

VENETIAN HOTEL- 19 rooms (both bldgs-)

Owner MISS ANNA ROSE

Mailing Address

Permit No. 11894 X

Date Nov. 17-1938

rear

Lot 18 & 20 Block 14

Subdivision M.B. Imp. CO. OF

Address 230- 31st street - rear

General Contractor Tripp Contracting Co. 17125
Bond 1944

Address

Architect Gordon E. Mayer

Address

Front 26-0 Depth 30-0 Height 24 1/2-0

Stories 2

Use Hotel- 8 rooms

Type of construction c-b-s- Cost \$ 6,000.00

Foundation spread footing

Roof concrete

Plumbing Contractor WERNTZ # 11561

Address

Date Nov. 21-1938

Plumbing Fixtures 25

Rough approved by

GAS - C. Farrey- Feb. 23-1939

Date

Gas Stoves 1

Gas Heaters

METRO CRD. #75-34
RECERTIFICATION DATE: 7-18-79

Address

Date

Final approved by

Date

Sewer connection 1

Septic tank

Make

Date

Electrical Contractor Biscayne Electric - # 12242-

Address

Date Dec. 28-1938

Switch 40

Range Motors

Fans

Temporary service--#12486 -2/11/1939

OUTLETS Light 30

HEATERS Water

"# ---- Biscayne Electric

Receptacles 48

Space

Centers of Distribution 44

Refrigerators 2

Irons 22

Electrical Contractor Biscayne Electric Co # 12465

Address

Date Feb. 6-1939

No. fixtures set 58

Final approved by

Date

Date of service

X (see 11894) 3079 plans # 12015- ADDITION OF 4 NEW ROOMS- changing size of 3 rooms- \$6,000.-
Alterations or repairs Tripp Contracting Co. contractor - Gerald Pitt, architect Date Dec. 5-1938

Plumbing permit # 11637- Werntz- 24- fixtures- 16 gas- Dec. 7-1938

Building Permit # 12116- 1 Oil Tank - 275 gals and Burner - Belcher Industries, Inc.
cost ---- \$ 300.00- Jan. 3-1939----

Plumbing permit # 11827- Werntz- 1 water closet and 1 floor drain- Mar. 2-1939

ALTERATIONS & ADDITIONS

Building Permits:

#25657 7/25/84 owner work under supervision of Spec Inspect, Mr. Mandell-
see attached letter - joist repairs \$3,000.

Plumbing Permits:

Electrical Permits: #80447 8/20/85 Quality Service Contract - 1 fire alarm panel, 4 pull stations, 4 bells
4 smoke detector

MISS ANNA ROSE
 Owner MRS. NORA E. FOX Mailing Address Permit No. 364
 Front Lot 18 & 20 Block 14 Subdivision M. B. Imp. Co. O. F. No. 230 Street 31st St Date Jan. 25-1923
 General Contractor A. R. Ogle Address Miami
 Architect Address
 Front Depth Height 14' Stories one Use Residence & garage
 Type of construction Cem. Blks. ? Cost \$ 6,000.00 Foundation Reinf. concrete Roof composition

Plumbing Contractor Louis McGhan Address Miami Date Feb. 14-1923
 No. fixtures 4 Rough approved by H. Scheibli Date
 No. Receptacles
 Plumbing Contractor Address Date
 #6973- Jan. 2-1934 - Orr- 1 sewer connection: Final approved by Date
 No. fixtures set Stolpman - Aug 23-1937
 Sewer connection one Septic tank one Make Miami Sanatar Date Mar. 31-1923

Electrical Contractor Riverside Electric Company Address Date Feb. 7-1923
 No. outlets 18 Heaters Stoves Motors Fans Temporary service
 Rough approved by L. C. Davis Date Feb. 10-1923
 Electrical Contractor Riverside Electric Company Address Date Feb. 26-'23
 No. fixtures set 20 Final approved by Date
 Date of service

Alterations or repairs # 9508: Remodeling into 2 family house: Installing 2 new baths, kitchen, new steps and driveway: \$1,000.00 Date Feb. 4-1937

Plumbing permit # 9958-Stolpman- 7 fixtures- March 29-1937

BUILDING PERMIT # 11780- 2 new doors - new partitions @ owner, day labor-\$100.00- Nov. 1-1938

