

FINAL SUBMITTAL 02.27.2017

1045 PENNSYLVANIA AVE.
MIAMI BEACH, FLORIDA 33139

FOLIO # 02-4203-009-0340



SCOPE OF WORK

- SITE MODIFICATIONS:**
- REPLACE EXISTING FENCE ON TOP OF EXISTING FRONT WALL
 - EXISTING CAPS TO BE REPLACED
 - NEW FRONT GATE
 - NEW 10' HIGH HORIZONTAL WOOD FENCES
 - NEW GATES IN REAR SIDE
 - POOL EQUIPMENT TO BE MODIFIED TO ACHIEVE 2' SETBACK
 - POOL DECK TO BE MODIFIED TO ACHIEVE 7'-6" SETBACK
 - EXISTING JACUZZI TO BE REMOVED
- MAIN BUILDING MODIFICATIONS:**
- FIRST FLOOR TO BE LOWERED
 - INTERMEDIATE FLOOR TO BE REPLACED
 - ROOF TO BE MODIFIED AND NEW ROOF TERRACE TO BE ADDED
 - EXISTING WINDOWS TO BE REPLACED (RECREATE ORIGINAL SHAPE AND DESIGN)
 - NEW WINDOWS PROPOSED ACCORDING TO NEW INTERIOR LAYOUT (RECREATE ORIGINAL SHAPE AND DESIGN)
 - EXTERIOR BUILDING ENVELOPE TO BE RESTORED
- REAR BUILDING MODIFICATIONS:**
- INTERIOR SPACES TO BE RE-CONFIGURED
 - EXTERIOR BUILDING ENVELOPE TO BE RESTORED
 - ALL DOORS AND WINDOWS TO BE REPLACED TO RECREATE ORIGINAL SHAPE AND DETAILS
 - EXTERIOR COLUMN TO BE REMOVED
 - EXISTING STAIR TO POOL DECK TO BE REMOVED
 - EXISTING GARBAGE ENCLOSURE TO BE MODIFIED



LOCATION PLAN

NTS



VARIANCES REQUIRED

- 1- EXISTING DECORATIVE DETAIL ON THE SOUTHEAST CORNER OF THE BUILDING TO BE REMOVED AND REPLACED WITH A DECORATIVE WALL & GATE (EXCEEDING 7' IN HEIGHT AT 25% PROJECTION) (REFER TO SHEET A2.3 FOR DETAILS)
- 2- EXISTING NORTH SIDE PROPERTY WALL TO BE REMOVED AND REPLACED WITH A 10' HIGH HORIZONTAL WOOD FENCE
- 3- EXISTING SOUTH SIDE PROPERTY WALL TO BE REMOVED AND REPLACED WITH A 10' HIGH HORIZONTAL WOOD FENCE

LEGAL DESCRIPTION

OCEAN BEACH ADDN NO 3
PB 2-81
LOT 14 BLK 36
LOT SIZE 50.000 X 150
OR 19099-4973 0500 6

INDEX OF DRAWINGS:

ARCHITECTURAL		SCALE
A-0	COVER SHEET	N/A
A1.0	SITE PLAN & ZONING INFORMATION	$\frac{1}{8}" = 1'-0"$
A1.1	FIRST FLOOR PLAN	$\frac{1}{8}" = 1'-0"$
A1.2	SECOND FLOOR PLAN	$\frac{1}{8}" = 1'-0"$
A1.3	ROOF PLAN	$\frac{1}{8}" = 1'-0"$
A2.0	ELEVATIONS	$\frac{1}{8}" = 1'-0"$
A2.1	ELEVATIONS	$\frac{1}{8}" = 1'-0"$
A2.2	SITE FENCES & GATES	$\frac{1}{8}" = 1'-0"$
A2.3	ELEVATION ANALYSIS	AS NOTED
A2.4	ELEVATION ANALYSIS	AS NOTED
A3.0	SECTION	$\frac{1}{8}" = 1'-0"$
A4.0	RENDERS	N/A

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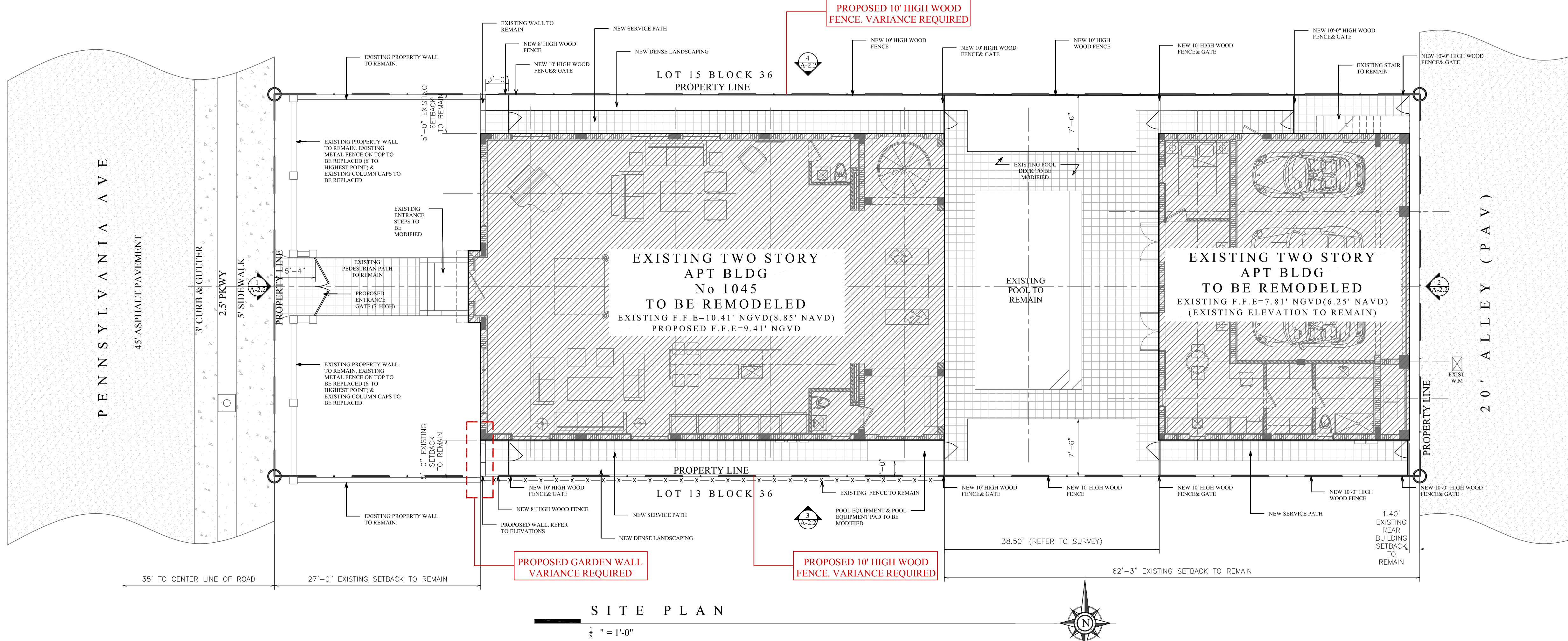
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RENOVATIONS AND INTERIOR
REMODELING
1045 PENNSYLVANIA AVE.
MIAMI BEACH, FLORIDA 33139
FOLIO # 02-4203-009-0340

FRONT
COVER SHEET

DATE: 02.27.2017
DRAWN BY: PA
REVISION: DATE

FRONT
COVER SHEET



Z O N I N G D A T A				
LOT INFORMATION:				
FOLIO NUMBER		02-4203-009-0340		
YEAR BUILT		1930		
BASE FLOOD ELEVATION (+1' FREE BOARD)		+8.00' NGVD + 1' = +9.00' NGVD		
LOT AREA (PER MIAMI DADE COUNTY PROPERTY RECORDS)		7,500 sf		
ZONING CLASSIFICATION		RO		
LOT WIDTH (PER SURVEY)		50.00'		
		REQUIRED	EXISTING	PROPOSED
MAXIMUM FLOOR AREA RATIO		0.75	6,765.2 SF (0.9)	N/A
MINIMUM APARTMENT UNIT SIZE	SINGLE-FAMILY	1,800 SF	N/A	N/A
	MULTIFAMILY	550 SF	578.8 SF	559.8 SF
AVERAGE APARTMENT UNIT SIZE		800 SF	1,323.5 SF	1,239.2 SF
BUILDING SETBACKS				
FRONT		20'-0"	27'-0"	N/A
SIDE		7.5' MIN	5'	N/A
REAR		20' MIN	62'-3"	N/A
BUILDING HEIGHT				
MAXIMUM BUILDING HEIGHT:		33'-0"	28'-0"	28'-0"
MAXIMUM NUMBER OF STORIES		3	2	2

F . A . R A N A L Y S I S	
LOT AREA: 7500 SF	
MAIN BUILDING	
FIRST FLOOR (INCLUDING OPEN COVERED TERRACE)	2,454.26 SF
SECOND FLOOR	2,435.1 SF
TOTAL MAIN BUILDING AREA	4,889.36 SF
REAR BUILDING	
FIRST FLOOR (NOT INCLUDING GARAGE & GARBAGE CANS ENCLOSURE)	559.8 SF
SECOND FLOOR (EXCLUDING STAIRS)	1,316.0 SF
TOTAL MAIN BUILDING AREA	1,875.8 SF
TOTAL EXISTING SF	6,765.2 SF



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MIAMI BEACH, FLORIDA 33139
LOT 10 / 02-4203-009-0340

