

# THE AUDIO BUG, INC.

3800 HILLCREST DRIVE, # 102 • HOLLYWOOD, FL 33021-7937 • PHONE: 954-983-2788 • FAX: 954-983-2789 • [audiobug1@aol.com](mailto:audiobug1@aol.com)

---

July 25, 2016

Michael Belush, AICP  
Planning & Zoning Manager  
Planning Department  
1700 Convention Center Drive  
Miami Beach, FL 33139  
Phone: 305-673-7000, ext. 6258  
Fax: 305-673-7559  
[MichaelBelush@miamibeachfl.gov](mailto:MichaelBelush@miamibeachfl.gov)

Reference: File No. 1959 - Neighborhood Impact - Sound Study  
Soho Beach Hotel  
4385 Collins Avenue  
Miami Beach, Florida 33140

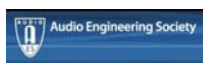
Dear Mr. Belush,

In this report, I am providing details on my inspection of the sound system at Soho Beach Hotel. This inspection was intended to determine whether any changes have been made to the system that might concern its performance or manner in which it could affect neighboring properties. A copy of the original sound system layout and number of speakers is attached for review.

Specifically, I've addressed the modifications which relate to the expansion of Mandolin restaurant in the rear yard. Soho Beach proposes an increase in seating at Mandolin in the rear yard from 28 to 72 seats. All other venues are remaining the same as originally approved.

On Monday, July 18, I conducted a site survey at the Soho Beach Hotel to assess the sound systems on all floors. I was accompanied by Rene Pereda, the hotel's AV/IT Manager. The only differences between the original design documents and the current loudspeaker inventory were found in the Mandolin restaurant. Mr. Pereda and I first visited the Mandolin restaurant and assessed the system located there. The loudspeakers originally intended in the Tiki Bar apparently failed due to weather exposure so they were removed sometime back. Six Bose FreeSpace 360 II in-ground loudspeakers have been installed to replace these with three located on either side of the dining area. In addition, two small QSC loudspeaker are mounted on the bar framework facing north into the restaurant. All of these loudspeakers are attached to the same password controlled main system electronics as all other areas. The system was playing at a very low background sound level and it could not be heard beyond the space's perimeter. There is no reason to expect that this will present any additional impact on neighboring properties.

The remaining outdoor spaces were then visited, including A) the 2<sup>nd</sup> floor Club Bar restaurant which overlooks the pool deck and B) the 8<sup>th</sup> floor bar and pool deck. All of the existing loudspeakers in these two areas are those shown on the design document with the exception of some seen in the Club Bar. Apparently the original loudspeakers in that area deteriorated some time back and were replaced with small column type devices that are shown on page three. These newer loudspeakers have also deteriorated to the point where they no longer work. Mr. Pereda indicated that



# THE AUDIO BUG, INC.

3800 HILLCREST DRIVE, # 102 • HOLLYWOOD, FL 33021-7937 • PHONE: 954-983-2788 • FAX: 954-983-2789 • [audiobug1@aol.com](mailto:audiobug1@aol.com)

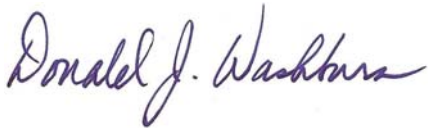
---

they were scheduled to be replaced but he was not certain as to when that will occur.

We also inspected the electronic components which control and power the various systems and found they are also still configured as per the original specification. Sound levels are controlled and password protected as before. Based on my recent observations, I do not expect that there will be any change in sound level performance at this property. Therefore, we can presume that no violations of noise impact on neighboring properties will occur.

I welcome questions from interested parties and would be happy to meet with you or one of your staff to review site conditions.

Respectfully submitted,



Donald J. Washburn  
President



## Soho Beach Hotel Site Photographs



Small line array loudspeakers located in Club Bar 2<sup>nd</sup> floor terrace



Small line array loudspeakers located in Club Bar 2<sup>nd</sup> floor terrace



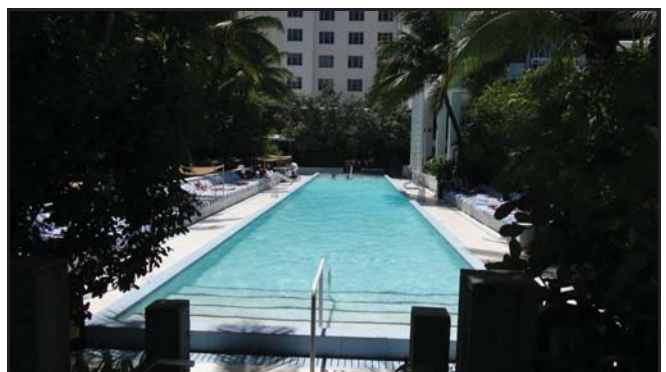
System Electronics and Controls



System Electronics and Controls



Club Bar



View of Pool Deck from Mandolin restaurant



## Soho Beach Hotel Site Photographs



Rooftop Pool Deck



Rooftop Pool Deck



Original loudspeakers installed at Tiki Bar



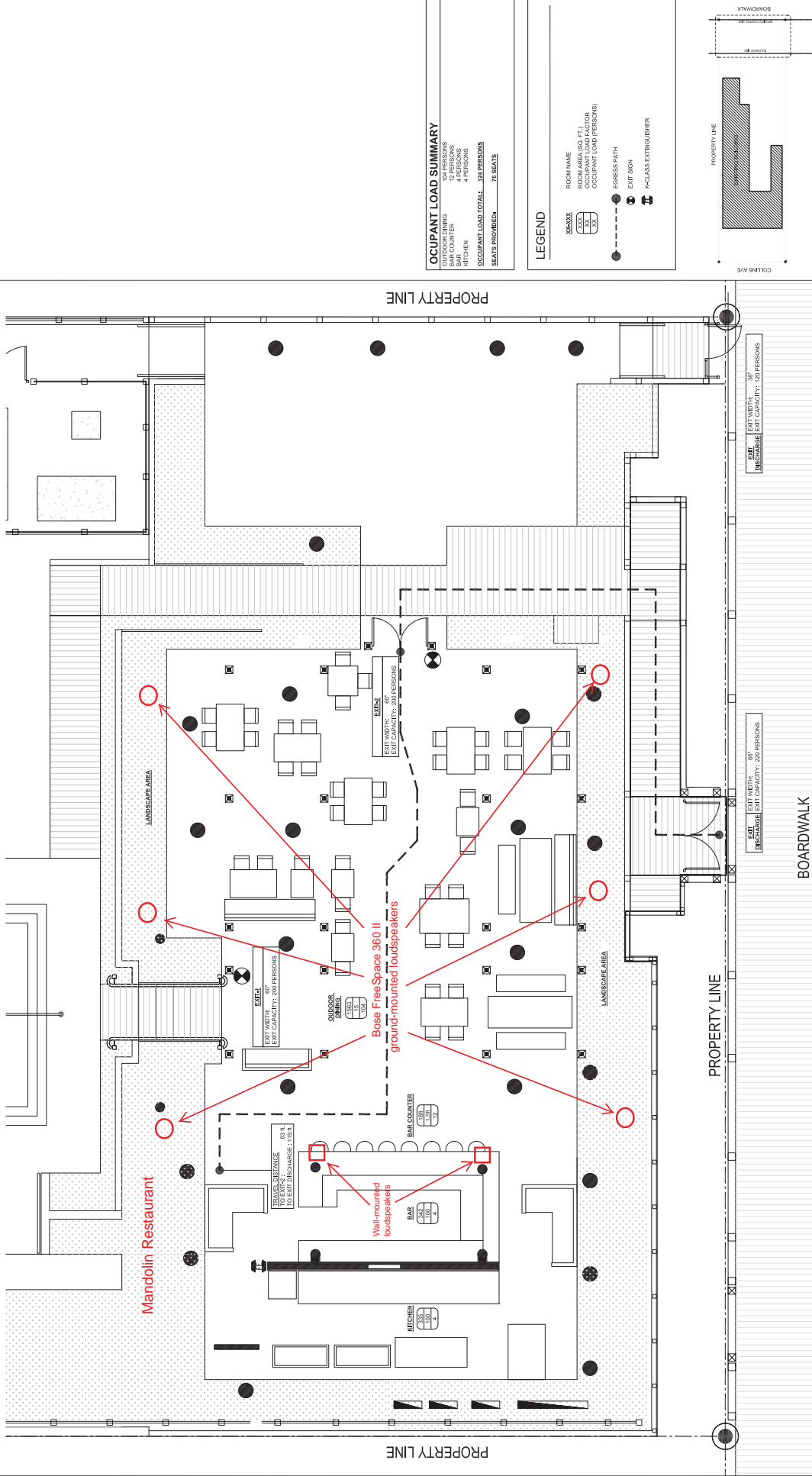
Original loudspeakers installed at Tiki Bar



