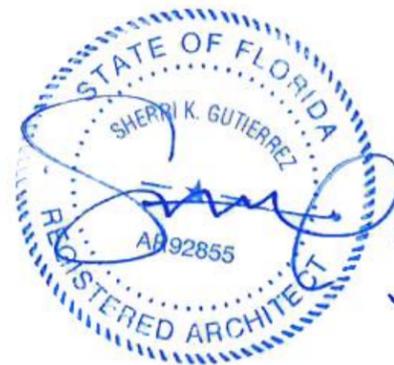


# DWYER RESIDENCE DESIGN REVIEW BOARD FIRST SUBMITTAL

2120 LUCERNE AVENUE, MIAMI BEACH, FL 33140  
ARCHITECTURAL DRAWING INDEX



**CAP FIRST SUBMITTAL - MARCH 21ST, 2017 (DEADLINE)**  
**CAP FINAL SUBMITTAL - APRIL 6TH, 2017 (DEADLINE)**  
**SCOPE OF WORK**  
 - NEW CONSTRUCTION OF SINGLE FAMILY RESIDENCE



1	CV-00	DRAWING INDEX - CAP FINAL SUBMITTAL
2	EX-01	TOPOGRAPHIC & TREE SURVEY
3	EX-02	SITE SURVEY
4	EX-03	SURVEY DOCUMENTS
5	EX-04	SURVEY DOCUMENTS
6	EX-06	AERIAL VIEW
7	EX-07	EXISTING CONDITIONS
8	EX-08	NEIGHBORHOOD ANALYSIS - EXISTING STRUCTURE
9	EX-09	NEIGHBORHOOD ANALYSIS - EXISTING STRUCTURE YARD CONDITIONS
10	EX-10	NEIGHBORHOOD ANALYSIS - CONTEXT
11	EX-12	EXISTING STRUCTURE ELEVATION
12	EX-13	CONTEXTUAL ELEVATION - SURROUNDING PROPERTIES
13	EX-14	SITE PLAN
14	A0-01	PROJECT DATA
15	A0-02	PROJECT DATA - LOT COVERAGE ANALYSIS
16	A0-03	PROJECT DATA - OPEN AREA ANALYSIS
17	A0-04	PROJECT DATA - GRADING PLAN
18	A0-05	LOT COVERAGE & UNIT SIZE DIAGRAM
19	A0-06	SITE PLAN - GROUND FLOOR
20	A0-07	SITE PLAN - ROOF LEVEL
21	A0-08	ZONING DIAGRAM - GROUND FLOOR UNIT SIZE
22	A0-09	ZONING DIAGRAM - FIRST FLOOR UNIT SIZE
23	A0-10	ZONING DIAGRAM - SECOND FLOOR UNIT SIZE
24	A0-11	ZONING DIAGRAM - MASSING (AXONOMETRIC)
25	A0-12	EXPLODED AXONOMETRIC DIAGRAM - SECOND FLOOR IN RELATIONSHIP TO FIRST FLOOR
26	A0-13	CLEARANCE WAIVER DIAGRAM
27	A0-14	ZONING DIAGRAM - YARD GRADE DIAGRAM (NORTH / SOUTH)
28	A0-15	ZONING DIAGRAM - YARD GRADE DIAGRAM (EAST / WEST)
29	A0-16	OPEN SPACE AREA CALCULATION - FRONT YARD
30	A0-17	OPEN SPACE AREA CALCULATION - SIDE YARD (FACING STREET)
31	A0-18	OPEN SPACE AREA CALCULATION - REAR YARD
32	A1-00	PROPOSED BUILDING - GROUND FLOOR PLAN
33	A1-01	PROPOSED BUILDING - FIRST FLOOR PLAN
34	A1-02	PROPOSED BUILDING - SECOND FLOOR PLAN
35	A1-03	PROPOSED BUILDING - ROOF PLAN
36	A2-01	ELEVATION - WEST FACADE
37	A2-02	ELEVATION - SOUTH FACADE
38	A2-03	ELEVATION - EAST FACADE
39	A2-04	ELEVATION - NORTH FACADE
40	A2-05	SECTION - THROUGH LIVING / DINING ROOM
41	A2-06	SECTION - NORTH TO SOUTH
42	A2-07	SECTION - EAST TO WEST
43	A2-08	MATERIALS & REFERNECE BOARD
44	A2-09	EAST FACADE COLORED ELEVATION
45	A2-10	WEST FACADE COLORED ELEVATION
46	A2-11	SOUTH FACADE COLORED ELEVATION
47	A2-12	RENDERINGS WITH LANDSCAPING

**ARQUITECTONICA**  
 2900 Oak Avenue, Miami, FL 33133  
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## DWYER RESIDENCE

2120 LUCERNE AVENUE,  
MIAMI BEACH, FL 33140

## DRAWING INDEX - CAP FINAL SUBMITTAL

DATE ISSUED: 04.06.2017	DRAWN BY:	CHECKED BY:
REVISION # 9	OR	RF
NOTES:	DRAWING #:	
DESIGN REVIEW BOARD:	<b>CV-00</b>	
CAP FIRST SUBMITTAL		
DEADLINE 03.21.2017		
CAP FINAL SUBMITTAL		
DEADLINE 04.06.2017		

SHEET 1 OF 47

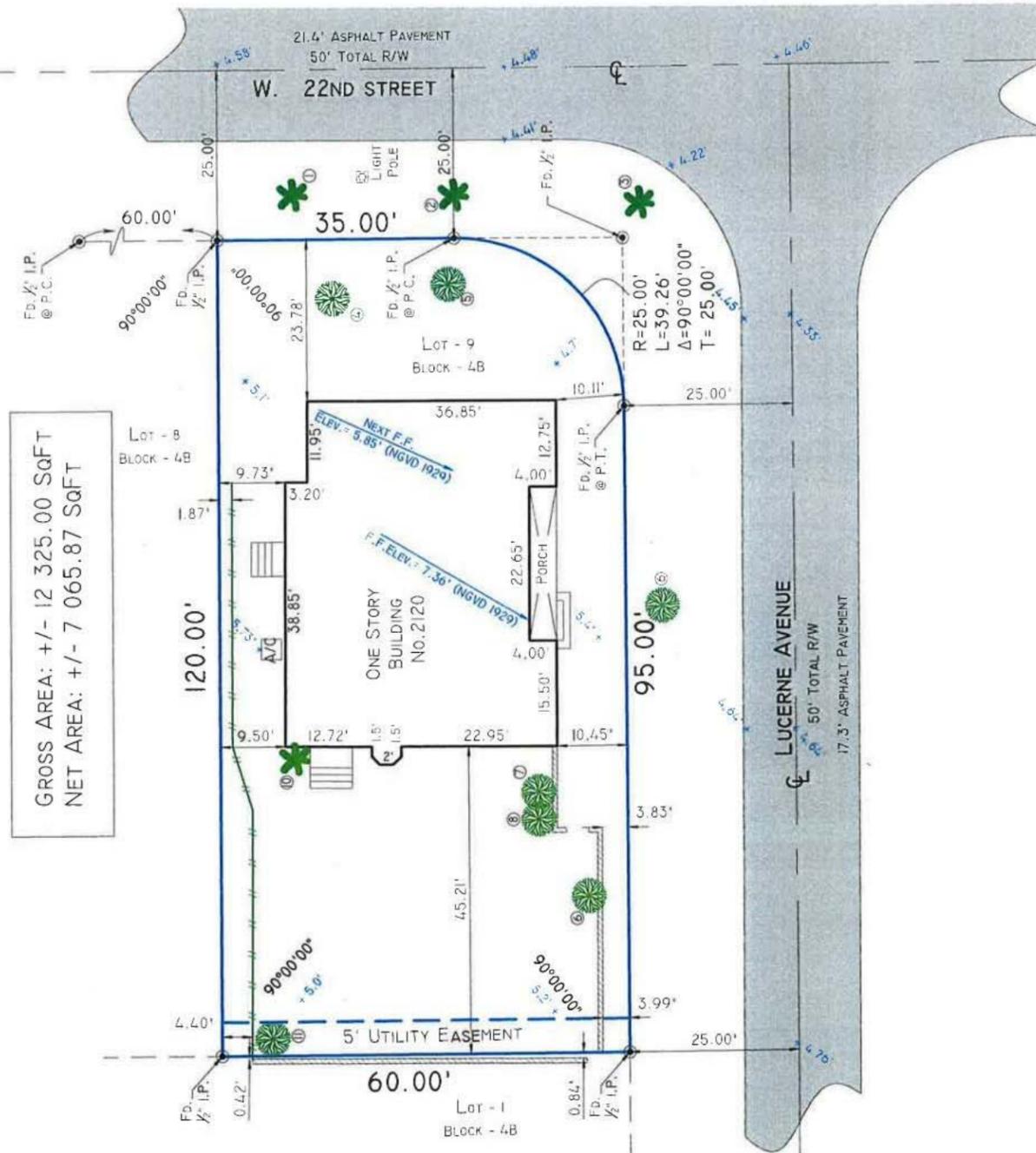
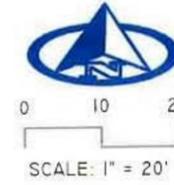
# MAP OF BOUNDARY, TOPOGRAPHIC & TREE SURVEY

FOR: 2120 LUCERNE AVENUE, MIAMI BEACH, FLORIDA 33140

**LEGAL DESCRIPTION:**

LOT 9, BLOCK 4B, 3RD REVISED PLAT OF SUNSET ISLANDS, ACCORDING TO THE MAP THEREOF, AS RECORDED IN PLAT BOOK 40, PAGE 8 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

CERTIFIED TO:  
PATRIK DWYER; MARISA DWYER;



**TREE CHART**  
(Dimensions are approximate)

#	NAME	D	H	C
1	Palm	16"	38'	15'
2	Palm	15"	60'	20'
3	Palm	13"	45'	15'
4	Avocado	16"	40'	30'
5	Avocado	15"	40'	28'
6	Spanish Lime	15"	30'	35'
7	Quailberry (Wildberry Shrub)	11"	30'	20'
8	Quailberry (Wildberry Shrub)	13"	35'	35'
9	Quailberry (Wildberry Shrub)	13"	35'	30'
10	Palm	7"	15'	10'
11	Ficus	11"	25'	18'

**LEGEND & ABBREVIATIONS**

- 1. CONCRETE
- 2. COC. BLK. WALL
- 3. COC. BLK. FLOOR
- 4. COC. BLK. ROOF
- 5. ASPHALT
- 6. ASPHALT DRIVE
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- 100. ASPHALT DRIVE

**GENERAL NOTES**

1. LEGAL DESCRIPTION PROVIDED BY OTHERS, UNLESS OTHERWISE NOTED.
2. THIS SURVEY DOES NOT DETERMINE OR IMPLY REAL PROPERTY OWNERSHIP.
3. THE LANDS SHOWN HEREIN ARE SUBJECT TO RESTRICTIONS OF PLAT (S) OF RECORD, THERE MAY BE ADDITIONAL RESTRICTIONS THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY, AFFECTING THESE LANDS.
4. MEASURED VALUES OF BOUNDARY DISTANCES, DIRECTIONS AND INTERIOR ANGLES SHOWN.
5. ELEVATIONS, IF SHOWN, ARE REFERRED TO N.G.V.D. 1929.
6. UNDERGROUND IMPROVEMENTS, FOOTINGS AND UTILITIES ARE NOT LOCATED ON THIS SURVEY MAP.
7. FENCE OWNERSHIP NOT DETERMINED, APPARENT CLEARANCES AND/OR ENCROACHMENTS ARE NOTED BY VISUAL MEANS ONLY.
8. NO IDENTIFICATION CAPS FOUND ON SURVEY MONUMENTS, UNLESS OTHERWISE NOTED.
9. THE SCALE, AS SHOWN IS THE INTENDED PLOTTING SCALE OF THIS MAP.
10. THIS SURVEY IS EXCLUSIVELY FOR THE USE OF THE PARTIES TO WHOM IT IS CERTIFIED.
11. THIS SURVEY MAP AND THE COPIES THEREOF, ARE NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
12. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

**FLOOD INSURANCE RATE MAP (FIRM) INFORMATION:**

COMMUNITY NUMBER: 120651 PANEL NUMBER: 0317  
SUFFIX: L PANEL REVISED DATE: 09/11/2009  
FLOOD ZONE: AE BASE FLOOD ELEV. = 8'  
(N.G.V.D. 1929)  
BENCH MARK USED:  
MIAMI DADE B.M. No. A-36 ELEV. = 7.34'  
(N.G.V.D. 1929)

**I HEREBY CERTIFY THAT THIS SKETCH**

OF SURVEY OF THE HEREON DESCRIBED PROPERTY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE UNDER MY DIRECTION AND SAID SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 63-17 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027 FLORIDA STATUTES AND IS ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

**BELLO & BELLO**

LAND SURVEYING CORPORATION LB No. 7262  
12230 S.W. 151 AVENUE SUITE 201  
MIAMI, FL 33186  
PH: (305) 251-9606 FAX: (305) 251-6057  
WWW.BELLOLANDSURVEYING.COM  
PROJECT No. 16715



### ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A - PROPERTY INFORMATION		FOR INSURANCE COMPANY USE	
A1. Building Owner's Name Patrik Dwyer, Marisa Dwyer		Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 2120 Lucerne Avenue		Company NAIC Number:	
City Miami Beach	State Florida	ZIP Code 33140	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) Folio # 02-3228-001-2070 Lot 9, Block 4B, 3RD REVISED PLAT OF SUNSET ISLANDS, Pb 40, Pg 8			
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) Residential			
A5. Latitude/Longitude: Lat 25°47'51.09"N Long. 80°08'40.14"W Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983			
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.			
A7. Building Diagram Number 8			
A8. For a building with a crawlspace or enclosure(s): a) Square footage of crawlspace or enclosure(s) 1,460 sq ft b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade 6 c) Total net area of flood openings in A8.b 1,872 sq in d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
A9. For a building with an attached garage: a) Square footage of attached garage 0 sq ft b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade 0 c) Total net area of flood openings in A9.b 0 sq in d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION			
B1. NFIP Community Name & Community Number City of Miami Beach 120651		B2. County Name Miami-Dade	B3. State Florida
B4. Map/Panel Number 12066C 0317	B5. Suffix L	B6. FIRM Index Date 09/11/2009	B7. FIRM Panel Effective/Revised Date 09/11/2009
B8. Flood Zone(s) AE		B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 8	
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source:			
B11. Indicate elevation datum used for BFE in Item B9: <input checked="" type="checkbox"/> NGVD 1929 <input type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source:			
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: <input type="checkbox"/> CBRS <input type="checkbox"/> OPA			

### ELEVATION CERTIFICATE

IMPORTANT: In these spaces, copy the corresponding information from Section A.		FOR INSURANCE COMPANY USE	
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 2120 Lucerne Avenue		Policy Number:	
City Miami Beach	State Florida	ZIP Code 33140	Company NAIC Number
SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)			
C1. Building elevations are based on: <input type="checkbox"/> Construction Drawings* <input type="checkbox"/> Building Under Construction* <input checked="" type="checkbox"/> Finished Construction *A new Elevation Certificate will be required when construction of the building is complete.			
C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters. Benchmark Utilized: MDCBM No. A-36 Vertical Datum: NGVD 1929 Indicate elevation datum used for the elevations in items a) through h) below. <input checked="" type="checkbox"/> NGVD 1929 <input type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: Datum used for building elevations must be the same as that used for the BFE.			
Check the measurement used.			
a) Top of bottom floor (including basement, crawlspace, or enclosure floor)	4.95	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters
b) Top of the next higher floor	5.55	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters
c) Bottom of the lowest horizontal structural member (V Zones only)	0.0	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters
d) Attached garage (top of slab)	0.0	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments)	5.73	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters
f) Lowest adjacent (finished) grade next to building (LAG)	4.9	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters
g) Highest adjacent (finished) grade next to building (HAG)	5.3	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters
h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support	5.3	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters
SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION			
This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001. Were latitude and longitude in Section A provided by a licensed land surveyor? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Check here if attachments.			
Certifier's Name Odalys C. Bello-Iznaga	License Number LS 6169		
Title Professional Surveyor and Mapper	11/08/2016 Place Seal Here FSM#6169		
Company Name Bello & Bello Land Surveying Corporation			
Address 12230 S.W. 131 Avenue, Suite 201			
City Miami	State Florida	ZIP Code 33186	
Signature	Date 11/08/2016	Telephone (305) 251-9606	
Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.			
Comments (including type of equipment and location, per C2(e), if applicable) For A5: Long. and Lat. determined by GNSS RTK GPS Survey No. 16715 C2 e) Denotes Elevation of A/C unit located on the East side of the existing structure. Highest Crown of Road Elev. = 4.76' Next Higher Floor Elev. 7.36' 100-Year Stillwater Elevations per FIS: 7.1' NGVD 1929			

### ELEVATION CERTIFICATE

IMPORTANT: In these spaces, copy the corresponding information from Section A.		FOR INSURANCE COMPANY USE	
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 2120 Lucerne Avenue		Policy Number:	
City Miami Beach	State Florida	ZIP Code 33140	Company NAIC Number
SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)			
For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.			
E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG). a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ 0.0 _____ <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters <input type="checkbox"/> above or <input type="checkbox"/> below the HAG. b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ 0.0 _____ <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters <input type="checkbox"/> above or <input type="checkbox"/> below the HAG.			
E2. For Building Diagrams 6-9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1-2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ 0.0 _____ <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters <input type="checkbox"/> above or <input type="checkbox"/> below the HAG.			
E3. Attached garage (top of slab) is _____ 0.0 _____ <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters <input type="checkbox"/> above or <input type="checkbox"/> below the HAG.			
E4. Top of platform of machinery and/or equipment servicing the building is _____ 0.0 _____ <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters <input type="checkbox"/> above or <input type="checkbox"/> below the HAG.			
E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Unknown. The local official must certify this information in Section G.			
SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION			
The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.			
Property Owner or Owner's Authorized Representative's Name			
Address	City	State	ZIP Code
Signature	Date	Telephone	
Comments			
<input type="checkbox"/> Check here if attachments.			

**ELEVATION CERTIFICATE**

OMB No. 1660-0008  
Expiration Date: November 30, 2018

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>		
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 2120 Lucerne Avenue			Policy Number:		
City Miami Beach	State Florida	ZIP Code 33140	Company NAIC Number		

**SECTION G – COMMUNITY INFORMATION (OPTIONAL)**

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.

G1.  The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)

G2.  A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.

G3.  The following information (Items G4–G10) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate of Compliance/Occupancy Issued
-------------------	------------------------	---

G7. This permit has been issued for:  New Construction  Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building: \_\_\_\_\_  feet  meters Datum \_\_\_\_\_

G9. BFE or (in Zone AO) depth of flooding at the building site: \_\_\_\_\_  feet  meters Datum \_\_\_\_\_

G10. Community's design flood elevation: \_\_\_\_\_  feet  meters Datum \_\_\_\_\_

Local Official's Name \_\_\_\_\_ Title \_\_\_\_\_

Community Name \_\_\_\_\_ Telephone \_\_\_\_\_

Signature \_\_\_\_\_ Date \_\_\_\_\_

Comments (including type of equipment and location, per C2(e), if applicable)

**BUILDING PHOTOGRAPHS**  
Continuation Page

OMB No. 1660-0008  
Expiration Date: November 30, 2018

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>		
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 2120 Lucerne Avenue			Policy Number:		
City Miami Beach	State Florida	ZIP Code 33140	Company NAIC Number		

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.



Photo One Caption Side View: 11/08/2016



Photo Two Caption Side View: 11/08/2016

**BUILDING PHOTOGRAPHS**  
See Instructions for Item A6.

OMB No. 1660-0008  
Expiration Date: November 30, 2018

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>		
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 2120 Lucerne Avenue			Policy Number:		
City Miami Beach	State Florida	ZIP Code 33140	Company NAIC Number		

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



Photo One Caption Front View: 11/08/2016



Photo Two Caption Rear View: 11/08/2016



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## DWYER RESIDENCE

2120 LUCERNE AVENUE,  
 MIAMI BEACH, FL 33140

AERIAL VIEW

DATE ISSUED: 04.06.2017  
 REVISION # 9  
 NOTES:  
 DESIGN REVIEW BOARD:  
 CAP FIRST SUBMITTAL  
 DEADLINE 03.21.2017  
 CAP FINAL SUBMITTAL  
 DEADLINE 04.06.2017

DRAWN BY: | CHECKED BY:  
 OR | RF

DRAWING #:  
**EX-06**

SHEET 6 OF 47



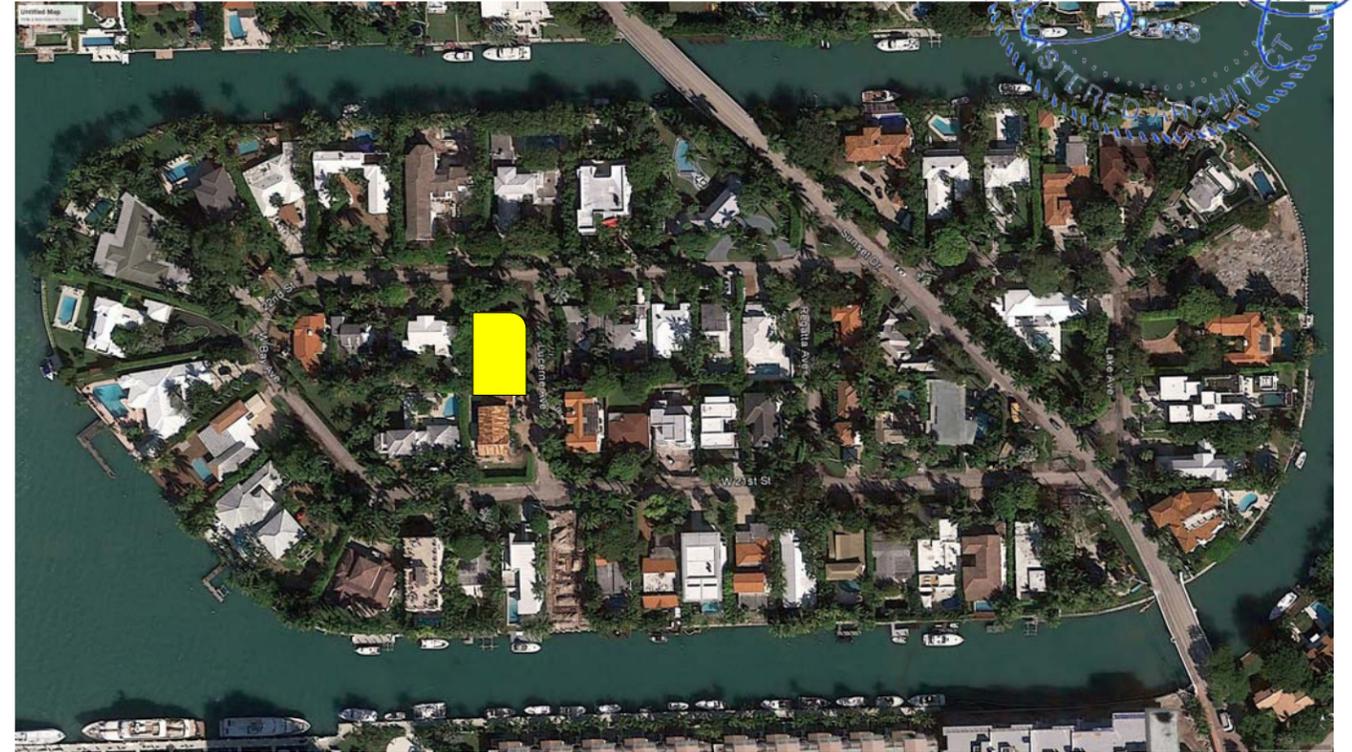
**01 STREET VIEW LOOKING SOUTHWEST**



**02 STREET VIEW LOOKING NORTH**



**03 STREET VIEW LOOKING WEST**



**LOCATION MAP**

STATE OF FLORIDA  
 JIMMY K. GUTIERREZ  
 REGISTERED ARCHITECT

**ARQUITECTONICA**  
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**DWYER RESIDENCE**

**2120 LUCERNE AVENUE,  
 MIAMI BEACH, FL 33140**

**EXISTING CONDITIONS**

DATE ISSUED: 04.06.2017  
 REVISION # 9  
 NOTES:  
 DESIGN REVIEW BOARD:  
 CAP FIRST SUBMITTAL  
 DEADLINE 03.21.2017  
 CAP FINAL SUBMITTAL  
 DEADLINE 04.06.2017

DRAWN BY: OR  
 CHECKED BY: RF

DRAWING #:  
**EX-07**



**01 - 22ND STREET NORTH SIDE FACADE**

**(03/16/2017)**



**02 - WEST SIDE FACADE**

**(03/16/2017)**



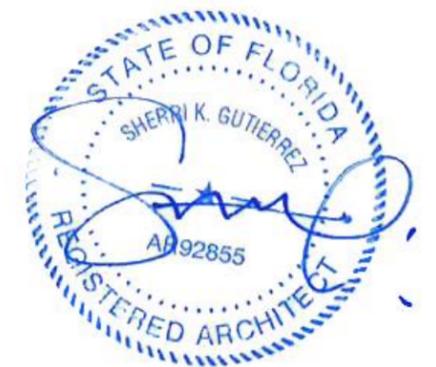
**03 - SOUTH SIDE FACADE**

**(03/16/2017)**



**04 - LUCERNE AVE - EAST SIDE FACADE**

**(03/16/2017)**



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MIAMI BEACH, FL 33140**

**NEIGHBORHOOD ANALYSIS - EXISTING  
STRUCTURE**

DATE ISSUED: 04.06.2017  
REVISION # 9  
NOTES:  
DESIGN REVIEW BOARD:  
CAP FIRST SUBMITTAL  
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DEADLINE 04.06.2017

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OR | RF

DRAWING #:  
**EX-08**

SHEET 8 OF 47



**01 - REAR YARD LOOKING WEST TOWARDS 1616 WEST 22ND ST (03/16/2017)**



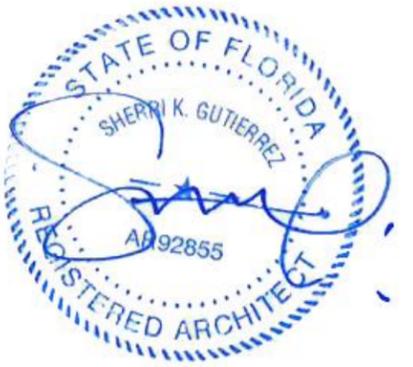
**02 - STREET SIDE YARD (03/16/2017)**



**03 - REAR YARD LOOKING SOUTH TOWARDS 2110 LUCERNE AVE (03/16/2017)**



**04 - INTERIOR SIDE YARD (03/16/2017)**



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 MIAMI BEACH, FL 33140**

**NEIGHBORHOOD ANALYSIS - EXISTING  
 STRUCTURE YARD CONDITIONS**

DATE ISSUED: 04.06.2017	DRAWN BY:	CHECKED BY:
REVISION # 9	OR	RF
NOTES:	DRAWING #:	
DESIGN REVIEW BOARD:	<b>EX-09</b>	
CAP FIRST SUBMITTAL	SHEET 9 OF 47	
DEADLINE 03.21.2017		
CAP FINAL SUBMITTAL		
DEADLINE 04.06.2017		



**01 - 2110 LUCERNE AVENUE (NEIGHBOR TO THE SOUTH) (03/16/2017)**



**02 - 1616 WEST 22ND STREET (NEIGHBOR TO THE WEST) (03/16/2017)**



**03 - 2111 LUCERNE AVENUE (NEIGHBOR TO ADJACENT CORNER) (03/16/2017)**



**1550 & 1600 WEST 21ST STREET (03/16/2017)**

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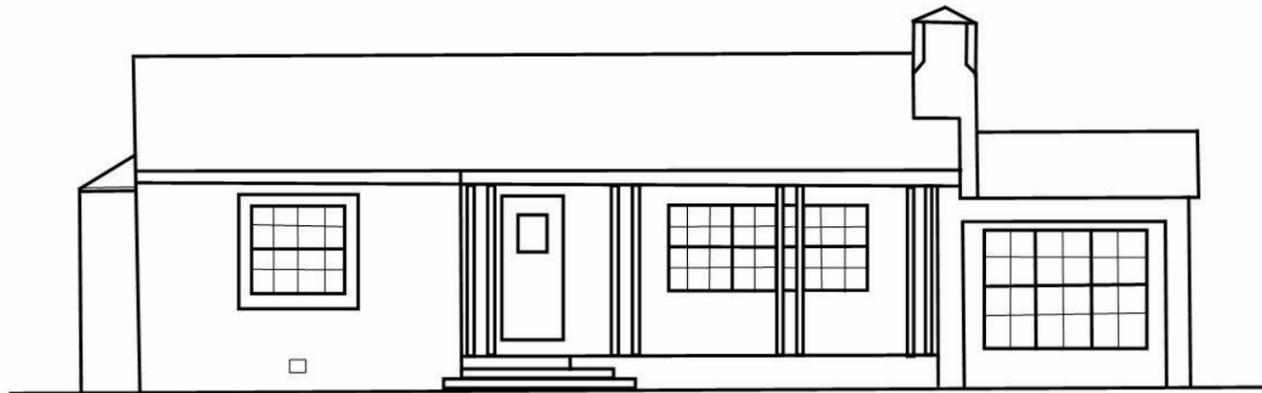
**2120 LUCERNE AVENUE,  
 MIAMI BEACH, FL 33140**

