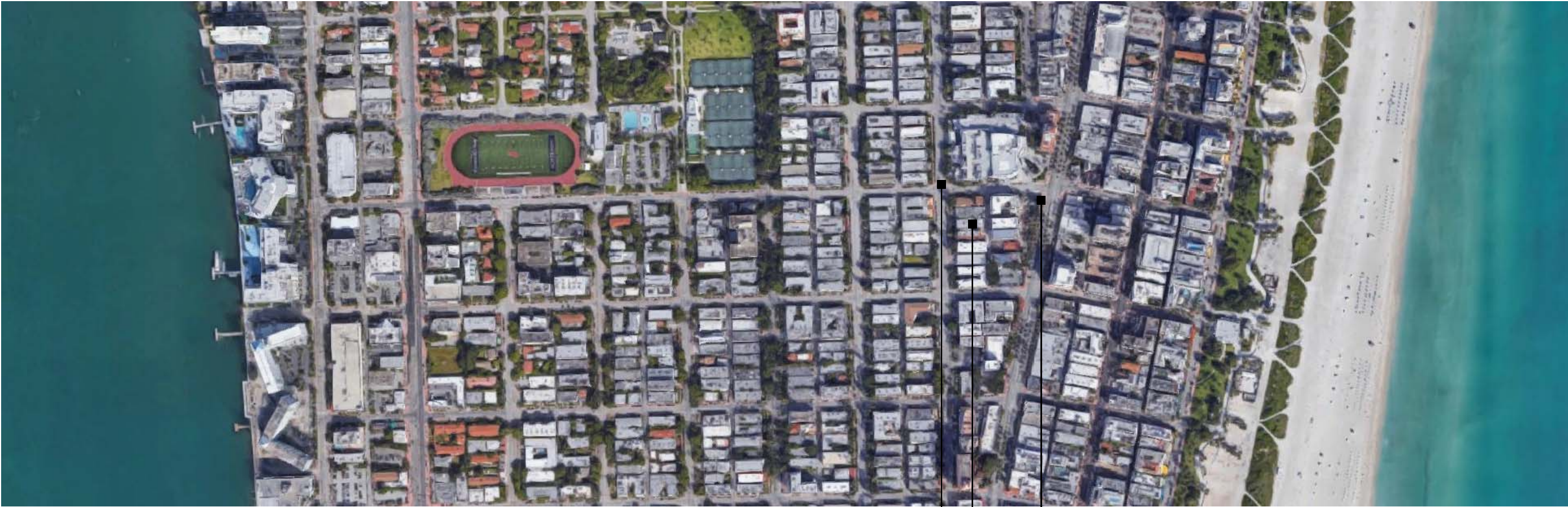


PARTIAL INTERIOR DEMOLITION

1045 PENNSYLVANIA AVE.
MIAMI BEACH, FLORIDA 33139

FOLIO # 02-4203-009-0340



INDEX OF DRAWINGS:

- D1.1- MAIN BUILDING FIRST & SECOND FLOOR DEMOLITION PLANS & NOTES
- D1.2- REAR BUILDING FIRST & SECOND FLOOR DEMOLITION PLANS & NOTES

LEGAL DESCRIPTION:

OCEAN BEACH ADDN NO 3 PB 2-81
LOT 14 BLK 36
LOT SIZE 50.000 X 150
OR 19099-4973 0500 6

BUILDING & ZONING DATA:

ZONING DISTRICT: RO
LOT SIZE: 7,500 SF
BUILDINGS ADJUSTED AREA(AS PER MIAMI-DADE PROPERTY INFORMATION) 6,205 SF

CODE COMPLIANCE:

PROPOSED WORK SHOWN ON THESE DOCUMENTS SHALL BE IN ACCORDANCE WITH:
FLORIDA BUILDING CODE 2014 (EXISTING BUILDINGS & RESIDENTIAL)
LOCAL ORDINANCES (MIAMI-DADE COUNTY & CITY OF MIAMI BEACH)

