

# Final Submittal

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## 3465 N. Meridian Ave Boatlift Variance

**Deadline Date:**

**3/23/2017**

### Scope Of Work:

- Installation of dock and boatlift
- Boatlift proposed to extend a maximum of 33ft waterward from property line

## Zoning Information

### Sec. 66-113. - Limitation on *projection* of structures; public hearing.

(a)

Boat slips, docks, wharves, dolphin poles, mooring piles or structures of any kind shall not be constructed or erected that extend into any canal or *waterway* in the city more than ten percent of the width of such canal or *waterway* at a specific location measured from the seawall or property as shown by recorded plat line if no seawall exists; but if a canal or *waterway* is more than 100 feet in width, the structure may extend into such canal or *waterway* a distance not greater than 15 percent of the width of such canal or *waterway* at that specific location, but not to exceed a distance greater than 40 feet. However, subject to the review and approval of the applicable state and county authorities, a dock, wharf, dolphin pole, mooring pile or other structure may extend from a lot zoned for residential use into any part of Biscayne Bay or other *waterway* in excess of 1,000 feet in width, a distance no greater than 125 feet and may extend from a lot zoned for business use into Biscayne Bay or other *waterways* a distance not greater than 250 feet. It is further provided that any boat, ship or vessel of any kind shall not be docked or moored so that its *projection* into the *waterway* would be beyond the permissible *projections* for such docks, wharves, dolphin poles, mooring piles or other structures, and the mooring of any type of vessel or watercraft shall be prohibited along either side of the walkway leading from the seawall to a boat dock. Notwithstanding the foregoing, in the event any dock, wharf, dolphin pole, mooring pile or other structure is proposed to extend greater than 40 feet from a seawall adjacent to, or abutting the WD-1 or WD-2 district, conditional use approval from the planning board, in accordance with [chapter 118](#), article IV of the City Code, shall also be required.

(b)

Permits for erection of any of the above facilities must be obtained from the building division, the state internal improvement fund, if necessary, and if abutting navigable streams, the approval of the U.S. Corps of Engineers must be secured.

(Code 1964, § 7-66; Ord. No. 2014-3852, § 1, 4-23-14)

DEC 02 2016

**NATURAL RESOURCES DIVISION  
DEPARTMENT OF REGULATORY  
AND ECONOMIC RESOURCES**

**PROPOSED CONDITIONS**  
- 3465 N. Meridian -  
Miami Beach, FL

**EXISTING WET FACE OF SEAWALL**

**EXISTING CONCRETE SEAWALL, SEAWALL CAP, BATTER PILES, AND KING PILES TO REMAIN.**

**NEW 10,000 LB CAPACITY ELEVATOR BOAT LIFT INSTALLED ON (2) NEW 12"x12" CONCRETE PILES**

**PROPOSED 274 SQ. FT. WOOD L-SHAPED DOCK**

**(2) 12" DIA. MARINE TREATED WOOD MOORING PILES, DRIVEN 12' MIN. INTO FIRM MATERIAL TO A 15-TON MIN. BEARING CAPACITY.**

**(11) 12" DIA. MARINE TREATED WOOD PILES, DRIVEN 12' MIN. INTO FIRM MATERIAL TO A 15-TON MIN. BEARING CAPACITY. TO EXTEND 6' ABOVE DECK. PILES DEPICTED GRAY TO BE CUT BELOW DECK.**