Bose FreeSpace 360 II in-ground loudspeakers newly installed



Bose FreeSpace 360 II in-ground loudspeakers newly installed



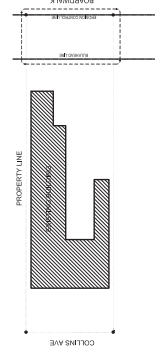
SOHO BEACH HOUSE MANDOLIN  
SCALE 1/4" = 1'-0"



OCCUPANT LOAD SUMMARY	
OUTDOOR DINING	104 PERSONS
BAR COUNTER	4 PERSONS
KITCHEN	4 PERSONS
OCCUPANT LOAD TOTAL	114 PERSONS
SEATING PROVIDED	75 SEATS

LEGEND

- ROOM NAME
- ROOM AREA (SQ. FT.)
- SEATING PROVIDED
- OCCUPANT LOAD (PERSONS)
- EGRESS PATH
- EXIT SIGN
- GLASS EXTINGUISHER



# THE AUDIO BUG, INC.

3800 HILLCREST DRIVE, # 102 • HOLLYWOOD, FL 33021 • PHONE: 954-983-2788 • FAX: 954-983-2789 • [audiobug1@aol.com](mailto:audiobug1@aol.com)

---

October 13, 2010

Richard G. Lorber  
Acting Planning Director  
1700 Convention Center Drive  
Miami Beach, FL 33139

Reference: Soho Beach House Sound System Final Inspection Report

Dear Mr. Lorber,

On September 27, 2010, I conducted a final inspection of the sound system at Soho Beach House to confirm its compliance with previously submitted specifications and the City of Miami Beach's Noise Ordinance.

Areas included in my inspection included the ground-level Courtyard, Pool Deck and Tiki Bar, the second floor Terrace Lounge and the eighth floor Pool Deck and Bar. Sound levels along the ground floor property line were limited to about 65 dBA, making them essentially inaudible at the Sheraton Four Points, the only property with potential exposure to sound from the Soho Beach House at ground level. Throughout the Courtyard, Pool Deck and upper Terrace Lounge, sound levels averaged 70 to 75 dBA, consistent with preventing music from being heard off-property.

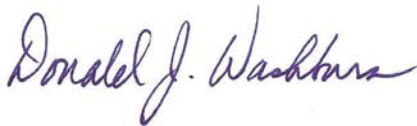
Sound levels on the Rooftop were below measurability due to windy conditions. Suffice it to say that the music levels were very low and will not intrude on the neighboring properties to the north and south of Soho Beach House.

Based on my inspection of the system, it is my professional opinion that the Soho Beach House's sound system fully complies with the performance criteria originally set forth in the design documents. The loudspeaker layout, spacing and orientation are consistent with my original recommendations and all electronic components are adjusted to ensure that predetermined sound level limits cannot be exceeded.

In summary, the system complies with the City of Miami Beach's Noise Ordinance and will perform at intended sound levels.

I welcome any questions you may have concerning the system and my inspection.

Respectfully submitted,



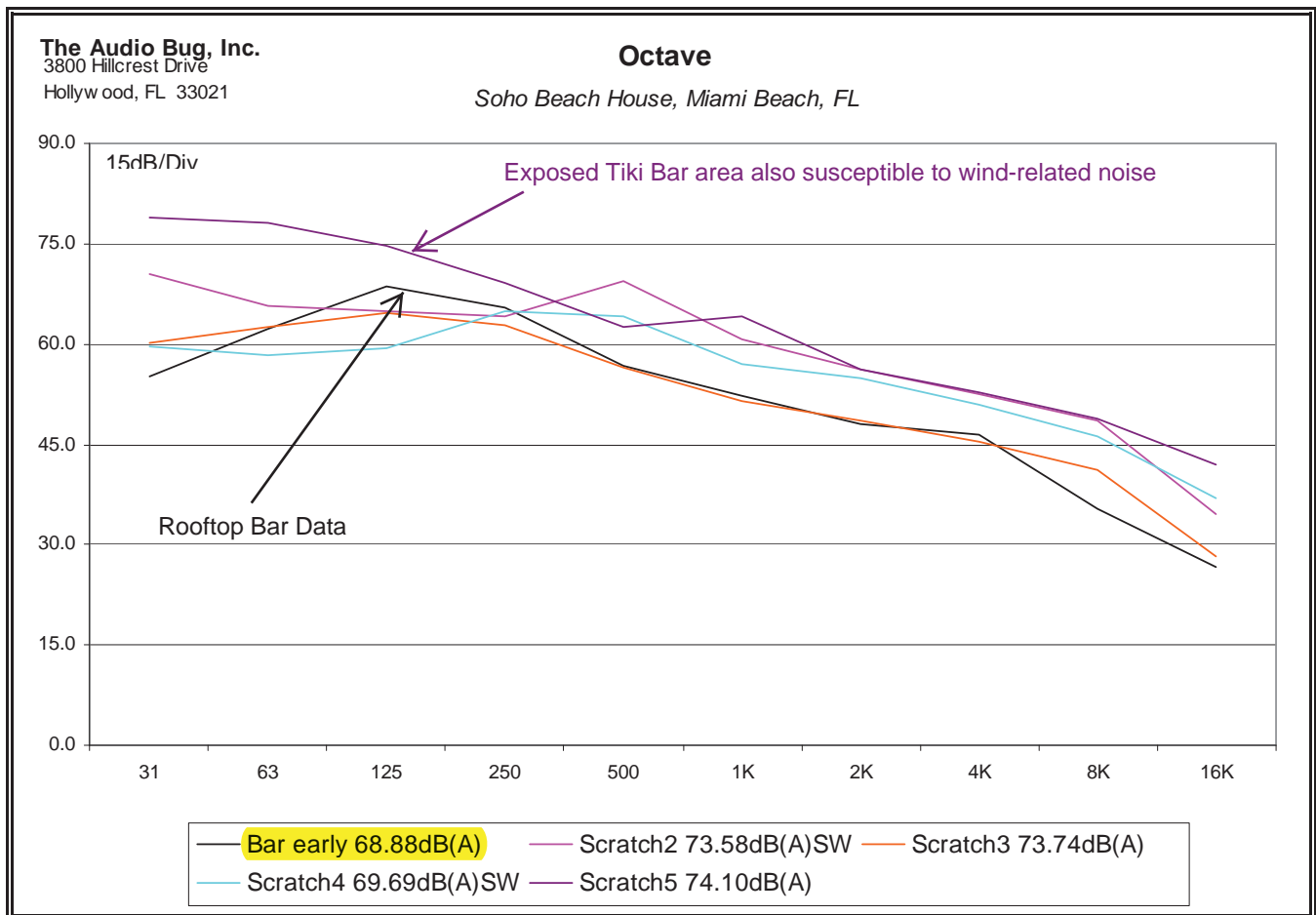
Donald J. Washburn  
President



## Soho Beach House Sound System Final Inspection Report

Measurements gathered during September 27, 2010 Survey

NOTE: Curve labeled "Bar early" where wind noise skewed data, masking music





# FreeSpace® Model 360P-II In-Ground Loudspeaker



## The sound you'll notice. The speaker you won't.

The FreeSpace Model 360P-II loudspeaker reproduces music with the presence and depth you would expect only indoors. And it delivers pages that can be easily understood – even in busy outdoor environments. All while disappearing into nearly any outdoor setting.

