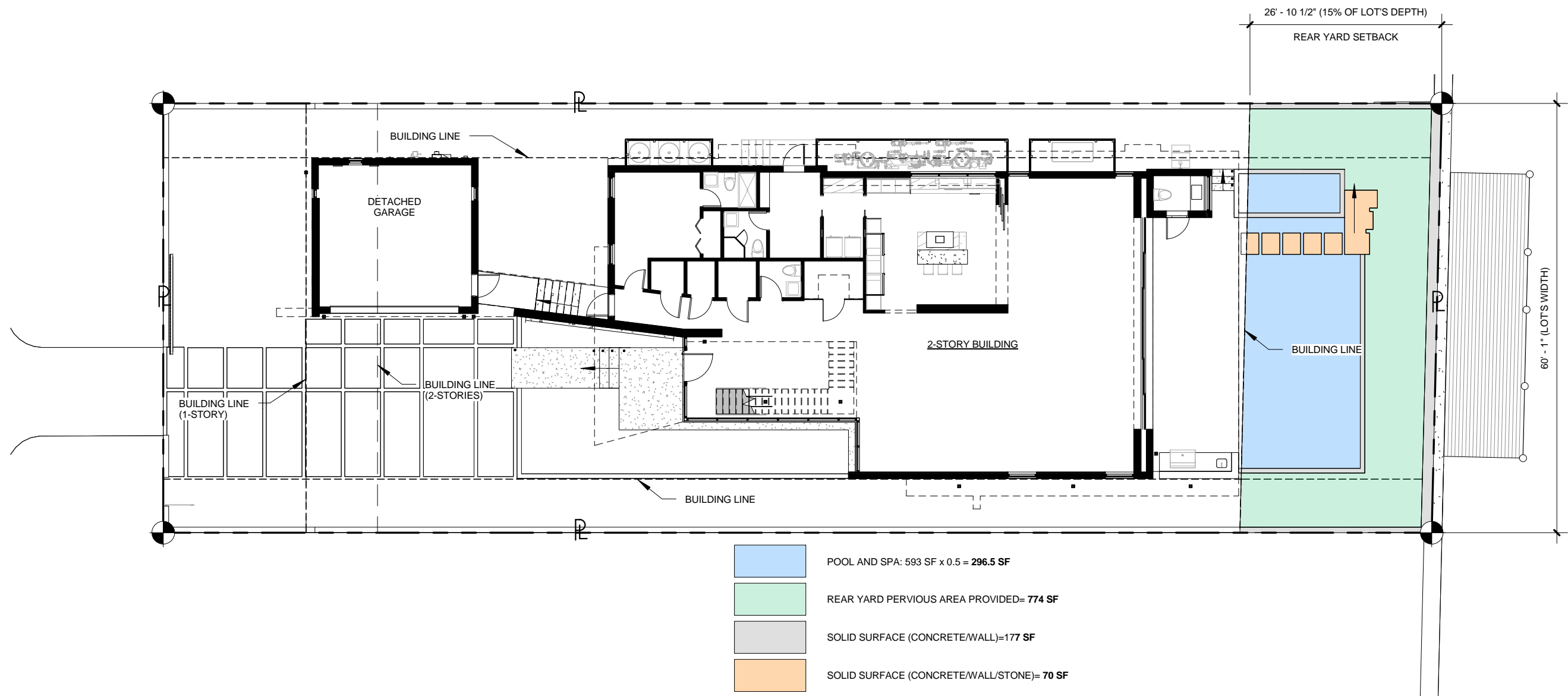
② SIDE ELEVATION - 2ND FLOOR
3/64" = 1'-0"

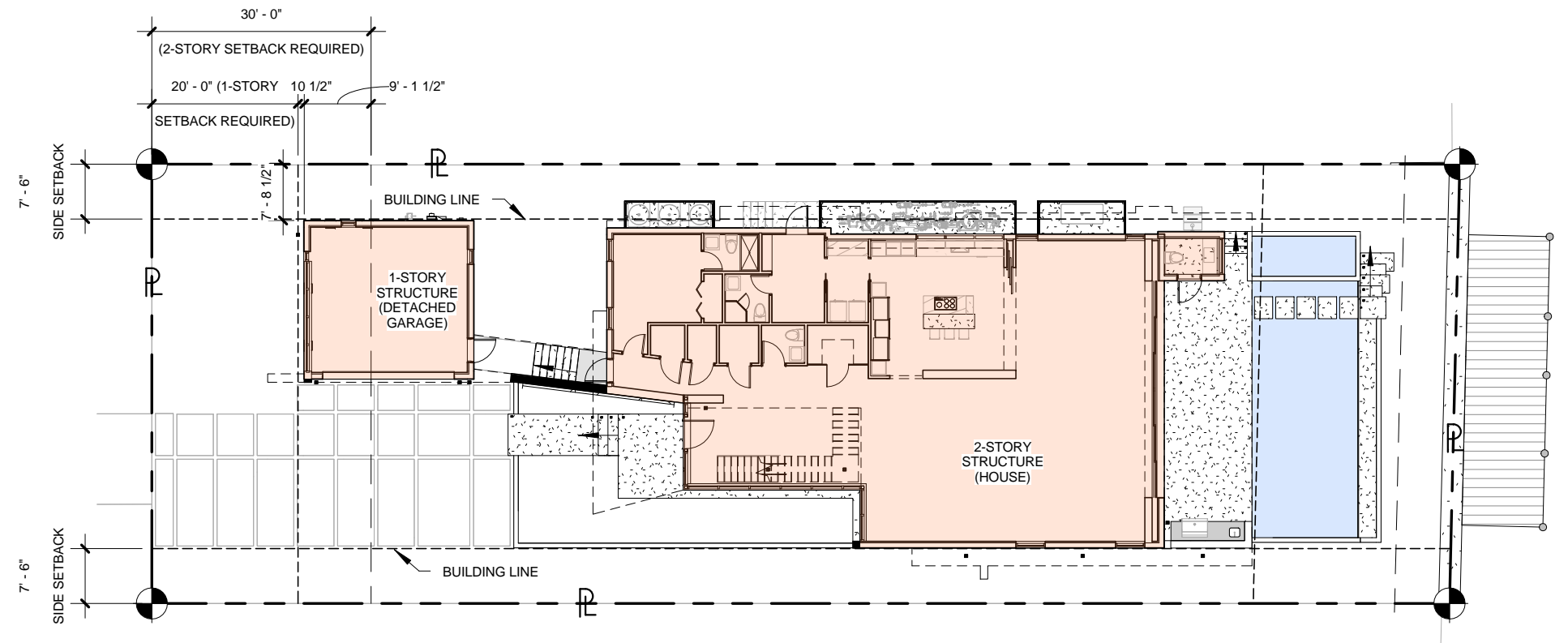
ZONING REFERENCE FOR WAIVER:

142-106 (2) TWO STORY SIDE ELEVATIONS LOCATED PARALLEL TO A SIDE PROPERTY LINE SHALL NOT EXCEED 50% OF THE LOT DEPTH, OR 60 FEET, WHICHEVER IS LESS.