**BISCAYNE WATERWAY**

**D-5 BOUNDARY LINE**

**LOT LINE**

**PROPERTY LINE**

**PROPERTY LINE**

**RER - NATURAL RESOURCES DIVISION  
PRELIMINARY APPROVAL  
NAME *Nuri SA*  
DATE *12/5/16***

S-3

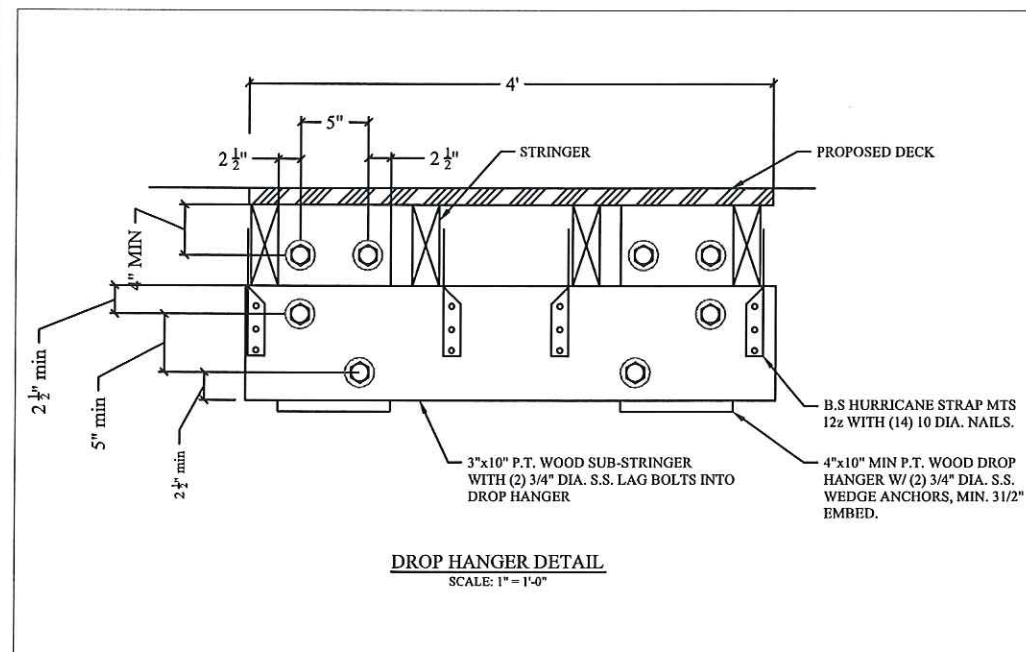


$\frac{1}{8}$  INCH = 1 FEET



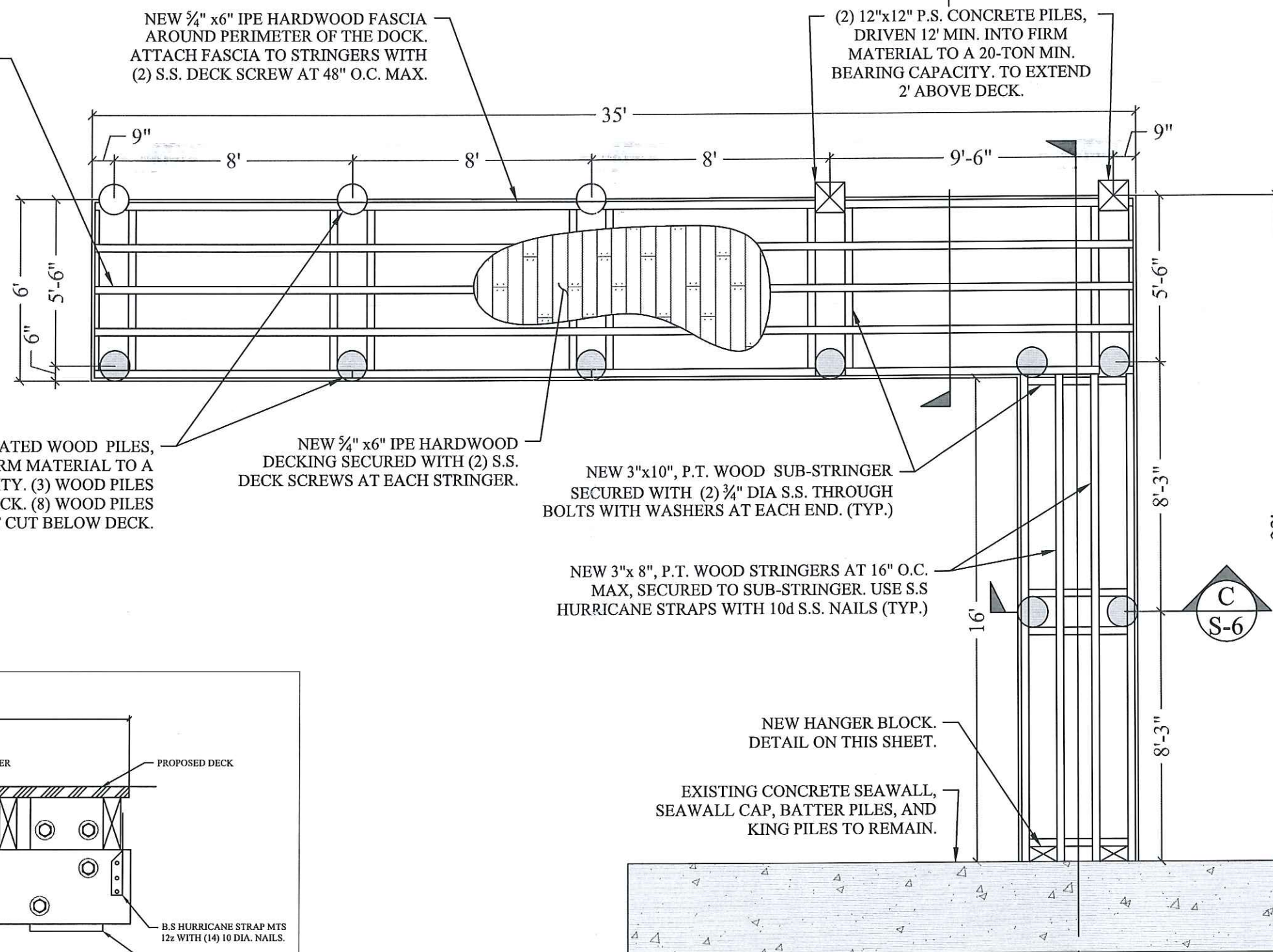
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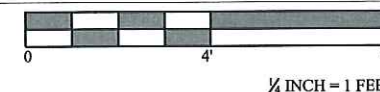


**DROP HANGER DETAIL**  
SCALE: 1" = 1'-0"

**DOCK FRAMING PLAN**



**RER - NATURAL RESOURCES DIVISION  
PRELIMINARY APPROVAL**  
NAME Nov. 12/15/16  
DATE 12/15/16



**B  
S-6**

BOAT LIFT NOT SHOWN FOR  
CLARITY

**C  
S-6**

**A  
S-5**

**3465 N. MERIDIAN  
DOCK  
PROJECT**  
Miami Beach, Florida

CLIENT:

**Mr. Oliver Farrat**  
2018 North Bay Road,  
Miami Beach, FL 33140

ENVIRONMENTAL CONSULTANT:

**OCEAN  
CONSULTING, LLC**  
340 Minorca Avenue, Suite 7  
Coral Gables, Florida 33134  
Tel: (305) 921-9344  
Fax: (305) 677-3254

CONTRACTOR:

PROJECT ENGINEER:

**DYNAMIC ENGINEERING  
SOLUTIONS, INC.**  
351 S. Cypress Road, Suite 303  
Pompano Beach, FL 33060  
Office - 954-545-1740  
Fax - 954-545-1721

SEAL / SIGNATURE / DATE

*[Signature]*  
12/15/16  
John Omslaer  
PE 52733, CA 26829

**PERMIT DRAWINGS**

Issue #	Issue Date
①	September 13, 2016
②	October 24, 2016
③	November 1, 2016
④	November 22, 2016