THOMAS F. WEBER
ARCHITECT
A304372

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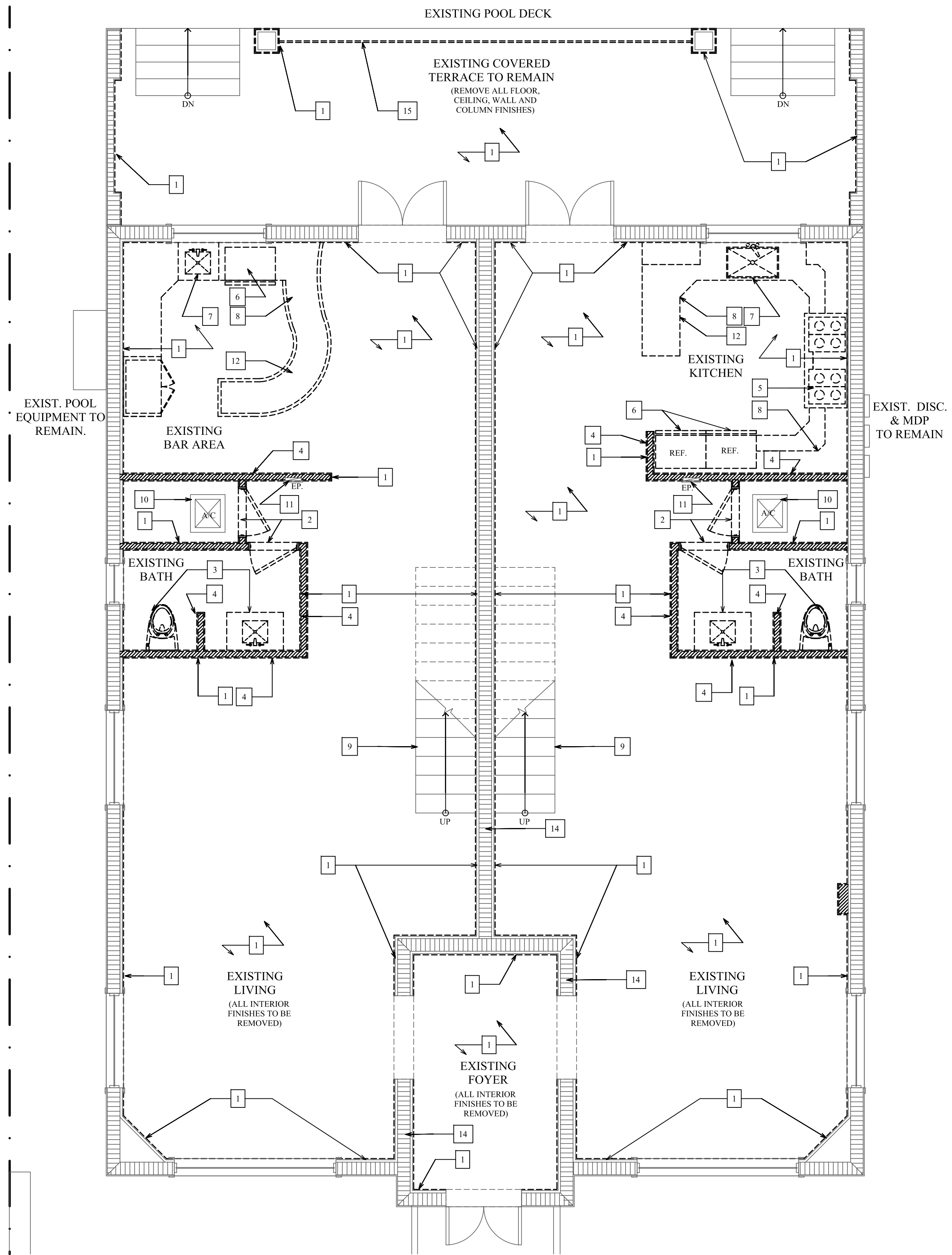
FRONT
COVER SHEET

DATE: 10.18.2016

DRAWN BY: PA

REVISOR: DATE:

FRONT
COVER
SHEET



1
MAIN BUILDING FIRST FLOOR DEMOLITION PLAN
A1.1 1/4" = 1'-0"

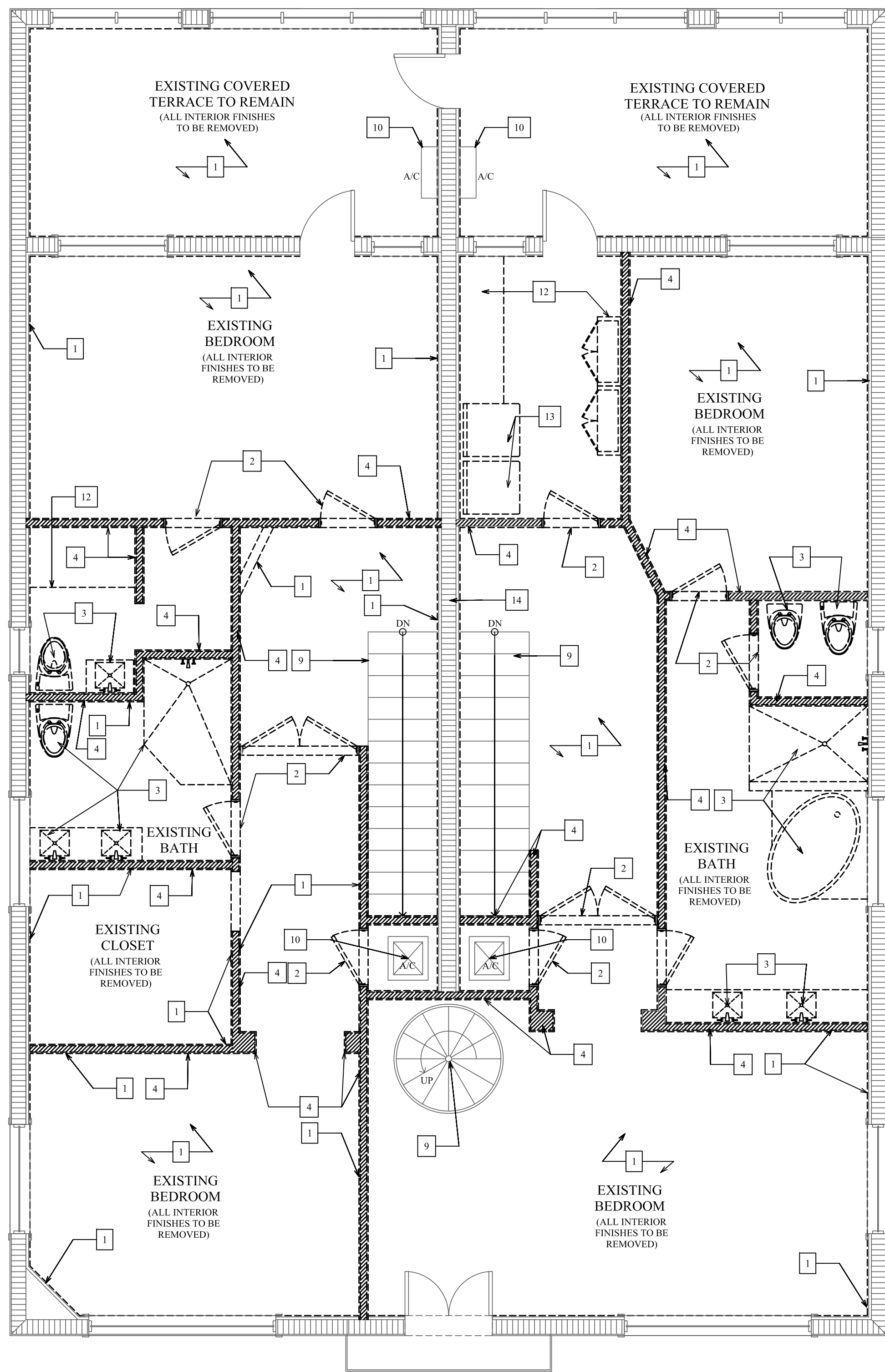
DEMOLITION KEY LEGEND:

- 1 EXISTING INTERIOR FINISHES TO BE REMOVED.
- 2 EXISTING INTERIOR DOORS AND FRAMES TO BE REMOVED
- 3 EXISTING PLUMBING FIXTURES TO BE REMOVED. CAP ALL LINES AS REQUIRED.
- 4 EXISTING NON-LOAD BEARING PARTITION TO BE REMOVED. VERIFY IN FIELD AND REPORT ANY DISCREPANCIES TO ARCHITECT.
- 5 EXISTING RANGE TO BE REMOVED
- 6 EXISTING REFRIGERATOR TO BE REMOVED
- 7 EXISTING SINK TO BE REMOVED. CAP ALL LINES AS REQUIRED
- 8 EXISTING CABINETRY & MILLWORK TO BE REMOVED
- 9 EXISTING STAIR TO REMAIN
- 10 EXISTING AIR HANDLER & EXTERIOR CONDENSING UNITS TO REMAIN. ASSOCIATED DUCTWORK TO BE REMOVED.
- 11 EXISTING ELECTRICAL PANEL TO REMAIN
- 12 EXISTING COUNTER & COUNTERTOP TO BE REMOVED
- 13 EXISTING WASHER & DRYER TO BE REMOVED. CAP ALL LINES AS REQUIRED.
- 14 EXISTING CMU WALL TO REMAIN. VERIFY IN FIELD AND REPORT ANY DISCREPANCIES TO ARCHITECT
- 15 EXISTING RAILING TO BE REMOVED.

