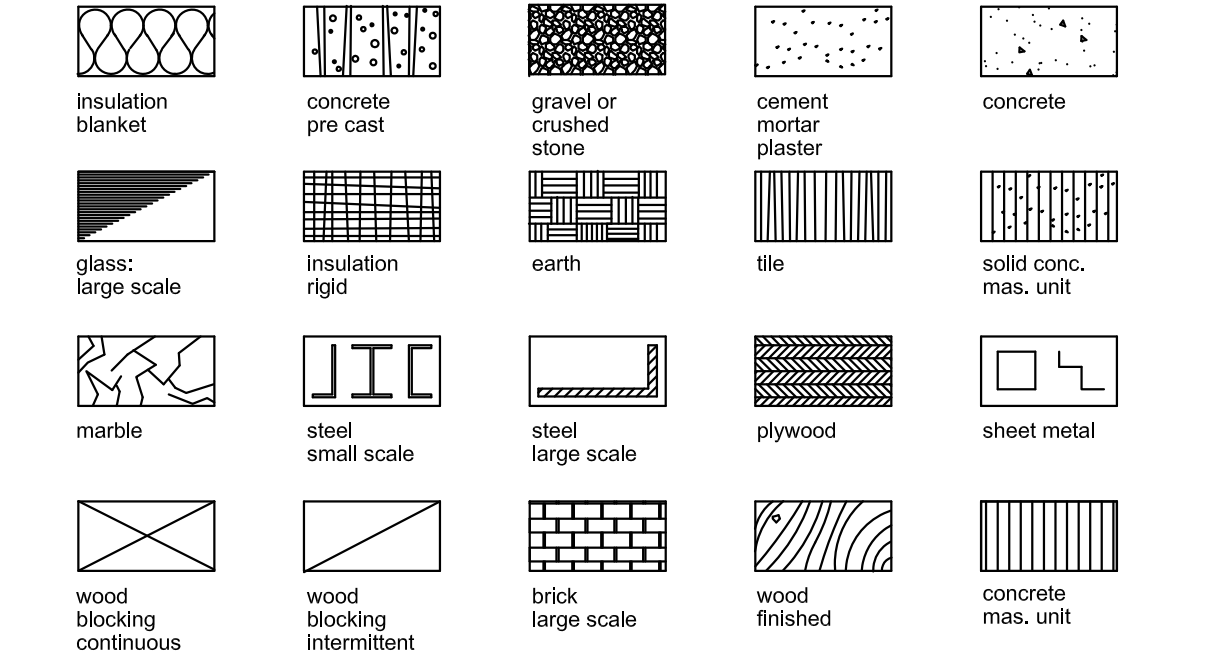


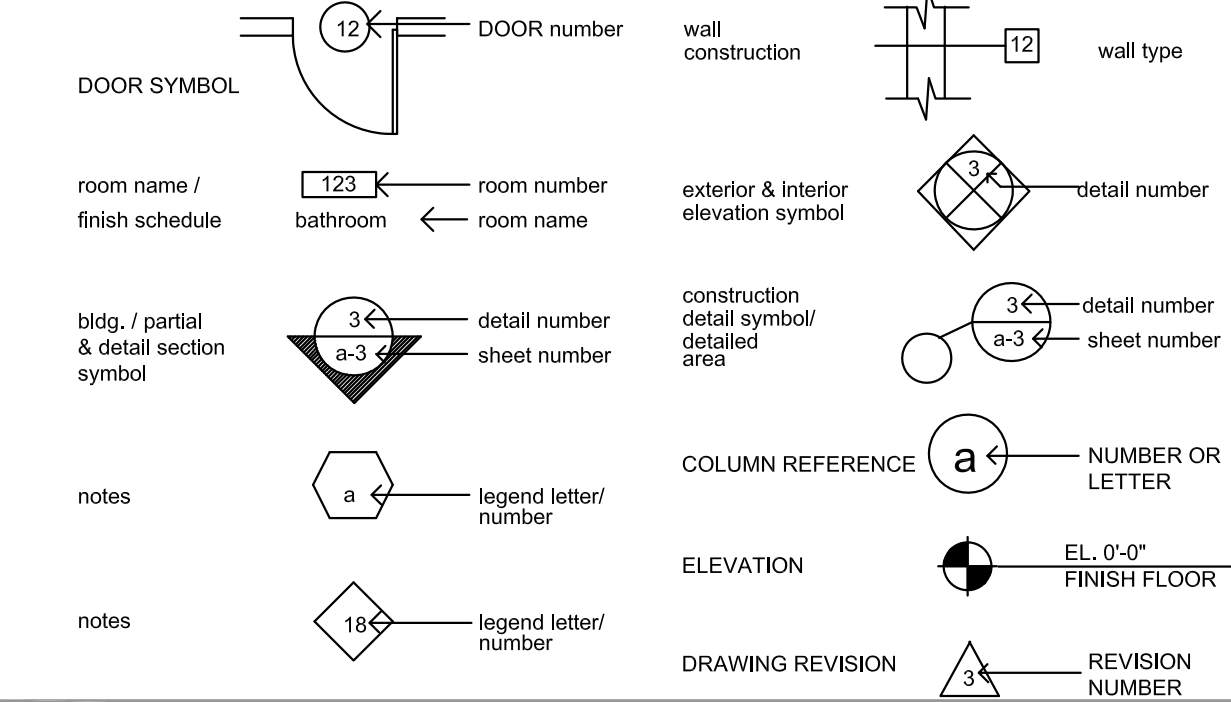
ABBREVIATIONS

<b>A</b>	ACOUS. A.C. ADJ. AGGR. AL APPROX. ARCH. ASB. ASPH.	ACOUSTICAL AIR CONDITIONING AREA DRAIN ADJUSTABLE AGGREGATE ALUMINUM APPROXIMATE ARCHITECTURAL ASBESTOS ASPHALT
<b>B</b>	BD. BITUM. BLDG. BLK. BLKG. BLKHD. BM. BOT.	BOARD BITUMINOUS BUILDING BLOCK BLOCKING BULKHEAD BEAM BOTTOM
<b>C</b>	CAB. CARP. C.B. CEM. CER. C.I. C.G. CLG. CLKG. CLO. CLR. C.M.U. C.O. COL. CONC. CONN. CONSTR. CONT. CORR. CTSK. CNTR. C.T. CTR.	CABINET CARPET CATCH BASIN CEMENT CERAMIC CAST IRON CORNER GUARD CEILING CAULKING CLOSET CLEAR CONCRETE MASONRY UNIT CASED OPENING COLUMN CONCRETE CONNECTION CONSTRUCTION CONTINUOUS CORRIDOR COUNTERSUNK COUNTER CERAMIC TILE CENTER
<b>D</b>	DBL. DEPT. D.F. DET. DIA. DIM. DISP. DN. D.O. DR. DWR. DS. D.S.P. DWG.	DOUBLE DEPARTMENT DRINKING FOUNTAIN DETAIL DIAMETER DIMENSION DISPENSER DOWN DOOR OPENING DOOR DRAWER DOWN SPOUT DRY STANDPIPE DRAWING
<b>E</b>	E. EA. E.J. EL. ELEC. ELEV. EMER. ENCL. E.P. EQ. EQPT. E.S.  E.W.C. EXST. EXP0. EXP. EXT.	EAST EACH EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR EMERGENCY ENCLOSURE ELECTRICAL PANEL BOARD EQUAL EQUIPMENT EMERGENCY OVERFLOW SCUPPER ELECTRIC WATER COOLER EXISTING EXPOSED EXPANSION EXTERIOR
<b>F</b>	F.A. F.B. F.D. FDN. F.E. F.E.C. F.H.C. FIN. FL. FLASH. FLUOR. F.O.C. F.O.F. F.O.S. FRF. F.S. FT. FTG. FURR. FUTURE F.V. F.V.C.	FIRE ALARM FLAT BAR FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER CAB. FIRE HOSE CABINET FINISH FLOOR FLASHING FLUORESCENT FACE OF CONCRETE FACE OF FINISH FACE OF STUDS FIREPROOF FULL SIZE FOOT OR FEET FURRING FUTURE FIELD VERIFY FIRE VALVE CABINET
<b>G</b>	GA. GALV. G.B. G.C. GL. GND. GR. GYP. G.W.B.	GAUGE GALVANIZED GRAB BAR GENERAL CONTRACTOR GLASS GROUND GRADE GYPSUM GYPSUM WALLBOARD
<b>H</b>	H.B. H.C. HDWD. HDWE. H.M. HORIZ. HR. HGT.	HOSE BIB HOLLOW CORE HARD WOOD HARDWARE HOLLOW METAL HORIZONTAL HOUR HEIGHT
<b>I</b>	I.D. IN. INSUL. INT. INV.	INSIDE DIAMETER (DIM.) INCH INSULATION INTERIOR INVERT
<b>J</b>	JAN. JST. JT.	JANITOR JOIST JOINT
<b>K</b>	KIT.	KITCHEN
<b>L</b>	LAB. LAM. LAV. L.F. LKR. LT. LTG. LTWT.	LABORATORY LAMINATE LAVATORY LINEAR FEET LOCKER LIGHT LIGHTING LIGHT WEIGHT