**NEIGHBORHOOD ANALYSIS - CONTEXT**

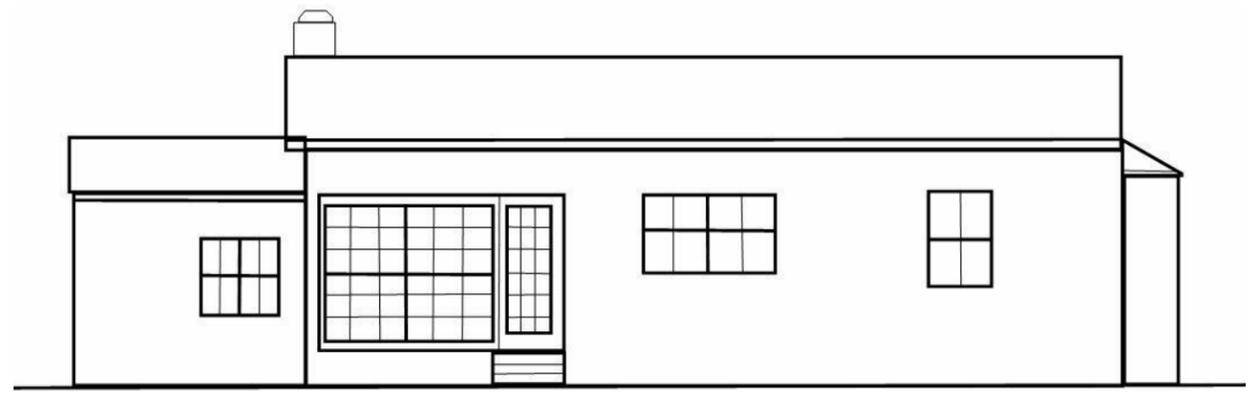
DATE ISSUED: 04.06.2017  
 REVISION # 9  
 NOTES:  
 DESIGN REVIEW BOARD:  
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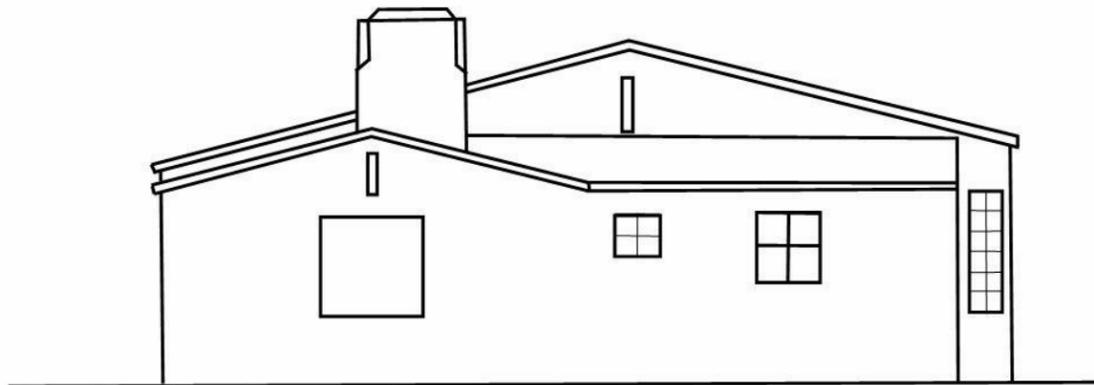
DRAWING #:  
**EX-10**



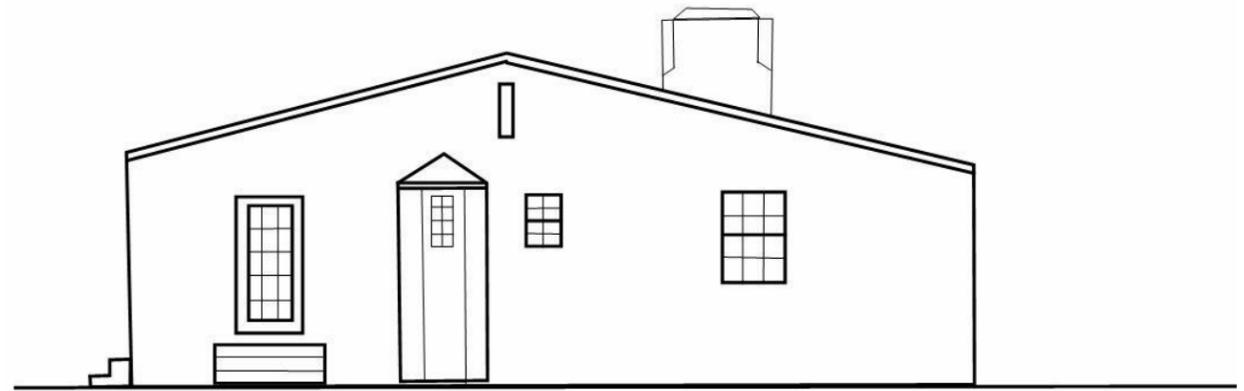
EXISTING HOME FRONT ELEVATION (EAST)



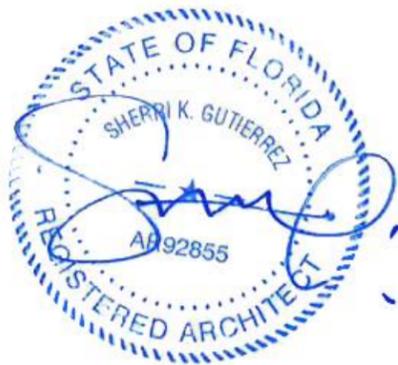
EXISTING EXTERIOR ELEVATION (WEST)

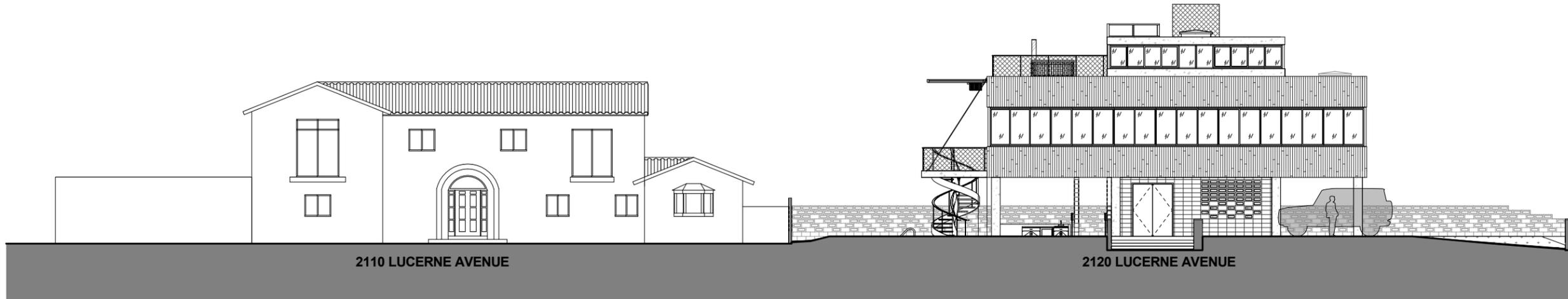


EXISTING HOME ELEVATION (NORTH)

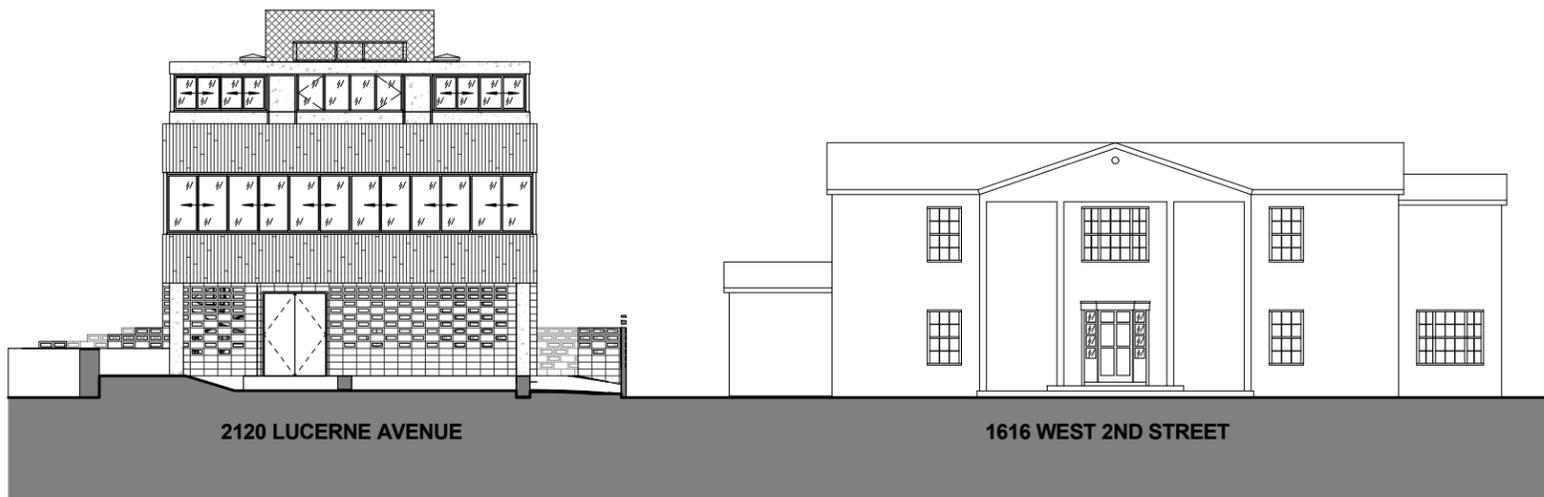


EXISTING EXTERIOR ELEVATION (SOUTH)

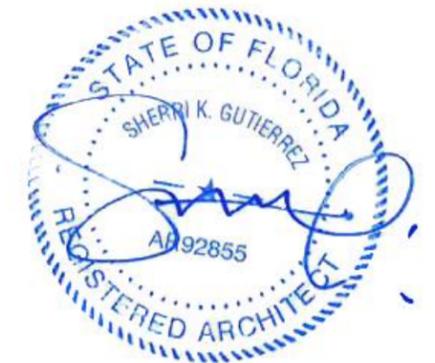


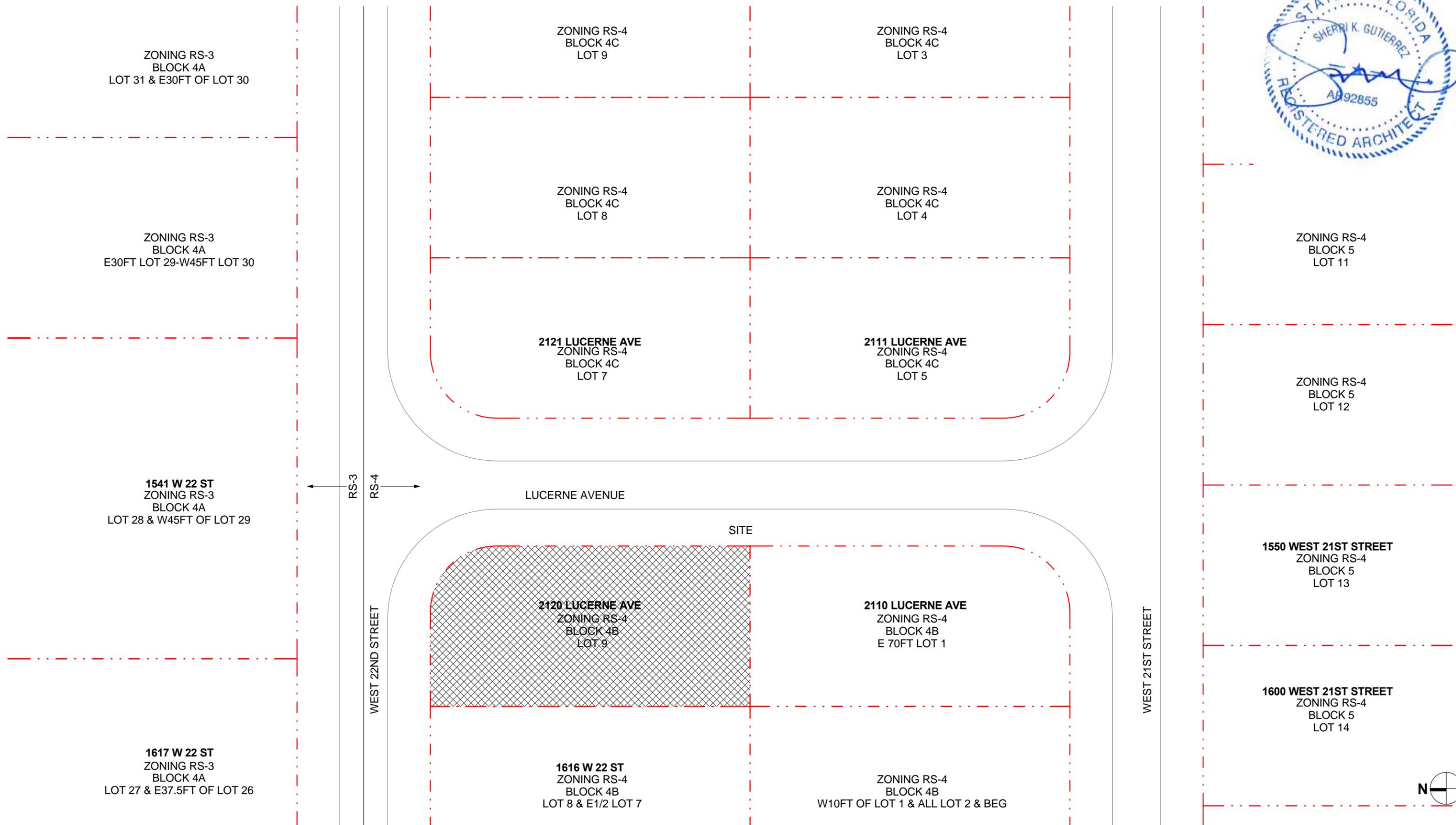
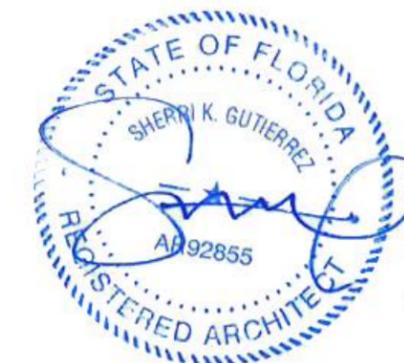


① CONTEXT ELEVATION - EAST / WEST  
1/8" = 1'-0"



② CONTEXT ELEVATION - NORTH / SOUTH  
1/8" = 1'-0"





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**DWYER RESIDENCE**

**2120 LUCERNE AVENUE,  
MIAMI BEACH, FL 33140**

**SITE PLAN**

**1/16" = 1'-0"**

DATE ISSUED: 04.06.2017  
REVISION # 9

NOTES:  
DESIGN REVIEW BOARD:  
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DEADLINE 04.06.2017

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CHECKED BY: RF

DRAWING #:

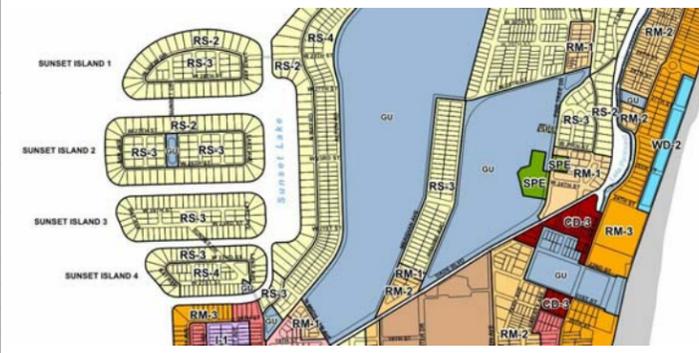
**EX-14**

SHEET 13 OF 47

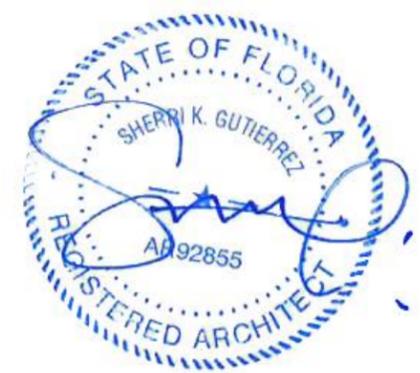
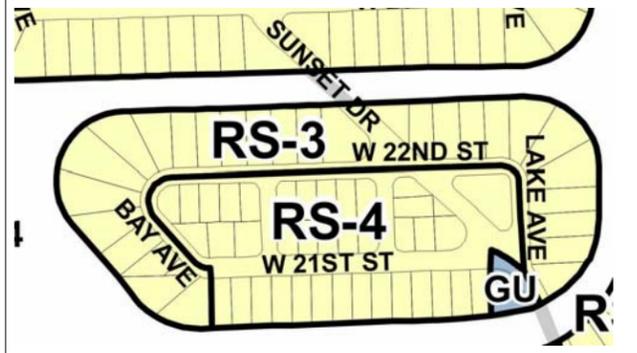


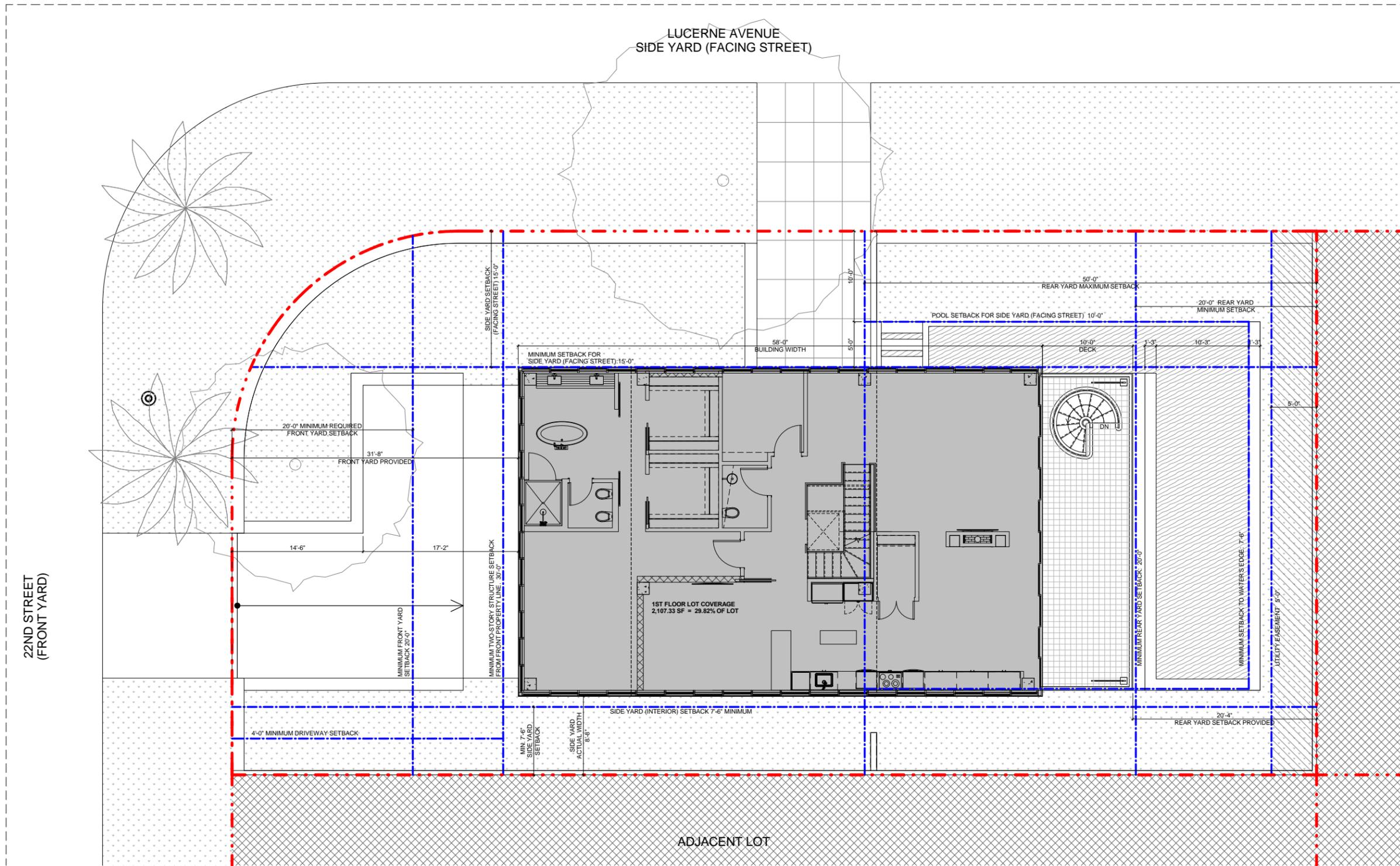
**SINGLE FAMILY RESIDENCE - ZONING DATA SHEET**

ITEM #	ZONING INFORMATION			
1	ADDRESS:	2120 LUCERNE AVENUE, MIAMI BEACH, FL 33140		
2	FOLIO NUMBER(S):	02-3228-001-2070		
3	BOARD AND FILE NUMBERS:	---		
4	YEAR BUILT:	1937	BLOCK & LOT:	BLOCK 4B & LOT 9:
5	BASE FLOOD ELEVATION (B.F.E.):	8'-0"	ZONING DISTRICT	RS-4 SINGLE-FAMILY
6	ADJUSTED GRADE (FLOOD+GRADE/2)	6.24' NGVD = 6'-2" NGVD	GRADE VALUE IN NGVD:	4.48' NGVD = 4'-5" NGVD
7	LOT AREA:	7,066 SF (0.162 ACRE)	FREE BOARD:	5'-0"
8	LOT WIDTH:	60'-0"	LOT DEPTH:	120'-0"
9	MAX LOT COVERAGE SF & %:	2,120 SF (30%)	PROPOSED LOT COVERAGE SF & %:	2,107.33 SF (29.82%)
10	EXSITING LOT COVERAGE SF & %:	---	LOT COVERAGE DEDUCTED (GARAGE-STORAGE) SF:	N/A
11	FRONT YARD OPEN SPACE SF & %:	1,765.88 SF (24.9%)	REAR YARD OPEN SPACE SF & %:	1,219.80 SF (17.26%)
12	MAX UNIT SIZE SF & %:	3,533 SF (50 %)	PROPOSED UNIT SIZE SF & %:	3,326.80 SF (47.08 %)
13	EXISTING FIRST FLOOR UNIT SIZE:	---	PROPOSED FIRST FLOOR UNIT SIZE SF & %:	2,107.33 SF (29.82%)
14	EXISTING SECOND FLOOR UNIT SIZE:	---	PROPOSED SECOND FLOOR VOLUMETRIC UNIT SIZE SF AND %: (NOTE: TO EXCEED 70% OF THE FIRST FLOOR OF THE MAIN HOME REQUIRE DRB APPROVAL)	951 SF (44.9%)
15			PROPOSED SECOND FLOOR UNIT SIZE SF & %:	951 SF (13.5%)
16			PROPOSED ROOF DECK AREA SF & % (NOTE: MAXIMUM IS 25% OF THE ENCLOSED FLOOR AREA IMMEDIATELY BELOW):	91.25 SF (4% OF ENCLOSED FLOOR AREA BELOW)
17	<b>HEIGHT :</b>	<b>REQUIRED</b> 24'-0" MAX. MEASURED FROM THE REQUIRED 8'-0" B.F.E. PLUS 5'-0" ALLOWED FREEBOARD (13'-0" NGVD)	<b>PROPOSED</b> 24'-0" MEASURED FROM THE REQUIRED 8'-0" B.F.E. PLUS 5'-0" ALLOWED FREEBOARD	<b>DEFICIENCIES</b>
18	<b>SETBACKS:</b>			
19	FRONT FIRST LEVEL:	30'-0" MIN.	31'-8"	---
20	FRONT SECOND LEVEL:	30'-0" MIN.	31'-8"	
21	SIDE 1:	MIN. 10% OF LOT WIDTH OR 7'-6"	8'-8"	
22	SIDE 2 OR (FACING STREET):	MIN. 10% OF LOT WIDTH OR 15'-0"	15'-0"	
23	REAR YARD:	MIN. 15% OF LOT WIDTH, 20FT MIN. 50FT MAX.	20'-4"	
24	ACCESSORY STRUCTURE SIDE 1 OR (FACING STREET):	---	---	---
25	ACCESSORY STRUCTURE REAR:	---	---	---
26	SUM OF SIDE YARD:	25% OF LOT WIDTH, 15'-0" MIN	23'-8"	---
27	<b>SWIMMING POOL SETBACKS:</b>			
28	SIDE 1:	9'-0" MIN.	9'-0" MIN.	---
29	SIDE YARD (FACING STREET):	10'-0" MIN.	10'-0" MIN.	---
30	REAR YARD:	7'-6" MIN.	7'-6" MIN.	---
31	<b>ACCESSORY PARKING SPACES:</b>	2	2	
32	LOCATED WITHIN A HISTORIC DISTRICT?	YES OR NO		
33	DESIGNATED AS AN INDIVIDUAL HISTORIC SINGLE FAMILY RESIDENCE	YES OR NO		
34	DETERMINED TO BE ARCHITECTURALLY SIGNIFICANT ?	YES OR NO		
	NOTES:	IF NOT APPLICABLE WRITE N/A		



**OFFICIAL ZONING MAP OF THE CITY OF MIAMI BEACH, FLORIDA**





**LEGEND**

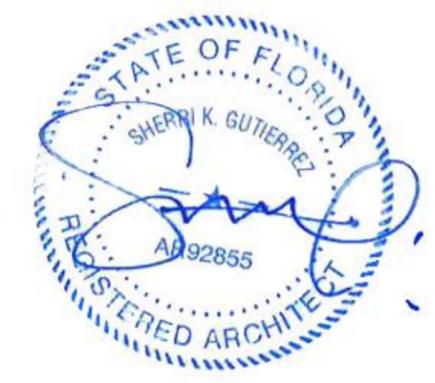
- LOT LINE
- SETBACK LINE
- BUILDING FOOTPRINT
- SECOND FLOOR ABOVE
- LOT COVERAGE
- TERRACE / BALCONY
- EASEMENT
- ADJACENT LOT

LOT COVERAGE ALLOWABLE  
2,120 SF = 30% LOT COVERAGE

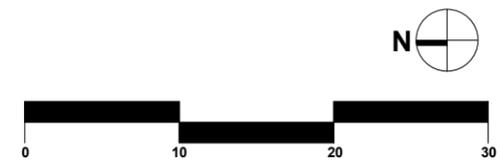
1ST FLOOR LOT COVERAGE  
2,107.33 SF = 29.82% OF LOT

OPEN SPACE  
4,958.67 SF = 70.18% LOT COVERAGE

TOTAL LOT AREA  
7,066 SF



1 BUILDING LOT COVERAGE ANALYSIS  
3/16" = 1'-0"



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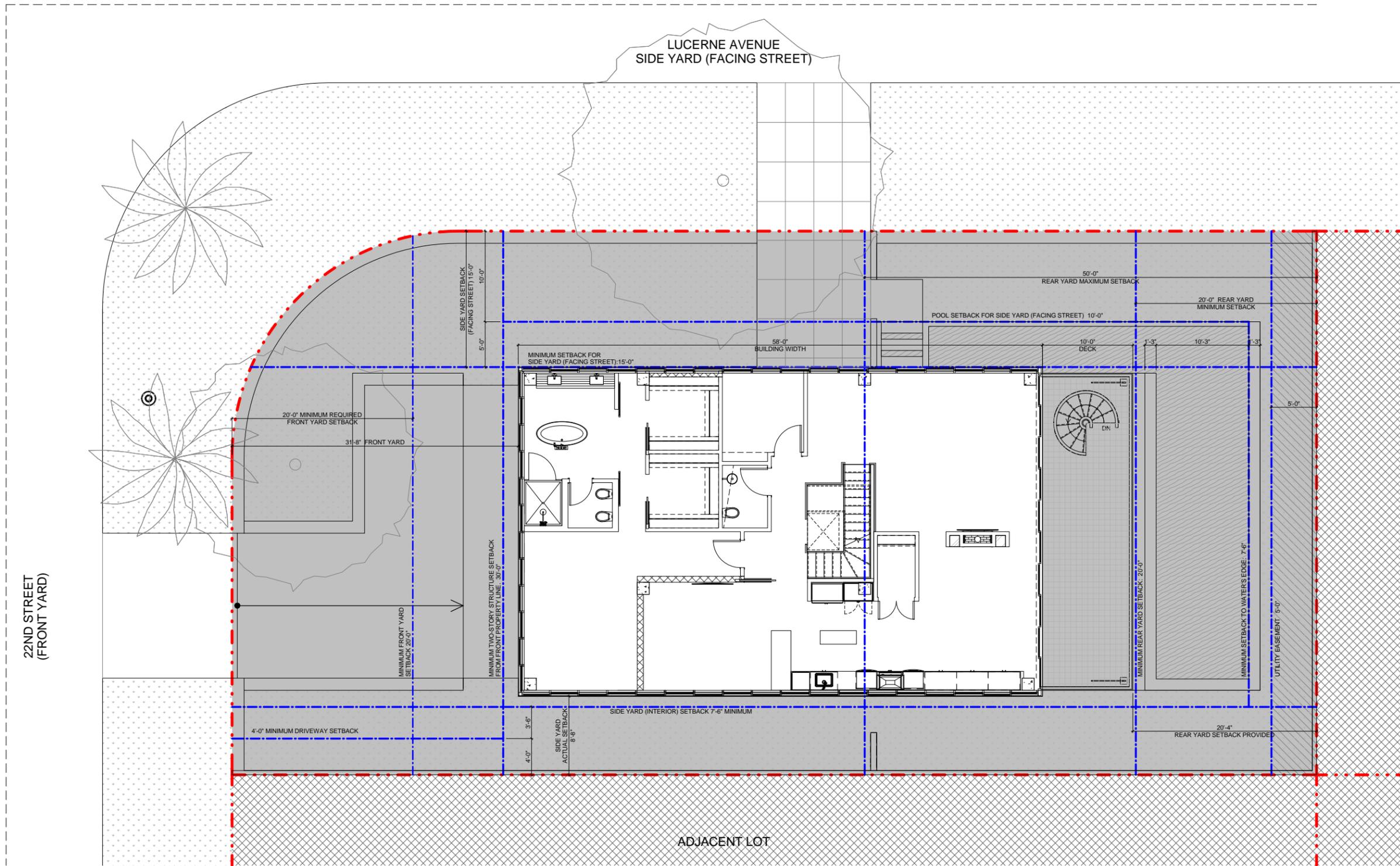
2120 LUCERNE AVENUE,  
MIAMI BEACH, FL 33140

**PROJECT DATA - LOT COVERAGE ANALYSIS**

3/16" = 1'-0"

DATE ISSUED: 04.06.2017	DRAWN BY:	CHECKED BY:
REVISION # 9	OR	RF
NOTES:	DRAWING #:	
DESIGN REVIEW BOARD:	<b>A0-02</b>	
CAP FIRST SUBMITTAL DEADLINE 03.21.2017	SHEET 15 OF 47	
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LEGEND	
LOT LINE	
SETBACK LINE	
BUILDING FOOTPRINT	
SECOND FLOOR ABOVE	
LOT COVERAGE	
TERRACE / BALCONY	
EASEMENT	
ADJACENT LOT	