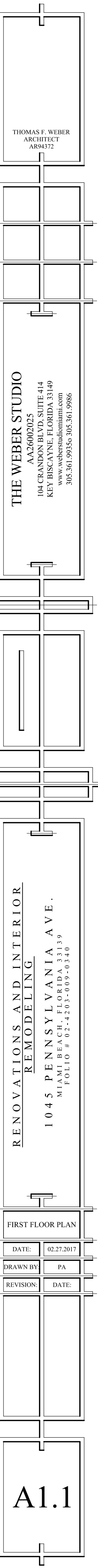
SITE PLAN

DATE: 02.27.2017

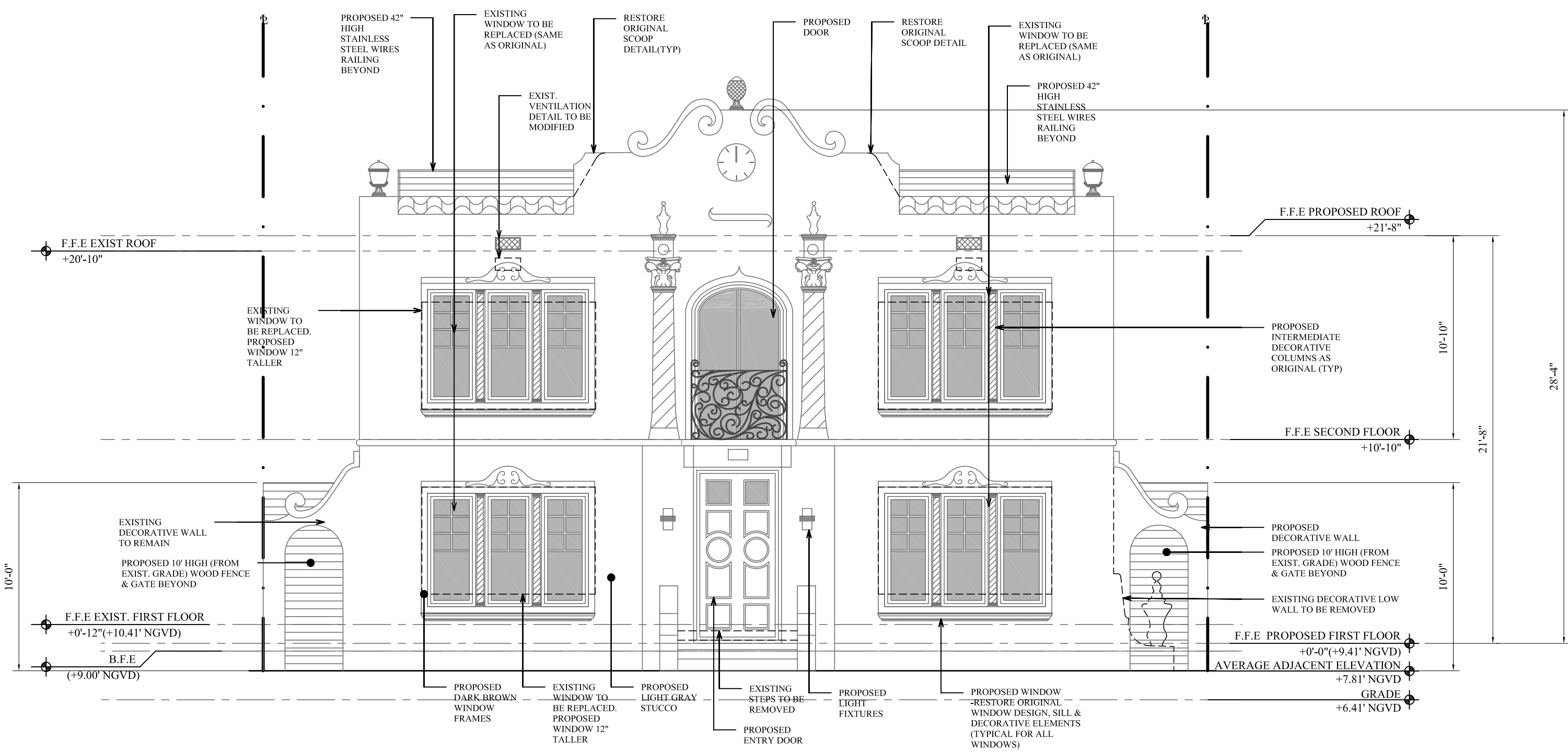
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REVISION: DATE:

A1.0

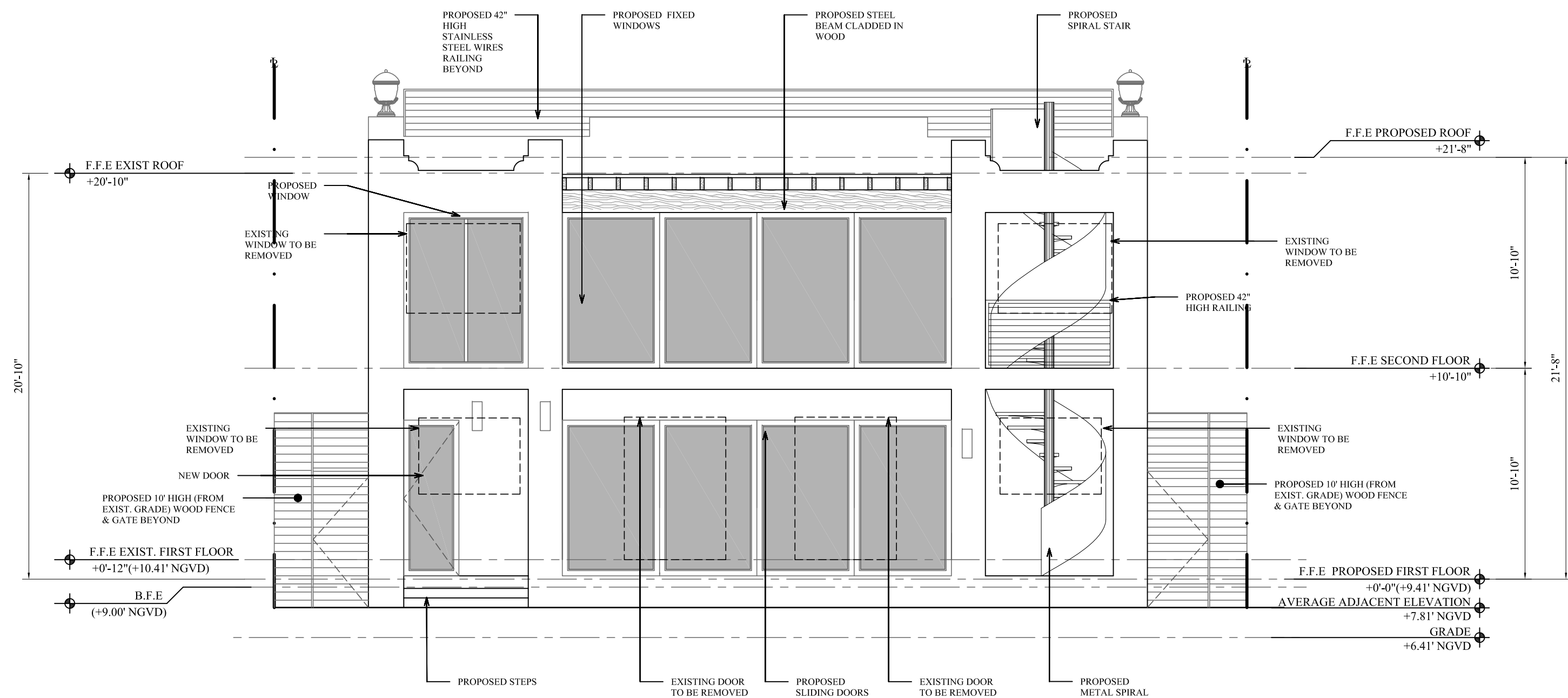




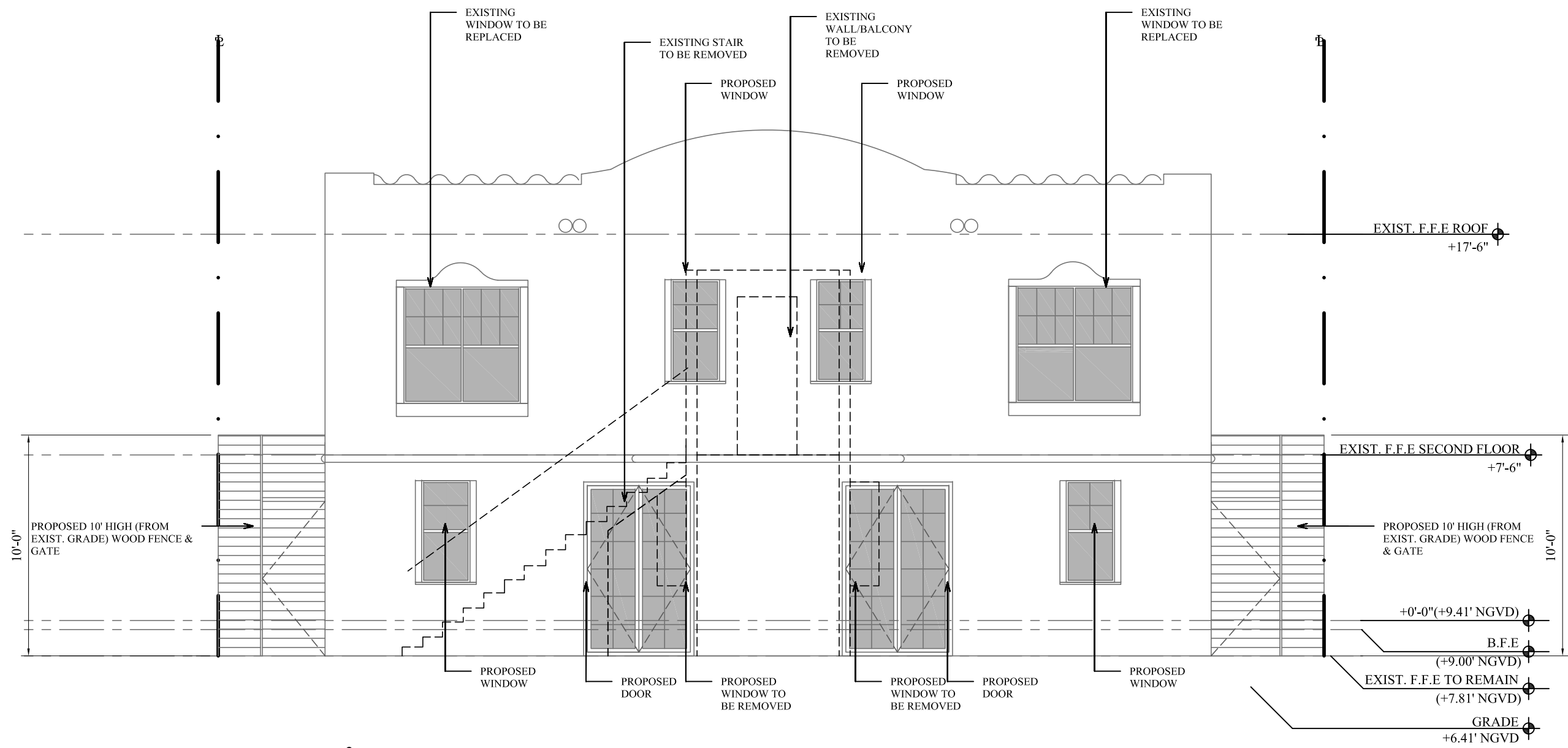


1
MAIN BUILDING WEST ELEVATION
A2.0 $\frac{3}{16}$ " = 1'-0"

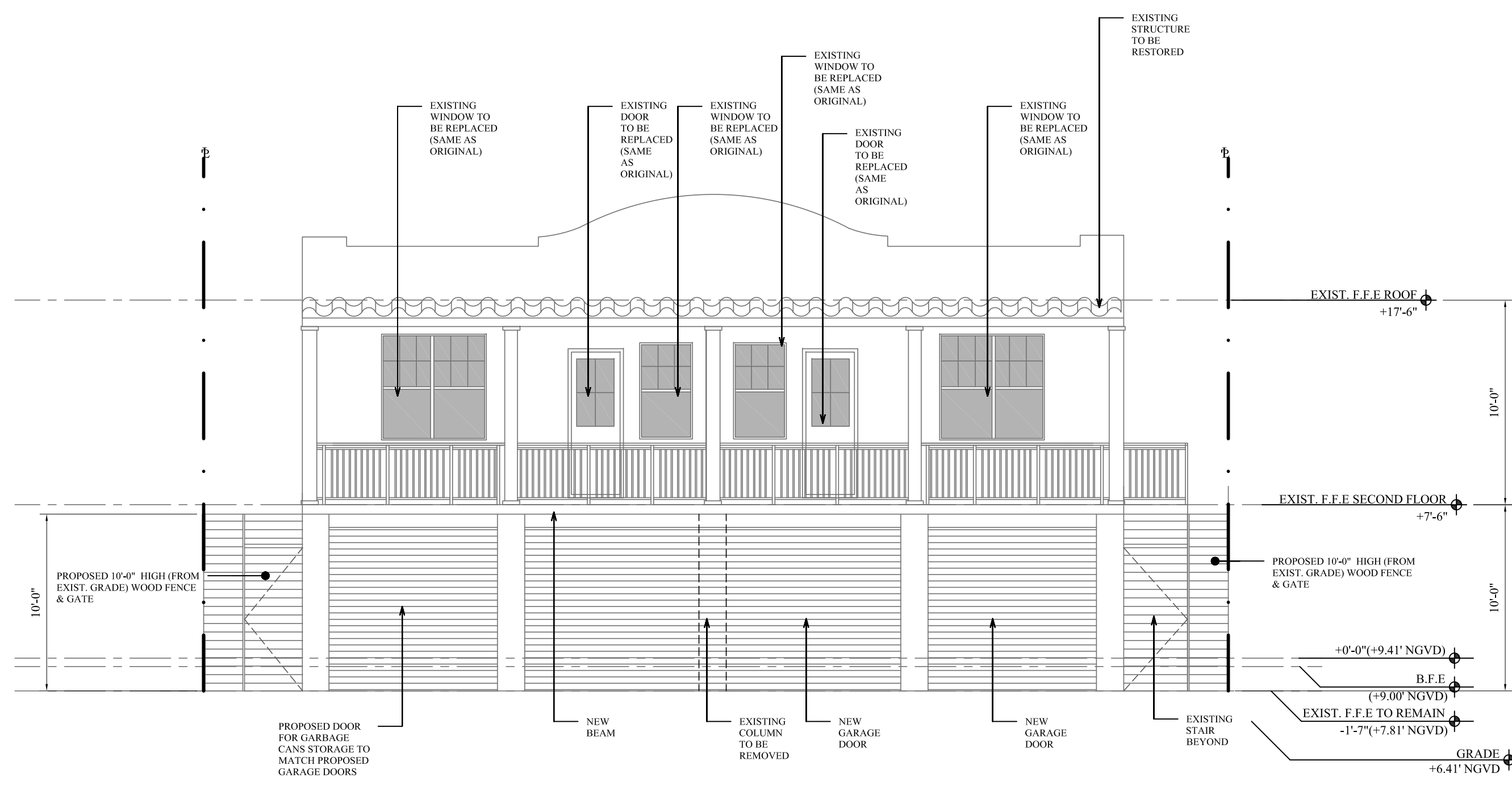
SEE A2.4 FOR PROPOSED MODIFICATIONS TO FRONT ELEVATION



2
MAIN BUILDING EAST ELEVATION
A2.0 $\frac{3}{16}$ " = 1'-0"



3
REAR BUILDING WEST ELEVATION
A2.0 $\frac{3}{16}$ " = 1'-0"



4
REAR BUILDING WEST ELEVATION
A2.0 $\frac{3}{16}$ " = 1'-0"

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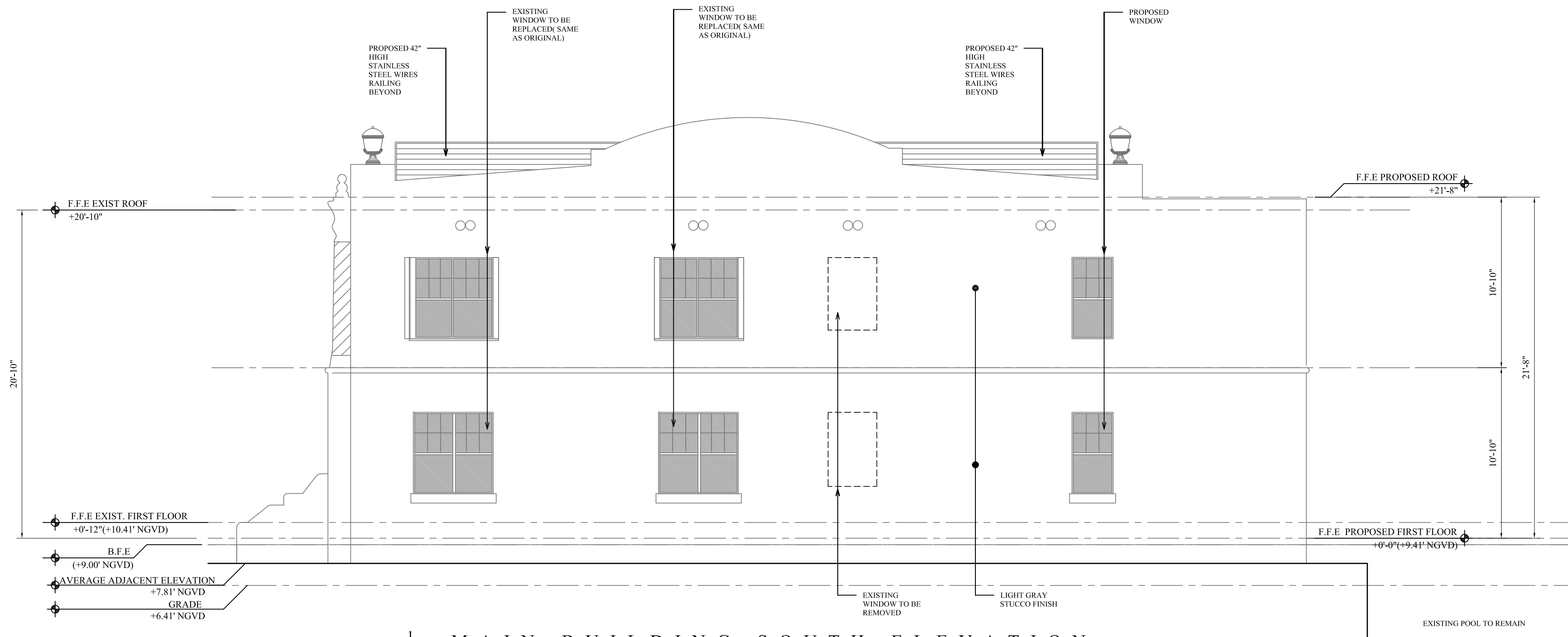
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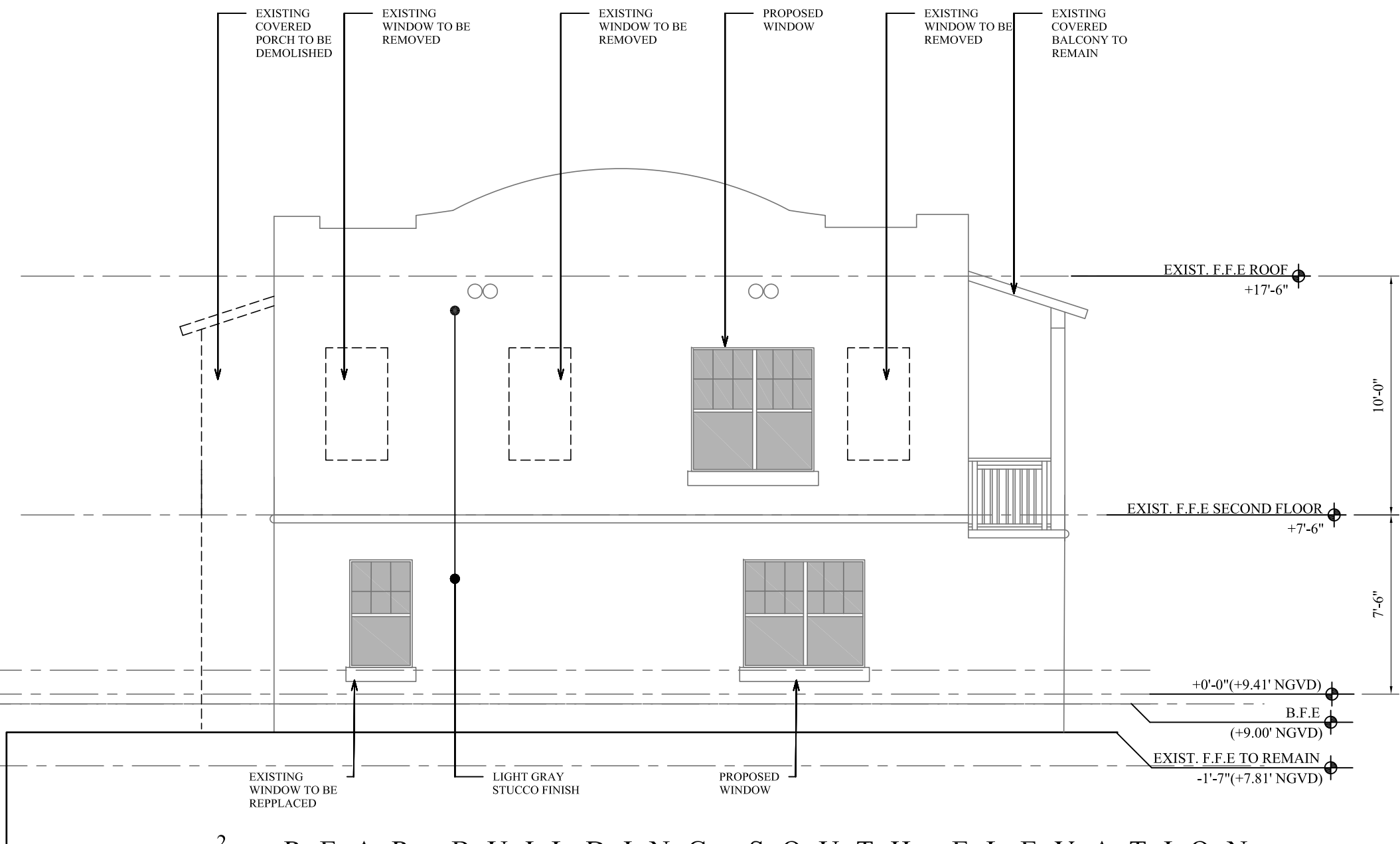
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MAYFIELD HEIGHTS, OHIO 44130
201.107.0234 / 201.107.0234

