

SCOPE OF WORK

After the fact modification of PB Conditional Use Permit approval for expansion of Mandolin food and beverage venue located in the dune overlay (rear yard) and only open to private club members of Soho House, including request for Conditional Use Permit approval to cook and reheat food at the Mandolin venue.



SOHO BEACH HOUSE - MANDOLIN BEACH
4385 Collins Avenue | Miami Beach, Florida 33141

City of Miami Beach PB - Revised Final Submittal
October 14, 2016

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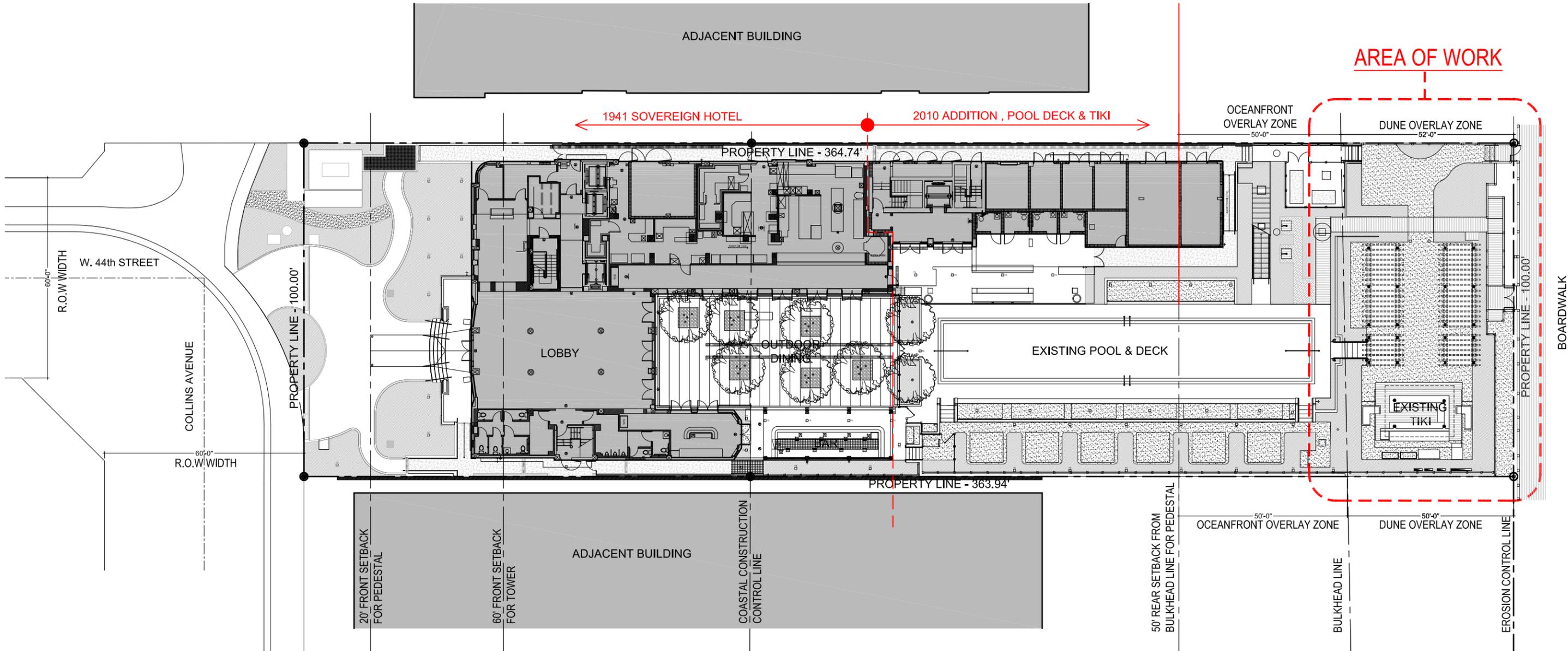
111 East Flagler St. #205
MIAMI, FL 33131

GENERAL PROJECT DATA			
ZONING DISTRICT	RM-3 (Collins Waterfront Historic District)		
LOT AREA	36,485 SF (100' x 364.85')		
FLOOR AREA RATIO	2.25		
ALLOWABLE BUILDING AREA	36,485 SF x 2.25 = 82,091 SF		
EXISTING BUILDING AREA	82,090 SF		
DUNE OVERLAY AREA	5,070 SF		
SETBACK REQUIREMENTS (Dune Overlay Zone 142.775)			
	REQUIRED	PROVIDED (existing Tiki)	PROVIDED (proposed pergola)
SIDE INTERIOR (North)	15'-0"	77'-0" (structural column) 72'-9" (roof line)	32'-3" (structural column) 30'-0" (pergola overhang)
SIDE INTERIOR (South)	15'-0"	13'-6" (low wall) 11'-10 1/2" (roof line) 10'-10 (wood deck tiki)	33'-4" (structural column) 31'-1" (pergola overhang)
REAR (East)	10'-0"	21'-3 1/2" (structural column) 18'-8" (roof line)	13'-4" (structural column) 11'-7" (pergola overhang)
BULKHEAD LINE (West)	0'-0"	13'-5" (structural column) 11'-0" (roof line)	6'-0" (structural column) 4'-4" (pergola overhang)
HEIGHT REQUIREMENTS (Dune Overlay Zone 142.775)			
	REQUIRED	PROVIDED (existing Tiki)	PROVIDED (proposed pergola)
BUILDING HEIGHT	12'-0" (max)	12'-8" (top of roof)	11'-2" (top of column) 8'-6" (top of pergola)
FINISH FLOOR ELEVATION	2'-6" (max. above dune)	10.0' ngvd (FF) - Dune 9.4'	10.0 ngvd (FF) - Dune 9.4'
EXISTING GRADE	4.64' NGVD (sidewalk at front of prop.)	= 0'-7"	= 0'-7"
EXISTING OPEN SPACE REQUIREMENTS (Dune Overlay Zone 142.775)			
	REQUIRED	EXISTING	
OPEN SPACE RATIO	5,070 SF x 0.8 = 4,056 SF (80%)	5,070 SF - 2,701 SF = 2,369 SF (46.72%)	
NON OPEN SPACE	AREA (SF / %)	OPEN SPACE	AREA (SF / %)
Tiki deck, awnings, pavers, decks, pergolas.	2,701 (53.28%)	Gravel & Planting area	2,369 (46.72%)
OPEN SPACE REQUIREMENTS (Dune Overlay Zone 142.775)			
	REQUIRED	PROVIDED	
OPEN SPACE RATIO	5,070 SF x 0.8 = 4,056 SF (80%)	AWNINGS CLOSED 5,070 SF - 1,671 SF = 3,399 SF (67%)	
		AWNINGS OPEN 5,070 SF - 2,193 SF = 2,877 SF (56.75%)	
NON OPEN SPACE	AREA (SF / %)	OPEN SPACE	AREA (SF / %)
Tiki Wood Deck (Reduced)	400 (7.88%)	Existing & New Planting Area	1,837 (36.23%)
Concrete Pavers (Removed)	0 (0%)	New Sand & Coquina	1,558 (30.73%)
Wood Walkways (Reduced)	477 (9.41%)		
Existing Retractable Cable Awning	522 (10.29%)		
Existing Open Pergolas	794 (14.67%)		
TOTAL (awning closed)	1,671 (32.95%)	TOTAL (awning closed)	3,399 (67%)
TOTAL (awning open)	2,193 (43.25%)	TOTAL (awning open)	2,877 (56.75%)
EXISTING OPEN SPACE REQUIREMENTS (Oceanfront Overlay Zone 142-802)			
	REQUIRED	EXISTING	
OPEN SPACE RATIO	5,010 SF x 0.5 = 2,505 SF (50%)	5,010 SF - 2,434 SF = 2,576 SF (51.41%)	
NON OPEN SPACE	AREA (SF / %)	OPEN SPACE	AREA (SF / %)
Pool deck, pool lounge cushions, stair and walkways	2,434 (48.58%)	Pool, landscape area and pervious ground cover	2,576 (51.41%)
MANDOLIN - OCCUPANT LOAD / SEATING COUNT			
	AREA	OCCUPANT LOAD	SEATING COUNT
Outdoor Dining	1,563 sf	104	60
Bar	18ft	12	12
Bar (personnel)	100 sf	4	n/a
Outdoor Kitchen	100 sf	4	n/a
TOTAL		124	72

EXISTING CONDITIONS			
EXISTING FLOOR AREA:			
LEVEL 1:	7,999		
LEVEL 2:	5,944		
LEVEL 3:	7,675		
LEVEL 4:	7,675		
LEVEL 5:	7,675		
LEVEL 6:	7,675		
LEVEL 7:	7,675		
LEVEL 8:	469		
LEVEL 9:	360		
LEVEL 10:			
LEVEL 11:			
LEVEL 12:			
LEVEL 13:			
LEVEL 14:			
LEVEL 15:			
ROOF:			
TOTAL:	53,147		
EXISTING UNITS:	108		
PROPOSED FLOOR AREA:			
	EXISTING TO REMAIN	PROPOSED NEW	TOTAL
LEVEL 1:	7,999	1,616	9,615
LEVEL 2:	5,738	577	6,315
LEVEL 3:	6,913	2,144	9,057
LEVEL 4:	7,624	2,144	9,768
LEVEL 5:	7,624	2,144	9,768
LEVEL 6:	7,624	2,144	9,768
LEVEL 7:	7,624	2,144	9,768
LEVEL 8:	364	2,913	3,277
LEVEL 9:	0	2,144	2,144
LEVEL 10:		2,144	2,144
LEVEL 11:		2,144	2,144
LEVEL 12:		2,144	2,144
LEVEL 13:		2,144	2,144
LEVEL 14:		2,144	2,144
LEVEL 15:		1,298	1,298
LEVEL 16:		427	427
ROOF:		165	165
TOTAL:	51,510	30,580	82,090
BUILDING HEIGHT			
	REQUIRED	PROVIDED	
MAXIMUM BUILDING HEIGHT:	200'	153'-11"	
MAXIMUM NUMBER OF STORIES:	22	15	
OPEN SPACE RATIO			
	REQUIRED	PROVIDED	
OPEN SPACE RATIO:	36,485 x 0.7 = 25,539.5 SQUARE FEET	GROUND FLOOR : 25,923 S.F. IN-LIEU OF PAYMENT : 420 S.F	
MINIMUM FLOOR AREA			
	REQUIRED	PROVIDED	
MINIMUM S.F. AREA PER HOTEL UNIT:	15% 300-335 S.F., 85% 335 S.F.	354 MIN	
UNIT COUNT:			
	EXISTING BUILDING		NEW TOWER
	EXISTING	PROPOSED	EXISTING
	108	35	na
TOTAL PROPOSED UNITS	50		15

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MINIMUM PARKING					<i>Notes & Formula used for parking req'd</i>
	Floor(s)	BUILDING	REQUIRED	PROVIDED	Zoning Chapter 130-section 33
Hotel Units (No Kitchen)	0	Existing Building	N/A (0 required)	0	N/A
					14 PARKING SPACES
14 Hotel Units (No Kitchen)	4 thru 14	New Building		0 (PARKING IMPACT FEE PROGRAM)	1 Space/Unit x 14 = 14 Spaces
1 New Hotel Unit (With Kitchen)	15	New Building		0 (PARKING IMPACT FEE PROGRAM)	2 Spaces/Unit x 1 = 2 Spaces
Wine Bar (5 seats, 246 SF)	1st Floor	Existing Building	N/A (0 required)	0	in existing building
Long Bar (14 Seats, 399 SF)	1st Floor	Existing Building	N/A (0 required)	0	in existing building
Lobby Dining (38 Seats, 1,372 SF)	1st Floor	Existing Building	N/A (0 required)	0	in existing building
Courtyard Dining Terrace (86 seats, 2,578 SF)	1st Floor	Existing Building	N/A (0 required)	0	in existing building
Mandolin Beach in Dune Preservation Overlay (former known as Tiki Hut & Rear Yard) (72 seats, 1,581 SF)	1st Floor	New Use	N/A (0 required)	0	0 PARKING SPACES (in Dune Preservation Overlay - no parking required Section 130-34)
					10 PARKING SPACES
Club Bar (87 seats, 2,379 SF)	2nd Floor	New Building			1 space / 250 SF of Private Club = 2,379 / 250 = 9,516 = 10 Spaces
Screening Lounge (Business, 19 seats, 695 SF)	2nd Floor	Existing Building	N/A (0 required)		in existing building
Cowshed Spa (retail space, 1,136 SF)	2nd Floor	Existing Building	N/A (0 required)		in existing building
Cowshed Spa (retail space, 5,462 SF)	3rd Floor	Existing Building	N/A (0 required)		in existing building
					0 PARKING SPACES (part of private club pursuant to Declaration of Restrictions in Official Records Book 27420 at Page 144)
Gymnasium Spa (2,244 SF)	3rd Floor	New Building		0 (PARKING IMPACT FEE PROGRAM)	
COMBINED QUANTITY					
					0 PARKING SPACES (part of private club pursuant to Declaration of Restrictions in Official Records Book 27420 at Page 144)
Gym / Spa in new building (2,244 SF)				0 (PARKING IMPACT FEE PROGRAM)	
Gym / Spa in existing building (6,598 SF)			N/A (0 required)		in existing building
Grand Total Gym / Spa (8,842 SF)					
Club Dining (8 seats, 316 SF)	8th Floor	New Building			See combined quantity below
Bar (Club Lounge) (14 seats, 590 SF)	8th Floor	New Building			See combined quantity below
Outdoor Bar (33 seats, 1,321 SF)	8th Floor	Existing Building	N/A (0 required)		in existing building
COMBINED QUANTITY					4 PARKING SPACES
Dining/Bar seating in new building (Excluding Club Bar as outdoor café) (22 seats, 906 SF)					1 Space/250 SF of Private Club (8th floor) = 906 / 250 = 3,624 = 4 spaces
COMBINED QUANTITY					
Dining / Bar in existing building (176 seats, 5,916 SF)					
COMBINED QUANTITY					
Grand Total Dining/Bar (Including Bar & Tiki Bar / Rear Yard) (313 seats, 11,046 SF)					
TOTALS					0 (PARKING IMPACT FEE PROGRAM) 30 Spaces
Credit for amount already paid to Parking Impact Fee program					23 Spaces
Parking Impact Fee					7 Spaces*
*Applicant elects to pay annual fee for outdoor café					
LOADING AREA					N/A (0 required) 0
					No new floor area added - no required loading zone space pursuant to Section 130-101 A.