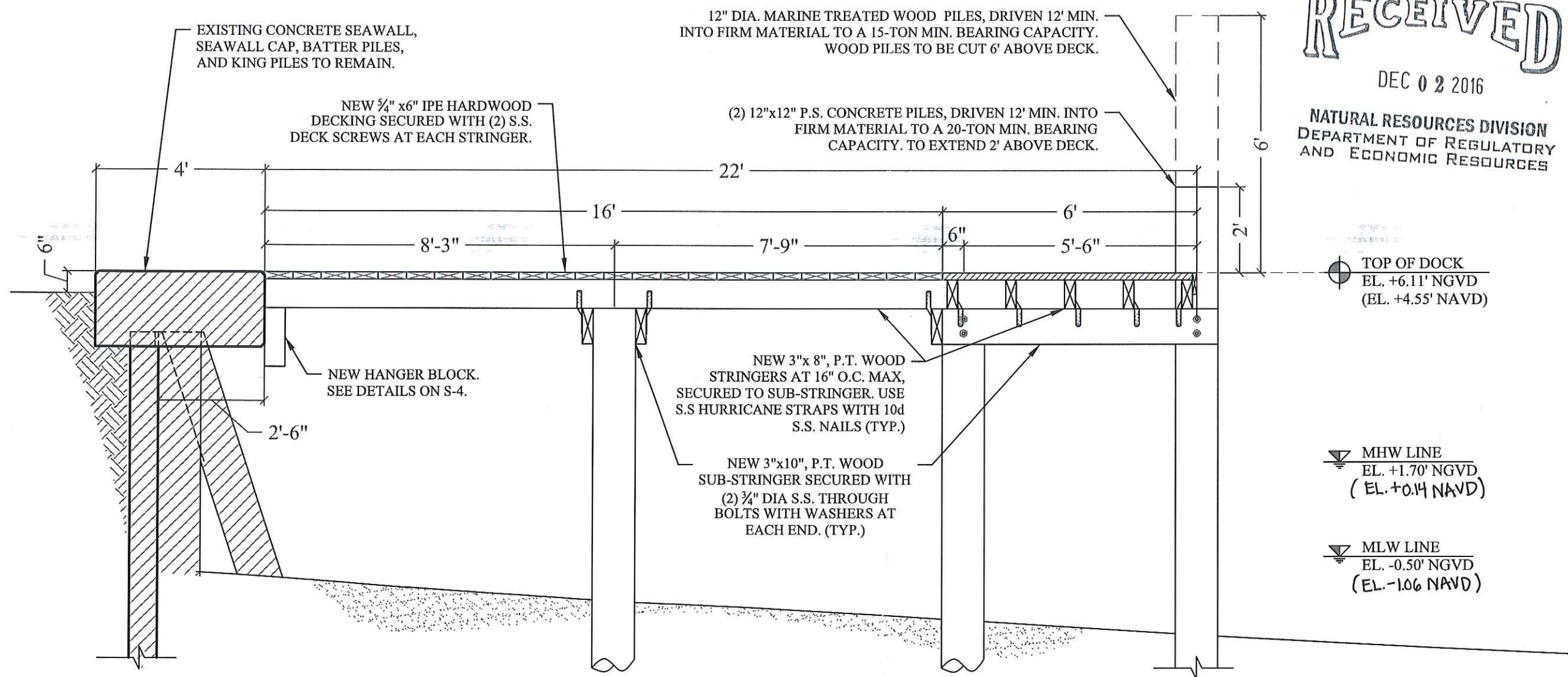
PROJECT: 16-5770

**DOCK FRAMING PLAN**

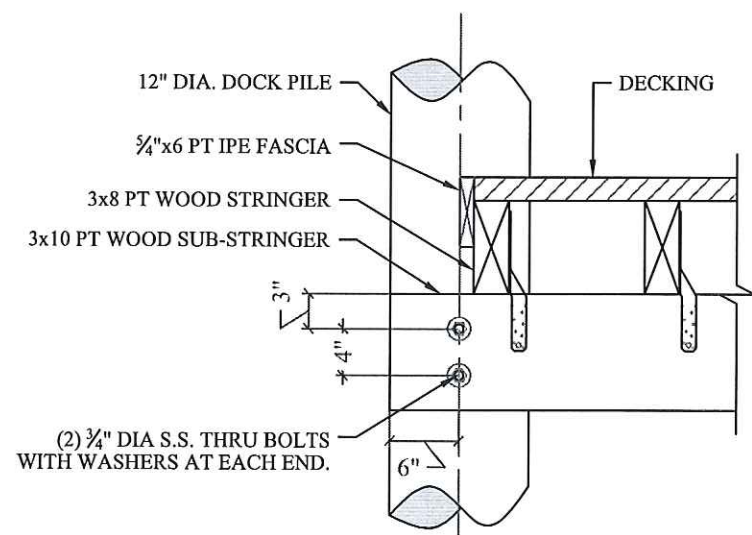
SCALE : AS SHOWN  
SHEET NO.

**S-4**

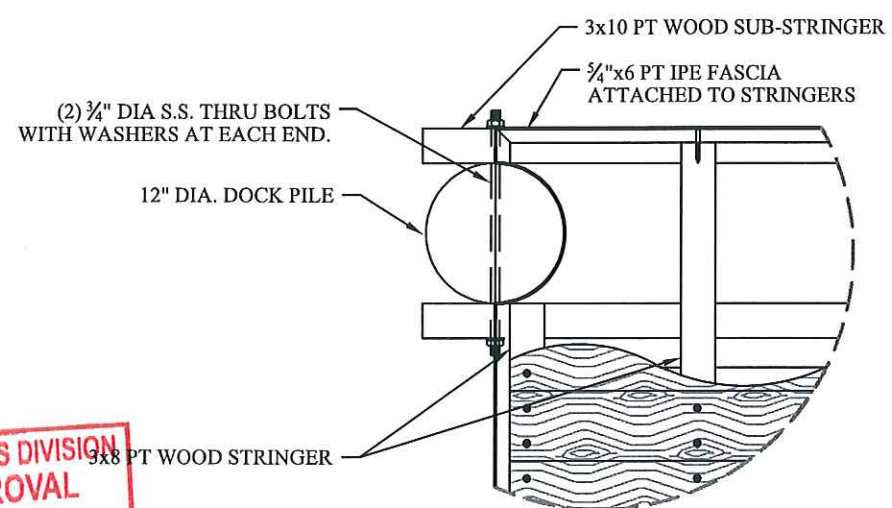




TYPICAL DOCK SECTION A  
SCALE: 3/8" = 1'-0"



TYPICAL DOCK EDGE DETAIL 1  
SCALE: 3/4" = 1'-0"



TYPICAL DOCK EDGE PLAN DETAIL 2  
SCALE: 3/4" = 1'-0"

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PRELIMINARY APPROVAL  
NAME *Nav. SB*  
DATE *12/5/16*

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PROJECT: 16-5770

PROPOSED DOCK  
SECTION AND DOCK  
EDGE DETAILS  
SCALE: AS SHOWN  
SHEET NO.

S-5



SEE DOCK DETAIL ON  
SECTION "A" ON SHEET S-5

NEW 5/4" x6" IPE HARDWOOD DECKING SECURED  
WITH (2) S.S. DECK SCREWS AT EACH STRINGER.