LOT COVERAGE ALLOWABLE  
2,120 SF = 30% LOT COVERAGE

1ST FLOOR LOT COVERAGE  
2,107.33 SF = 29.82% OF LOT

OPEN SPACE  
4,958.67 SF = 70.18% LOT COVERAGE

TOTAL LOT AREA  
7,066 SF



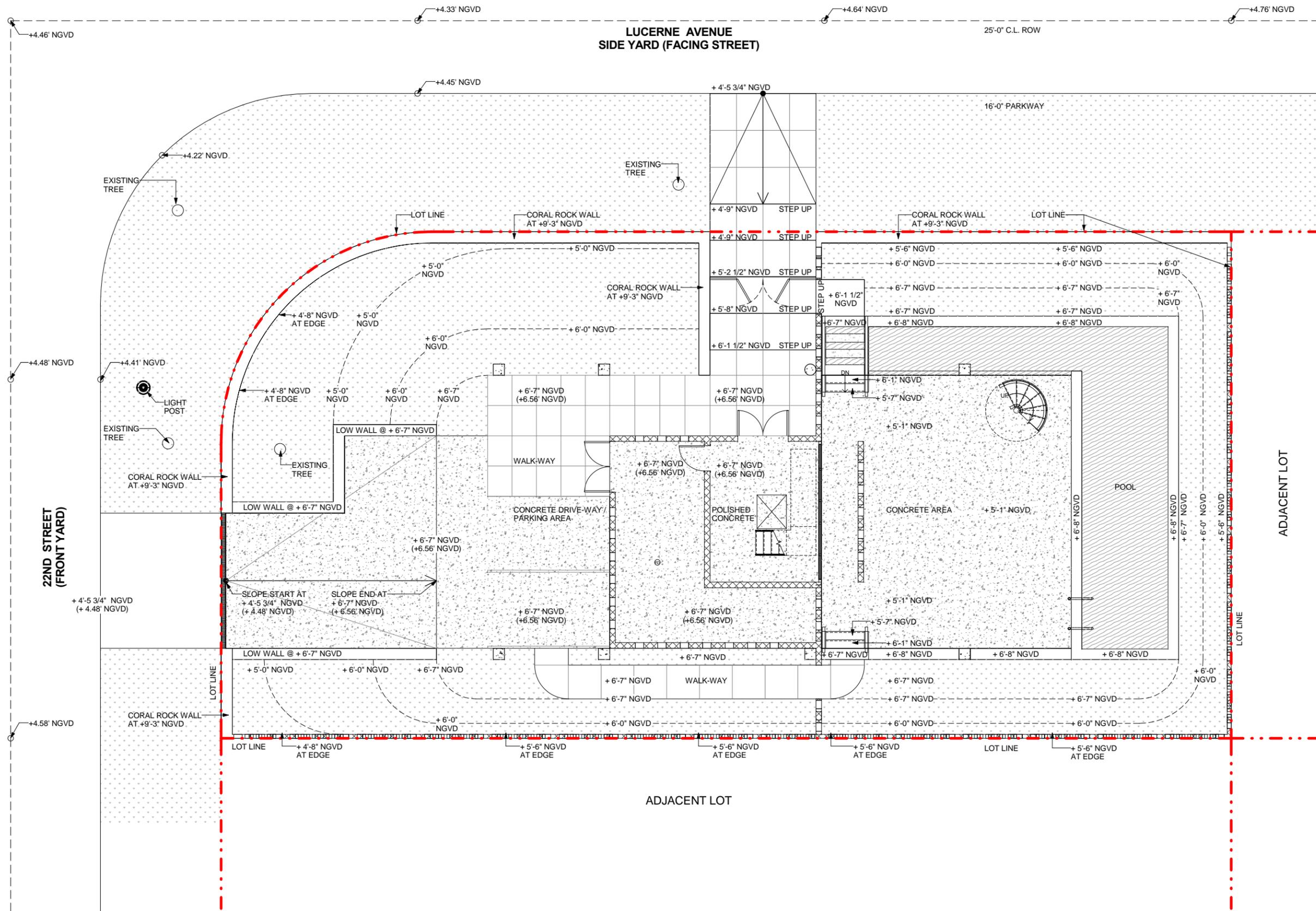
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**DWYER RESIDENCE**  
  
2120 LUCERNE AVENUE,  
MIAMI BEACH, FL 33140

**PROJECT DATA - OPEN AREA ANALYSIS**  
  
3/16" = 1'-0"

DATE ISSUED: 04.06.2017	DRAWN BY:	CHECKED BY:
REVISION # 9	OR	RF
NOTES:	DRAWING #:	
DESIGN REVIEW BOARD:	<b>A0-03</b>	
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LEGEND	
LOT LINE	---
SITE GRADE / ELEVATION LINE	- - - -
BUILDING FOOTPRINT	▭
LOT COVERAGE	▭
GRASS / LANDSCAPING	▭
CONCRETE	▭
POOL WATER	▭



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## DWYER RESIDENCE

2120 LUCERNE AVENUE,  
 MIAMI BEACH, FL 33140

## PROJECT DATA - GRADING PLAN

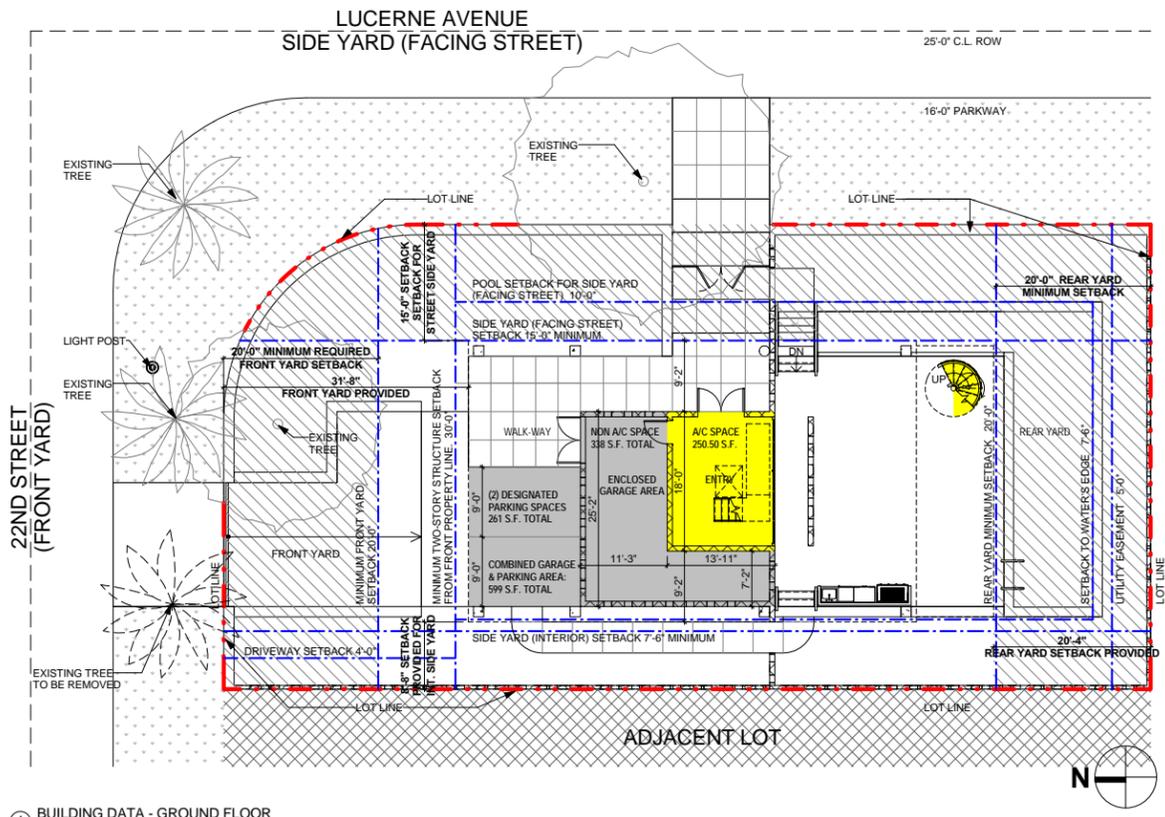
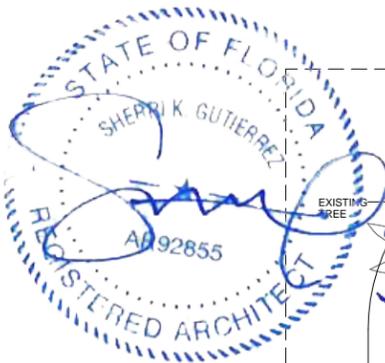
3/16" = 1'-0"

DATE ISSUED: 04.06.2017  
 REVISION # 9  
 NOTES:  
 DESIGN REVIEW BOARD:  
 CAP FIRST SUBMITTAL  
 DEADLINE 03.21.2017  
 CAP FINAL SUBMITTAL  
 DEADLINE 04.06.2017

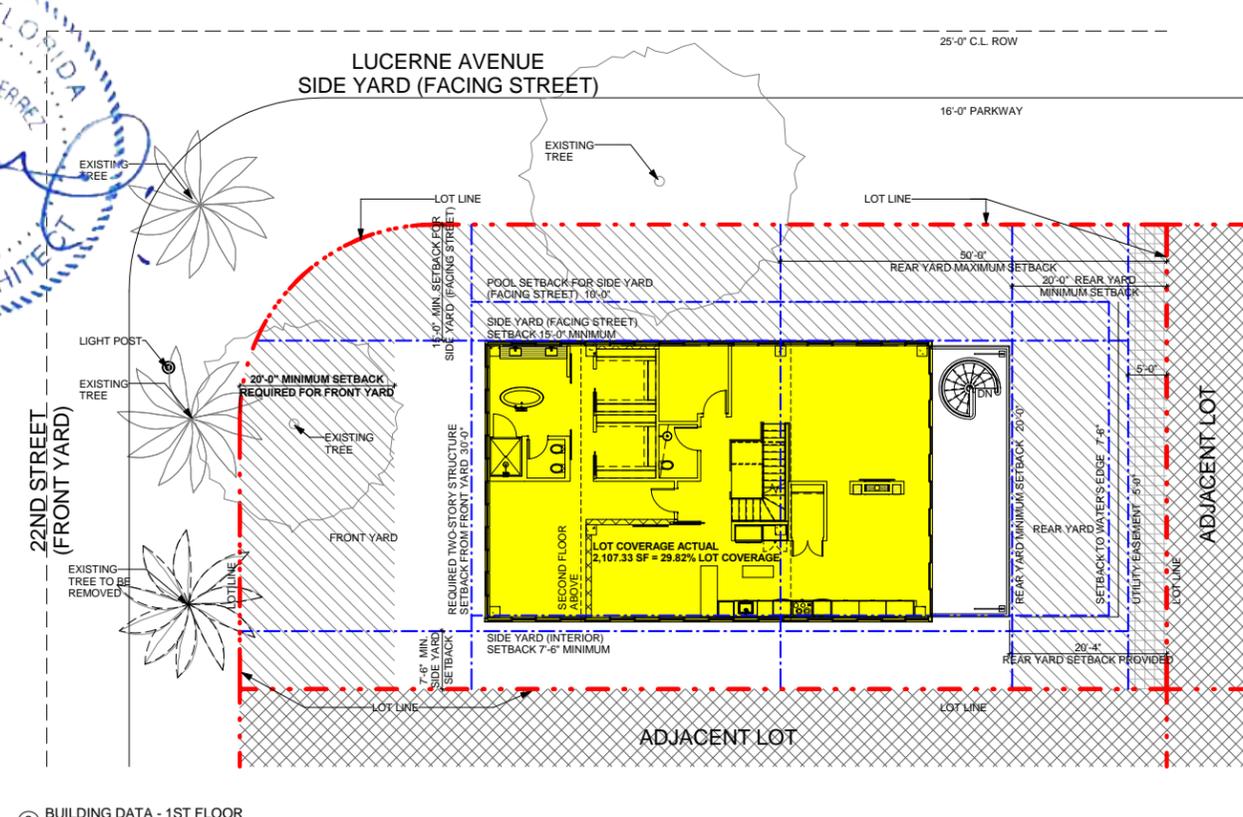
DRAWN BY: | CHECKED BY:  
 OR | RF

DRAWING #:  
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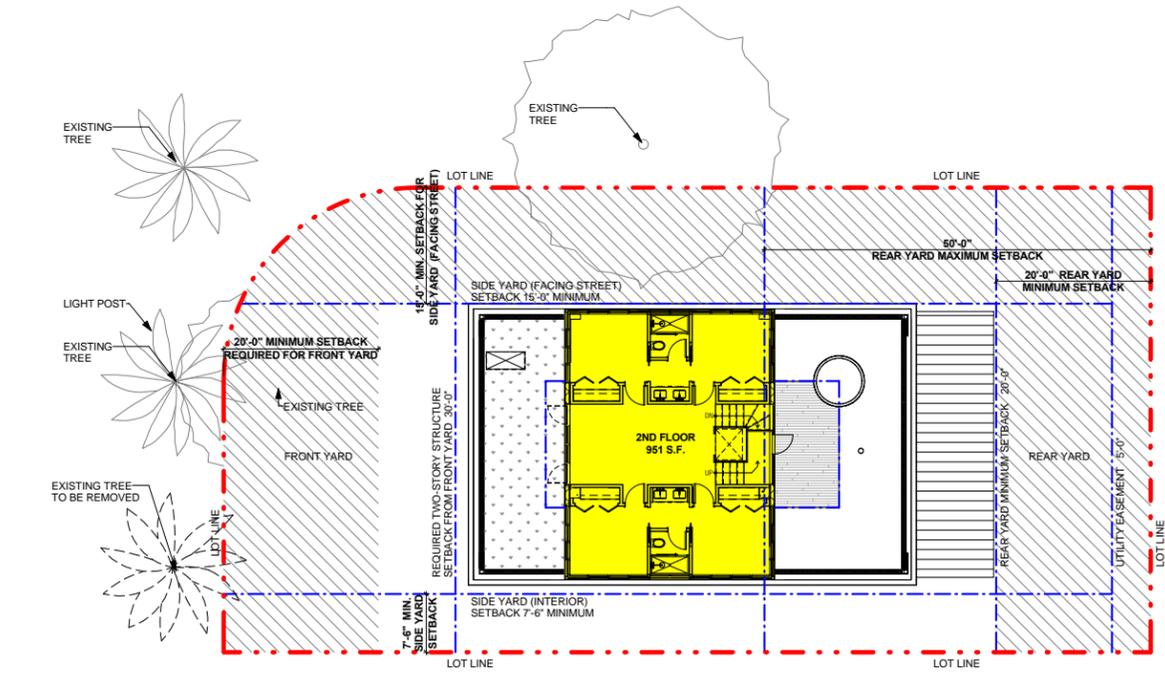
SHEET 17 OF 47



1 BUILDING DATA - GROUND FLOOR  
3/32" = 1'-0"



2 BUILDING DATA - 1ST FLOOR  
3/32" = 1'-0"



3 BUILDING DATA - 2ND FLOOR  
3/32" = 1'-0"

**LOT COVERAGE ALLOWABLE**  
2,120 SF = 30% LOT COVERAGE

**LOT COVERAGE ACTUAL**  
2,107.33 SF = 29.82% LOT COVERAGE

**OPEN SPACE**  
4,958.67 SF = 70.18% LOT COVERAGE

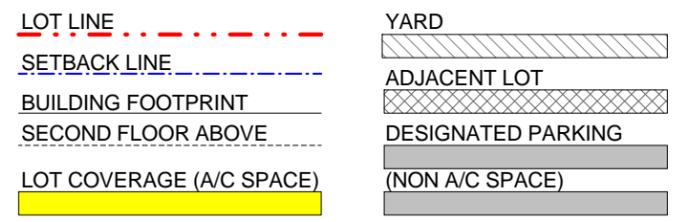
**TOTAL LOT AREA**  
7,066 SF

**BUILDING DATA (UNIT SIZE)**

<b>MAIN HOUSE:</b>		
GROUND FLOOR (A/C)		250.50 S.F.
FIRST FLOOR (A/C)		2,107.33 S.F.
SECOND FLOOR (A/C)		951 S.F.
SPIRAL STAIR (COVERED AREA)		24.28 S.F.
<b>TOTAL (A/C)</b>		<b>3,333.11 S.F.</b>
<b>BALCONY (10'-0" OR LESS PROJECTION)</b>		
		350 S.F.
<b>EXTERIOR PARKING AREA (NON A/C)</b>		
		261 S.F.
<b>ENCLOSED GARAGE AREA (NON A/C)</b>		
		338 S.F.
<b>TOTAL (NON A/C)</b>		<b>949 S.F.</b>
<b>DEDUCTED UNIT SIZE (NON A/C)</b>		
		949 S.F.
<b>TOTAL UNIT SIZE (A/C + NON A/C)</b>		<b>3,333.11 S.F.</b>

**FLOOR RATIO PERCENTAGE**

<b>MAIN HOUSE:</b>		
TOTAL FIRST FLOOR (VOLUMETRIC)	2,107.33 S.F.	100%
TOTAL SECOND FLOOR (VOLUMETRIC)	951 S.F.	45.2%
<b>TOTAL:</b>		<b>45.2%</b>



**ROOF DECK CALCULATIONS**

TOTAL FIRST FLOOR	2,107.33 S.F.	100%
TOTAL ROOF AREA	136.11 S.F.	6.4%

**SITE DATA (LOT COVERAGE)**

BUILDING LOT COVERAGE:	2,107.33 S.F.
MAIN HOUSE:	2,107.33 S.F.
BALCONY:	350 S.F.
<b>TOTAL BUILDING LOT COVERAGE:</b>	<b>2,107.33 S.F.</b>

**FRONT SETBACK CALCULATIONS**

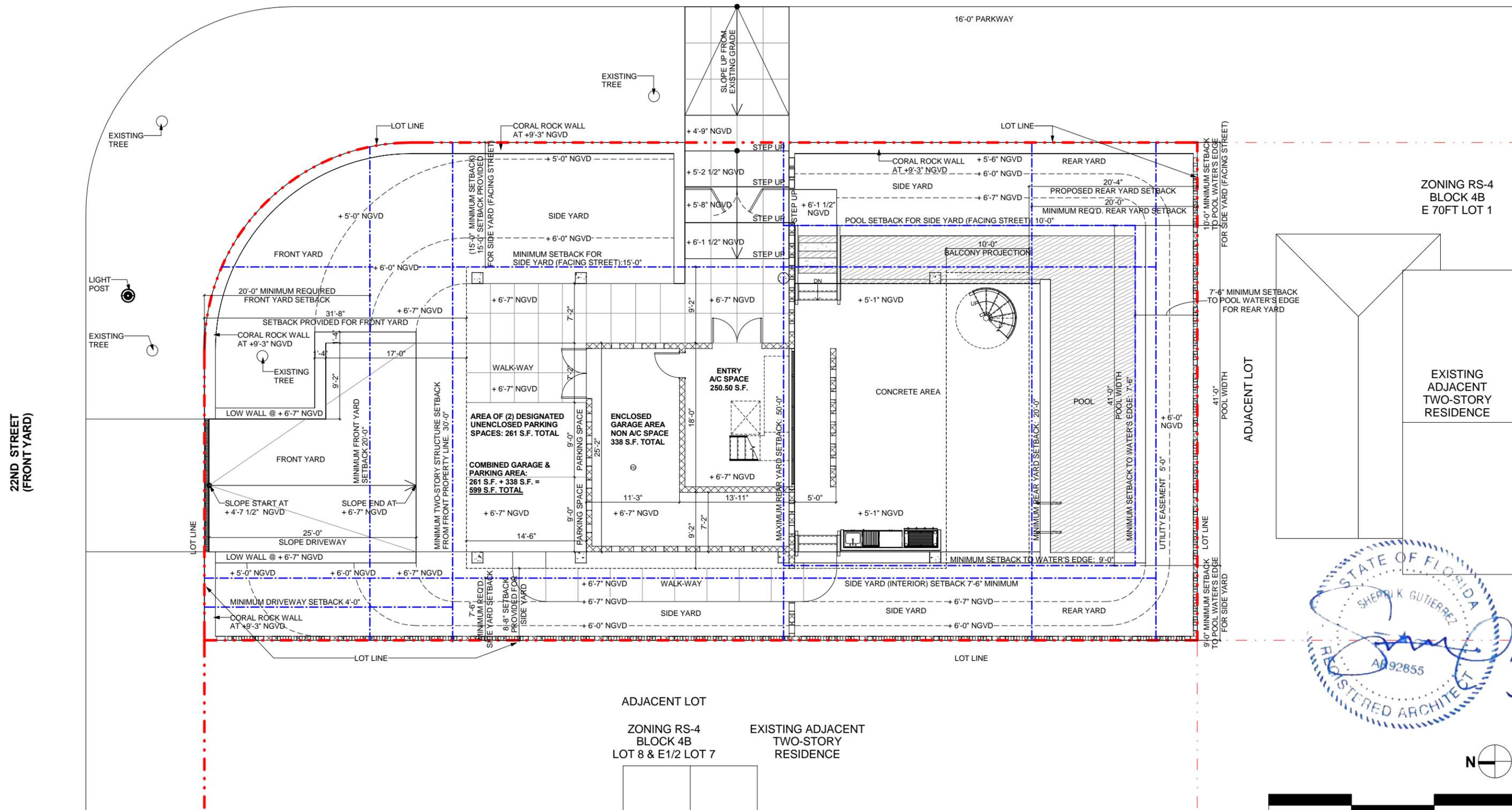
AREA:	1,765.88 S.F.	100%
IMPERVIOUS AREA:	882.94 S.F.	48.5%
LANDSCAPE AREA:	927.10 S.F.	52.5%

**REAR YARD SETBACK CALCULATIONS**

AREA:	1,219.80 S.F.	100%
IMPERVIOUS AREA:	238.97 S.F.	19.6%
LANDSCAPE AREA:	980.83 S.F.	80.4%

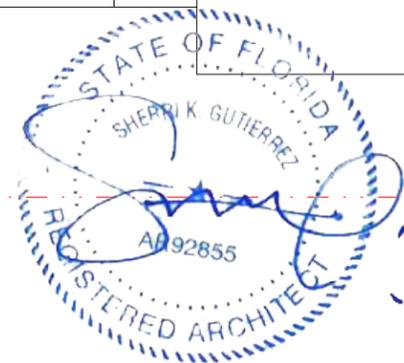
LUCERNE AVENUE  
SIDE YARD (FACING STREET)

25'-0" C.L. ROW



ZONING RS-4  
BLOCK 4B  
E 70FT LOT 1

EXISTING  
ADJACENT  
TWO-STORY  
RESIDENCE



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**SITE PLAN - GROUND FLOOR**

3/16" = 1'-0"

DATE ISSUED: 04.06.2017  
REVISION # 9  
NOTES:  
DESIGN REVIEW BOARD:  
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DEADLINE 03.21.2017  
CAP FINAL SUBMITTAL  
DEADLINE 04.06.2017

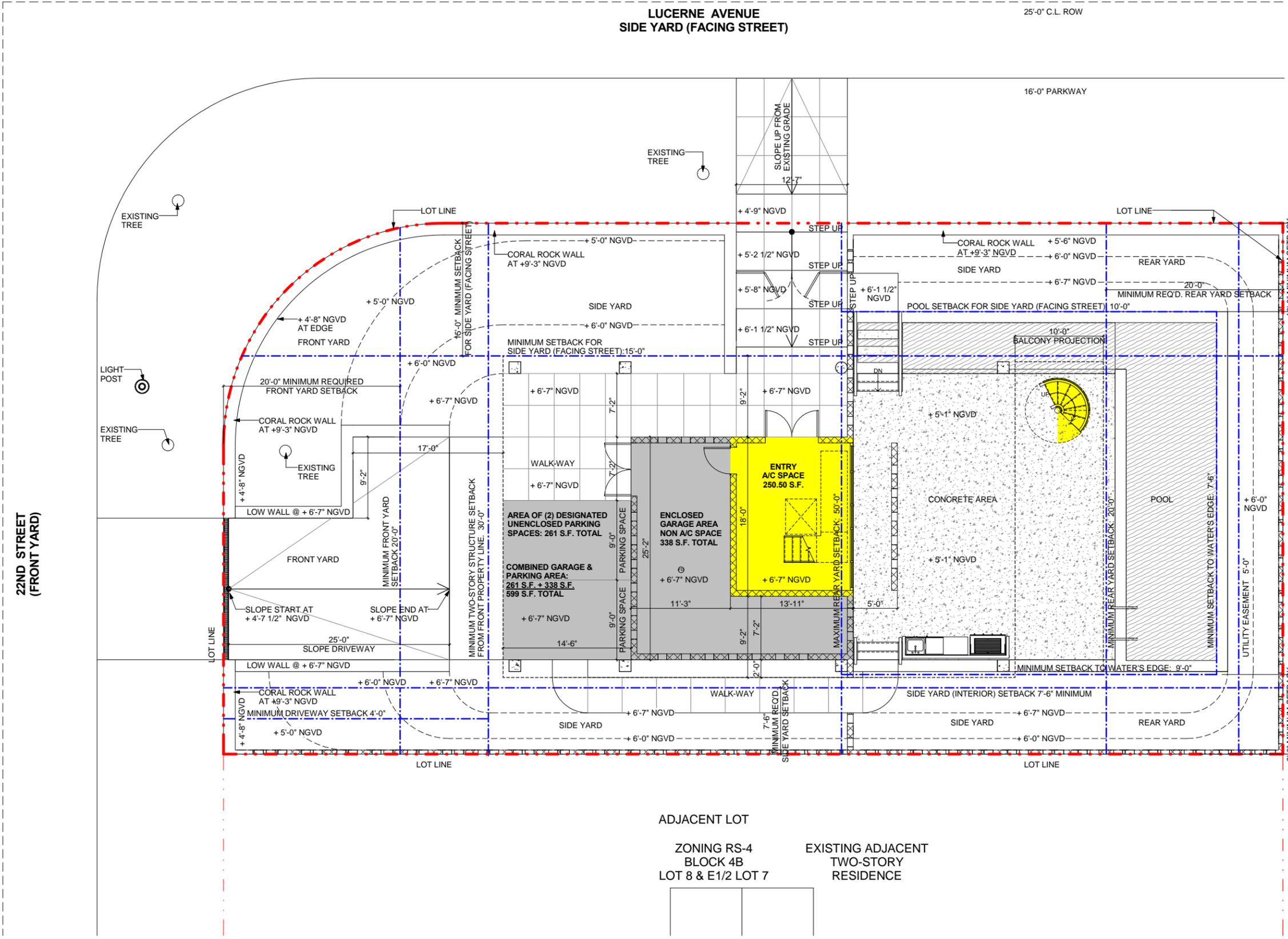
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CHECKED BY: RF

DRAWING #:

**A0-06**

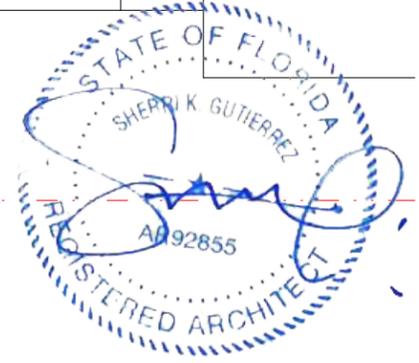
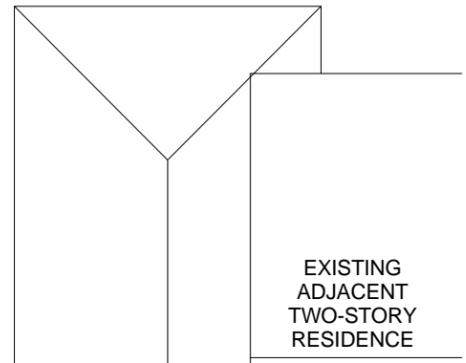
SHEET 19 OF 47





DESIGNATED SPACE	TOTAL AREA
COVERED SPACE UNDERNEATH STRUCTURE	2,439.37 S.F.
EXTERIOR COVERED SPACE UNDERNEATH STRUCTURE (NOT INCLUDED IN UNIT SIZE)	1,565.59 S.F.
ENTRY AREA (INCLUDED IN UNIT SIZE)	250.50 S.F.
COVERED PORTION OF SPIRAL STAIR (INCLUDED IN UNIT SIZE)	24.28 S.F.
(2) DESIGNATED UNENCLOSED PARKING SPACES (NOT INCLUDED IN UNIT SIZE)	261 S.F.
ENCLOSED GARAGE AREA (NOT INCLUDED IN UNIT SIZE)	338 S.F.