BUILDING PERMIT # 17773... Painting... J.D. Gilbreath, painter, \$ 285.....Nov.15,1943
#20099 Painting .. inside L.R. Dugan, painter - \$ 375..... May 18,1945 -
#27846 Painting - Elmer Raamat \$ 400..... July 21, 1948
#28676 Flat wall sign - Flash Neon--- \$ 150.... Nov. 2, 1948

#57192 Owner: Replace felt & tar - \$150 - Aug. 29, 1958

#57439 Ideal Roofing & Sheet Metal: Roof Repairs - \$1250.00 - Sept. 30, 1958

#78135 Owner, Geo. Blum: Erect 100' of 5' high chain link fence - \$100 - 4/18/67

#10009-Owner-Repair fire damage-\$3000-10-15-76

PLUMBING PERMIT # 18515... O. Schweitzer 1 sink, 1 gas range Sept. 20, 1945
24951 Belcher Industries Replace one oil tank underground - 250 gals - Apr. 3, 1947

Mehhanical 03141-Belcher Oil- 1 200,000BTU hot water boilers-\$800-11-14-74

ELECTRICAL PERMIT # 20890 - 1 Service equipment Lyon Electric: (Venetian Hotel) Jan.26,1945

20912.. Lyon Electric: 1 Service Feb.16,1945

27554 Flash Neon: 1 neon transformer - box sign- Nov 2, 1948

#73560-C J Kay Electric-Repair fire damage-10-18-76

(over)

GENERAL NOTES:

- THE CONTRACTOR SHALL VISIT THE PREMISES AND THOROUGHLY FAMILIARIZE HIMSELF WITH ALL DETAILS OF THE WORK AND WORKING CONDITIONS. VERIFY ALL DIMENSIONS IN THE FIELD, AND ADVISE THE ARCHITECT / ENGINEER OF ANY DISCREPANCY BEFORE PERFORMING THE WORK.
 - THE CONTRACTOR SHALL PERFORM ALL WORK REQUIRED UNDER THIS CONTRACT FOR A COMPLETE INSTALLATION AND IN SUCH MANNER THAT SURFACES NOT AFFECTED BY REMOVAL OF EXISTING OR FROM NEW WORK SHALL REMAIN UNDISTURBED AND NORMAL ACTIVITIES AT THE INSTALLATION MAY CONTINUE WITH THE LEAST POSSIBLE INTERFERENCE. ALL DEBRIS SHALL BE REMOVED FROM THE SITE OF THE WORK AT THE END OF EACH WORKING DAY. MATERIALS AND EQUIPMENT SHALL BE STORED ONLY AT LOCATIONS APPROVED BY THE ARCHITECT / ENGINEER AND OWNER'S REPRESENTATIVE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE STRUCTURES AND PERSONNEL DURING THE WORK UNDER THIS CONTRACT. ALL ALTERING, CUTTING, DRILLING OF PAVEMENT, FLOOR AND OTHER MODIFICATIONS SHALL BE NEATLY AND CAREFULLY DONE BY SKILLED MECHANICS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE TO EXISTING WORK, MATERIALS, AND EQUIPMENT AS A RESULT OF HIS OPERATIONS. ALL DAMAGED WORK SHALL BE REPAIRED OR REPLACED WITH MATERIALS OF LIKE TYPE, QUALITY AND FINISH BY SKILLED MECHANICS OF THE TRADES INVOLVED AT NO ADDITIONAL COST TO THE OWNER AND TO THE FULL SATISFACTION OF THE ARCHITECT / ENGINEER.
 - LEGAL DISPOSAL OF ALL MATERIAL NOT SPECIFIED OR SHOWN TO BE SALVAGED AND / OR REUSED RESULTING FROM REMOVAL OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL COSTS IN CONNECTION WITH LEGALLY DISPOSING OF THE MATERIALS WILL BE AT THE CONTRACTOR'S EXPENSE. ALL LIABILITY OF ANY NATURE RESULTING FROM THE DISPOSAL OF THE MATERIALS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - CONTRACTOR SHALL PROVIDE AND MAINTAIN ACCESS TO ALL EXISTING FACILITIES AND THOSE UNDER CONSTRUCTION IN THE IMMEDIATE VICINITY, AT ALL TIMES DURING CONSTRUCTION OF PROPOSED PROJECT.
 - CONTRACTOR SHALL INSTALL SECURITY FENCING AND BARRICADES AS REQUIRED BY THE LOCAL AUTHORITIES, AND/OR DIRECTED BY ARCHITECT / ENGINEER.
 - VERIFICATION OF EXISTING CONDITIONS: EACH CONTRACTOR SHALL DETERMINE AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE BUILDING SITE AND SHALL BE RESPONSIBLE FOR SAME BEFORE COMMENCING THE WORK. DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AND/OR ENGINEER AND SHALL BE RESOLVED BEFORE RESUMING THE WORK. DIMENSIONS SHALL BE READ AND NEVER SCALED OR ESTIMATED FROM THE ARCHITECTURAL DRAWINGS.
 - CODE COMPLIANCE: EACH CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE, BUILDING DEPARTMENT REGULATIONS AND WITH ALL OTHER CODES AND GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER HIS PORTION OF THE WORK. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR SAFETY PRECAUTION AND PROGRAMS IN CONNECTION WITH HIS PORTION OF THE WORK.
 - EXAMINATION OF THE CONTRACT DOCUMENTS AND SITE: EACH CONTRACTOR FOR THIS PROJECT SHALL STUDY AND FAMILIARIZE HIMSELF WITH THE SITE AND WITH ALL THE DRAWINGS FOR ALL TRADES AND PARTS OF THE WORK. SHOULD ANY CONTRACTOR HAVE THE OPINION THAT THERE EXISTS IN THE ARCHITECTURAL DRAWINGS ANY ERRORS OR DISCREPANCIES, OR THAT CONDITIONS OF THE WORK OF ANY OTHER CONTRACTOR IS SUCH THAT IT WILL PREVENT HIM FROM COMPLETING HIS WORK IN A COMPETENT MANNER, HE SHALL NOTIFY THE ARCHITECT OF SUCH DURING THE BIDDING PHASE OF THE PROJECT, PRIOR TO BID OPENING.
- THE CONTRACTOR SHALL HAVE AT THE BUILDING SITE, FROM START TO FINISH OF CONSTRUCTION, A RESPONSIBLE FOREMAN. IN ADDITION, THE CONTRACTOR SHALL GIVE HIS PERSONAL SUPERVISION TO THE WORK. THE FOREMAN SHALL BE ON DUTY DURING ALL WORKING HOURS. ANY INSTRUCTIONS OR NOTICES GIVEN TO HIM SHALL HAVE THE SAME IMPORTANCE AS IF GIVEN TO THE CONTRACTOR IN PERSON.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TEMPORARY PROVISIONS SUCH AS TOILETS, WATER SUPPLY, LIGHT AND POWER AS WELL AS ANY OTHER DEEMED NECESSARY FOR THE COMPLETION OF THE BUILDING.
- ANY ITEM OF WORK NECESSARY TO THE PROPER COMPLETION OF CONSTRUCTION WHICH IS NOT SPECIFICALLY COVERED IN THESE DOCUMENTS SHALL BE PERFORMED IN A MANNER DEEMED GOOD PRACTICE OF THE TRADE INVOLVED.
- BATHROOM FLOORS AND BASE TO BE OF IMPERVIOUS MATERIAL AS PER F.B.C. 2017 6th EDITION
 - IN AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE, THE MODE OF OPERATION SHALL NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT. SUCH CLEAR OPENING SHALL BE NOT LESS THAN 20" IN WIDTH, AND 24" IN HEIGHT, 5.7 SQ FT IN AREA AND SHALL ALSO MEET THE PROVISIONS OF SECT. 1305 THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" ABOVE THE FINISHED FLOOR AND NO PART OF THE OPERATION MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE FINISHED FLOOR
 - NUMBERS OF ADDRESS SHALL BE PLACED VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY AND SHALL BE 3 INCHES MIN IN HEIGHT
 - TOILET ROOM SHALL COMPLY WITH P.B.C 2014 5th EDITION
 - ALL WATER CLOSETS, LAVATORIES, SHOWERHEADS, AND SINK SHALL COMPLY WITH F.B.C 2017 6th EDITION
 - REFER TO STRUCTURAL PLAN FOR CONCRETE FILLED BOCK CELL LOCATION, SIZE AND REINFORCING.
 - ALL GLASS USED INSIDE OF DWELLING SHALL BE TEMPERED.
 - ALL FIXED GLASS TO COMPLY WITH F.B.C 2017 6th EDITION
 - ALL GLASS BLOCK TO COMPLY WITH F.B.C 2017 6th EDITION
 - CLOSET & BATHROOM DOORS SHALL COMPLY W/ SECTIONS 21-2.4.3 AND 21-2.4.4 NFPA 101 NFPA 21-2.4.3 EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET
 - NFPA 21-2.4.4 EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY
 - PLANS COMPLY WITH F.B.C 2017 6th EDITION