<b>M</b>	MAX. M.C. MACH. MECH. MEMB. MET. MFR. MH. MIN. MIR. MISC. M.L. M.O. MTD. MUL.	MAXIMUM MEDICINE CABINET MACHINE MECHANICAL MEMBRANE METAL MANUFACTURER MANHOLE MINIMUM MIRROR MISCELLANEOUS MATCH LINE MASONRY OPENING MOUNTED MULLION
<b>N</b>	N. N.I.C. NO. OR # NOM. N.T.S.	NORTH NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE
<b>O</b>	O.A. OBS. O.C. O.D. OFF. OPNG. OP. HD. OPP.	OVERALL OBSCURE ON CENTER OUTSIDE DIMENSION OFFICE OPENING OPPOSITE HAND OPPOSITE
<b>P</b>	PRCST. P.L. P.T. PL. P.LAM. PLAS. PLYWD. POL. PR. PT. P.T.D.	PRE-CAST PROPERTY LINE PRESSURE TREATED PLATE PLASTIC LAMINATE PLASTER PLYWOOD POLISHED PAIR POINT PAPER TOWEL DISPENSER
<b>Q</b>	PTN. PTR.	PARTITION PAPER TOWEL RECEPTACLE
<b>Q</b>	Q.T.	QUARRY TILE
<b>R</b>	R. RAD. R.D. REF. REFL. REFR. RF. RGRTR. REINF. REQ. RESIL. RM. R.O. RWD. R.W.L.	RISER RADIUS ROOF DRAIN REFERENCE REFLECTED REFRIGERATOR ROOF REGISTER REINFORCED REQUIRED RESILIENT ROOM ROUGH OPENING REDWOOD RAIN WATER LEADER
<b>S</b>	S. SABF S.C. S.C.D. SCHED. S.D. SECT. SH. SHR. SHT. SIM. S.N.D.	SOUTH SOUND ATTENUATION FIRE BLANKETS SOLID CORE SEAT COVER DISPENSER SCHEDULE SOAP DISPENSER SECTION SHELF SHOWER SHEET SIMILAR SANITARY NAPKIN DISPENSER SANITARY NAPKIN RECEPTACLE SPECIFICATION SQUARE S.S.T. S.S.K. STA. STD. STL. STOR. STR.L. SUSP. SYM.
<b>T</b>	TRD. T.B. T.C. TEL. TEMP. T. & G. THK. TOIL. T.P. T.P.D. T.V. T.W. T.O.B. T.O.C. T.O.S.	TREAD TOWEL BAR TOP OF CURB TELEPHONE TEMPERED TONGUE AND GROOVE THICK TOILET TOP OF PAVEMENT TOILET PAPER DISPENSER TELEVISION TOP OF WALL TYPICAL TOP OF BEAM TOP OF CONCRETE TOP OF SLAB
<b>U</b>	UNF. U.O.N. UR.	UNFINISHED UNLESS OTHERWISE NOTED URINAL UNDERWRITERS LAB
<b>V</b>	V.I.F. VERT. V.T. VEST. V.B.	VERIFY IN FIELD VERTICAL VINYL TILE VESTIBULE VAPOR BARRIER
<b>W</b>	W. WT. W/ W.C. WD. W/O WP. WSCT.	WEST WEIGHT WITH WATER CLOSET WOOD WITHOUT WATERPROOF WAINSCOT

MATERIAL LEGEND



SYMBOL LEGEND



PROJECT TEAM

OWNER:	433 LINCOLN RD LLC 1244 6TH STREET SANTA MONICA, CA 90401 Phone: (310) 319, 1600
PROJECT ARCHITECT:	BEILINSON GOMEZ ARCHITECTS PA JOSE L. GOMEZ AR0015416 8101 BISCAYNE BLVD., SUITE 309-310 MIAMI, FL 33138-4664 TEL. (305) 559,1250 FAX. (305) 551,1740

