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OMELIO ARRABAL  
ARCHITECT  
4900 SW 74th COURT  
MIAMI, FLORIDA 33155

PROJECT:

RENOVATIONS AT:  
ROSEN RESIDENCE  
130 MICHIGAN AVE  
MIAMI BEACH, FL

PHONE: 305-663-1662  
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EMAIL: oearcht@belsouth.net  
WEB: http://oa-architect.com

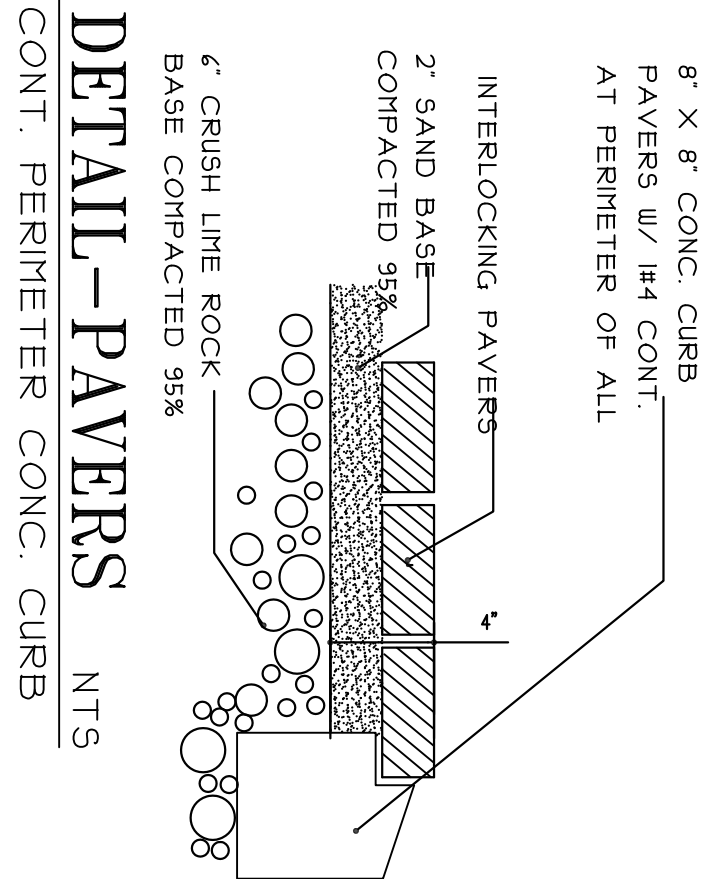
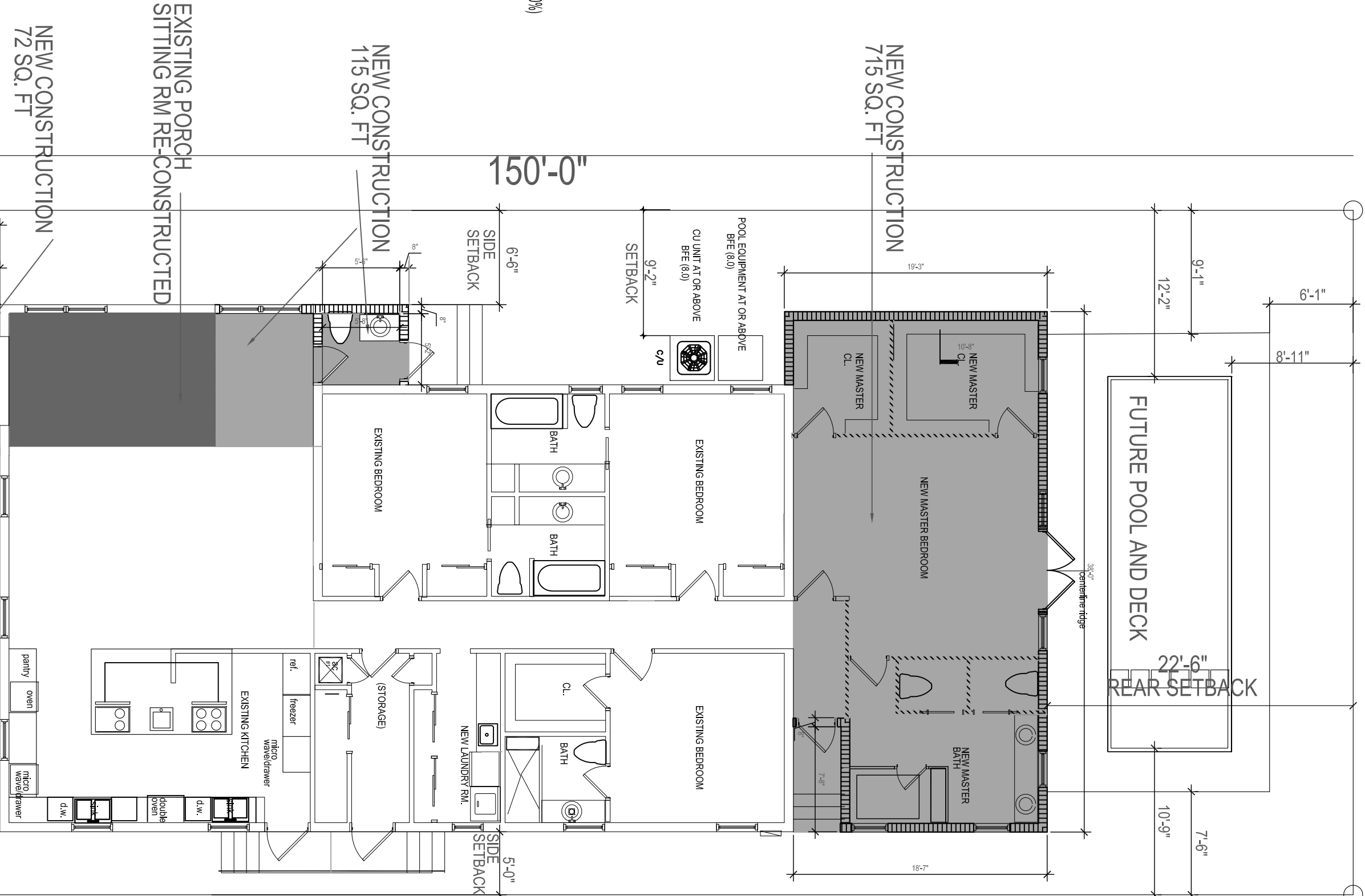
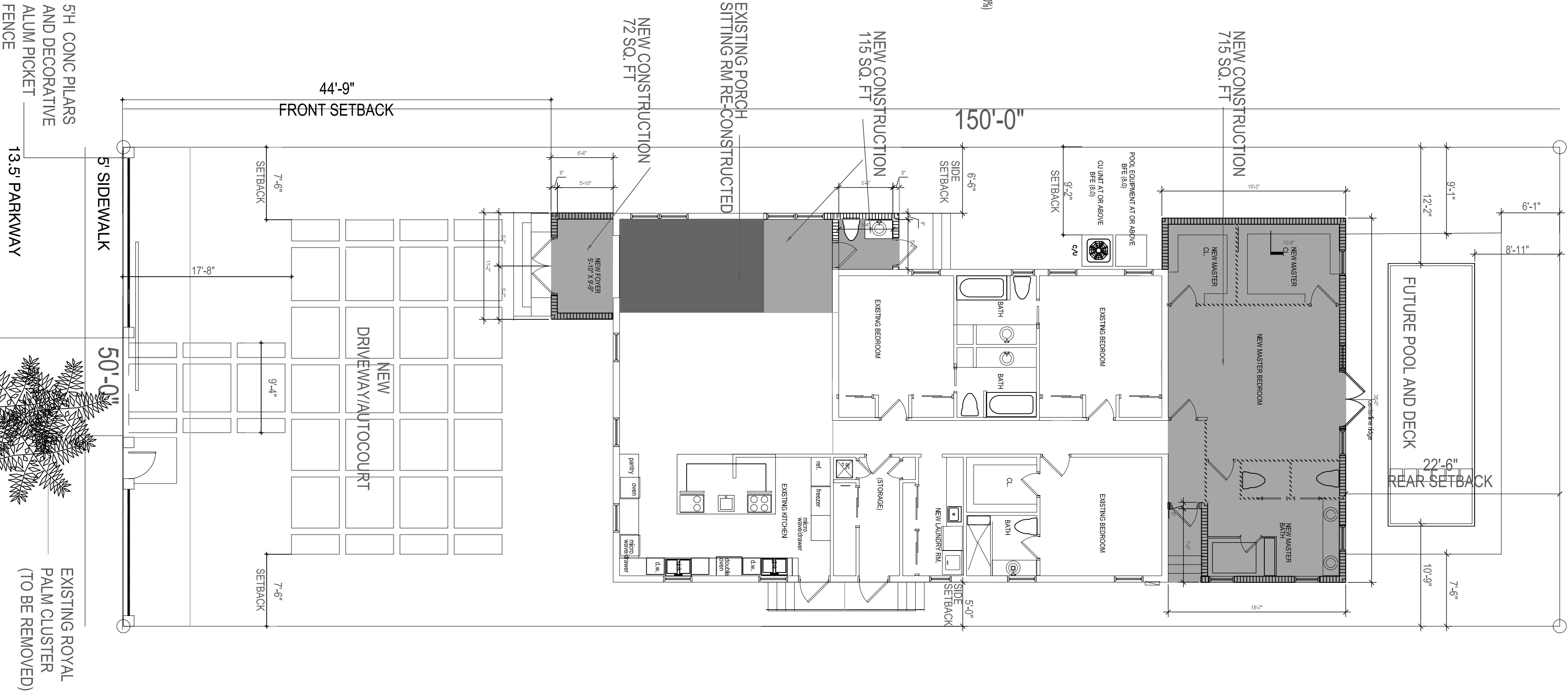
REVISION:

DATE: 09/07/2016  
JOB NO:  
DRAWN:

SHEET

A-1

50'-0"



DETAIL - PAVERS

NTS

CONT. PERIMETER CONC. CURB

REAR YARD OPEN SPACE  
LEGAL DESCRIPTION:  
SEE ATTACHED SURVEY  
MAX ALLOWED REQUIRE  
1129 SQ. FT. X .77(0%)=87  
PROPOSED

MAN EXISTING BUILDING:	1962 SQ. FT.
ADDITIONS	902 SQ. FT.
TOTAL	2864 SQ. FT. (38%)

BASE FLOOD ELEVATION	AE-8
SETBACKS	REQUIRED PROVIDED
FRONT	20' 44.5'
REAR BUILDING:	22.5' MIN 22.5'
SIDES	7.5' MIN 6.615'
MAX HEIGHT	27' 17'
UNIT SIZE:	MAX ALLOWED PROPOSED 50% (3750 SQ. FT) 38% (2864 SQ. FT)

## GENERAL NOTES

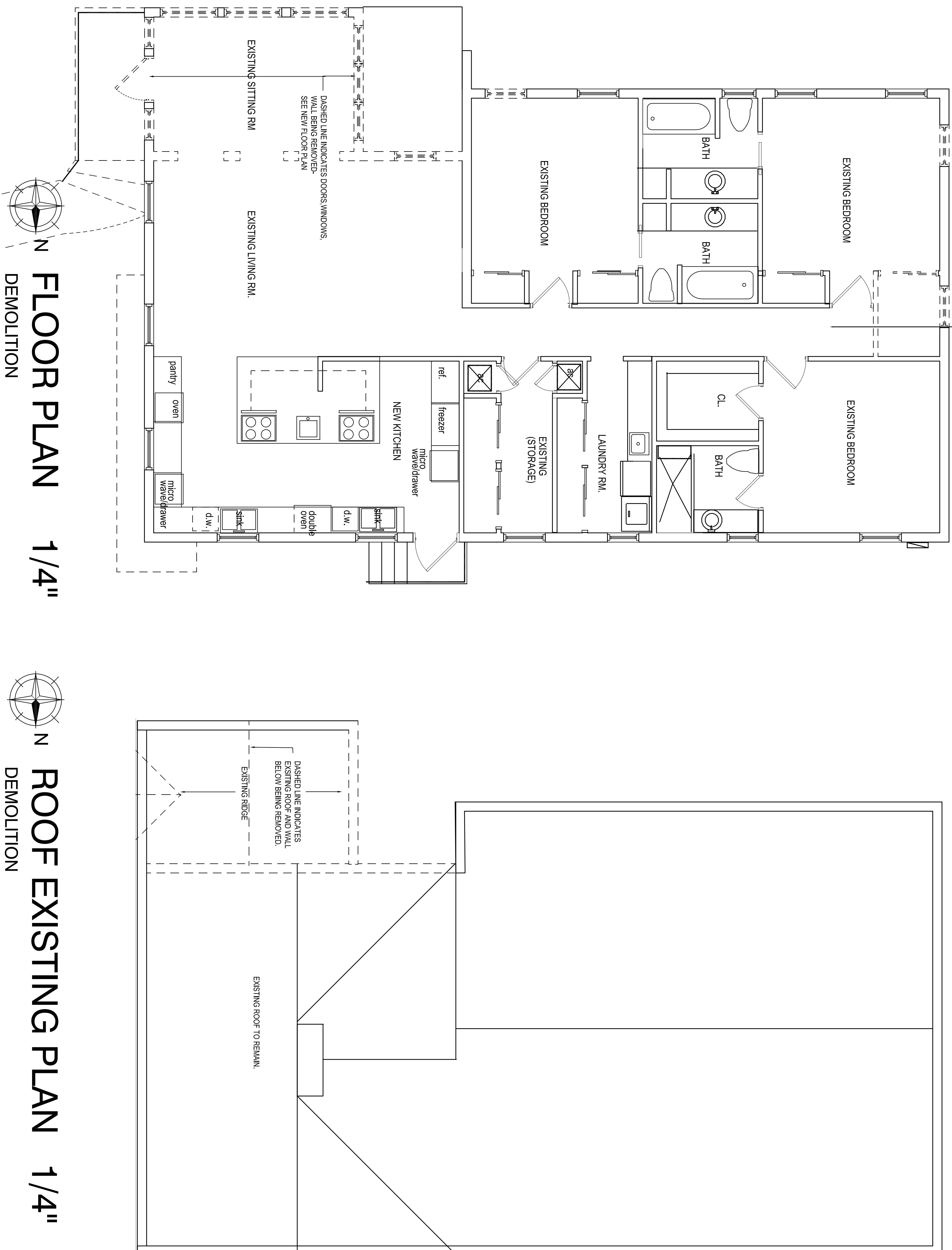
1. ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE FLORIDA BUILDING CODES EXISTING 2014 AND MIAMI BEACH ZONING ORDINANCES, AND ALL OTHER GOVERNMENTAL AND/OR REGULATORY AUTHORITIES.
2. GENERAL CONTRACTOR & ALL SUB-CONTRACTORS TO VERIFY ALL EXISTING DIMENSIONS AND ALL EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT OR OWNER PRIOR TO BID. DO NOT SCALE PLANS.
3. THE CONTRACTORS SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH THE INTENT OF THE DRAWINGS. FINAL INTERPRETATION OF THE SCOPE OF WORK SHALL BE THAT OF THE OWNER AND ARCHITECT.
4. CONTRACTOR TO PROVIDE ALL BARRICADES, SCAFFOLDING, AND OTHER MEANS OF PROTECTION AS REQUIRED TO COMPLY WITH ALL STATE LAWS AND LOCAL MUNICIPAL ORDINANCES TO SAFEGUARD PROPERTY AND PERSONS. OBSTRUCTIONS SHALL BE PLACED SO AS NOT TO DIMINISH THE LIFE SAFETY REQUIREMENTS.
5. THE OWNER AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PHASING OF THE WORK.
6. GENERAL CONTRACTOR TO PATCH, REPAIR, AND/OR REPLACE ALL ADJACENT CONSTRUCTION WHICH HAS BEEN DAMAGED DURING DEMOLITION AND/OR NEW CONSTRUCTION.
7. EXISTING CONCRETE SLAB TO BE SMOOTH AND FREE OF ANY GAPPING OPENINGS IN THE SLAB, FOR A SOLID SUBSTRATE OF NEW FINISHES.
8. ALL EXISTING FINISHES TO BE STRIPPED FREE FROM EXISTING WALLS, WHICH ARE TO REMAIN. STRIPPED WALLS ARE TO BE READY FOR APPLICATION OF NEW FINISHES PER MWFS SPECIFICATIONS.
9. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THESE DRAWINGS AS DATED ON THESE SHEETS.
10. IT SHALL BE THE RESPONSIBILITY OF ALL SUBCONTRACTORS TO HAVE EXAMINED AND REVIEWED THE COMPLETE SET OF WORKING DRAWINGS AND/OR SPECIFICATIONS TO PROVIDE ALL LABOR AND MATERIALS FOR THEIR RESPECTIVE AREA OF WORK. FOR THE COMPLETE AND FINISHED INSTALLATION IN COMPLIANCE WITH THE INTENT OF THE DRAWINGS AND/OR SPECIFICATIONS WHETHER IT IS INDICATED OR NOT. ALL WORK, WHETHER INDICATED OR NOT, SHALL BE IN COMPLIANCE WITH ALL BUILDING CODES AND ORDINANCES WHICH ARE APPLICABLE TO THE PROJECT.
11. SUBCONTRACTORS SHALL COOPERATE WITH EACH OTHER AND WITH THE GENERAL CONTRACTOR TO PROVIDE MATERIALS AND LABOR THAT ARE NECESSARY IN OTHERS WORK AT THE APPROPRIATE TIME SO THAT THE CONSTRUCTION SCHEDULE IS NOT AFFECTED. THIS INTERACING SHALL BE THE RESPONSIBILITY OF THE CONTRACTORS WHOSE WORK IS AFFECTED AS SUCH.
12. ALL WORK SHALL BE PERFORMED BY QUALIFIED CONTRACTORS IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS.
13. THIS DRAWING PACKAGE IS BASED ON DOCUMENTS, SPECIFICATIONS AND RELATED INFORMATION PROVIDED BY THE OWNER AND/OR OWNERS AGENT.
14. THE DESIGN INFORMATION INDICATED ON THE PLANS ARE INDICATED TO BE A COMPLETE AND WORKABLE SYSTEM IN ACCORDANCE WITH ALL PRODUCT MANUFACTURERS SPECIFICATIONS, EXISTING AND/OR PROPOSED BUILDING DESIGN, FIELD CONDITIONS, ETC. ALL MISCELLANEOUS MATERIALS, PARTS, DESIGN DIMENSIONS, WHETHER INDICATED ON THE PLANS OR NOT, SHALL BE INCLUDED AS PART OF THIS DRAWING PACKAGE.
15. THE GENERAL CONTRACTOR OR SUBCONTRACTORS SHALL BE HELD RESPONSIBLE FOR THE REMOVAL AND THE DISPOSAL OF MATERIALS AND ITEMS REFERRED TO AS "DEBRIS" OR DETERMINED BY THE ARCHITECT OR OWNER TO BE REFUSED.
16. THE GENERAL CONTRACTOR SHALL HAVE MADE ALL REQUIRED PROVISIONS FOR THE REMOVAL OF THE DEBRIS ON SITE, HAVING CHARGES, DUMPING FEES, ETC., IN HIS ORIGINAL BID SUBMISSION.
17. PROVIDE ALL CUTTING AND PATCHING IN EXISTING FLOORS, WALLS, AND CEILINGS AS REQUIRED FOR ALL TRADES. EXCLUDING REMOVAL AND RELOCATED ITEMS AS SHOWN.
18. REMOVE ALL SPECIFIC ITEMS INDICATED ON DRAWINGS. ALSO REMOVE ANY OTHER ITEM OR CONSTRUCTION AS REQUIRED TO ACCOMPLISH ALL NEW WORK AND/OR REVISION WORK TO EXISTING AREAS AS SHOWN OR DESCRIBED ELSEWHERE IN THE CONTRACT DOCUMENTS.
19. THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL SIGNS, BARRICADES, FENCES, LIGHTING ETC., AS REQUIRED FOR THE PREVENTION OF THE PERSONAL INJURIES TO THE OWNERS, ITS EMPLOYEES, REPRESENTATIVES, CLIENTELE OR OTHERS WITHIN THE AREAS OF CONSTRUCTION.
20. THE GENERAL CONTRACTOR SHALL TAKE ORDINARY PRECAUTIONS TO PREVENT THE DISRUPTION OF PROTECTIVE DEVICES DURING THE COURSE WORK.
22. GENERAL CONTRACTOR SHALL TAKE ORDINARY PRECAUTIONS TO SECURE AND PROTECT MATERIALS. MATERIALS ARE TO BE RELOCATED OR WAREHOUSED AS DETERMINED BY THE OWNER.
23. THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION SCHEDULE PRIOR TO COMMENCEMENT OF WORK FOR THE OWNERS APPROVAL.
24. THE CONTRACTOR IS TO SUBMIT SHOP DWGS. AND SAMPLES OF ALL SHOP FABRICATED ITEMS, AND AS NOTED ON PLANS, PRIOR TO INSTALLATION.