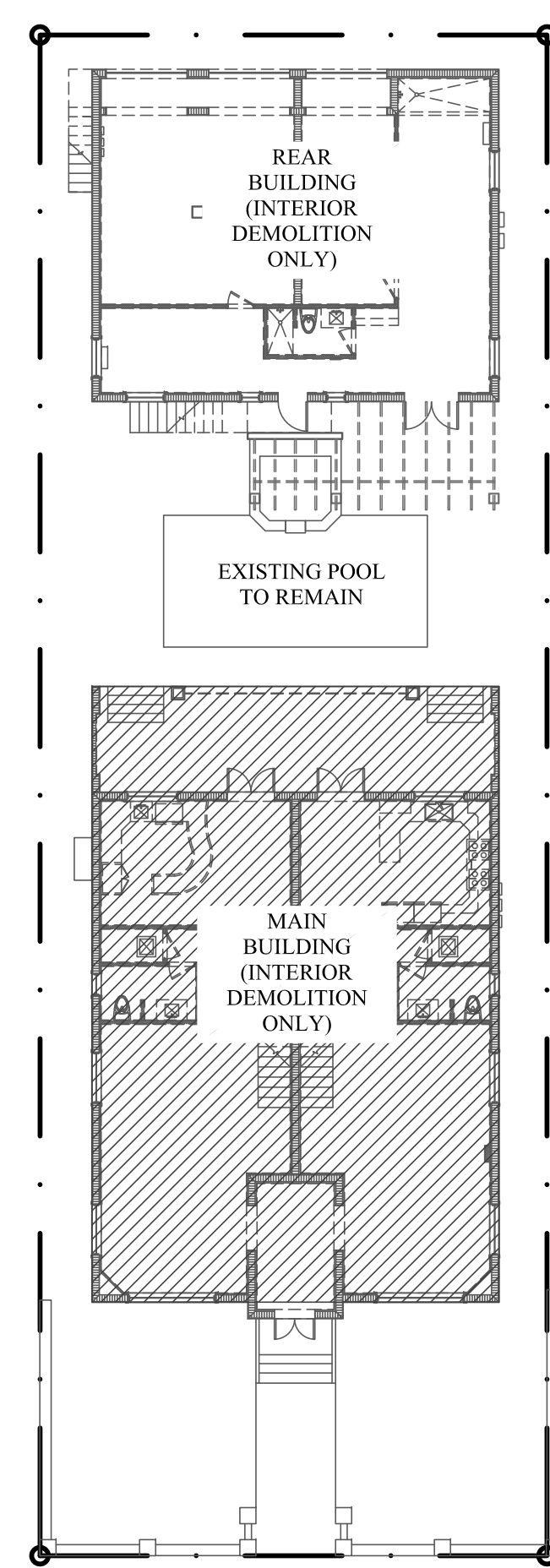
MAIN BUILDING DEMOLITION SCOPE OF WORK:

- DEMOLITION SCOPE OF WORK INCLUDES THE REMOVAL OF:
- ALL CEILING / WALL / FLOOR FINISHES, ALL PLUMBING & LIGHTING FIXTURES, ALL APPLIANCES & CABINETRY UNLESS OTHERWISE NOTED
 - ALL MECHANICAL DUCTWORK (INTERIOR AHU & EXTERIOR CONDENSING UNITS SHALL REMAIN)
 - ALL NON-LOAD BEARING PARTITIONS.
 - TEMPORARILY CAP ALL LINES AS REQUIRED.

EXTERIOR BUILDING ENVELOPE SHALL REMAIN AS IS



2
MAIN BUILDING SECOND FLOOR DEMOLITION PLAN
A1.1 1/4" = 1'-0"



KEY PLAN
1/16" = 1'-0"

DEMOLITION NOTES:

1. REMOVE ALL SPECIFIC ITEMS INDICATED ON THESE DRAWINGS AND ALSO REMOVE ANY OTHER ITEMS OR CONSTRUCTION AS REQUIRED TO ACHIEVE DESIRED RESULTS. DO NOT REMOVE ANY EXISTING STRUCTURAL ELEMENTS AND/OR UTILITARIAN CONCEALED CONSTRUCTION. REPAIR OF DAMAGES TO THE EXISTING BUILDING DURING DEMOLITION RESULTING FROM LACK OF CARE AND DUE DILIGENCE IS THE COMPLETE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND MAY NOT BE CLAIMED AS MONETARY DAMAGES NOR AS TIME DELAYS AGAINST THE CONTRACT SUM OR CONTRACT TIME TO PERFORM THE WORK.
2. ALL SALVAGEABLE MATERIAL & EQUIPMENT SHALL REMAIN THE PROPERTY OF THE OWNER. THE OWNER WILL PROVIDE A LOCATION FOR STORAGE OF SALVAGED ITEMS. OWNER TO PROVIDE A CONTAINER TO STORE AND ORGANIZE ALL EXISTING EQUIPMENT AND FIXTURES FOR REUSE. NON-SALVAGEABLE MATERIAL AND EQUIPMENT, I.E. CONSTRUCTION DEBRIS, SHALL BE DISPOSED OF OFF SITE IN A LEGAL AND SAFE MANNER, BY THE GENERAL CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
3. PROTECT EXISTING ADJACENT FINISH MATERIALS, FIXTURES, EQUIPMENT AND LANDSCAPING FROM DAMAGE DURING DEMOLITION WORK. ALL DAMAGE WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CUTTING AND PATCHING IN ORDER TO ACCESS EXISTING PLUMBING, ELECTRICAL, MECHANICAL, AND STRUCTURAL CONDITIONS WITHIN CONCEALED SPACES. REPAIR ALL WORK THAT IS VISIBLE IN SUCH A MANNER SO AS TO LEAVE IT IN THE SAME OR BETTER CONDITION THAN BEFORE WORK COMMENCED.
5. THE GENERAL CONTRACTOR SHALL SHUT DOWN ALL SERVICES SUCH AS ELECTRICAL, MECHANICAL AND PLUMBING PRIOR TO THE COMMENCEMENT OF WORK AS MAY BE REQUIRED THROUGHOUT DEMOLITION / CONSTRUCTION. THE GENERAL CONTRACTOR IS TO NOTIFY THE OWNERS IN ADVANCE OF ALL SERVICE INTERRUPTIONS.
6. THE GENERAL CONTRACTOR SHALL HAVE ALL STRUCTURAL SHORING IN PLACE AND INSPECTED BY A FLORIDA LICENSED ENGINEER PRIOR TO THE REMOVAL OF ANY STRUCTURAL SYSTEMS/ELEMENTS IF REQUIRED.
7. THE GENERAL CONTRACTOR SHALL VERIFY EXISTING ROOF BEARING PRIOR TO COMMENCEMENT OF ANY DEMOLITION.
8. THE GENERAL CONTRACTOR SHALL VERIFY EXISTING CONCRETE BEAM & COLUMNS BEARING CONDITIONS PRIOR TO COMMENCEMENT OF ANY DEMOLITION.
9. THE GENERAL CONTRACTOR SHALL PROPERLY TERMINATE ALL PLUMBING, ELECTRICAL, MECHANICAL, AND RELATED EQUIPMENT/SYSTEMS WHICH MAY BE ABANDONED DURING THE COURSE OF THIS WORK AND TERMINATED AS PER FLORIDA BUILDING CODE 2014 REQUIREMENTS.
10. ALL SALVAGEABLE APPLIANCES, MECHANICAL, ELECTRICAL, PLUMBING, FIXTURES, EQUIPMENT, BUILT-IN CABINETRY TO BE COORDINATED WITH OWNER PRIOR TO ANY WORK.
11. THE GENERAL CONTRACTOR SHALL CONTROL THE AMOUNT OF DUST RESULTING FROM DEMOLITION BY ERECTING AND MAINTAINING TEMPORARY PARTITIONS ISOLATING / SECURING THE AFFECTED AREAS. ALL TEMPORARY PARTITIONS SHALL BE SECURED WITH LOCKS WALLS
12. REMOVE ALL FLOOR, WALL, AND CEILING FINISHES UNLESS OTHERWISE NOTED.
13. THE G.C. IS TO VERIFY ALL SITE UTILITY LOCATIONS IN FIELD PRIOR TO ANY WORK & REPORT ALL DISCREPANCIES TO ARCHITECT. TYPICAL.

Always call 811 two full business days before you dig to have underground utilities located and marked.