AREA OF WORK

← 1941 SOVEREIGN HOTEL 2010 ADDITION, POOL DECK & TIKI →

ADJACENT BUILDING

OCEANFRONT OVERLAY ZONE
50'-0"

DUNE OVERLAY ZONE
52'-0"

PROPERTY LINE - 364.74'

PROPERTY LINE - 363.94'

LOBBY

OUTDOOR DINING

EXISTING POOL & DECK

EXISTING TIKI

PROPERTY LINE - 100.00'

BOARDWALK

W. 44th STREET

R.O.W WIDTH
60'-0"

R.O.W WIDTH
60'-0"

COLLINS AVENUE

PROPERTY LINE - 100.00'

20' FRONT SETBACK FOR PEDESTAL

60' FRONT SETBACK FOR TOWER

ADJACENT BUILDING

COASTAL CONSTRUCTION CONTROL LINE

50' REAR SETBACK FROM BULKHEAD LINE FOR PEDESTAL

OCEANFRONT OVERLAY ZONE
50'-0"

DUNE OVERLAY ZONE
50'-0"

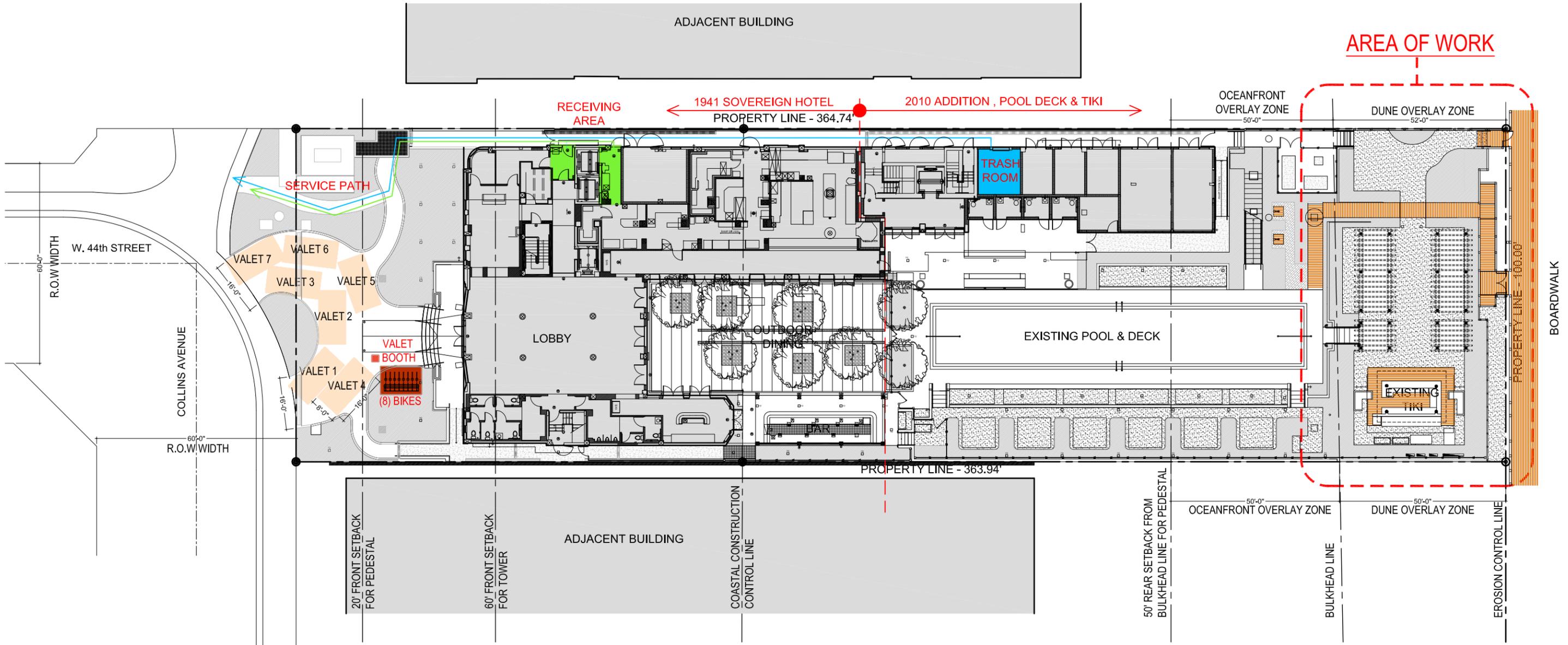
BULKHEAD LINE

EROSION CONTROL LINE



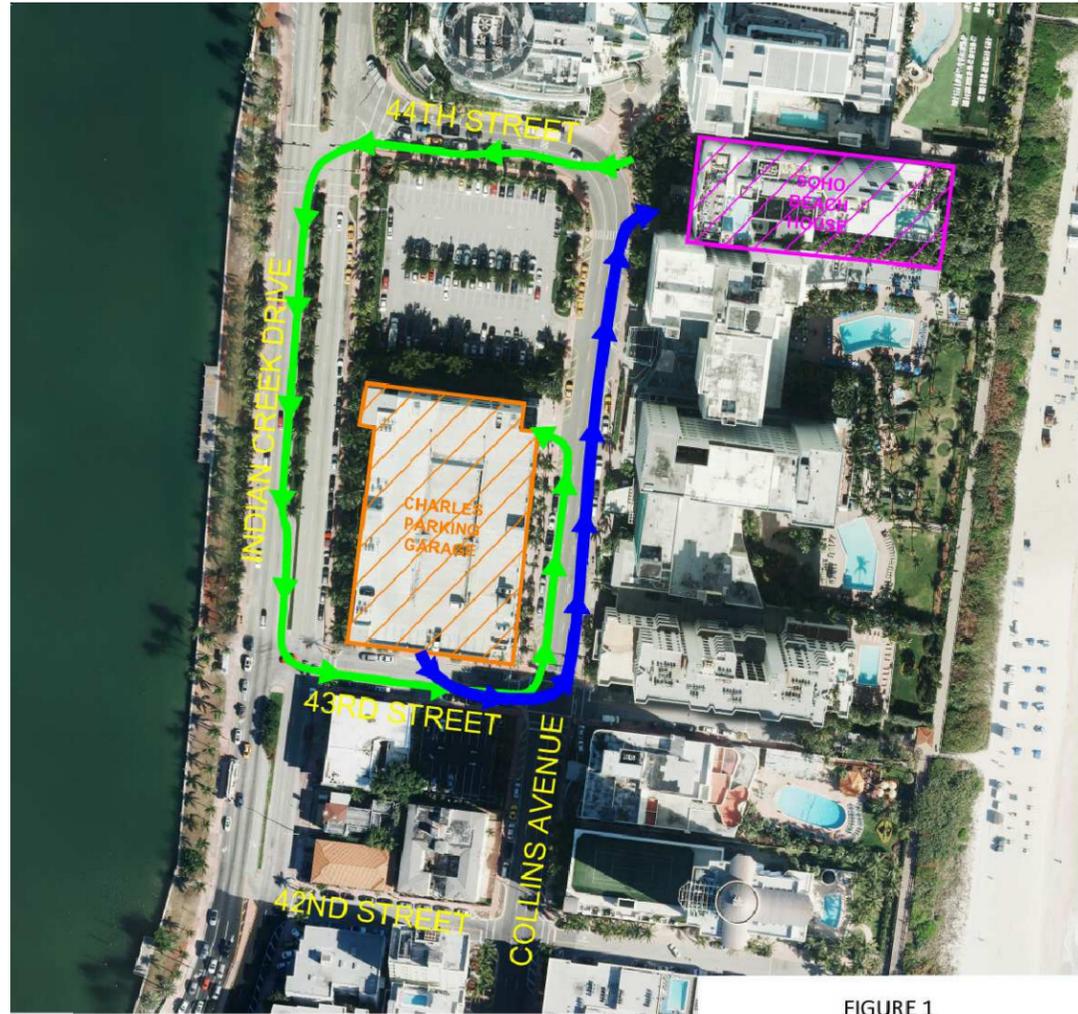
SITE PLAN
SCALE: 1" = 30'

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 SITE PLAN
 SCALE: 1" = 30'

REVISED



LEGEND

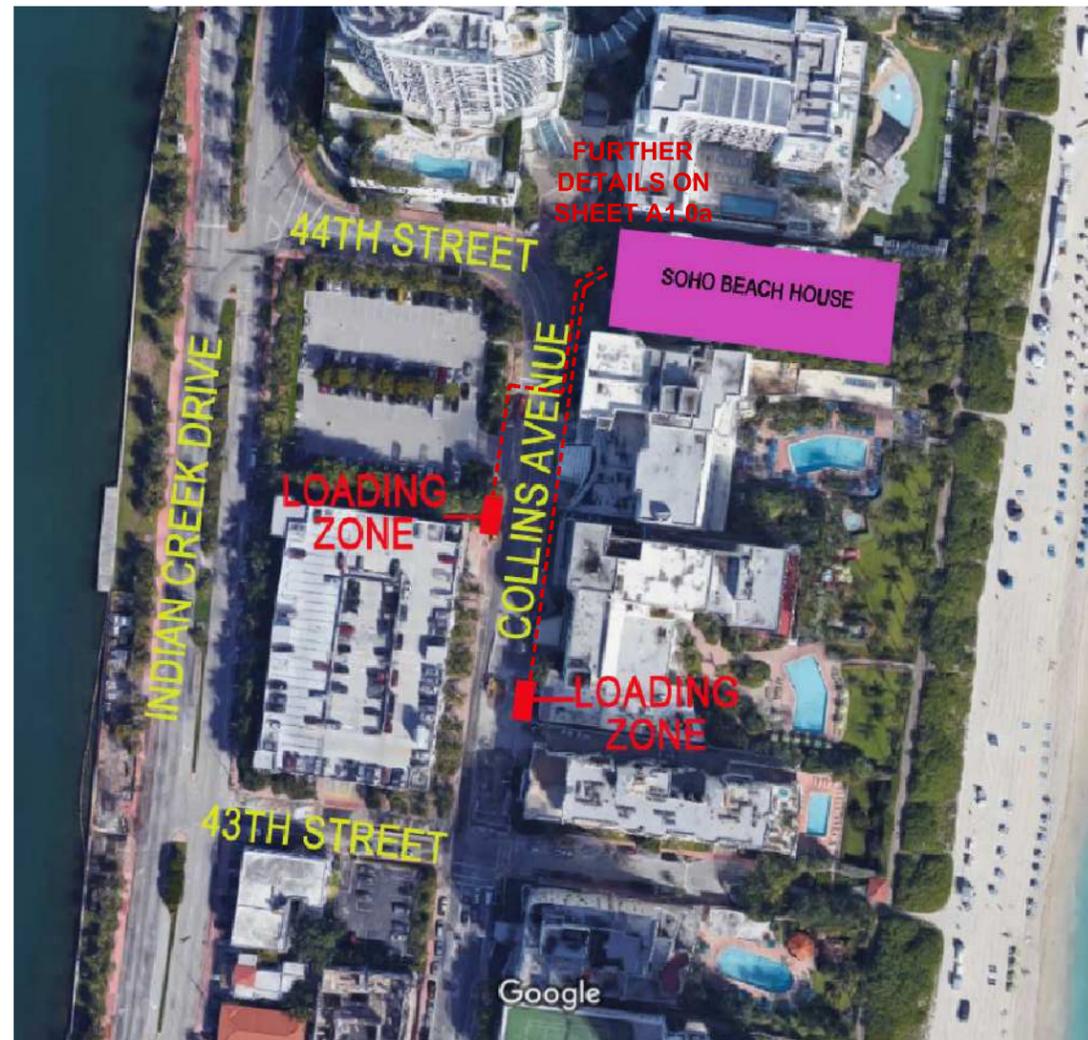
- ← VALET DROP-OFF ROUTE
- ← VALET PICK-UP ROUTE