DRAWING INDEX

ARCHITECTURAL	
A-001	PROJECT & ZONING INFORMATION
A-002	SURVEY
SP-101	SITE IMAGES
A-101	SITE PLAN
A-101	EXIST. FLOOR PLAN & FRONT ELEVATION, SIGNAGE DETAILS

BEILINSON  
GOMEZ

ARCHITECTS PA

ARCHITECTURE AAC001062  
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MIAMI FL 33138-4664  
TEL. (305) 559,1250  
FAX (305) 551,1740  
beilinsonarchitectspa.com

APPLICABLE CODES

GOVERNING ZONING CODE:	MIAMI BEACH, FLORIDA CODE OF ORDINANCE
RESIDENTIAL CODE:	FLORIDA RESIDENTIAL CODE 2014
EXISTING BUILDING:	FLORIDA BUILDING CODE: EXISTING BUILDING CODE 2014
STRUCTURAL:	FLORIDA BUILDING CODE 2014
PLUMBING:	FLORIDA BUILDING CODE 2014 - PLUMBING
MECHANICAL:	FLORIDA BUILDING CODE 2014 - MECHANICAL
ELECTRICAL:	FLORIDA BUILDING CODE - 2014 EDITION
ACCESSIBILITY:	FLORIDA BUILDING CODE 2014
FIRE PROTECTION:	FLORIDA FIRE PREVENTION CODE - 2012 5TH EDITION

PROJECT INFORMATION

SCOPE OF WORK

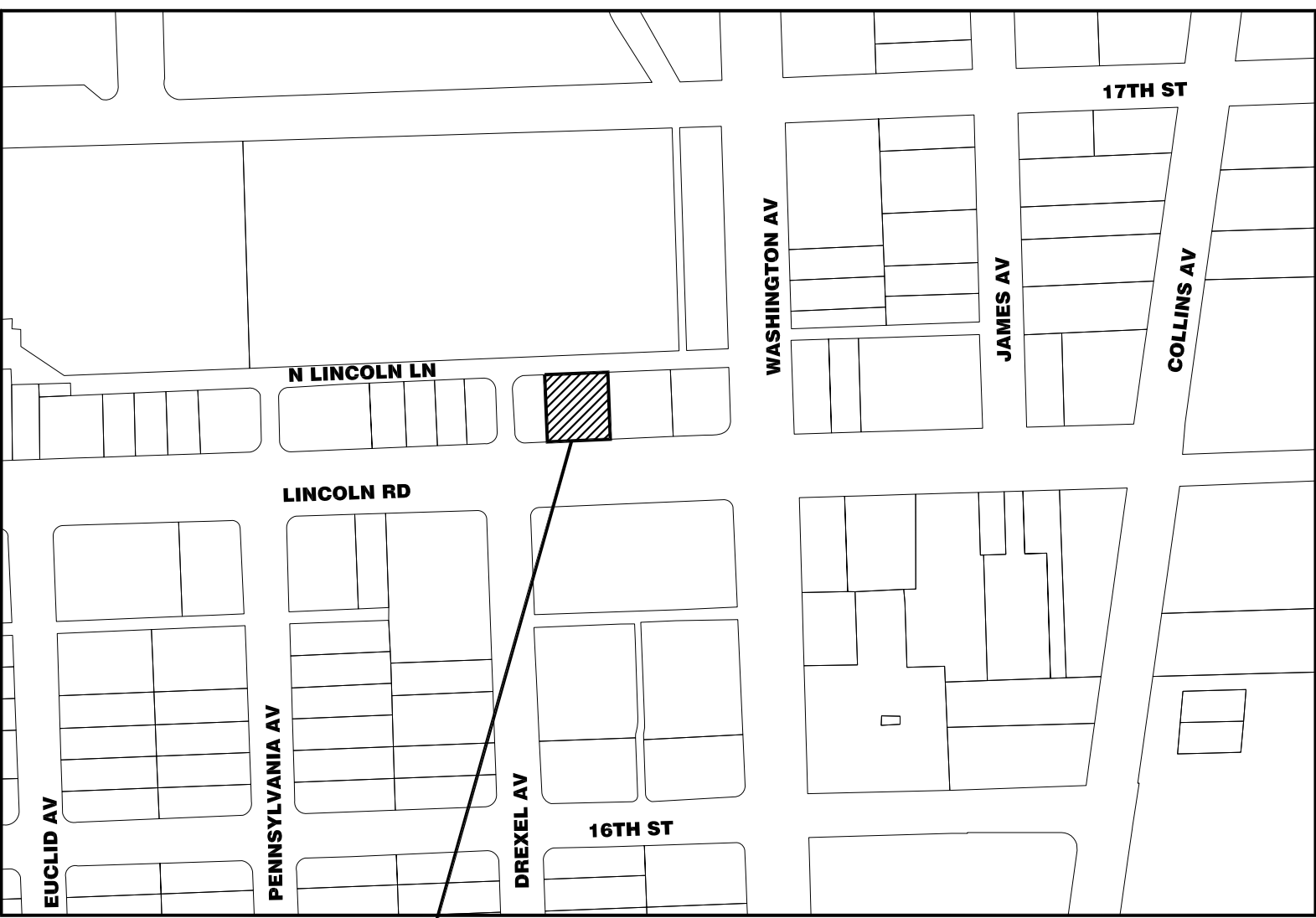
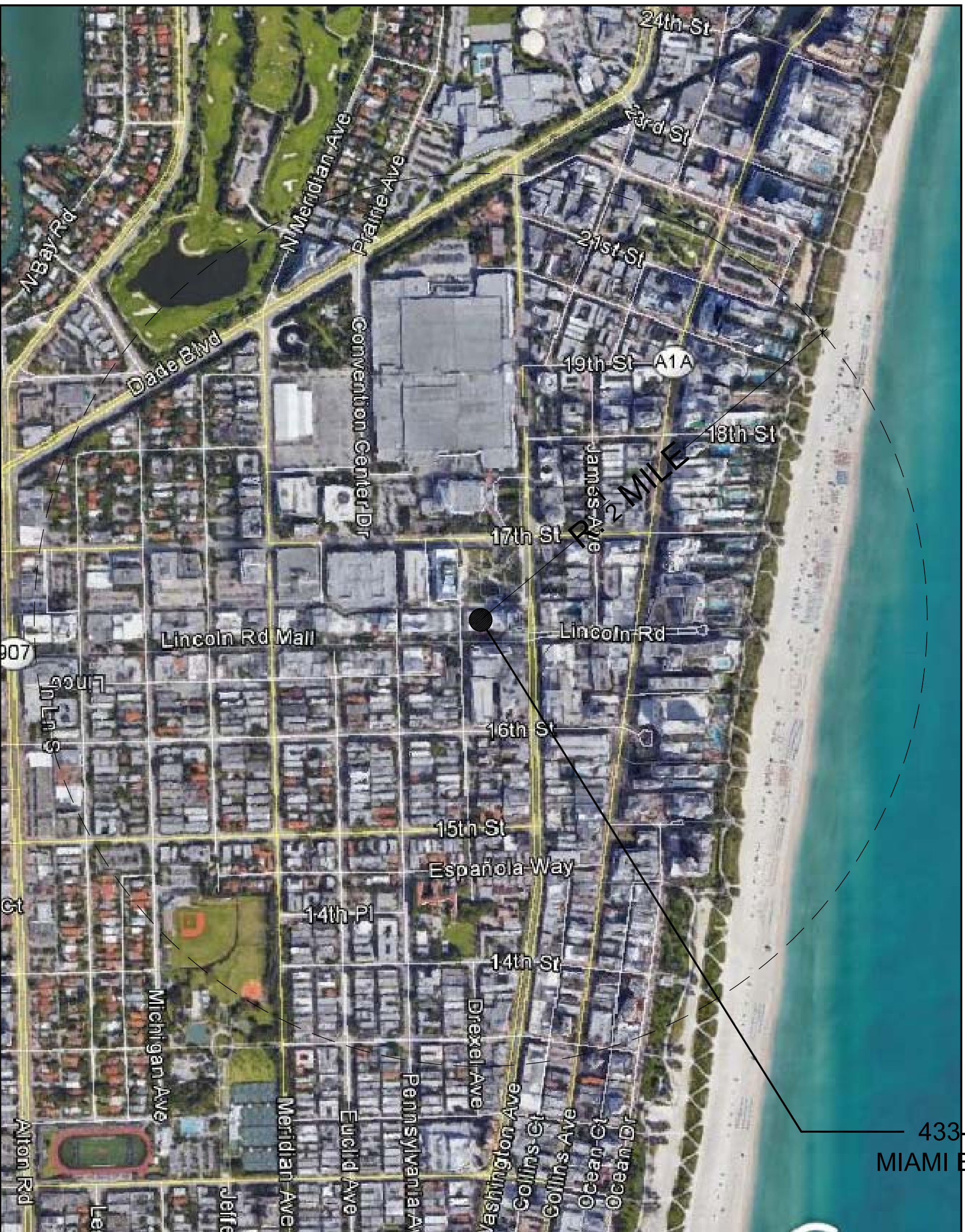
NEW SIGN & ASSOCIATED ARCHITECTURAL CHANGES TO EXISTING HISTORIC FACADE