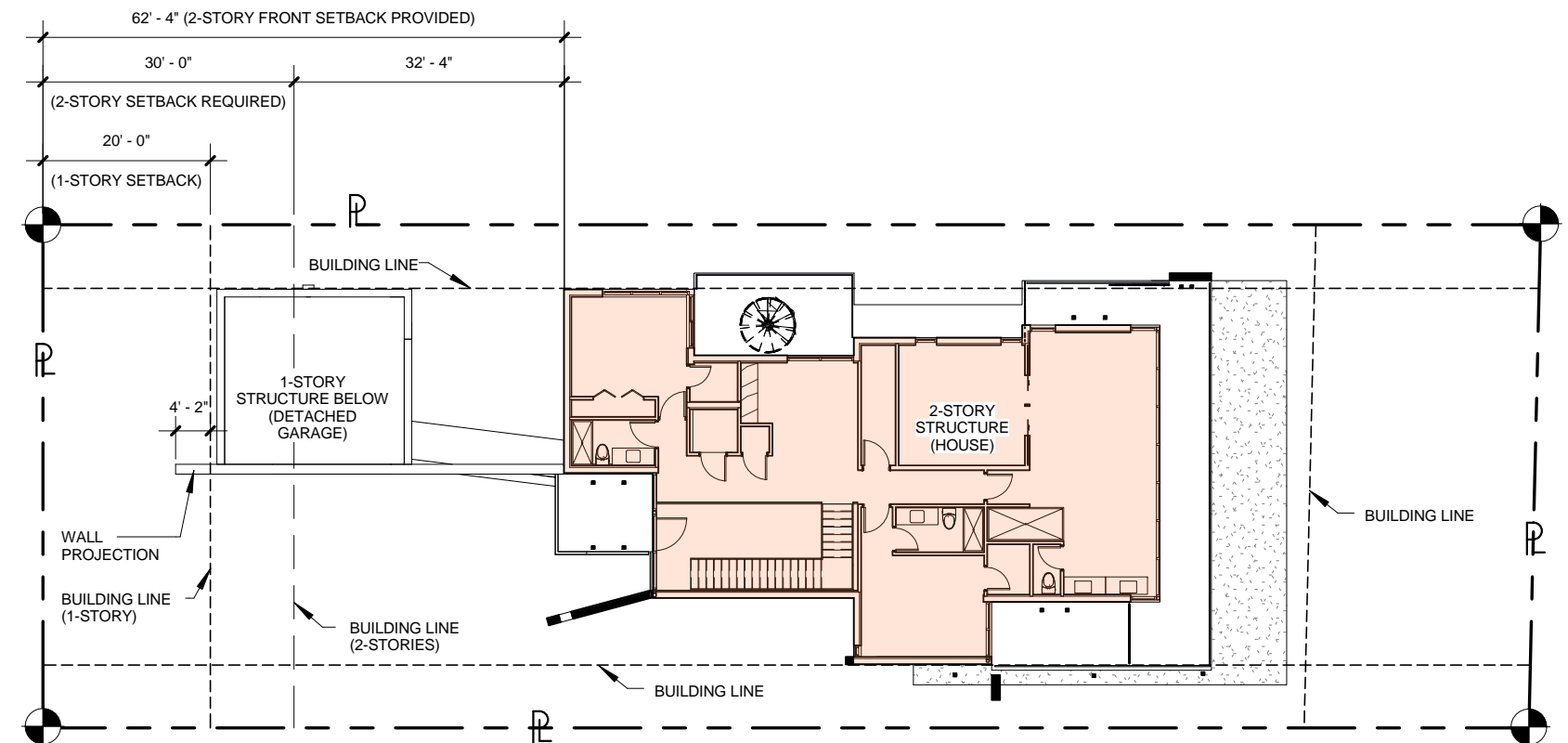




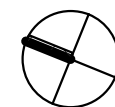




1 FRONT SETBACK - GROUND FLOOR
3/64" = 1'-0"



2 FRONT SETBACK - 2ND FLOOR
3/64" = 1'-0"



borges architects
+ associates

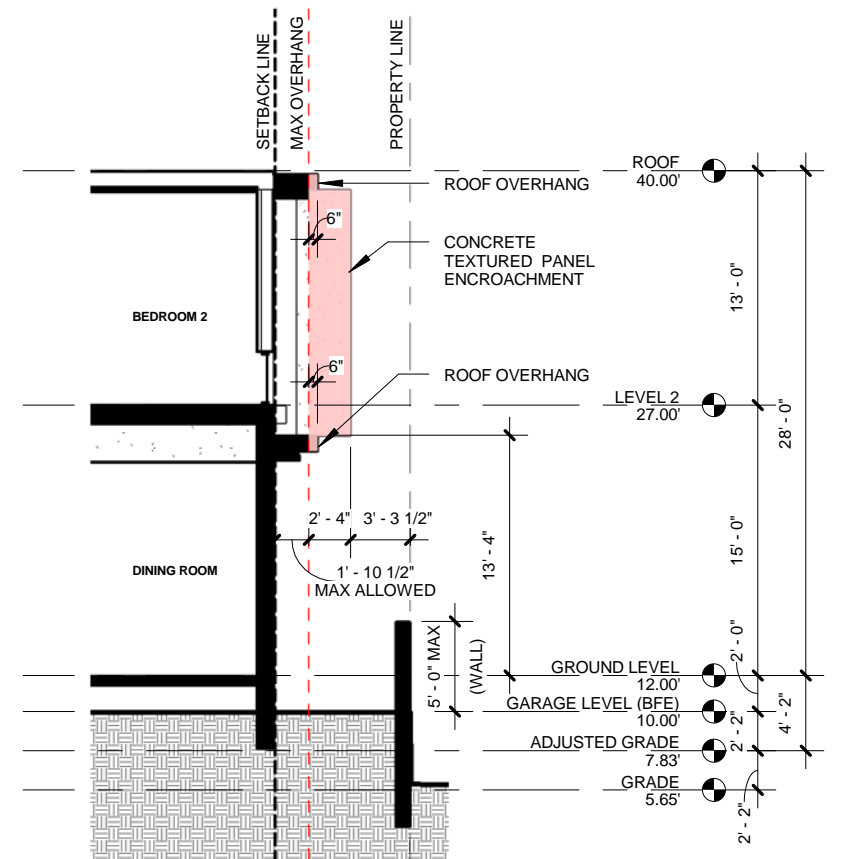
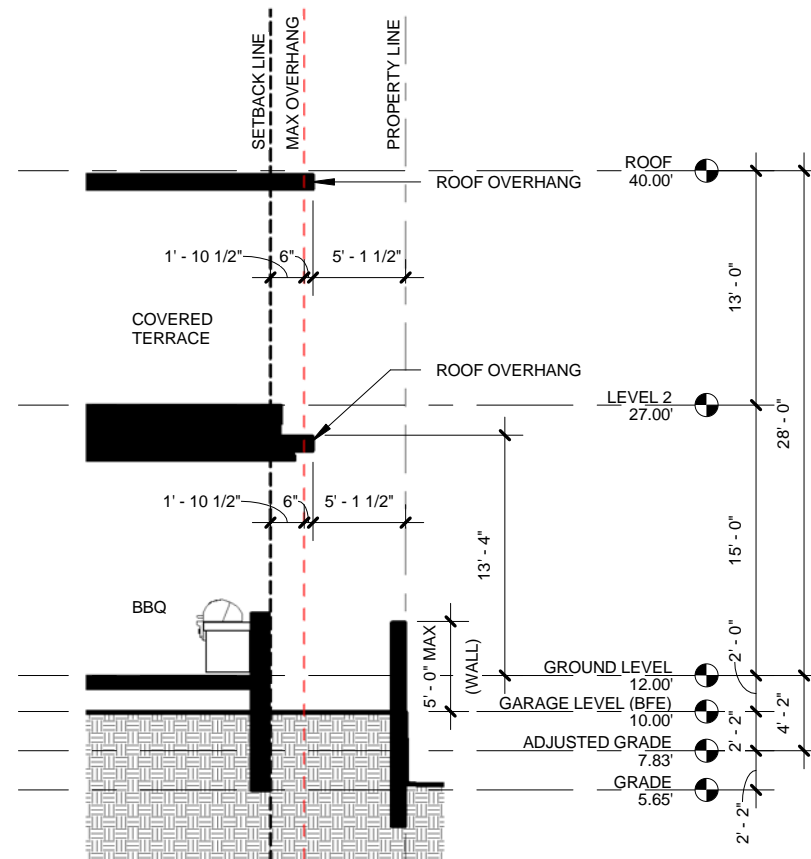
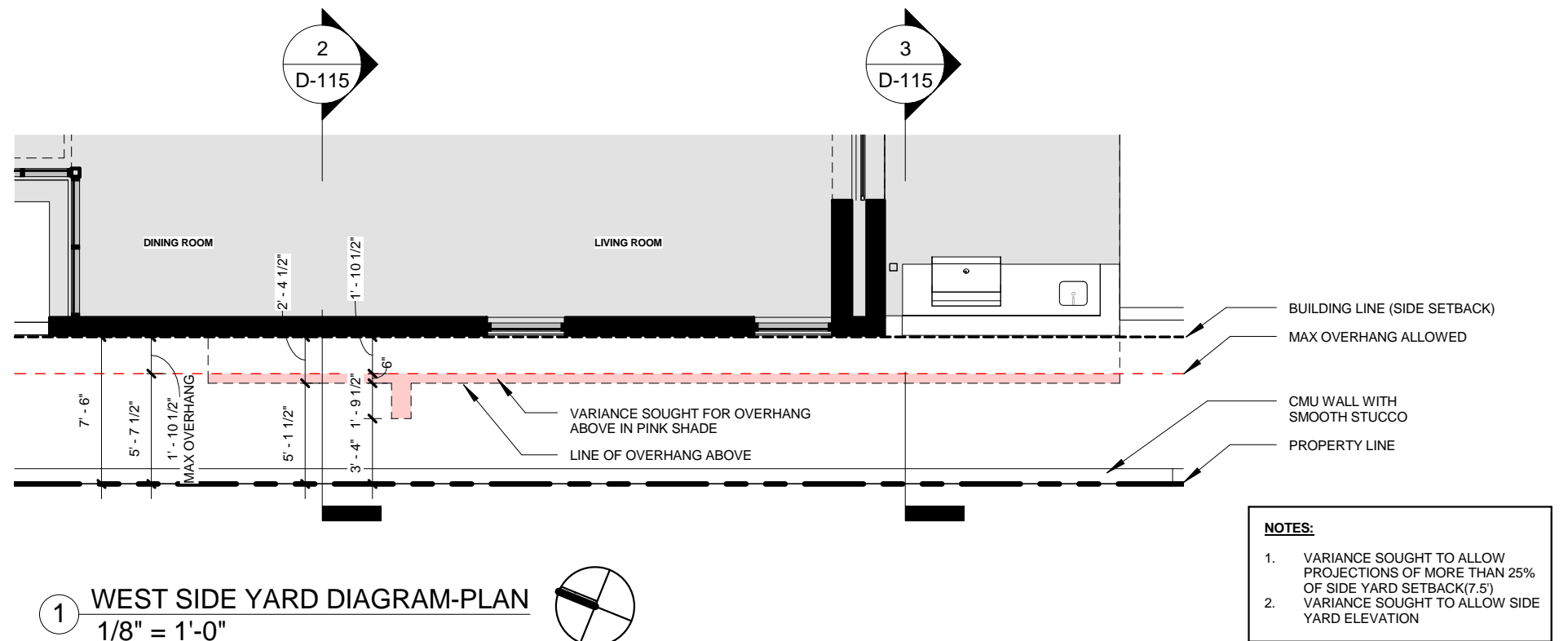
VARIANCE DIAGRAM - FRONT SETBACK

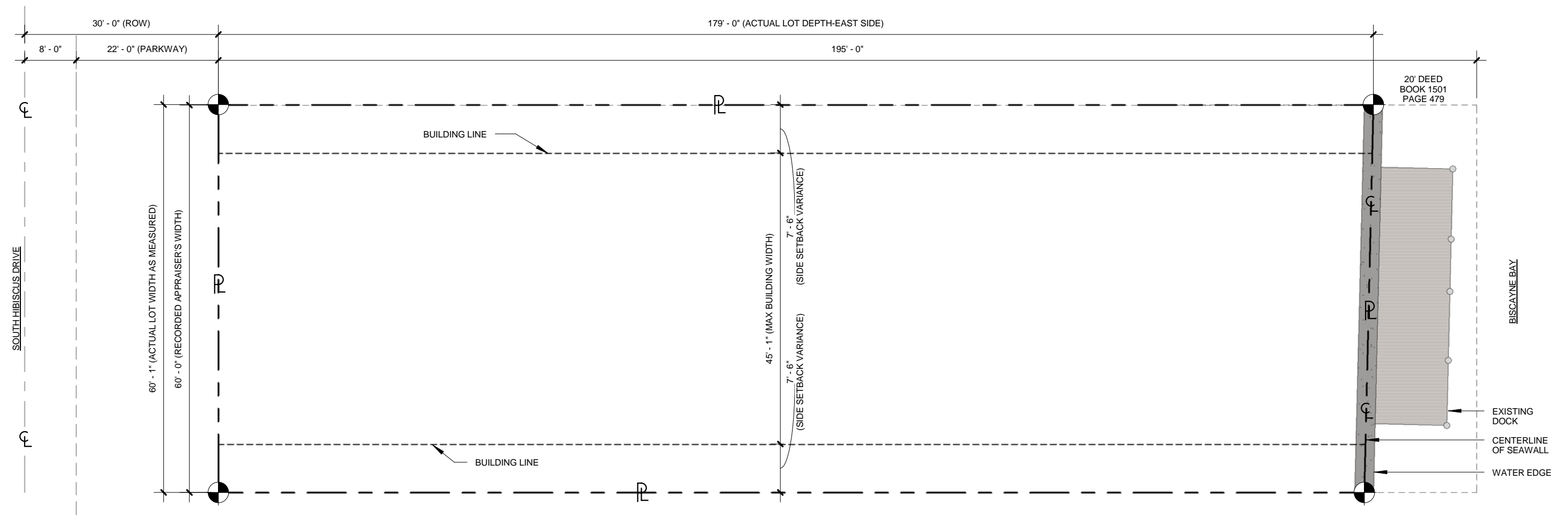
160 SOUTH HIBISCUS DRIVE
Miami Beach, FL

D-113

Date 05/15/2017

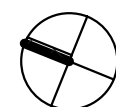
Scale 3/64" = 1'-0"

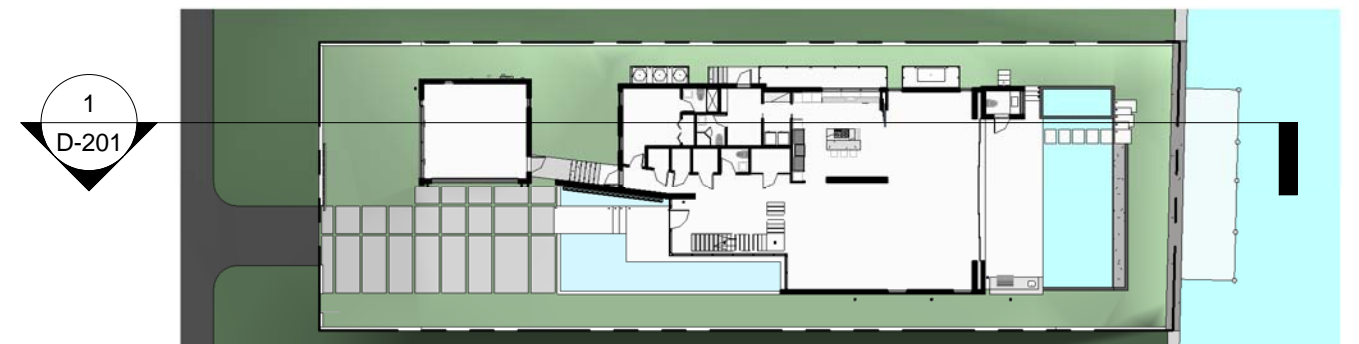
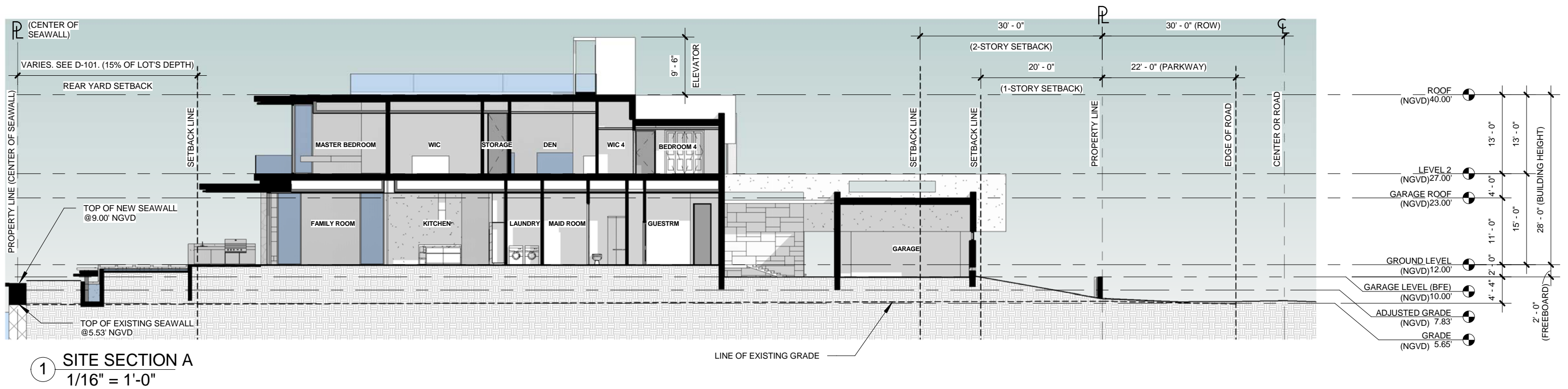




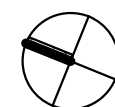
NOTE:

1. ACTUAL DEPTH AND WIDTH TAKEN FROM SURVEY AS REFERENCED ON D-002.
2. VARIANCE SOUGHT TO ALLOW 7.5' SETBACK AT EAST AND WEST SIDE YARDS BASED ON A 60'-0" WIDE LOT. THE ONE EXTRA INCH IN THE ACTUAL MEASUREMENT REPRESENTS A GREAT HARDSHIP.
3. VARIANCE SOUGHT TO ALLOW THE SUM OF THE EAST AND WEST SIDE YARDS BASED TO BE BASED ON A 60'-0" WIDE LOT. THE ONE EXTRA INCH IN THE ACTUAL MEASUREMENT REPRESENTS A GREAT HARDSHIP.