FIGURE 1
EXISTING VALET ROUTING
SOHO BEACH HOUSE

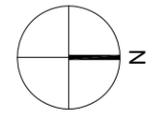
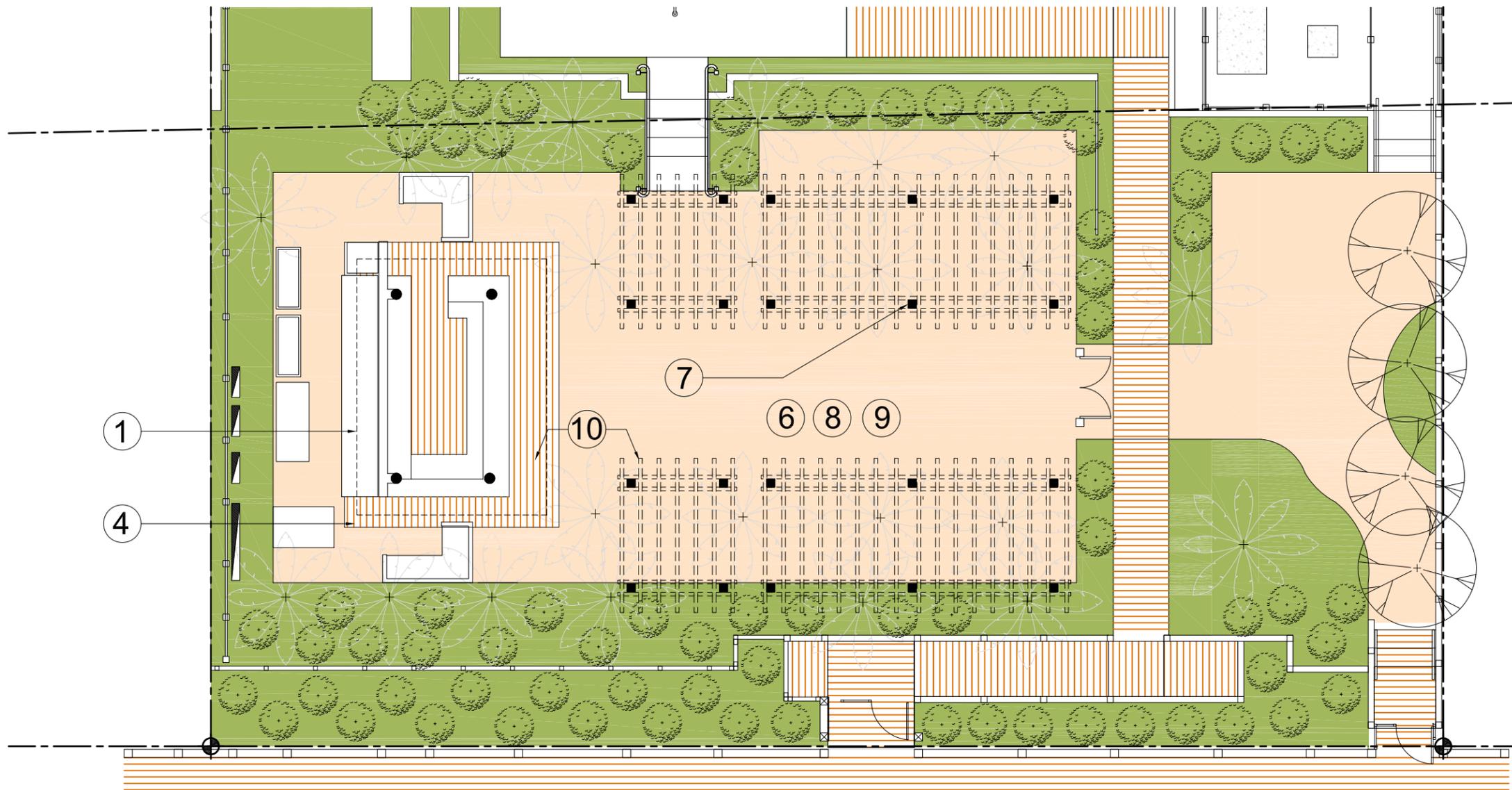
Kimley»Horn

dwg name: E:\VTL\IPTD\043789000-Soho Beach House\CADD\Valet Routing\Valet Figures.dwg Figure 1 Apr 14, 2016 9:34am by: cory.dorman

VALET DIAGRAM
NTS



LOADING DIAGRAM
NTS

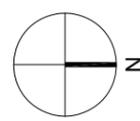
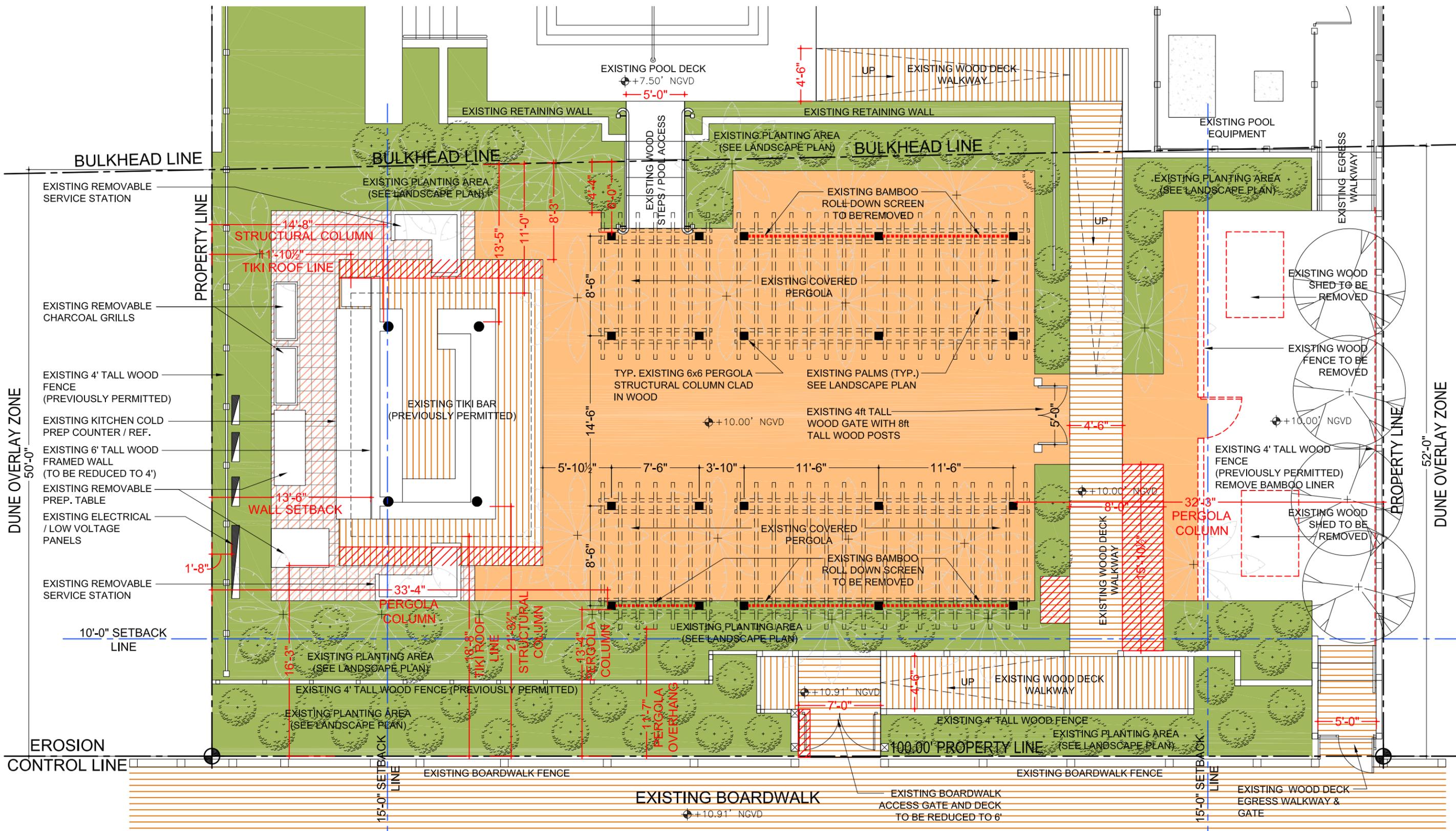


MANDOLIN VARIANCE KEY PLAN
SCALE: N.T.S.

- ① After-the-fact variance of Section 142-774(1) to exceed by 2'-0" the maximum allowed clear space of 8'-0" between the roof covering and finish floor in order to retain the existing previously approved tiki hut bar structure with clear space of 10'-0" measured from finish floor to the roof and located within the Dune Preservation Overlay district.
- ④ After-the-fact variance of Section 142-775(d) to reduce by 4'-2" the minimum required side setback of 15'-0" within the Dune Preservation Overlay District in order to retain the existing previously approved tiki hut wood deck at 10'-10" from the south side property line.
- ⑥ After-the-fact variance of Section 142-774(1) to exceed by 1'-8" the maximum allowed clear space of 8'-0" between the roof covering and finish floor in order to retain a retractable roof structure with clear space of 9'-8" measured from finish floor to the average height of the roof located within the Dune Preservation Overlay district.
- ⑦ After-the-fact variance of Section 142-774(2) to retain two pergola structures constructed of metal clad in wood where only wood materials are allowed for structures located within the Dune Preservation Overlay District.
- ⑧ After-the-fact variance of Section 142-775(b) to exceed by 916 square feet the maximum 400 square feet of area allowed for structures in order to retain two pergola structures connected with a retractable roof with an area of 1,316 square feet located within the Dune Preservation Overlay District.
- ⑨ After-the-fact variance of Section 142-775(a) to reduce by 23.25% (1,178 square feet) the minimum required open space of 80% (4,056) in order to retain a tiki hut bar, walkways, two pergola and roof structures and provide an open space of 56.75% (2,877 square feet) within the Dune Preservation Overlay District.
- ⑩ After-the-fact variance of Section 142-775(b) to reduce by 4'-11" the minimum distance separation of 10'-0" between structures located within the Dune Preservation Overlay District in order to retain a tiki hut bar structure, pergolas and retractable roof structures with a distance separation of 5'-1".

VARIANCES ② ③ ⑤ ⑪ HAVE BEEN ELIMINATED

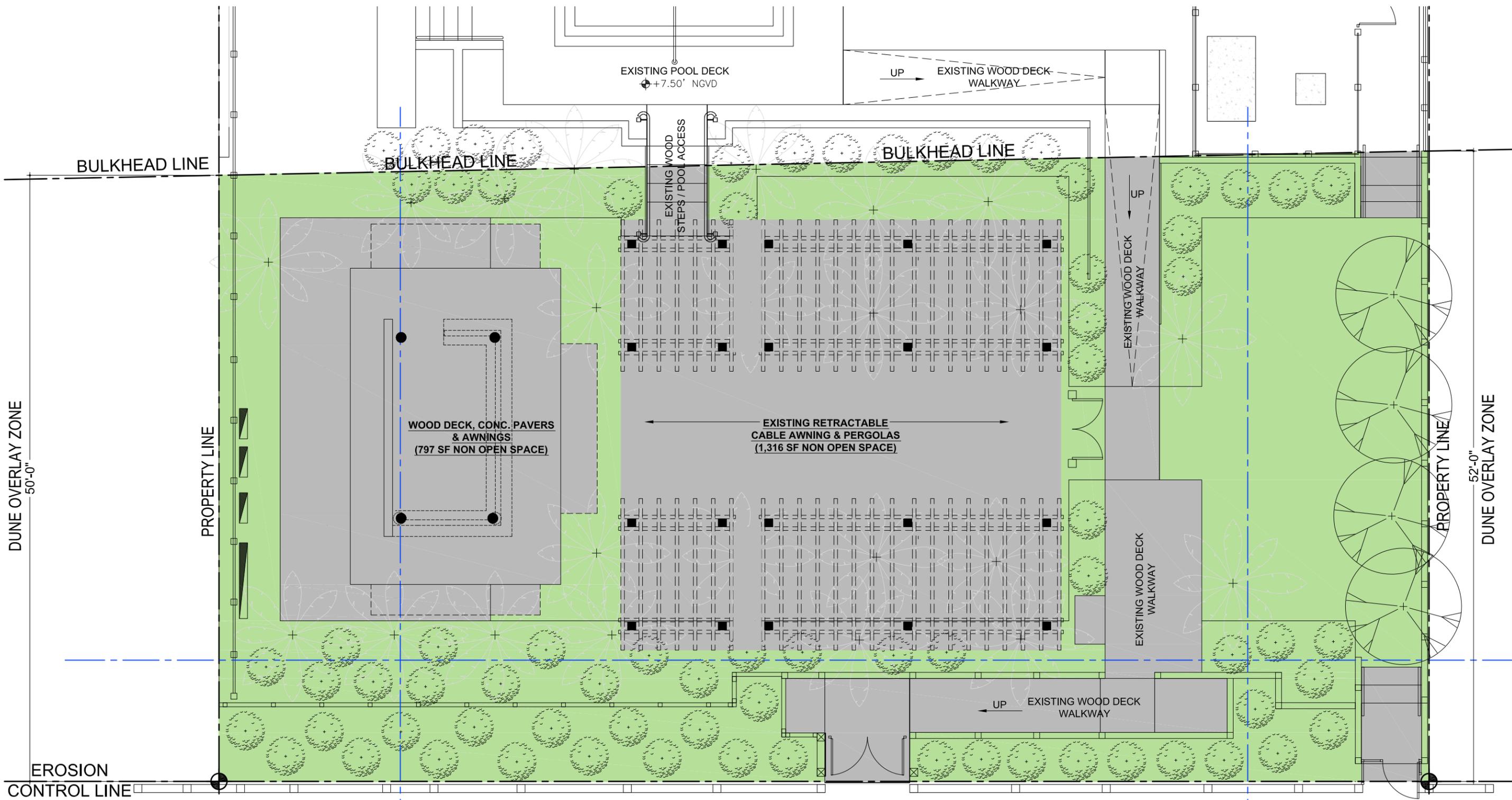
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MANDOLIN EXISTING CONDITIONS / DEMOLITION FLOOR PLAN

SCALE: 1/8" = 1'-0"

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EXISTING OPEN SPACE REQUIREMENTS (Dune Overlay Zone 142.775)