## DEMOLITION GENERAL NOTES:

- A. CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- B. CONTRACTOR AND SUB-CONTRACTORS SHALL VISIT AND EXAMINE THE EXISTING STRUCTURE PRIOR TO DEMOLITION EXTENT OF WORK.
- C. COMPLETE ALL DEMOLITION WORK ON DRAWINGS AS REQUIRED BY THE PROJECT.
- D. EXECUTE ALL DEMOLITION WORK IN A N ORDERLY AND CAREFUL MANNER WITH DUE CONSIDERATION FOR EXISTING STRUCTURE, INCLUDING ANY PARTS OF THE SURROUNDING AREAS WHICH ARE TO REMAIN.
- E. SUPPORT ALL EXISTING STRUCTURE AS NEEDED DURING CUTTING NEW OPENINGS OR REPLACEMENT OF STRUCTURAL MEMBERS.
- F. PROTECT ANY SERVICE LINES, INDICATED OR NOT, DISCONNECT ANY ELECTRICAL, TELEPHONE, GAS, WATER, OR OTHER LINES SERVICING THE STRUCTURE PER RULES AND REGULATIONS OF BUILDING AND ZONING DEPARTMENT.
- G. CONDUCT OPERATIONS AS TO NOT INTERFERE WITH ADJACENT UNITS, AVOID ANY ENCHROACHMENT, REPAIR AND MAKE GOOD ANY DAMAGE OR IMPROVEMENTS CAUSED BY OPERATIONS.
- H. ALL MATERIALS REMOVED UNDER THIS CONTRACT, WHICH IS NOT TO BE SALVAGED OR REUSED, SHALL BECOME PROPERTY OF THE CONTRACTOR AND SHALL BE PROMPTLY REMOVED FROM THE SITE.
- I. ON COMPLETION OF DEMOLITION WORK, LEAVE PROPERTY AND THE ADJACENT AREAS CLEAN AND SATISFACTORY TO LOCAL AUTHORITY AND THE OWNER.

## LEGEND

EXISTING ONE STORY  
C.B.S. RESIDENCEOMELIO ARABAL  
ARCHITECT4900 SW 74th COURT  
MIAMI, FLORIDA 33155

## PROJECT:

RENOVATIONS AT:  
ROSEN RESIDENCE  
1330 MICHIGAN AVE  
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## REVISION:

DATE: 09/07/2016  
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SHEET:

OMELIO ARRABAL  
- ARCHITECT -

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MIAMI, FLORIDA 33155

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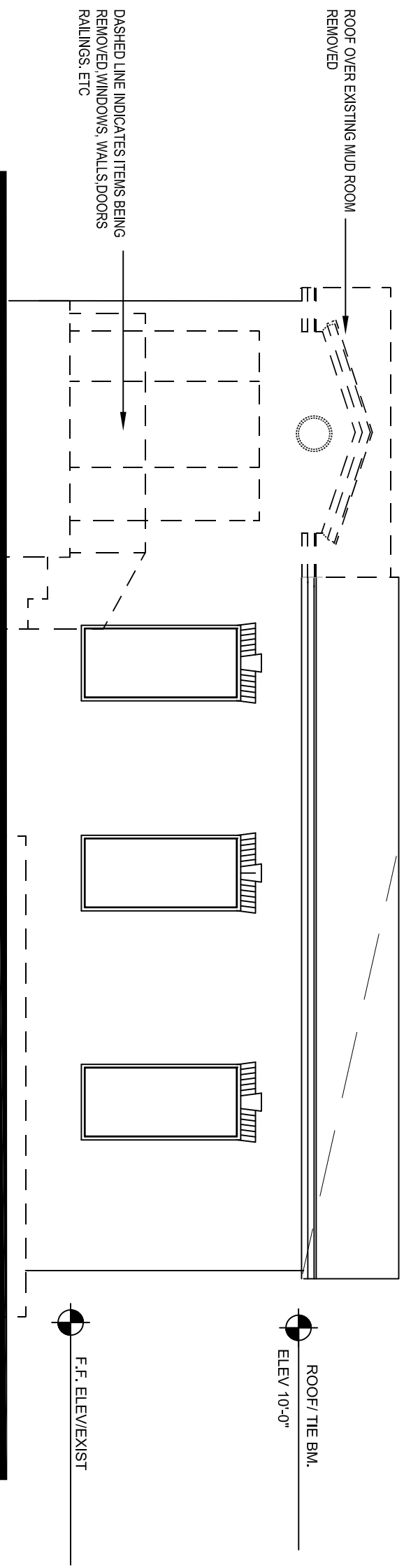
ROSEN RESIDENCE  
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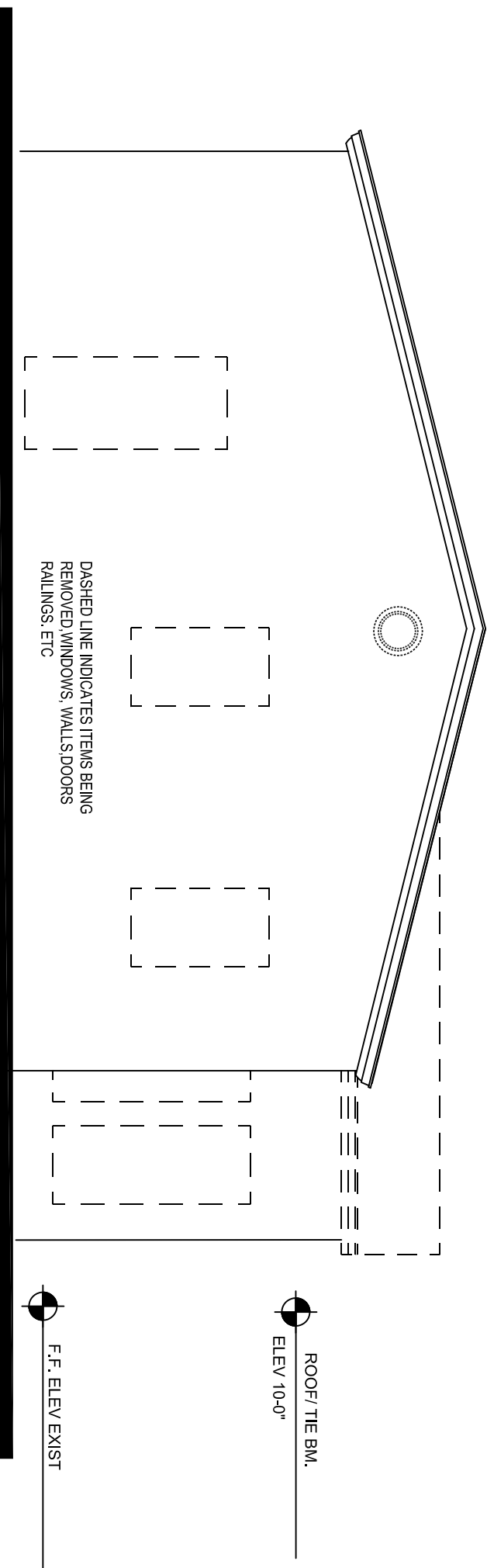
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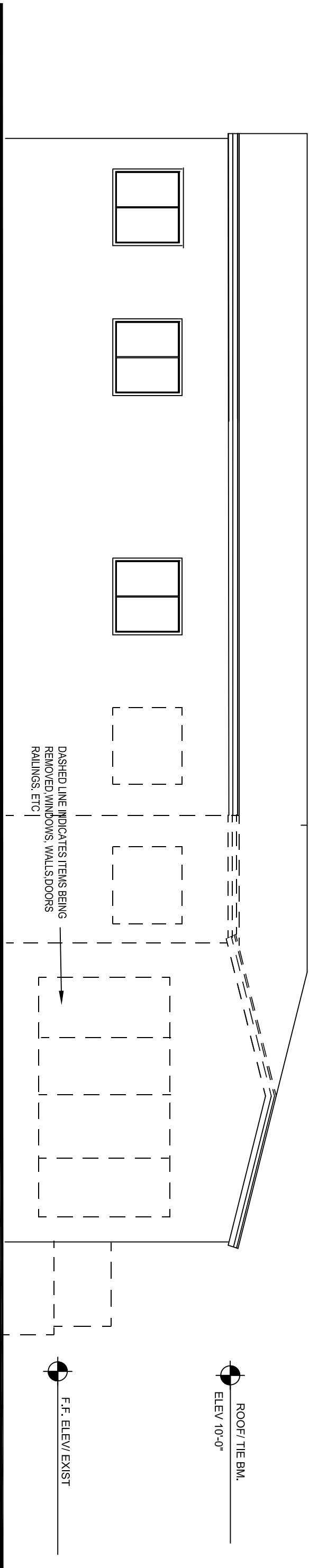
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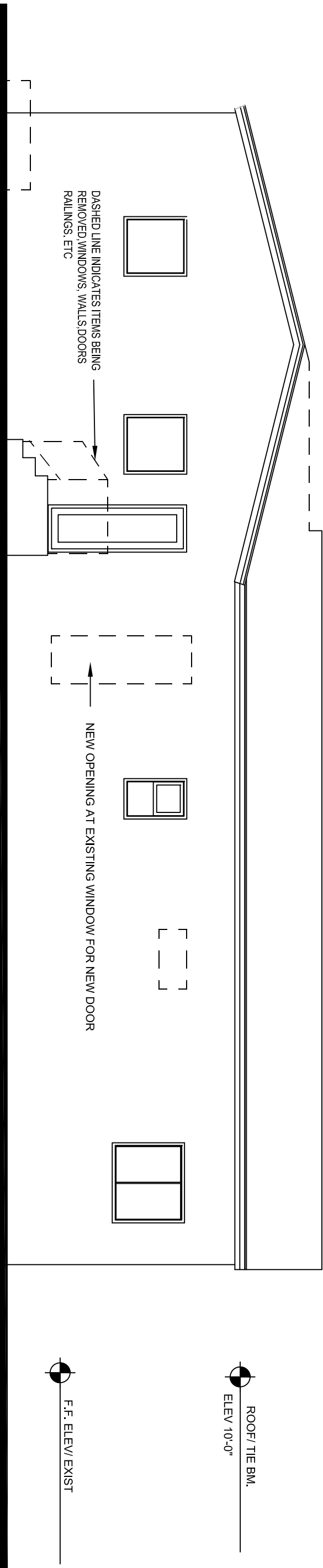
EAST ELEVATION 3/16"  
DEMOLITION