Sunshine811.com

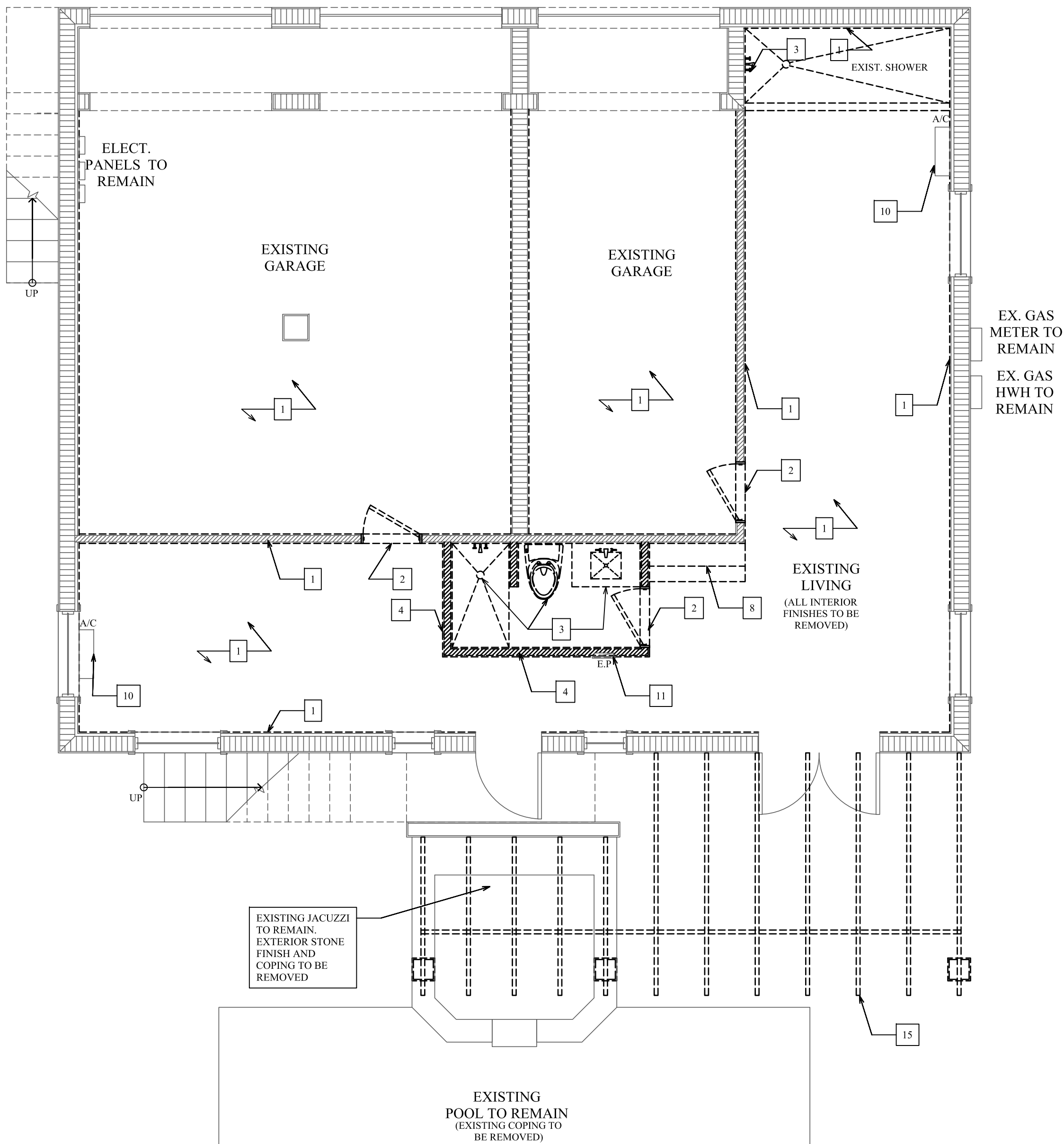
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FOLIO # 02-4203-009-0340