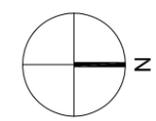
	REQUIRED	EXISTING	
OPEN SPACE RATIO	5,070 SF x 0.8 = 4,056 SF (80%)	5,070 SF - 2,701 SF = 2,369 SF (46.72%)	
NON OPEN SPACE	AREA (SF / %)	OPEN SPACE	AREA (SF / %)
Tiki deck, awnings, pavers, decks, pergolas.	2,701 (53.28%)	Gravel & Planting area	2,369 (46.72%)

EXISTING BOARDWALK

HATCH LEGEND

OPEN SPACE

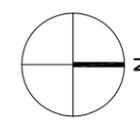
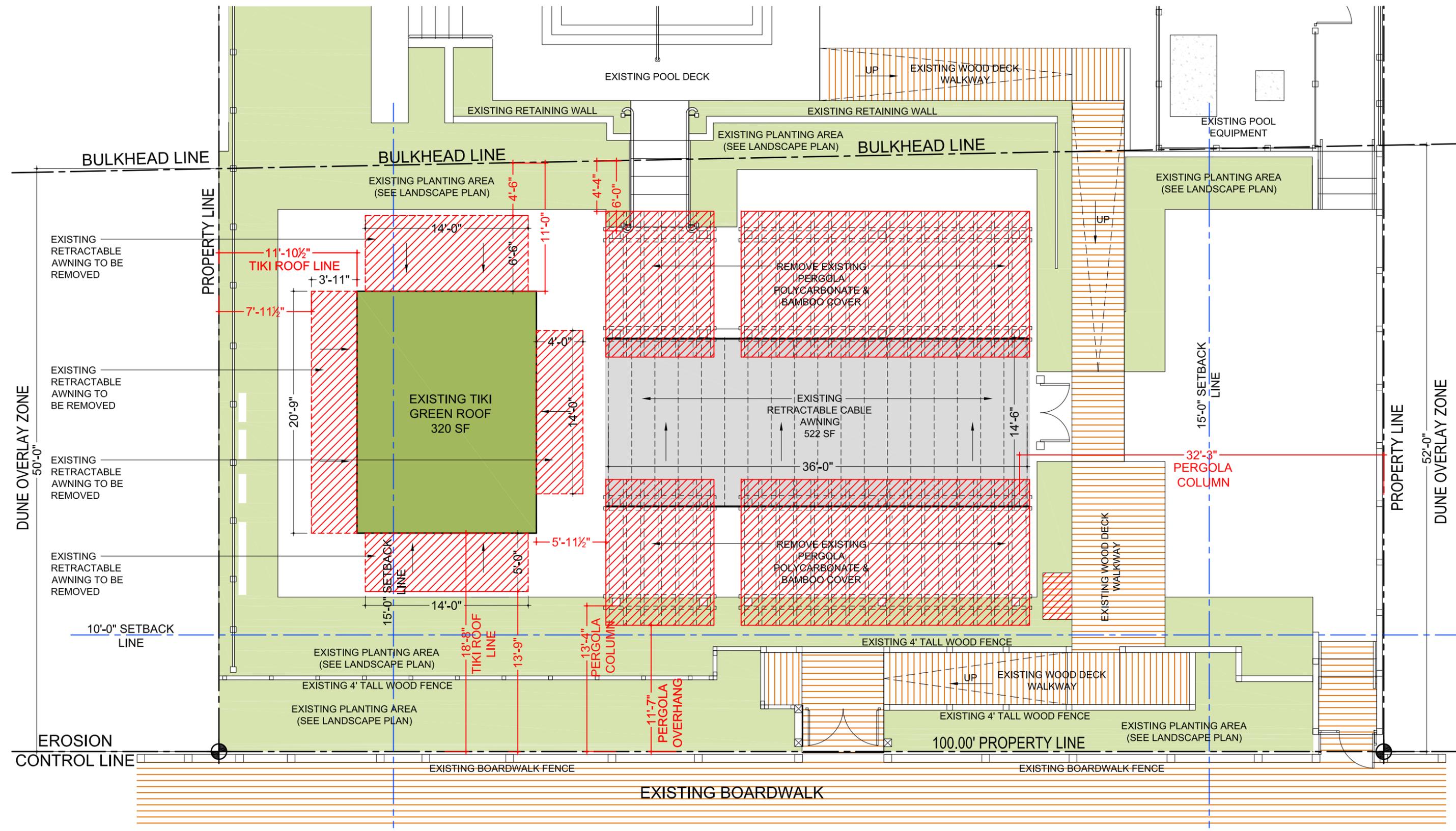
NON OPEN SPACE



EXISTING CONDITIONS OPEN SPACE DIAGRAM

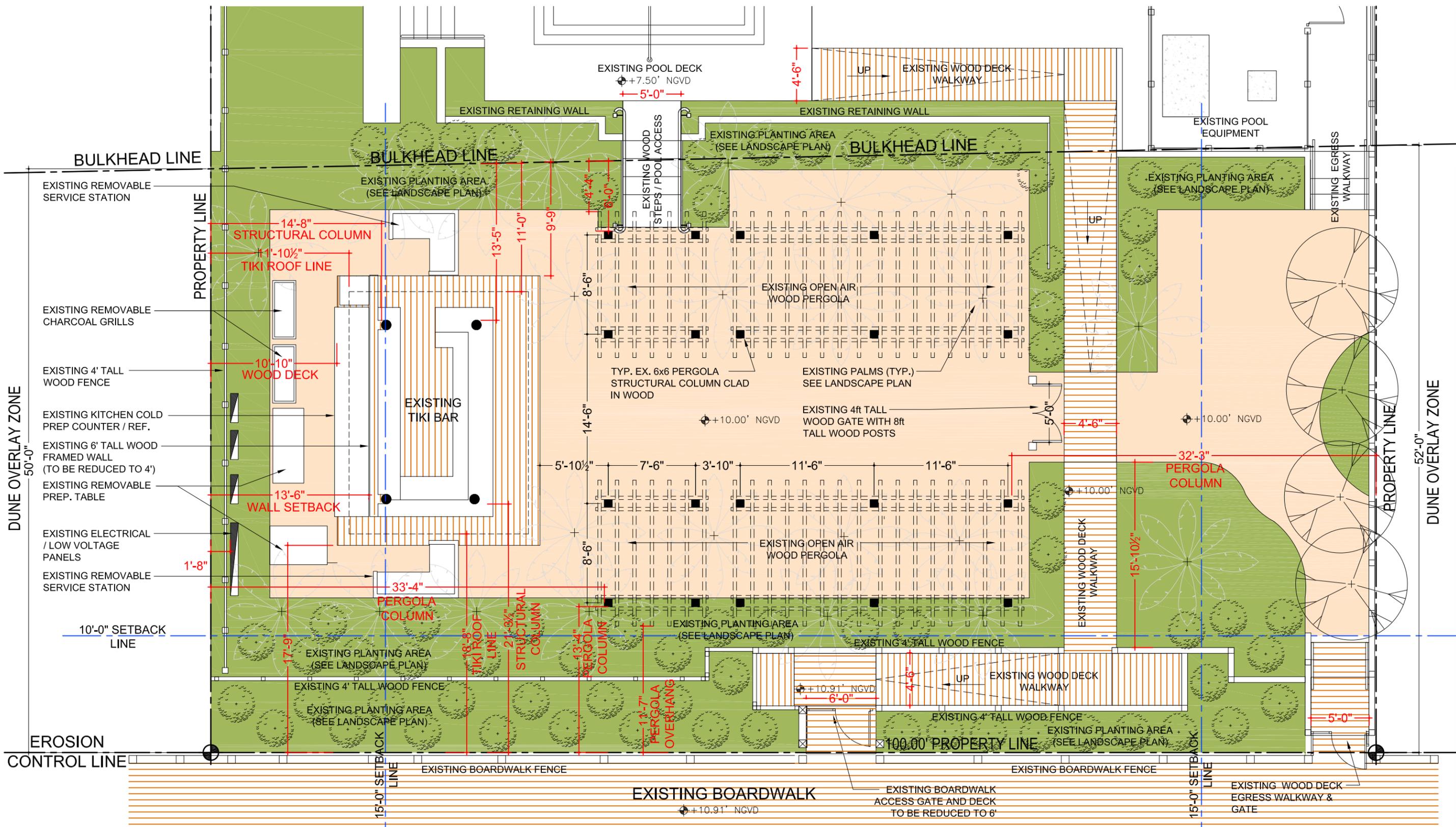
SCALE: 1/8" = 1'-0"

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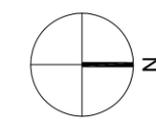
MANDOLIN EXISTING CONDITIONS / DEMOLITION ROOF PLAN
SCALE: 1/8" = 1'-0"

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SETBACK REQUIREMENTS (Dune Overlay Zone 142.775)

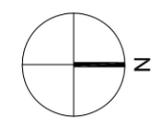
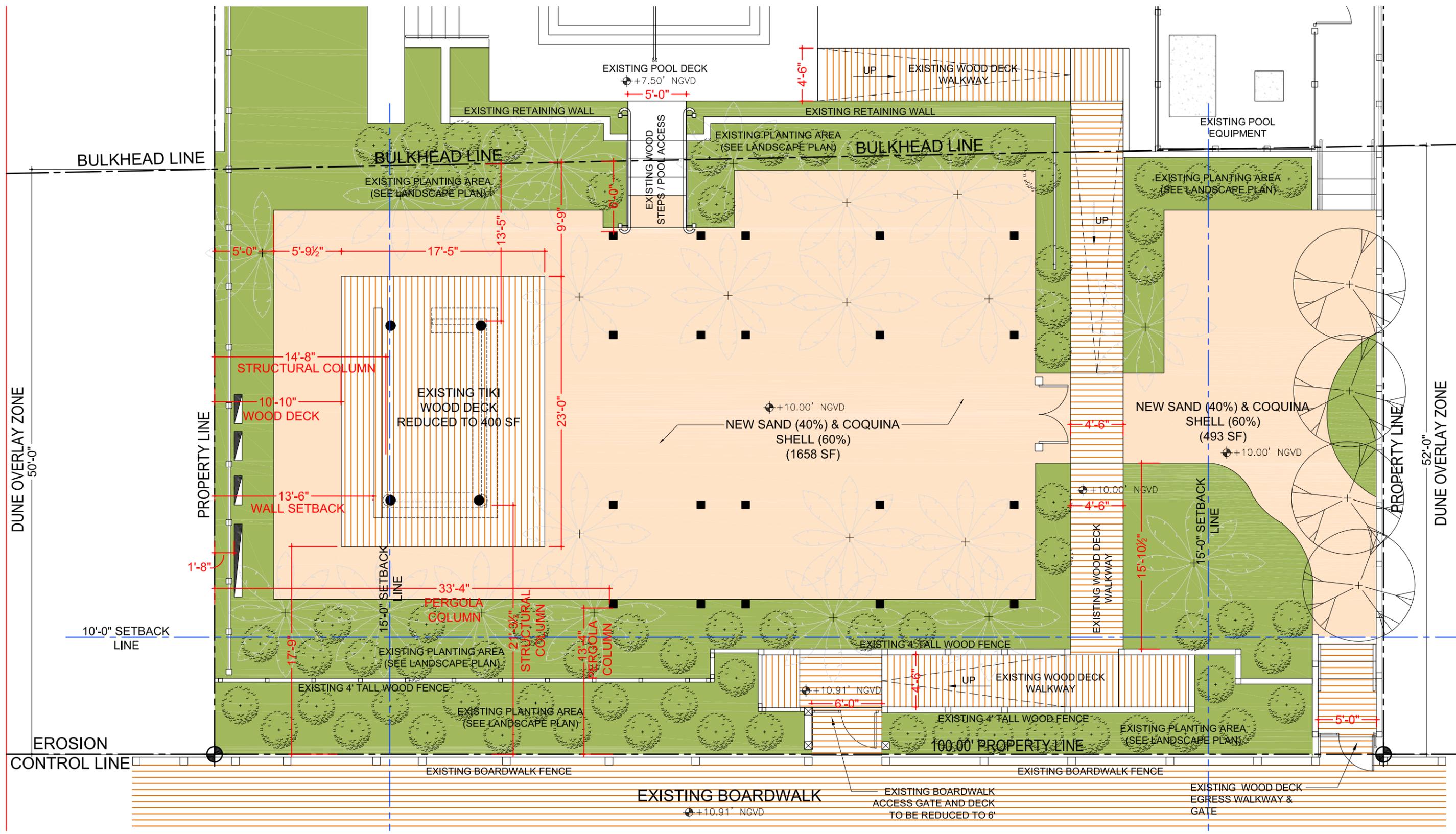
	REQUIRED	PROVIDED (existing Tiki)	PROVIDED (proposed pergola)
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SIDE INTERIOR (South)	15'-0"	11'-10 1/2" (roof line) 10'-10" (wood deck tiki)	33'-4" (structural column) 31'-1" (pergola overhang)
REAR (East)	10'-0"	21'-3 1/2" (structural column) 18'-8" (roof line)	13'-4" (structural column) 11'-7" (pergola overhang)
BULKHEAD LINE (West)	0'-0"	13'-5" (structural column) 11'-0" (roof line)	6'-0" (structural column) 4'-4" (pergola overhang)



MANDOLIN PROPOSED FLOOR PLAN

SCALE: 1/8" = 1'-0"