ZONING RS-4  
BLOCK 4B  
E 70FT LOT 1



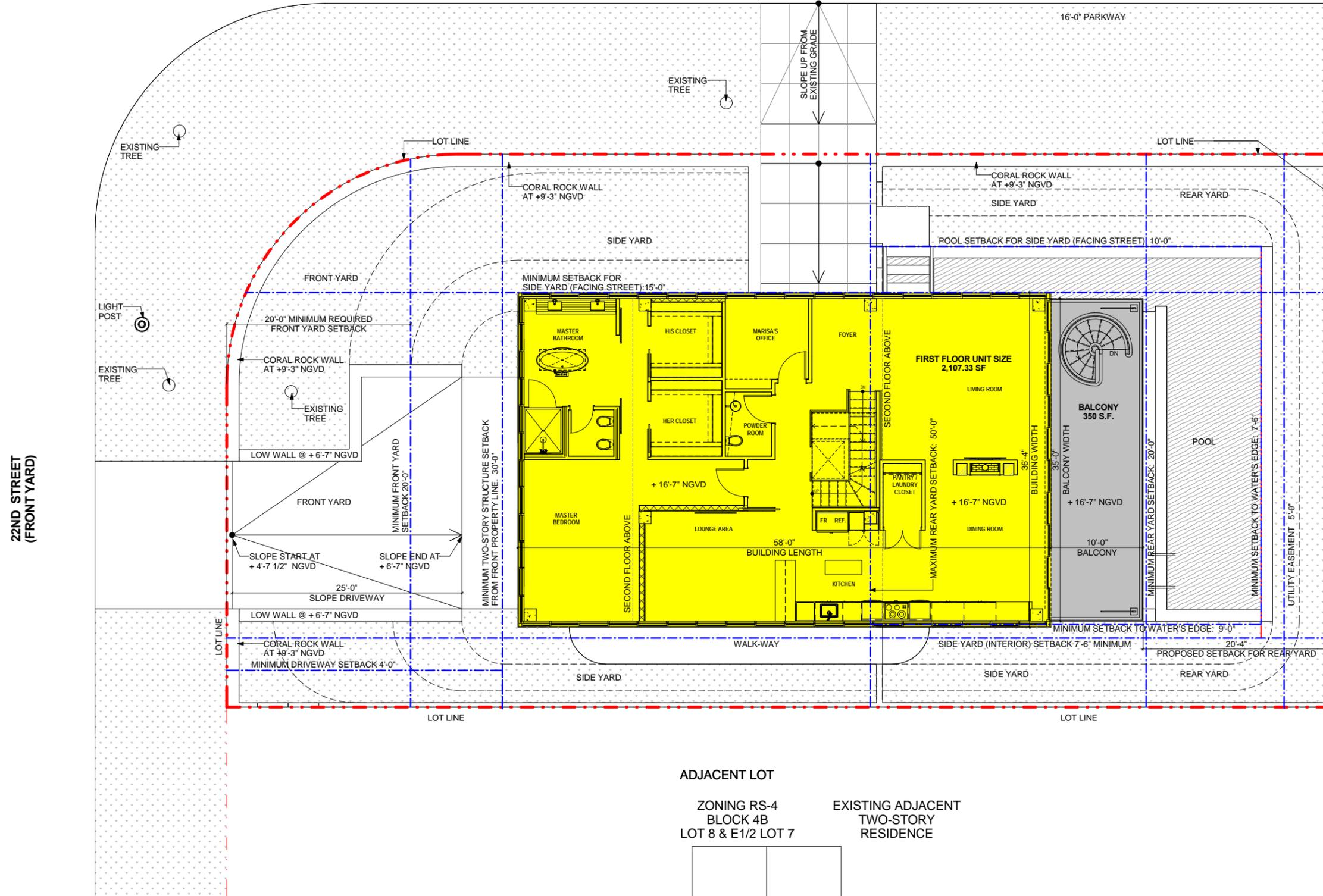
ADJACENT LOT  
ZONING RS-4  
BLOCK 4B  
LOT 8 & E1/2 LOT 7

EXISTING ADJACENT  
TWO-STORY  
RESIDENCE

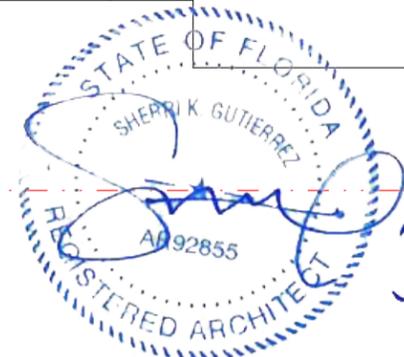
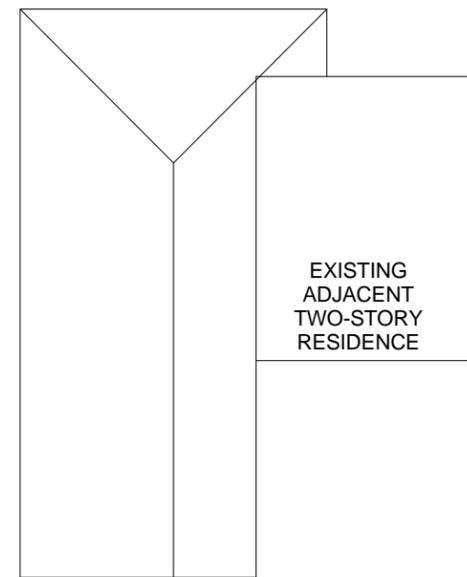
LUCERNE AVENUE  
SIDE YARD (FACING STREET)

25'-0" C.L. ROW

DESIGNATED SPACE	TOTAL AREA
FIRST FLOOR INTERNAL SPACE (INCLUDED UNIT SIZE)	2,107.33 S.F.
UNCOVERED BALCONY (NOT INCLUDED IN UNIT SIZE)	350 S.F.

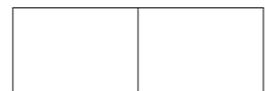


ZONING RS-4  
BLOCK 4B  
E 70FT LOT 1



ADJACENT LOT

ZONING RS-4  
BLOCK 4B  
LOT 8 & E 1/2 LOT 7



EXISTING ADJACENT  
TWO-STORY  
RESIDENCE

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**ZONING DIAGRAM - FIRST FLOOR UNIT  
SIZE**

3/16" = 1'-0"

DATE ISSUED: 04.06.2017  
REVISION # 9

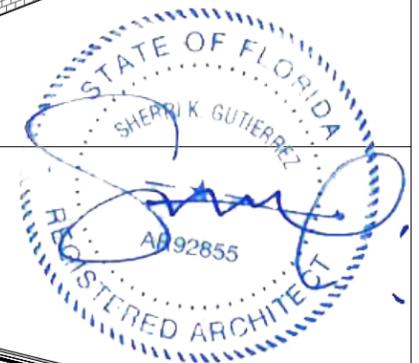
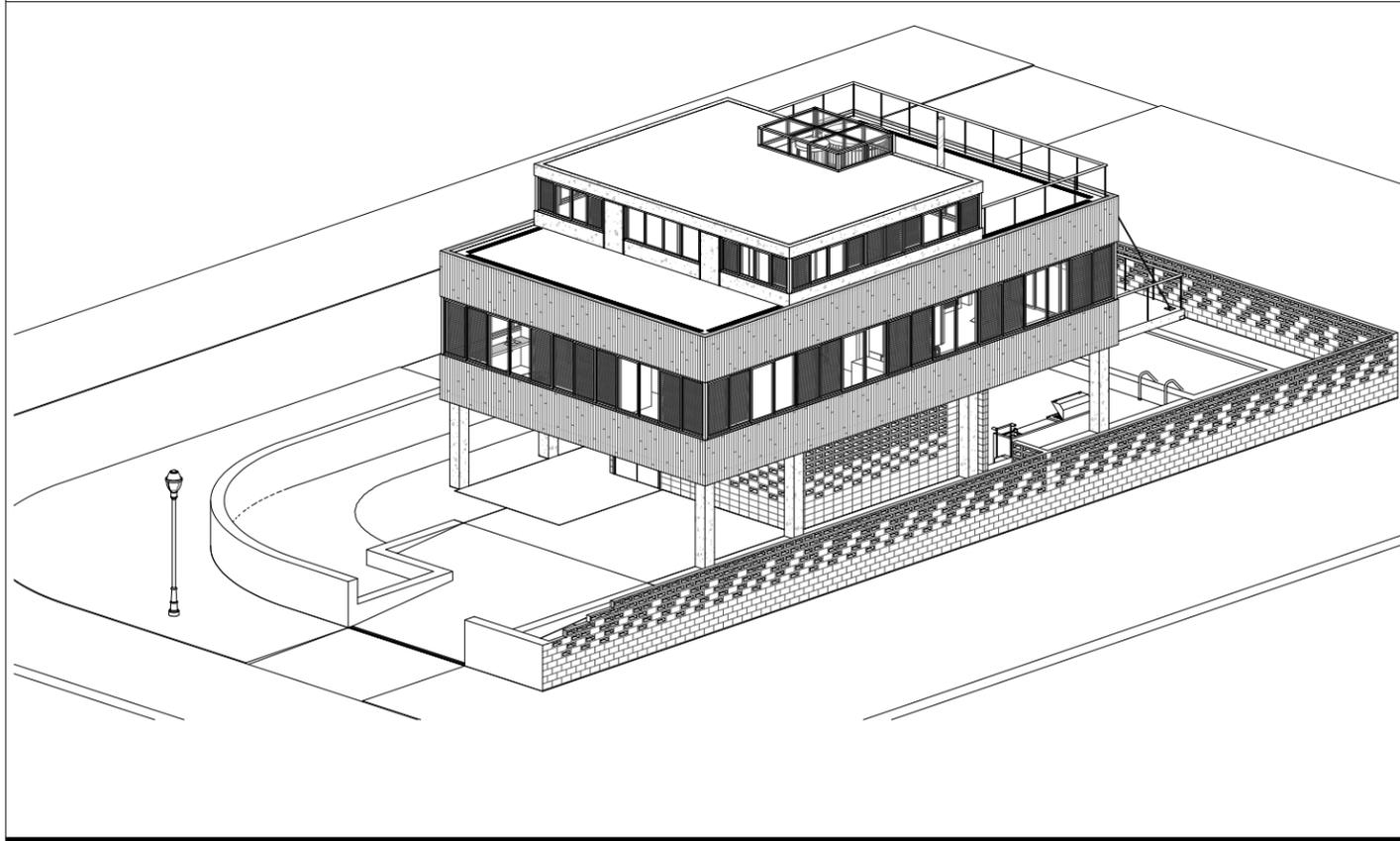
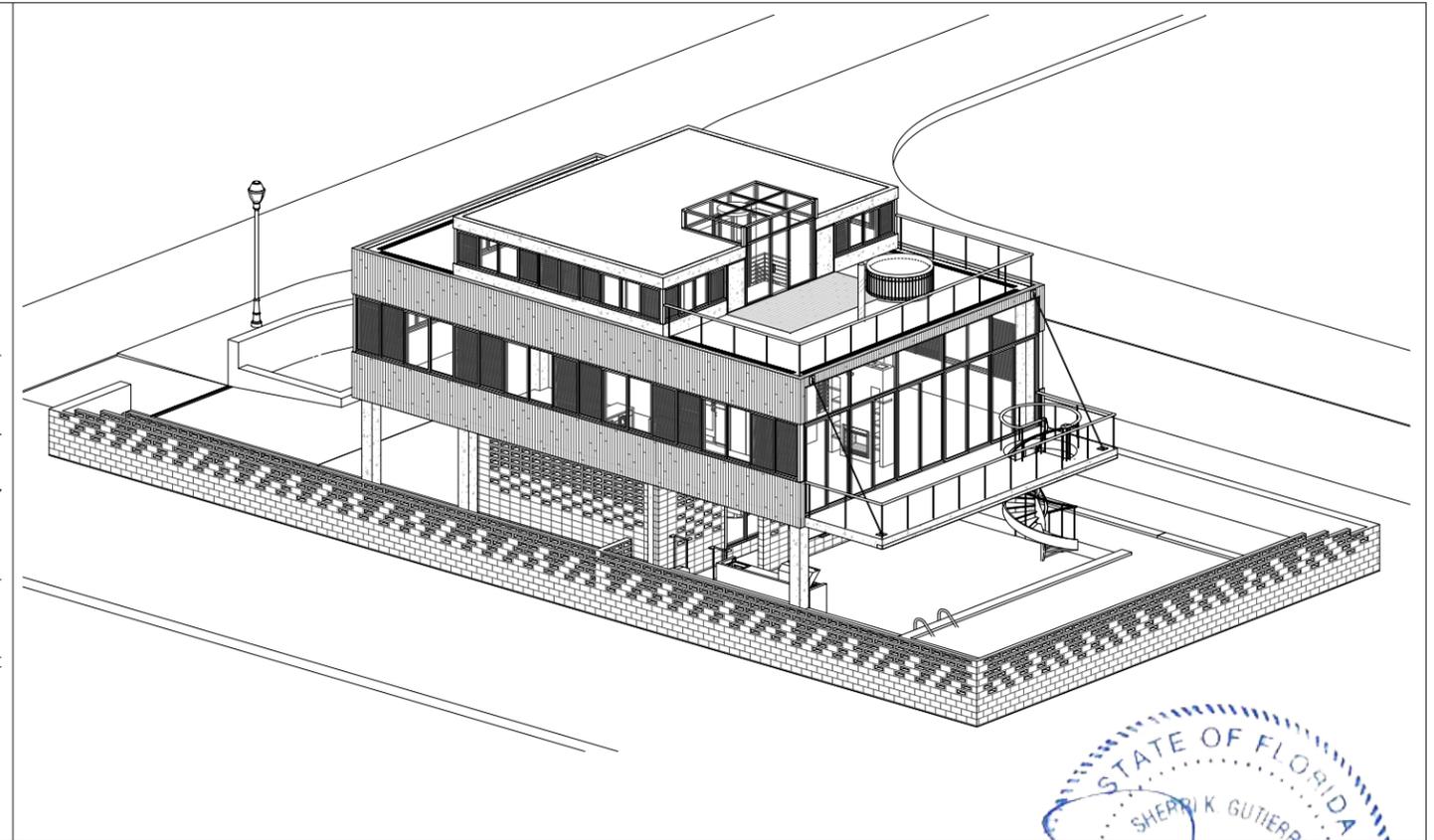
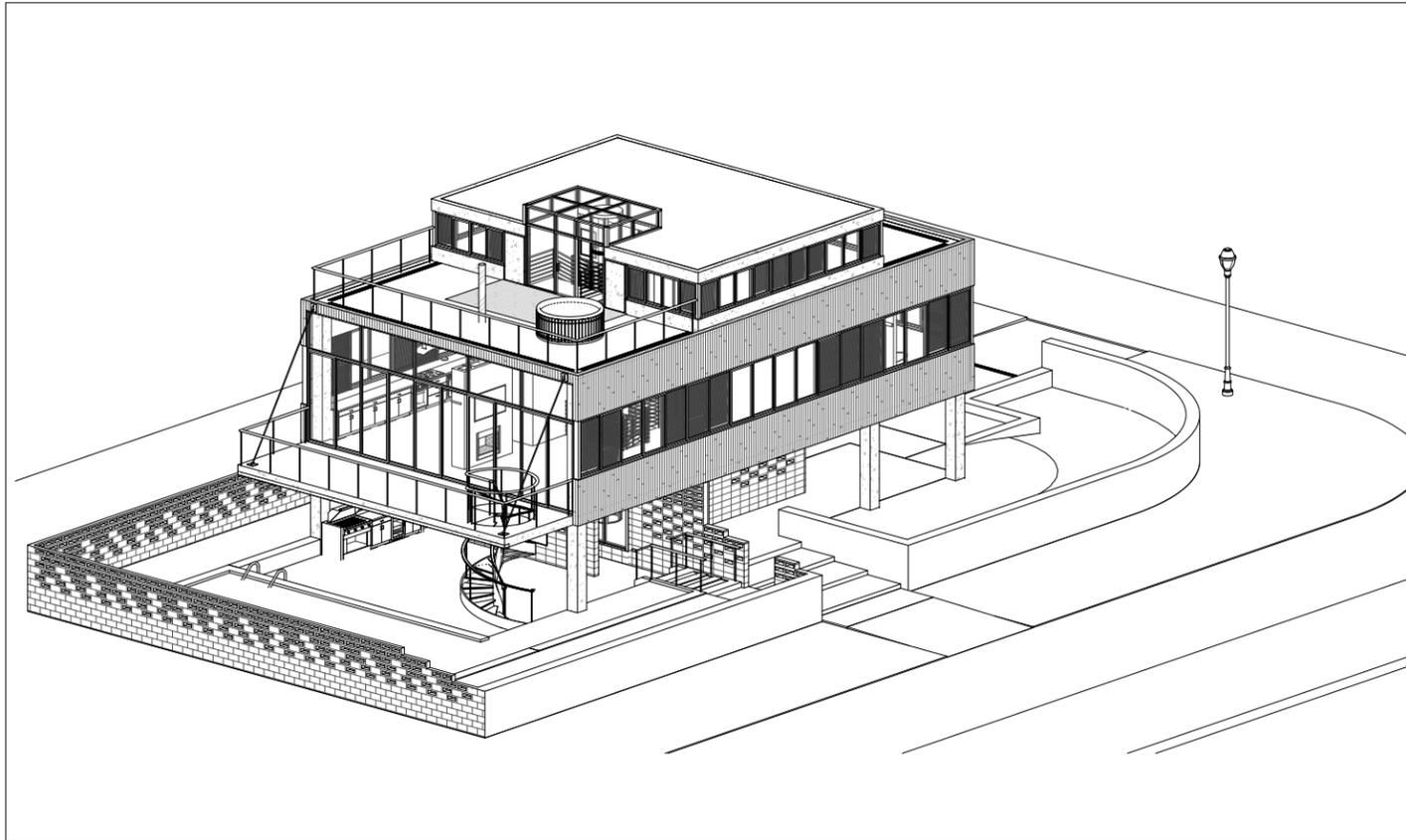
NOTES:  
DESIGN REVIEW BOARD:  
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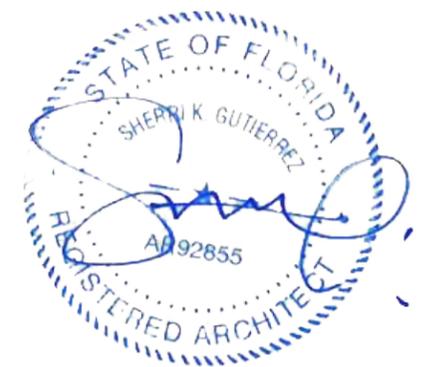
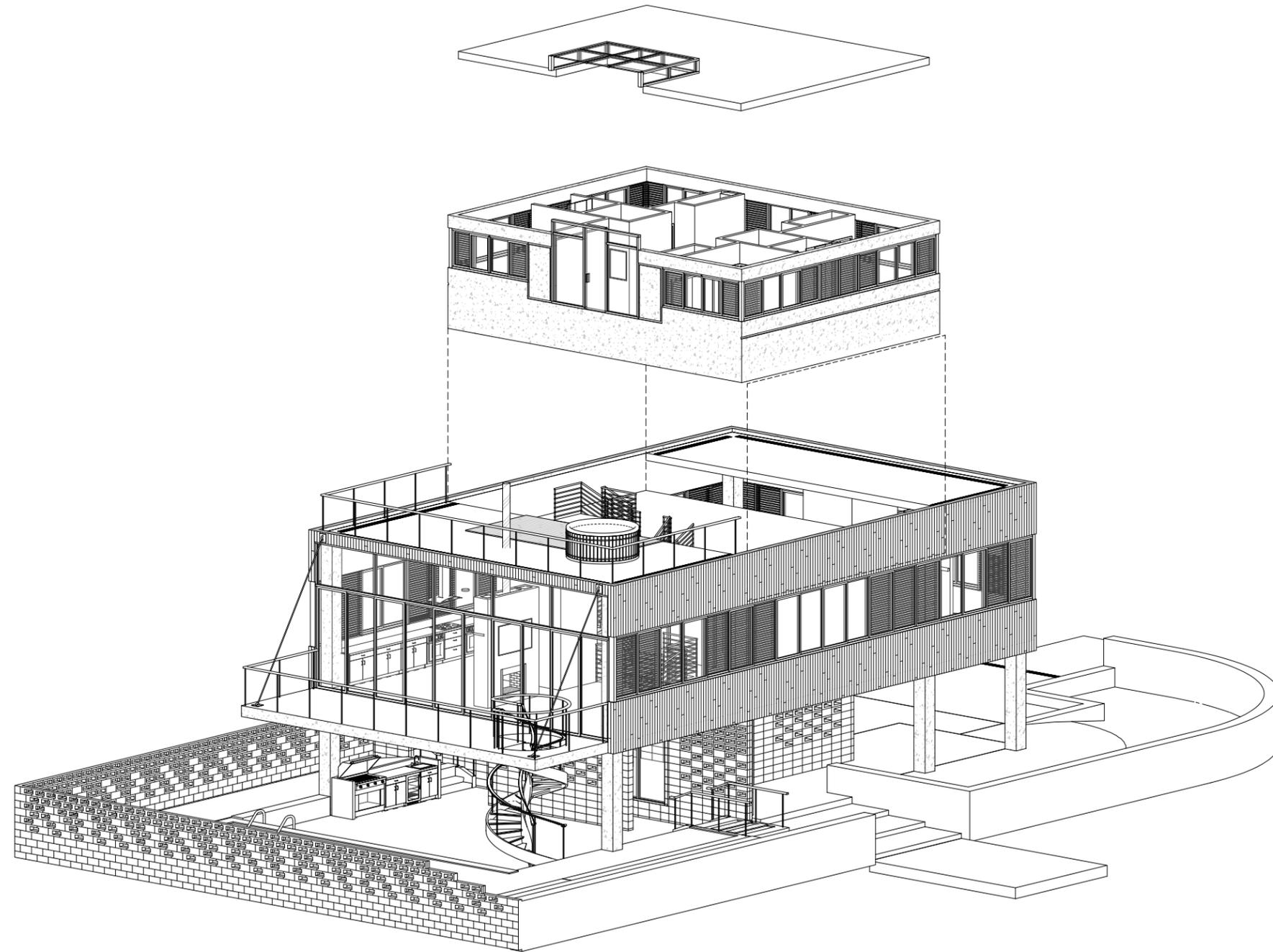
**2120 LUCERNE AVENUE,  
 MIAMI BEACH, FL 33140**

**ZONING DIAGRAM - MASSING  
 (AXONOMETRIC)**

DATE ISSUED: 04.06.2017  
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**EXPLODED AXONOMETRIC DIAGRAM -  
SECOND FLOOR IN RELATIONSHIP TO  
FIRST FLOOR**

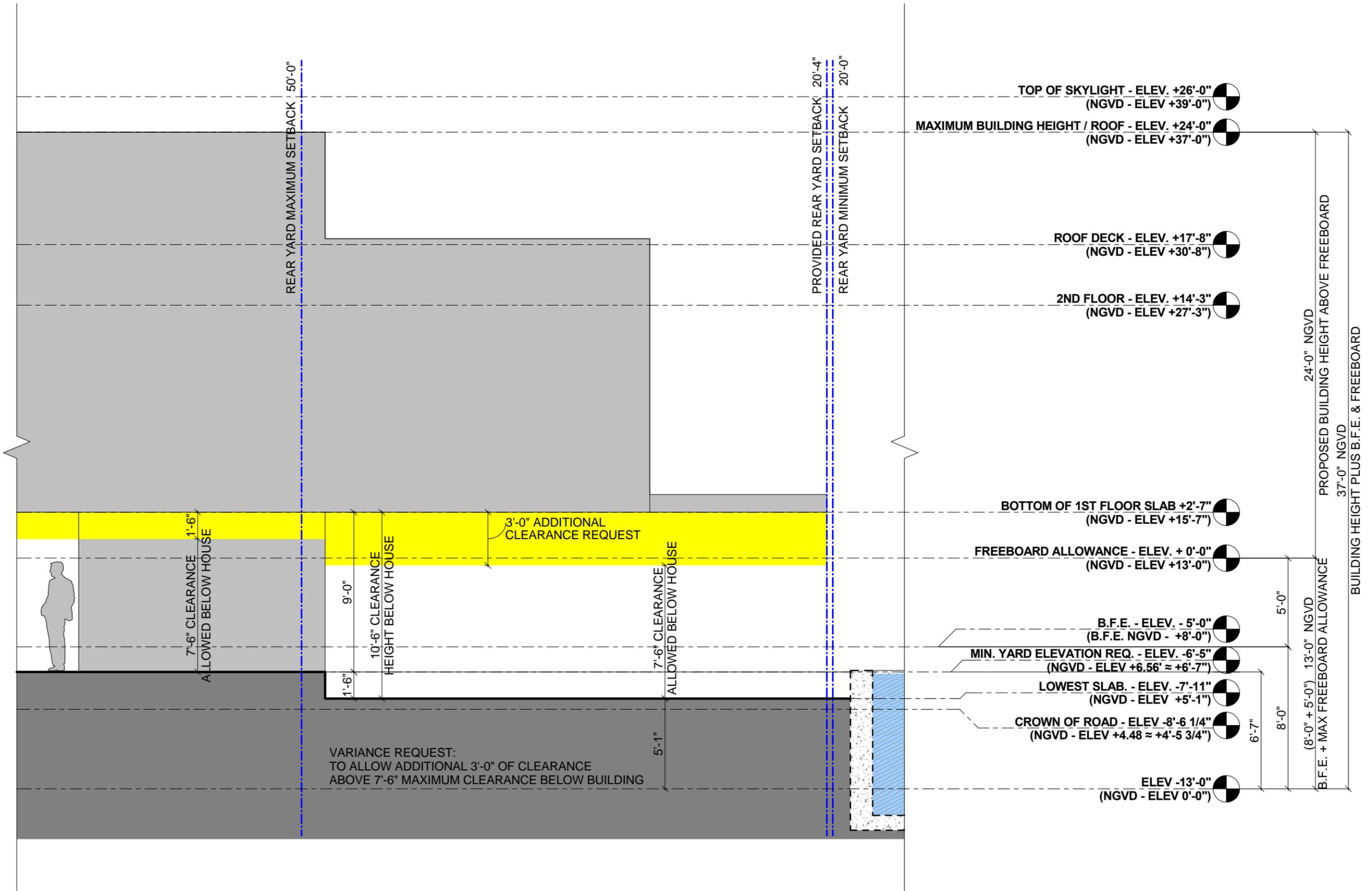
DATE ISSUED: 04.06.2017  
REVISION # 9  
NOTES:  
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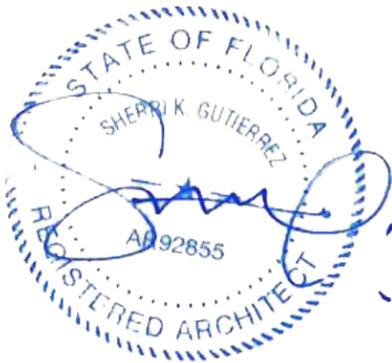
DRAWING #:

**A0-12**

SHEET 25 OF 47



**LEGEND:**  
  
 REGION WHERE ADDITIONAL CLEARANCE IS REQUEST



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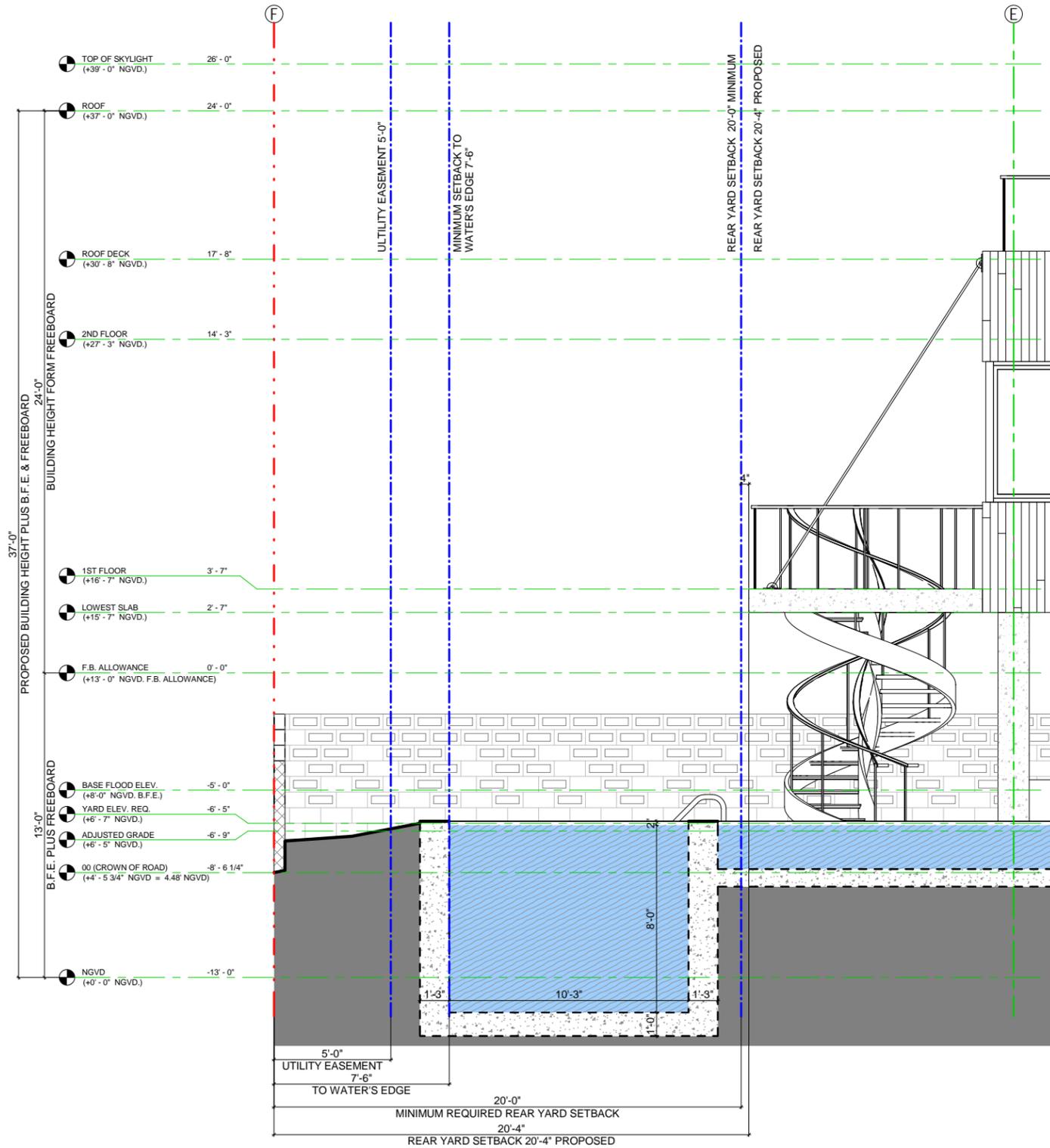
## CLEARANCE WAIVER DIAGRAM

3/8" = 1'-0"