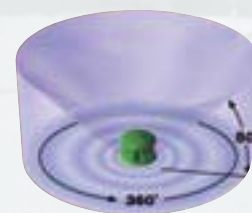
## Put sound where the listeners are.

The durable 360P-II loudspeaker is designed to work in locations where many conventional speakers cannot – shrubbery, gardens, pool areas. It is a proven solution for outdoor locations such as restaurants, amusement parks, open-air retail environments, and resort and hospitality venues. It can also be used indoors in large open spaces like atriums, foyers, and malls.

## More sound coverage with fewer loudspeakers.

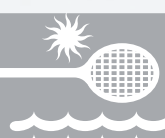
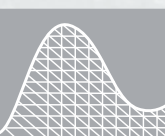
Using an innovative design, the 360P-II loudspeaker provides 360° coverage, so fewer loudspeakers

are needed than with many conventional ground-mounted loudspeakers. Sound is dispersed evenly both horizontally and vertically allowing listeners to hear consistent sound either sitting or standing.



## The sound you want. The durability you need.

A heavy-duty enclosure and an advanced composite driver make the FreeSpace 360P-II loudspeaker exceptionally rugged and reliable. It is built to withstand sand, snow, rain, salt and temperature extremes of 158°F (70°C) to -40°F (-40°C). And it survives the Salt Fog test 66% longer than the demanding Marine Industry Standard. It is also backed by a 5-year transferable warranty.





# FreeSpace® Model 360P-II In-Ground Loudspeaker

## Specifications

### FreeSpace® Model 360P-II Loudspeaker

**Versions:** 70/100V transformer

**Taps available:** 10W, 20W, 40W, 80W

**Frequency response:** 70Hz to 16kHz  $\pm 3$ dB

**Maximum output:** 101dB SPL @ 1m

**Dispersion:** 360° horizontal, 50° vertical

**Color:** Green



- 1** **Downward-firing Bose® environmental 4.5" full-range driver** withstands weather extremes all year round.
- 2** **Domed port grille** reflects sound into the listening area for clear, consistent performance.
- 3** **Centrally located port** enhances low-frequency reproduction.
- 4** **Base flange** with 3 mounting holes provides stability and security when surface mounted or set in ground.

**For more information  
call 877.428.2673**

or contact  
Bose Corporation  
Professional Systems  
The Mountain  
Framingham, MA 01701

[www.bose.com/pro](http://www.bose.com/pro)

Product specifications subject to change without notice.

**BOSE®**  
Better sound through research®



**SOHO BEACH HOUSE**  
4385 COLLING AVENUE  
MIAMI BEACH, FL 33140

**MARCUS BARWELL**  
SOHO HOUSE NEW YORK 29-35 9TH AVE.  
NEW YORK NY 10014  
TEL (310) 279 6781 FAX (212) 627 2386  
MARCUS@SOHOHOUSENY.COM  
WWW.SOHOHOUSE.COM

**CONTACT:**  
**Allan T. Shulman Architects**  
100 Ne 38th Street, No.2  
Miami, FL 33137

[illegible]

SCALE:  $3/16"=1'-0"$

**DRAWN BY:** GS

**DESCRIPTION :**

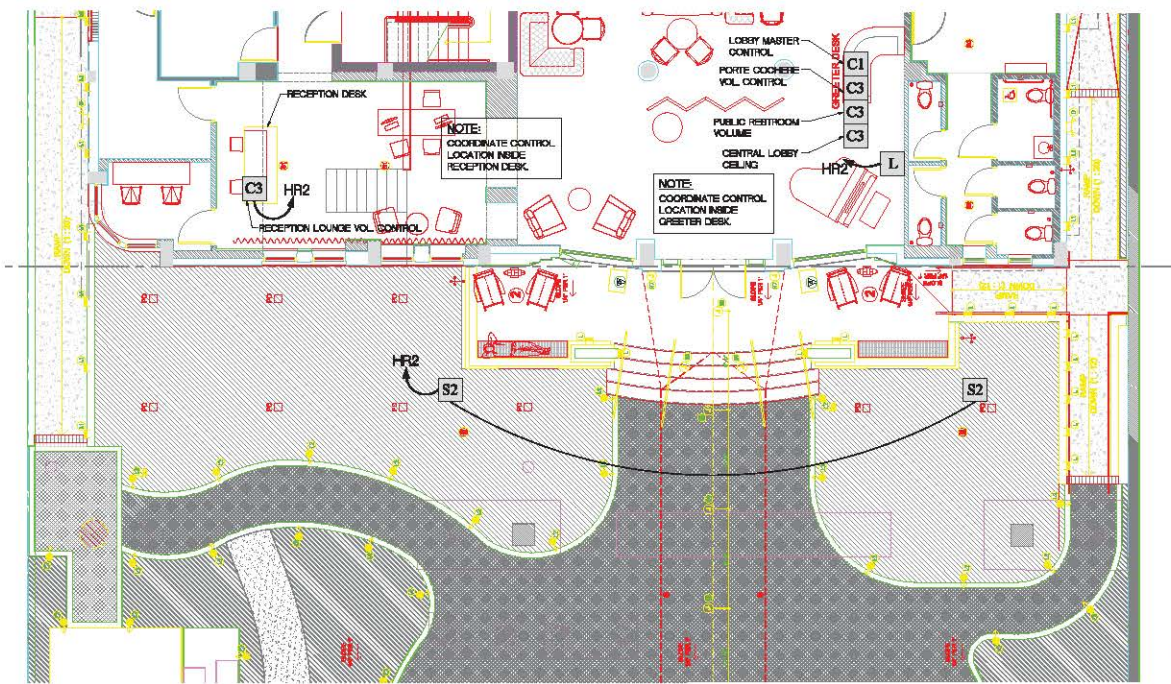
**PROPOSED TERRACE PLAN**

LOCATION :  
ENTRANCE AREA

DATE: 3/1/10

DRAWING NO.:

LTA-AV-1



### PROPOSED TERRACE PLAN

SCALE: 3/16"=1'-0"

### LEGEND

- [illegible]









Ownership of this design and drawing is the property of LONDON TUNWAL ASSOCIATION.

The drawing is based on the condition that respondents in this survey are not to be used for any other purpose without the written consent of LONDON TUNWAL ASSOCIATION.

LONDON TUNWAL ASSOCIATION is a not-for-profit organization and is not intended to provide opportunities or products for sale. These are the property of the individual respondents. The respondents are not to be used for any other purpose without the written consent of LONDON TUNWAL ASSOCIATION.

Agreement between respondents and the London Tunwal Association shall be verified on site.

PROJECT:

**SOHO BEACH HOUSE**

4305 COLLING AVENUE  
MIAMI BEACH, FL 33140

**CLIENT:**  
**MARCUS BARWELL**  
SOHO HOUSE NEW YORK 29-35 9TH AVE,  
NEW YORK, NY 10014  
TEL (210) 279 6781 FAX (212) 627 2366  
MARCUS@SOHOHOUSE.COM  
WWW.SOHOHOUSE.COM

**ARCHITECT:**  
**Allan T. Shulman Architects**  
100 N. 38th Street, No. 2  
Miami, FL 33137

**ENVIRONMENTAL**

1. Name of the person	2. Address
-----------------------	------------

4 REV. 4/21/10 COMMENTS

SCALE: 1/8"=1'-0"

DESIGNED BY:

**DESCRIPTION:**

## FIRST FLOOR PLAN

LOCATION :

DATE: 3/1/10

DRAWING NO.:

LTA-AV-2.1



**FIRST FLOOR AUDIO PLAN**  
SCALE: 1/8"=1'-0"

SEE SHEET LTA-AV-2 FOR WESTERN AREA CONTINUATION

- [illegible]

## LEGEND

[illegible]

[illegible]

**SOHO BEACH HOUSE**  
4385 COLLING AVENUE  
MIAMI BEACH, FL 33140

**MARCUS BARWELL**  
**SOHO HOUSE NEW YORK 29-35 9TH AVE.**  
**NEW YORK NY 10014**  
**TEL (310) 279 6781 FAX (212) 627 2386**  
**MARCUS@SOHOHOUSENY.COM**  
**WWW.SOHOHOUSE.COM**