NEW 3"x 8", P.T. WOOD STRINGERS AT 16" O.C. MAX,  
SECURED TO SUB-STRINGER. USE S.S HURRICANE  
STRAPS WITH 10d S.S. NAILS (TYP.)

NEW 3"x10", P.T. WOOD SUB-STRINGER SECURED  
WITH (2) 3/4" DIA S.S. THROUGH BOLTS WITH  
WASHERS AT EACH END. (TYP.)

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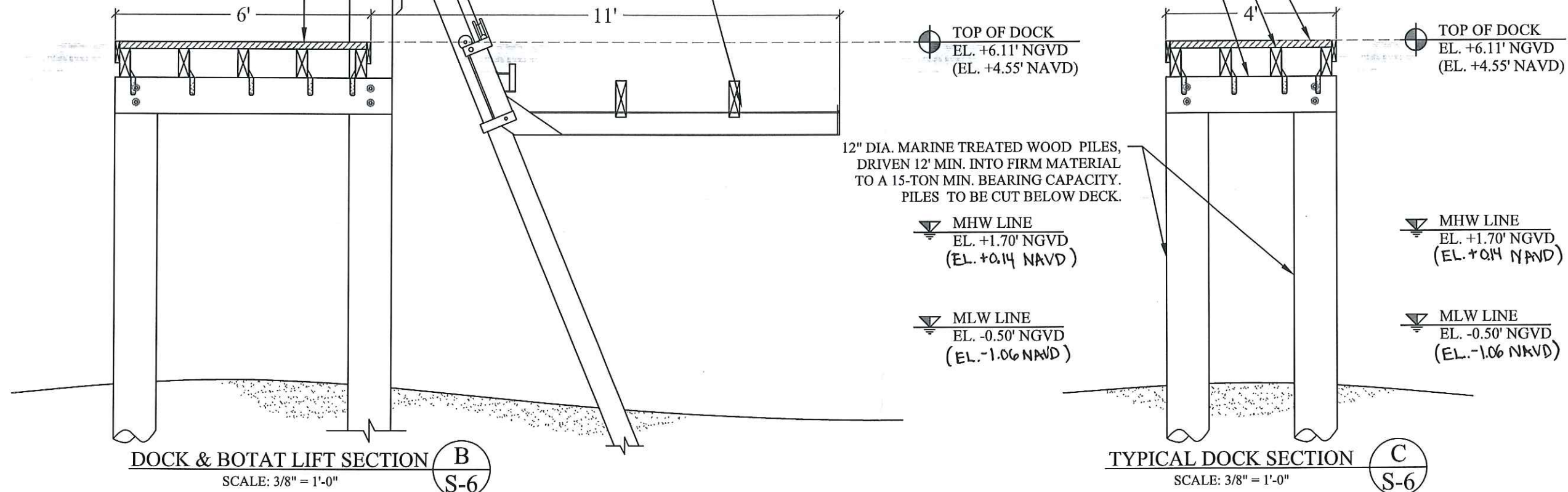
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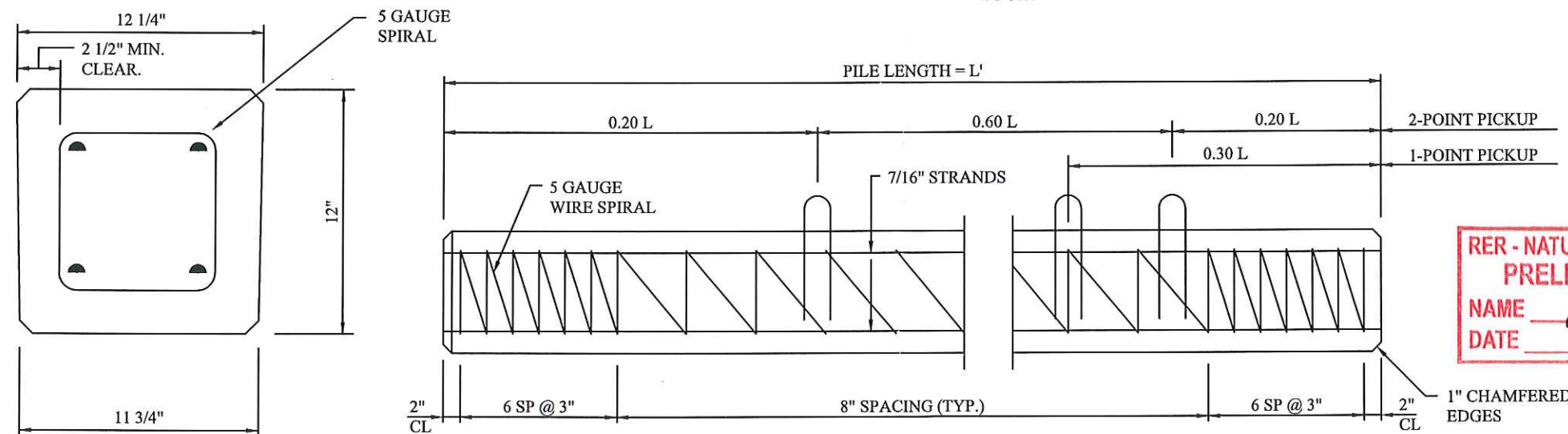
**TYPICAL DOCK  
SECTIONS AND  
CONCRETE PILE DETAIL**

S-6



STRANDS - USE FOUR 7/16" (270K)  
LOW RELAXATION ASTM 416-87 UNCOATED  
7-WIRE STRANDS TENSIONED TO 2.33 KIPS  
EACH

1-POINT PICKUP-MAXIMUM L = 50'  
2-POINT PICKUP-MAXIMUM L = 62'