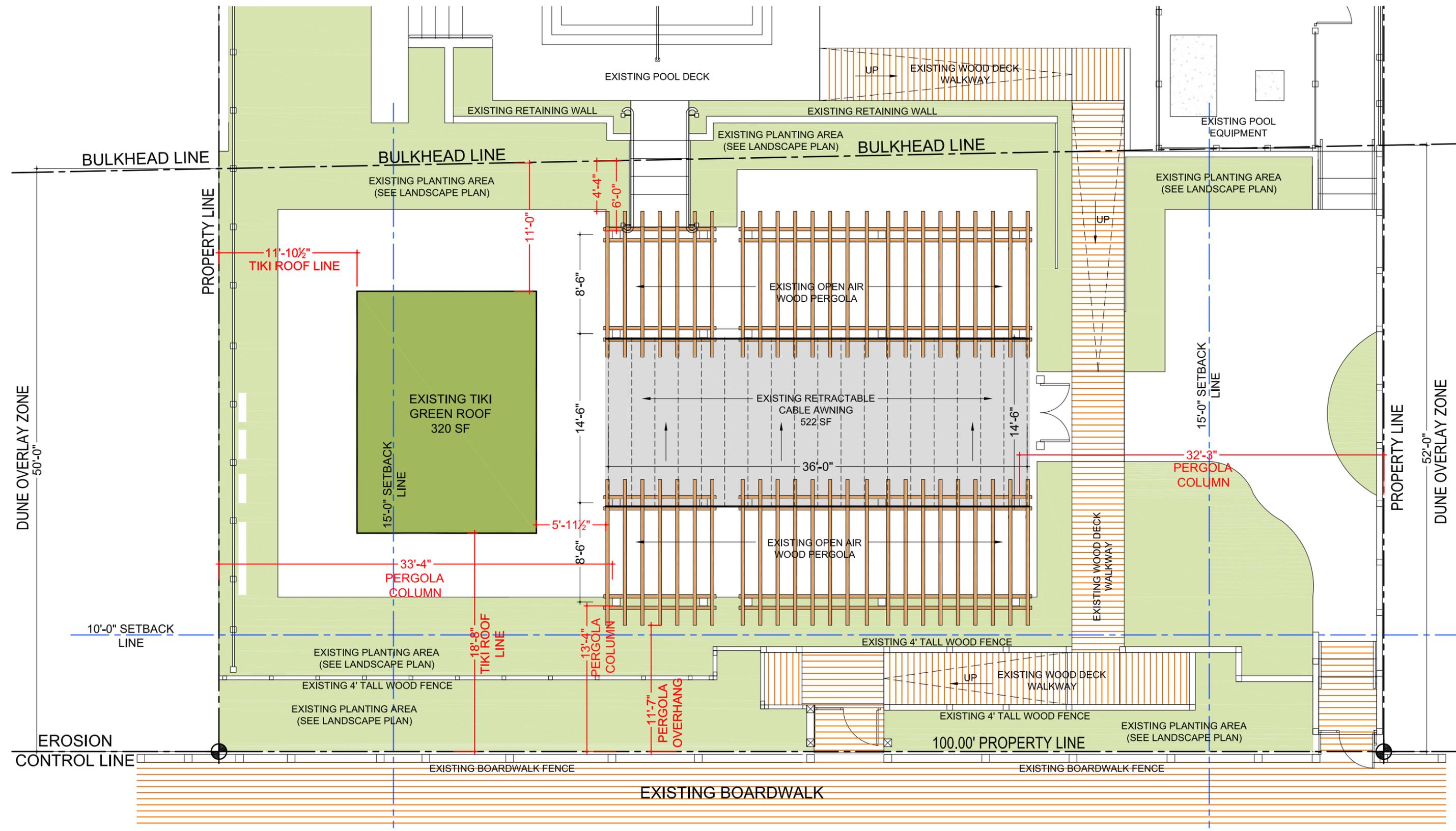
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MANDOLIN PROPOSED PAVING PLAN

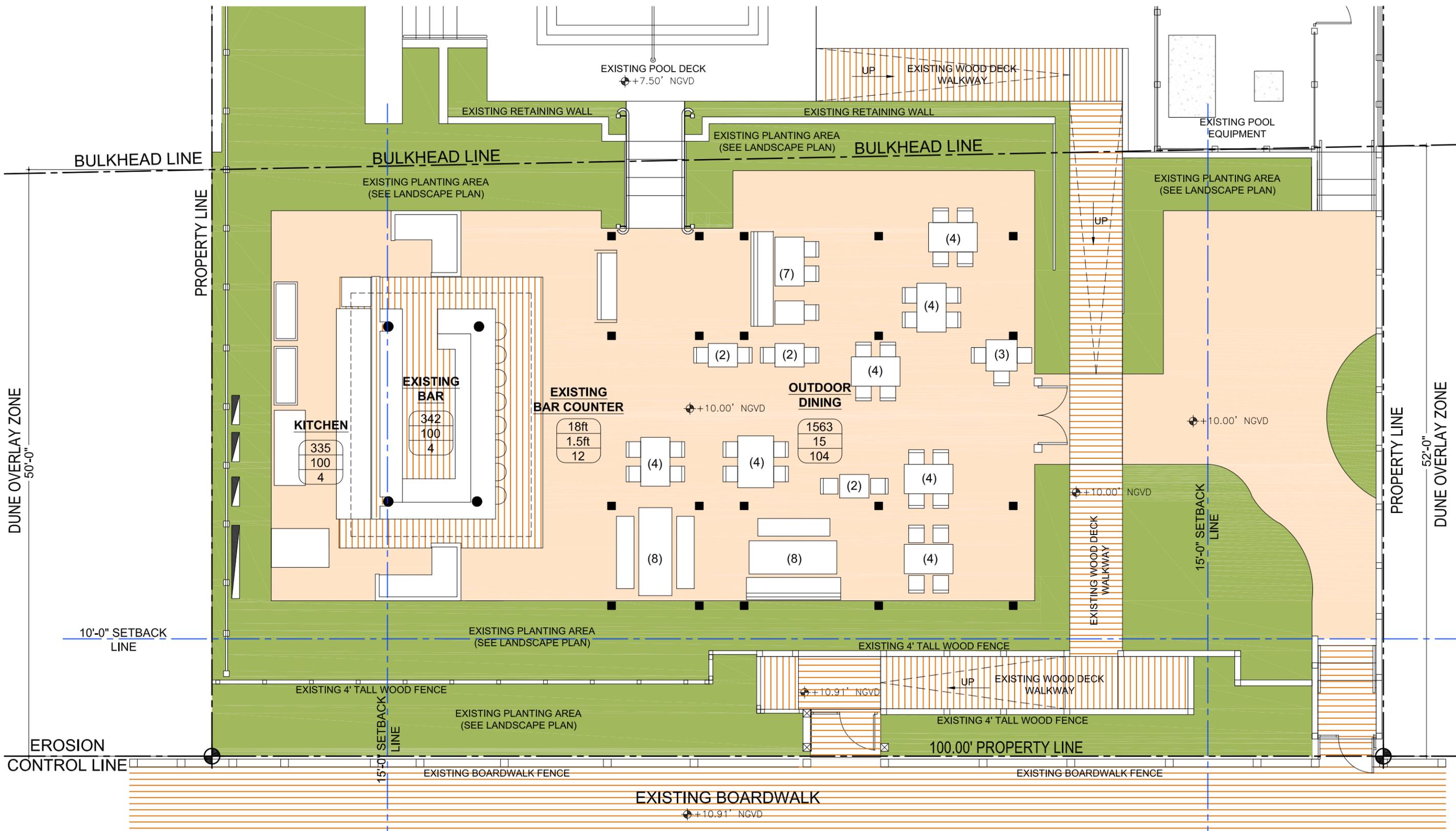
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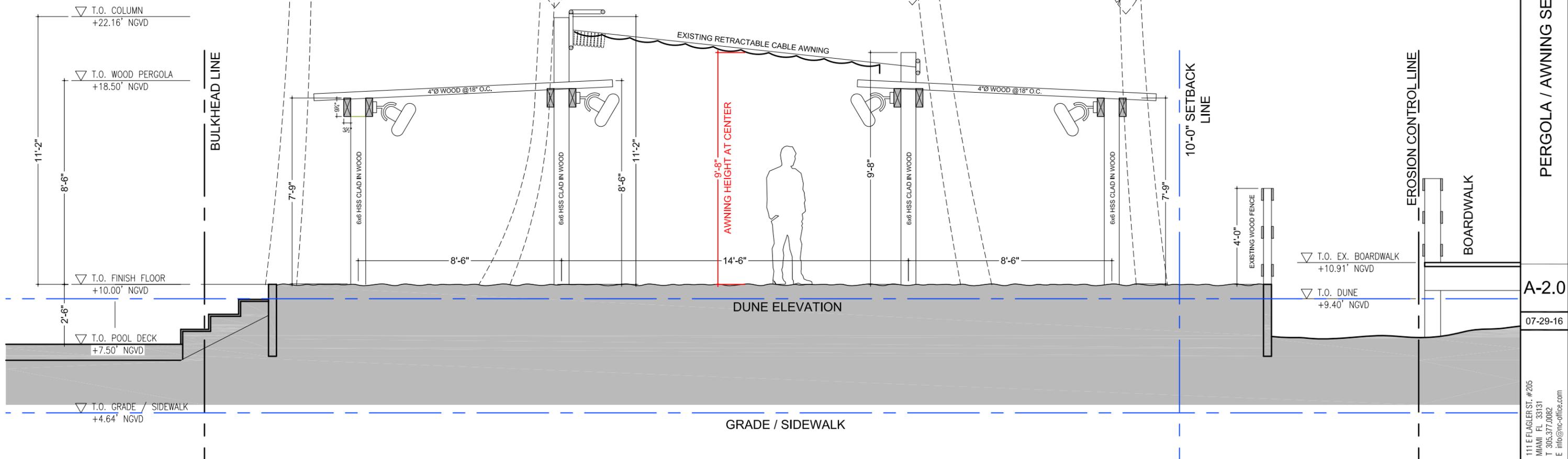
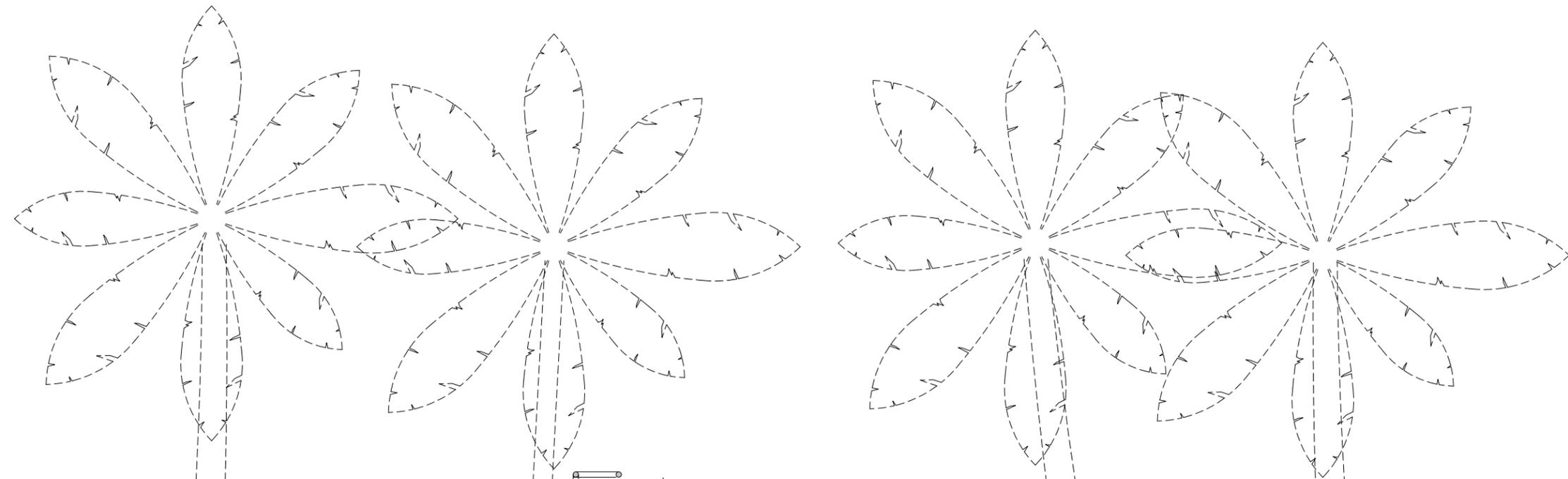
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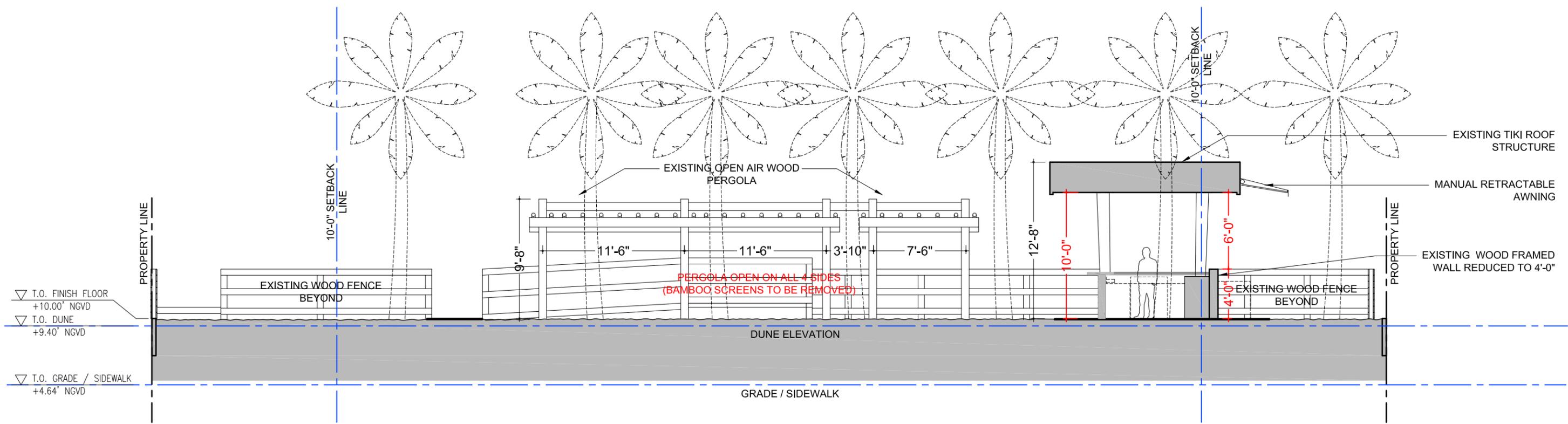
MANDOLIN PROPOSED ROOF PLAN
SCALE: 1/8" = 1'-0"