**CONTACT:**  
**Allan T. Shulman Architects**  
100 Ne 38th Street, No.2  
Miami, FL 33137

REVISIONS:	
NO.	DESCRIPTION
	<b>REV. 3 1/22/10 COMMENTS</b>

1/8"=1'-0"

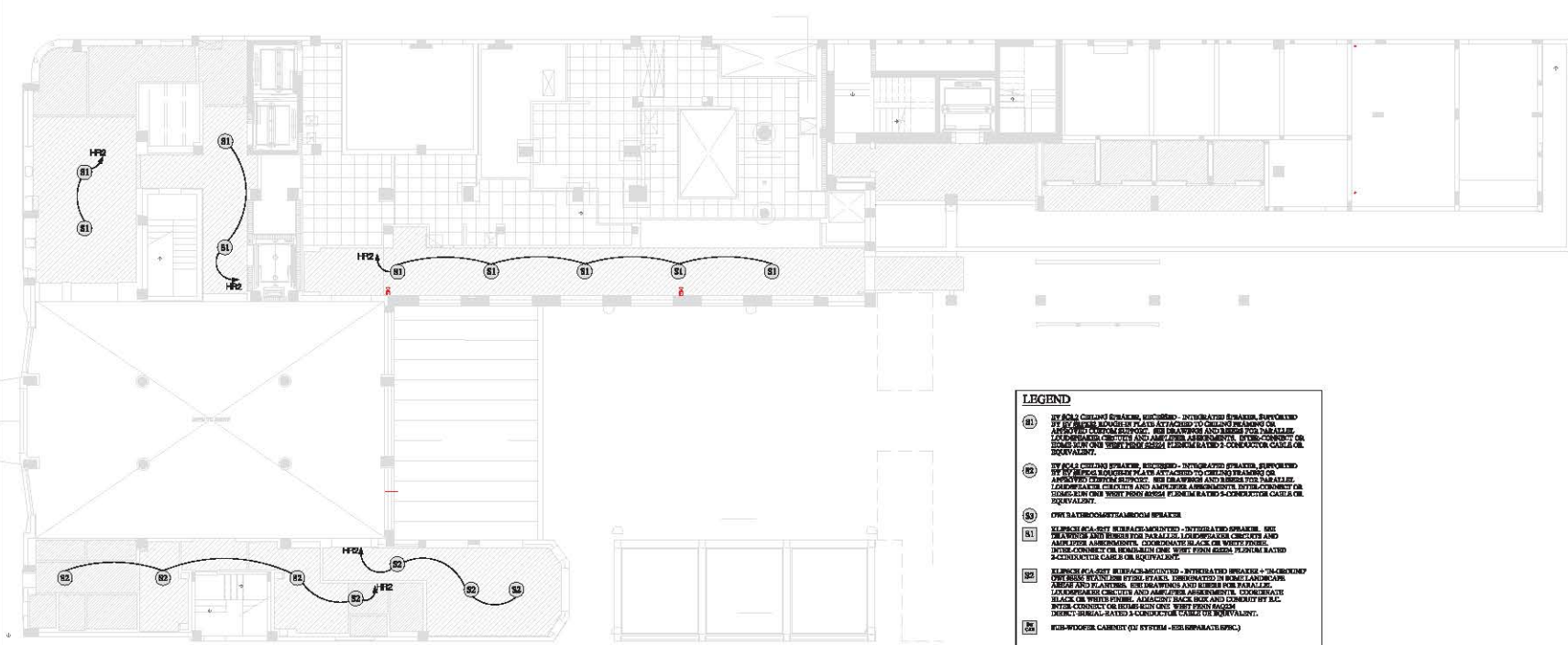
AWN BY: GS

**FIRST FLOOR RCP**

**FIRST FLOOR**

3/1/10

AWING NO.:  
LTA-AV-3



### 1ST FLOOR REFLECTED CEILING PLAN



### LEGEND

- [illegible]



Complete 40-Hour design and training is the primary of LONDON TOWN & COUNTRY.

The demand is based on the fact that the majority of the population in the United Kingdom is now in the 40-Hour design and training of LONDON TOWN & COUNTRY.

LONDON TOWN & COUNTRY is a company that is the leading in the industry in providing a complete 40-Hour design and training of LONDON TOWN & COUNTRY.

The company is the leading in the industry in providing a complete 40-Hour design and training of LONDON TOWN & COUNTRY.

Agreement between the company and the company is the leading in the industry in providing a complete 40-Hour design and training of LONDON TOWN & COUNTRY.

All dimensions to be verified on site.

**PROJECT:**  
**SOHO BEACH HOUSE**  
4305 COLLINS AVENUE  
MIAMI BEACH, FL 33140

**CLIENT:**  
**MARCUS BARWELL**  
SOHO HOUSE NEW YORK 20-35 9TH AVE.  
NEW YORK NY 10014  
TEL (210) 279 6781 FAX (212) 627 2386  
MARCUS@SOHOHOUSENY.COM  
WWW.SOHOHOUSE.COM

