



- THE OWNERS ARE PROPOSING A NEW GROUND UP 2-STORY RESIDENCE:
6 BEDROOM
6 FULL BATHROOMS , 2 HALF BATHS, 1 ACCESSORY CABANA BATH
2-CAR GARAGE
FAMILY ROOM
POOL & SPA
- EXISTING RESIDENCE REMOVED IN ITS ENTIRETY UNDER SEPARATE PERMIT.
- WORK PERFORMED SHALL COMPLY WITH THE FLORIDA BUILDING CODE, 5TH EDITION INCLUDING ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS.

3 SCOPE OF WORK
N.T.S.

FOLIO:
02-3203-001-1461

LEGAL DESCRIPTION

THE WEST PORTION OF LOT 33, BLK 7, OF BISCAYNE POINT ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 14, PAGE 35 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

CURRENT OCCUPANCY: - NOT AFFECTED BY SCOPE OF WORK
R-3 - SINGLE FAMILY RESIDENCE

ZONING DESIGNATION:
RS-3

BASE FLOOD ELEVATION:
8.00' NGVD

DESIGN FLOOD ELEVATION:
8.00' NGVD + 1.00' FREEBOARD = 9.00 FEET NGVD (6.45' NAVD + 1.00' FREE BOARD = 7.45' NAVD

PROPOSED FIN. FLOOR:
9.00 FEET NGVD (7.45' NAVD)

<u>GRADE:</u>	
ESTABLISHED GRADE (SIDEWALK ELEVATION AT MIDPOINT):	5.84 FEET NGVD (4.29' NAVD - SEE SURVEY)
ADJUSTED GRADE (EST. GRADE + BFE) / 2:	6.92 FEET NGVD (5.37' NAVD)

EXISTING LOT AREA - NOT AFFECTED BY SCOPE OF WORK:
EXISTING...14,127 S.F. (0.32 ACRES)

LOT COVERAGE:
 ALLOWED.....3,532 S.F. (25.0% OF TOTAL SITE)
 PROVIDED.....3,477 S.F. (24.61% OF TOTAL SITE)
 (INCLUDES ACESORY STRUCTURE, COVERED ENTRY; EXCLUDES 1 STORY PORTION OF GARAGE AND 283 SF OF PERGOLA)