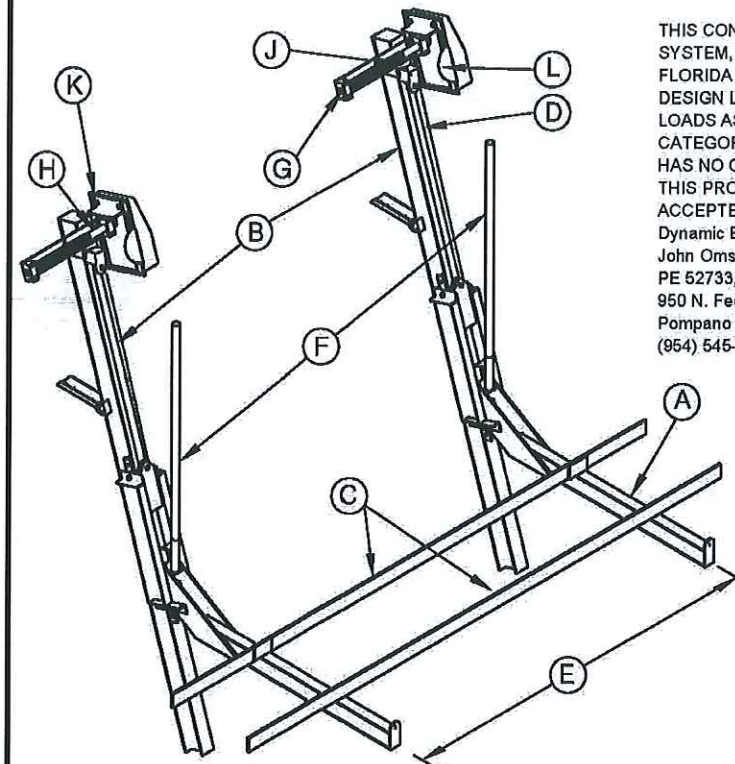
**RER - NATURAL RESOURCES DIVISION  
PRELIMINARY APPROVAL**

NAME Max. ~~SA~~  
DATE 12/5/16

1" CHAMFERED  
EDGES



# GOLDEN ENGINEERED ELEVATOR LIFT SPECIFICATIONS

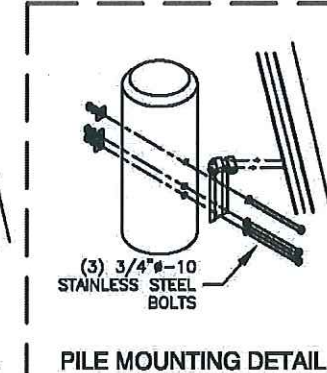


THIS CONSTRUCTION HAS BEEN DESIGNED AS A MAIN WIND FORCE RESISTING SYSTEM, WITH CALCULATED GRAVITY AND WIND LOADS IN COMPLIANCE WITH THE FLORIDA BUILDING CODE 2014, SECT. 1609, ADM 2005, AND ASCE 7-10 "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES" TO WITHSTAND THE WIND LOADS ASSOCIATED WITH AN ULTIMATE WIND SPEED OF 175 MPH, EXPOSURE "C". RISK CATEGORY = II AND DESIGN PRESSURE IS 45 PSF. DYNAMIC ENGINEERING SOLUTIONS HAS NO CONTROL OF THE MANUFACTURING, PERFORMANCE, OR INSTALLATION OF THIS PRODUCT. THESE GENERIC PLANS WERE ENGINEERED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICES AND DATA PROVIDED BY THE MANUFACTURER.

Dynamic Engineering Solutions, Inc.  
John Omslaer  
PE 52733, EB 26829  
950 N. Federal Hwy., Suite 212  
Pompano Beach, FL 33062  
(954) 545-1740 Fax: (954) 545-1721

(2) 3/4"x3-1/4"  
EMBED REDHEADS  
4" & 10" FROM  
EDGE

SEAWALL MOUNTING DETAIL



PILE MOUNTING DETAIL

INCLINE MOUNT OR VERTICAL MOUNT

(A)	(B)	(C)	(D)	(E)	(F)	(G)	(H)	(J)	(K)	(L)								
LIFT CAPACITY	CRADLE I-BEAM	TRACK I-BEAM	BUNK BOARDS FEET	CABLE SIZE	TRACK SPREAD	GUIDE POST HEIGHT	BRGS	DRIVE SHAFT	WINDER DIA	GEAR RATIO	MOTOR HP/VOLTAGE	INCHES OF LIFT PER MIN.						
3,000#	(2) 6 H x .19 4 W x .29 x 7' LG @ 4.03#/FT	(2) 8 H x .23 5 W x .35 x 25' LG @ 6.18#/FT	(2) 2 x 8 x 144 ROUGH SAWN CARPETED	(2) 5/16" Ø x 20' S.S. 2 PART	7' THRU 10'	80"	(4) 2" EXTRUDED 6061-T6 ALUM	(2) 1.900" O.D. x 1.48" WALL GALVANIZED HSS	(2) 2 1/2" SCHEDULE 80 ALUM. PIPE	480:1	(2) 3/4 HP 120V/20A 240V/10A	13-1/2"						
5,000# & 7,000#	(2) 8 H x .23 5 W x .35 x 8' LG @ 6.18#/FT	(2) 8 H x .25 5 W x .41 x 25' LG @ 7.02#/FT		(2) 5/16" Ø x 30' S.S. 2 PART							(5,000# (2) 3/4 HP & 7,000# (2) 1 HP							
10,000#	(2) 9 H x .27 5.5 W x .44 x 8' LG @ 8.36#/FT	(2) 9 H x .27 5.5 W x .44 x 25' LG @ 8.36#/FT		(2) 3/8" Ø x 30' S.S. 2 PART	8' THRU 11'						(2) 3/4 HP 120V/20A 240V/10A							
12,000#	(2) 10 H x .25 8 W x .41 x 8' LG @ 8.85#/FT	(2) 10 H x .25 8 W x .41 x 25' LG @ 8.85#/FT	(2) 3 x 10 x 192 ROUGH SAWN CARPETED	(2) 3/8" Ø x 30' S.S. 3 PART	8' THRU 14'	120"	(4) 2" EXTRUDED 6061-T6 ALUM	(2) 1.900" O.D. x 1.65" WALL GALVANIZED HSS	(2) 2 1/2" SCHEDULE 80 ALUM. PIPE	480:1	(2) 1 HP 120V/20A 240V/10A	9"						
15,000#	(2) 12 H x .29 7 W x .47 x 8' LG @ 11.7#/FT	(2) 10 H x .28 6 W x .50 x 25' LG @ 10.3#/FT		(2) 3/8" Ø x 50' S.S. 4 PART							(2) 1.5 HP 120V/20A 240V/10A	8"						
17,000#	(2) 12 H x .29 7 W x .47 x 10' LG @ 11.7#/FT	(2) 12 H x .29 7 W x .47 x 25' LG @ 11.7#/FT																
20,000#	(2) 12 H x .31 7 W x .52 x 11' LG @ 14.3#/FT	(2) 12 H x .31 7 W x .52 x 25' LG @ 14.3#/FT	(2) 8 H x .23 5 W x .35 x 25' LG CAPPED WITH WOOD AND CARPET	(4) 3/8" Ø x 50' S.S. 3 PART	10' THRU 16'		(2) 2" EXTRUDED 6061-T6 ALUM	(4) 2 1/2" SCHEDULE 80 ALUM. PIPE			(2) 2 HP 120V/20A 240V/10A	8.75"						
24,000#	(4) 10 H x .29 8 W x .50 x 10' LG @ 10.3#/FT	(4) 10 H x .29 8 W x .50 x 25' LG @ 10.3#/FT									(2) 2 HP 120V/20A 240V/10A	8.75"						
30,000#	(4) 12 H x .31 7 W x .52 x 11' LG @ 14.3#/FT	(4) 12 H x .31 7 W x .52 x 25' LG @ 14.3#/FT																