**ARCHITECT:**  
**Allan T. Shulman Architects**  
100 NE 36th Street, No.2  
Miami, FL 33137

REV	DESCRIPTION	DATE
5	REV. 5 3/1/10 COMMENTS	

SCALE:  $1/8"=1'-0"$

DRAWN BY:  CJS**DESCRIPTION:**

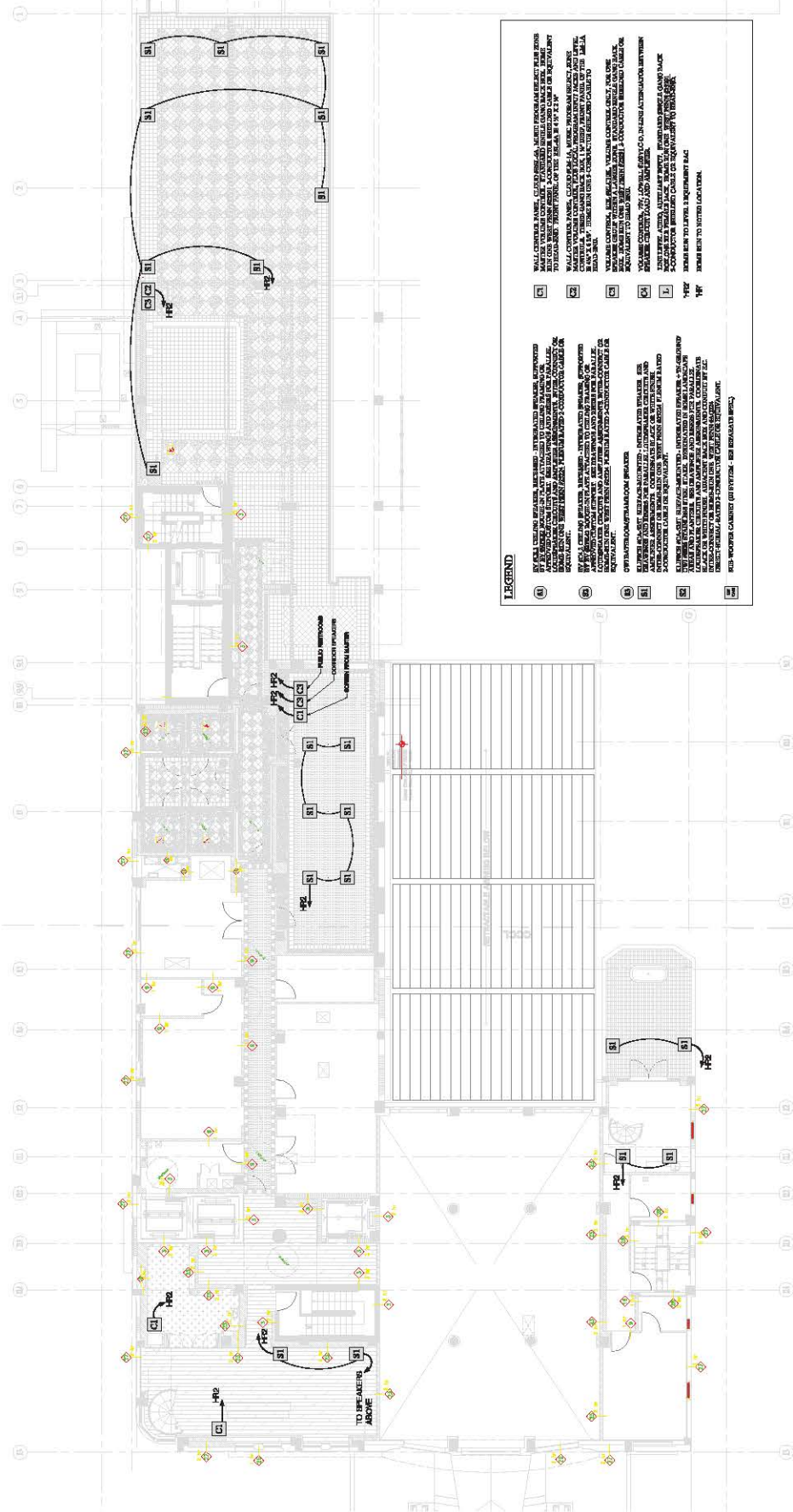
### 2nd FLOOR PLAN

LOCATION :

DATE: 3/1/10

**DRAWING NO.:**

LTA-AV-4



**SECOND FLOOR PLAN**  
SCALE: 1/8"=1'-0"



[illegible]

## SOHO BEACH HOUSE

4385 COLLINS AVENUE  
MIAMI BEACH, FL 33140

**MARCUS BARWELL**  
SOHO HOUSE NEW YORK 29-35 9TH AVE.  
NEW YORK NY 10014  
TEL (310) 279 6781 FAX (212) 627 2386  
MARCUS@SOHOHOUSENY.COM  
WWW.SOHOHOUSE.COM

**CONTACT:**  
**Allan T. Shulman Architects**  
100 Ne 36th Street, No.2  
Miami, FL 33137

**VISIONS :**

ID	DESCRIPTION
----	-------------

REV. 5 3/1/10 COMMENTS

ALB: 1/8"=1'-0"

AWN BY: GS

DESCRIPTION:

## 2nd FLOOR RCP

**CAUTION:**

## SECOND FLOOR

**18:** 3/1/10

DRAWING NO.:

LTA-AV-5



SCALE: 1/8"=1'-0"



### LEGEND

- [illegible]



**London Town Associates Inc.**  
2555 Collins Avenue, Suite C-9  
Miami Beach, Florida, 33140 U.S.A.  
Phone: (305) 674-1158  
Fax: (305) 674-1158  
Email: info@london-town.com

**DESIGN:** LTA  
**DATE:** 10/10/2019  
**PROJECT:** SOHO BEACH HOUSE  
**LOCATION:** 4386 COLLINS AVENUE  
MIAMI BEACH, FL 33140

**PROJECT:**  
**SOHO BEACH HOUSE**  
4386 COLLINS AVENUE  
MIAMI BEACH, FL 33140

**CLIENT:**  
**MARCUS BARWELL**  
8080 HOUSE NEW YORK 20-85 5TH AVE.  
NEW YORK NY 10014  
TEL: (212) 691-1000  
WWW.MARCUSBARWELL.COM

**ARCHITECT:**  
**Alma T. Shulman Architects**  
100 N 36th Street, No. 2  
Miami, FL 33137

**KEYWORDS:**  
**DATE:** 10/10/2019  
**REV. 3 1/22/19 COMMENTS**

**SCALE:** 1/8"=1'-0"

**THRU BY:** CS

**DESCRIPTION:**

**3rd FLOOR PLAN**

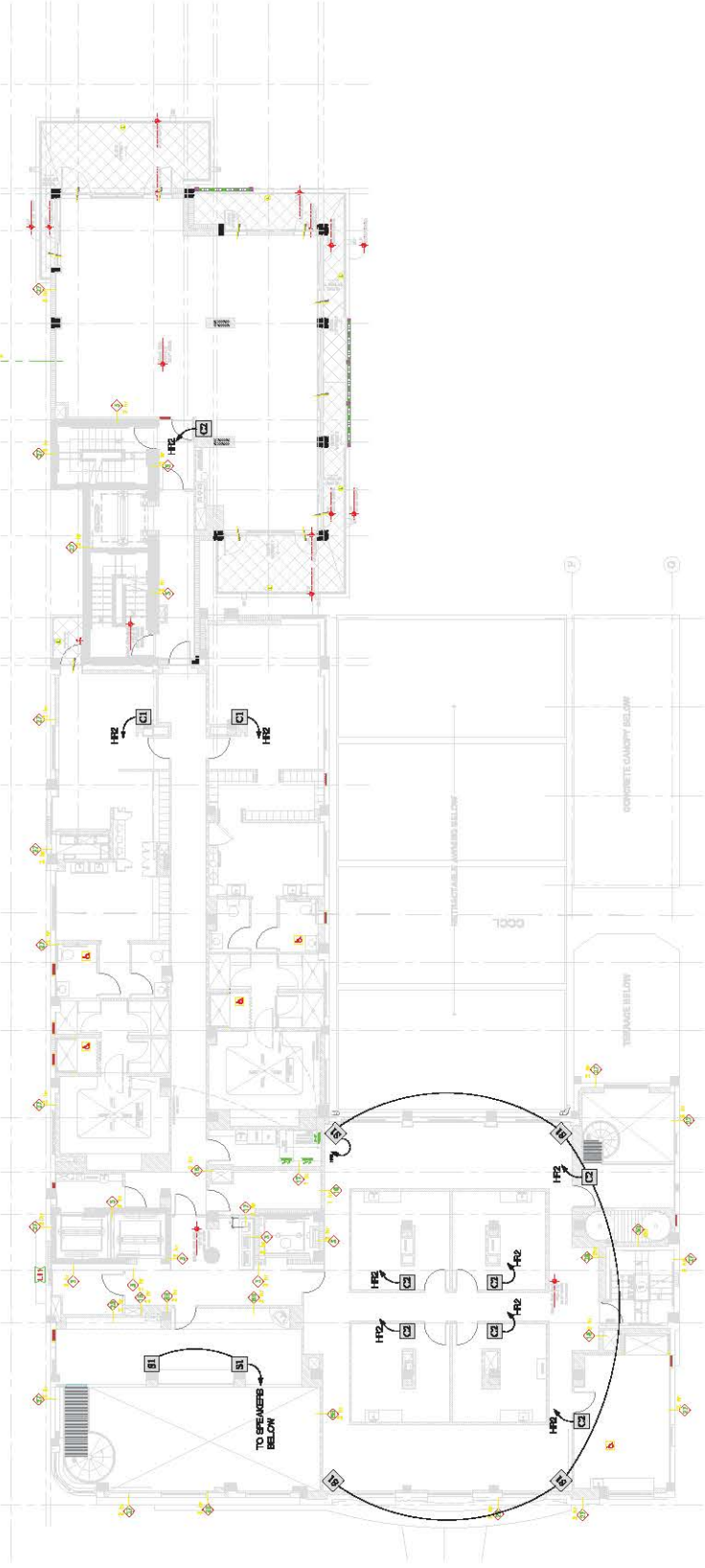
**LOCATION:**

**THIRD FLOOR**

**DATE:** 3/1/10

**DRAWING NO.:**

**LTA-AV-6**



[illegible]

All dimensions to be verified on site.