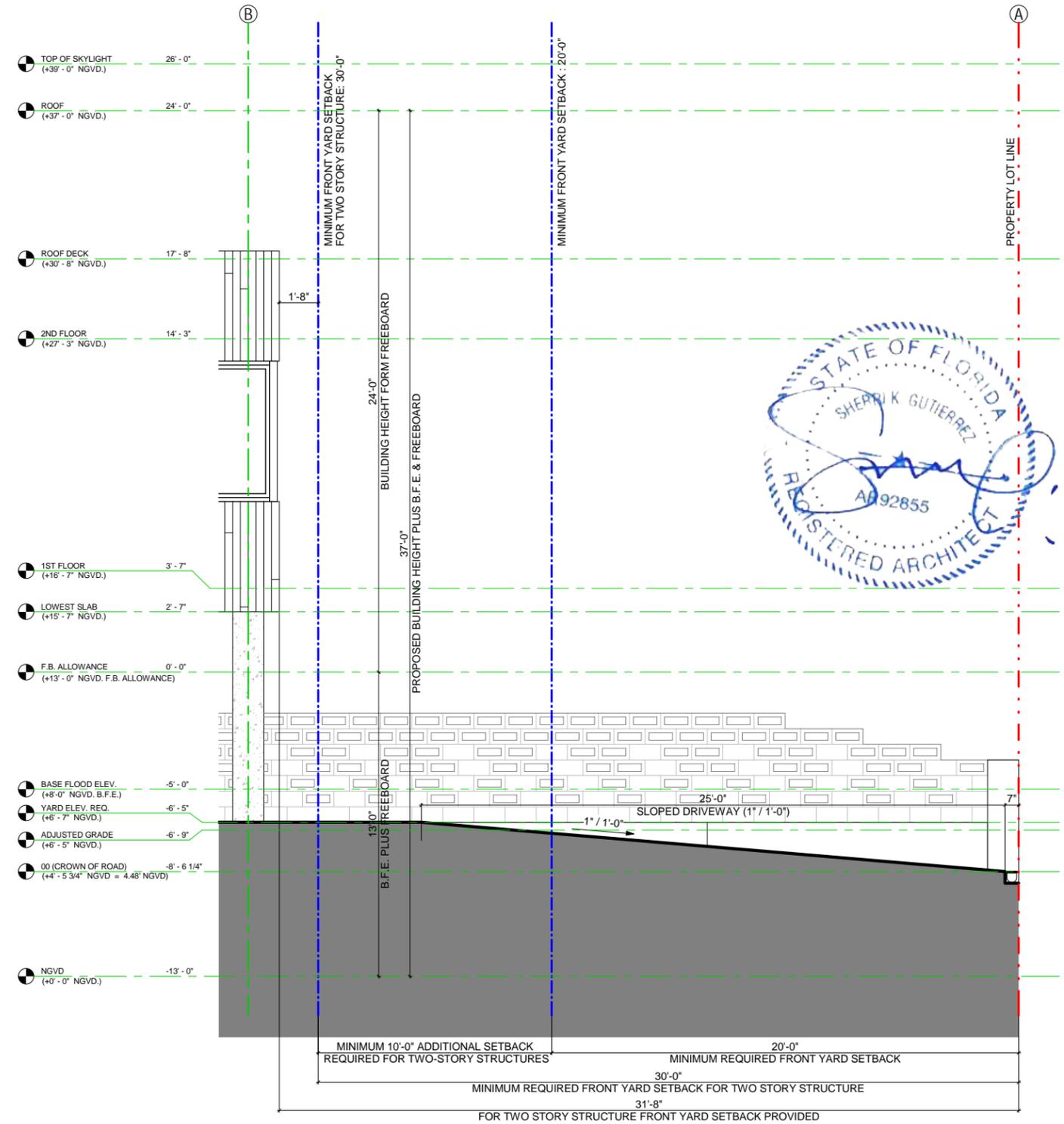
DATE ISSUED: 04.06.2017  
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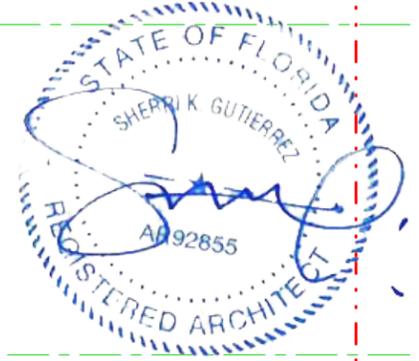
DRAWING #:  
**A0-13**

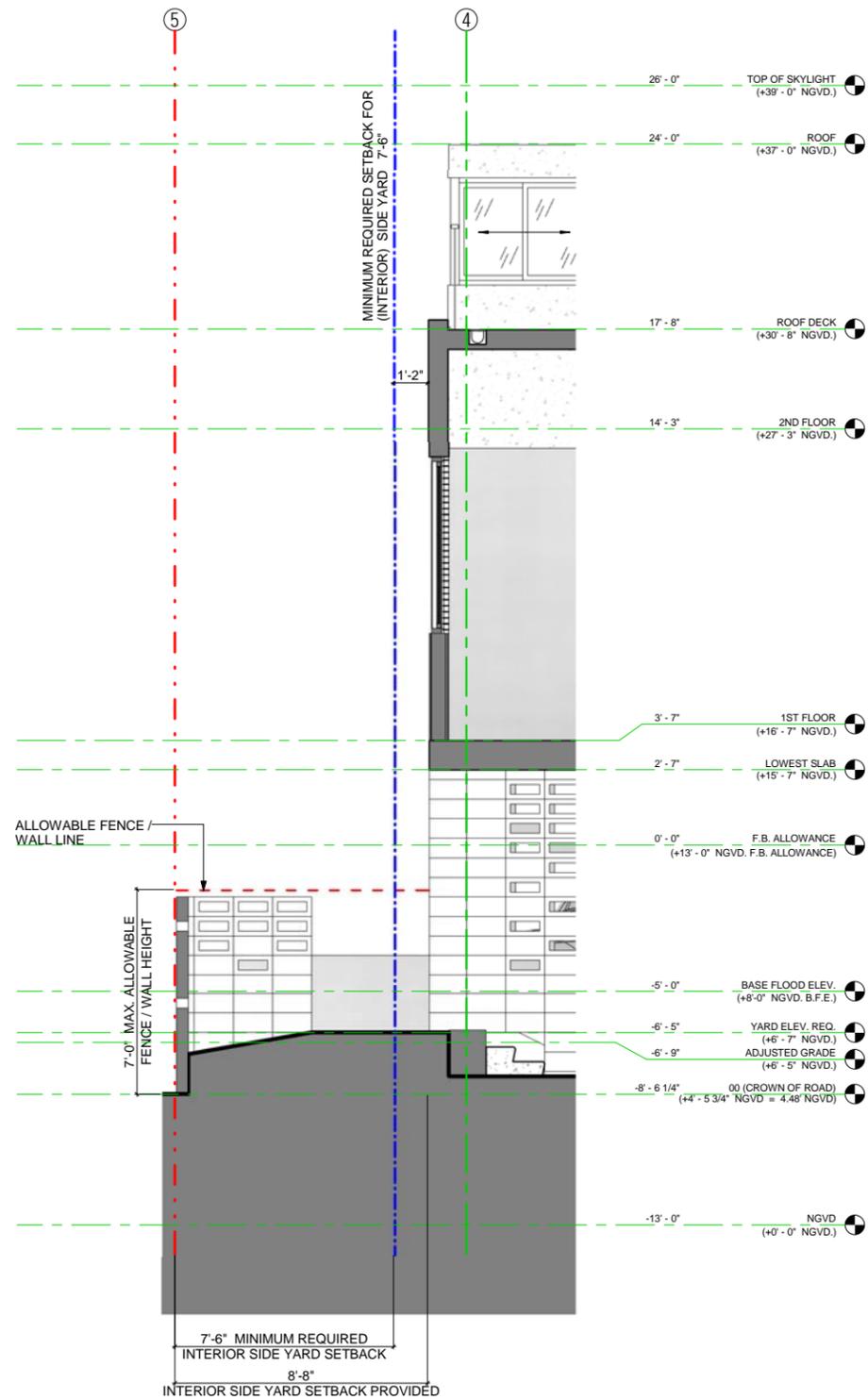


① REAR YARD SECTION - SOUTH SIDE  
3/8" = 1'-0"

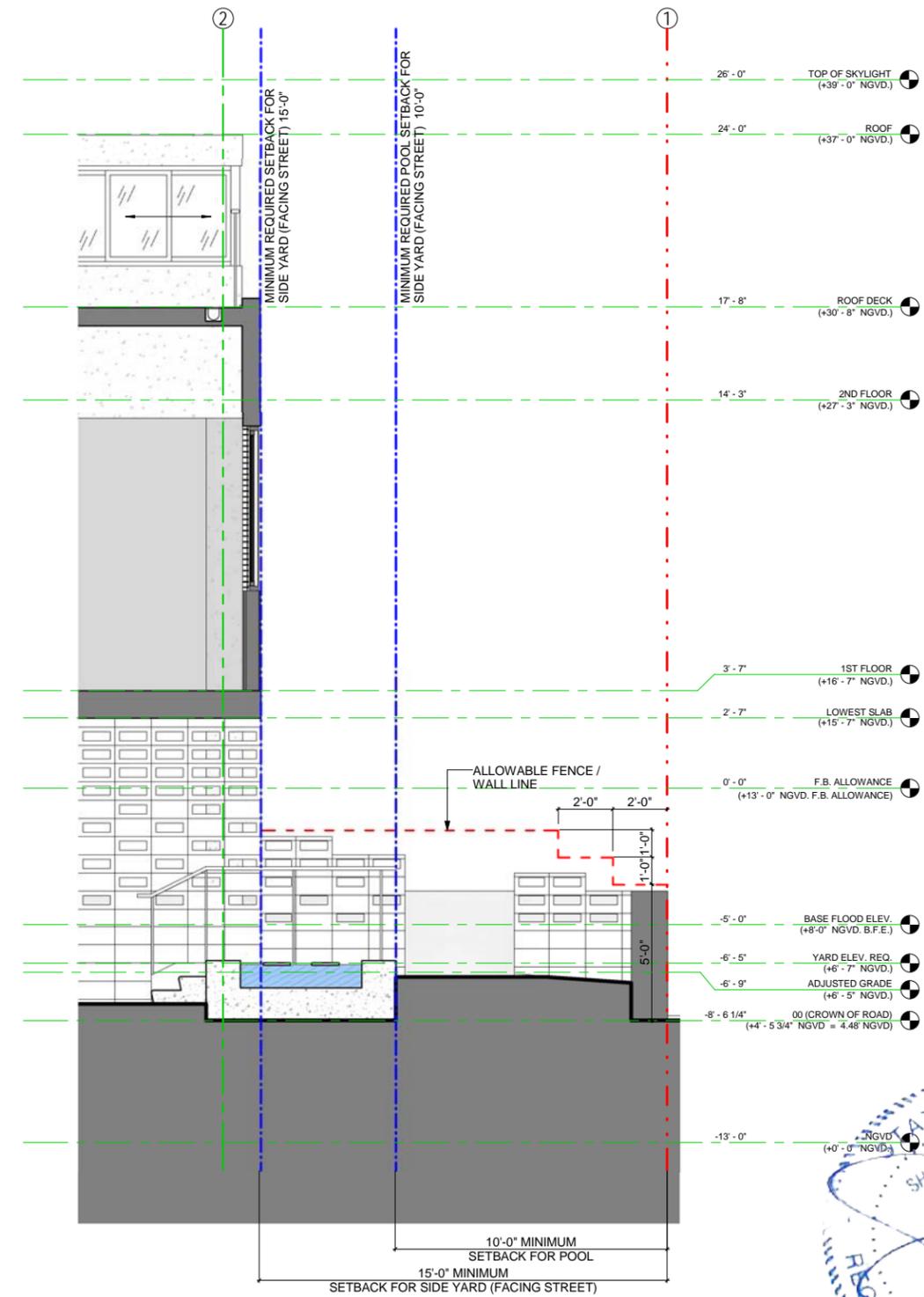


② FRONT YARD SECTION - NORTH SIDE  
3/8" = 1'-0"

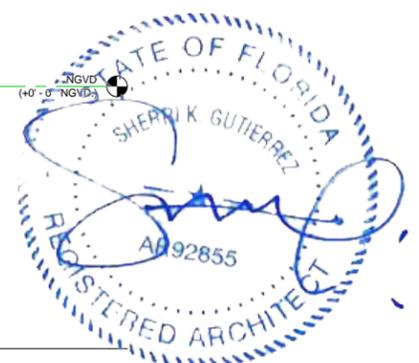




1 INTERIOR SIDE YARD SECTION - WEST  
SIDE  
3/8" = 1'-0"



2 SIDE YARD (FACING STREET) SECTION -  
EAST SIDE  
3/8" = 1'-0"



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**ZONING DIAGRAM - YARD GRADE  
DIAGRAM (EAST / WEST)**

3/8" = 1'-0"

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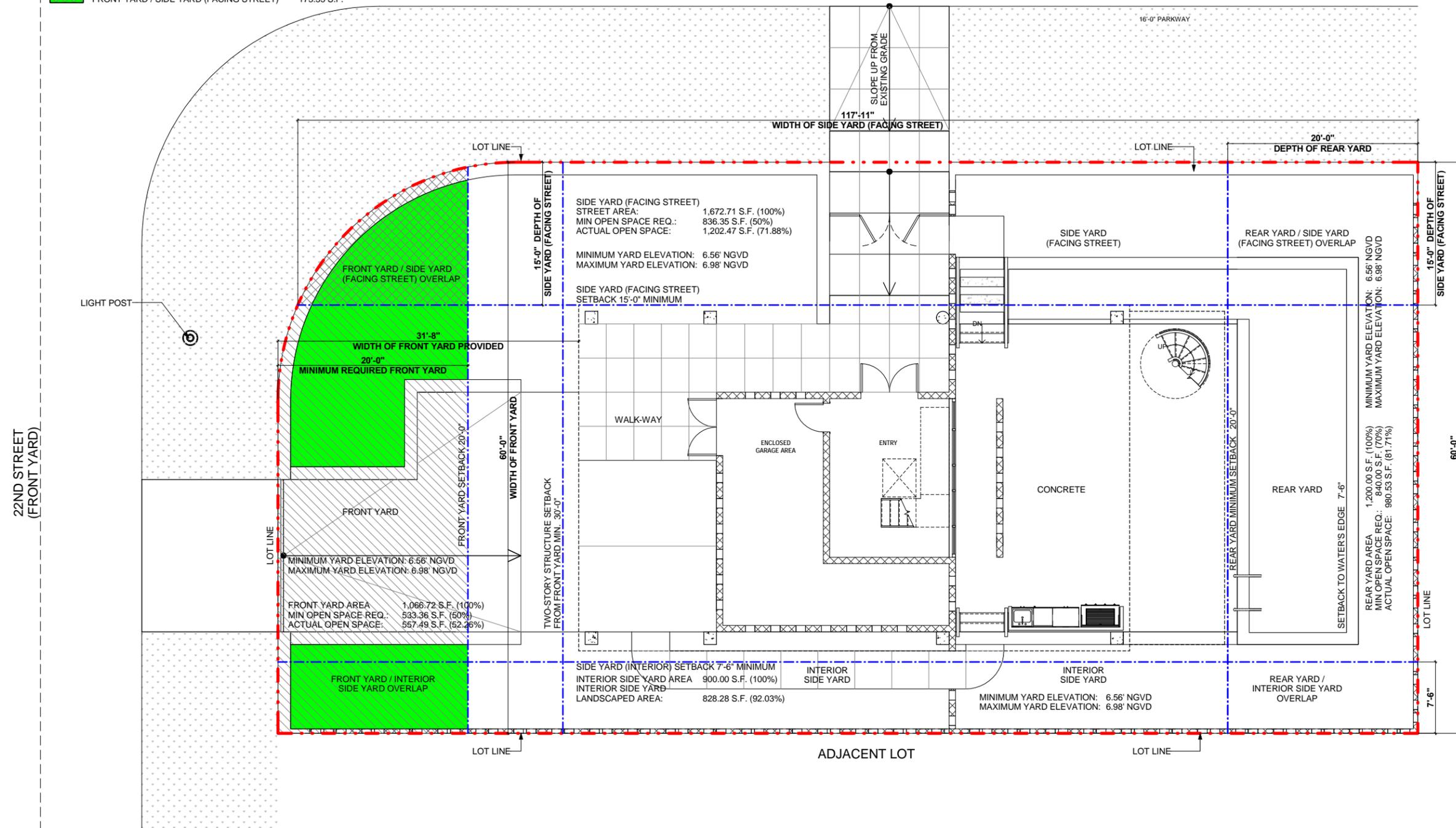
**A0-15**

SHEET 28 OF 47

LUCERNE AVENUE  
SIDE YARD (FACING STREET)

25'-0" C.L. ROW

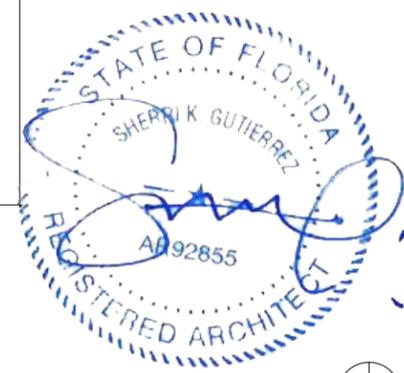
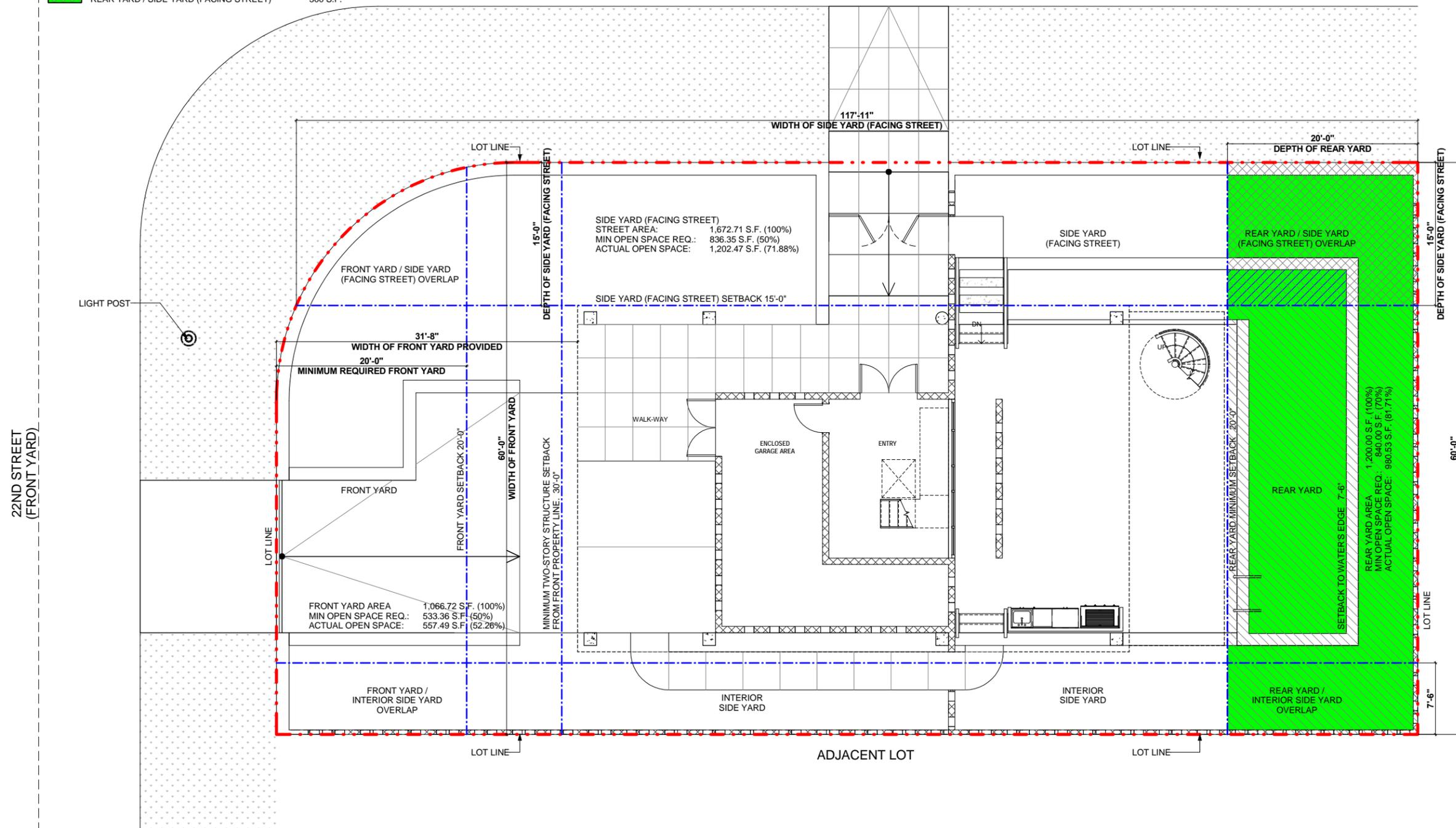
-  TOTAL AREA OF REQ'D FRONT YARD: 1,066.72 S.F. (100%)
-  OPEN SPACE AREA PROVIDED WITHIN REQUIRED FRONT YARD: 557.49 S.F. (52.26%)
-  AREA OF YARD OVERLAP FRONT YARD / SIDE YARD (FACING STREET) 173.55 S.F.





LUCERNE AVENUE  
SIDE YARD (FACING STREET)

-  TOTAL AREA OF REQ'D REAR YARD: 1,200 S.F. (100%)
-  OPEN SPACE AREA PROVIDED WITHIN REQUIRED REAR YARD: 980.53 S.F. (81.71%)
-  AREA OF YARD OVERLAP REAR YARD / SIDE YARD (FACING STREET) 300 S.F.



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**OPEN SPACE AREA CALCULATION -  
REAR YARD**

3/16" = 1'-0"

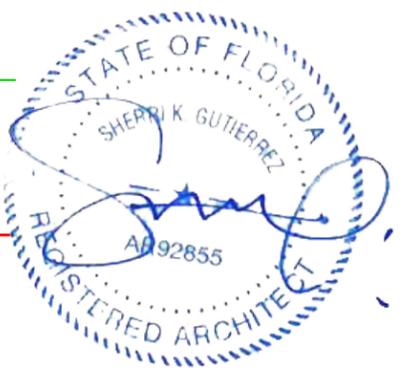
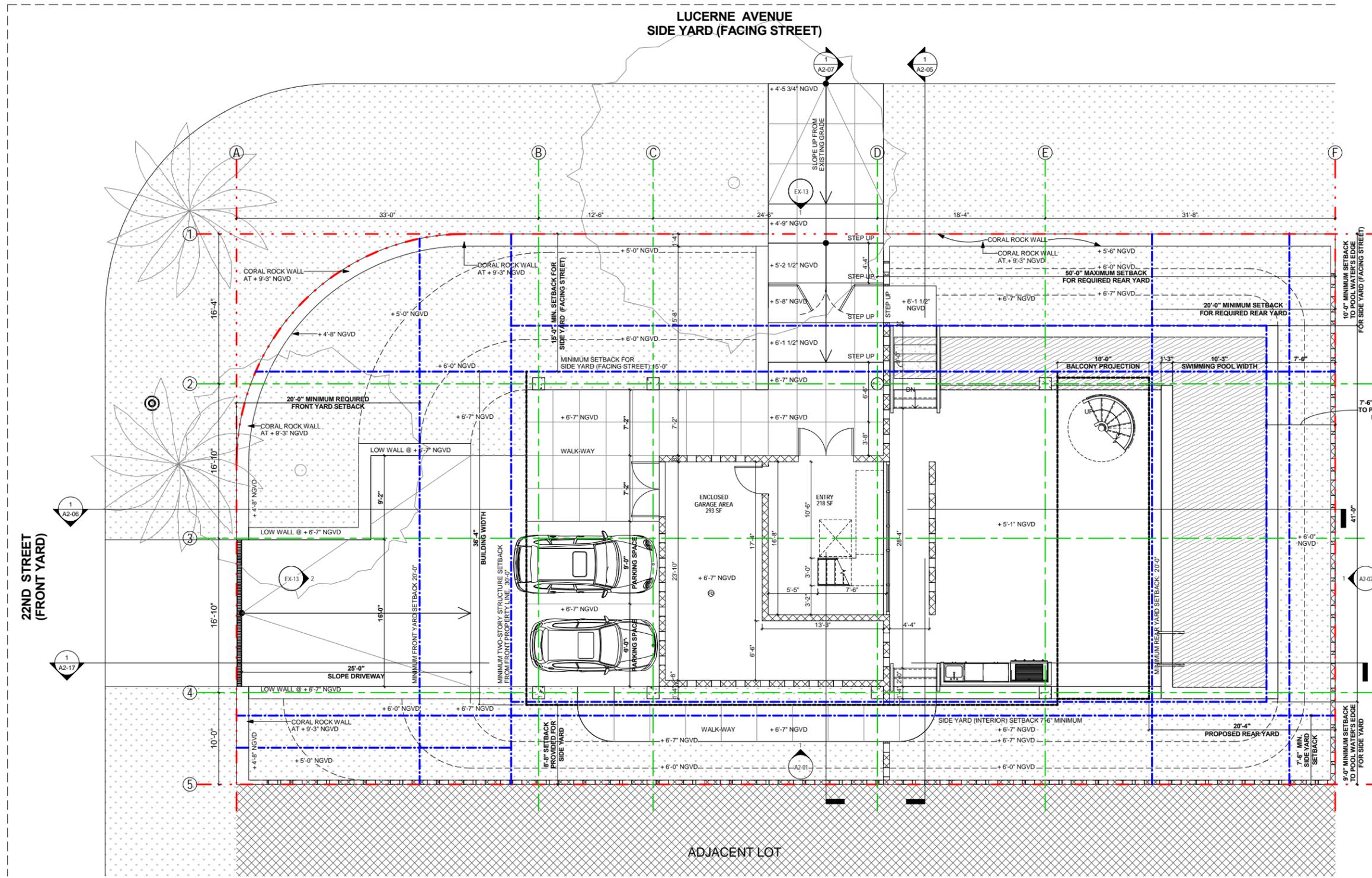
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SHEET 31 OF 47



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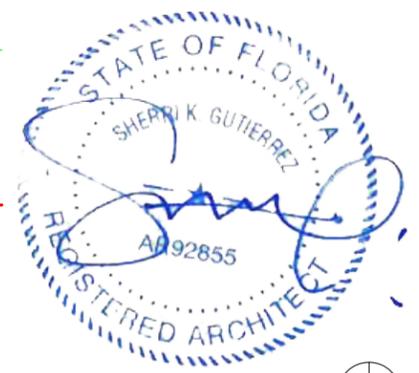
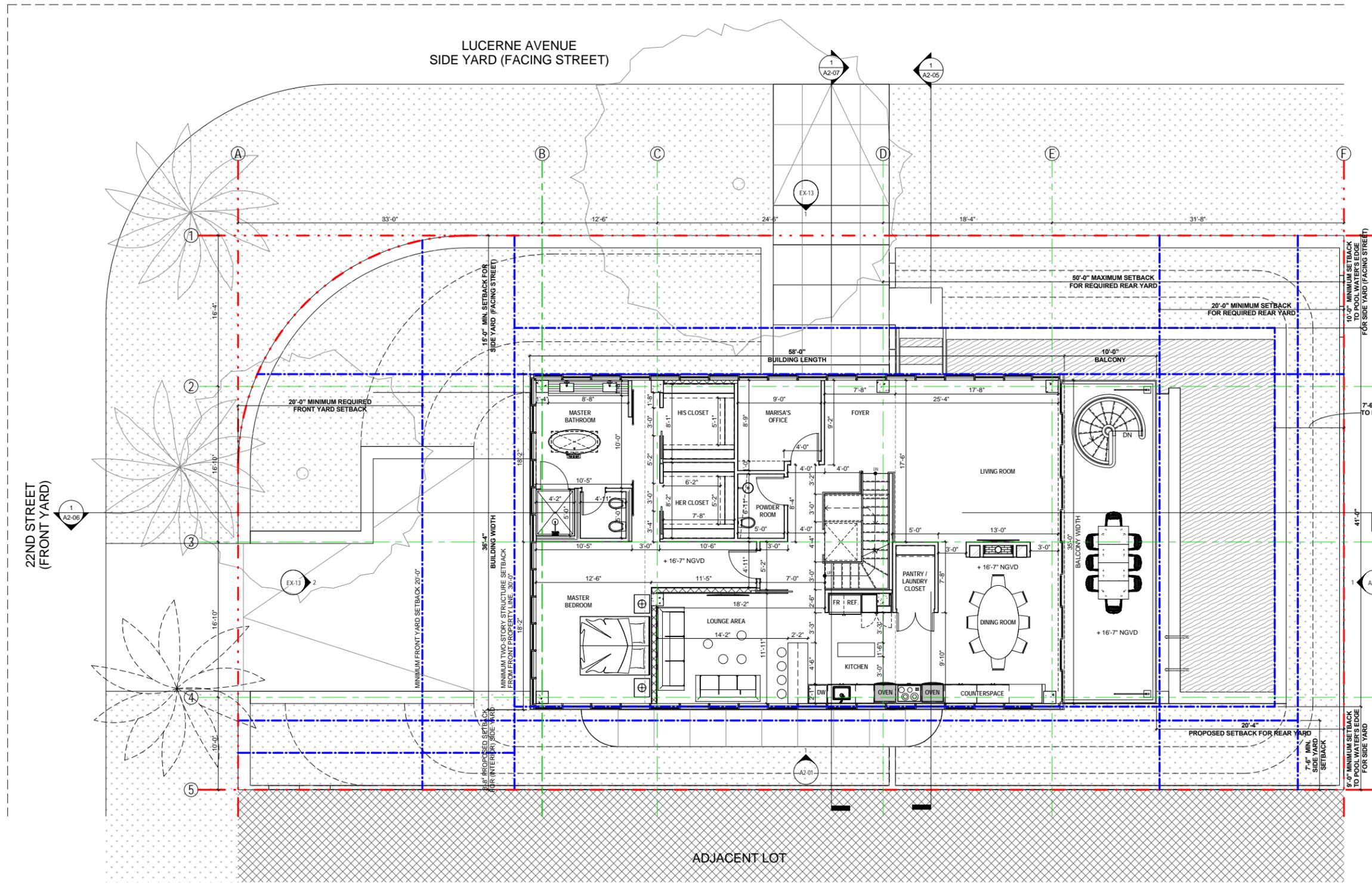
**2120 LUCERNE AVENUE,  
 MIAMI BEACH, FL 33140**

**PROPOSED BUILDING - GROUND FLOOR  
 PLAN**

**3/16" = 1'-0"**

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	<b>A1-00</b>	
	SHEET	32 OF 47

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**PROPOSED BUILDING - FIRST FLOOR  
PLAN**