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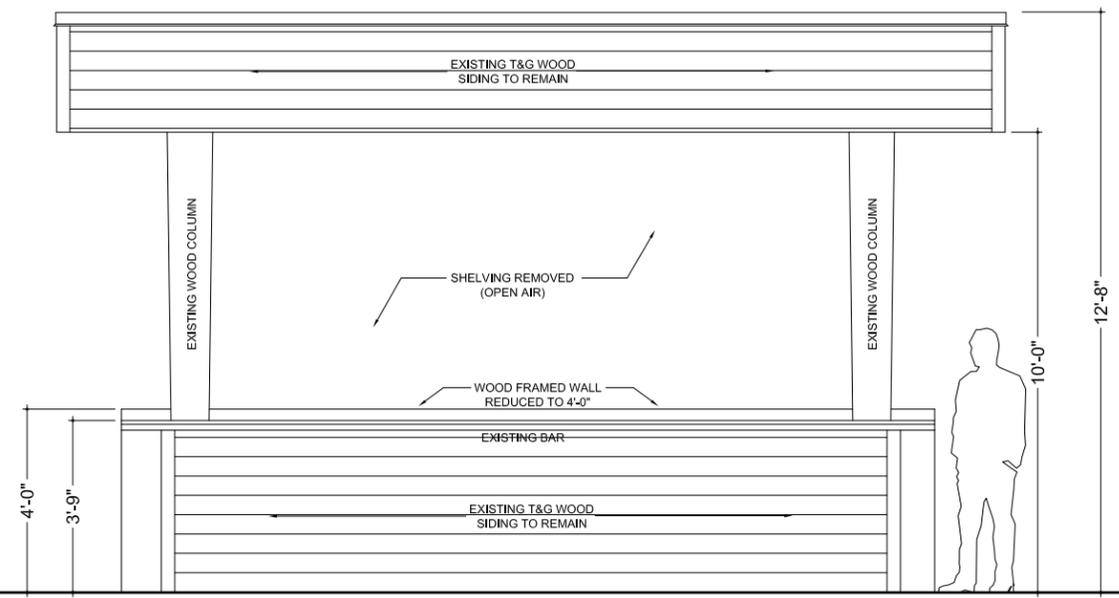


PERGOLA / AWNING SECTION
SCALE: 1/4" = 1'-0"

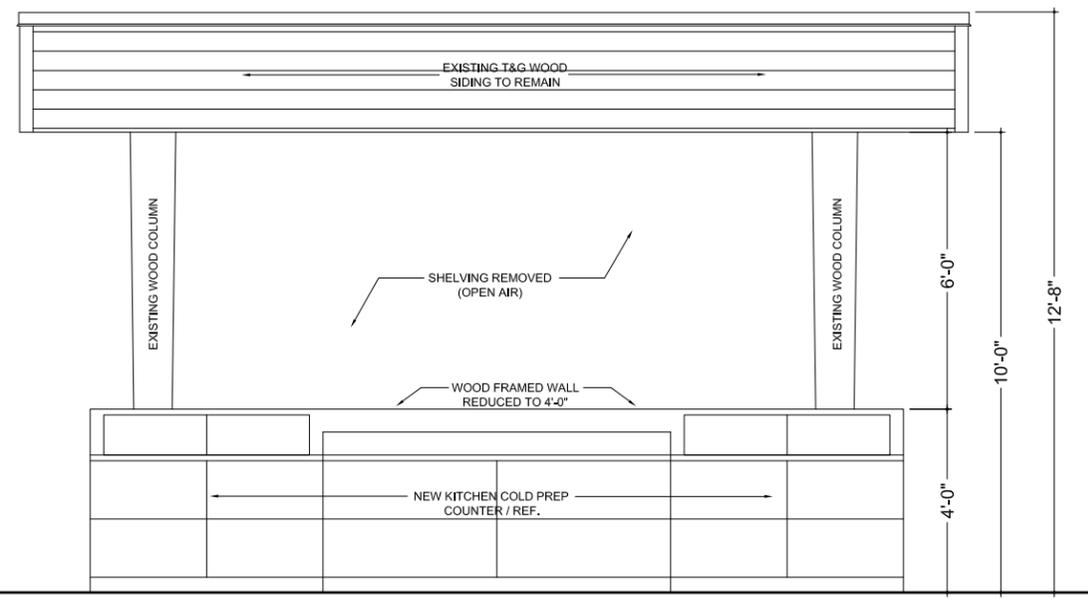


PERGOLA / AWNING WEST ELEVATION
SCALE: 1/8" = 1'-0"

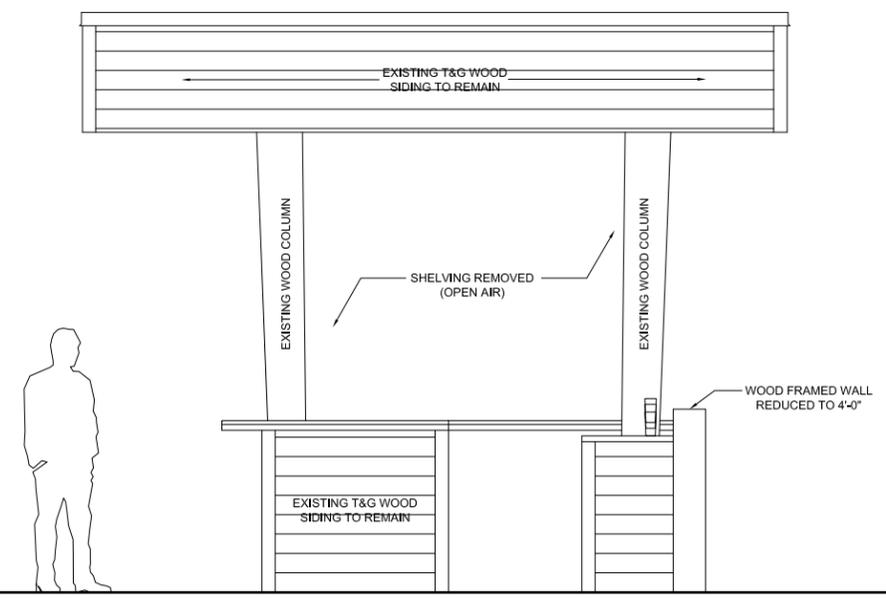
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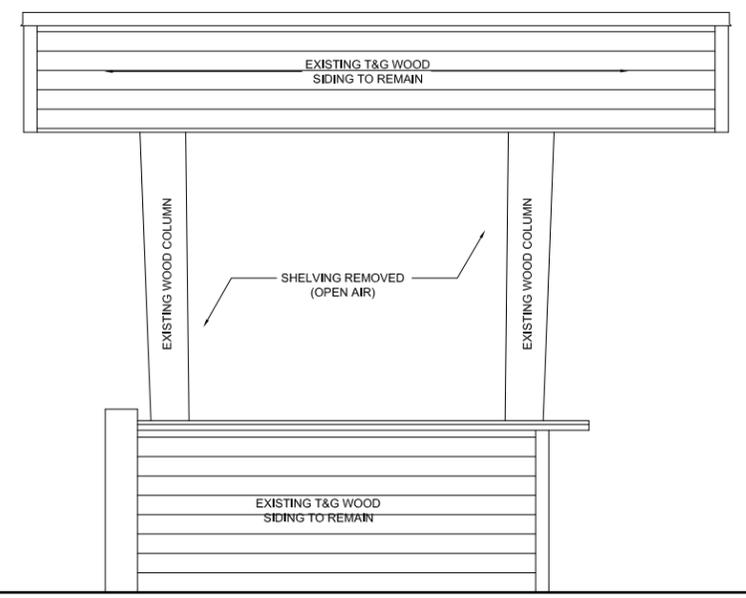
EXISTING TIKI (NORTH) ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING TIKI (SOUTH) ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING TIKI (WEST) ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING TIKI (EAST) ELEVATION
SCALE: 1/4" = 1'-0"

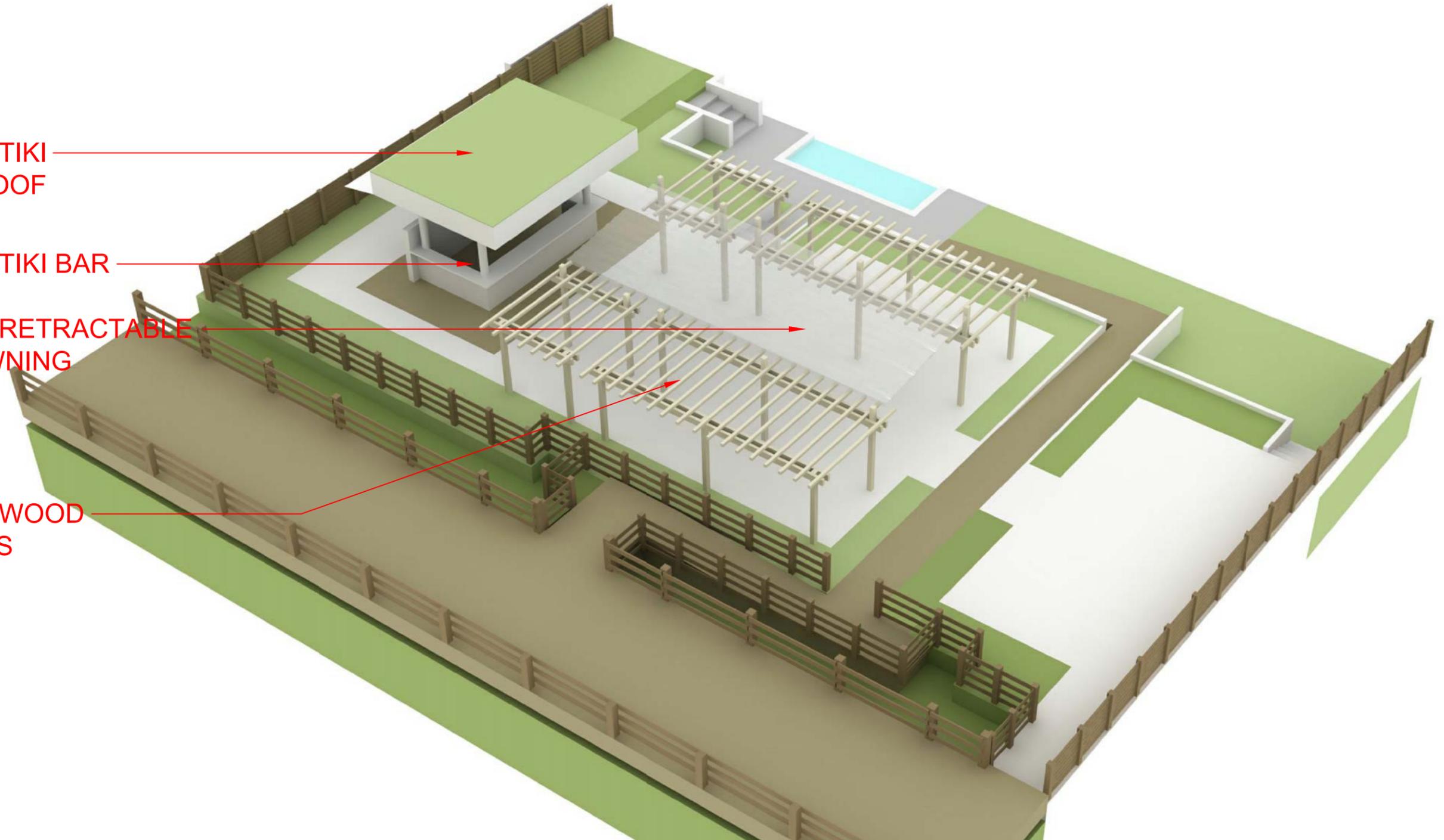
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EXISTING TIKI
GREEN ROOF