**SUBJECT:**

## SOHO BEACH HOUSE

4385 COLLINS AVENUE  
MIAMI BEACH, FL 33140

IENT:

**MARCUS BARWELL**  
OHO HOUSE NEW YORK 29-35 9TH AVE.  
NEW YORK, NY 10014  
TEL (310) 279 6781 FAX (212) 627 2386  
MARCUS@SOHOHOUSE.COM  
WWW.SOHOHOUSE.COM

**SUBJECT:**

**Allen T. Shulman Architects**  
100 Ne 38th Street, No.2  
Miami, FL 33137

**VISIONS :**

REV. 3 1/2/10 COMMENTS
------------------------

1/8"=1'-0"

AWN BY: GS

DESCRIPTION:

### 3rd FLOOR RCP PLAN

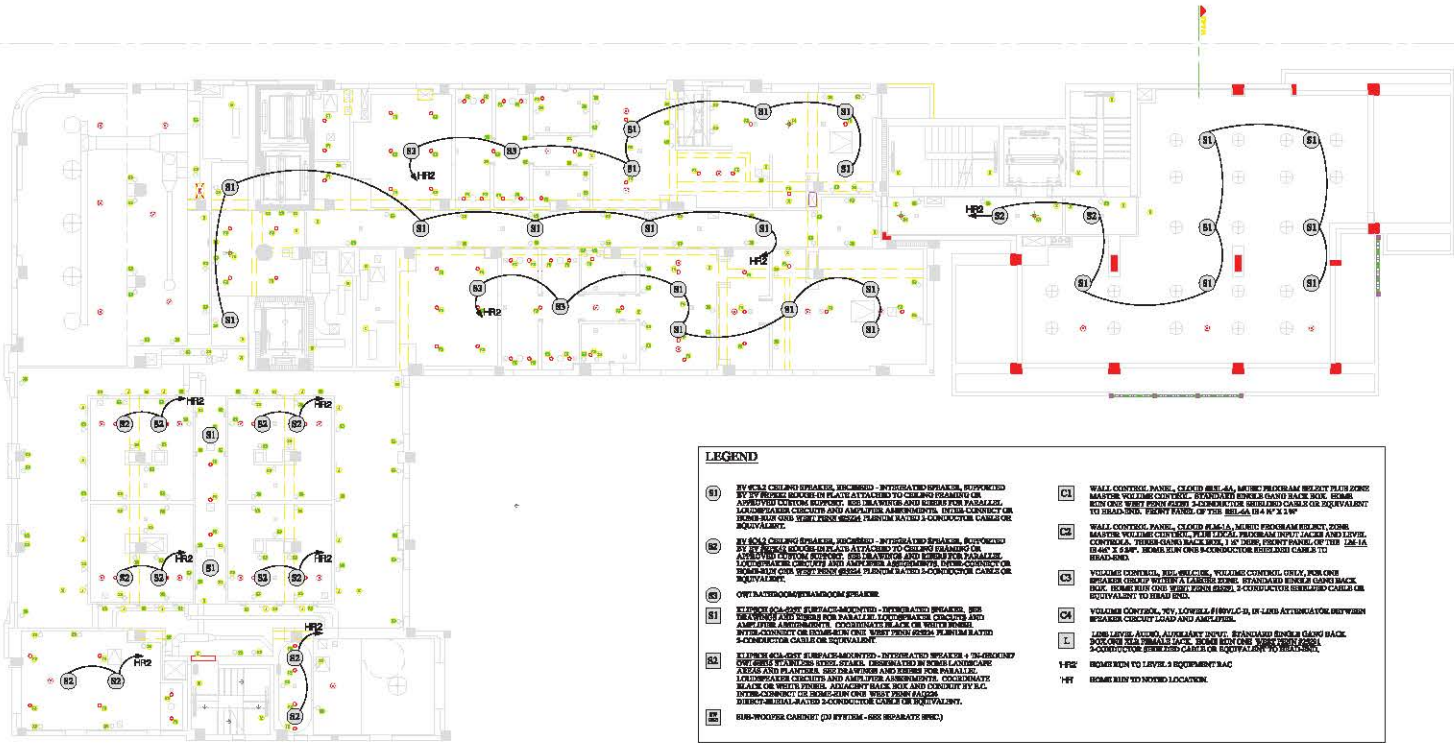
**CAUTION:**

### THIRD FLOOR

3/1/10

AWING NO.:

LTA-AV-7



### 3RD FLOOR REFLECTED CEILING PLAN







Complete title, location and address in the company of  
LONDON TOWN ASSOCIATION.

The details in regard to the regulations for membership in  
TOWN OF LONDON ASSOCIATION.

LONDON TOWN ASSOCIATION is a non-profit organization  
which is devoted to the promotion of the town of London  
and its interests. It is a non-profit organization which is  
devoted to the promotion of the town of London and its  
interests. It is a non-profit organization which is devoted  
to the promotion of the town of London and its interests.

All donations to be verified on file.

**REQUEST:**

**SOHO BEACH HOUSE**

4305 COLLING AVENUE  
MIAMI BEACH, FL 33140

**MARCUS BARWELL**  
SOHO HOUSE NEW YORK 29-35 9TH AV  
NEW YORK, NY 10014  
TEL (310) 279 6781 FAX (212) 627 2386  
MARCUS@SOHOhOUSE.COM  
WWW.SOHOhOUSE.COM

**RECONTACT:**

**Allen T. Shulman Architects**  
100 Ne 38th Street, No.2  
Miami, FL 33137

: 650000/150000

Инициативы	Статус
------------	--------

5 REV. 5 3/1/10 COMMENTS

SCALE: 1/8"=1'-0"

DEATH BY:

**DESCRIPTION:**

### 8th FLOOR PLAN

**LOCATION:**

## EIGHTH FLOOR

DATE: 3/1/79

**! ON DATA VIEW**

LTA-AV-8



8TH FLOOR PLAN (UPPER FLOOR)

SCALE: 1/8"=1'-0"

**NOTE:**  
CONNECT ALL SPEAKER AND CONTROL CIRCUITS TO  
LEVEL 2 PROTECTION MODUL.

## LEGEND

- 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100 101 102 103 104 105 106 107 108 109 110 111 112 113 114 115 116 117 118 119 120 121 122 123 124 125 126 127 128 129 130 131 132 133 134 135 136 137 138 139 140 141 142 143 144 145 146 147 148 149 150 151 152 153 154 155 156 157 158 159 160 161 162 163 164 165 166 167 168 169 170 171 172 173 174 175 176 177 178 179 180 181 182 183 184 185 186 187 188 189 190 191 192 193 194 195 196 197 198 199 200 201 202 203 204 205 206 207 208 209 210 211 212 213 214 215 216 217 218 219 220 221 222 223 224 225 226 227 228 229 230 231 232 233 234 235 236 237 238 239 240 241 242 243 244 245 246 247 248 249 250 251 252 253 254 255 256 257 258 259 260 261 262 263 264 265 266 267 268 269 270 271 272 273 274 275 276 277 278 279 280 281 282 283 284 285 286 287 288 289 290 291 292 293 294 295 296 297 298 299 300 301 302 303 304 305 306 307 308 309 310 311 312 313 314 315 316 317 318 319 320 321 322 323 324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340 341 342 343 344 345 346 347 348 349 350 351 352 353 354 355 356 357 358 359 360 361 362 363 364 365 366 367 368 369 370 371 372 373 374 375 376 377 378 379 380 381 382 383 384 385 386 387 388 389 390 391 392 393 394 395 396 397 398 399 400 401 402 403 404 405 406 407 408 409 410 411 412 413 414 415 416 417 418 419 420 421 422 423 424 425 426 427 428 429 430 431 432 433 434 435 436 437 438 439 440 441 442 443 444 445 446 447 448 449 450 451 452 453 454 455 456 457 458 459 460 461 462 463 464 465 466 467 468 469 470 471 472 473 474 475 476 477 478 479 480 481 482 483 484 485 486 487 488 489 490 491 492 493 494 495 496 497 498 499 500 501 502 503 504 505 506 507 508 509 510 511 512 513 514 515 516 517 518 519 520 521 522 523 524 525 526 527 528 529 530 531 532 533 534 535 536 537 538 539 540 541 542 543 544 545 546 547 548 549 550 551 552 553 554 555 556 557 558 559 560 561 562 563 564 565 566 567 568 569 570 571 572 573 574 575 576 577 578 579 580 581 582 583 584 585 586 587 588 589 590 591 592 593 594 595 596 597 598 599 600 601 602 603 604 605 606 607 608 609 610 611 612 613 614 615 616 617 618 619 620 621 622 623 624 625 626 627 628 629 630 631 632 633 634 635 636 637 638 639 640 641 642 643 644 645 646 647 648 649 650 651 652 653 654 655 656 657 658 659 660 661 662 663 664 665 666 667 668 669 670 671 672 673 674 675 676 677 678 679 680 681 682 683 684 685 686 687 688 689 690 691 692 693 694 695 696 697 698 699 700 701 702 703 704 705 706 707 708 709 710 711 712 713 714 715 716 717 718 719 720 721 722 723 724 725 726 727 728 729 730 731 732 733 734 735 736 737 738 739 740 741 742 743 744 745 746 747 748 749 750 751 752 753 754 755 756 757 758 759 760 761 762 763 764 765 766 767 768 769 770 771 772 773 774 775 776 777 778 779 780 781 782 783 784 785 786 787 788 789 790 791 792 793 794 795 796 797 798 799 800 801 802 803 804 805 806 807 808 809 810 811 812 813 814 815 816 817 818 819 820 821 822 823 824 825 826 827 828 829 830 831 832 833 834 835 836 837 838 839 840 841 842 843 844 845 846 847 848 849 850 851 852 853 854 855 856 857 858 859 860 861 862 863 864 865 866 867 868 869 870 871 872 873 874 875 876 877 878 879 880 881 882 883 884 885 886 887 888 889 890 891 892 893 894 895 896 897 898 899 900 901 902 903 904 905 906 907 908 909 910 911 912 913 914 915 916 917 918 919 920 921 922 923 924 925 926 927 928 929 930 931 932 933 934 935 936 937 938 939 940 941 942 943 944 945 946 947 948 949 950 951 952 953 954 955 956 957 958 959 960 961 962 963 964 965 966 967 968 969 970 971 972 973 974 975 976 977 978 979 980 981 982 983 984 985 986 987 988 989 990 991 992 993 994 995 996 997 998 999 1000 1001 1002 1003 1004 1005 1006 1007 1008 1009 1010 1011 1012 1013 1014 1015 1016 1017 1018 1019 1020 1021 1022 1023 1024 1025 1026 1027 1028 1029 1030 1031 1032 1033 1034 1035 1036 1037 1038 1039 1040 1041 1042 1043 1044