LEGAL DESCRIPTION

LOT 2 & 3, BLOCK 3 "LINCOLN ROAD SUBDIVISION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 34, AT PAGE 66, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY FLORIDA.

ZONING SUMMARY

PROJECT ADDRESS:	433-441 LINCOLN ROAD MIAMI BEACH, FL 33139
FOLIO NUMBER (S):	02-3234-005-0110
ZONING DISTRICT:	CD-3 COMMERCIAL, HIGH INTENSITY
YEAR BUILT:	1940
OCCUPANCY:	MERCANTILE EXISTING RETAIL OUTLET



LOCATION MAP  
SCALE: N.T.S.

HPB FINAL SUBMITTAL: 04-24-17

433-441 LINCOLN RD  
433-441 LINCOLN RD  
MIAMI BEACH, FL 33139

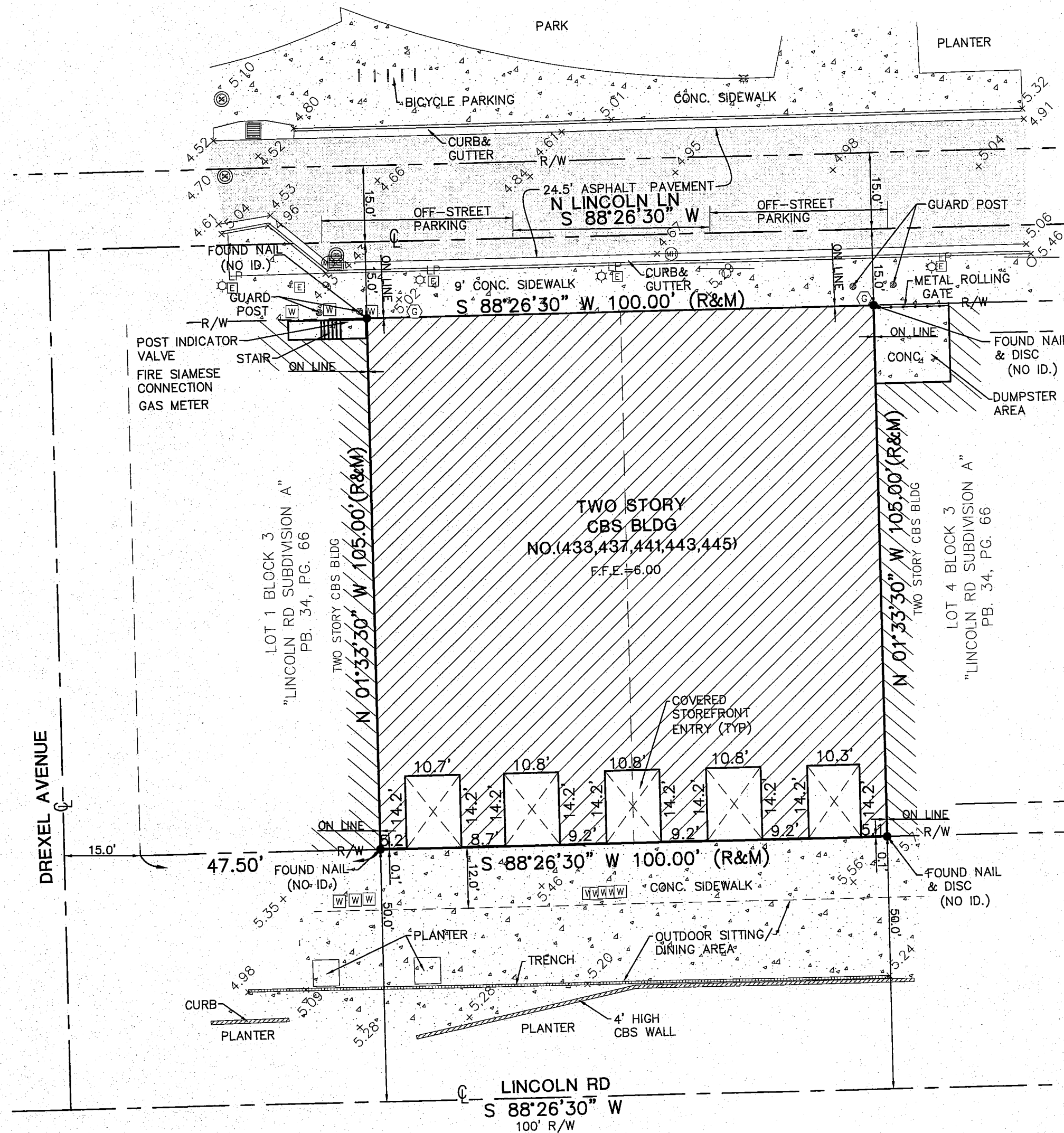
DATE	REVISION
DWG. TITLE	
GENERAL NOTES & INDEX	
SCALE	
AS SHOWN	
PROJECT NO.	
2016-23	
DATE	
03-28-17	
SHEET NUMBER	
A-001	