2 KEY PLAN - SITE SECTION A
1" = 40'-0"



borges architects
+ associates

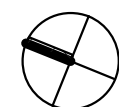
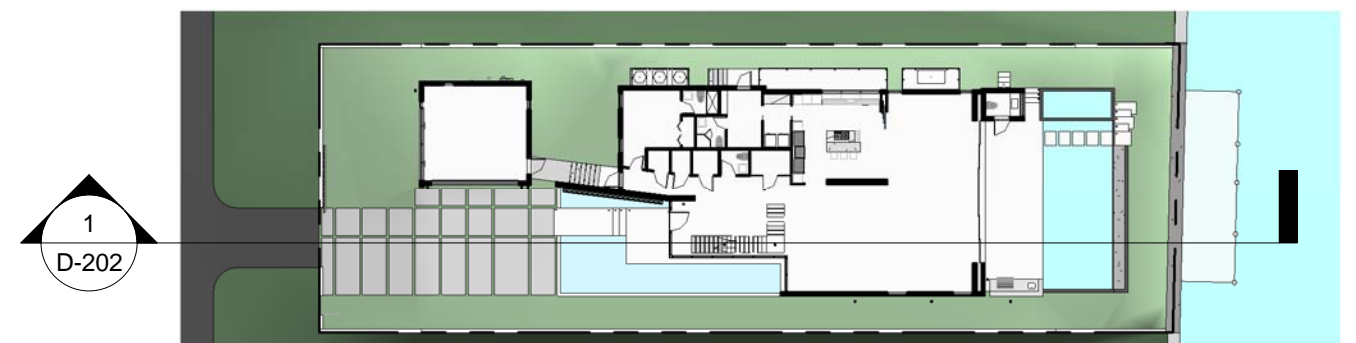
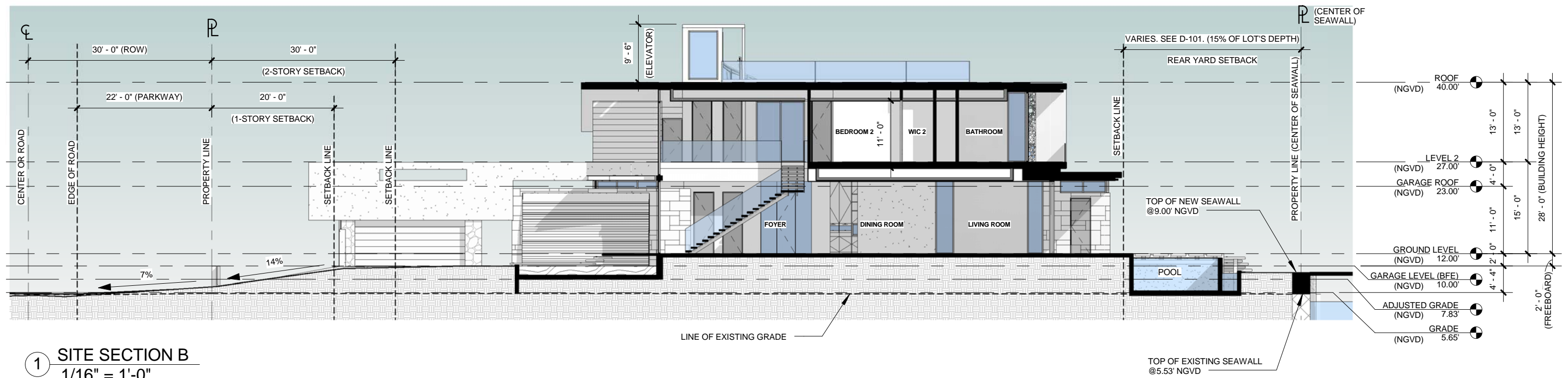
SITE SECTIONS

160 SOUTH HIBISCUS DRIVE
Miami Beach, FL

D-201

Date 05/15/2017

Scale As indicated



borges architects
+ associates

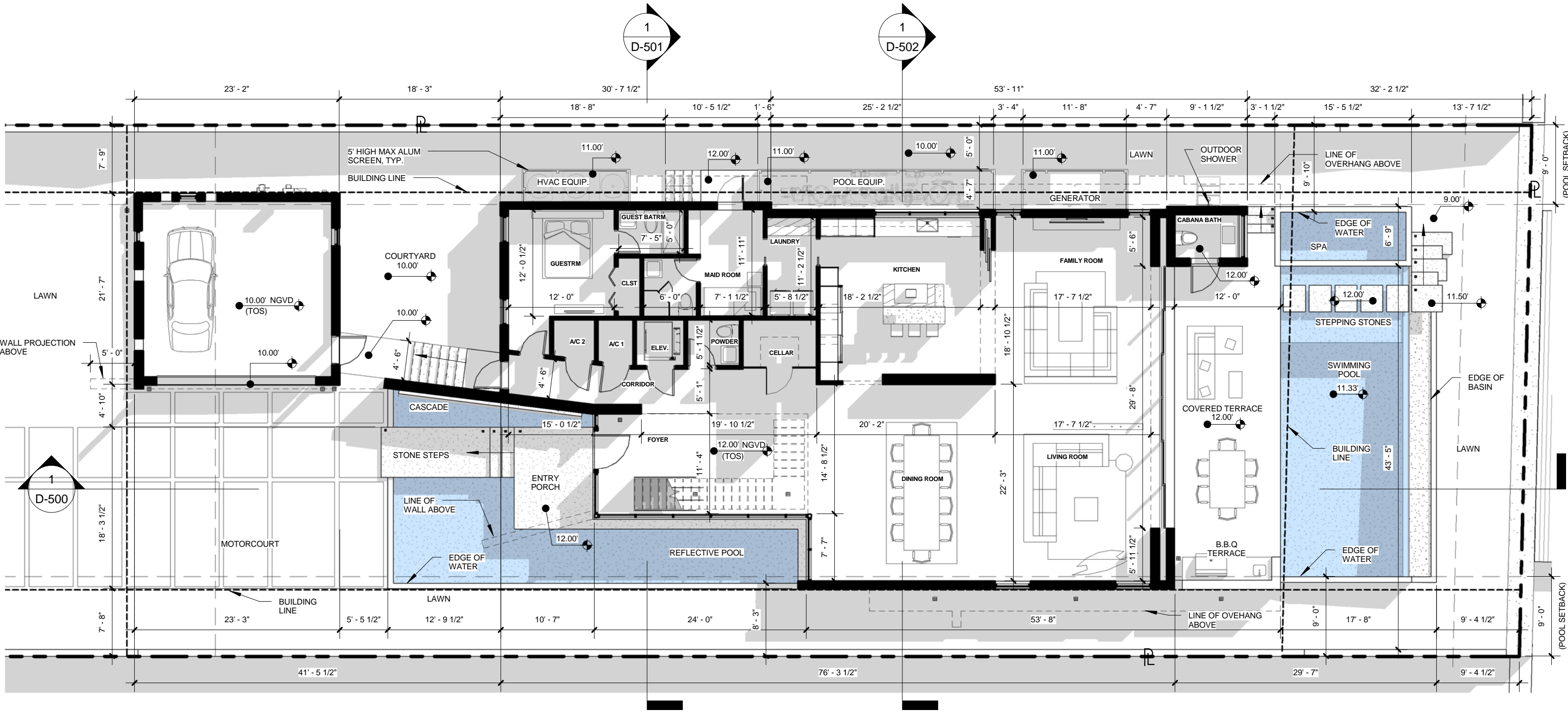
SITE SECTIONS

160 SOUTH HIBISCUS DRIVE
Miami Beach, FL

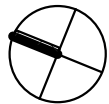
D-202

Date 05/15/2017

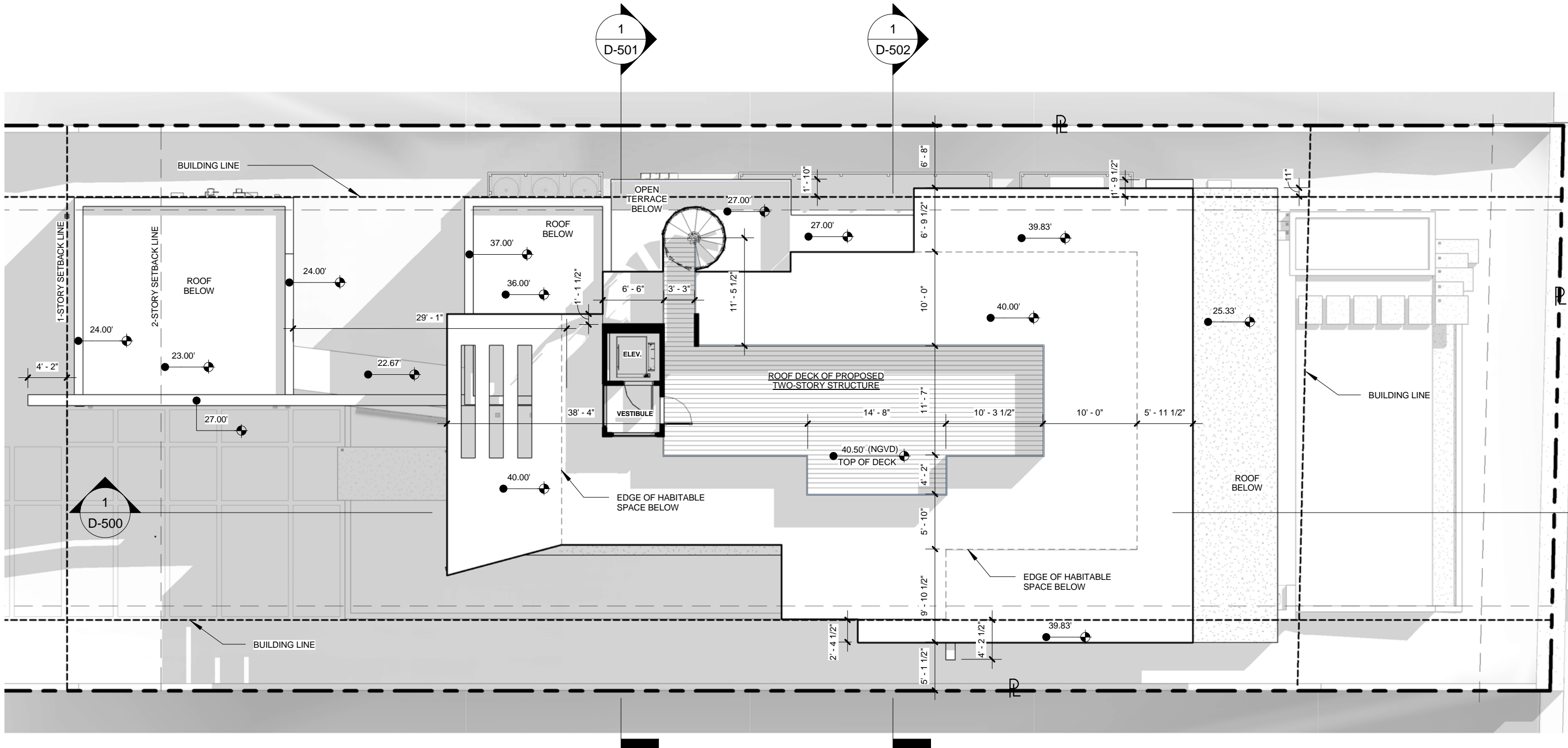
Scale As indicated



GROSS AREA (A/C)	
GROUND FLOOR:	3,100 SF
2ND FLOOR:	2,173 SF
ROOF:	74 SF
TOTAL:	5,347 SF

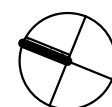


borges architects + associates	GROUND FLOOR PLAN		D-300
	160 SOUTH HIBISCUS DRIVE		Date 05/15/2017
	Miami Beach, FL		Scale 3/32" = 1'-0"



GROSS AREA (A/C)

GROUND FLOOR:	3,100 SF
2ND FLOOR:	2,173 SF
ROOF:	74 SF
TOTAL:	5,347 SF



borges architects
+ associates

Copyright © 2017 Borges and Associates Architecture. All rights reserved.

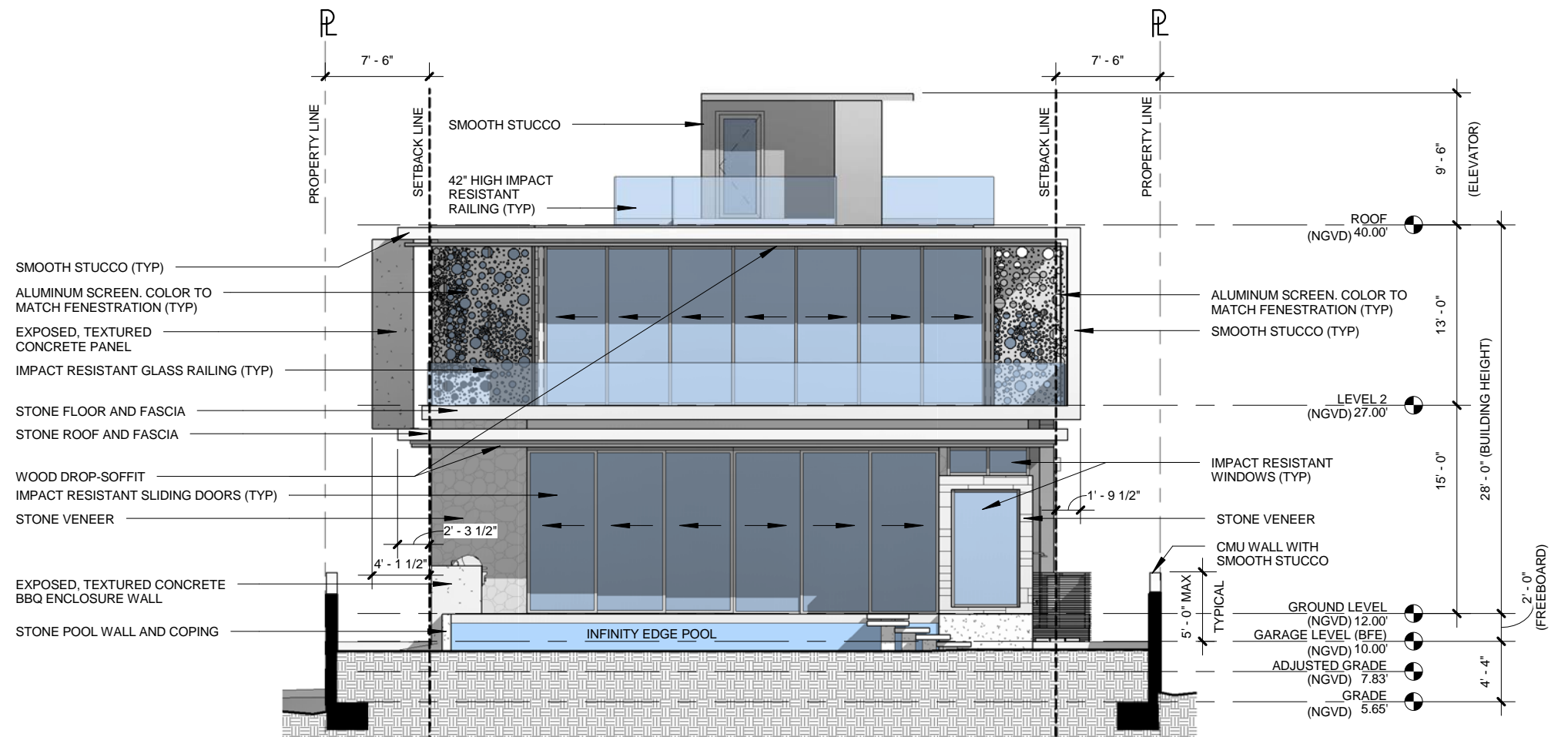
ROOF PLAN

160 SOUTH HIBISCUS DRIVE
Miami Beach, FL

D-302

Date 05/15/2017

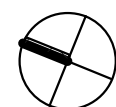
Scale 3/32" = 1'-0"