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PE 52733, CA 26829

PERMIT DRAWINGS

Issue # Issue Date

① September 13, 2016  
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③ November 1, 2016  
④ November 22, 2016

PROJECT: 16-5770

BOAT LIFT  
SPECIFICTIONS

SCALE : AS SHOWN  
SHEET NO.

S-7

RER - NATURAL RESOURCES DIVISION  
PRELIMINARY APPROVAL  
NAME *[Signature]*  
DATE 12/5/16





30' CENTER CONSOLE

# Bimini 306

Beam Amidships: 10'7"  
Bridge Clearance: 7'3"  
w/T-Top: 9'4"  
Center Line Length: 30'6"  
Cockpit Depth: 27"

Cockpit Square Footage: 75 sq. ft.  
Dead Rise at Transom: 19.5° with SeaV2  
hull (continuously variable vee)  
Hull Draft: 19"  
Maximum HP: 600

Outboard Shaft Length: 25"  
Standard Fuel Capacity: 306 gal.  
Transom Angle: 17°  
Transom Width: 9'6"  
Weight w/o Engine: 6500 lb.

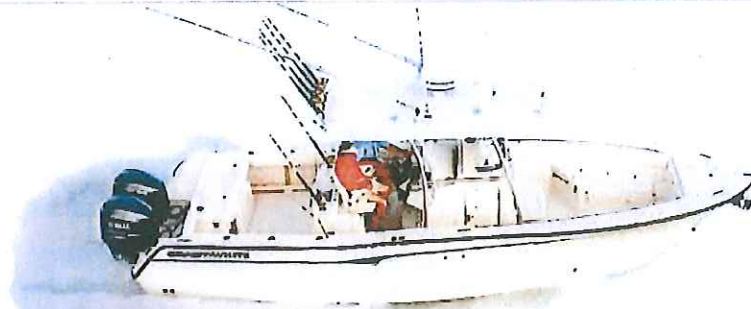
## STANDARD FEATURES

### Safety

2 automatic bilge pumps (total 2950 GPH)  
Basic flotation  
Cockpit toe rails  
Console grab rail  
Nonskid fiberglass liner  
Self-bailing cockpit w/4 cockpit drains  
Stainless steel through-hull fittings

### Cockpit & Deck

100% hand laid hull & deck  
Anchor windlass  
Battery select switch  
Cockpit bolsters  
Cockpit lights  
Cockpit shower (recessed)  
Cutting board  
Deck hardware - 316 grade stainless  
steel through-bolted  
Drink holders (7)  
Factory engine pre-rigging  
Fish box - 150-qt. port & starboard  
insulated fish boxes w/ob drain  
Fish box - 304-qt. aft insulated fish box  
w/ob drain  
Forward bolsters  
Fuel capacity - 306 gallons (150-gallon  
tank, 156-gallon tank)  
Heavy-duty gunwale molding  
Hydraulic trim tabs w/indicator  
& retractor  
Integrated outboard mounting system w/swim  
platform & ladder  
International lighting  
Livewell - 47-gallon insulated raw water  
livewell w/light, full column distribution  
Inlet & ob drain (1100 GPH pump)  
Pop up cleats (flush mount)  
Rigging station - lean bar station  
w/freshwater sink, pull out faucet &  
insulated bait box  
Rod holders (6)  
Rod storage - lockable horizontal storage  
for 6 rods  
Seating - deluxe lean bar w/footrest,  
deluxe sliding chairs (2), tackle trays,  
lockable storage & rod holders (2)  
Seating - fold away aft bench  
seat w/cushion  
Stainless steel rubrail  
Stern eyes  
Storage - forward anchor locker  
w/rode storage  
Storage nets  
Transducer mounting flats



Transom door  
Washdown - pressurized raw water w/hose  
Water tank - 32-gallon freshwater

### Console

Accessory outlet - 12V (2)  
Compass  
Console port light  
Console ventilator  
Drink holders (2)  
Head - lockable console w/stand up head  
area, shower, sink, bulk storage drawers,  
marine head w/macerator, 10-gallon holding  
tank & pump out  
Seating - molded forward console  
seat w/cushion  
Steering - hydraulic tilt  
Steering wheel - 316 grade stainless steel  
Storage - electro-mechanically operated  
electronics enclosure  
Storage - lockable acrylic console door  
Storage - under footrest  
Window - opening window w/screen  
Windshield - glass windshield  
Windshield wiper

### Canvas Options

T-top front & side curtains  
(canvas available in Ivory or navy)

## OPTIONAL FEATURES

Castling platform insert  
Castling platform insert cushion  
Convenience package - battery charger &  
dockside power w/galvanic isolator  
Head - marine head w/electric  
flush (10-gallon)  
Outrigger kit - 15-ft. radial T-top  
mounted (w/T-top option only)  
Sirius satellite radio system  
Steering - power assist  
Stereo/CD system - satellite ready  
T-top (fiberglass) w/radio box, radar  
flat, dome light, storage net, and fore &  
aft spreader lights

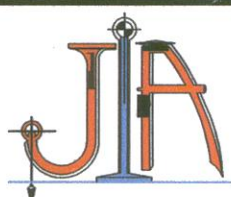
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Natural Res...  
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GRADY-WHITE BOATS