MAIN BUILDING
DEMOLITION PLAN
DATE: 10.18.2016
DRAWN BY: PA
REVISION: DATE

D1.1



1
A1.2 REAR BUILDING FIRST FLOOR DEMOLITION PLAN
1/4" = 1'-0"

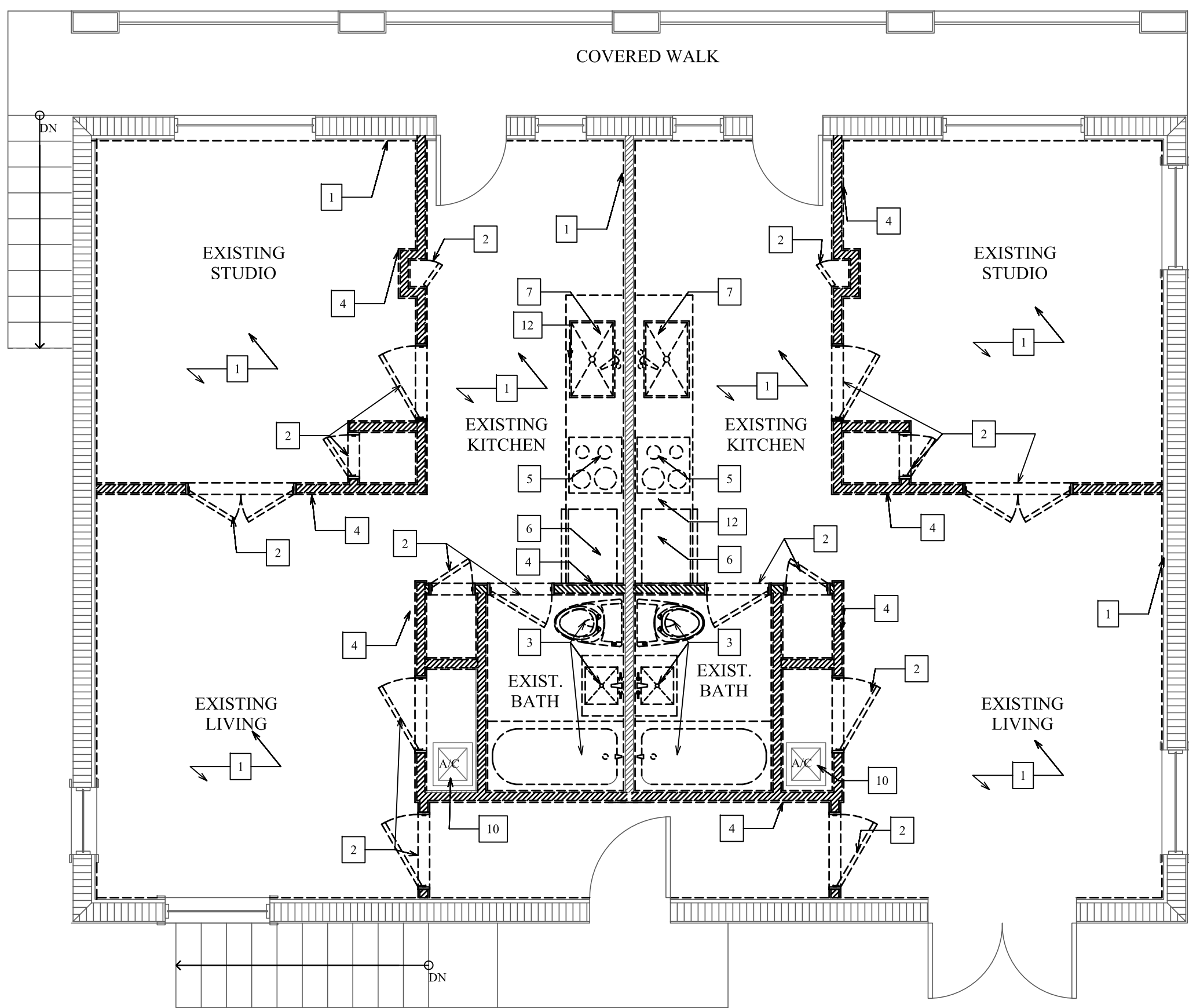
DEMOLITION KEY LEGEND:

- | | |
|----|---|
| 1 | EXISTING INTERIOR FINISHES TO BE REMOVED. |
| 2 | EXISTING INTERIOR DOORS AND FRAMES TO BE REMOVED |
| 3 | EXISTING PLUMBING FIXTURES TO BE REMOVED. CAP ALL LINES AS REQUIRED. |
| 4 | EXISTING NON-LOAD BEARING PARTITION TO BE REMOVED. VERIFY IN FIELD AND REPORT ANY DISCREPANCIES TO ARCHITECT. |
| 5 | EXISTING RANGE TO BE REMOVED |
| 6 | EXISTING REFRIGERATOR TO BE REMOVED |
| 7 | EXISTING SINK TO BE REMOVED. CAP ALL LINES AS REQUIRED |
| 8 | EXISTING CABINETRY & MILLWORK TO BE REMOVED |
| 9 | EXISTING STAIR TO REMAIN |
| 10 | EXISTING AIR HANDLER & EXTERIOR CONDENSING UNITS TO REMAIN. ASSOCIATED DUCTWORK TO BE REMOVED. |
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| 12 | EXISTING COUNTER & COUNTERTOP TO BE REMOVED |
| 13 | EXISTING WASHER & DRYER TO BE REMOVED. CAP ALL LINES AS REQUIRED. |
| 14 | EXISTING CMU WALL TO REMAIN. VERIFY IN FIELD AND REPORT ANY DISCREPANCIES TO ARCHITECT |
| 15 | EXISTING TRELLIS TO BE REMOVED. |