ELEVATIONS	
DATE	02.27.2017
DRAWN BY	PA
REVISION	DATE

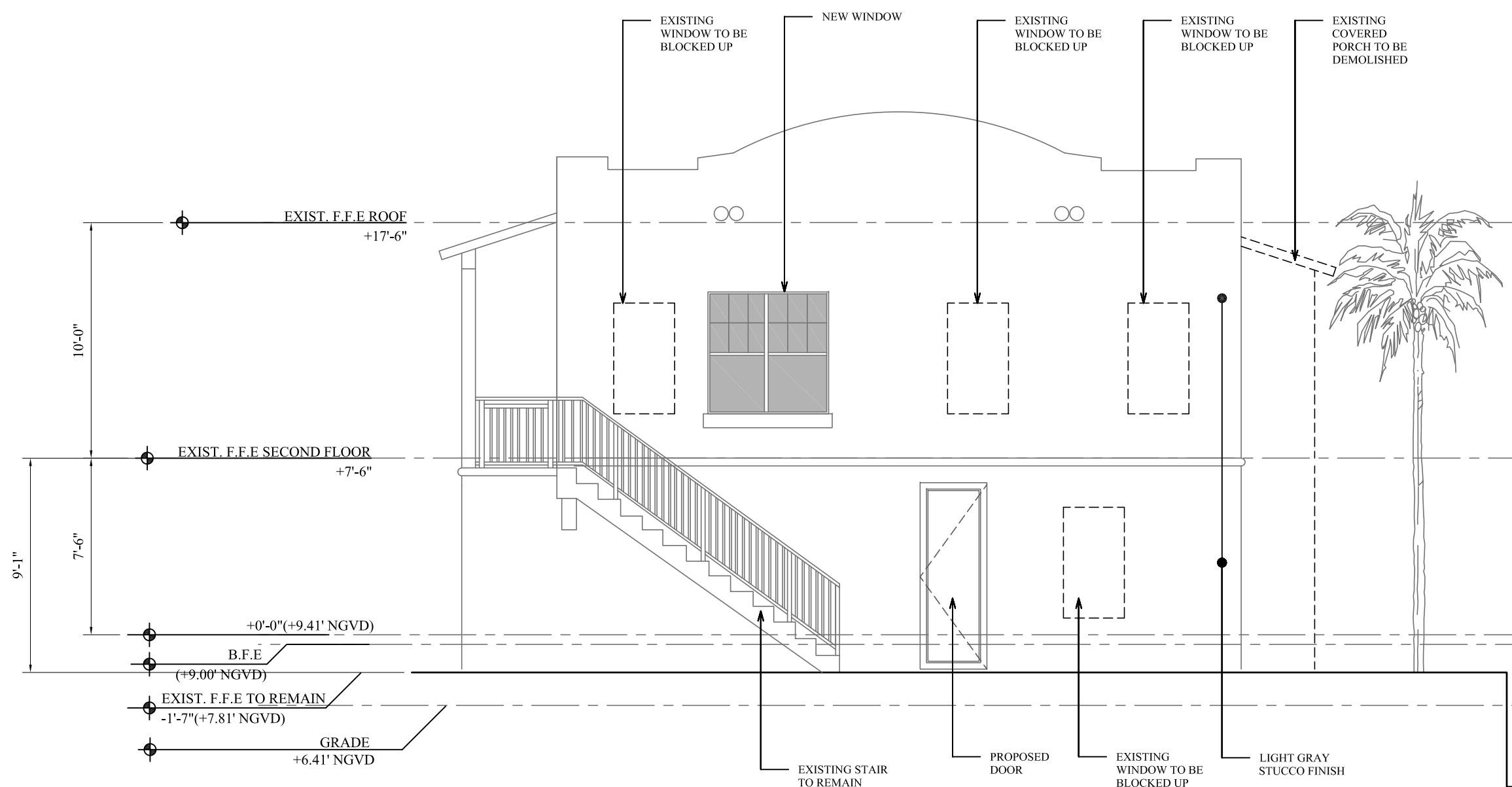
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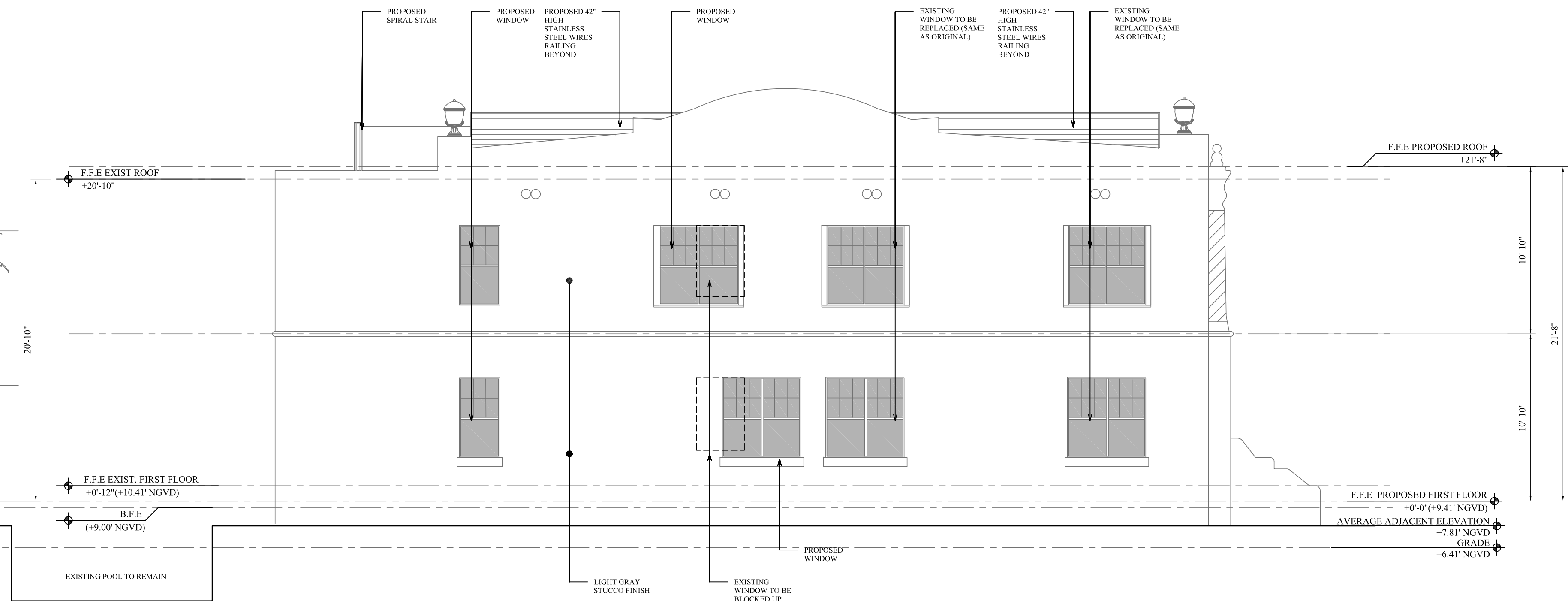
1 MAIN BUILDING SOUTH ELEVATION
A2.1 $\frac{3}{16}" = 1'-0"$