Considerable study, planning and financing is the property of LONDON TOWN ASSOCIATION.

The Association is based on the following fact regarding the Town of London: LONDON TOWN ASSOCIATION

LONDON TOWN ASSOCIATION is a non-profit organization which is organized to promote the development of the Town of London. The Association is organized to promote the development of the Town of London. The Association is organized to promote the development of the Town of London.

All statements to be verified on site.

**SOHO BEACH HOUSE**

4385 COLLING AVENUE  
MIAMI BEACH, FL 33140

**CLIENT:**  
**MARCUS BARWELL**  
SOHO HOUSE NEW YORK 26-35 9TH A  
NEW YORK, NY 10014  
TEL (310) 279 6781 FAX (212) 627 2311  
MARCUS@SOHOBARN.COM  
WWW.SOHOHOUSE.COM

**ARCHITECT:**  
**Allan T. Shulman Architects**  
100 Ne 38th Street, No.2  
Miami, FL 33137

<b><u>REVISIONS :</u></b>	
<b>DATE:</b>	<b>DESCRIPTION:</b>
<b>5</b>	<b>REV. 5 30/10 COMMENTS</b>

SCALE: 1/8"=1'-0"

**DRAWN BY:**

**DESCRIPTION:**

### 8th FLOOR RCP PLAN

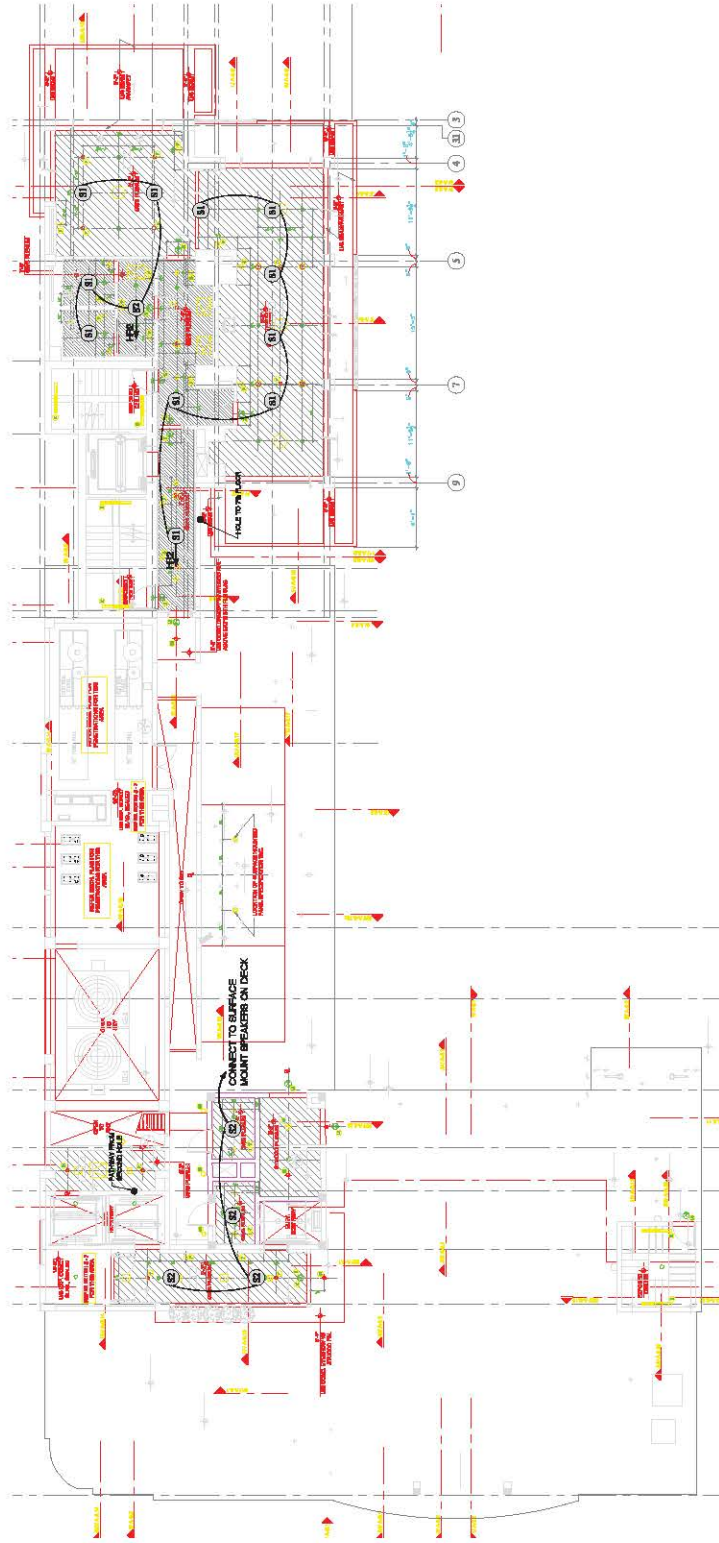
LOCATION:

## EIGHTH FLOOR

DATE: 3/1/10

DRAWING NO.:

LTA-AV-9



## 8TH FLOOR REFLECTED CEILING PLAN

SCALE: 1/8"=1'-0"

[illegible]





**LONDON TOWN ASSOCIATION** is a non-profit corporation organized under the laws of the State of New York. It is a 501(c)(3) organization and is exempt from federal income tax under Section 501(c)(3) of the Internal Revenue Code. It is also exempt from state income tax under Section 1501 of the New York Tax Law. The Association is organized for the purpose of promoting the development and improvement of the City of London, New York, and the surrounding area. It is a non-profit organization and its assets are held in trust for the benefit of the City of London, New York, and the surrounding area. The Association is organized for the purpose of promoting the development and improvement of the City of London, New York, and the surrounding area. It is a non-profit organization and its assets are held in trust for the benefit of the City of London, New York, and the surrounding area.