BEILINSON  
GOMEZ





18TH ST

17TH ST

16TH ST

MERIDIAN AV

EUCLOUD AV

PENNSYLVANIA AV

DREXEL AV

WASHINGTON AV

JAMES AV

**SITE**

N LINCOLN LN

LINCOLN RD

**NOTICE:** Not valid without **STAMPED** signature and original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to Survey Maps by other than the signing party are prohibited without the written consent of the signing party.

Elevations of well identified features as depicted on the Survey Map were measured to an estimated vertical position accuracy of 1/100 of a foot on hard surfaces and 1/10 of a foot on ground surfaces.

Elevations as shown hereon are based on the National Geodetic Vertical Datum of 1929, as per Miami-Dade County's Benchmark Number Y-310-R, Elevation 5.62 feet.

## LEGEND:

D.W.Y.	= DRAINWAY	P.G.	= PAGE	①	= TELEPHONE MANHOLE	---	= RIGHT OF WAY LINE
D.M.E.	= DRAINAGE MAINTENANCE EASEMENT	P.O.B.	= POINT OF BEGINNING	②	= DRAINAGE MANHOLE	---	= PROPERTY LINE
D.M.E.	= DRAINAGE MAINTENANCE EASEMENT	P.P.	= PROPERTY LINE	③	= SANITARY SEWER MANHOLE	---	= EASEMENT LINE
U.E.	= UTILITY EASEMENT	N.T.S.	= NOT TO SCALE	④	= TEMPORARY BENCH MARK	---	= REND FENCE
A.D.C.	= ARC DISTANCE	E	= ELEVATION	⑤	= PARKING METER	---	= WOOD FENCE
C.B.	= CHAIN LINK	W	= WATER OUTLET	⑥	= FLAG POLE	---	= CHAIN LINK FENCE
C.B.S.	= CONCRETE BLOCK STRUCTURE	W.O.	= WOOD OUTLET	F.F.E.	= FINISH FLOOR ELEVATION	---	= OVERHEAD UTILITY LINE
C.D.	= CHORD DISTANCE	W.R.	= WIRE	S.R.P.	= SET IRON REBAR	---	= BRICK
C.O.	= CALCULATED VALUE	W.T.	= WELDED	P.C.	= POINT OF COMMENCEMENT	---	
C.	= CLEAR	W	= MONUMENT LINE	F.N.	= FOUND NAIL	---	= CONCRETE
C.C.	= CENTER LINE	W.C.	= WEDGED CATCH BASIN	P.T.	= POINT OF TANGENCY	---	
C.C.	= CONCRETE	Δ	= CENTRAL ANGLE	F.H.	= FOUND HAIL	---	= GRAVEL
P.R.C.	= POINT OF REVERSE CURVE	T.S.	= TRAFFIC STOP	F.H.	= FIRE HYDRANT	---	= TILE
P.C.	= POINT OF CURVATURE	T.S.	= TRAFFIC STOP	F.H.	= FOUND IRON PIPE	---	= PAVEMENT
F.N.D.	= FOUND NAIL/DISK	C.B.	= CATCH BASIN (INLET)	F.H.	= FOUND IRON REBAR	---	
P.	= POINT OF COMPOUND CURVE	M.A.P.	= MAST ARM	L.F.	= LOWEST FLOOR ELEVATION	---	= CBS WALL
N.G.V.D.	= NATIONAL GEODETIC VERTICAL DATUM	W.U.	= WOOD UTILITY POLE	L.P.	= LIGHT POLE		
W.E.	= INVERT ELEVATION	A.H.	= ANCHOR POLE	M.F.	= MEASURED VALUE		
P.B.	= PLAT BOOK	C.P.	= CONCRETE LIGHT POLE	R.C.	= RECORD VALUE		
P.C.P.	= PERMANENT CONTROL POINT	C.P.	= CONCRETE POWER POLE				
C.M.P.	= CORRUGATED METAL PIPE	F.H.	= FIRE HYDRANT				
P.I.	= POINT OF INTERSECTION	E	= ELECTRIC BOX				
B/C	= BLOCK CURBER	C.B.	= CABLE TV BOX				
R	= RADIUS	W.P.B.	= WIRE PULL BOX				
RND.	= RADIAL	W.V.	= WATER VALVE				
RES.	= RESIDENCE	S.W.	= SEWER VALVE				
R/W	= RIGHT OF WAY	M.L.P.	= METAL LIGHT POLE				
SEC.	= SECTION						
S.I.P.	= SET IRON PIPE						
T.O.P.	= TOP OF PIPE						
SWK	= SIDEWALK						