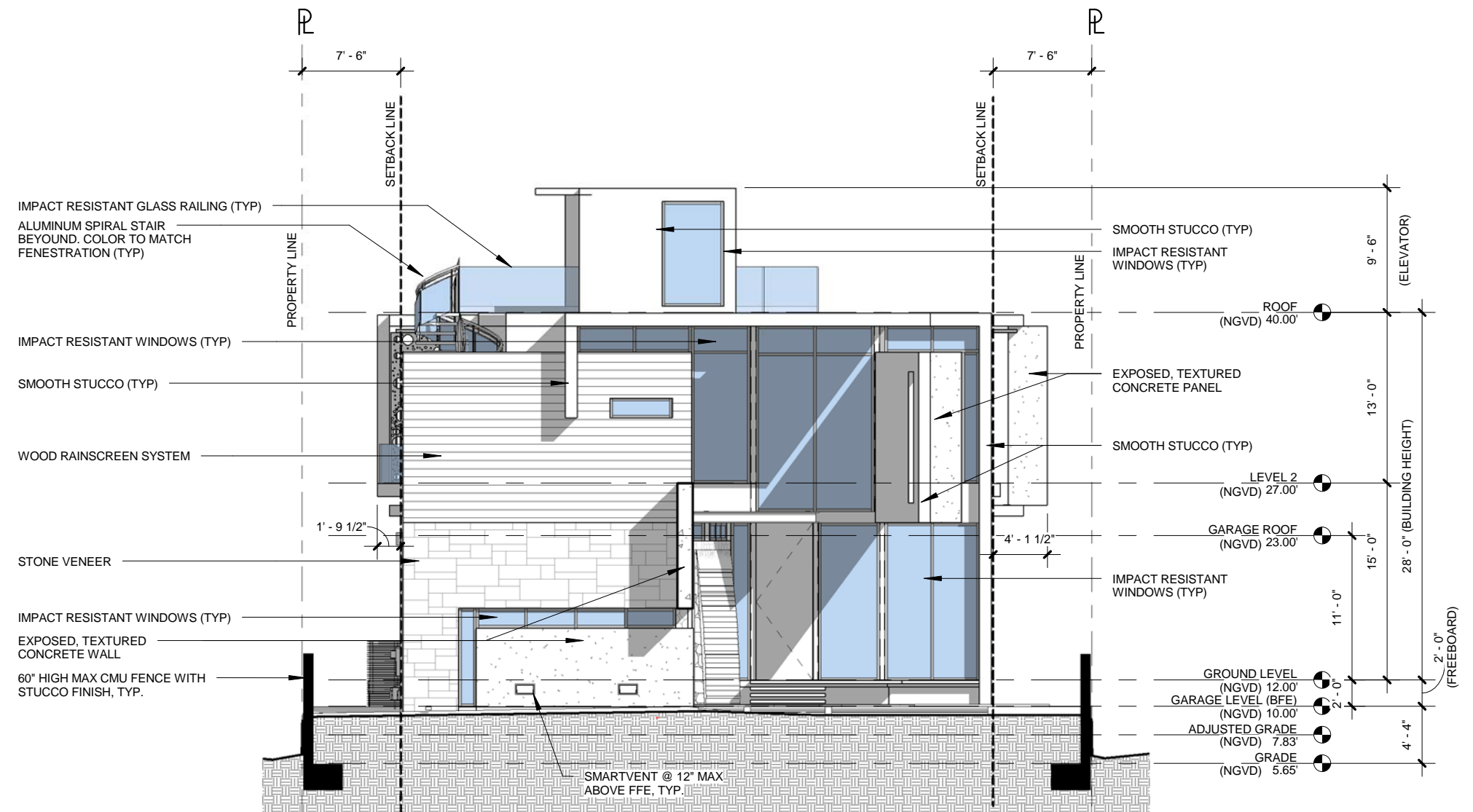


1 EAST ELEVATION-ZONING
3/32" = 1'-0"

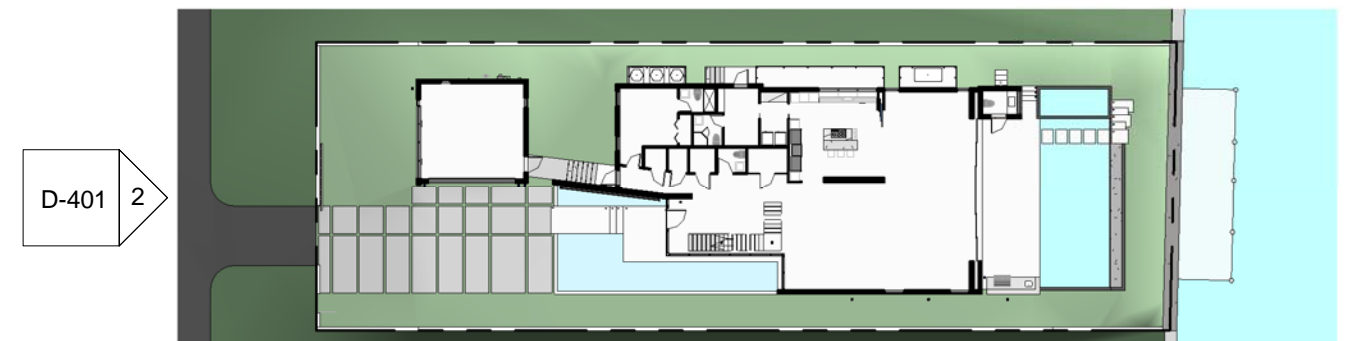


2 EAST ELEVATION
1" = 40'-0"

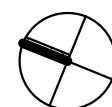


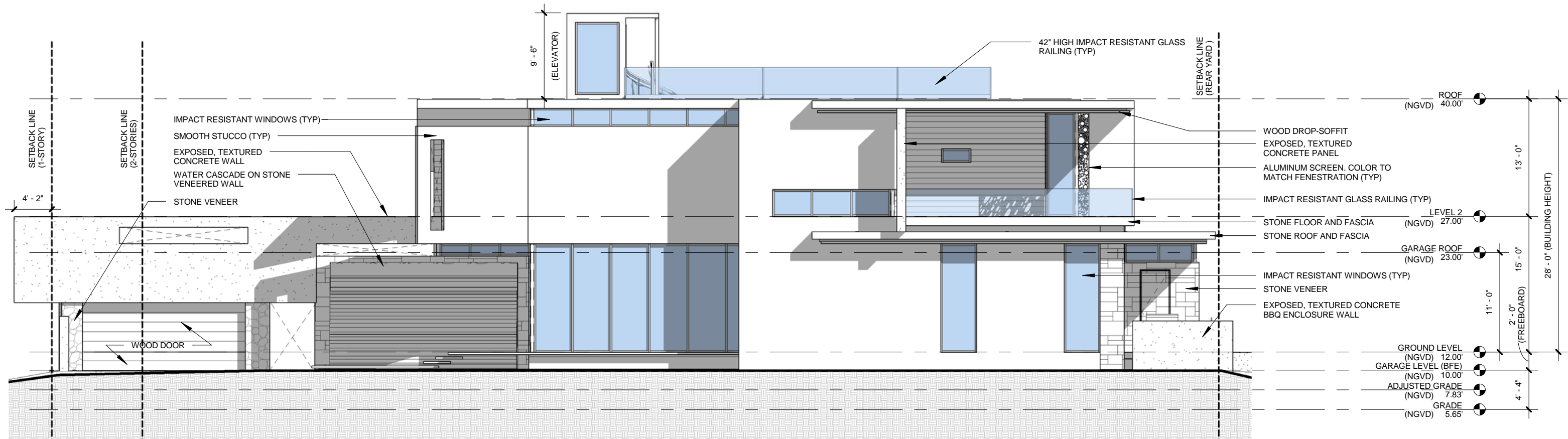


1 WEST ELEVATION-ZONING
3/32" = 1'-0"



2 KEY PLAN - WEST ELEVATION
1" = 40'-0"

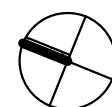




1 SOUTH ELEVATION-ZONING
3/32" = 1'-0"



2 KEY PLAN - SOUTH ELEVATION
1" = 40'-0"



borges architects
+ associates

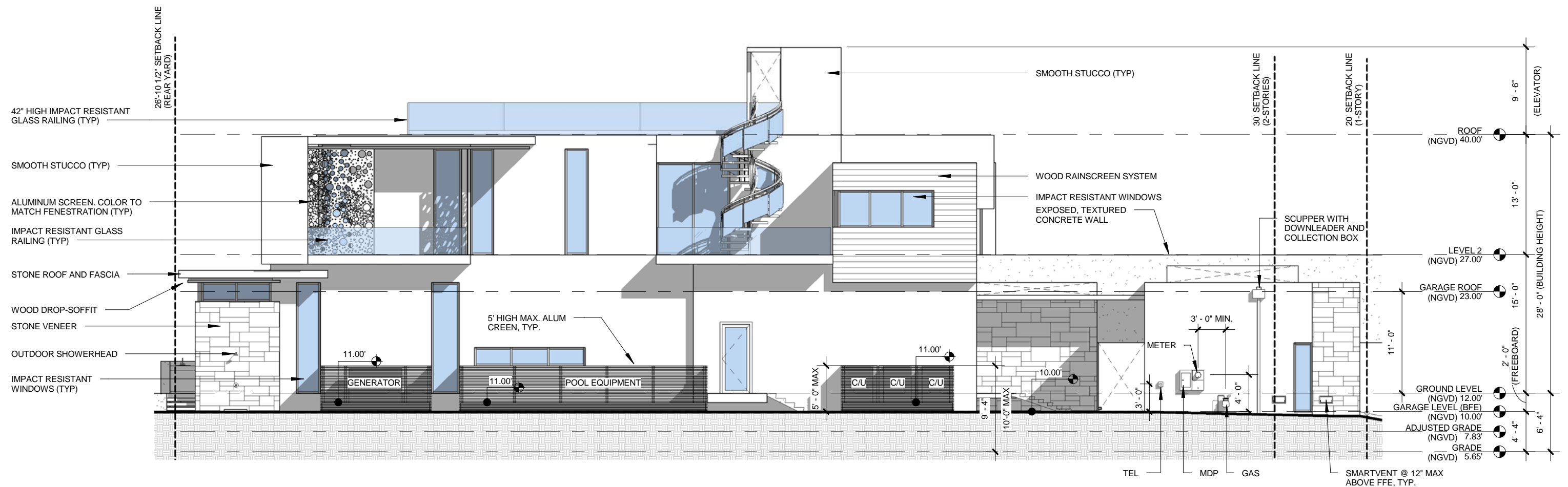
BUILDING ELEVATIONS

160 SOUTH HIBISCUS DRIVE
Miami Beach, FL

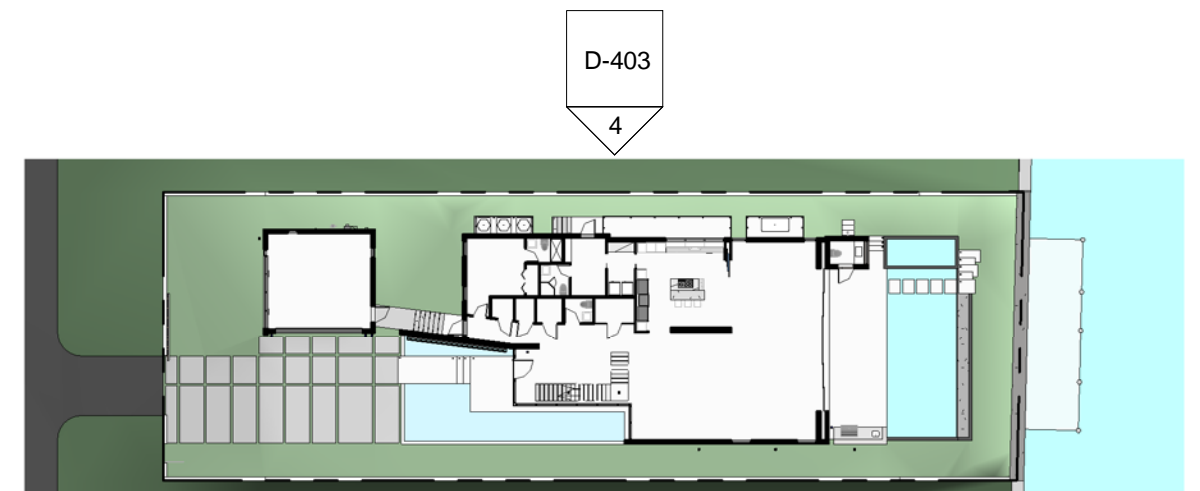