# JOHN IBARRA & ASSOCIATES, INC.

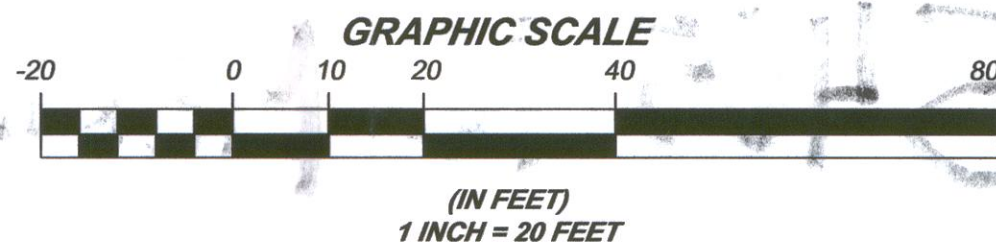
Professional Land Surveyors & Mappers

777 N.W. 72nd AVENUE  
SUITE 3025  
MIAMI, FLORIDA 33126  
PH: (305) 262-0400  
FAX: (305) 262-0401

2804 DEL PRADO BLVD SOUTH  
SUITE NO. 202 UNIT 1  
CAPE CORAL, FL 33904  
PH: (239) 540-2660  
FAX: (239) 540-2664



## MAP OF BOUNDARY SURVEY



TREE TABLE				
No.	Name	Diameter (Ft.)	Height (Ft.)	Spread (Ft.)
1	Sabal Palm	1.20	20	15
2	Umbrella	0.70	25	15
3	Coconut Palm	0.70	30	15
4	Coconut Palm	0.70	35	15
5	Coconut Palm	0.80	35	15
6	Coconut Palm	0.80	30	20
7	Royal Palm	1.50	45	20
8	Alexander Palm	0.30	25	8



LOCATION SKETCH  
SCALE = N.T.S.

### ABBREVIATIONS

A = ARC  
A/C = AIR CONDITIONER PAD  
A.E. = ANCHOR EASEMENT  
A.R. = ALUMINUM ROOF  
A.S. = ALUMINUM SHED  
ASPH. = ASPHALT  
B.C. = BLOCK CORNER  
BLDG. = BUILDING  
B.M. = BENCH MARK  
B.C.R. = BROWARD COUNTY RECORDS  
B.O.B. = BASIS OF BEARING  
(C) = CALCULATED  
C.B. = CATCH BASIN  
C.B.S. = CONCRETE BLOCK STRUCTURE  
C.B.W. = CONCRETE BLOCK WALL  
CH. = CHORD  
CH.B. = CHORD BEARING  
CH.L. = CHORD LENGTH  
CL. = CLEAR  
C.O. = CLEAN OUT  
C.L.F. = CHAIN LINK FENCE  
C.M.E. = CANAL MAINTENANCE EASEMENT  
CONC. = CONCRETE  
C.U.P. = CONCRETE UTILITY POLE  
C.P. = CONCRETE PORCH  
C.S. = CONCRETE SLAB  
C.W. = CONCRETE WALK  
D.E. = DRAINAGE EASEMENT  
D.M.E. = DRAINAGE MAINTENANCE EASEMENT  
D.R. = DRIVEWAY  
D.R. = DRIVE  
E.B. = ELECTRIC BOX  
E.T.P. = ELECTRIC TRANSFORMER PAD  
ELEV. = ELEVATION  
ENC. = ENCROACHMENT  
F.H. = FIRE HYDRANT  
F.I.P. = FOUND IRON PIPE  
F.I.R. = FOUND IRON ROD  
F.F.E. = FINISHED FLOOR ELEVATION  
F.N.D. = FOUND NAIL & DISK  
F.T. = FEET  
F.N.P. = FEDERAL NATIONAL INSURANCE PROGRAM  
F.N. = FOUND NAIL  
H. = HIGH OR (HEIGHT)  
I.N.A.E.G. = INGRESS AND EGRESS EASEMENT  
I.C.V. = IRRIGATION CONTROL VALVE  
I.F. = IRON FENCE  
L.B. = LICENSED BUSINESS  
L.P. = LIGHT POLE  
L.F.E. = LOWEST FLOOR ELEVATION  
L.M.E. = LAKE MAINTENANCE EASEMENT  
(M) = MINUTES  
(M) = MEASURED DISTANCE  
M.B. = MAIL BOX  
M.D.C.R. = MIAMI DADE COUNTY RECORDS  
M.E. = MAINTENANCE EASEMENT  
M.H. = MANHOLE  
N.A.P. = NOT A PART OF  
NOVD. = NATIONAL GEODETIC VERTICAL DATUM  
N.T.S. = NOT TO SCALE  
# or NO. = NUMBER  
OS. = OFFSET  
O.H. = OVERHEAD  
O.H.L. = OVERHEAD UTILITY LINES  
O.R.B. = OFFICIAL RECORDS BOOK  
O.V.H. = OVERHANG  
P.M.T. = PAVEMENT  
PL. = PLANTER  
P.L. = PROPERTY LINE  
P.C.C. = POINT OF COMPOUND CURVATURE  
P.C. = POINT OF CURVATURE  
P.O.T. = POINT OF TANGENCY  
P.O.C. = POINT OF COMMENCEMENT  
P.O.B. = POINT OF BEGINNING  
P.R.C. = POINT OF REVERSE CURVATURE  
P.W. = PARKWAY  
P.R.M. = PERMANENT REFERENCE MONUMENT  
P.P. = PROFESSIONAL LAND SURVEYOR  
P.P. = POWER POLE  
P.P.S. = POOL PUMP SLAB  
P.U.E. = PUBLIC UTILITY EASEMENT  
(R) = RECORD DISTANCE  
R.R. = RAIL ROAD  
RES. = RESIDENCE  
R.W. = RIGHT-OF-WAY  
RAD. = RADIIUS OR RADIAL  
R.O.E. = RANGE  
R.O.E. = ROOF OVERHANG EASEMENT  
SEC. = SECTION  
STY. = STORY  
SWK. = SIDEWALK  
S.I.P. = SET IRON PIPE  
S. = SOUTH  
S.P. = SCREENED PORCH  
S.V. = SEWER VALVE  
S.V. = SECONDS  
T. = TANGENT  
T.B. = TELEPHONE BOOTH  
T.B.M. = TEMPORARY BENCHMARK  
T.U.E. = TECHNOLOGY UTILITY EASEMENT  
T.S.B. = TRAFFIC SIGNAL BOX  
T.S.P. = TRAFFIC SIGNAL POLE  
TWP. = TOWNSHIP  
U.E. = UTILITY EASEMENT  
U.P. = UTILITY POLE  
U.M. = UTILITY METER  
W.F. = WATER FENCE  
W.P. = WOOD PORCH  
W.R. = WOOD ROOF  
W.V. = WATER VALVE  
M. = MONUMENT LINE  
C. = CENTER LINE  
Δ. = DELTA