SHADE TREE

X-Y-Z

PALM TREE

X=TRUNK DIAMETER

Y=TREE HIGH

Z=CANOPY DIAMETER

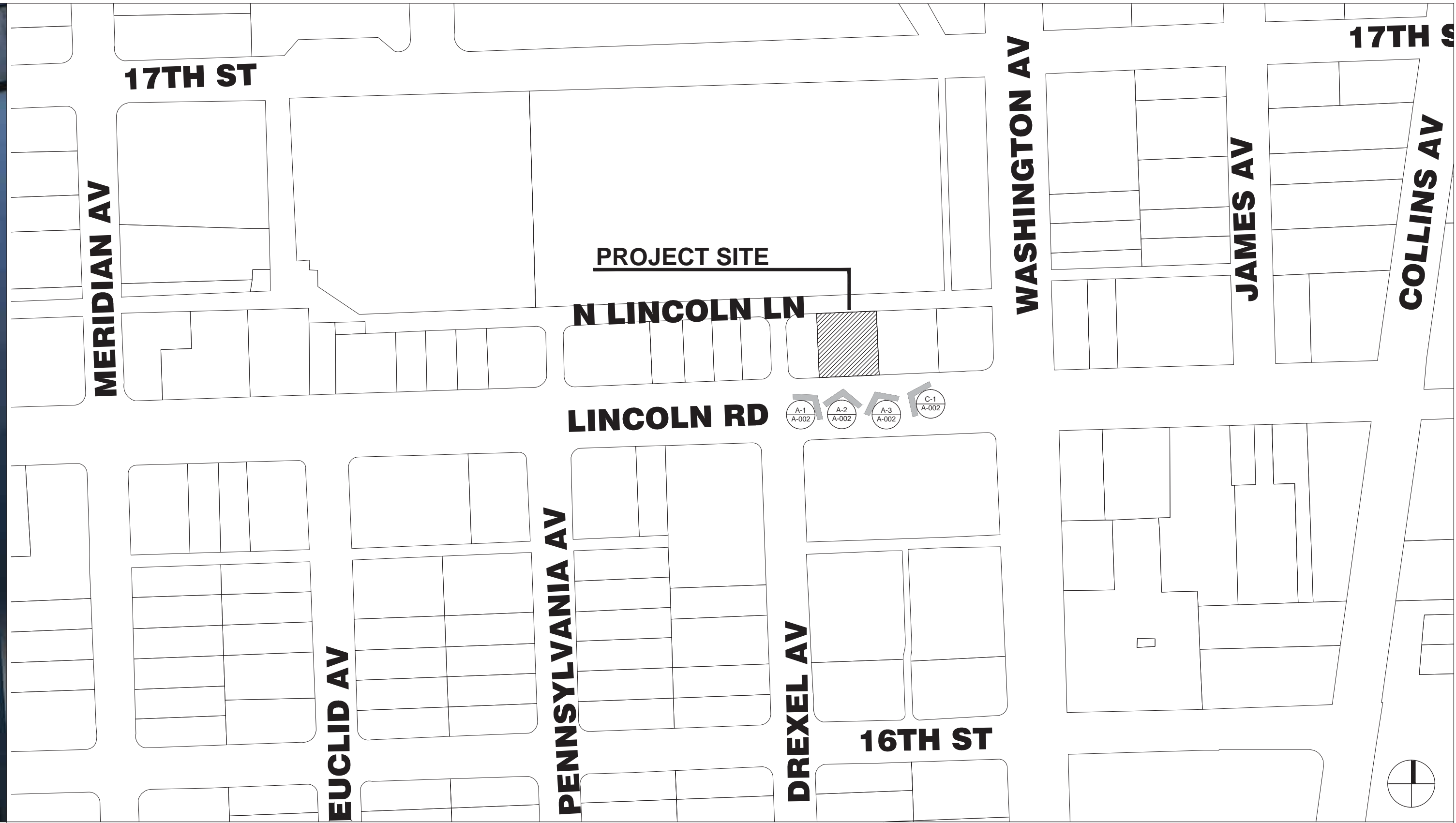
REVISIONS			
1.	6.	7.	16.
2.	7.	12.	17.
3.	8.	13.	18.
4.	9.	14.	19.
5.	10.	15.	20.



**433-445 LINCOLN RD, MIAMI BEACH, FL.. 33139**

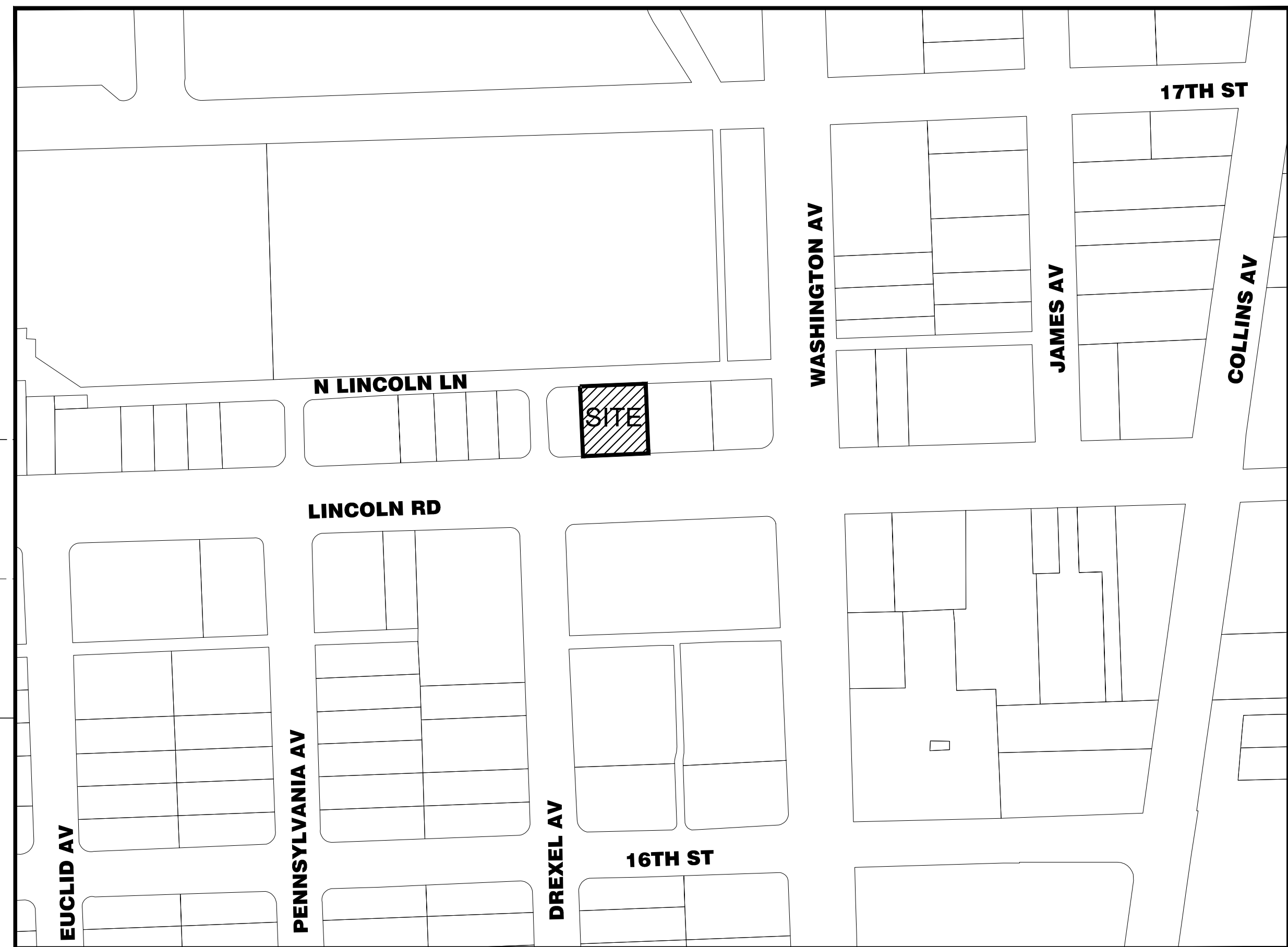
Field Book: FILE	Job No.:
DRAWN BY: BG	<b>16150</b>
TECH BY: RI	
QA/QC BY: AH	<b>1/1</b>