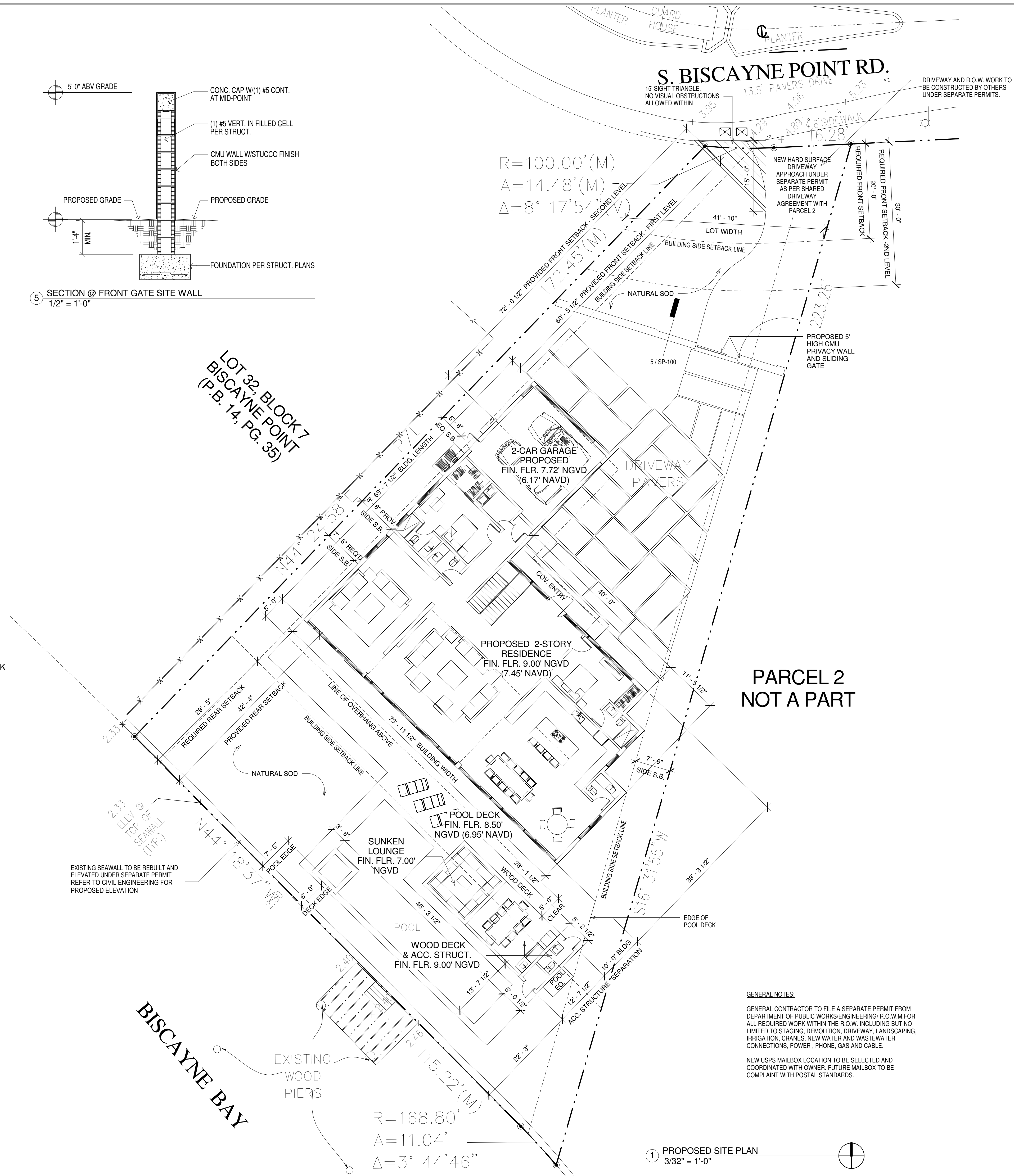
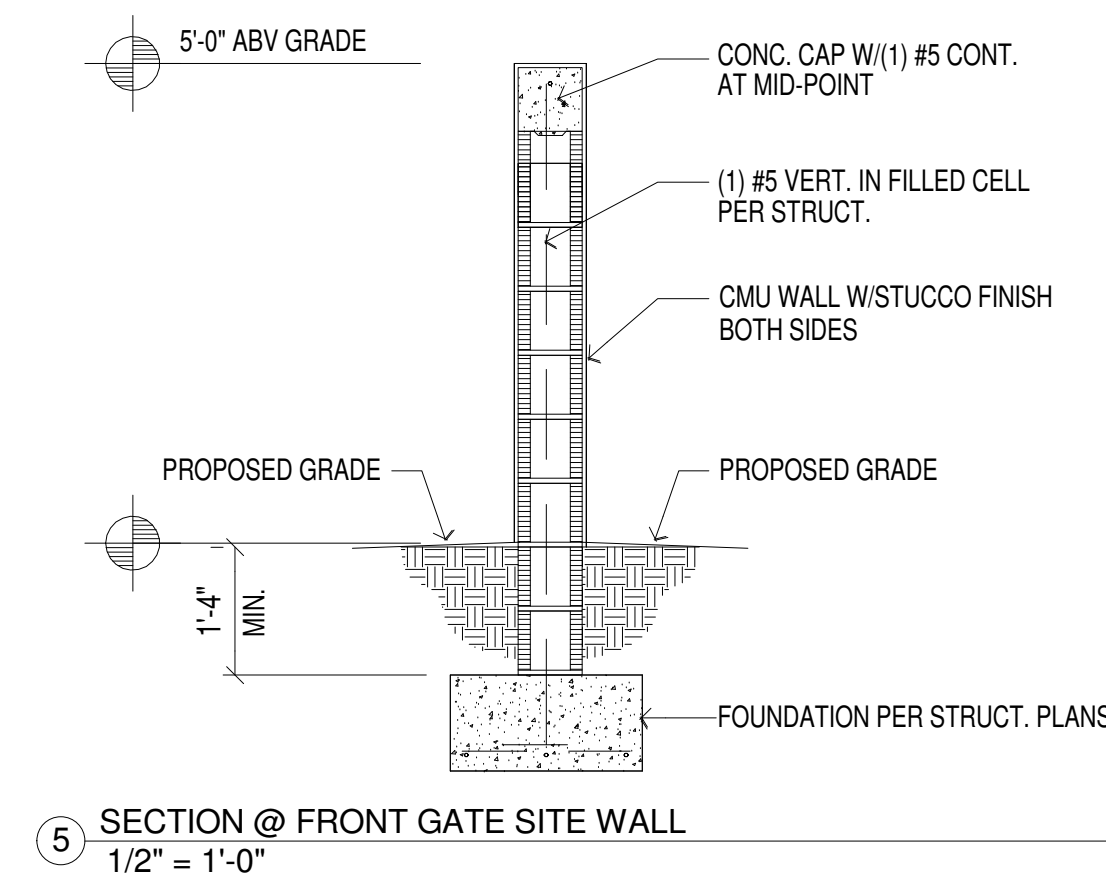
FIRST FLOOR TO SECOND FLOOR RATIO:
N/A FOR 2 STORY RESIDENCES THAT PROVIDE LESS THAN 25% LOT COVERAGE