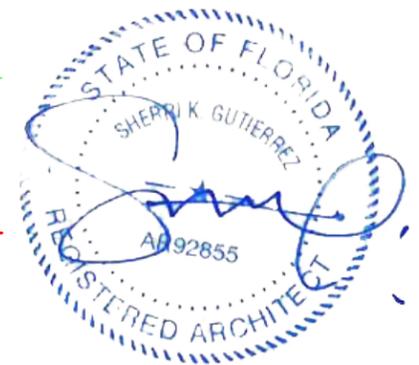
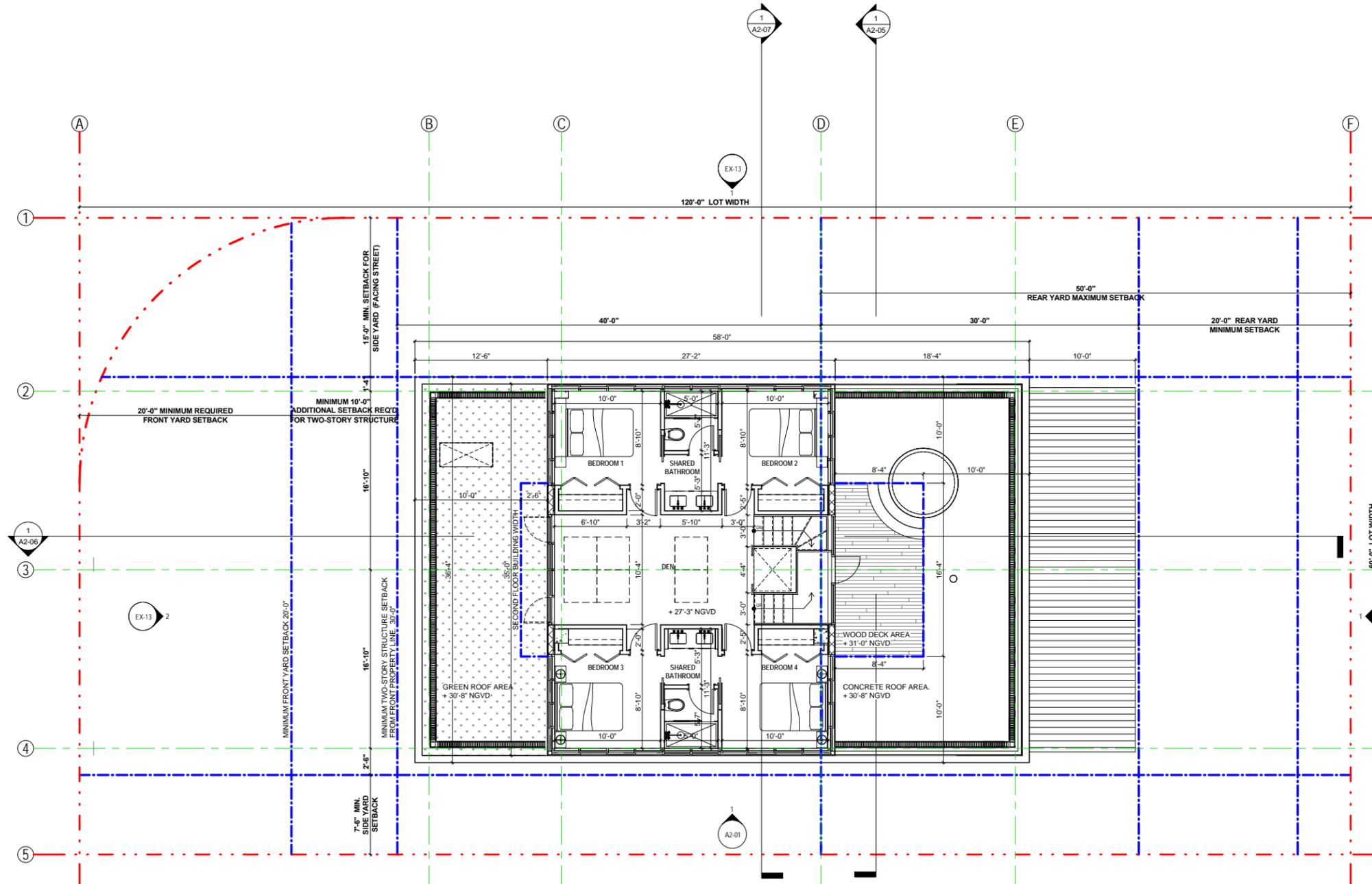
3/16" = 1'-0"

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**A1-01**

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**PROPOSED BUILDING - SECOND FLOOR  
PLAN**

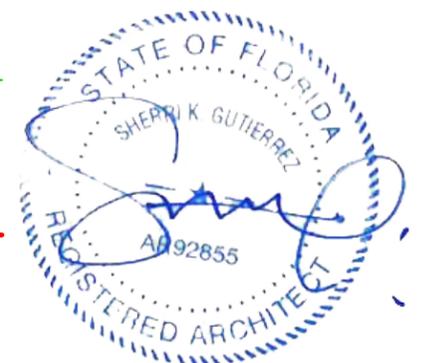
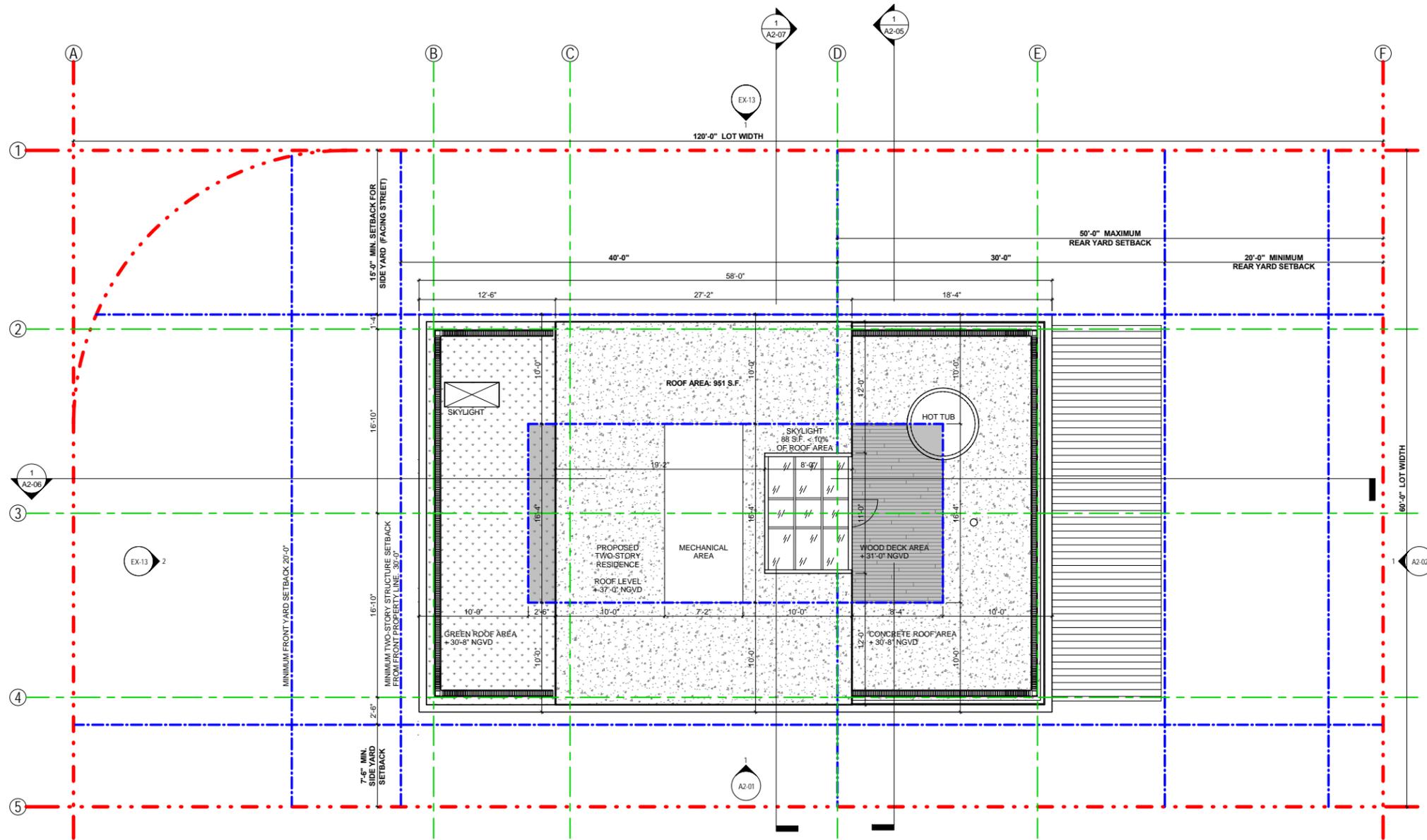
3/16" = 1'-0"

DATE ISSUED: 04.06.2017  
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**A1-02**

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**DWYER RESIDENCE**

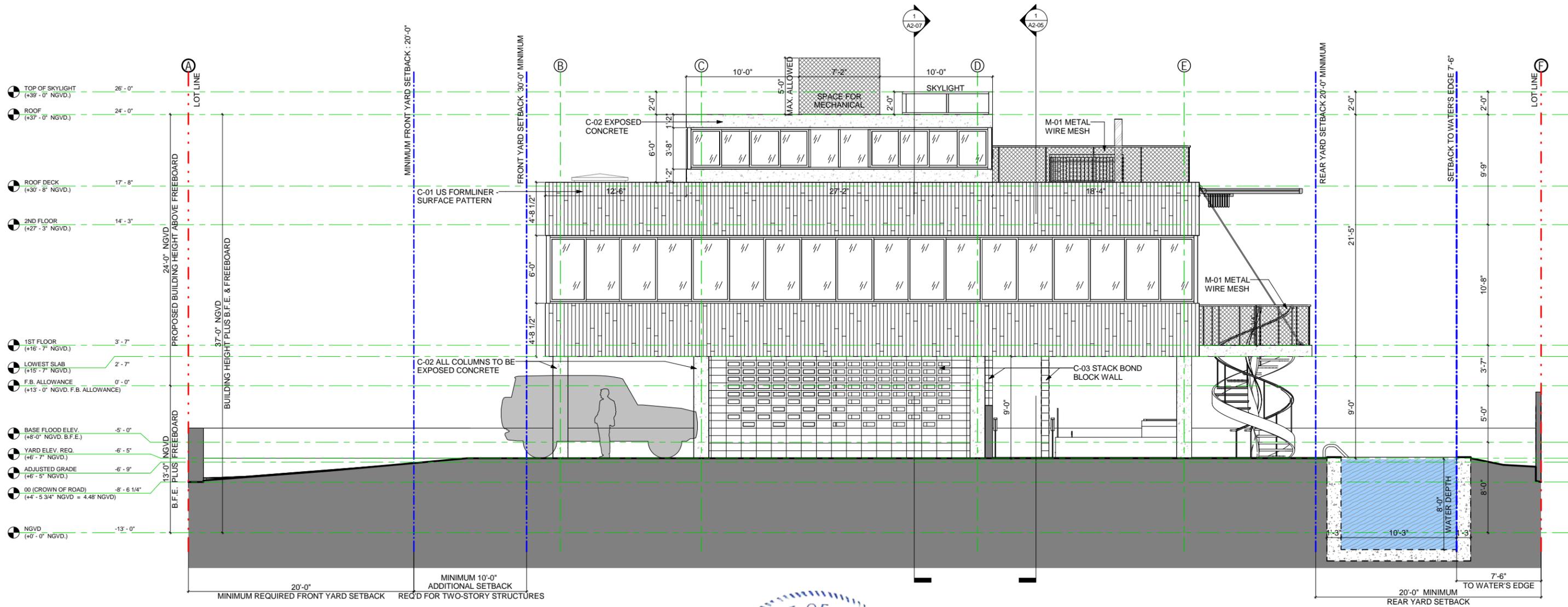
**2120 LUCERNE AVENUE,  
 MIAMI BEACH, FL 33140**

**PROPOSED BUILDING - ROOF PLAN**

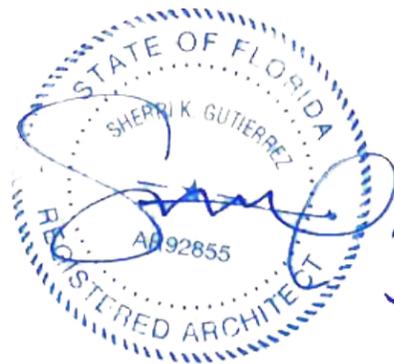
**3/16" = 1'-0"**

DATE ISSUED: 04.06.2017	DRAWN BY:	CHECKED BY:
REVISION # 9	OR	RF
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**ELEVATION - WEST FACADE**

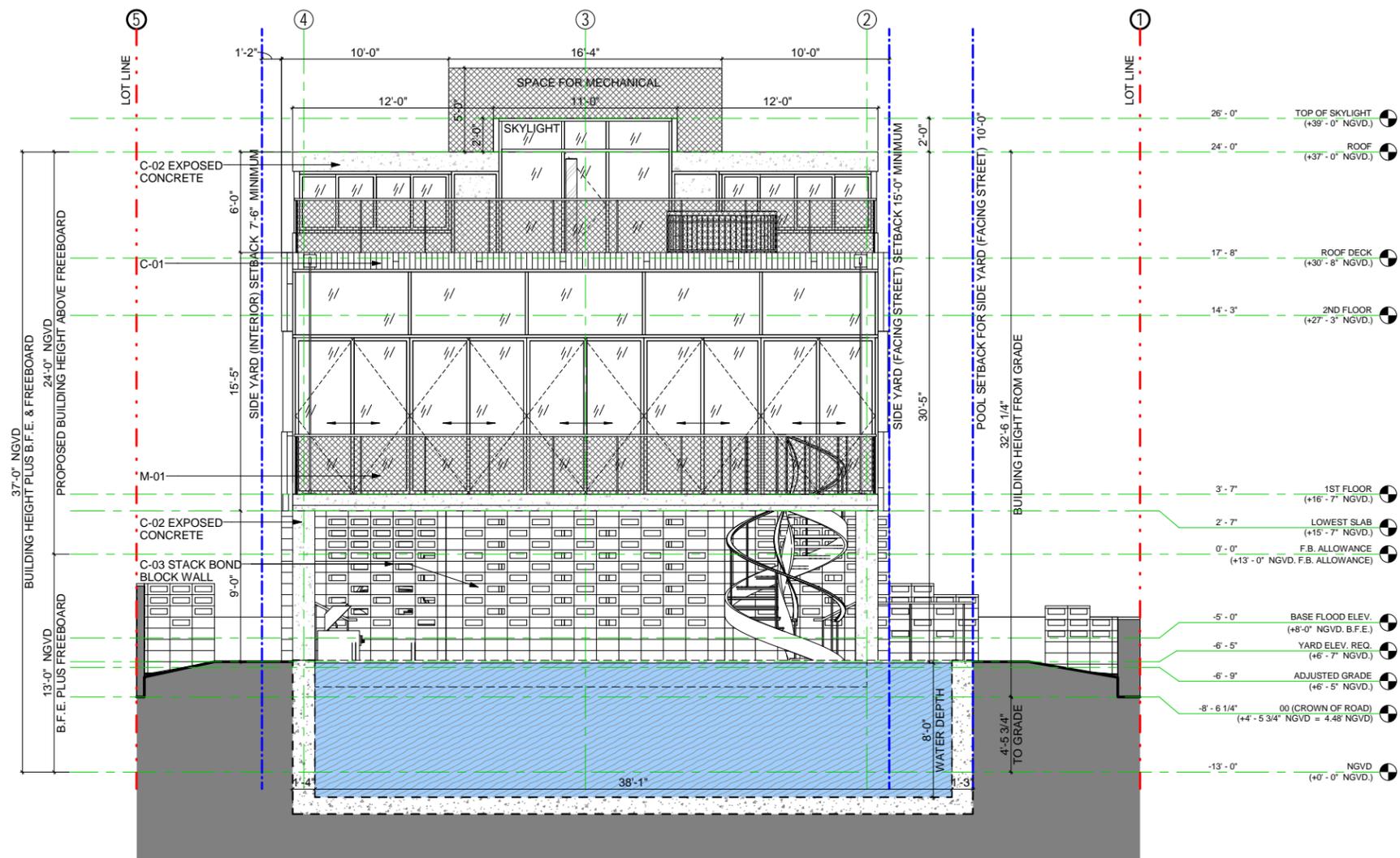
**1/4" = 1'-0"**

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 NOTES:  
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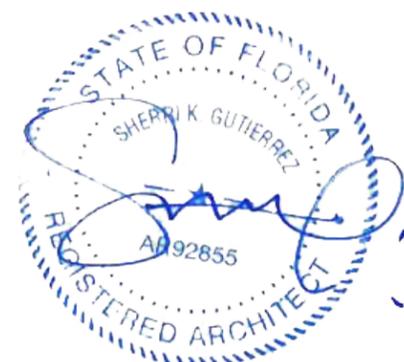
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**A2-01**

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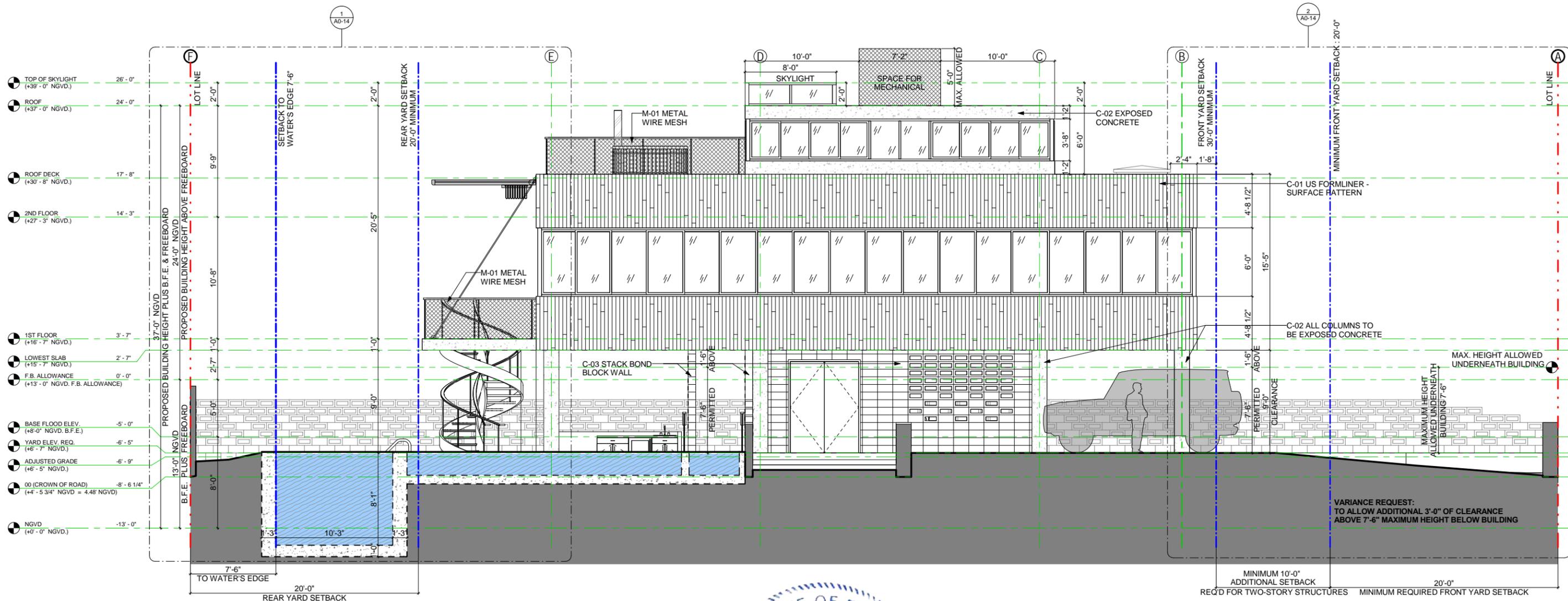
**2120 LUCERNE AVENUE,  
 MIAMI BEACH, FL 33140**

**ELEVATION - SOUTH FACADE**

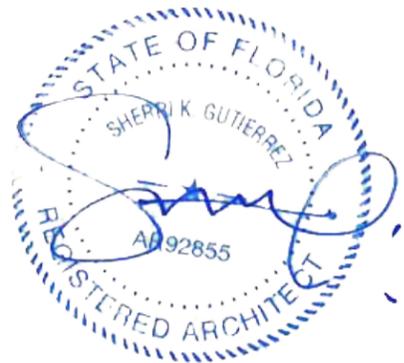
**1/4" = 1'-0"**

DATE ISSUED: 04.06.2017  
 REVISION # 9  
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**A2-02**



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**DWYER RESIDENCE**

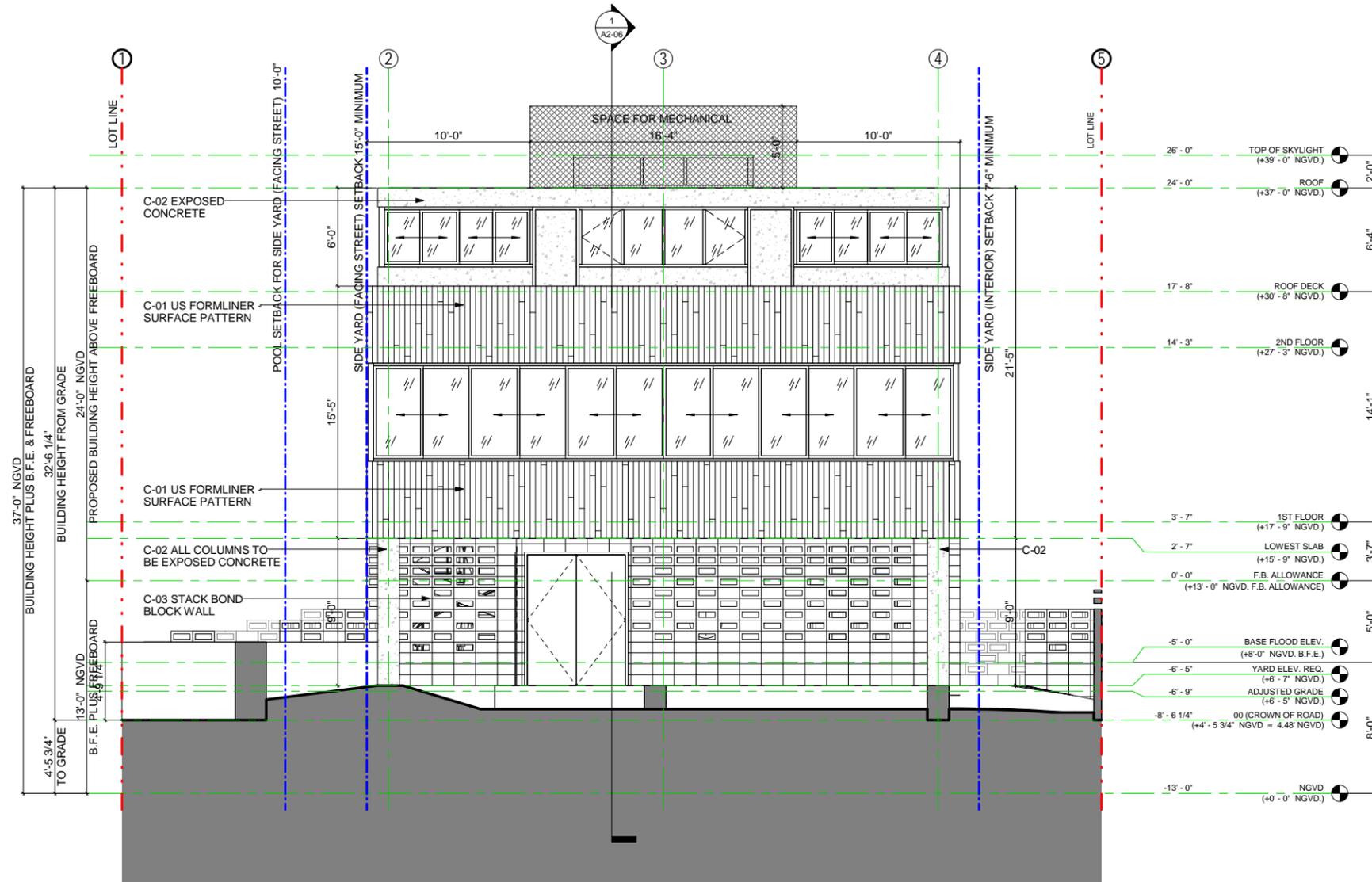
**2120 LUCERNE AVENUE,  
 MIAMI BEACH, FL 33140**

**ELEVATION - EAST FACADE**

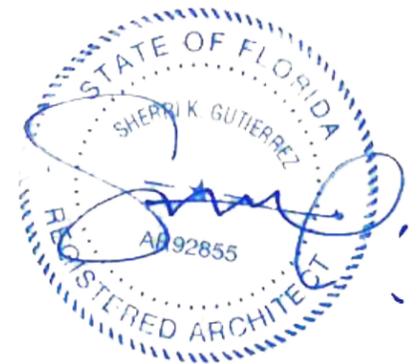
**1/4" = 1'-0"**

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REVISION # 9	OR	RF
NOTES:	DRAWING #:	
DESIGN REVIEW BOARD:	<b>A2-03</b>	
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**ELEVATION - NORTH FACADE**

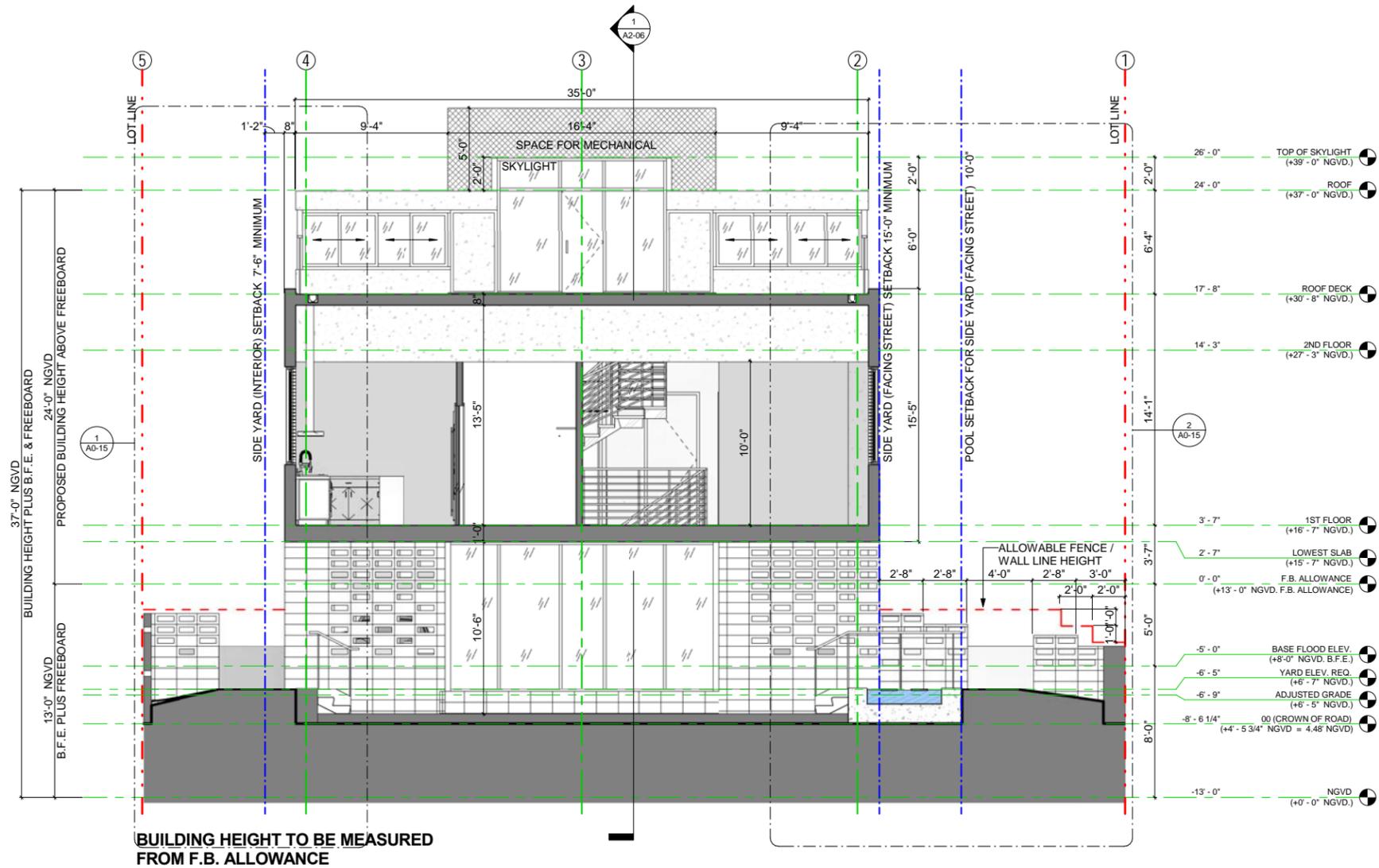
**1/4" = 1'-0"**

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SHEET 39 OF 47



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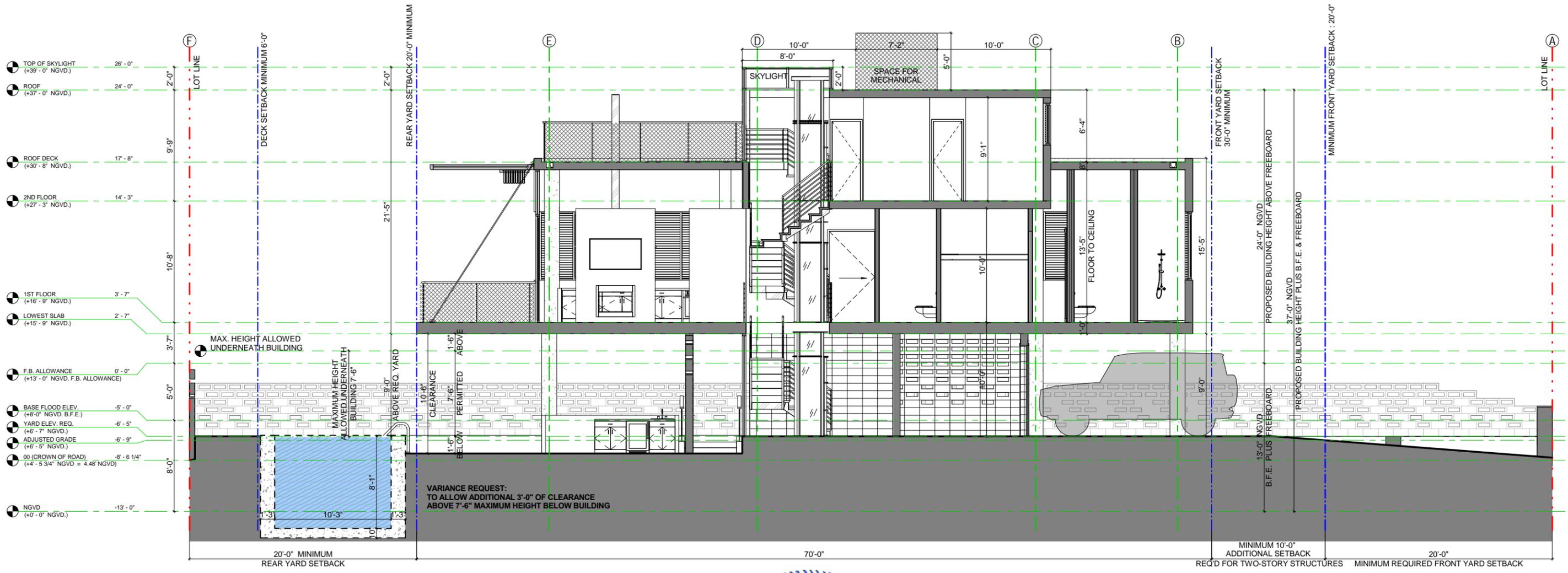
### SECTION - THROUGH LIVING / DINING ROOM