D-402

Date 05/15/2017

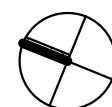
Scale As indicated

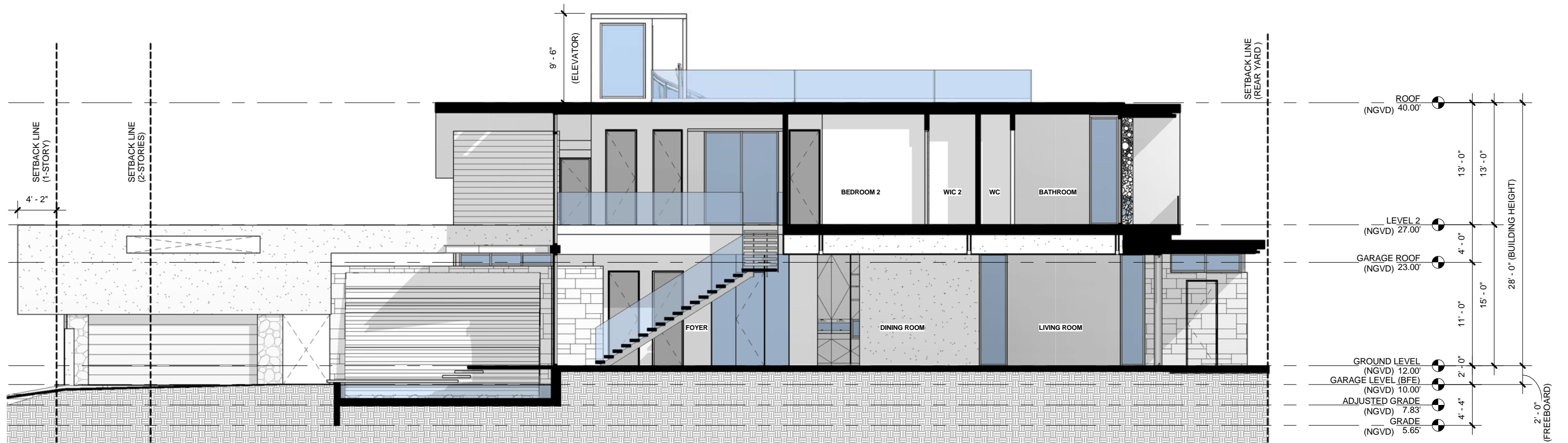


1 NORTH ELEVATION-ZONING
3/32" = 1'-0"

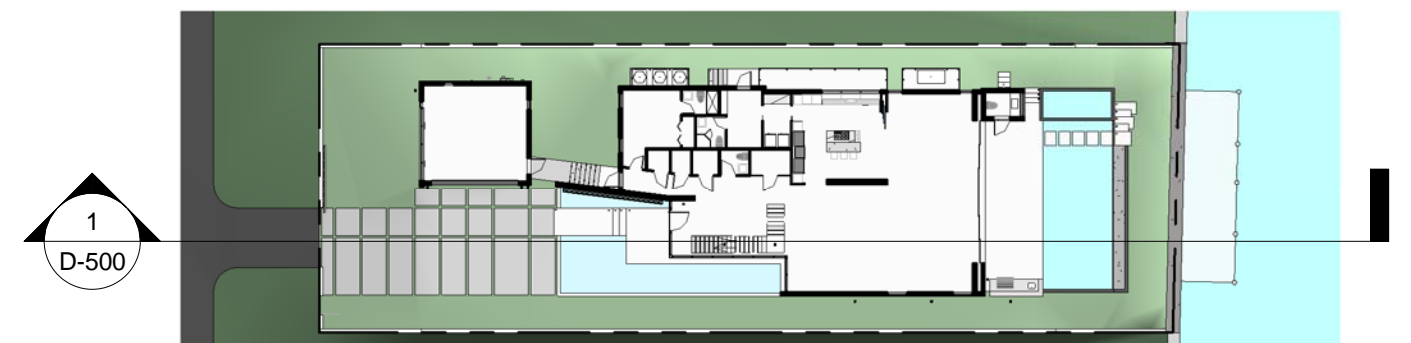


2 KEY PLAN - NORTH ELEVATION
1" = 40'-0"





1 BUILDING SECTION A
3/32" = 1'-0"



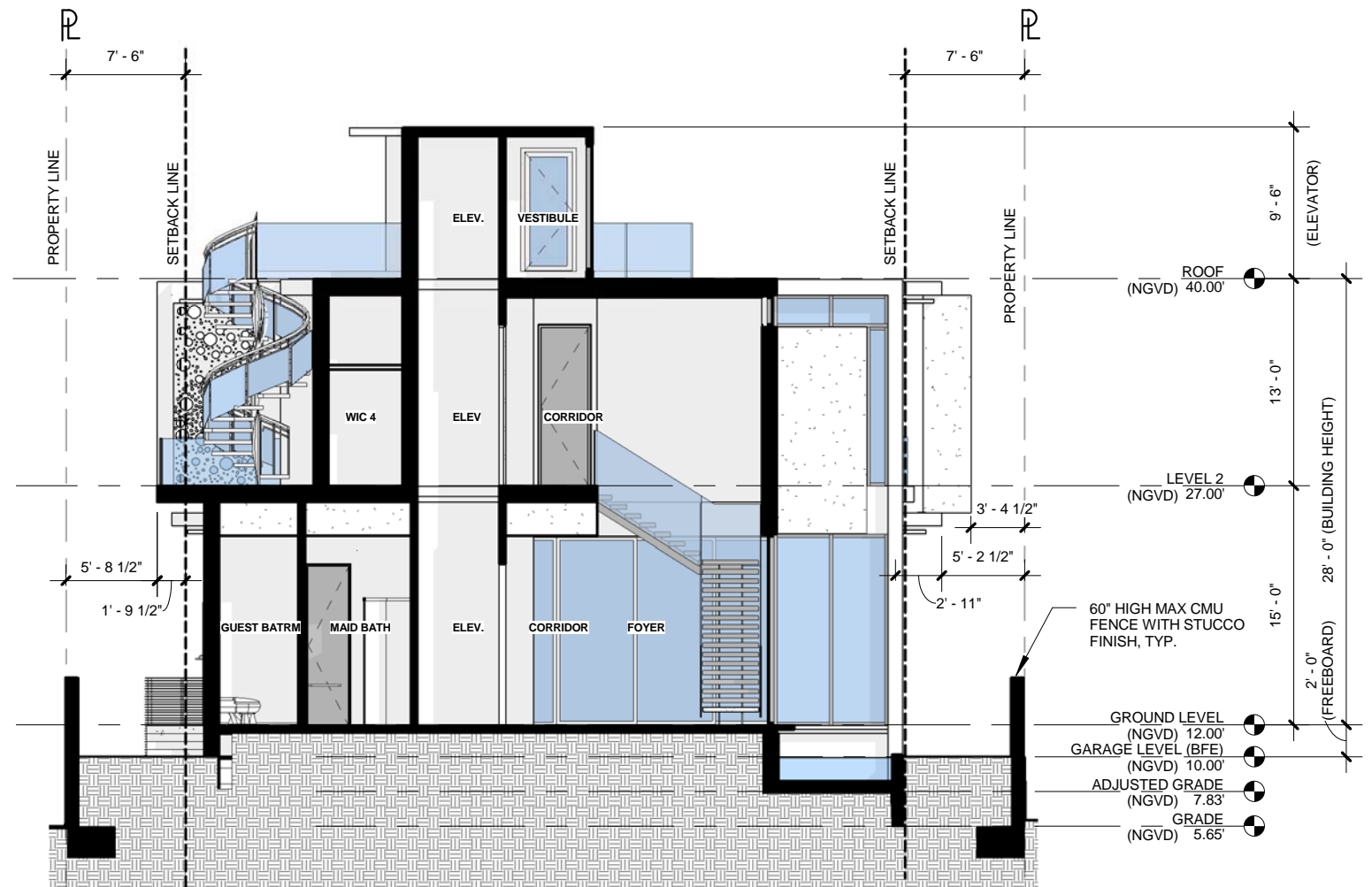
2 KEY PLAN - BUILDING SECTION A
1" = 40'-0"



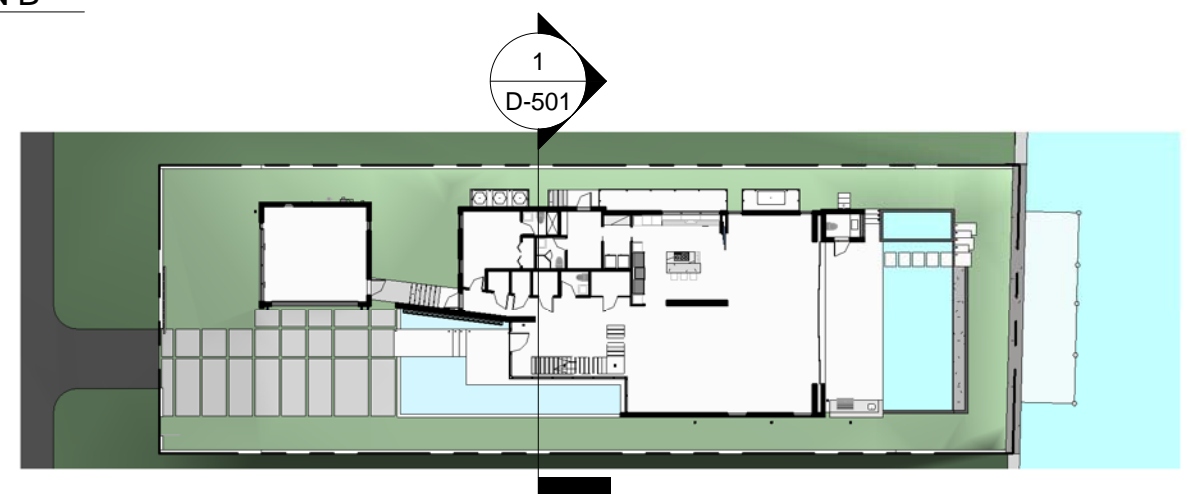
borges architects
+ associates

BUILDING SECTIONS
160 SOUTH HIBISCUS DRIVE
Miami Beach, FL

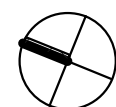
D-500
Date 05/15/2017
Scale As indicated