WEST ELEVATION 3/16"  
DEMOLITION



SOUTH ELEVATION 3/16"  
DEMOLITION



NORTH ELEVATION 3/16"  
DEMOLITION

OMELIO ARRABAL  
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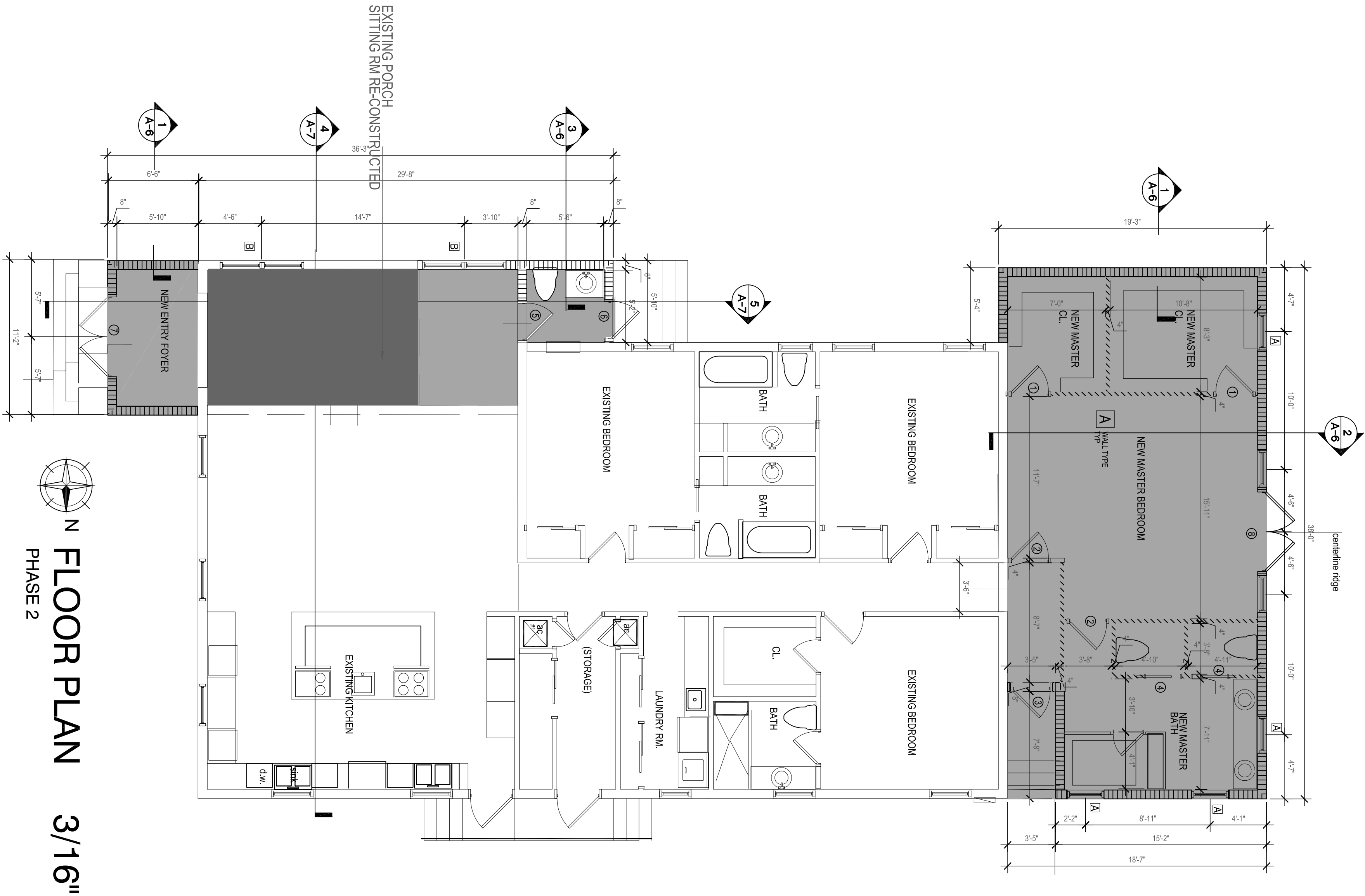
ROSEN RESIDENCE  
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OMELIO ARRABAL  
- A R C H I T E C T -

4900 SW 74th COURT  
MIAMI, FLORIDA 33155

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RENOVATIONS AT:  
ROSEN RESIDENCE

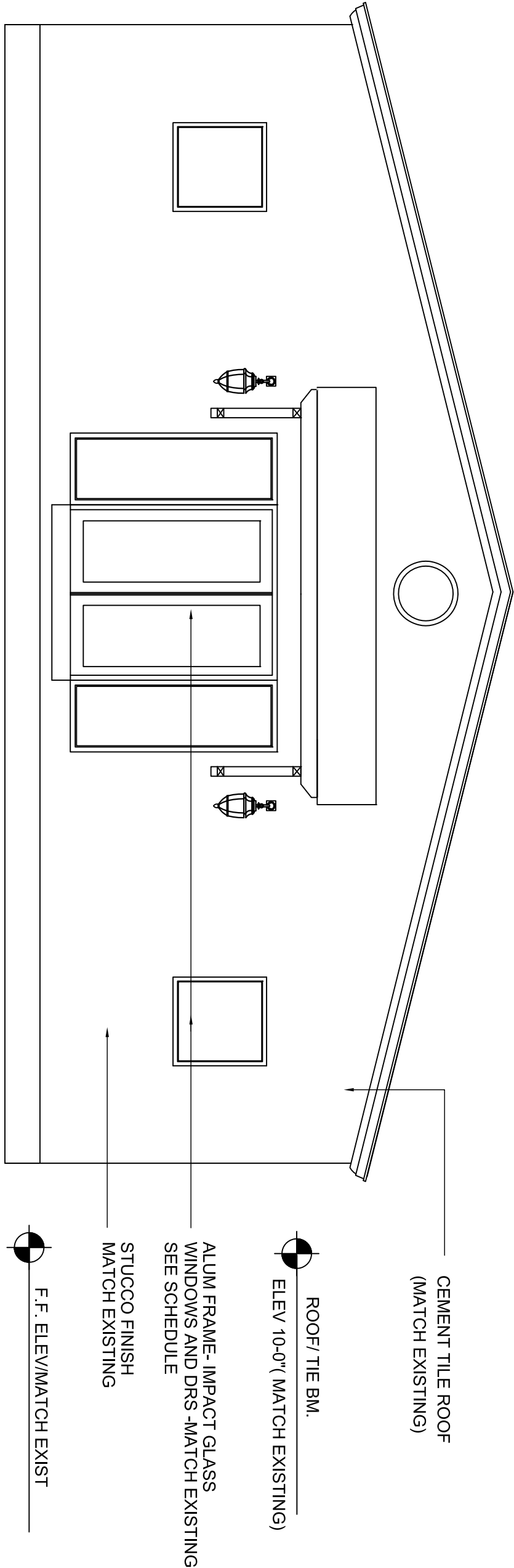
159 MICHIGAN AVE  
MIAMI BEACH, FL

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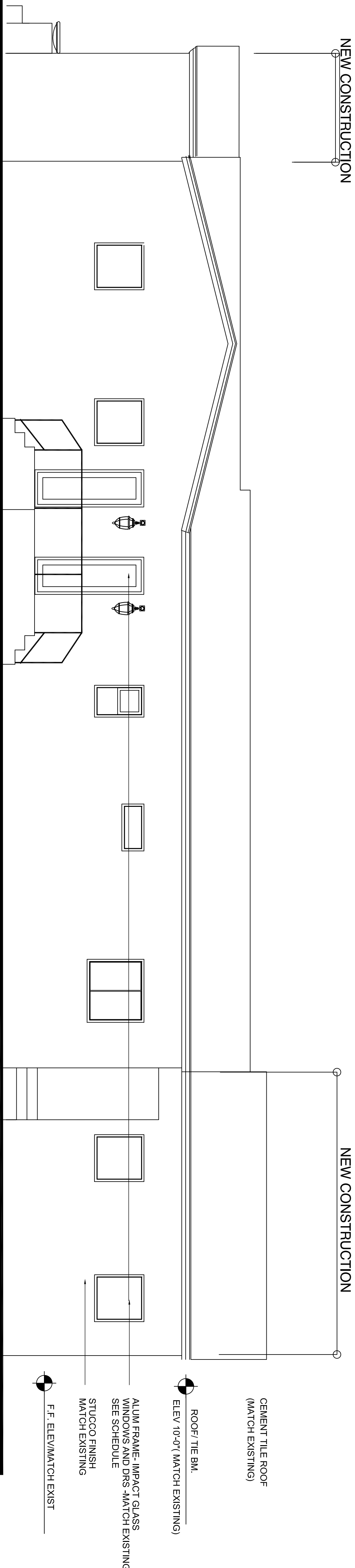
REVISION:

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SHEET:



WEST ELEVATION 1/4"  
REAR



NORTH ELEVATION 1/4"  
SIDE

OMELIO ARRABAL  
- A R C H I T E C T -

4900 SW 74th COURT  
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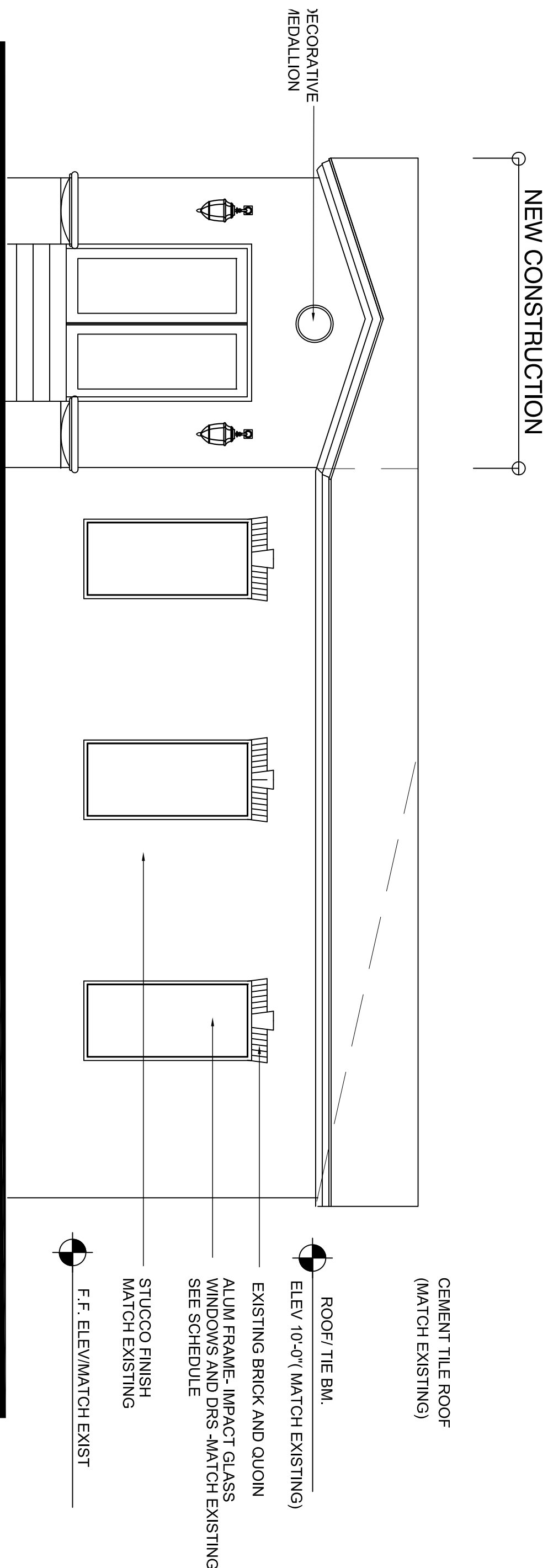
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RENOVATIONS AT:  
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139 MICHIGAN AVE  
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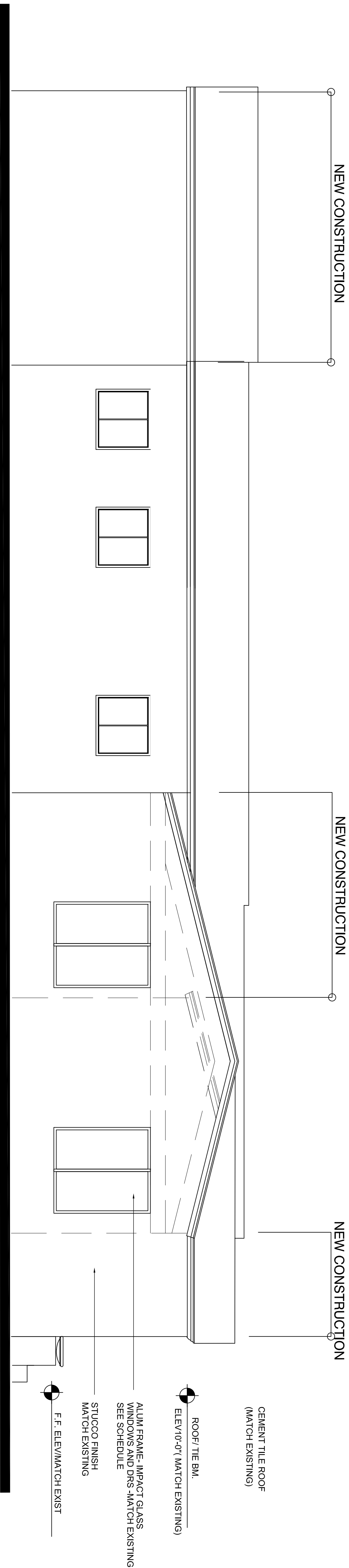
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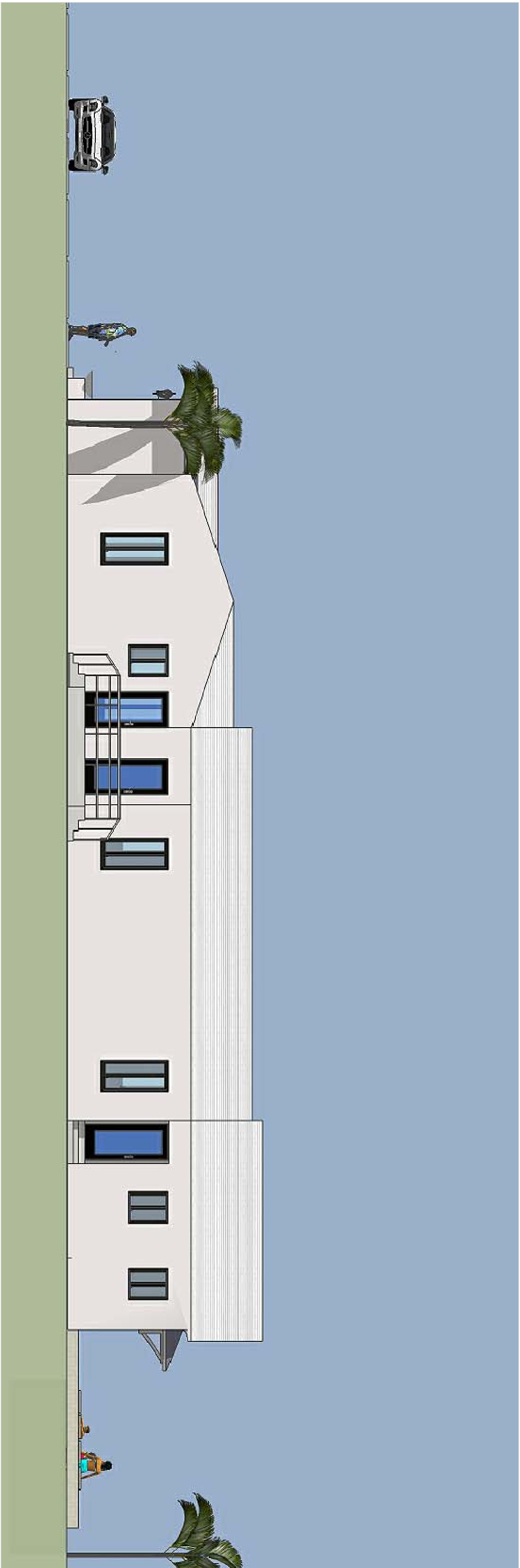


EAST ELEVATION 1/4"  
SIDE



SOUTH ELEVATION 1/4"  
SIDE





OMELIO ARRABAL  
• A R C H I T E C T •

4900 SW 74th COURT  
MIAMI, FLORIDA 33155

PROJECT:  
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ARCHITECT  
4900 SW 74th COURT  
MIAMI, FLORIDA 33155

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FRONT ELEVATION  
EAST



SIDE ELEVATION  
NORTH



REAR ELEVATION  
WEST



SIDE ELEVATION  
SOUTH

SEAL

AR#11606

OMELIO ARRABAL  
ARCHITECT

4900 SW 74th COURT  
MIAMI, FLORIDA 33155

PROJECT:  
RENOVATIONS AT:  
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REVISION:

DATE:  
JOB NO:  
DRAWN:

SHEET:

A-9

OF:





FRONT ELEVATION  
EAST



FRONT ELEVATION  
EAST

SEAL

AR#11606

OMELIO ARRABAL  
· ARCHITECT ·

4900 SW 74th COURT  
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SHEET:

A-10

OF:



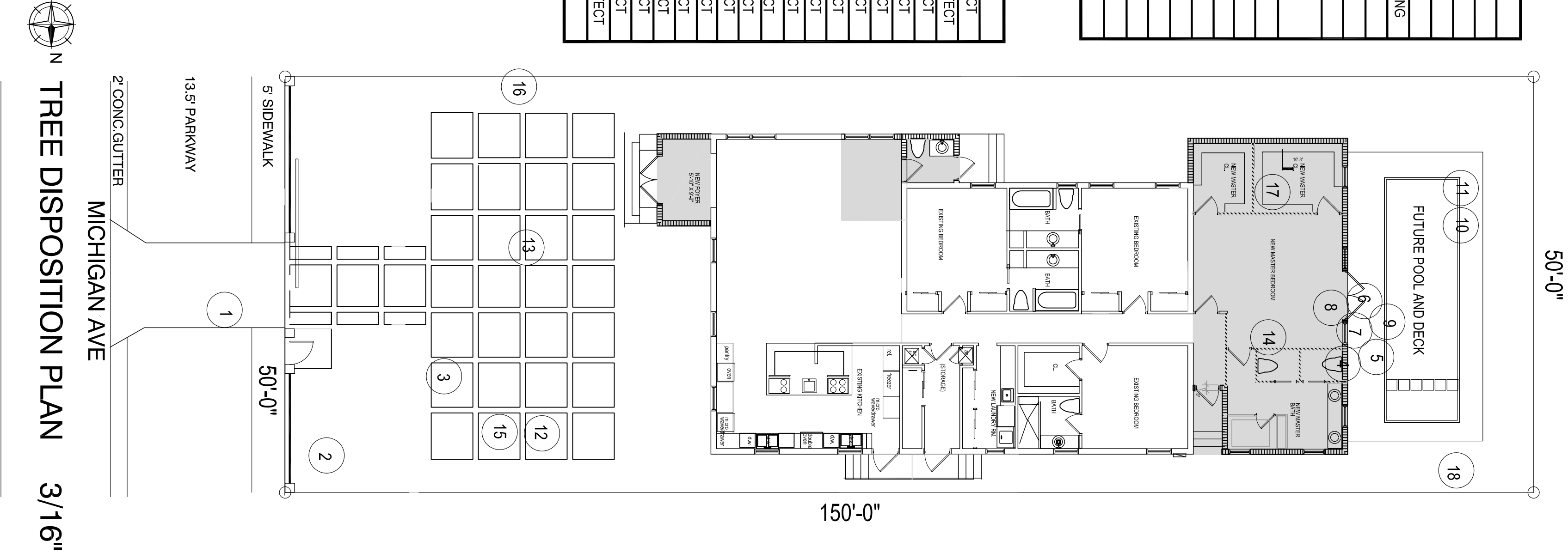
20' ALLEY

TAG	QUALITY	COMMON NAME	BOTANICAL NAME	NOTES
PALMS				
RP	3	ROYAL PALMS		SPECIMEN
PC	8	CANARY DATE PALM		SPECIMEN
2		COCONUT PALM		SPECIMEN EXISTING
TREES				
0	2	OAK TREE	QUERCUS	SPECIMEN
MF	2	SIMPSON STOPPER	MYRCANTHES FRAGENS	SPECIMEN STREET TREE
SCRUBS				
PO	160	PODOCARPUS	PODOCARPUS MACROPHYLLUS	
GROUNDCOVER				
PRC	44	PHILODENDRON	SAME	AT FRONT
LIR	150	LITATRUF	LITROPE	

TREE CHART

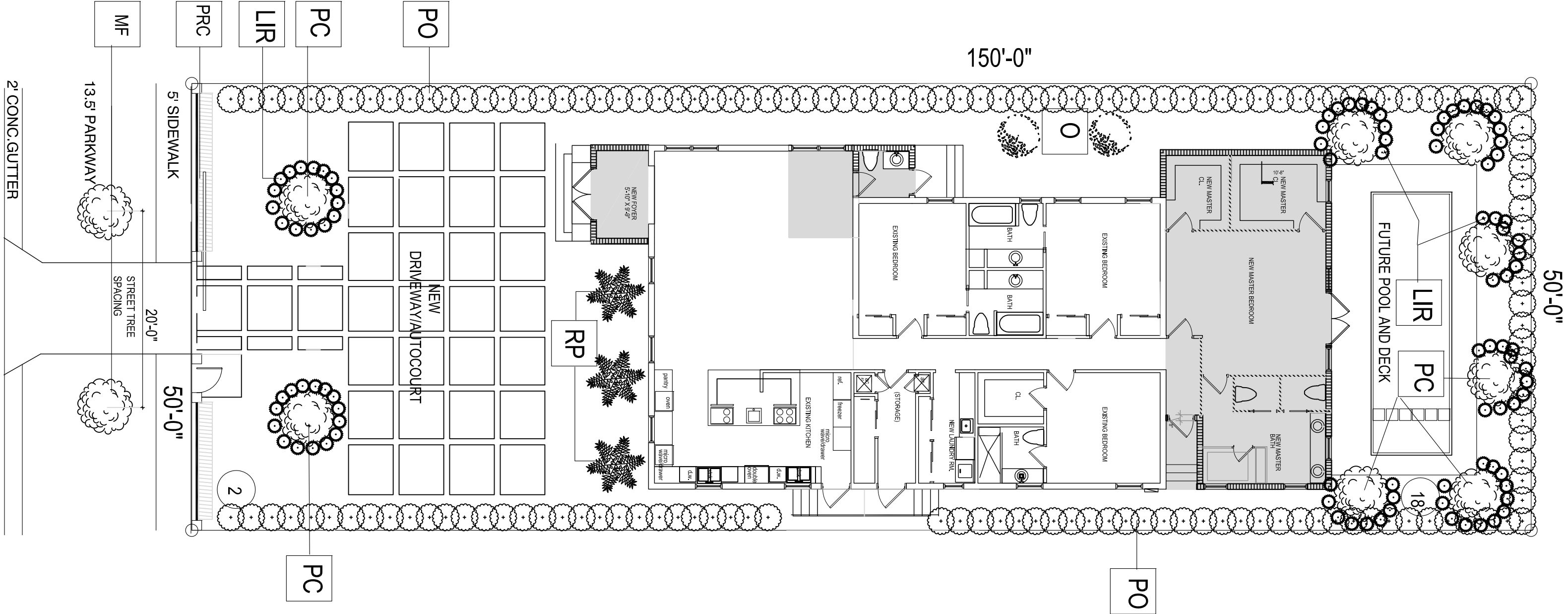
NO	NAME	DIAMETER	SPAN	HEIGHT	DISPOSITION
1	ROYAL PALM (3)	2"	18"	50'	REMOVE CONFLICT
2	COCONUT PALM	1.3"	10"	40'	PRESERVE-PROTECT
3	COCONUT PALM (2)	2"	10"	40'	REMOVE CONFLICT
4	COCONUT PALM	1"	10"	25'	REMOVE CONFLICT
5	COCONUT PALM	1"	10"	25'	REMOVE CONFLICT
6	COCONUT PALM	1"	10"	25'	REMOVE CONFLICT
7	COCONUT PALM	1"	10"	25'	REMOVE CONFLICT
8	COCONUT PALM	1"	10"	25'	REMOVE CONFLICT
9	COCONUT PALM	1"	10"	25'	REMOVE CONFLICT
10	COCONUT PALM	1"	10"	25'	REMOVE CONFLICT
11	COCONUT PALM	1"	20"	25'	REMOVE CONFLICT
12	PALMETTO PALM (2)	1.5"	10"	35'	REMOVE CONFLICT
13	BOITE PALM	2"	8"	12'	REMOVE CONFLICT
14	POIN PALM	2"	7"	12'	REMOVE CONFLICT
15	COCONUT PALM	1"	10"	40'	REMOVE CONFLICT
16	PALMETTO PALM	1.5"	10"	40'	REMOVE CONFLICT
17	MANGO TREE	0.5"	10"	15'	REMOVE CONFLICT
18	BIRD OF PARADISO TREE	1"	10"	20'	PRESERVE-PROTECT

MIN. TREE REQUIREMENT PER CMB 12b-6  
RS-4 PER LOT FRONT 2 PER LOT BACK 3 50 % MAX LAWN AREA OPEN SPACE



TREE DISPOSITION PLAN 3/16"

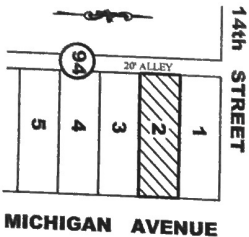
20' ALLEY



LANDSCAPE PLAN 3/16"