DATE	REVISION
DWG. TITLE	
<p style="text-align: center;"><i>KEY PLAN &amp; SITE PHOTOS</i></p>	
SCALE	
<p style="text-align: right;"><i>AS SHOWN</i></p>	
PROJECT NO.	
<p style="text-align: right;"><i>2016-23</i></p>	
DATE	
<p style="text-align: right;"><i>03-28-17</i></p>	
SHEET NUMBER	

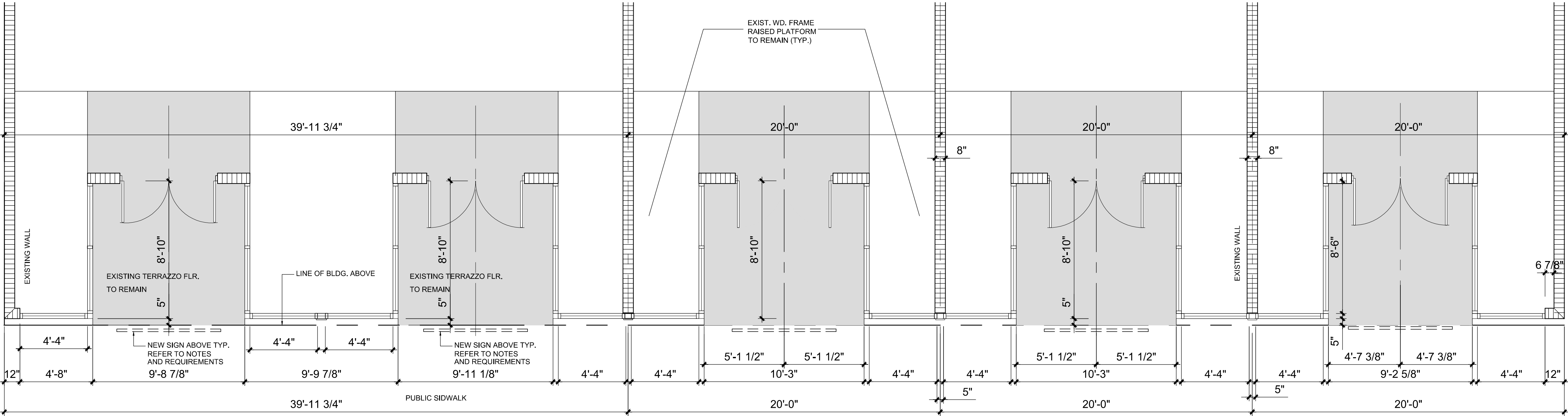




**SP-101**

NOTES AND REQUIREMENTS

- SIGNS SHALL BE 6'-0" TO 8'-0" IN LENGTH, WALL MOUNTED, A MAXIMUM OF TWO ROWS OF LETTERING IS ALLOWED, AND THE TOTAL SIZE MAY NOT EXCEED 15FT<sup>2</sup> AND CANNOT EXCEED THE WIDTH OF THE INTERIOR TENANT SPACE (DEMISING WALLS) . EACH SIGN TO BE CENTERED OVER TENANTS ENTRY DOORWAY.
- SIGNS SHALL HAVE A WALL OFFSET OF 1" TO 2 1/2" FOR REAR LIGHT GLOW.
- SIGNS SHALL BE MADE WITH MAXIMUM 12" LETTERS.
- SIGNS SHALL BE CLEAR ANODIZED BRUSHED ALUMINUM, STAINLESS STEEL, OR BLACK CHANNEL BACKLIT CHANNEL LETTERS MANUFACTURED WITH LED BACKLIGHTING.
- ALL LIGHTING TRANSFORMERS OR OTHER EQUIPMENT REQUIRED BY THE SIGN SHALL BE MOUNTED INTERVAL TO THE TENANT SPACE. NO LIGHTING TRANSFORMERS OR OTHER NON-LETTER MOUNTING TO THE EXTERIOR FACADE.
- ALL ACCENTS OR DETAILS TO THE TYPICAL SIGNAGE TO BE REVIEWED AND APPROVED BY BUILDING MANAGER PRIOR TO SUBMITTAL TO THE CITY OF MIAMI BEACH. CITY PERMIT STAFF SHALL REVIEW FOR CONSISTENCY WITH THESE SIGN RULES AND PERMIT REQUIREMENTS AS PART OF PERMIT SUBMITTAL.
- ALL MOUNTING HARDWARE TO BE BRUSHED STAINLESS STEEL OR OTHER NON-CORROSIVE MATERIAL IN A COASTAL ENVIRONMENT. HARDWARE SHOULD MATCH THE FINISH OF THE SIGN MATERIAL.
- COLOR AND TEMPERATURE OF LED LIGHTING TO BE APPROVED BY LANDLORD AND CITY PERMIT STAFF. PROVIDE WHITE UNLESS OTHER IS APPROVED BY LANDLORD PRIOR TO CITY PERMIT SUBMITTAL.