2 REAR BUILDING SOUTH ELEVATION
A2.1 $\frac{3}{16}" = 1'-0"$



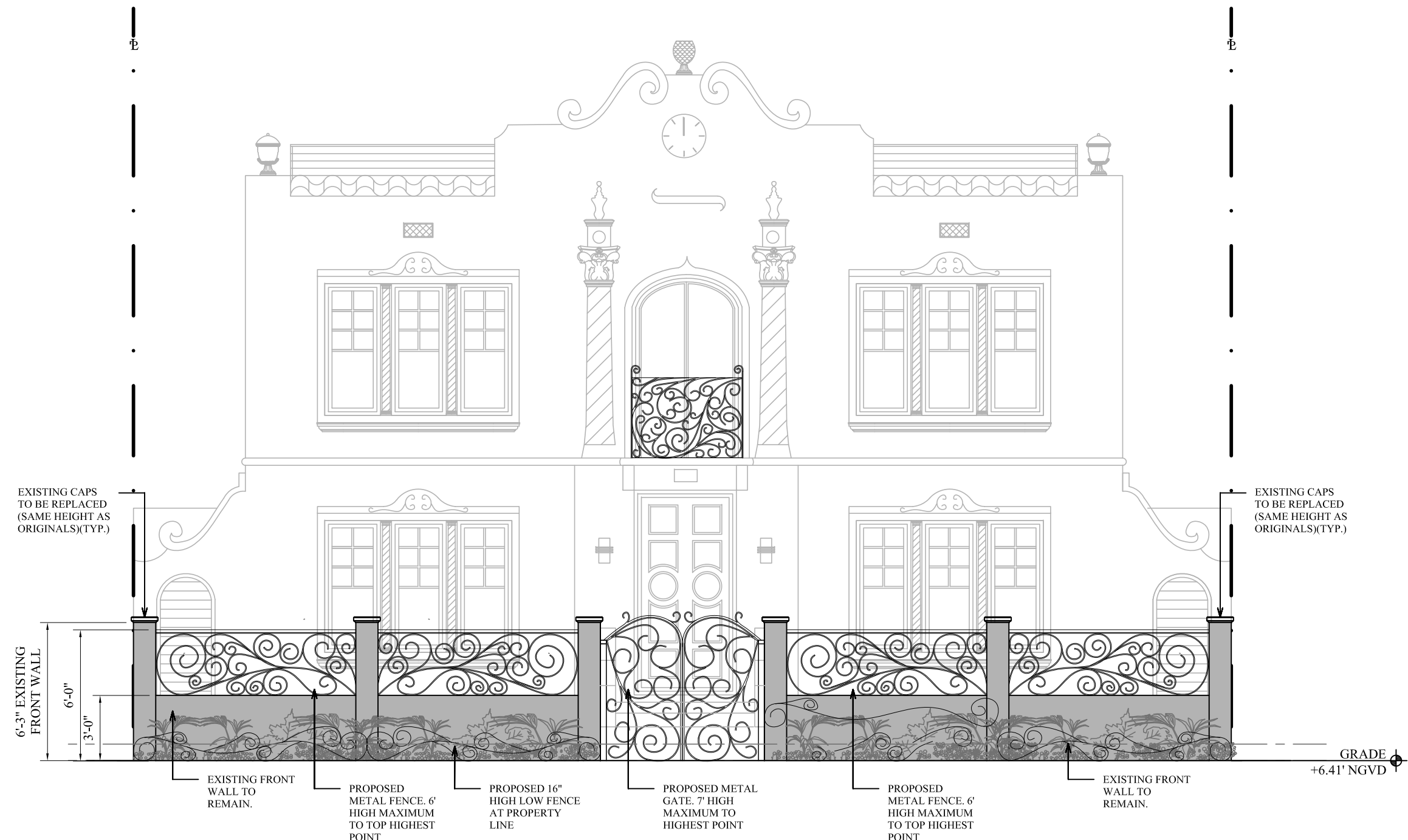
3 MAIN BUILDING NORTH ELEVATION
A2.1 $\frac{3}{16}" = 1'-0"$



4 REAR BUILDING NORTH ELEVATION
A2.1 $\frac{3}{16}" = 1'-0"$

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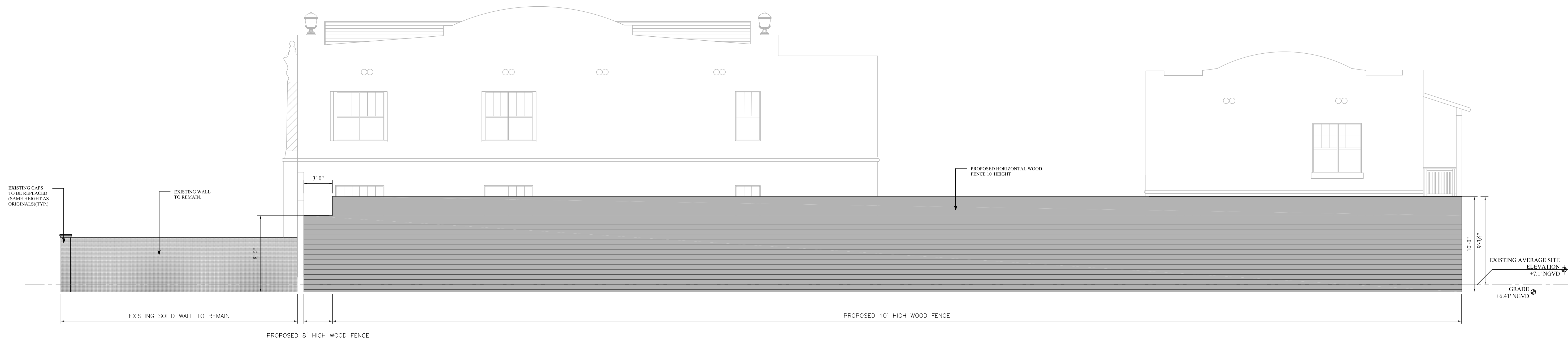
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ELEVATIONS	
DATE:	02.27.2017
DRAWN BY:	PA
REVISOR:	DATE:
A2.1	



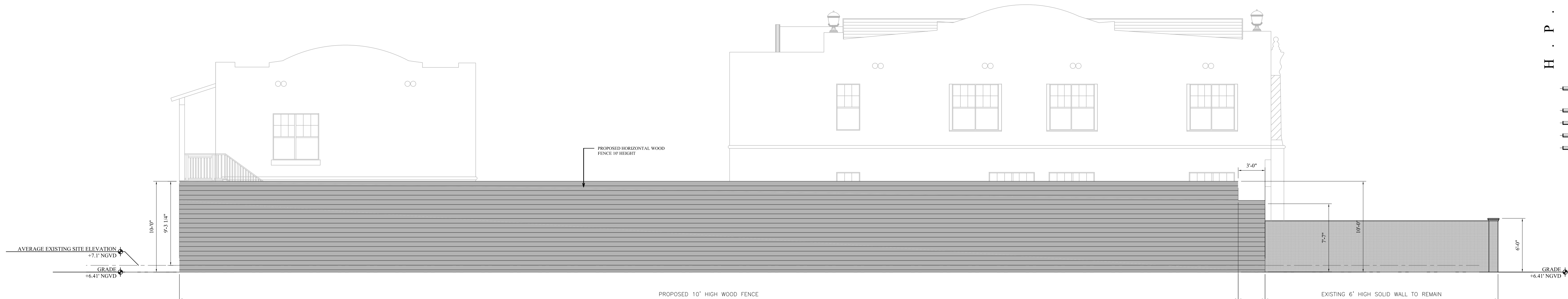
1 FRONT PROPERTY WALL
A2.2 3/16" = 1'-0"



2 REAR PROPERTY FENCES
A2.2 3/16" = 1'-0"



3 SIDE PROPERTY WALL & FENCE
A2.2 3/16" = 1'-0"



4 SIDE PROPERTY WALL & FENCE
A2.2 3/16" = 1'-0"

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1045 PENNSYLVANIA AVE.
MYA LEE
MAY 11, 2017
1045 PENNSYLVANIA AVE.
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1045 PENNSYLVANIA AVE.