1 BUILDING SECTION B
3/32" = 1'-0"



2 KEY PLAN - BUILDING SECTION B
1" = 40'-0"



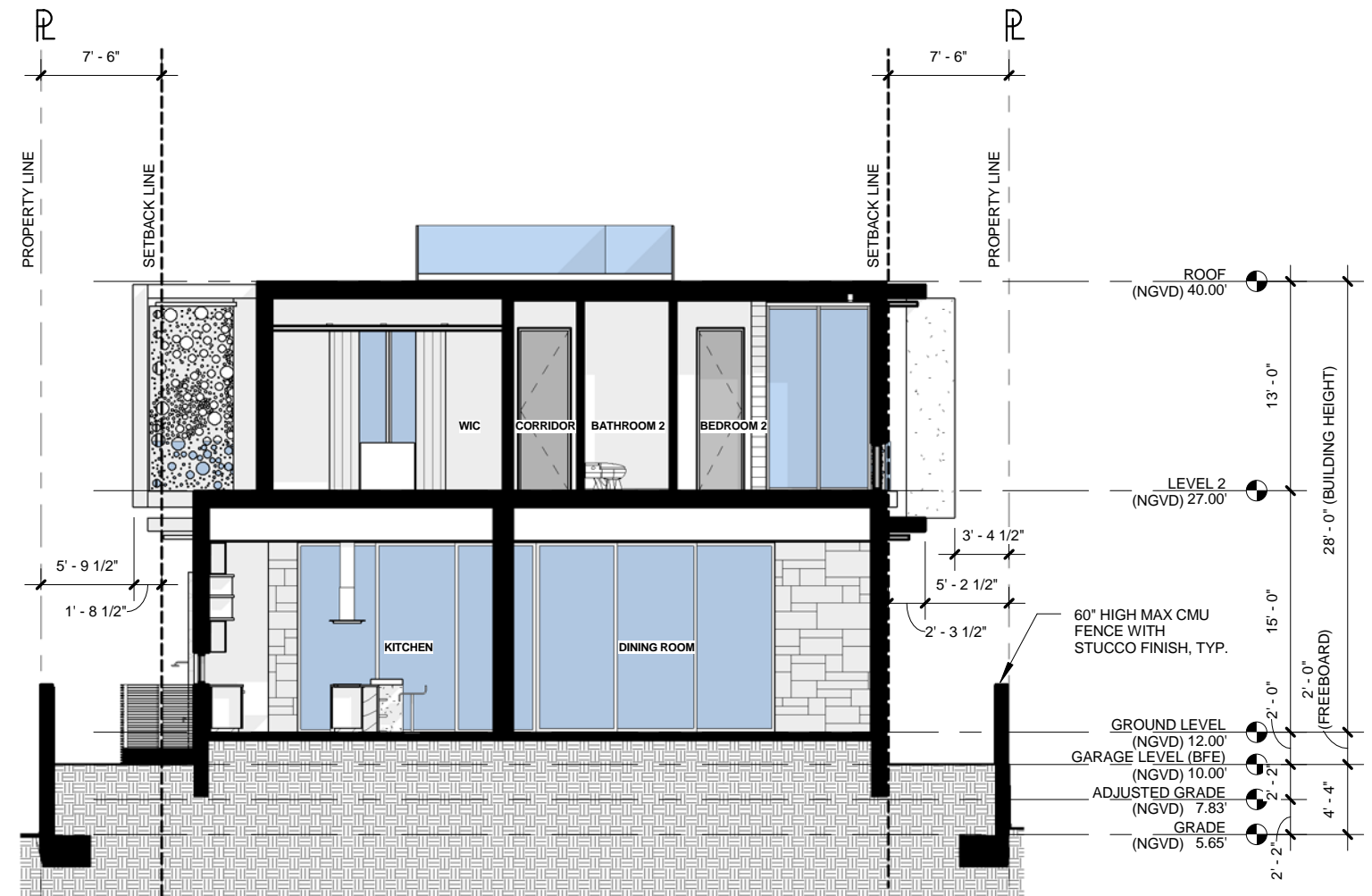
borges architects
+ associates

BUILDING SECTIONS
160 SOUTH HIBISCUS DRIVE
Miami Beach, FL

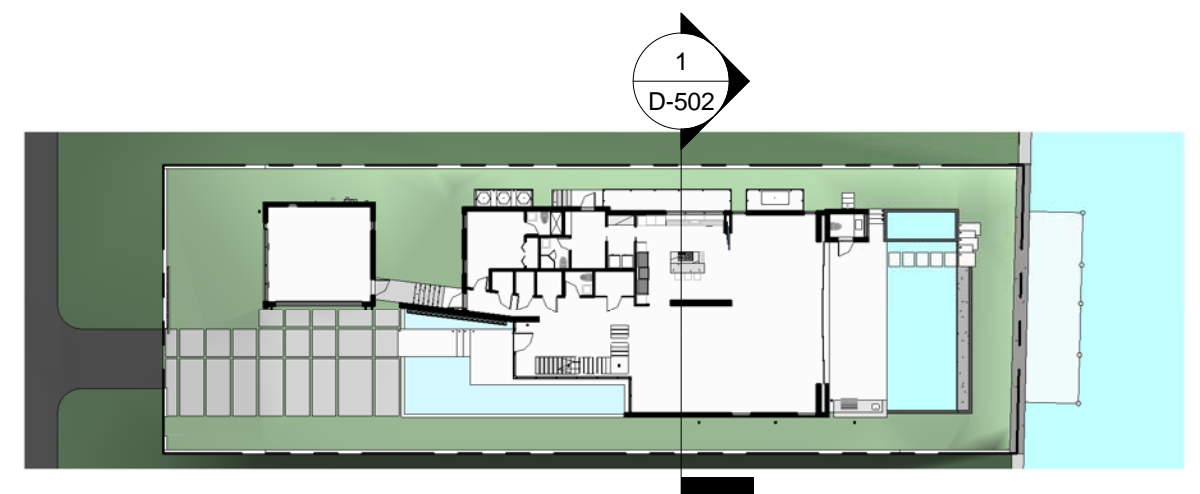
D-501

Date 05/15/2017

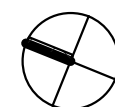
Scale As indicated



1 BUILDING SECTION C
3/32" = 1'-0"



2 KEY PLAN - BUILDING SECTION C
1" = 40'-0"



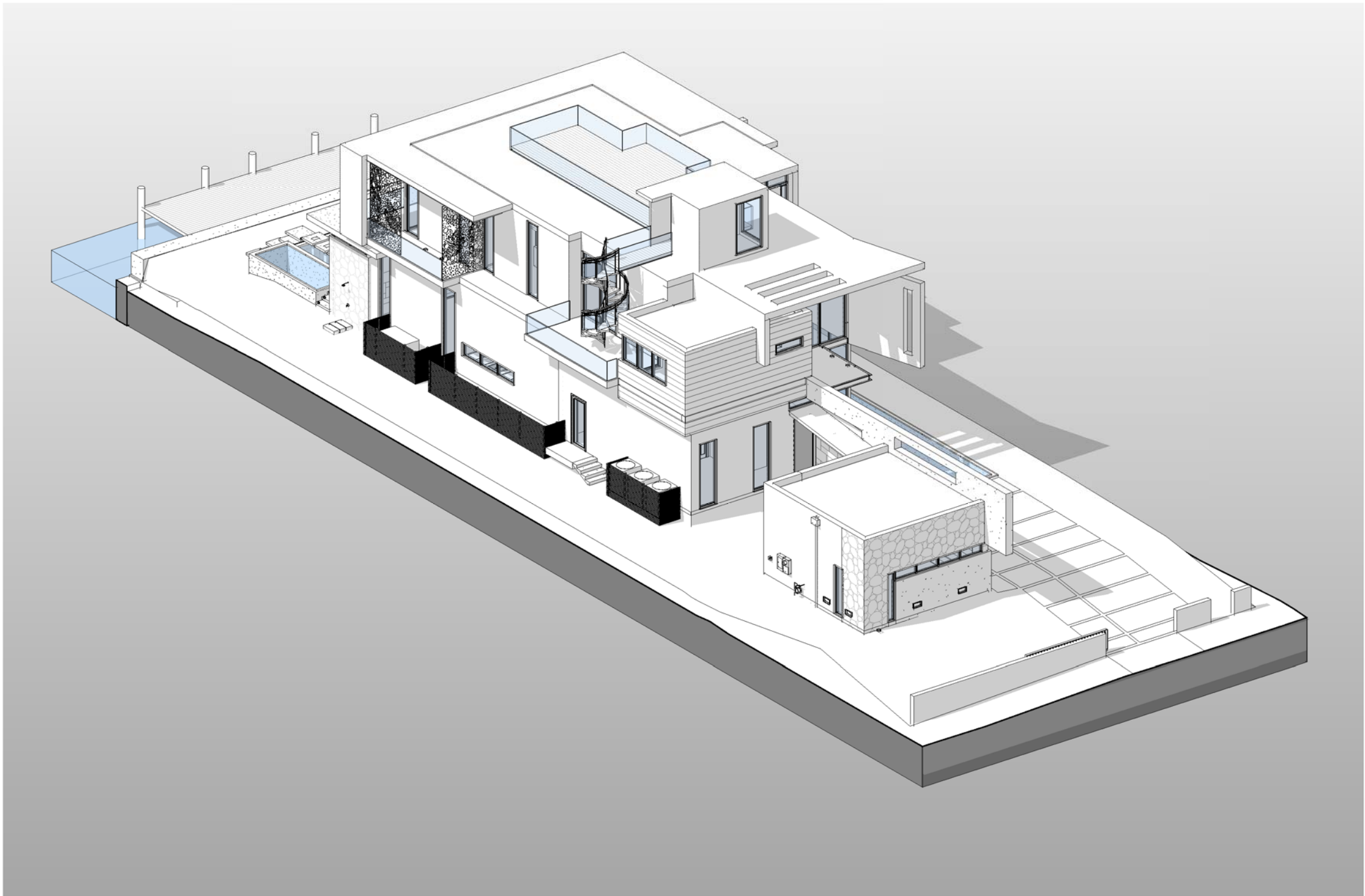
borges architects
+ associates

BUILDING SECTIONS
160 SOUTH HIBISCUS DRIVE
Miami Beach, FL

D-502

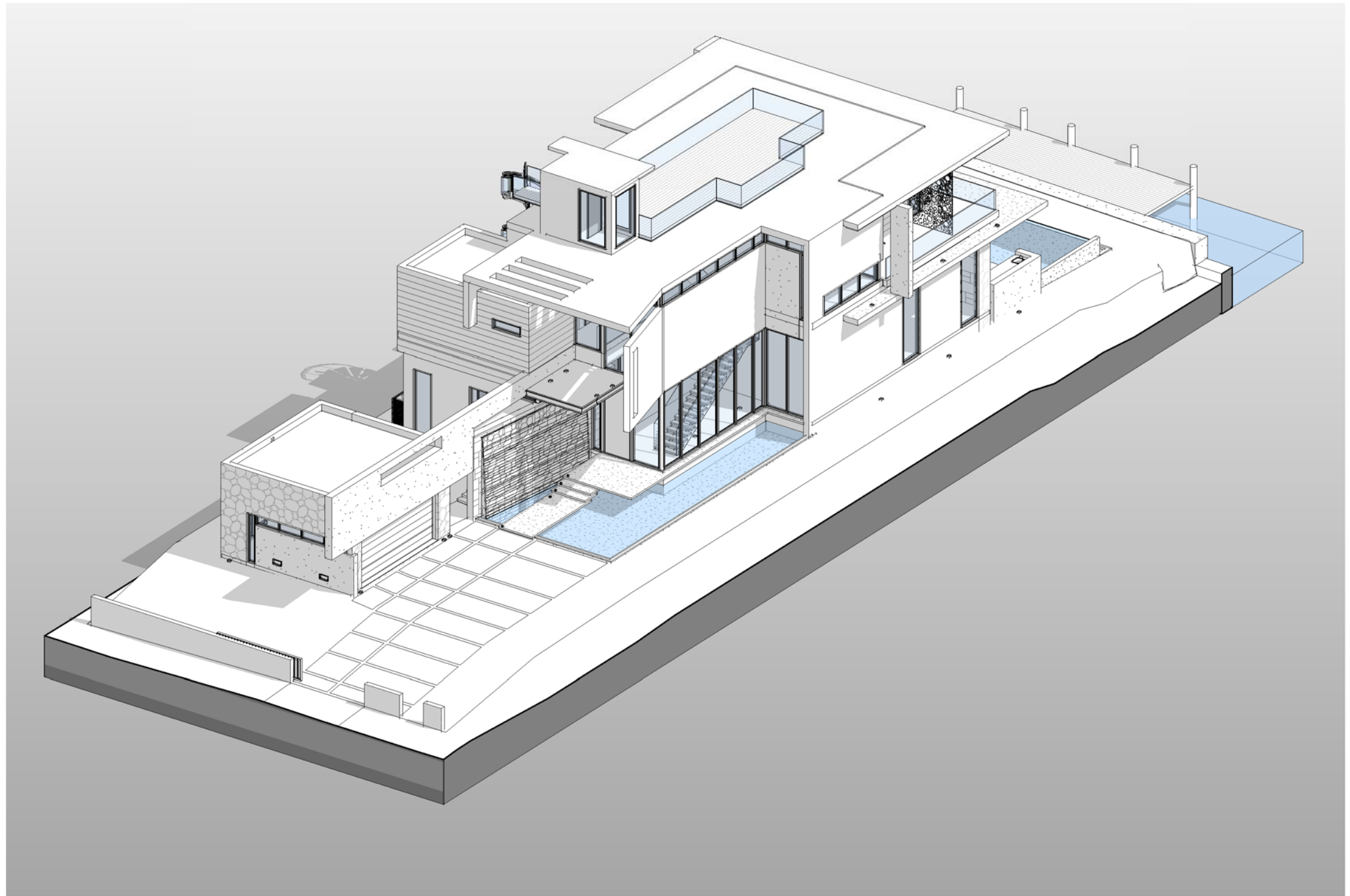
Date 05/15/2017

Scale As indicated



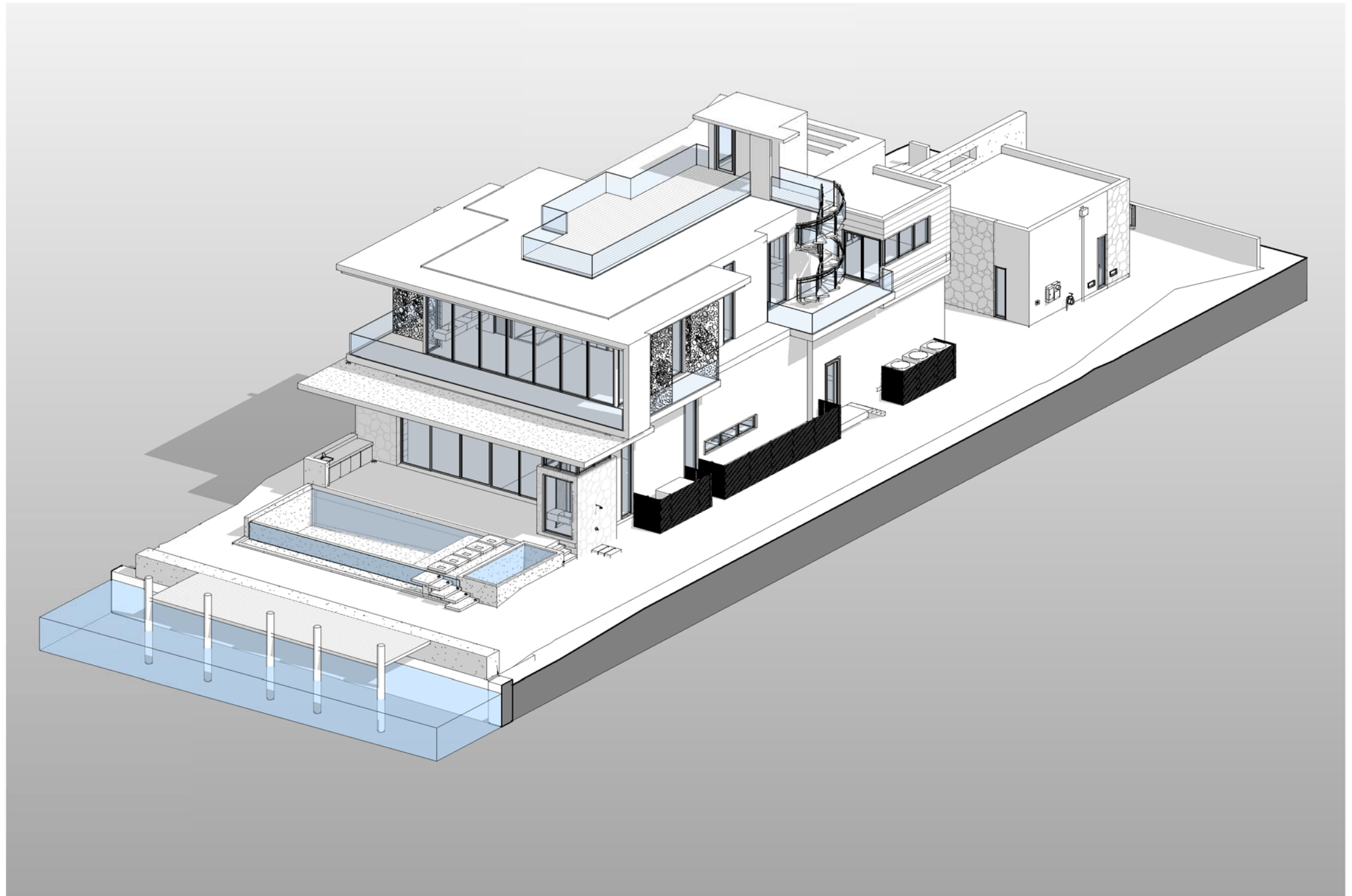
① AXONOMETRIC - NE CORNER

borges architects + associates	AXONOMETRIC VIEWS	D-600
	160 SOUTH HIBISCUS DRIVE	Date 05/15/2017
	Miami Beach, FL	Scale