**PROPERTY ADDRESS:**  
3465 N MERIDIAN AVENUE,  
MIAMI BEACH, FLORIDA, 33140

**CERTIFICATION:**  
BALI 33, LLC, A FLORIDA LIMITED LIABILITY  
COMPANY  
LEVINE & PARTNERS, P.A.  
CHICAGO TITLE INSURANCE COMPANY

**LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY:**  
• THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY.  
• EXAMINATIONS OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY.  
• THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD.  
• LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.  
• BOUNDARY SURVEY MEANS A DRAWING AND/OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE; THE WALLS OR FENCES MAY BE EXAGGERATED FOR CLARITY PURPOSES.  
• EASEMENTS AS SHOWN ARE PER PLAT BOOK, UNLESS DEPICTED OTHERWISE.  
• THE TERM "ENCROACHMENT" MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS.  
• ARCHITECTS SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS, SETBACKS AND WILL BE RESPONSIBLE FOR SUBMITTING PLAT PLANS WITH CORRECT INFORMATION FOR "APPROVAL FOR AUTHORIZATION" TO THE PROPER AUTHORITIES IN NEW CONSTRUCTION.  
• UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS.  
• FENCE OWNERSHIP NOT DETERMINED.  
• THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON, THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTY.

**FLOOD ZONE INFORMATION:**  
THE NFIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN:  
FLOOD ZONE: "AE"  
BASE FLOOD ELEVATION: 7.00 FT.  
COMMUNITY: 120651  
PANEL: 0317  
SUFFIX: L  
DATE OF FIRM: 09/11/2009  
THE SUBJECT PROPERTY DOES LIE IN A SPECIAL FLOOD HAZARD AREA.

**SURVEYOR'S NOTES:**  
1. IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY, IF NOT, BEARINGS ARE THEN REFERRED TO COUNTY, TOWNSHIP MAPS.  
2. THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT.  
3. CERTIFICATE OF AUTHORIZATION LB # 7806.  
4. ALL ELEVATIONS SHOWN ARE REFERRED TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 FDOT 89\_09\_PNC01 MIAMI BEACH BENCH MARK; ELEVATION IS 9.46 FEET OF N.G.V.D. OF 1929


**SURVEYOR'S CERTIFICATION:**  
I HEREBY CERTIFY: THIS "BOUNDARY SURVEY" OF THE PROPERTY DESCRIBED HEREON, HAS RECENTLY BEEN SURVEYED AND DRAWN UNDER MY SUPERVISION, AND COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

BY:  **CARLOS IBARRA** (DATE OF FIELD WORK) **03/13/2014**

PROFESSIONAL LAND SURVEYOR NO.: 6770 STATE OF FLORIDA  
(NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.)

REVISED ON: **ADD CONSTRUCTION ELEV AND TREES** **5/20/2014**  
REVISED ON: **UPDATED SURVEY** **11/21/2014**  
REVISED ON: **ADDED NEW SEA WALL** **11/06/2015**  
REVISED ON: **SEA WALL SURVEY** **07/21/2016**

DRAWN BY:	E.O.
FIELD DATE:	03/13/2014
JOB NO:	14-000842-6
SHEET:	1 OF 1



L.B.# 7806 SEAL

**LEGAL DESCRIPTION:**  
LOT 9, BLOCK 2, OF GARDEN SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 31, PAGE(S) 9, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.  
ALSO: THE NORTHERLY ONE-HALF OF LOT 8, BLOCK 2, OF GARDEN SUBDIVISION, OF THE MIAMI BEACH BAY SHORE COMPANY, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWESTERLY CORNER OF LOT 9, BLOCK 2, GARDEN SUBDIVISION, AS RECORDED IN PLAT BOOK 31, PAGE 9, OF THE PUBLIC RECORDS OF MIAMI DADE COUNTY, FLORIDA, RUN IN AN EASTERLY DIRECTION ALONG THE SOUTHERLY LINE OF SAID LOT 9, BLOCK 2, AS SHOWN ON THE ABOVE MENTIONED PLAT AT A DISTANCE OF 160.7 FEET PLUS OR MINUS, TO THE FACE OF THE CONCRETE BULKHEAD ON THE WESTERLY SHORE OF BISCAYNE WATERWAY; THENCE MEASUREMENT THE EAST FACE OF SAID CONCRETE BULKHEAD IN A SOUTHERLY DIRECTION A DISTANCE OF 30.84 FEET, PLUS OR MINUS; SAID POINT BEING THE MIDPOINT OF LOT 8, BLOCK 2, AS SHOWN ON THE ABOVE MENTIONED PLAT; THENCE RUN IN A WESTERLY DIRECTION ALONG A LINE PASSING THROUGH THE LAST MENTIONED POINT AND A POINT 25 FEET SOUTHERLY OF THE SOUTHWESTERLY CORNER OF THE ABOVE MENTIONED LOT 9, BLOCK 2, SAID 25 FEET BEING MEASURED SOUTHERLY ALONG THE EASTERLY LINE OF NORTH MERIDIAN AVENUE AS SHOWN ON THE ABOVE MENTIONED PLAT; A DISTANCE OF 162.4 FEET, PLUS OR MINUS; THENCE RUN IN A NORTHERLY DIRECTION ALONG THE ARC OF A CIRCULAR CURVE DEFLECTION TO THE LEFT, AND HAVING FOR ITS ELEMENTS A RADIUS OF 694.77 FEET, A CENTRAL ANGLE OF 2 DEGREES, 3 MINUTES, 42 SECONDS; ALONG THE EASTERLY LINE OF NORTH MERIDIAN AVENUE, A DISTANCE OF 25 FEET TO THE POINT OF BEGINNING, CONTAINING .09 ACRES MORE OR LESS.

PARCEL IDENTIFICATION NUMBER: 02-3227-015-0130