SITE WALLS & FENCES
ELEVATIONS

DATE: 02.27.2017

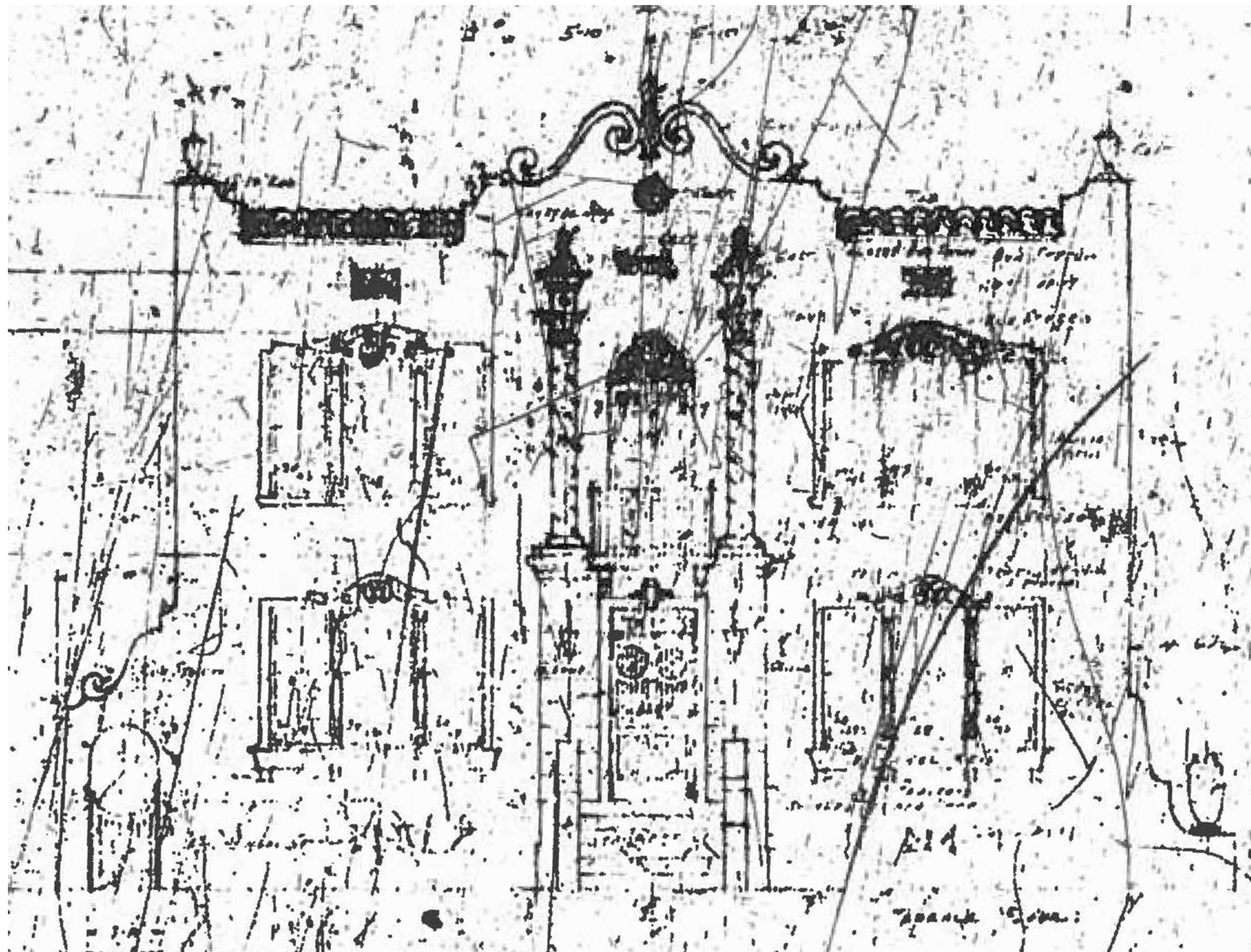
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A2.2



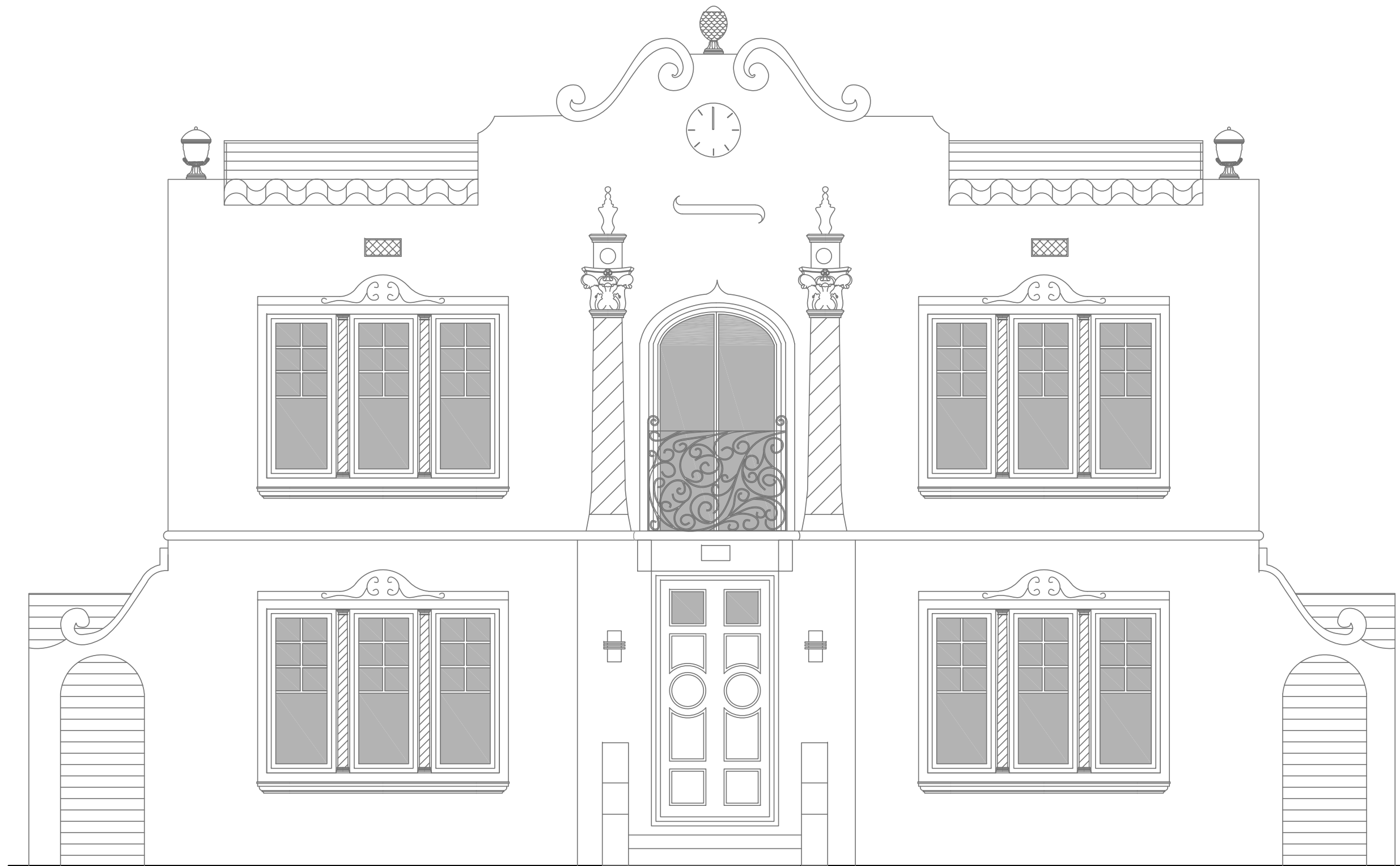
¹ HISTORIC IMAGE
A2.3 NTS



² CITY OBTAINED MICROFILM
A2.3 NTS



³ EXISTING FRONT FACADE
A2.3 NTS



³ PROPOSED FRONT FACADE
A2.3 NTS

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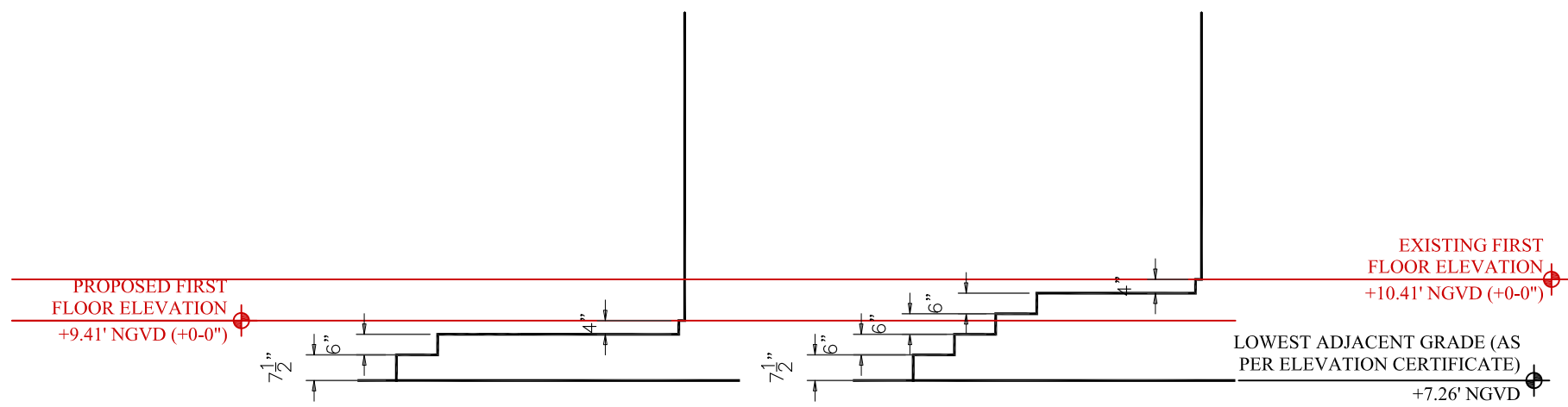
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FRONT ELEVATION ANALYSIS	
DATE:	02.27.2017
DRAWN BY:	PA
REVISOR:	DATE:

A2.3

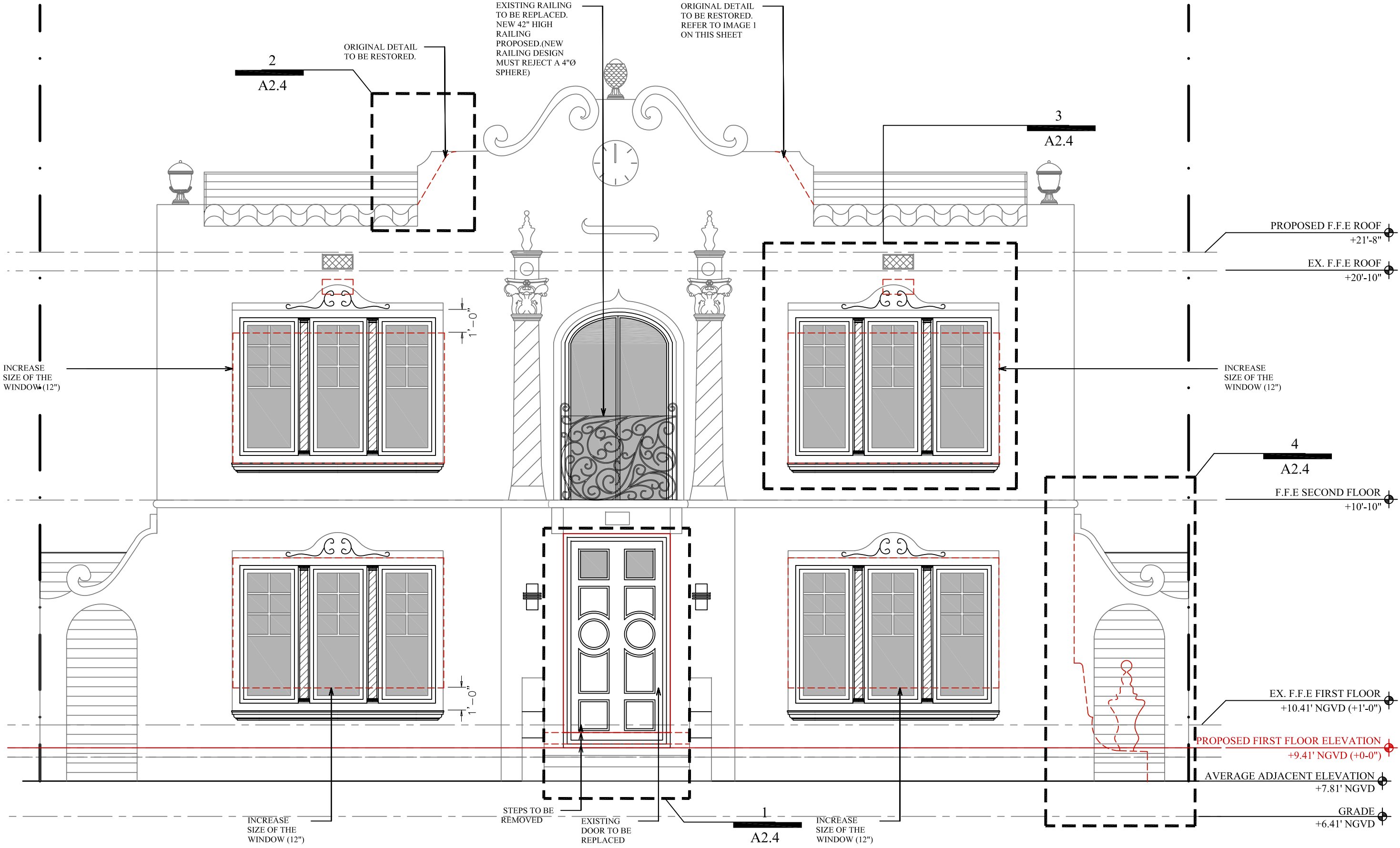


1 EXISTING STEPS TO BE MODIFIED
A2.4 NTS



PROPOSED STEPS EXISTING STEPS
STEPS MODIFICATION ANALYSIS
NTS

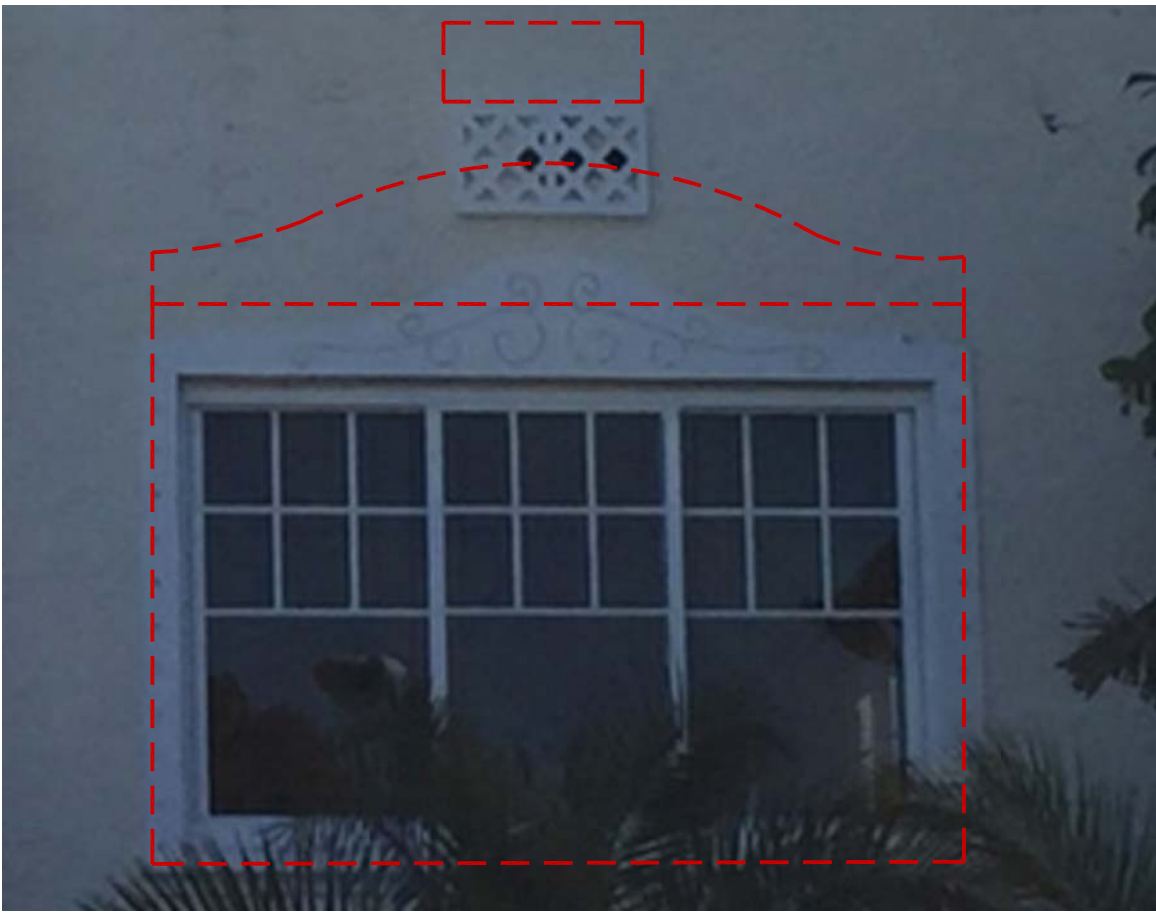
FIRST FLOOR ELEVATION ANALYSIS	
EXISTING FIRST FLOOR ELEVATION (AS PER SURVEY)	8.85' NAVD88
$8.85 \text{ NAVD88} + 1.56' = 10.41' \text{ NGVD29}$	
BASE FLOOD ELEVATION = 8.00' NGVD + 1' = 9.00' NGVD	
PROPOSED FIRST F.F.E: 9.41' NGVD	



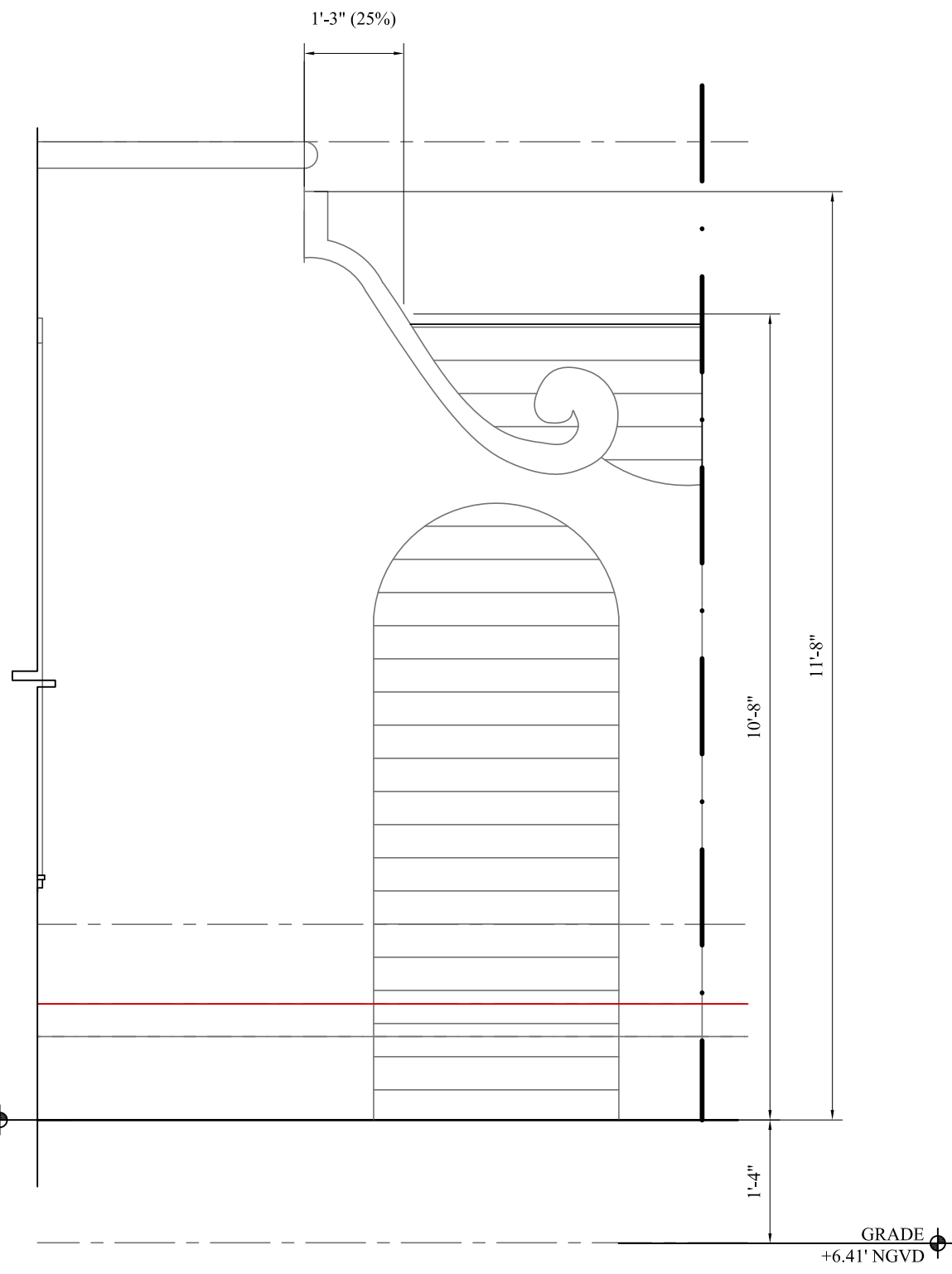
MAIN BUILDING WEST ELEVATION
PROPOSED CHANGES
1/4" = 1'-0"