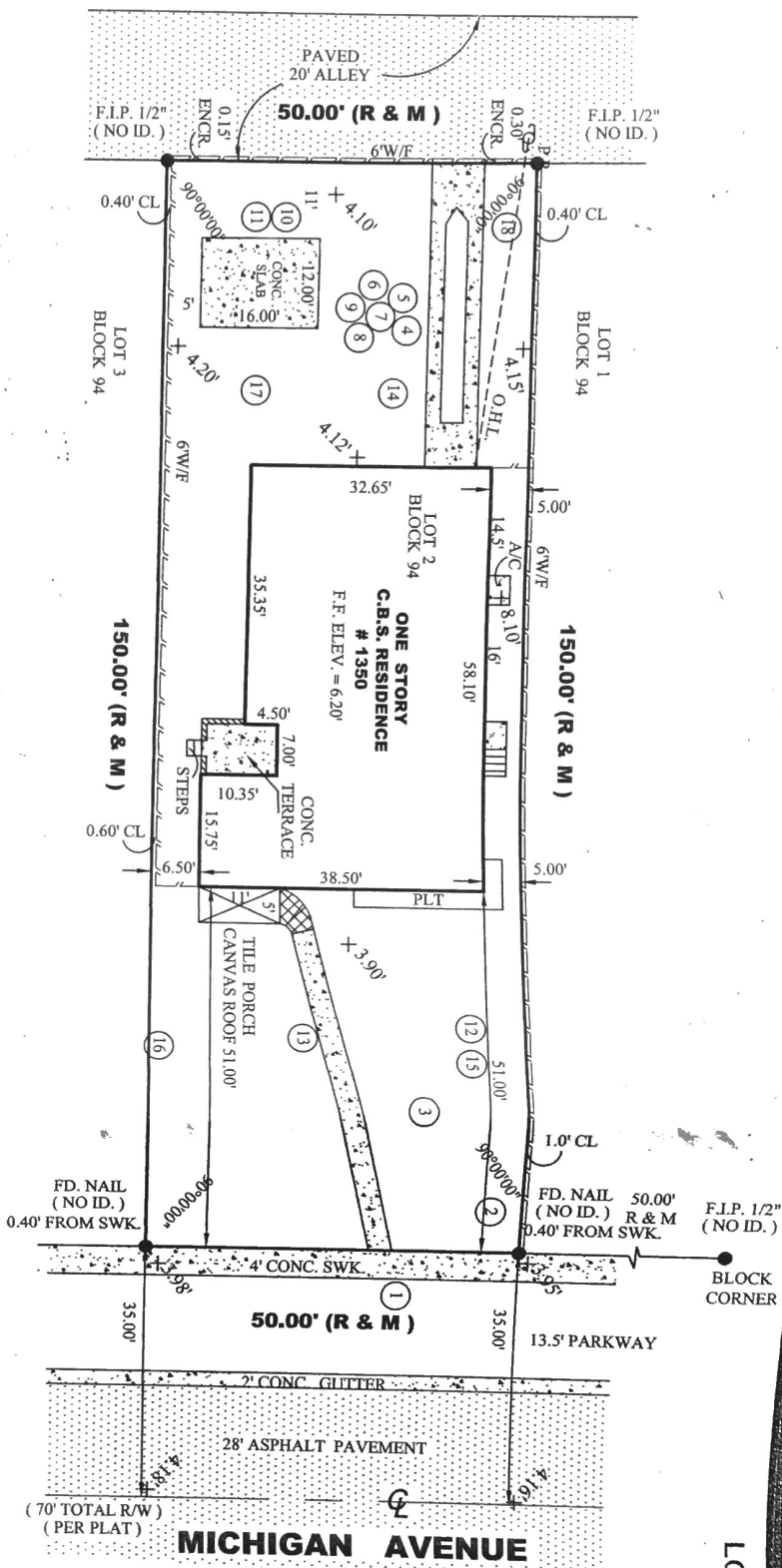


LOCATION SKETCH  
SCALE: NTS



TREE CHART

No.	NAME	DIAMETER	SPAN	HEIGHT
1	ROYAL PALM (3)	2"	15'	50'
2	COCONUT PALM	1.5"	10'	40'
3	COCONUT PALM (2)	2"	10'	40'
4	COCONUT PALM	1"	10'	25'
5	COCONUT PALM	1"	10'	25'
6	COCONUT PALM	1"	10'	25'
7	COCONUT PALM	1"	10'	25'
8	COCONUT PALM	1"	10'	25'
9	COCONUT PALM	1"	10'	25'
10	COCONUT PALM	1"	10'	25'
11	COCONUT PALM	1"	10'	25'
12	PALMETTO PALM (2)	1.5"	20'	25'
13	BOTTLE PALM	2"	10'	35'
14	PONY TAIL	2"	5'	12'
15	COCONUT PALM	1"	7'	12'
16	PALMETTO PALM	1.5"	10'	40'
17	MANGO TREE	0.5"	10'	40'
18	BIRD OF PARADISE TREE	1"	10'	15'



Property Address: 1350 MICHIGAN AVE., MIAMI BEACH, FL. 33139

Legal Description: LOT 2, BLOCK 94, OCEAN BEACH ADDITION NO. 3, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 81, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

SINCE 1987  
**BLANCO SURVEYORS INC.**  
Engineers • Land Surveyors • Planners • LB # 0007059  
555 NORTH SHORE DRIVE  
MIAMI BEACH, FL. 33141

(305) 865-1200 Email: blancosurveyorsinc@yahoo.com Fax: (305) 865-7810

ABBREVIATIONS:

SWK=SIDEWALK, CAS=CONCRETE BLOCK STRUCTURE, CL=CHAIN LINK FENCE, PL=PROPERTY LINE, DUE=DRAINAGE UTILITY EASEMENT, P=IRON PIPE, F=FOUND, AC=AIR CONDITIONER PAD, P/C=PROPERTY CORNER, D/H=DRILLED HOLE, W/F=WOODEN FENCE, RES=RESIDENCE, CL=CLEAR, R=REBAR, U=UTILITY EASEMENT, CONC=CONCRETE SLAB, R/W=RIGHT OF WAY, DE=DRAINAGE EASEMENT, CL=CENTER LINE, O=DIMENSION, TYP=TYPICAL, M=MEASURED, R=RECORDED, ENCR=ENCROACHMENT, COMP=COMPUTER, ASH=ASPHALT, NO=NO, DISC=DISC, S=SET, FEE=FINISH FLOOR ELEVATION, OS=OFFSET, PP=POWER POLE, OH=OVERHEAD POWERLINE, W=WATER METER, MAS=MAST, VAL=VALVE, CONC=CONCRETE, E=EXISTING, N=NEW, S=SET, FEE=FINISH FLOOR ELEVATION, MAINT=MAINTENANCE, EASEMENT=MADE

ELEVATION BASED ON LOC. # 4230 N  
CBM# D-104 ELY. 3.05' TYPE OF SURVEY BOUNDARY SURVEY

SURVEYOR'S NOTES: 1) OWNERSHIP SUBJECT TO OPINION OF TITLE. 2) NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. 3) THE SURVEY DEPICTED HEREIN IS NOT COVERED BY PROFESSIONAL LIABILITY INSURANCE. 4) LEGAL DESCRIPTION PROVIDED BY CLIENT. 5) UNDERGROUND ENCROACHMENTS NOT LOCATED. 6) ELEVATIONS ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1929. 7) OWNERSHIP OF FENCES ARE UNKNOWN. 8) THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. 9) CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK FOR BUILDING AND ZONING INFORMATION. 10) EXAMINATION OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THIS PROPERTY.

NOT VALID UNLESS EMBOSSED WITH  
SURVEYOR'S SEAL



REVISED:

Additions or deletions to survey maps or reports by other than the signing party or parties is prohibited without written consent of the signing party or parties.

BEARINGS WHEN SHOWN ARE REFERRED TO AN ASSUMED VALUE OF SAID PB

PAGE

ADIS N. NUNEZ  
REGISTERED LAND SURVEYOR  
STATE OF FLORIDA #5924

FLOOD ZONE: AE  
SUFFIX: L  
DATE: 9/11/09 BASE: 8'  
DATE: 12/22/16 SCALE: 1"=20'  
COMMUNITY # 120651  
DWN. BY: F. Blanco  
JOB NO. 16-984