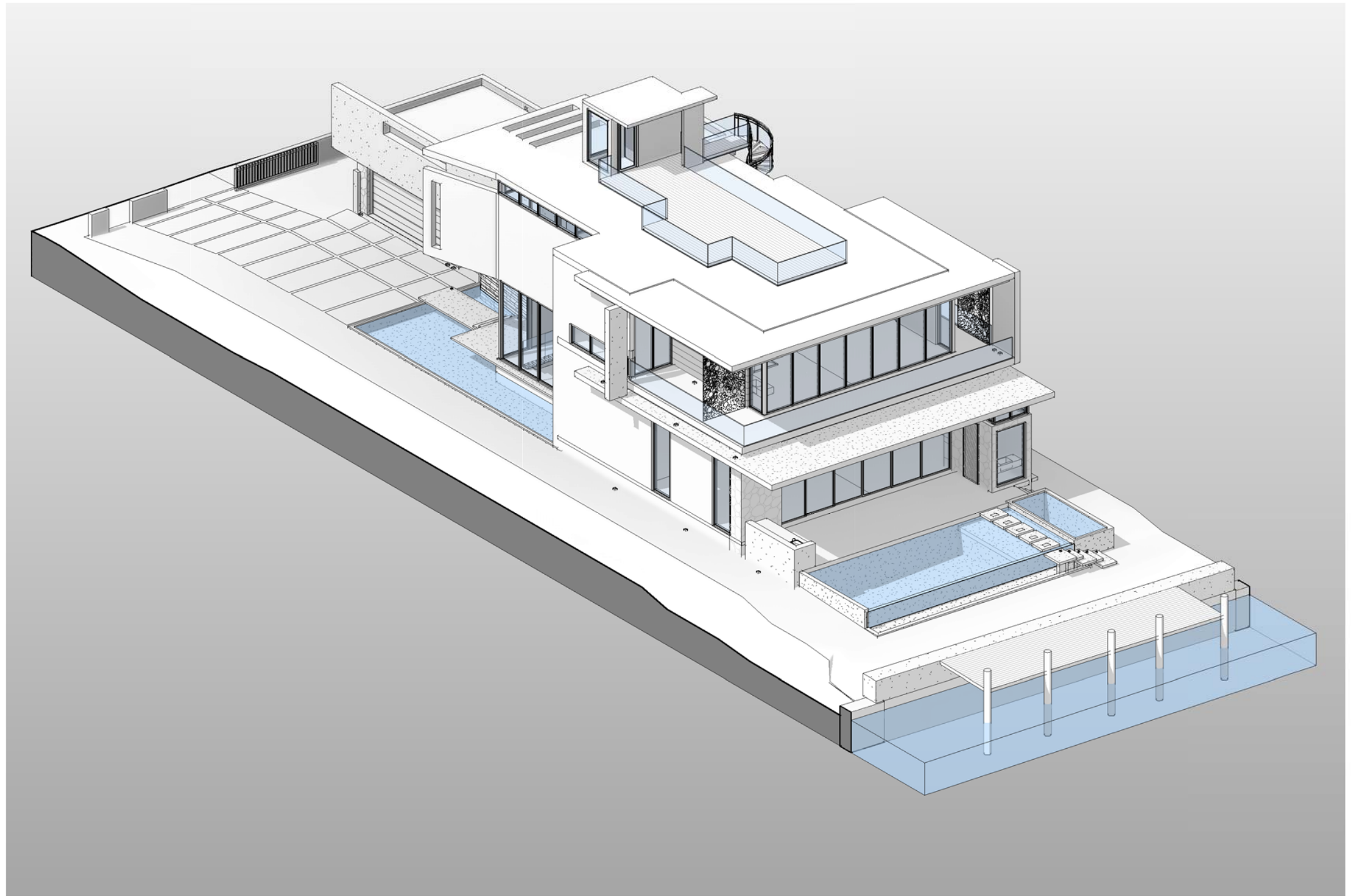


1 AXONOMETRIC - NW CORNER

borges architects + associates	AXONOMETRIC VIEWS	D-601
	160 SOUTH HIBISCUS DRIVE	Date 05/15/2017
	Miami Beach, FL	Scale



① AXONOMETRIC - SE CORNER

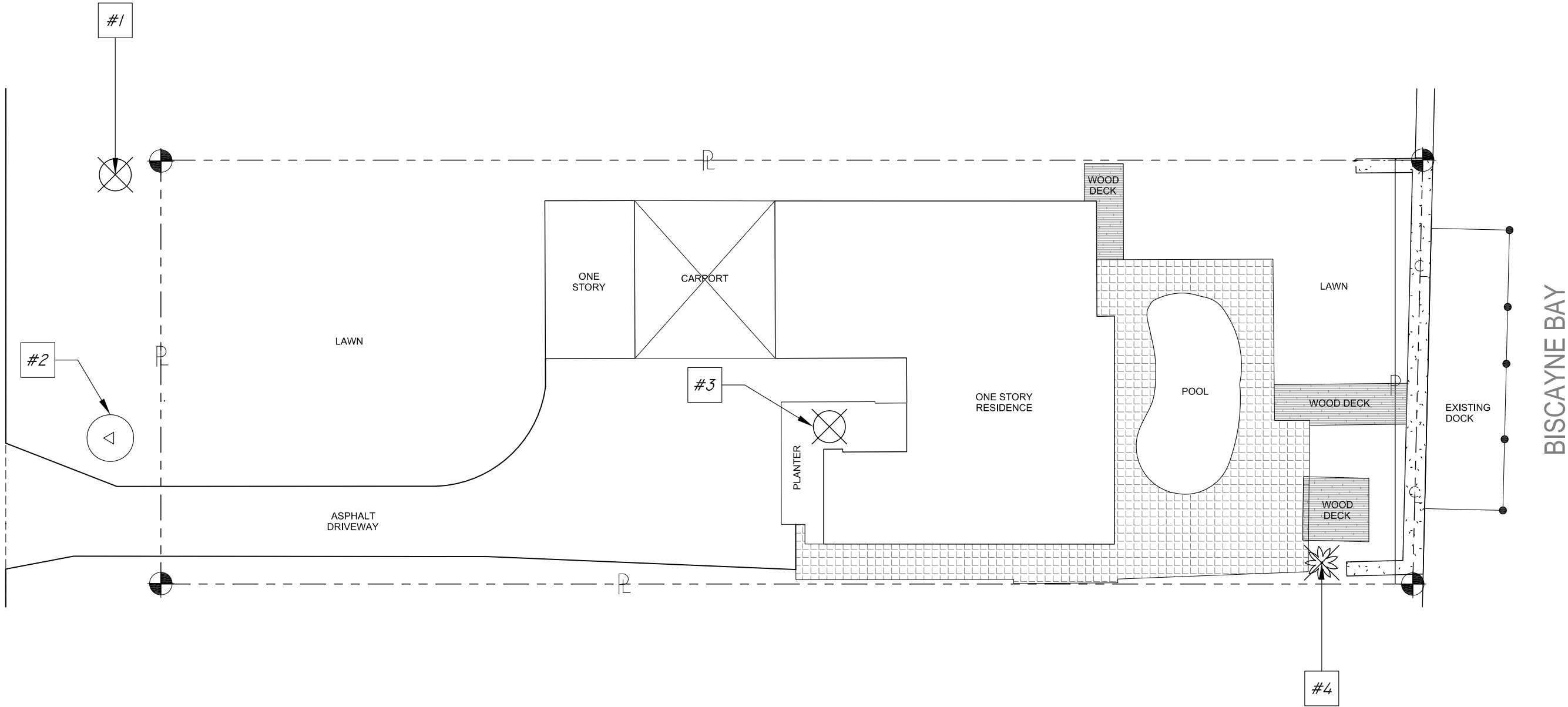


1 AXONOMETRIC - SW CORNER





SOUTH HIBISCUS DRIVE



EXISTING TREE DISPOSITION PLAN									
NUMBER	BOTANICAL NAME	COMMON NAME	HGT	SPRD	DIAMETER	CANOPY	CONDITION	DISPOSITION	COMMENTS
1	--	Palm tree	8'	--	--	--	--	--	Remove
2	Calliandra haematocephala	Powderpuff tree	--	--	--	--	--	--	Transplant
3	--	--	--	--	--	--	--	--	Remove
4	--	Small palm	5'	--	--	--	--	--	Remove

Legend

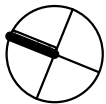
Existing tree or palm to be transplanted

Existing tree or palm to be removed

Existing tree and palm to remain

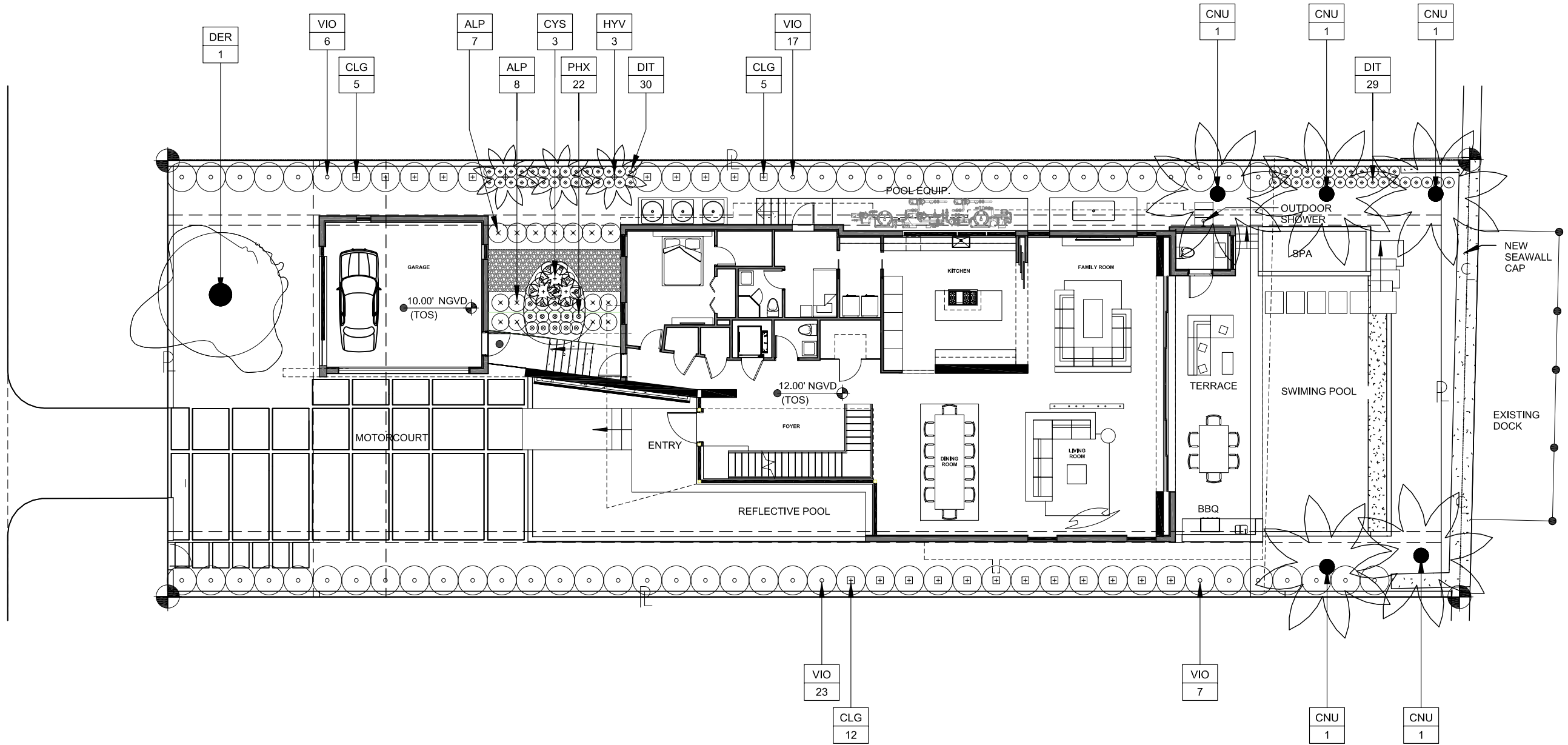
tree palm

Note:
All hedges and non- authorized items to be removed from public right-of-way.



SOUTH HIBISCUS DRIVE

BISCAYNE BAY

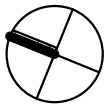


PLANT SCHEDULE

SHADE TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	HGT	SPRD	REMARKS
DER	1	Delonix Regia	Royal Poinciana	95 gal	--	16' OA	7' 8"	Drought Tolerant / Listed in the Miami Dade Landscape Manual
PALM TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	HGT	SPRD	REMARKS
HYV	3	Hyophorbe verschaffeltii	Spindle Palm	65 gal	12"	6' 8" OA	6' 8"	Listed in the Miami Dade Landscape Manual
CNU	5	Cocos Nucifera	Coconut Palm	--	14"	26'	20'	
LARGE SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	SPRD	SPACING	REMARKS
VIO	53	Viburnum Odoratisissimum	Sweet Viburnum	15 gal	5' 6"	4' 6"	4" o.c.	Listed in the Miami Dade Landscape Manual
CLG	22	Clusia Guttifera	Small Leaf Clusia	25 gal	8' 10"	4' 6"	As shown	Drought Tolerant / Listed in the Miami Dade Landscape Manual
SMALL SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	SPRD	SPACING	REMARKS
DIT	59	Dianella tasmanica	Blueberry Flax Lily	3 gal	12"-18"	12"-18"	18" o.c.	Drought Tolerant
PHX	22	Philodendron 'Xanadu' pp7030	Xanadu	7 gal	18"-24"	18"-24"	24" o.c.	Drought Tolerant
ACCENT	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	SPRD	SPACING	REMARKS
ALP	15	Alphila purpurata	Red Ginger	7 gal	36"-48"	36"-48"	36" o.c.	
CYS	3	Cycas revoluta	King Sago Palm	15 gal	36"-48"	30"-36"	As shown	Drought Tolerant
SOD	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	SPRD	SPACING	REMARKS
SOD	--	Zoysia 'Emerald'	Zoysia 'Emerald'				As shown	Drought Tolerant

CITY OF MIAMI BEACH LANDSCAPE ORDINANCE (REQUIRED VS. PROVIDED)