2 ORIGINAL DETAIL TO BE RESTORED
A2.4 NTS



3 EXISTING WINDOWS TO BE MODIFIED
A2.4 NTS



4 PROPOSED SIDE DECORATIVE WALL
A2.4 NTS



EXISTING SIDE DECORATIVE DETAIL
NTS

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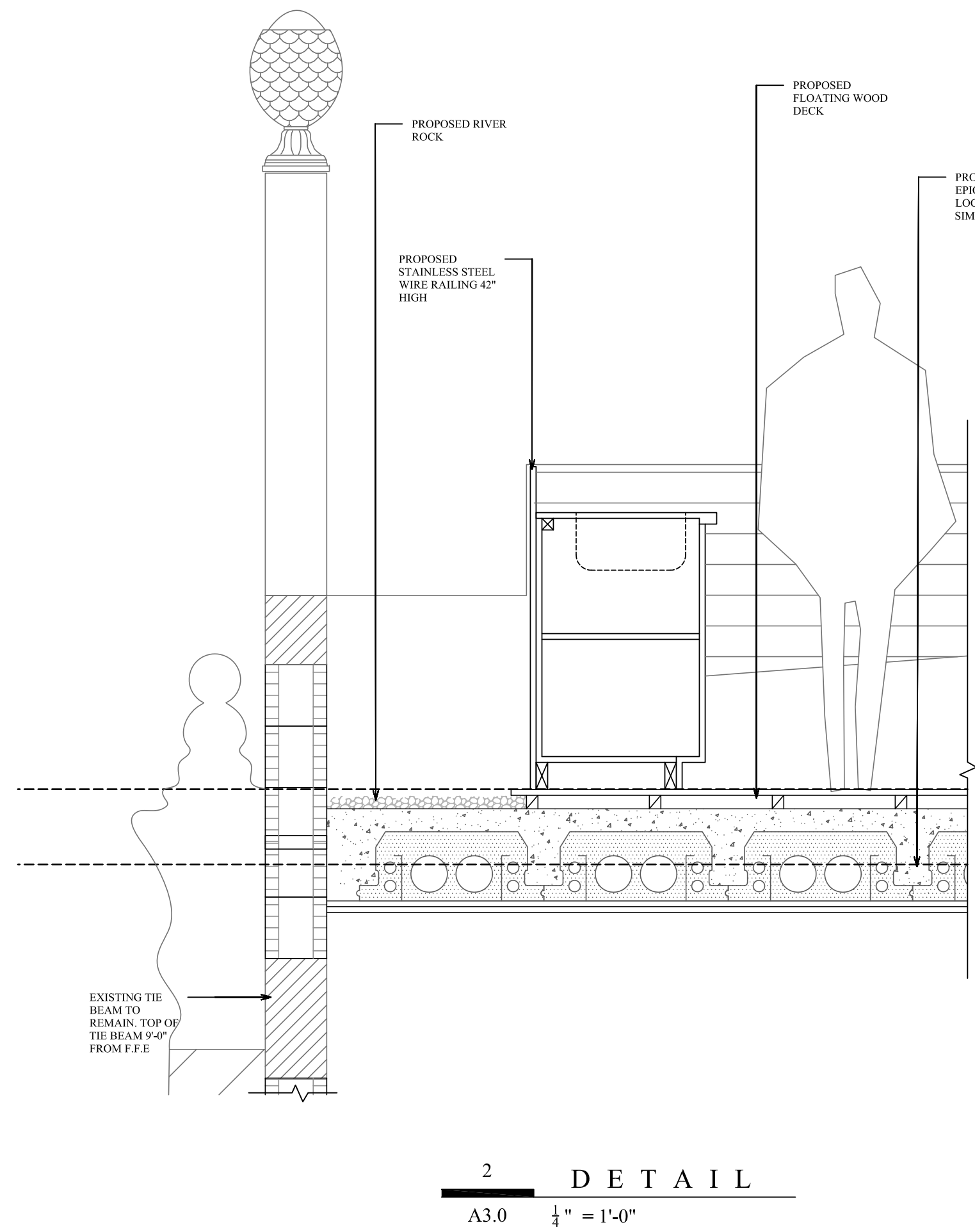
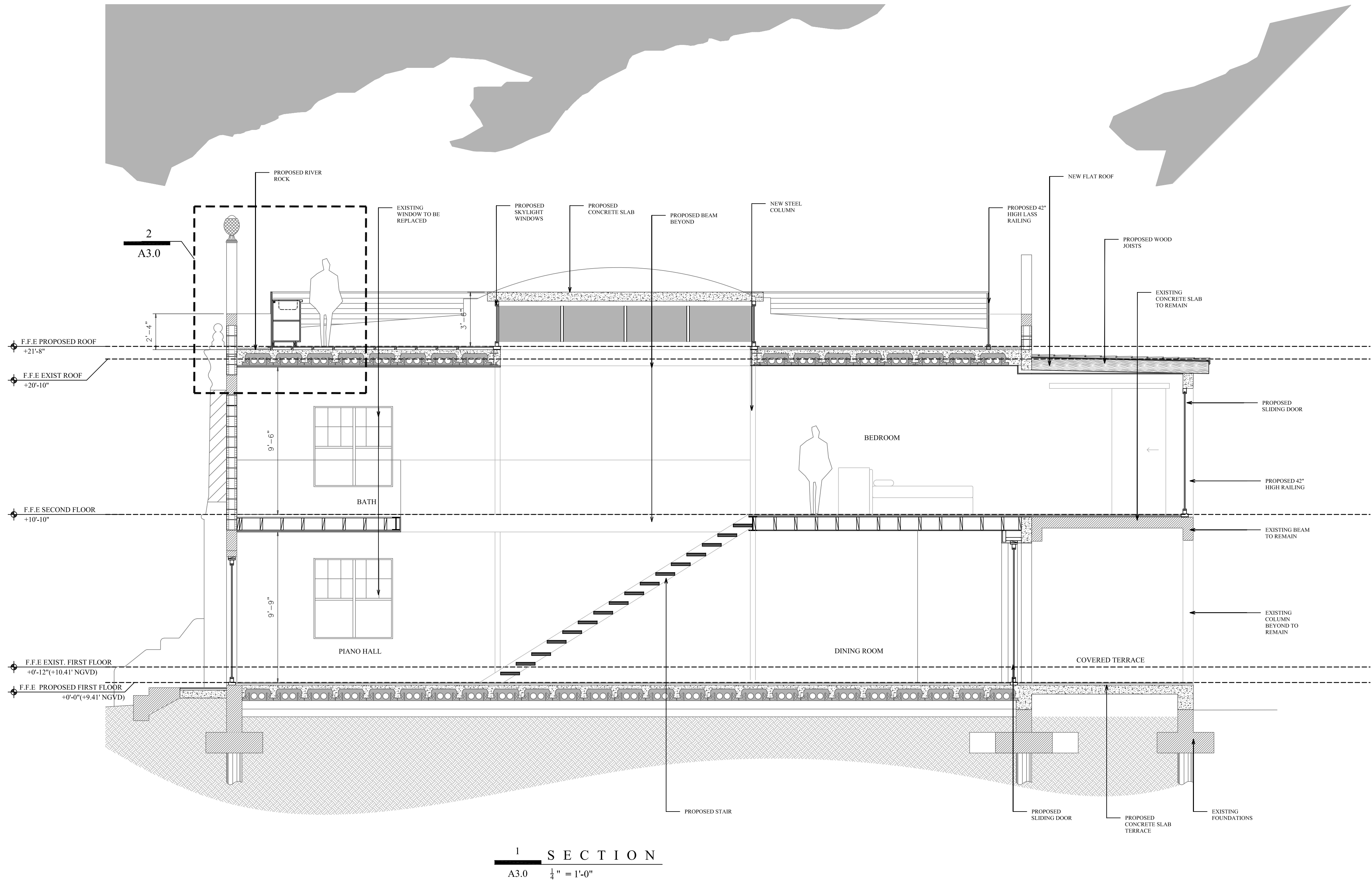
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ELEVATION ANALYSIS
DATE: 02.27.2017
DRAWN BY: PA
REVISOR: DATE:

A2.4



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SECTION	
DATE:	02.27.2017
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A3.0	



1 FRONT FACADE RENDERING
A3.0 NTS

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DATE:	02.27.2017
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A3.0	