1/4" = 1'-0"

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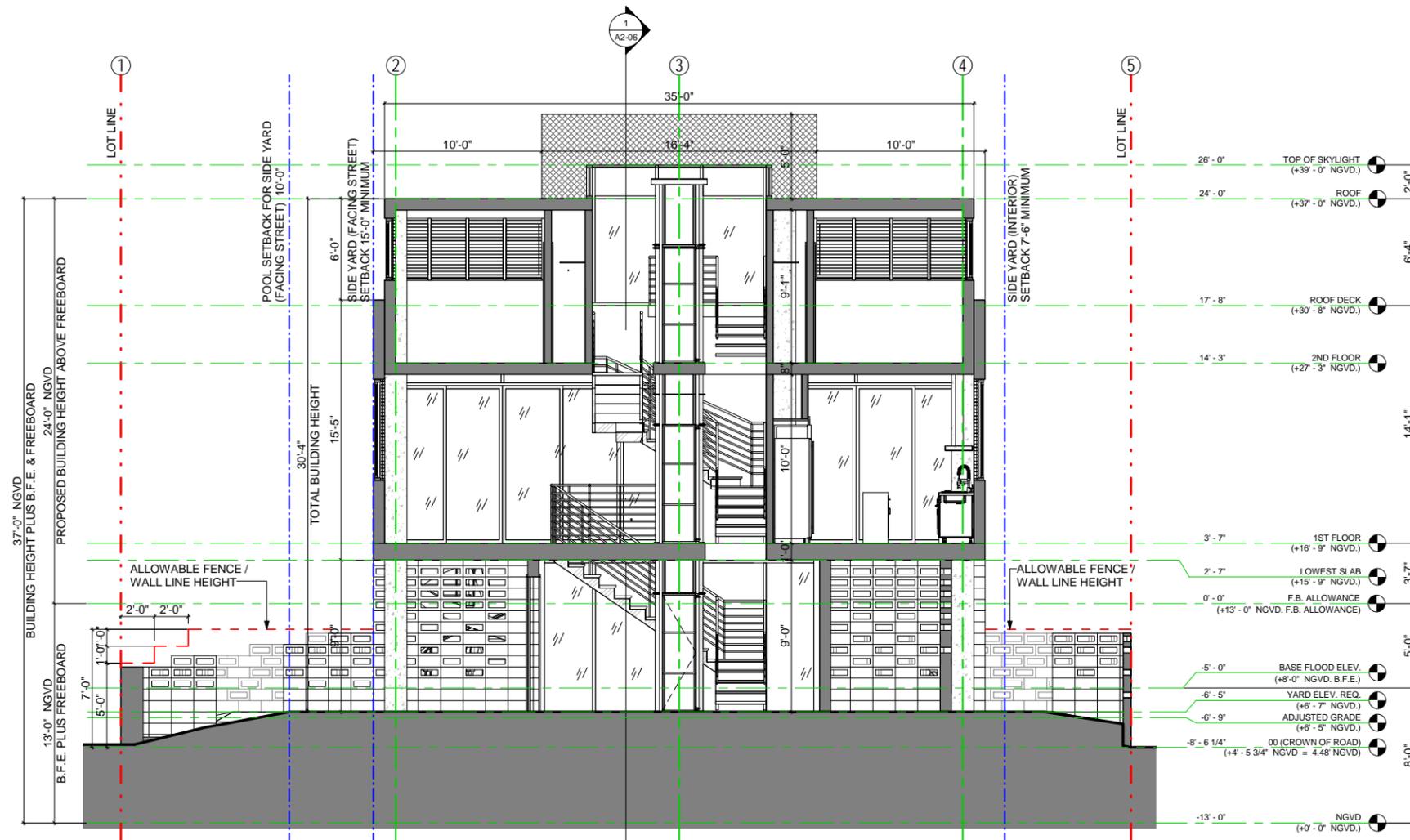
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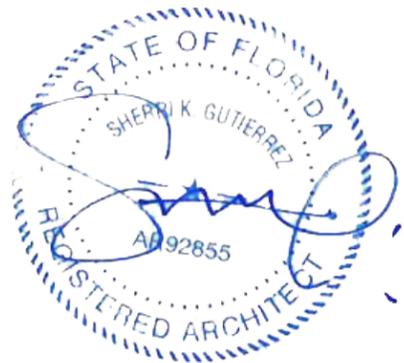
**SECTION - NORTH TO SOUTH**

**1/4" = 1'-0"**

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BUILDING HEIGHT TO BE MEASURED FROM F.B. ALLOWANCE



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**SECTION - EAST TO WEST**

1/4" = 1'-0"

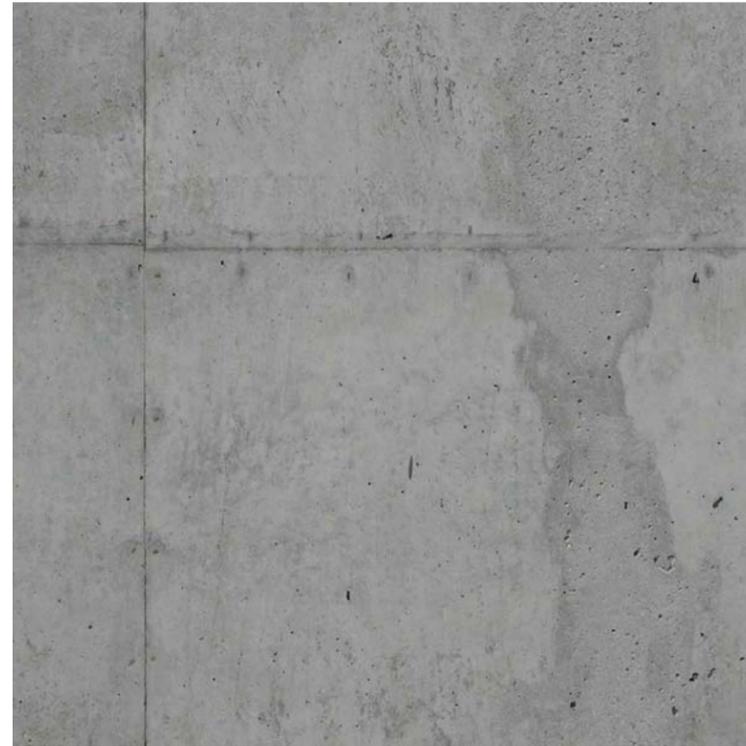
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CONCRETE PATTERN - US FORMLINER  
RECKLI-2-84-MISSOURI

C-01



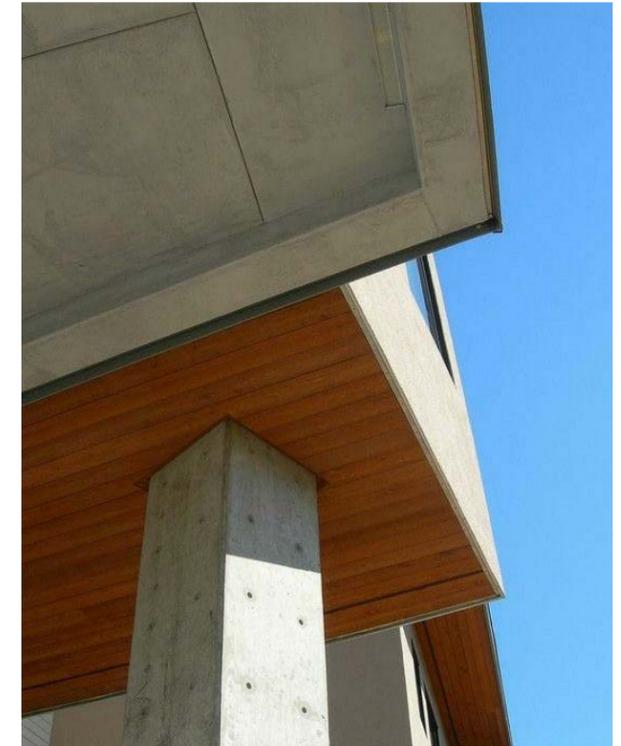
EXPOSED CONCRETE

C-02



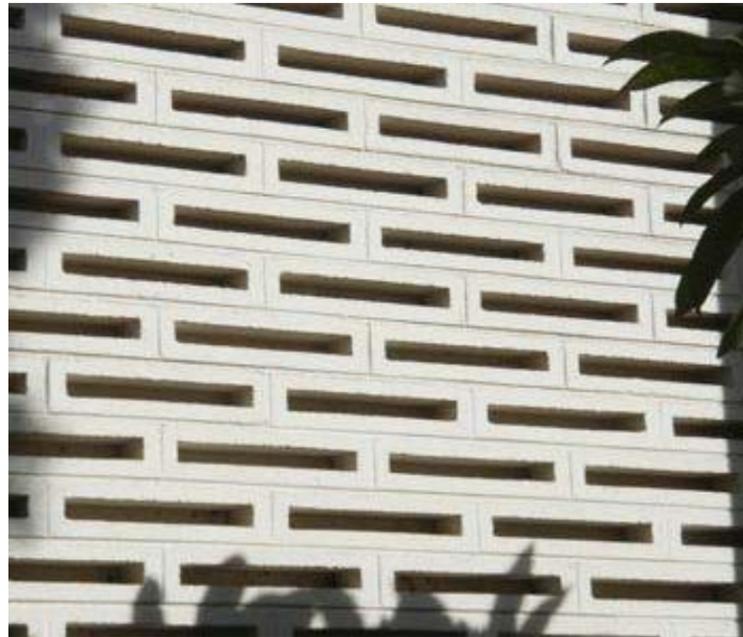
METAL WIRE MESH FOR ALL RAILINGS

M-01



CONCRETE FOR COLUMNS  
(DARKER SHADE OF GREY)  
LAMBOO FOR UNDERSIDE OF THE HOUSE

W-01

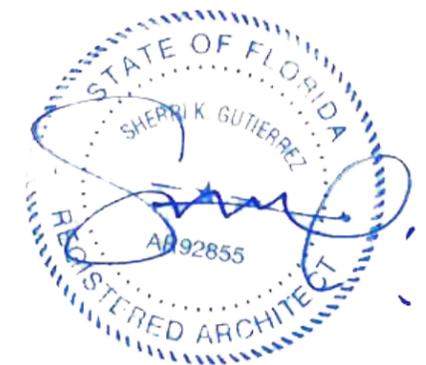


RUNNING BOND ARCHITECTURAL  
BLOCK WALL REFERNECE

C-03



SPRIAL STAIRCASE REFERENCE





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**EAST FACADE COLORED ELEVATION**

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**WEST FACADE COLORED ELEVATION**

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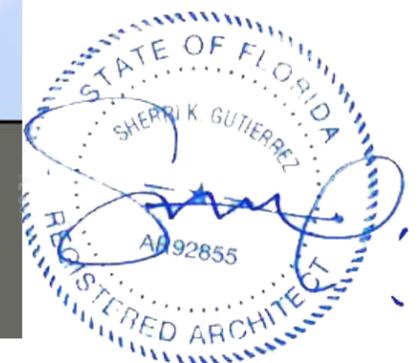
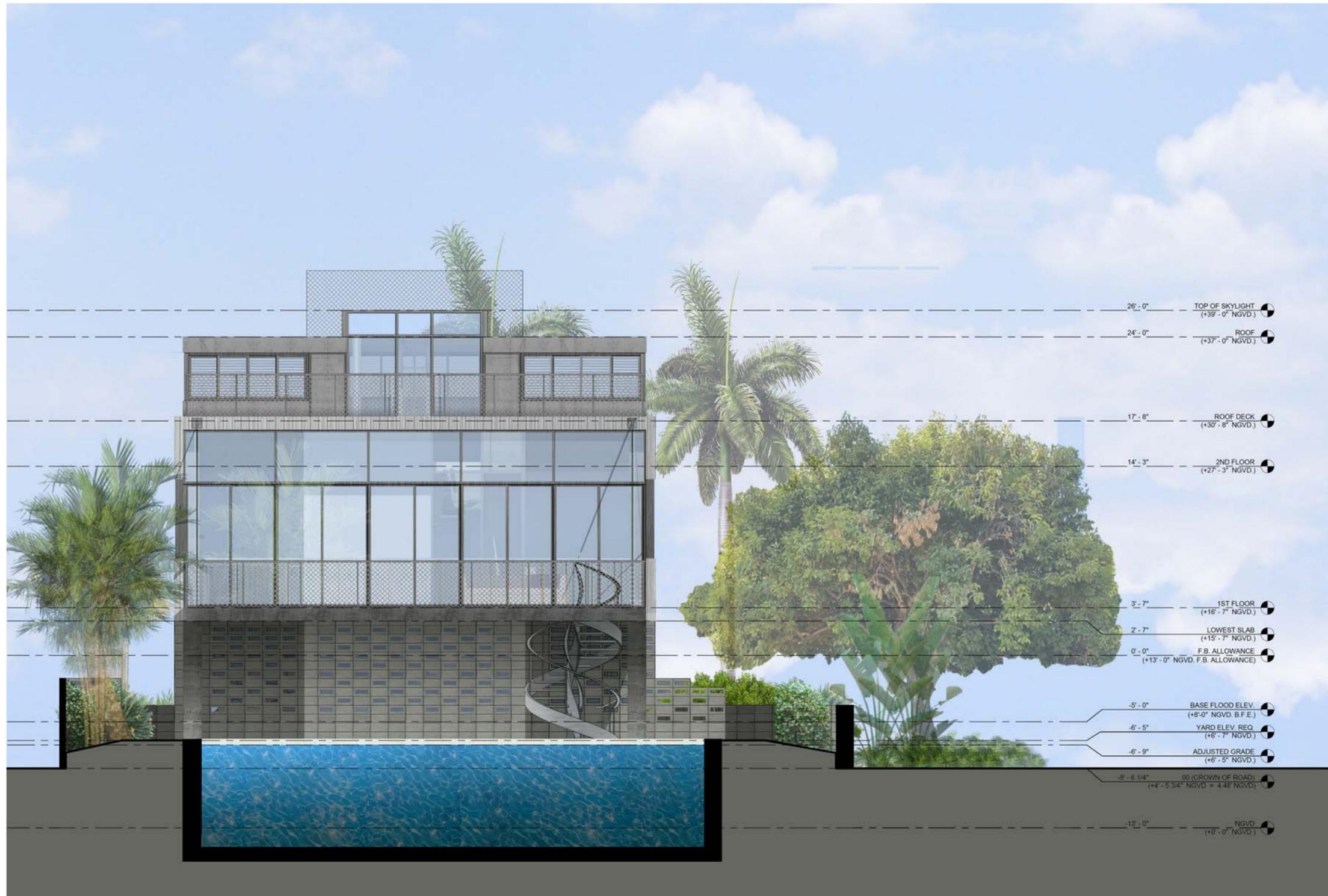
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**SOUTH FACADE COLORED ELEVATION**

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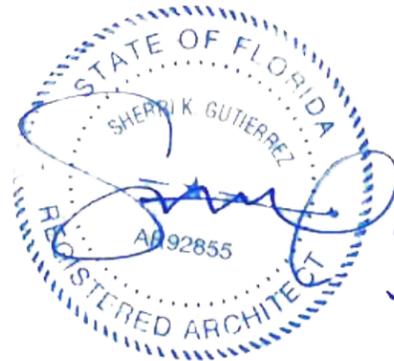
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SHEET 46 OF 47



RENDERING



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**RENDERINGS WITH LANDSCAPING**

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# DWYER RESIDENCE

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## LANDSCAPE DESIGN REVIEW BOARD SET

### ARQUITECTONICA GEO

LANDSCAPE ARCHITECTS

2900 OAK AVE

MIAMI, FLORIDA 33133

Phone (305)372 1812 Fax (305)372 1175

Website: www.arquitectonicageo.com

#### INDEX OF DRAWINGS

DESCRIPTION (DESIGN REVIEW BOARD)		
1	L0-00	LANDSCAPE COVER
2	L0-01	LANDSCAPE NOTES
3	L0-02	LANDSCAPE CALCULATIONS
4	L0-03	PLANT IMAGES
5	L1-00	TREE DISPOSITION PLAN
6	L1-01	TREE MITIGATION PLAN
7	L1-02	RENDERED PLAN
8	L1-20	TREE PLAN
9	L1-30	SHRUB & GROUND COVER PLAN
10	L5-20	PLANTING DETAILS
11	L6-00	LANDSCAPE SCHEDULES



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## LANDSCAPE COVER

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DRAWING #:

**L0-00**

## GENERAL NOTES

1. These plans reflect the scope of the Landscape Architect external services, For Architectural, Civil, Lighting please refer to the appropriate consultant documents.
2. The locations of all site amenities are approximate and may be adjusted in the field with owner and/or their representatives approval. See plans for locations of fixed amenities.
3. The locations of plants, as shown in these plans, are approximate. The final locations may be adjusted to accommodate unforeseen field conditions to comply with safety criteria, to avoid creating unsafe sight conditions, or as otherwise directed by or approved by the landscape architect or owner's representative.
4. Construction shall comply with all local building codes.
5. All dimensions shall be verified in the field prior to construction. Written dimensions shall take precedence over scaled drawings.
6. If a discrepancy should arise between layout geometry and design intent, design intent shall take precedence.

## GENERAL GRADING NOTES

1. All grading information outside the below grade parking decks provided is intended for aesthetic purposes and to show relationships only. For detailed grading information see Civil Engineers drawings.
2. Rough grading and site preparation shall be completed for review by Landscape Architect / or owners representative prior to final grading.
3. Roadway grading and transition areas to be reviewed and approved by Civil / Traffic Engineer.
4. Grading and calculations for retention areas to be provided by Civil Engineers.
5. Contractor shall not substantially modify grading plan without the approval of designer. All site aesthetic grading is subject to review and approval of the landscape architect or owner's representative.
6. Contours for earth mounds shall be smooth, continuous arcs. Side slopes shall be smooth and even in transition and void of depressions. Careful attention should be given to the grading plans concerning the shapes and formations of proposed slopes.
7. All graded areas shall be dragged with a drag mat or hand radeel to blend in small imperfections and round off any sharp lines that may have been constructed by equipment. All areas to be planted shall have no water holding pockets.

## IRRIGATION NOTES

1. All landscaped areas within the property shall be irrigated with automatic irrigation system which shall utilize well and/or domestic water supply.
2. Irrigation system shall be equipped with rain sensor.
3. Irrigation system shall provide 100% coverage.

## GENERAL LANDSCAPE NOTES

1. The Contractor shall be responsible for verifying all underground utilities prior to digging in any area. The contractor shall notify all necessary utility companies 48 hours minimum prior to digging for verification of all underground utilities, irrigation and all other obstructions and coordinate with Owners Representative prior to initiating operations. Drawings are prepared according to the best information available at the time of preparing documents.
2. The contractor is responsible to ensure proper watering and maintenance of new and relocated plant materials during the one year warranty period.
3. Contractor is to report any discrepancies between the construction drawings and field conditions to the Owner's Representative immediately.
4. Landscape Contractor shall coordinate all work with related contractors and with the general construction of the project in order not to impede the progress of the work of others or the contractor's own work. Landscape contractor shall provide schedule of his/her work two weeks in advance, beginning two weeks prior to commencing landscape trade construction.
5. The location of the landscape holding area will be identified by the Owner or Owner's Representative. The Contractor shall adhere to the access routes to and from the holding area without disrupting or impeding access to the site by others. Contractor is responsible for the maintenance of all plant materials, including temporary irrigation and fertilization if necessary during construction, while being held in landscape holding areas.
6. The Contractor shall bear all costs of testing of soils, amendments, etc. associated with the work and included in the specifications. Prior to commencement of the landscape planting work the Contractor shall provide complete soil tests with recommendations for soil treatment in the construction area.
7. Landscape Contractor shall field stake the location of all plant material or field stake the plants prior to initiating installation for the review and approval of the Owner's representative and/or Landscape Architect. **Note: No planting shall commence until there is a functional irrigation system in the area to be planted. No trees shall be planted on top of Irrigation lines.**
8. Landscape Contractor shall field adjust location of plant material as necessary to avoid damage to all existing underground utilities and/ or existing above ground elements. All changes required shall be completed at the Contractor's expense and shall be coordinated with Owner's Representative and the Landscape Architect.
9. Any substitutions in size and/or plant species must be approved by the Landscape Architect or Owner's Representative prior to modification of the contract, purchasing and delivery of plants. All plants will be subject to approval by Landscape Architect and/or Owner's Representative before planting can begin. All plant materials will not include any plants considered to be invasive by City of Miami.
10. Contractor shall refer to the landscape planting details, general notes and the project manual and/or specifications for further and complete landscape planting instructions.
11. Landscape Contractor shall coordinate all planting work with permanent or temporary irrigation work. Landscape Contractor shall be responsible for all hand watering as required by Owner's Representative to supplement irrigation watering and rainfall. Landscape Contractor shall be responsible for hand watering in all planting areas, regardless of the status of existing or proposed irrigation.
12. Landscape Contractor shall clean the work areas at the end of each working day. Rubbish and debris shall be collected and deposited off-site or in an approved disposal area daily. All materials, products and equipment shall be stored in an organized fashion as directed by the Owner's Representative.
13. Landscape Contractor shall re-grade all areas disturbed by plant removal, relocation and/or installation work. Landscape Contractor shall replace (by equal size and quality) any and all existing or new plant material disturbed or damaged by plant removal, relocation, and/or installation work.
14. Site distance concerns must be maintained for clear site visibility from thirty (30) inches to seventy-two (72) inches, tree trunks are excluded as specified in appropriate municipal codes.
15. Guying / staking practices shall not permit nails, screws, wires, etc., to penetrate outer surface of any tree or palm. Trees or palms rejected due to this practice shall be replaced at the Contractor's expense.
16. Burlap material, wire cages, plastic straps, etc., must be cut and removed from top one-third (1/3) of root ball.
17. Trees grown in grow bags or grow bag type material are not allowed.
18. All planting materials shall meet or exceed local requirements as specified by local plant standards.
19. All landscape installations shall meet or exceed the minimum requirements as shown in appropriate municipal codes.
20. The Contractor shall be responsible for the guarantee of all plant material for a period of twelve (12) months from the date of substantial completion. Substantial completion constitutes the beginning of guarantee period.
21. Plant size specifications take precedence over container size.
22. Contractor to verify quantities and report any discrepancies to Owners representative and/or Landscape Architect.
23. All plant material shall be graded Florida #1 or better.

## SOIL PREPARATION AND SOIL MIX

1. All plants noted for removal shall be relocated as shown on plans or removed and properly disposed of offsite at contractors expense unless otherwise noted.
2. Before finishing top soil grading, scarify & rake subsoil clear of stones (1" diameter and larger), debris, rubbish, and remaining roots from removed plant material to a depth of 6".
3. Plant holes should be dug and the sides and bottom of the hole should be stable, regardless of depth. Soil scarification is necessary if sides of the hole are compacted.
4. Contractor to apply approved pre-emergent herbicide in accordance with manufacturer's rate and specifications. Contractors to provide manufacturer's specifications for approval.
5. Planting soil mix for planters, trees, shrubs, and ground cover & grasses shall be determined by soil analysis prior to planting landscape.

The planting soil mix should be what comes out of the hole so the plant adapts to the surrounding/existing soil and grows into it. This is why the sides and the bottom of the planting hole should never be compacted with the digging implements. Never fertilize newly planted plants and trees. Please note that peat moss will eventually decompose and clog soil pores thereby inhibiting the plants water and oxygen consumption.

6. Topsoil shall be natural, fertile, agricultural soil capable of sustaining vigorous plant growth. It shall be of uniform composition throughout, with admixture of subsoil, it shall be free of stones, lumps, live plants and their roots, sticks, and other extraneous material. Top soil brought in should match as well as possible the existing soil texture and Ph. Planted material should never be "mounded" or raised; the soil will eventually wash away exposing the roots and it will be difficult to establish the plant material due to drought and excessive soil transpiration. All plant/tree material should be installed with the root collar exposed (approximately 1/2" to 1"). Landscape contractor should find the uppermost lateral root and plant that just below the soil surface.

7. Smooth topsoil without compaction to two inches (2") below finish grade in areas to be sodded without compaction.
8. Finish grade all topsoil areas to a smooth non-compacted, even surface assuring positive drainage away from the structures and eliminate any low areas except in retention areas where water may collect.
9. Contractor to remove debris and excess material immediately from job site while keeping in mind that heavy equipment will compact soil to the detriment of water drainage and the health of the newly installed plants. All planting areas with compacted soil will have surfaces scarified to a min. of 6" in depth.

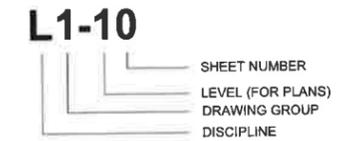
## PLANTING SPECIFICATIONS

1. The contractor is responsible for maintaining, in full, all planting areas (including watering, spraying, mulching, mowing, fertilizing, etc.) Until the job is accepted, in full, by the owner, its representative and Landscape Architect.
2. All plant material shall be protected during transport and delivery to final location with shade cloth or other acceptable means of windburn prevention. Plant/tree material shall conform to Florida # 1 as described in Florida grades & standards, the latest issue.
3. All trees must be guyed or staked as shown in details.
4. When plant material is delivered onsite, it shall not be laid down for more than two hours. Plant material when stored onsite shall be placed and maintained in good condition in a vertical position. All plants held onsite shall be kept watered regularly in sufficient amounts to permit continuous and vigorous growth.
5. Installation of all plant material shall be installed in a sound, workmanlike manner and according to accepted good planting and tree relocation procedures with the quality of plant materials as hereinafter described. All elements of landscaping shall be installed so as to meet all applicable ordinances and code requirements.
6. There shall be no chains or cables used directly on trees or palms, handle with 2" minimum width nylon straps or equal.
7. Contractor shall assure drainage and percolation of all planting pits. Prior to installation of plant material, contractor shall fill all tree pits with water before planting to assure that proper drainage and percolation is available. Correct if required to assure percolation. Contractor is responsible for replacement of all plants lost due to inadequate drainage conditions. Plant/tree material that has bark scraped off due to shipping, handling, and installation issues may be rejected upon inspection by the L.A.
8. Contractor to request inspection of project in writing. If all work is satisfactory and complete in accordance with conditions of contract documents, then the owner, its representative, and landscape architect shall declare the project substantially complete.
9. Substantial completion constitutes the beginning of guarantee period.
10. Contractor to replace rejected plant within two (2) weeks of notice.
11. Crown pruning of any trees or palms is generally not approved by the national arborist association standards. When it is approved, it must be done in writing.
12. Xeriscaping principles as outlined in the South Florida Water Management District Xeriscaping Plant Guide 2 shall be applied throughout landscape installation and maintenance.

## DRAWING ORGANIZATION

### 1. DRAWING NUMBERING SYSTEM

THE DRAWING NUMBER FOR EACH SHEET CONSISTS OF THE FOLLOWING:



### 2. DRAWING GROUP

LANDSCAPE DRAWINGS ARE ORGANIZED INTO THE FOLLOWING GROUPS:

- L0 = GENERAL
- L1 = PLANS
- L2 = ELEVATIONS
- L3 = SECTIONS
- L4 = ENLARGEMENTS
- L5 = DETAILS
- L6 = SCHEDULES

### 3. SHEET NUMBER

EACH DRAWING SHEET WITHIN EACH GROUP/MULTIPLE SHALL BE NUMBERED SEQUENTIALLY FROM 00 TO 99.

### 4. DRAWING NUMBER EXAMPLES:

L1-100 SITE PLAN



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## LANDSCAPE NOTES

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### LANDSCAPE LEGEND

INFORMATION REQUIRED TO BE PERMANENTLY REFUSED TO PLAN

Zoning District: RS 4 Lot Area: 0.17 Acres 7,200 s.f.