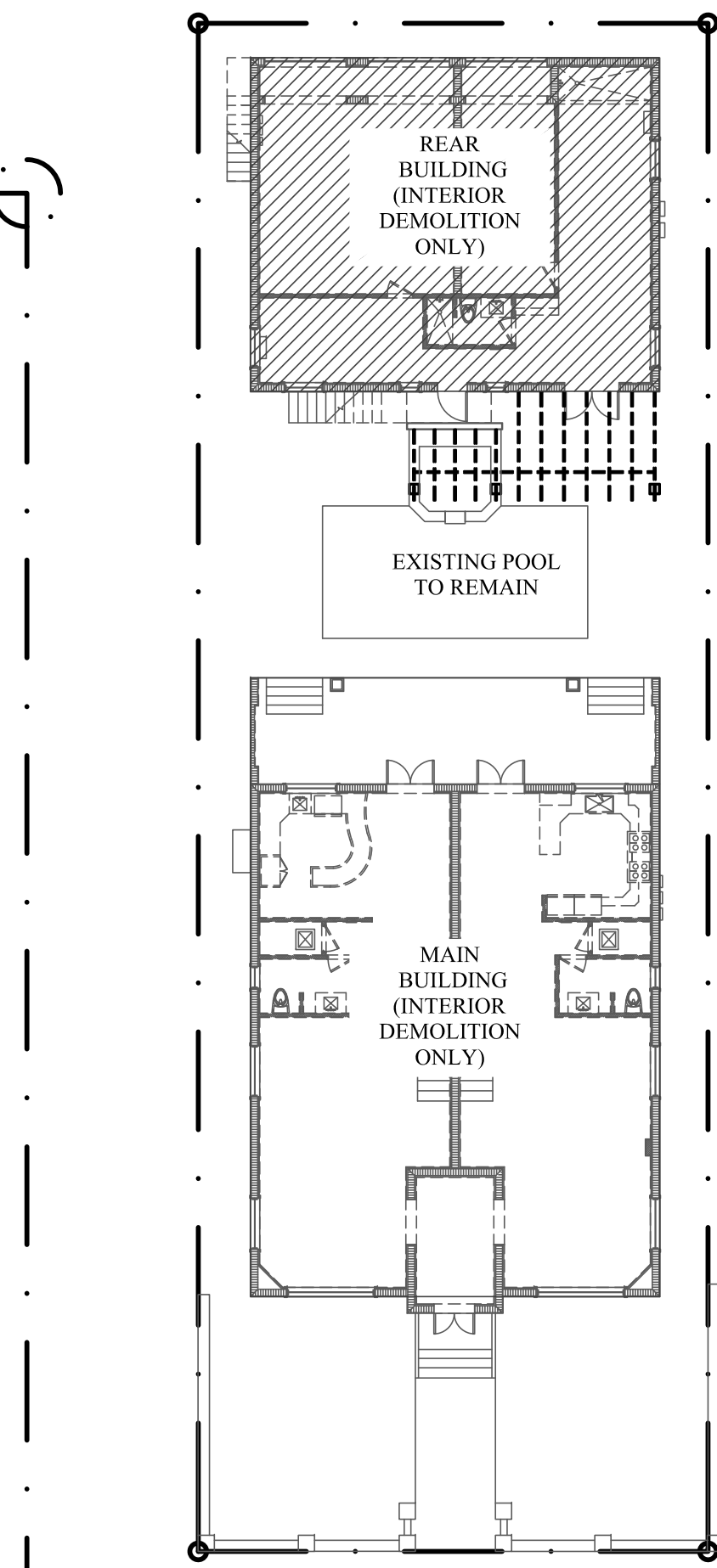
REAR BUILDING DEMOLITION SCOPE OF WORK:

- DEMOLITION SCOPE OF WORK INCLUDES THE REMOVAL OF:
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 - ALL NON-LOAD BEARING PARTITIONS.
 - TEMPORARILY CAP ALL LINES AS REQUIRED.

EXTERIOR BUILDING ENVELOPE SHALL REMAIN AS IS



2
A1.2 REAR BUILDING SECOND FLOOR DEMOLITION PLAN
1/4" = 1'-0"



KEY PLAN
1/6" = 1'-0"

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FOLIO # 02-4203-009-0340

REAR BUILDING
DEMOLITION PLAN
DATE: 10.18.2016
DRAWN BY: PA
REVISOR: DATE:

D1.2