<u>UNIT SIZE:</u>	
ALLOWED.....	5,651.00 S.F. (40.0% OF TOTAL SITE)
PROVIDED UNIT SIZE.....	5,649.70 S.F. (39.9% OF TOTAL SITE)
(INCLUDES ACCESSORY STRUCTURE; EXCLUDES GARAGE, COVERED TERRACES WITH LESS THAN 10' PROJECTIONS)	

No. OF STORIES
2 - STORY

BUILDING HEIGHT:
ALLOWED..... 24'-0" TO TOP OF STRUCTURAL SLAB
PROVIDED..... 24'-0" TO TOP OF STRUCTURAL SLAB

2 SITE INFORMATION
N.T.S.



GENERAL NOTES:

GENERAL CONTRACTOR TO FILE A SEPARATE PERMIT FROM DEPARTMENT OF PUBLIC WORKS/ENGINEERING/ R.O.W.M.FOR ALL REQUIRED WORK WITHIN THE R.O.W. INCLUDING BUT NOT LIMITED TO STAGING, DEMOLITION, DRIVEWAY, LANDSCAPING, IRRIGATION, CRANES, NEW WATER AND WASTEWATER CONNECTIONS, POWER, PHONE, GAS AND CABLE.

NEW USPS MAILBOX LOCATION TO BE SELECTED AND COORDINATED WITH OWNER. FUTURE MAILBOX TO BE IN COMPLIANCE WITH POSTAL STANDARDS.

r-method
r-method, inc. # AA26002053

residential + retail
architecture

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Architect Seal
NOT VALID UNLESS IT BEARS AN
ORIGINAL SIGNATURE AND A
RAISED
EMBOSSED SEAL

Submittal / Revision No.	date
DRB FIRST SUBMITTAL	04 / 18 / 17
DRB FINAL SUBMITTAL	05 / 15 / 17

DRB FINAL SUBMITTAL 05/15/17
PROPOSED DESIGN FOR A NEW SINGLE
FAMILY RESIDENCE
11134 S. BISCAYNE POINT RD.
PARCEL 1
MIAMI BEACH, FL. 33141

Project Number	15-0801
Date	05/01/17
Drawing Name	

Proposed Site Plan

Sheet Number

SP 100

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEM #	Zoning Information			
1	Address:	1134 S Biscayne Point Road, Parcel 1, Miami Beach		
2	Folio number(s):	02-3203-001-1461		
3	Board and file numbers :			
4	Year built:	PROPOSED NEW	Zoning District:	RS-3
5	Base Flood Elevation:	AE 8.00+1.00=9.00' NGVD	Grade value in NGVD:	8.00' NGVD
6	Adjusted grade (Flood+Grade/2):	6.92' NGVD	Free board:	1.00' NGVD
7	Lot Area:	14,127 sf		
8	Lot width:	41'-10"	Lot Depth:	196'
9	Max Lot Coverage SF and %:	3,532 SF (25%)	Proposed Lot Coverage SF and %:	3,477 sf (24.6%)
10	Existing Lot Coverage SF and %:	N/A	Lot coverage deducted (garage-storage) SF:	276.6 sf
11	Front Yard Open Space SF and %:	414 sf (56.7%)	Rear Yard Open Space SF and %:	2,519.5 sf (72.5%)
12	Max Unit Size SF and %:	5,651 SF (40%)	Proposed Unit Size SF and %:	5,649 (39.9%)
13	Existing First Floor Unit Size:	N/A	Proposed First Floor Unit Size:	3,033 sf
14	Existing Second Floor Unit Size	N/A	Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home require DRB Approval)	N/A
15			Proposed Second Floor Unit Size SF and % :	2,616 sf
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	N/A

		Required	Existing	Proposed	Deficiencies
17	Height:	24'-0" (TWO-STORY)	N/A	24'	
18	Setbacks:				
19	Front First level:	20'-0"	N/A	60'-5.5"	
20	Front Second level:	30'-0"	N/A	72'-0.5"	
21	Side 1:	7'-6"	N/A	7'-6"	
22	Side 2 or (facing street):	7'-6"	N/A	8'-6"	
23	Rear:	29'5"	N/A	42'-4"	
	Accessory Structure Side 1:	7'-6"	N/A	7'-6"	
24	Accessory Structure Side 2 or (facing street) :	7'-6"	N/A	93'-2"	
25	Accessory Structure Rear:	14'-9"	N/A	22'-2"	
26	Sum of Side yard :	10'-9"	N/A	16'-0" (38% of lot width)	

27	Located within a Local Historic District?	NO
28	Designated as an individual Historic Single Family Residence Site?	NO
29	Determined to be Architecturally Significant?	NO