**OPEN SPACE** REQUIRED/ PROVIDED

A. Square feet of required Open Space, as indicated on site plan: 5,040 0  
Lot Area 7,200 s.f. x 70 % = 5,040 s.f.

#### LAWN AREA CALCULATION

A. Maximum lawn area (sod) permitted 50 % x 5,040 s.f. = 2,520 0

#### TREES

A. Number of trees required per lot, less existing number of trees meeting minimum requirements = 7 7

2 front yard trees + 3 backyard trees + 2 additional (over 6,000sf) = 7 0

B. Palms allowed in addition to tree requirement: 7 0

C. % Natives required: Number of trees provided x 30% = 2 0

D. % Drought tolerant and low maintenance: Number of trees provided x 50% = 4 0

E. Street Trees (maximum average spacing of 20' o.c.): 170 linear feet along street / 20 = 9 9

Palms permitted to count in addition to street trees on 1:1 basis: 9 0

F. Street trees located directly beneath power lines: (maximum average spacing of 20' o.c.) 0 linear feet along street / 20 = 0 0

G. Diversity of tree species required: 3 9

#### SHRUBS

A. Number of shrubs required: Number of site + street trees required x 12 = 192 279

B. % Native shrubs required: Number of shrubs provided x 50% = 140 279

C. Max % of most shrub used: Number of shrubs provided x 25% = 70 0

D. Vines permitted to count as required shrubs as 1:1: 70 0

#### LARGE SHRUBS/SMALL TREES

A. Number of large shrubs/small trees required: 10% of provided shrubs = 28 75

B. % Native large shrubs/small trees required: 50% or provided = 38 75



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## LANDSCAPE CALCULATIONS

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DRAWING #:	<b>LO-02</b>	

TREES



BURSERIA SIMARUBA GUMBO LIMBO  
 MELICOCOCCUS BIJUGATUS SPANISH LIME  
 PERSEA AMERICANA AVOCADO  
 PISCIDIA PISCIPULA JAMAICAN DOGWOOD  
 SIMAROUBA GLAUCA PARADISE TREE  
 SWIETENIA MAHOGANI MAHOGANY

PALMS



COCCOOTHINAX ARGENTATA SILVER PALM  
 ROYSTONIA REGIA ROYAL PALM  
 SABAL PALMETTO CABBAGE PALM

TREES/SHRUBS



COCCOLOBA DIVERSIFOLIA PIGEON PLUM  
 COCCOLOBA UVIFERA SEA GRAPE  
 CONOCARPUS ERECTUS GREEN BUTTONWOOD  
 KRUGIODENDRON FERREUM BLACK IRONWOOD

SHRUBS



CAPPARIS CYNOPHALLOPHORA JAMAICAN CAPER  
 EUGENIA FOETIDA SPANISH STOPPER  
 GYMANTHES LUCIDA CRABWOOD  
 PSYCHOTRIA LIGUSTRIFOLIA BAHAMA COFFEE  
 PSYCHOTRIA NERVOSA WILD COFFEE  
 RANDIA ACULEATA WHITE INDIGO BERRY

GROUNDCOVERS/LOW GROWING PLANTS



PASPALUM VAGINATUM SEASHORE PASPALUM  
 ZAMIA PUMILA COONTIE



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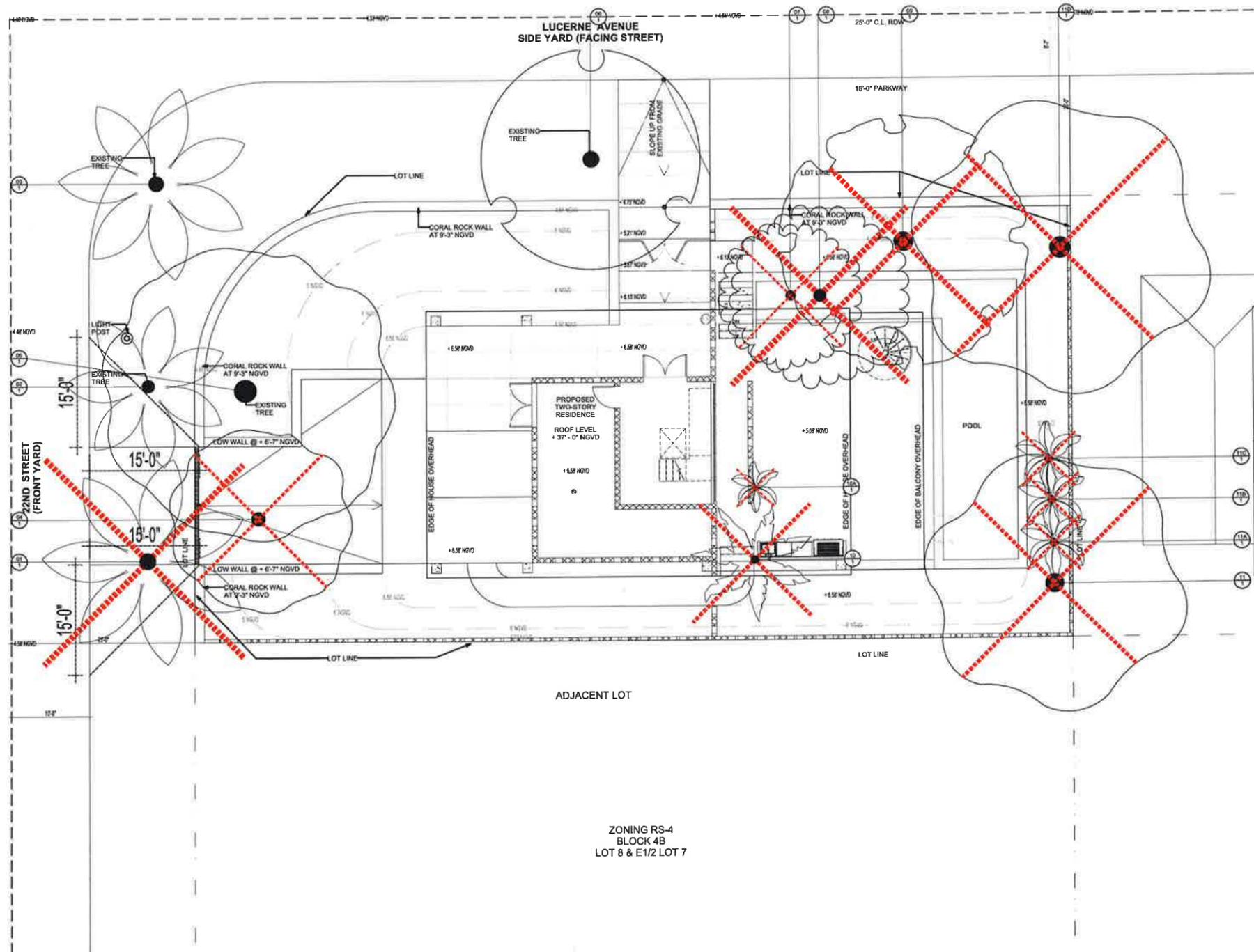
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**PLANT IMAGES**

SCALE:

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TREE DISPOSITION SCHEDULE									
TREES TO REMAIN	CODE	QTY	BOTANICAL NAME	COMMON NAME	DBH	HEIGHT	CANOPY	CONDITION	CANOPY SQ.FT.
	02	1	<i>Roystonea regia</i>	Royal Palm	14"	75'	22'	Good	381
	03	1	<i>Roystonea regia</i>	Royal Palm	15"	40'	26'	Good	531
	05	1	<i>Persea americana</i>	Avocado	10"	45'	40'	Moderate	1,257
	06	1	<i>Sideroxylon foetidissimum</i>	False Mastic	24"	22'	30'	Good	707
TREES TO REMOVE	CODE	QTY	BOTANICAL NAME	COMMON NAME	DBH	HEIGHT	CANOPY	CONDITION	CANOPY SQ.FT.
	01	1	<i>Roystonea regia</i>	Royal Palm	17"	40'	28'	Good	616
	04	1	<i>Persea americana</i>	Avocado	25"	40'	25'	Moderate	481
	07	1	<i>Plumeria rubra</i>	Frangipani	11"	35'	20'	Moderate	315
	08	1	<i>Plumeria rubra</i>	Frangipani	22"	35'	25'	Moderate	491
	09	1	Possible <i>Lysiloma</i> species		15"	35'	34'	Good	908
	10	1	<i>Wodyetia bifurcata</i>	Foxtail Palm	6"	18'	16'	Good	202
	10A	1	<i>Ptychosperma elegans</i>	Solitaire Palm	4"	28'	7'	Good	39
	11	1	<i>Ficus benjamina</i>	Weeping Fig	10"	30'	35'	Moderate	983
	11A	1	<i>Ptychosperma elegans</i>	Solitaire Palm	3"	30'	10'	Good	79
	11B	1	<i>Ptychosperma elegans</i>	Solitaire Palm	3"	30'	10'	Good	79
	11C	1	<i>Ptychosperma elegans</i>	Solitaire Palm	3"	30'	10'	Good	79
	11D	1	<i>Ficus benjamina</i>	Weeping Fig	24"	40'	40'	Poor	1,257
TOTAL CANOPY SQ.FT. REMOVED									5,519



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## DWYER RESIDENCE

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## TREE DISPOSITION PLAN

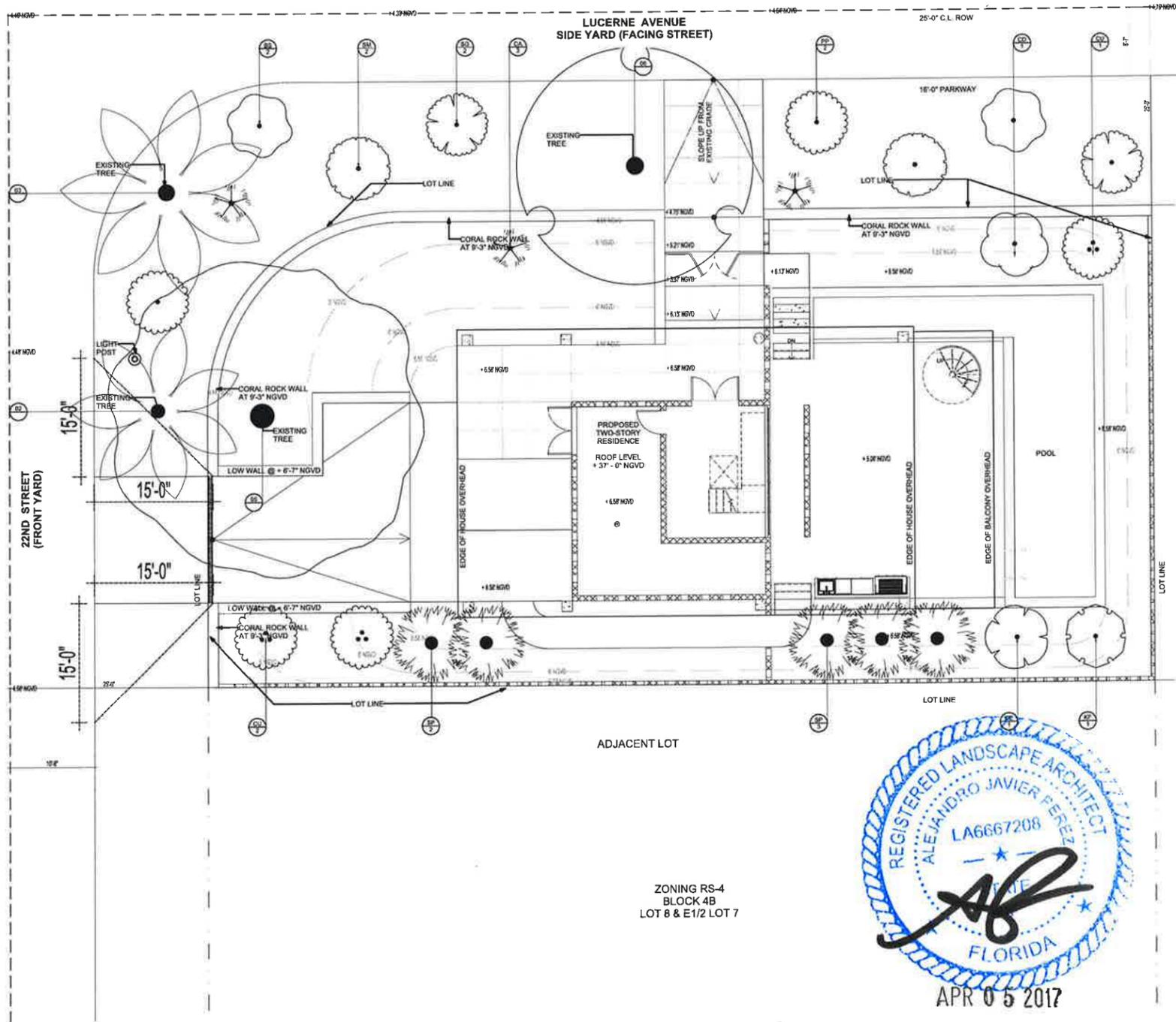
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DATE ISSUED: 04.06.2017  
REVISION # 9  
NOTES:  
DESIGN REVIEW BOARD:  
CAP FIRST SUBMITTAL  
DEADLINE 03.21.2017  
CAP FINAL SUBMITTAL  
DEADLINE 04.06.2017

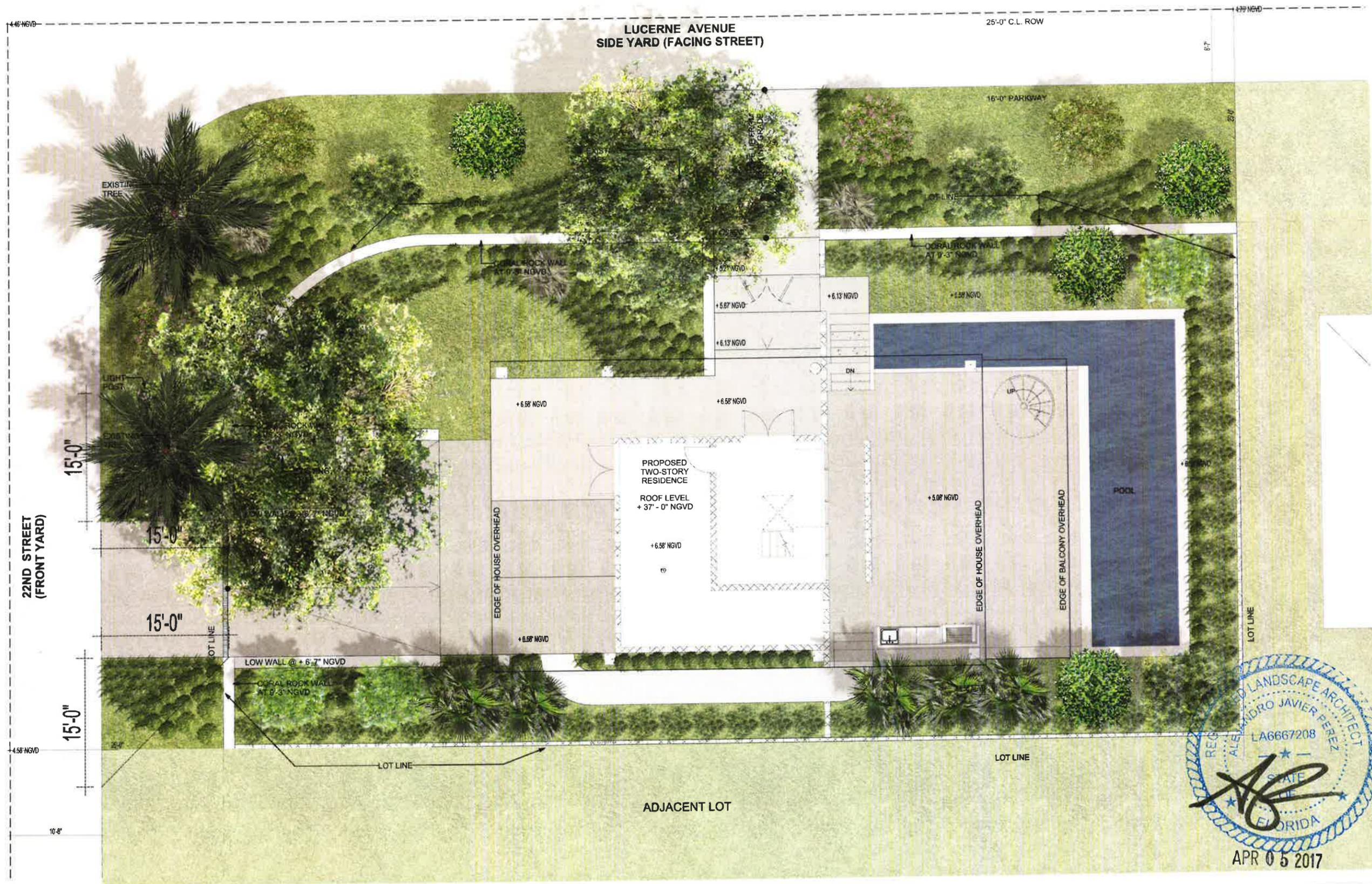
DRAWN BY: AP  
CHECKED BY: AP  
DRAWING #:  
**L1-00**

CANOPY CREDIT FORMULA		
REPLACEMENT CANOPY TYPE	MIN. HEIGHT AT PLANTING	CANOPY CREDIT (SQ.FT.)
SHADE TREE 1	12' OAH*	500
SHADE TREE 2	8' OAH	300
PALM 1	10' CT	300
PALM 2	5' CT	100
SMALL TREE	6' OAH	200

\*OAH: OVERALL HEIGHT \*CT: CLEAR TRUNK



TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	DBH	CLEAR TRUNK	NATIVE	DROUGHT TOLERANT	CANOPY CREDIT SQ. FT.	REPLACEMENT CANOPY SQ. FT.
	CD	1	Coccoloba diversifolia	Pigeon Plum	16' min	8' min	3" min	4' min	Yes	Yes	500	500
	CU	3	Coccoloba uvifera	Sea Grape	16' min	8' min	3" min	4' min	Yes	Yes	500	1,500
	CE	1	Conocarpus erectus	Buttonwood	16' min	8' min	3" min	4' min	Yes	Yes	500	500
	KF	1	Krugiodendron ferreum	Black Ironwood	16' min	8' min	2" min	4' min	Yes	Yes	500	500
EXISTING TREES												
	05	1	Persea americana	Avocado	45'	40'	19"		No	Yes		
	03	1	Roystonea regia	Royal Palm	40'	26'	15"		Yes	Yes		
	02	1	Roystonea regia	Royal Palm	75'	22'	14"		Yes	Yes		
	06	1	Sideroxylon foetidissimum	False Mastic	22'	30'	24"		Yes	Yes		
PALMS												
	CA	3	Coccothrinax argentata	Florida Silver Palm	5' min	5' min	45G min	Yes	Yes			
	SP	5	Sabal palmetto	Cabbage Palmetto	25' OAH			20'	Yes	Yes	300	1,500
STREET TREES												
	BS	2	Bursera simaruba	Gumbo Limbo	16' min	8' min	3" min	4' min	Yes	Yes	500	1,000
	PP	2	Piscidia piscipula	Jamaican Dogwood	16' min	8' min	3" min	4' min	Yes	Yes	500	1,000
	SG	2	Simarouba glauca	Paradise Tree	16' min	8' min	3" min	4' min	Yes	Yes	500	1,000
	SM	2	Swietenia mahagoni	West Indian Mahogany	16' min	8' min	3" min	4' min	Yes	Yes	500	1,000
TOTAL CANOPY SQ. FT. REPLACED											9,500	



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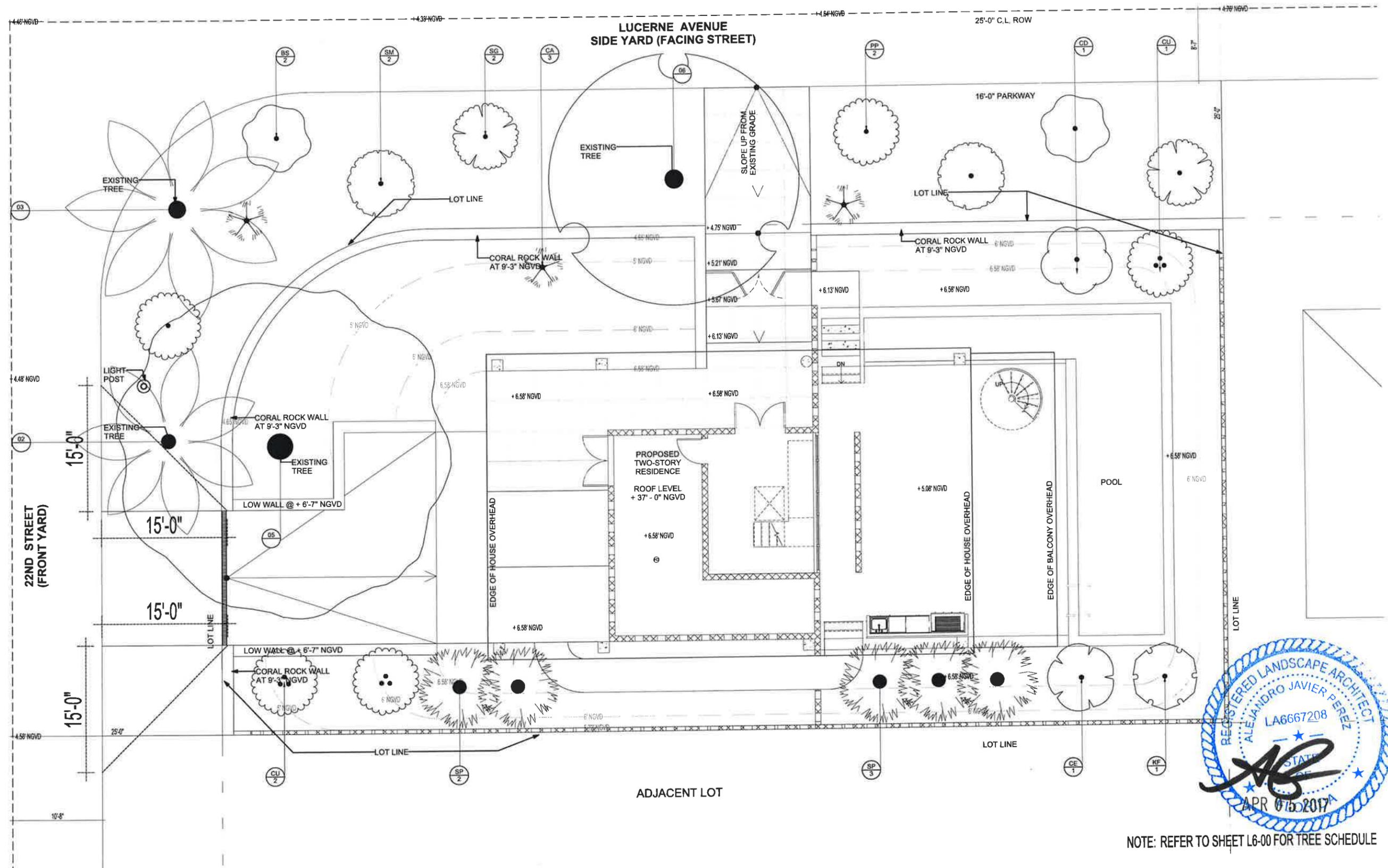
**RENDERED PLAN**

SCALE: 3/16"=1'-0"

DATE ISSUED: 04.06.2017  
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NOTE: REFER TO SHEET L6-00 FOR TREE SCHEDULE

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**TREE PLAN**

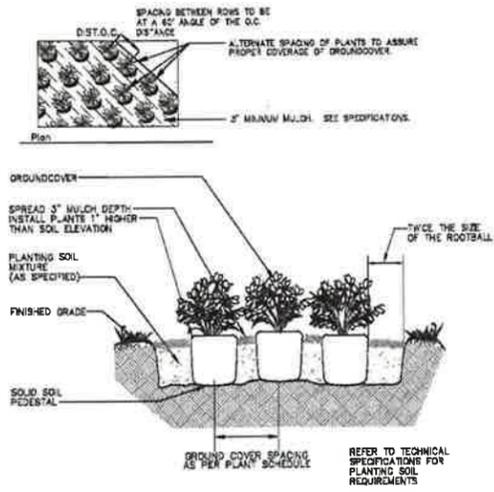
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DATE ISSUED: 04.06.2017	DRAWN BY: AP	CHECKED BY: AP
REVISION # 9		
NOTES:		
DESIGN REVIEW BOARD:		
CAP FIRST SUBMITTAL		
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DEADLINE 04.06.2017		

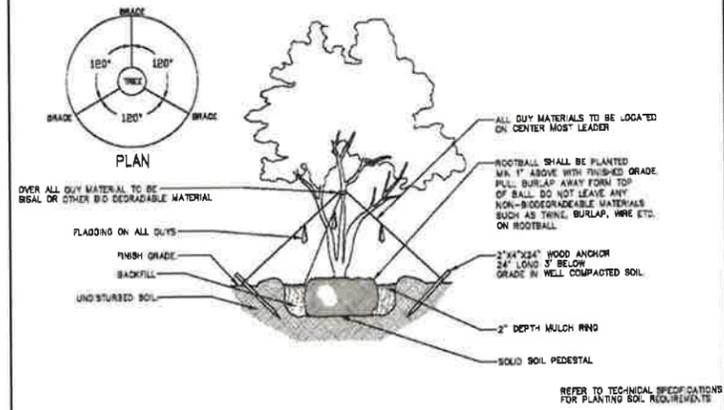
**L1-20**

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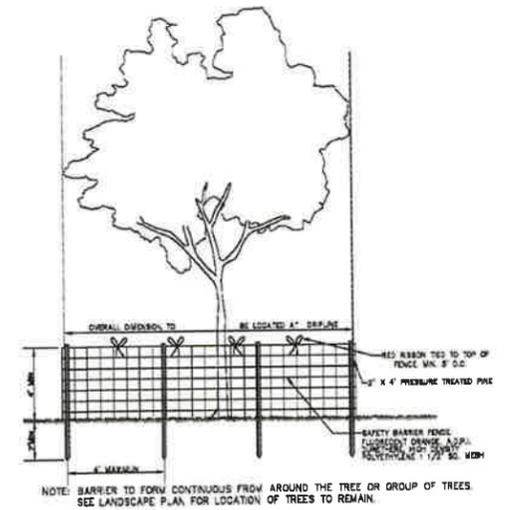




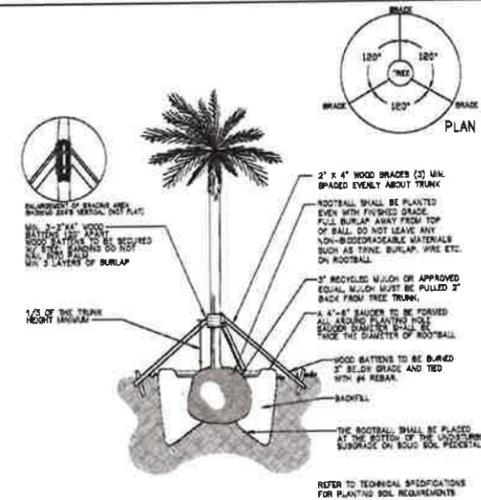
7 GROUNDCOVER PLANTING  
SCALE: NTS



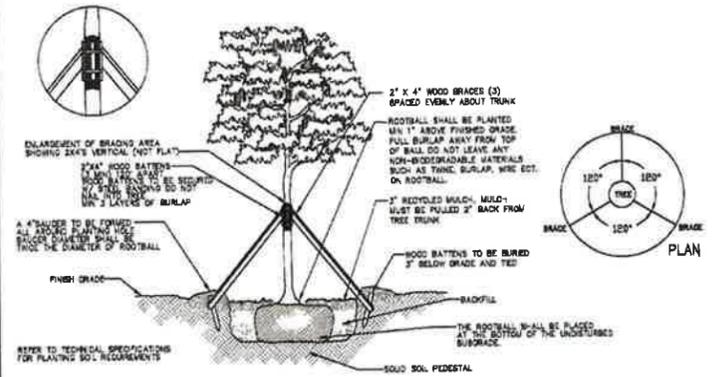
4 MULTI-TRUNK TREE PLANTING  
SCALE: NTS



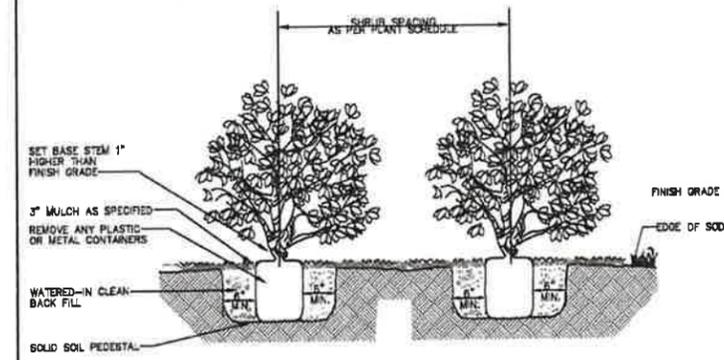
1 TREE PROTECTION  
SCALE: NTS



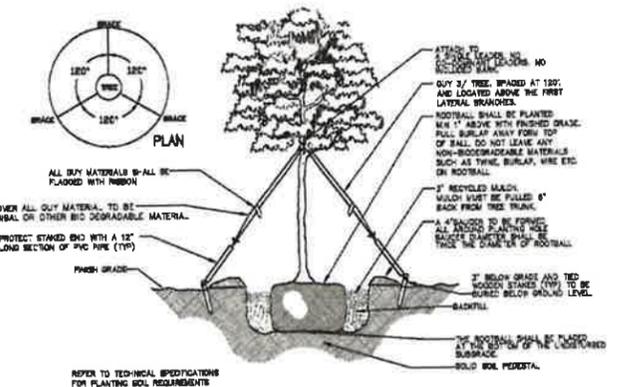
5 PALM PLANTING  
SCALE: NTS



2 LARGE TREE PLANTING  
SCALE: NTS



6 SHRUB PLANTING  
SCALE: NTS



3 SMALL TREE PLANTING  
SCALE: NTS

SHRUB & GROUND COVER SCHEDULE										
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	GAL	NATIVE	DROUGHT TOLERANT	
	CC	74	Capparis cynophallophora	Jamaica Caper	3' min	3'	15G min	Yes	Yes	
	PB	205	Psychotria ligustrifolia	Bahama Coffee	2'	2'	7G min	Yes	Yes	
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	GAL	NATIVE	DROUGHT TOLERANT	
	ZP	376	Zamia pumila	Coontie	1.5' min	1.5' min	7G min	Yes	Yes	
LARGE SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	GAL	NATIVE	DROUGHT TOLERANT	
	EF	27	Eugenia foetida	Spanish Stopper	8' min	4' min	25G min	Yes	Yes	
	GL	25	Gymnanthes lucida	Crabwood	8' min	4' min	25G min	Yes	Yes	
	RA	23	Randia aculeata	White Indigo Berry	8' min	4' min	25G min	Yes	Yes	
SOD	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	NATIVE			SPACING
	PV	1,974 sf	Paspalum vaginatum	Seashore Paspalum	flat					

NOTE: REFER TO SHEET L1-30 FOR SHRUB & GROUND COVER PLAN

TREE SCHEDULE										
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	DBH	CLEAR TRUNK	NATIVE	DROUGHT TOLERANT
	CD	1	Coccoloba diversifolia	Pigeon Plum	16' min	8' min	3" min	4' min	Yes	Yes
	CU	3	Coccoloba uvifera	Sea Grape	16' min	8' min	3" min	4' min	Yes	Yes
	CE	1	Conocarpus erectus	Buttanwood	16' min	8' min	3" min	4' min	Yes	Yes
	KF	1	Krugiodendron ferreum	Black Ironwood	16' min	8' min	2" min	4' min	Yes	Yes
EXISTING TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	DBH	CLEAR TRUNK	NATIVE	DROUGHT TOLERANT
	05	1	Persea americana	Avocado	45'	40'	19"		No	Yes
	03	1	Roystonea regia	Royal Palm	40'	26'	15"		Yes	Yes
	02	1	Roystonea regia	Royal Palm	75'	22'	14"		Yes	Yes
	06	1	Sideroxylon foetidissimum	False Mastic	22'	30'	24"		Yes	Yes
PALMS	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	DBH	CLEAR TRUNK	NATIVE	DROUGHT TOLERANT
	CA	3	Coccothrinax argentata	Florida Silver Palm	5' min	5' min	45G min	Yes	Yes	
	SP	5	Sabal palmetto	Cabbage Palmetto	25' OA			20'	Yes	Yes
STREET TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	DBH	CLEAR TRUNK	NATIVE	DROUGHT TOLERANT
	BS	2	Bursera simaruba	Gumbo Limbo	16' min	8' min	3" min	4' min	Yes	Yes
	PP	2	Piscidia piscipula	Jamaican Dogwood	16' min	8' min	3" min	4' min	Yes	Yes
	SG	2	Simarouba glauca	Paradise Tree	16' min	8' min	3" min	4' min	Yes	Yes
	SM	2	Swietenia mahagoni	West Indian Mahogany	16' min	8' min	3" min	4' min	Yes	Yes

NOTE: REFER TO SHEET L1-20 FOR TREE PLAN