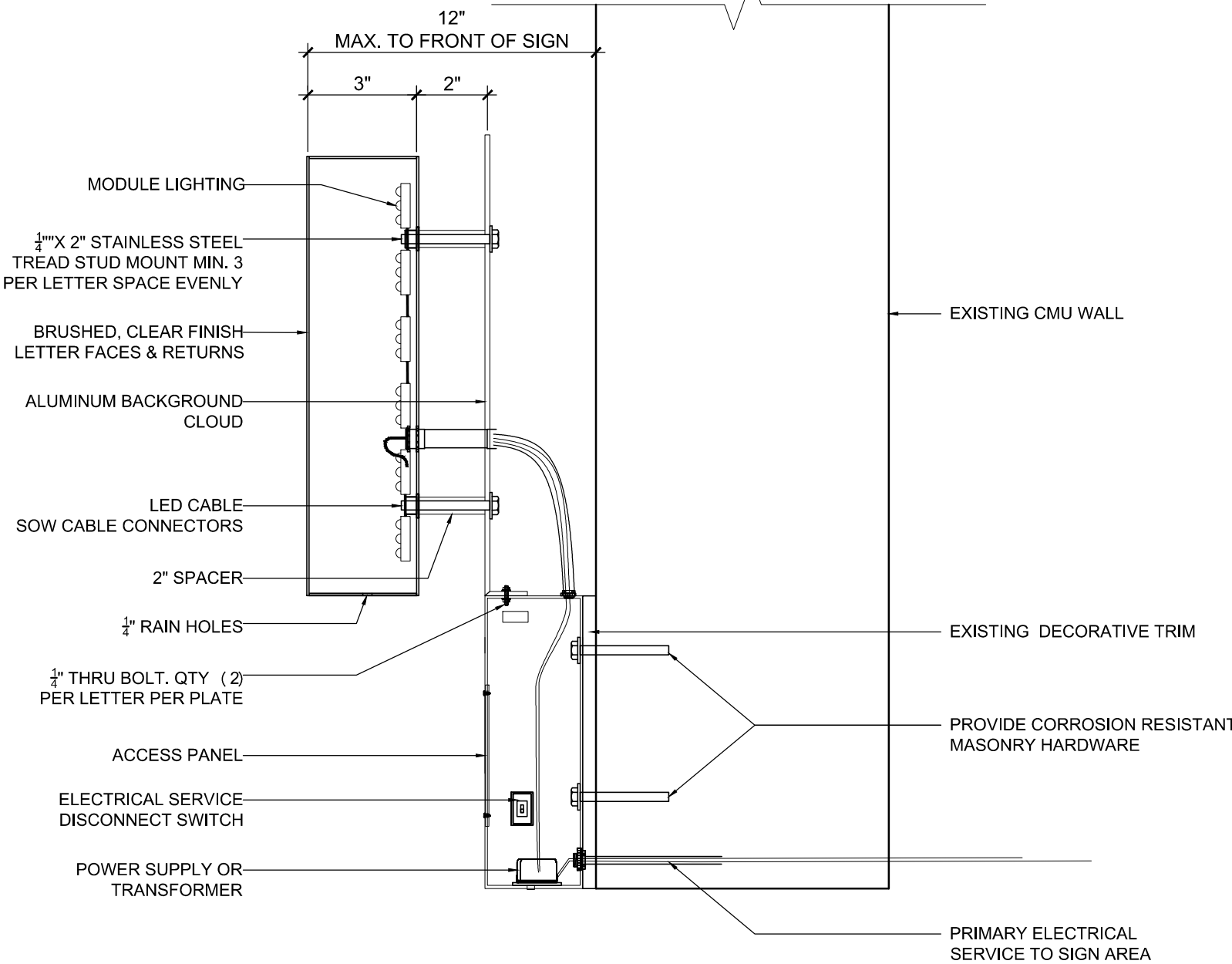


EXISTING FLOOR PLAN  
SCALE: 1/4" = 1'-0"

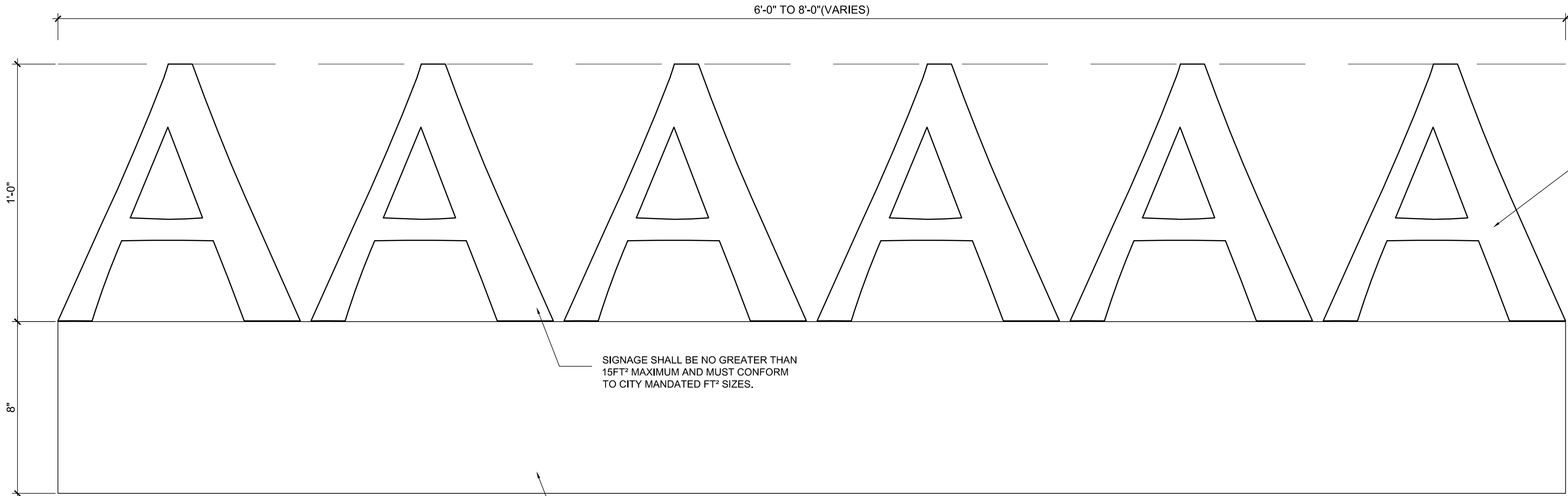
LINCOLN ROAD



1 FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



2 SECTION  
SCALE: 3\"/>



3 SIGNAGE ELEVATION  
SCALE: 3\"/>