**SOHO BEACH HOUSE**  
4385 COLLING AVENUE  
MIAMI BEACH, FL 33140

**MARCUS BARWELL**  
SOHO HOUSE NEW YORK 29-35 9TH AVE.  
NEW YORK NY 10014  
TEL (310) 279 6781 FAX (212) 627 2386  
MARCUS@SOHOHOUSENY.COM  
WWW.SOHOHOUSE.COM

**CONTACT:**  
**Allan T. Shulman Architects**  
100 Ne 38th Street, No.2  
Miami, FL 33137

<b>VARIATIONS:</b>	
<b>DATE</b>	<b>DESCRIPTION</b>
	<b>REV. 3 1/22/10 COMMENTS</b>

1/8"=1'-0"

AWN BY: GS

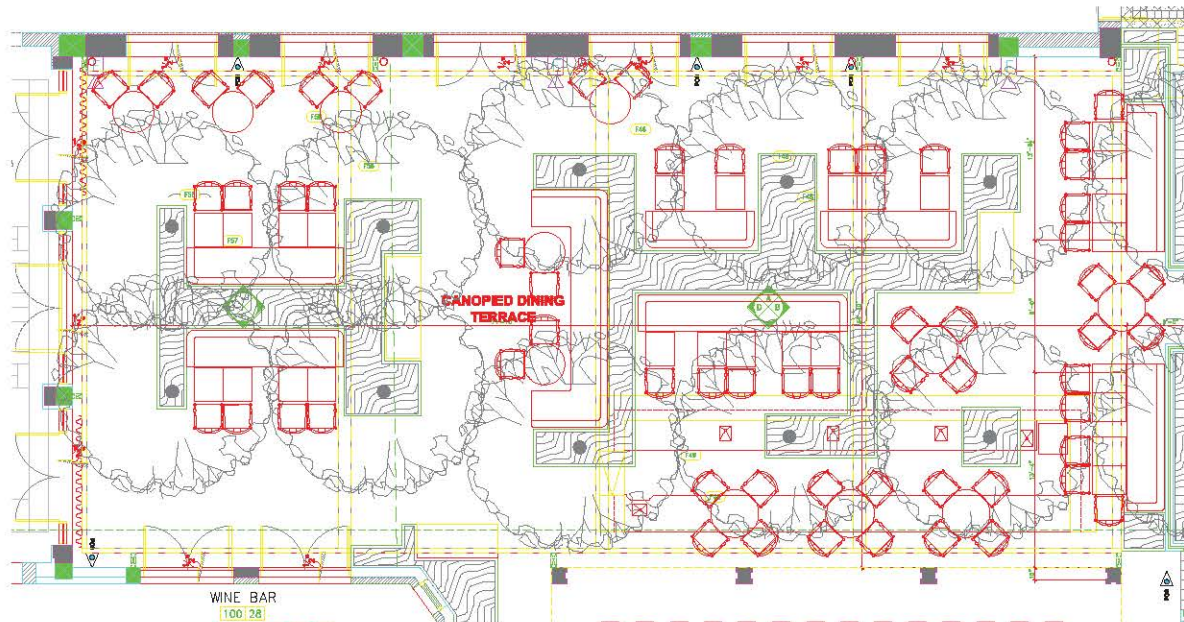
**DINING TERRACE  
ELEVATION**

**DINING TERRACE**

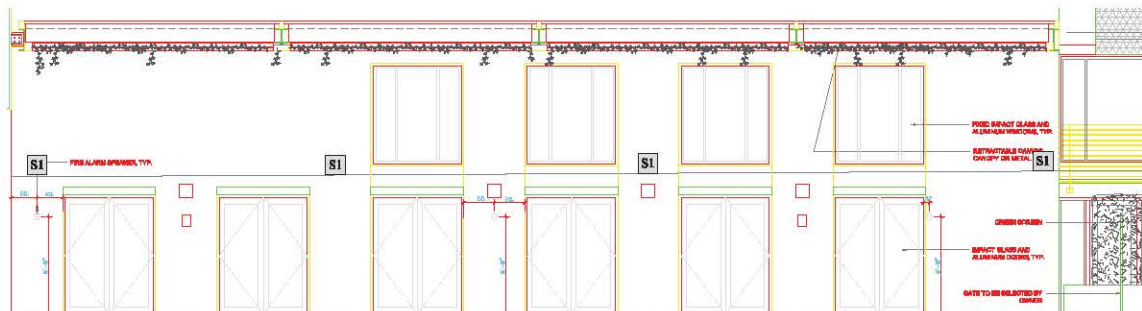
3/1/10

DRAWING NO.:

LTA-AV-10



**1 DINING TERRACE - SEATING PLAN**  
SCALE: 1/4"=1'-0"



**2 DINING TERRACE - ELEVATION A**  
SCALE: 1/4"=1'-0"

- [illegible]

**NOTE**  
**DINING SPEAKER PLAN - CONFIRM HEIGHT WITH**  
**SHULMAN & ASSOCIATES.**





**4 CLUB DINING PARTIAL PLAN**  
SCALE: 3/16"=1'-0"





**London Town Associates Inc.**  
2555 Collins Avenue, Suite C-9  
Miami Beach, Florida, 33140 U.S.A.  
Phone: (305) 673-4042 Fax: (305) 673-1158  
Email: info@londontownassociates.com

Copyright © 2010 LTA and All Rights Reserved. The drawing is based on the specifications and requirements of the client. LTA is not responsible for any errors or omissions in the drawing. LTA is not responsible for any damages or losses resulting from the use of the drawing. LTA is not responsible for any changes or modifications to the drawing without the written consent of LTA.

LONDON TOWN ASSOCIATES is a registered professional engineering firm in the State of Florida. LTA is not responsible for any damages or losses resulting from the use of the drawing. LTA is not responsible for any changes or modifications to the drawing without the written consent of LTA. All dimensions to be verified on site.

**PROJECT:**  
**SOHO BEACH HOUSE**  
4385 COLLINS AVENUE  
MIAMI BEACH, FL 33140

**CLIENT:**  
**MARCUS BARWELL**  
SOHO HOUSE NEW YORK 29-35 9TH AVE.  
NEW YORK NY 10014  
TEL (212) 279-6781 FAX (212) 627-2396  
MARCT@SOHOHOUSE.COM  
WWW.SOHOHOUSE.COM

**ARCHITECT:**  
**Allen T. Shulman Architects**  
100 Ne 38th Street, No.2  
Miami, FL 33137

REVISIONS:	
DATE	DESCRIPTION

**SCALE:**  
3/8"=1'-0"

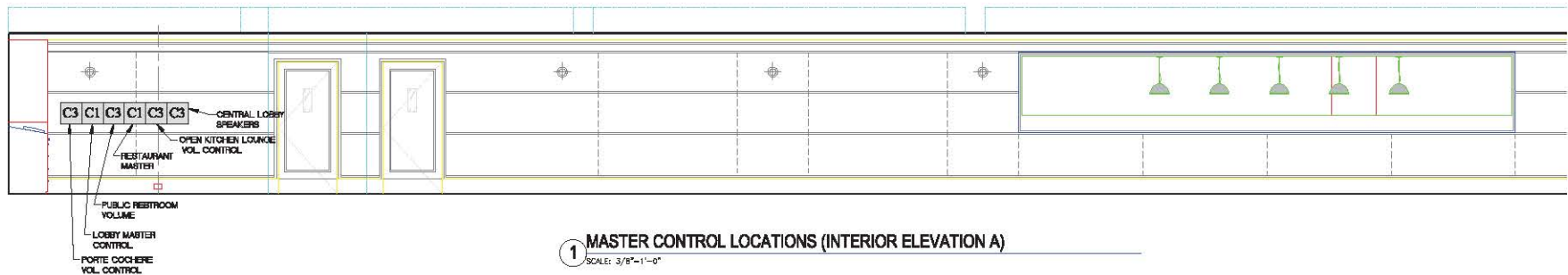
**DRAWN BY:**  
GS

**DESCRIPTION:**  
**MASTER CONTROL ELEVATIONS**

**LOCATION:**  
OPEN KITCHEN

**DATE:**  
3/1/10

**DRAWING NO.:**  
**LTA-AV-12**



**1 MASTER CONTROL LOCATIONS (INTERIOR ELEVATION A)**  
SCALE: 3/8"=1'-0"