Miami-Dade County Ordinance				
MINIMUM NUMBER OF STREET TREES				
Shall be provided along all roadways at a maximum average spacing of thirty (35') feet on center				
Length of all roadways: 60 feet / 35 feet = 2				
Street Trees Required: 2				
Street Trees Provided: 2 (1 existing tree to remain and be protected during construction (1 Delonix regia + 1 Roystonea regia))				
MINIMUM NUMBER OF TREES				
The minimum number of required trees, in addition to street trees				
Trees Required: 3				
Trees Provided: 7 (4 existing Cocos nucifera palm to remain + 3 new trees)				
Palms of a ten-foot minimum overall height or minimum caliper of three (3) inches at time of planting shall count as a required tree on the basis of two				
(2) palms-per tree, except as provided herein for palms used as street trees				
No more than thirty (30) percent of the minimum tree requirements may be met by palms				
MINIMUM NUMBER OF SHRUBS				
	Number of Shrubs (10) per required tree	30% Natives	50% Low Maintenance & Drought Tolerant	80% Listed in the Miami-Dade Landscape Manual
REQUIRED	30	9	15	24
PROVIDED	79	22	79	79
NOTE: Landscape contractor is responsible for verifying location of all underground utilities and easements prior to commencing work. Landscape Contractor must proceed very carefully with the excavations, the Owner or Landscape Architect shall not be responsible for damage to utility lines				



borges

architects
+ associates

LANDSCAPE PLAN

160 SOUTH HIBISCUS

Miami Beach, FL

D-901

Date 05/15/2017

Scale 1/16" = 1'-0"

GENERAL NOTES

1. Landscape Contractor is responsible for verifying locations of all underground and overhead utilities and easements prior to commencing work. All Utility companies and/or the General Contractor shall be notified to verify utility locations prior to digging. Utility trenching is to be coordinated with the Landscape plans prior to beginning of project. The Owner or Landscape Architect shall not be responsible for damage to utility or irrigation lines.
2. Landscape Contractor shall examine the site and become familiar with conditions affecting the installation prior to submitting bids. Failure to do so shall not be considered cause for future extras or complaints.
3. Landscape Contractor is responsible for verifying all plant quantities prior to bidding and within (7) seven calendar days of receipt of these plans shall notify the Landscape Architect in writing of any and all discrepancies. In case of discrepancies, planting plans shall take precedence over plant list.
4. No substitutions are to be made without prior consent of the Landscape Architect. Plant material supply is the responsibility of the Landscape Contractor, and he/she shall take steps to insure availability at time of planting.
5. All plant material shall meet or exceed the size on the plant list. In all cases meeting the height and the spread specifications shall take precedence over container size.
6. The Landscape Contractor is responsible for coordinating tree and palm removals and transplants shown on the Tree/Palm Disposition Plan. The Landscape Contractor is to remove and discard from site existing unwanted trees, palms, shrubs, groundcovers, sod and weeds within landscape areas.
7. All planted areas to be outfitted with automatic irrigation system providing 100% coverage and 50% overlap. A rain sensor must be part of the irrigation system.
8. Landscape contractor to provide finish grade 3" lower than FFE of all hardscapes, i.e. roads, walks, curbs, pavers, etc., to accommodate 3" layer of mulch.

PLANTING NOTES

1. Landscape Contractor shall furnish and install all trees, palms, shrubs, groundcover, sod, planting soil, fertilizer, herbicide, preemergence herbicide, seed, and mulch.
2. Landscape Contractor shall guarantee all plant material for a period of one year from the day of final acceptance by the Landscape Architect.
3. All plant material shall be Florida #1 or better, as defined in the Grades and Standards for Nursery Plants, Part I and II by the State of Florida Department of Agriculture.
4. Material not meeting Florida #1 or better will not be accepted, Landscape Architect to approve before material is planted.
5. Landscape Contractor shall coordinate his work with that of the Irrigation and Landscape Lighting Contractor.
6. The Landscape Contractor shall treat plant areas with preemergence herbicide after weeds and grass have been removed. Landscape Contractor shall wait (7) seven days after preemergence treatment prior to planting.
7. Planting soil shall be a mix of 30% inland muck and 70% freshwater sand. Planting soil mix/backfill shall be clean and free of construction debris, weeds, rock and noxious pests and disease.
8. All soil mix in plant beds for groundcovers, shrubs, palms and trees shall be as per details. All other areas shall be dressed with a minimum of 1" topsoil.
9. All planting areas and planting pits shall be tested for sufficient percolation prior to final planting and irrigation installation to ensure proper drainage. Plant beds in parking lots and in areas compacted by heavy equipment shall be de-compacted so that drainage is not impeded.
10. All synthetic burlap, string, cords or wire baskets shall be removed before trees are planted. All synthetic tape shall be removed from branches and trunks prior to final acceptance. The top 1/3 of the burlap shall be removed or tucked into the plant pit before the trees are backfilled.
11. Landscape Contractor is responsible for mulching all plant beds and planters with a minimum 3" layer of natural color Eucalyptus or Enviromulch immediately after planting. **In no case shall Cypress or red mulch be used.**
12. All Trees/Palms in sod areas are to receive a 36"/48" diameter mulched saucer at the base of the trunk respectively.
13. Landscape Contractor shall guy and stake all trees and palms as per specifications and details. No nails, screws or wiring shall penetrate the outer surface of trees and palms. All guying and staking shall be removed twelve months after planting.
14. All palm and tree guy wires and bracing are to be flagged for visibility, for their duration. All unattended and unplanted tree pits shall be properly barricaded and flagged during construction.
15. All broken branches and clear trunk branches on street trees are to be pruned according to ANSI A-300 Guidelines for Tree Pruning to min. 5'-0" height clearance to the base of canopy.
16. Landscape Contractor to provide all plants with fertilizer 30 days after installation. Fertilizer shall comply with state fertilizer laws. It shall have a chemical designation as indicated for each type of plant:
Palms: 12-4-12 N-P-K, Slow Release Palm Special with micronutrients.
Shrubs, Groundcover and Trees: 6-6-6 N-P-K, with micronutrients.

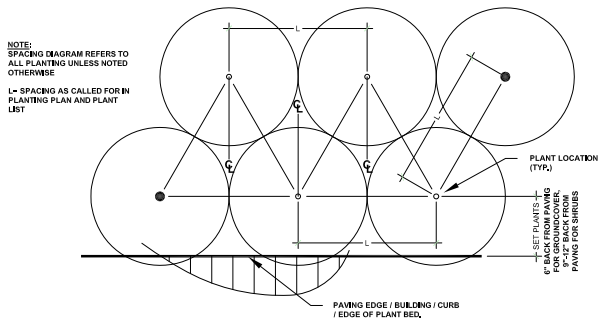
01 GENERAL PLANTING NOTES

SCALE: N.T.S.

1. Before beginning work, the General Contractor and Landscape Contractor is required to meet at the site with the Landscape Architect to review all work procedures, access routes, storage areas, and tree and palm protection measures.
2. The General Contractor is required to coordinate with the Landscape Architect to determine the amount of tree canopy or root zone that the General Contractor will be responsible for pruning. The trimming shall be as per the ANSI A-300 Standards.
3. The General Contractor shall erect fences to protect trees or palms to be preserved as per Tree Protection Detail 05/L-101 and Tree Disposition Plan L-100. Fences define a specific protection zone for each tree or to be protected. Fences are to remain until all site work has been completed. Fences may not be relocated or removed without the written permission of the Landscape Architect.
4. Construction trailers, traffic and storage areas must remain outside fenced areas at all times.
5. All underground utilities and drain or irrigation lines shall be routed outside the tree or palm protection zone. If lines must traverse the protection area, they shall be tunneled or bored under the tree.
6. No construction materials, equipment, spoil, or waste or washout water may be deposited, stored, or parked within the tree or palm protection zone (fenced area).
7. Additional tree pruning required for clearance during construction shall be trimmed as per ANSI A-300 Standards and not by construction personnel.
8. Any herbicides placed under paving materials must be safe for use around trees and labeled for that use. Any pesticides used on site must be tree-safe and not easily transported by water.
9. If injury should occur to any tree during construction, the General Contractor is responsible for notifying the Landscape Architect as soon as possible for evaluation so that appropriate treatments can be applied.
10. The General Contractor shall notify the Landscape Architect of any grading, construction, demolition, or other work that is expected to encounter tree or palm roots.
11. All trees to remain on site shall be irrigated three times a week for the duration of construction. At each irrigation procedure shall apply to the soil area within the tree or palm protection zone 2-3 gallons of water per inch of trunk caliper.
12. Erosion control devices such as silt fencing, debris basins, and water diversion structures shall be installed to prevent siltation and/or erosion within the tree and palm protection zone.
13. Before grading, pad preparation, or excavation for foundations, footings, walls, or trenching near trees the trees shall be root pruned 12 inches outside the tree protection zone by cutting all roots clearly to a depth of 36 inches. Roots shall be cut manually by digging a trench and cutting exposed roots with a saw, vibrating knife, rock saw, narrow trencher with sharp blades, or other approved root-pruning equipment.
14. Any roots damaged during grading or construction shall be exposed to sound tissue and cut cleanly with a saw.
15. If temporary haul or access roads must pass over the root area of trees to be retained, a road bed of 6 inches of mulch or gravel shall be created to protect the soil. The road bed material shall be replenished as necessary to maintain a 6-inch depth.
16. Spoil from trenches, basements, or other excavations shall not be placed within the tree protection zone, either temporarily or permanently.
17. No burn pile or debris pits shall be placed within the tree protection zone. No ashes, debris, or garbage may be dumped or buried within the tree protection zone.
18. Maintain fire-safe areas around fenced areas. Also, no heat sources, flames, ignition sources, or smoking is allowed near mulch or trees.

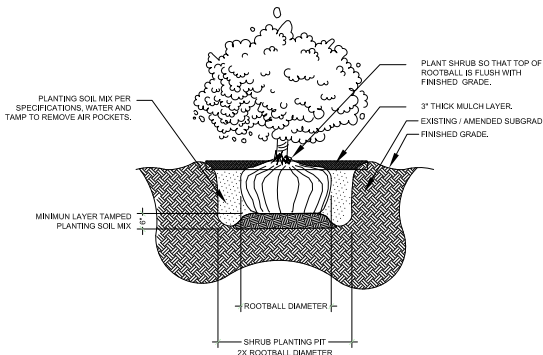
02 TREE & PALM PROTECTION NOTES

SCALE: N.T.S.



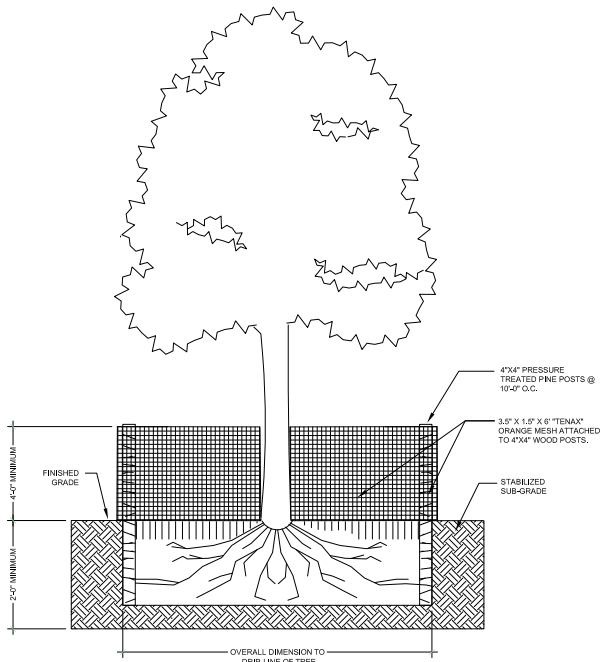
03 SHRUBS PLANTING DETAIL

SCALE: N.T.S.



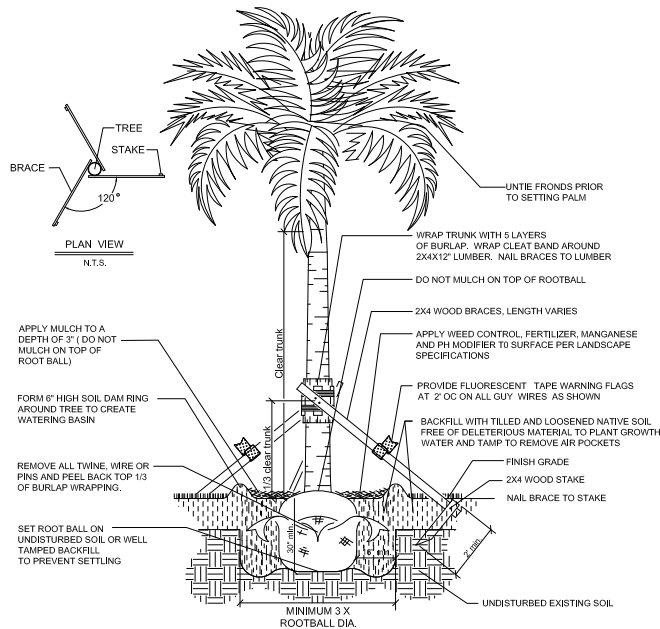
04 SHRUBS PLANTING DETAIL

SCALE: N.T.S.



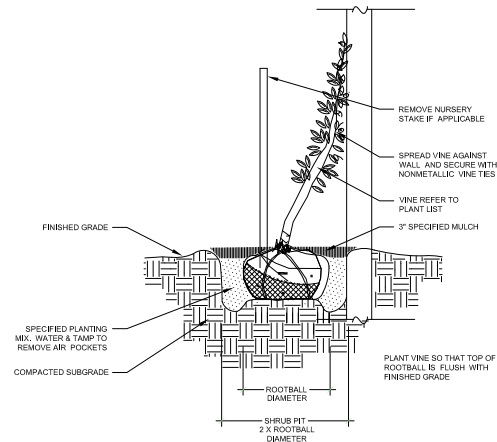
05 TREE & PALM PROTECTION DETAIL

SCALE: N.T.S.



06 PALM PLANTING DETAIL

SCALE: N.T.S.



07 VINE PLANTING DETAIL

SCALE: N.T.S.