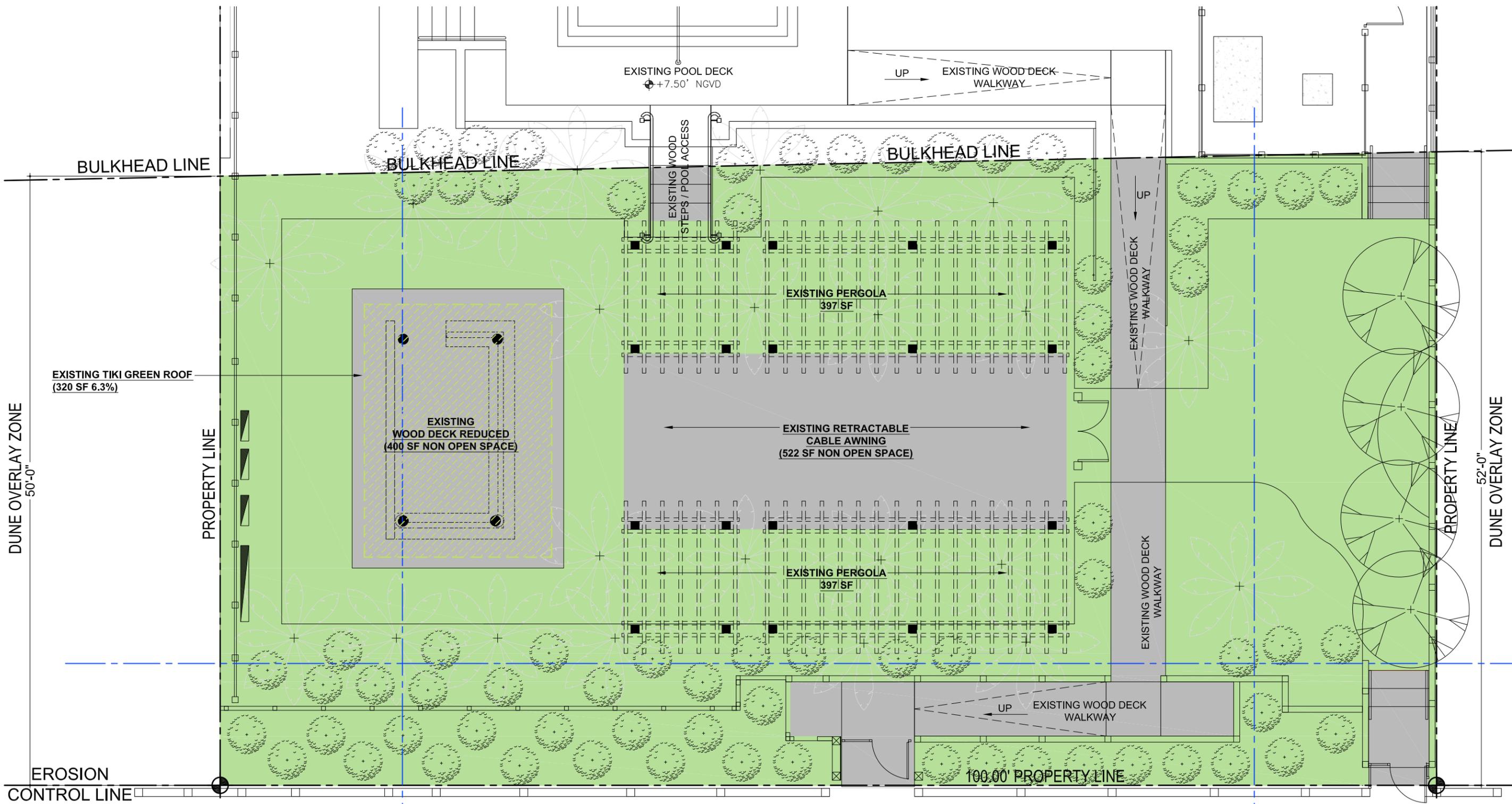
EXISTING TIKI BAR

EXISTING RETRACTABLE
CABLE AWNING

EXISTING WOOD
PERGOLAS



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OPEN SPACE REQUIREMENTS (Dune Overlay Zone 142.775)

	REQUIRED	PROVIDED
OPEN SPACE RATIO	5,070 SF x 0.8 = 4,056 SF (80%)	AWNINGS CLOSED 5,070 SF - 877 SF = 4,193 SF (82.70%) AWNINGS OPEN 5,070 SF - 1,399 SF = 3,671 SF (72.40%)
NON OPEN SPACE	AREA (SF / %)	OPEN SPACE
Tiki Wood Deck (Reduced)	400 (7.88%)	Existing & New Planting Area
Concrete Pavers (Removed)	0 (0%)	New Sand & Coquina
Wood Walkways (Reduced)	477 (9.41%)	
Existing Retractable Cable Awning	522 (10.29%)	
TOTAL (awning closed)	877 (17.30%)	TOTAL (awning closed)
TOTAL (awning open)	1,399 (27.60%)	TOTAL (awning open)

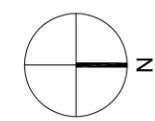
HATCH LEGEND



OPEN SPACE



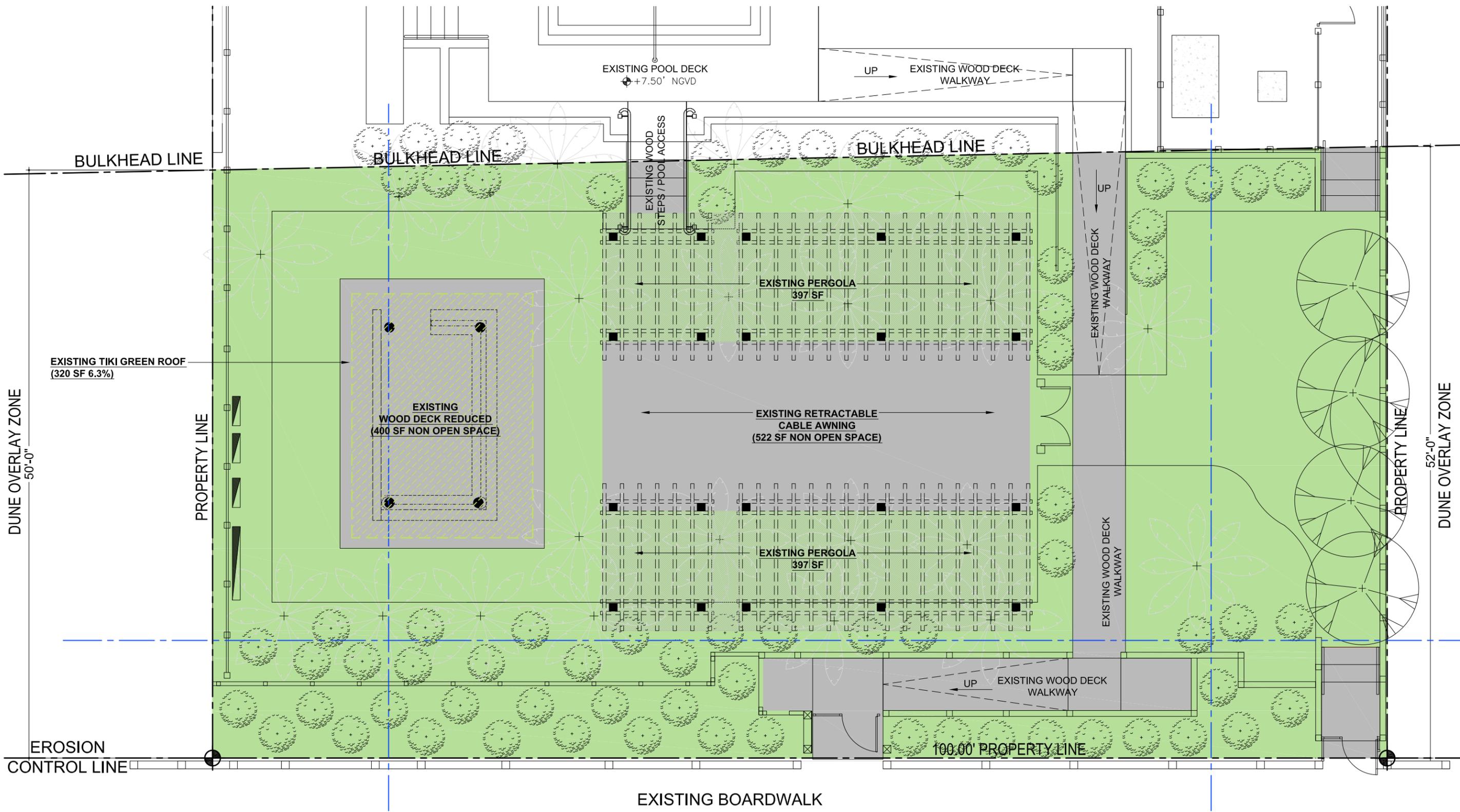
NON OPEN SPACE



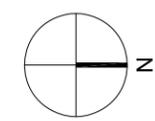
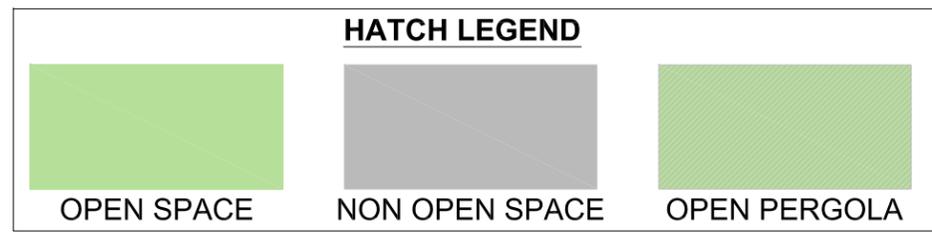
DUNE OVERLAY
PROPOSED OPEN SPACE DIAGRAM

SCALE: 1/8" = 1'-0"

REVISED

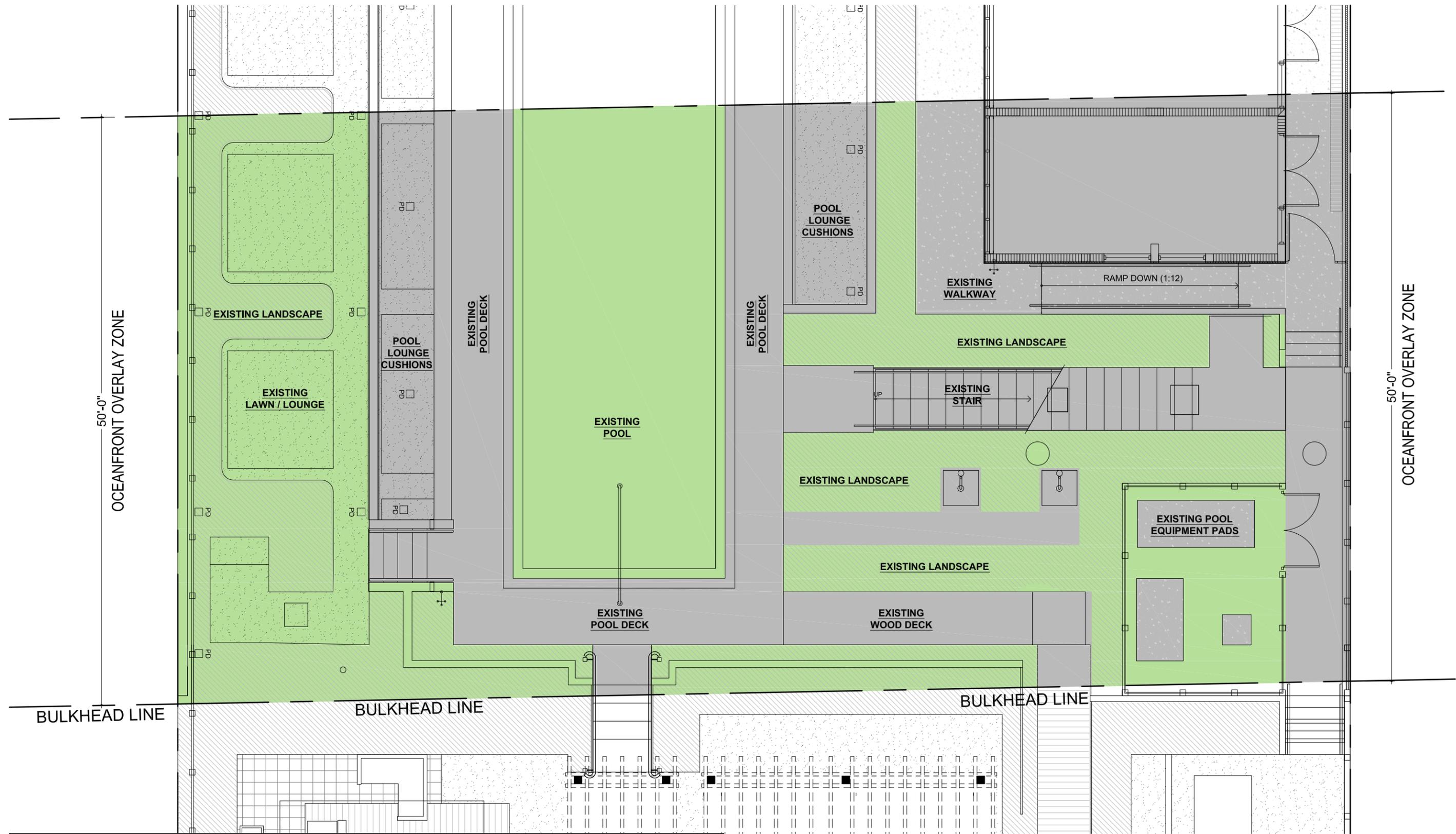


OPEN SPACE REQUIREMENTS (Dune Overlay Zone 142.775)			
	REQUIRED	PROVIDED	
OPEN SPACE RATIO	5,070 SF x 0.8 = 4,056 SF (80%)	AWNINGS CLOSED 5,070 SF - 1,671 SF = 3,399 SF (67%)	
		AWNINGS OPEN 5,070 SF - 2,193 SF = 2,877 SF (56.75%)	
NON OPEN SPACE	AREA (SF / %)	OPEN SPACE	AREA (SF / %)
Tiki Wood Deck (Reduced)	400 (7.88%)	Existing & New Planting Area	1,837 (36.23%)
Concrete Pavers (Removed)	0 (0%)	New Sand & Coquina	1,558 (30.73%)
Wood Walkways (Reduced)	477 (9.41%)		
Existing Retractable Cable Awning	522 (10.29%)		
Existing Open Pergolas	794 (14.67%)		
TOTAL (awning closed)	1,671 (32.95%)	TOTAL (awning closed)	3,399 (67%)
TOTAL (awning open)	2,193 (43.25%)	TOTAL (awning open)	2,877 (56.75%)



DUNE OVERLAY
PROPOSED OPEN SPACE DIAGRAM
SCALE: 1/8" = 1'-0"

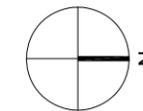
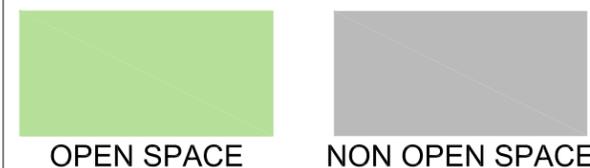
REVISED



EXISTING OPEN SPACE REQUIREMENTS (Oceanfront Overlay Zone 142-802)

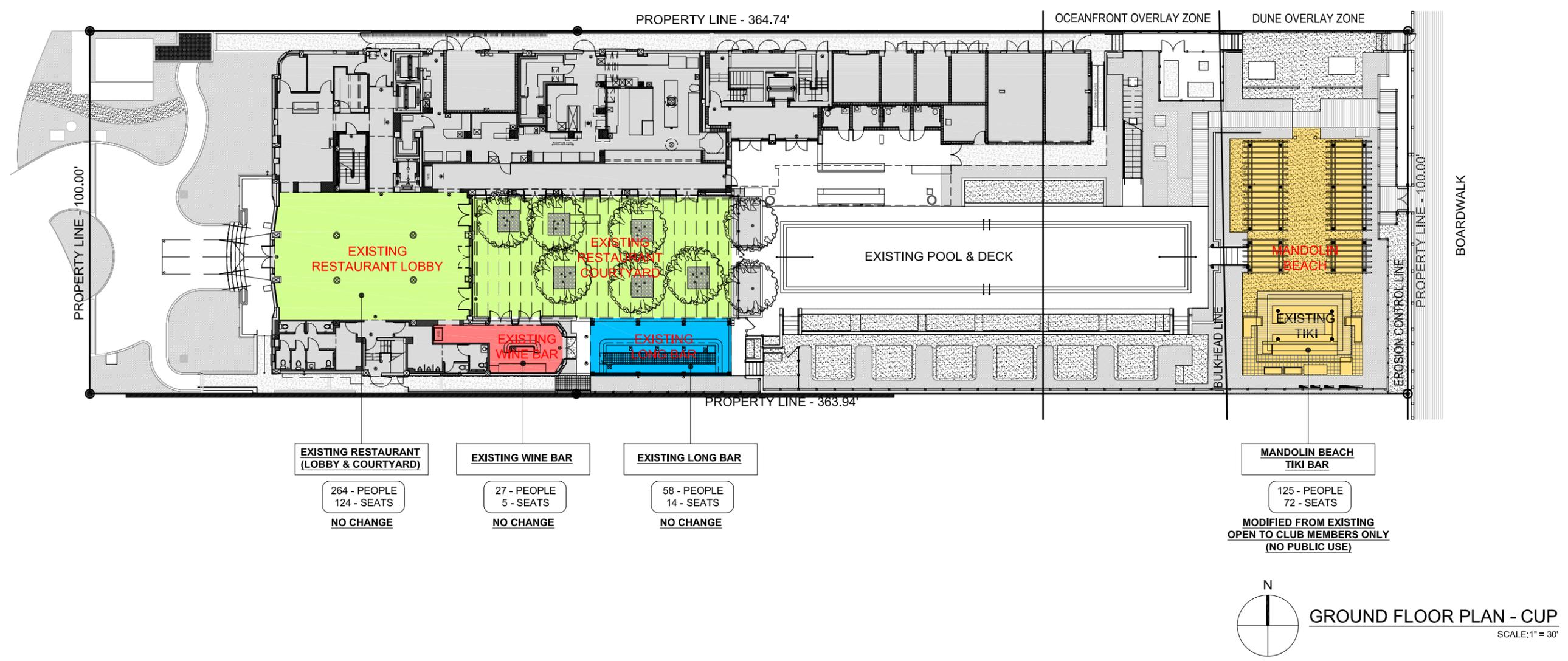
	REQUIRED	EXISTING	
OPEN SPACE RATIO	5,010 SF x 0.5 = 2,505 SF (50%)	5,010 SF - 2,434 SF = 2,576 SF (51.41%)	
NON OPEN SPACE	AREA (SF / %)	OPEN SPACE	AREA (SF / %)
Pool deck, pool lounge cushions, stair and walkways	2,434 (48.58%)	Pool, landscape area and pervious ground cover	2,576 (51.41%)

HATCH LEGEND



OCEANFRONT OVERLAY EXISTING OPEN SPACE DIAGRAM
SCALE: 1/8" = 1'-0"

REVISED



EXISTING RESTAURANT (LOBBY & COURTYARD)
264 - PEOPLE
124 - SEATS
NO CHANGE

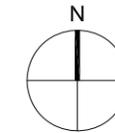
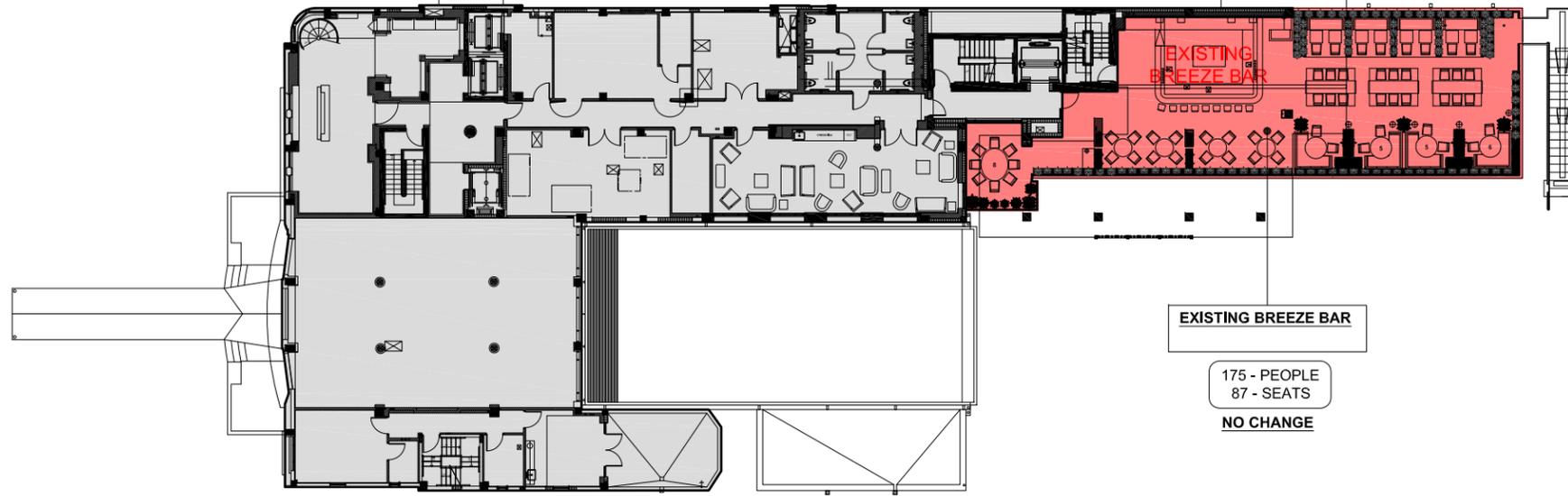
EXISTING WINE BAR
27 - PEOPLE
5 - SEATS
NO CHANGE

EXISTING LONG BAR
58 - PEOPLE
14 - SEATS
NO CHANGE

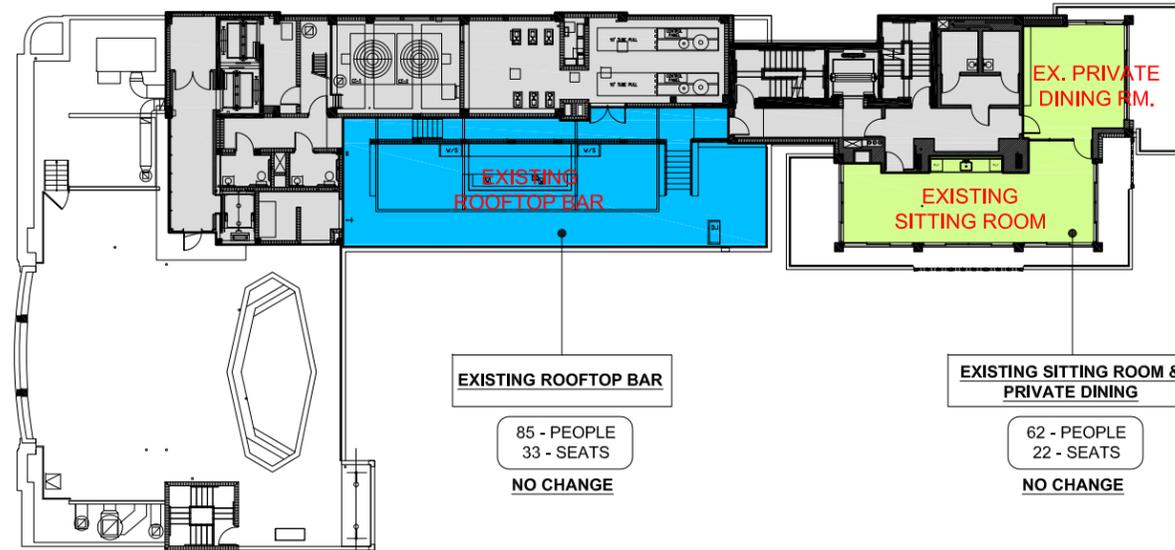
MANDOLIN BEACH TIKI BAR
125 - PEOPLE
72 - SEATS
MODIFIED FROM EXISTING
OPEN TO CLUB MEMBERS ONLY
(NO PUBLIC USE)

EXISTING APPROVED Conditional Use Permit – Summary of Accessory Uses (PB File No. 1959)										
AREA	FLOOR	INDOOR / OUTDOOR	MAXIMUM OCCUPANCY LOAD	SEAT COUNT	HOUR OF OPERATION	ENTERTAINMENT (NOT LIVE)	LIVE PERFORMANCE	AMBIENT / BACKGROUND MUSIC ONLY	DANCE HALL LICENSE	FOOD SERVICE AVAILABLE
RESTAURANT (LOBBY & COURTYARD)	1	BOTH	264	124	OPEN 7 am CLOSE 2 am	NO	NO	YES	NO	YES
WINE BAR	1	INDOOR	27	5	OPEN 7 am CLOSE 2 am	NO	NO	YES	NO	YES
LONG BAR	1	OUTDOOR	58	14	OPEN 7 am CLOSE 2 am	NO	NO	YES	NO	YES
TIKI HUT & REAR YARD	1	OUTDOOR	91	28	OPEN 12 pm CLOSE 2 am	NO	NO	YES	NO	YES
BREEZE BAR	2	OUTDOOR	175	87	OPEN 7 am CLOSE 4 am	NO	NO	YES	NO	YES
ROOFTOP BAR	8	OUTDOOR	85	33	OPEN 7 am CLOSE 2 am	NO	NO	YES	NO	YES
SITTING ROOM & PRIVATE DINING ROOM	8	INDOOR	62	22	OPEN 7 am CLOSE 2 am	NO	NO	YES	NO	YES
TOTALS			762	313						

PROPOSED MODIFICATION TO EXISTING Conditional Use Permit – (PB File No. 1959)										
AREA	FLOOR	INDOOR / OUTDOOR	MAXIMUM OCCUPANCY LOAD	SEAT COUNT	HOUR OF OPERATION	ENTERTAINMENT (NOT LIVE)	LIVE PERFORMANCE	AMBIENT / BACKGROUND MUSIC ONLY	DANCE HALL LICENSE	FOOD SERVICE AVAILABLE
RESTAURANT (LOBBY & COURTYARD)	1	BOTH	264	124	OPEN 7 am CLOSE 2 am	NO	NO	YES	NO	YES
WINE BAR	1	INDOOR	27	5	OPEN 7 am CLOSE 2 am	NO	NO	YES	NO	YES
LONG BAR	1	OUTDOOR	58	14	OPEN 7 am CLOSE 2 am	NO	NO	YES	NO	YES
MANDOLIN BEACH - TIKI HUT	1	OUTDOOR	125	72	OPEN 12 pm CLOSE 2 am	NO	NO	YES	NO	YES
BREEZE BAR	2	OUTDOOR	175	87	OPEN 7 am CLOSE 4 am	NO	NO	YES	NO	YES
ROOFTOP BAR	8	OUTDOOR	85	33	OPEN 7 am CLOSE 2 am	NO	NO	YES	NO	YES
SITTING ROOM & PRIVATE DINING ROOM	8	INDOOR	62	22	OPEN 7 am CLOSE 2 am	NO	NO	YES	NO	YES
TOTALS			796	357						



SECOND FLOOR PLAN - CUP
SCALE: 1" = 30'



8th FLOOR PLAN - CUP
SCALE: 1" = 30'