PROVIDE DOOR AS: SAFETY / EGRESS DOOR NOTES

NO DOOR IN THE PATH OF TRAVEL OF MEANS OF ESCAPE SHALL BE LESS THAN 32" WIDE, EXCEPT THAT BATHROOM DOORS MAY BE 24" WIDE, UNLESS A LARGER DOOR OPENING IS REQUIRED TO SATISFY THE REQUIREMENTS OF SECTION 515 OF THE F.B.C. 2004. EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET. EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN A EMERGENCY. DOORS MAY BE SWINGING OR SLIDING, AND ARE EXEMPT FROM THE REQUIREMENTS OF SECTION 21-2.4.3 AND 21-2.4.4 OF THE 1994 ED. OF NFPA. 101 NO DOOR IN ANY MEANS OF ESCAPE SHALL BE LOCKED AGAINST EGRESS WHEN THE BUILDING IS OCCUPIED. ALL LOCKING DEVICES WHICH IMPEDE OR PROHIBIT EGRESS OR WHICH CAN NOT BE EASILY ENGAGED SHALL BE PROHIBITED

SEE PICTURES OF EXISTING RAILING IN SHEET A-2

ARCHITECTURAL NOTES

THE CONTRACTOR SHALL INSPECT ALL EXISTING CONDITIONS, VERIFY ALL ON SITE DIMENSIONS, EQUIPMENT AND BUILDING SERVICE REQUIREMENTS PRIOR TO COMMENCEMENT OF WORK. ORIGINAL BUILDING PLANS SHOULD BE REVIEWED TO ASSESS THE ENTIRE SCOPE OF THE PROJECT.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH ALL OTHER TRADES INCLUDING THE EXISTING STRUCTURAL ELEMENTS OF THE BUILDING

THE CONTRACTOR SHALL PROVIDE ALL ELEMENTS OF THE SYSTEMS AS INTENDED BY THE DESIGN TO RESULT IN COMPLETE AND WORKABLE SYSTEMS IN ACCORDANCE WITH ALL STATE AND LOCAL CODES, SAFETY STANDARDS AND GOVERNING ORDINANCES.

ALL FINISH MATERIALS CHOSEN FOR THIS SPACE WILL BE DETERMINED

ALL CONSTRUCTION SHALL CONFORM TO ALL CODE REGULATIONS AND RESTRICTIONS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS

DRAWINGS ARE DIAGRAMMATIC. DO NOT SCALE FOR EXACT LOCATION OF OPENINGS,

ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH PROGRESS OF THE CONSTRUCTION.

REQUIRED INSURANCE SHALL BE PROVIDED BY CONTRACTOR FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK

CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, INSPECTIONS AND TESTS.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON JOB PRIOR TO BEGINNING CONSTRUCTION. DIMENSIONS SHALL TAKE PRECEDENCE OVER DRAWINGS.

TERMITES PROTECTION NOTE:

AS PER F.B.C. 2017 6th EDITION

105.10 CERTIFICATE OF PROTECTIVE TREATMENT FOR PREVENTION OF TERMITES. A WEATHER- RESISTANT JOB- SITE POSTING BOARD SHALL BE PROVIDED TO RECEIVE DUPLICATE TREATMENT CERTIFICATES AS EACH REQUIRED PROTECTIVE TREATMENT IS COMPLETED, PROVIDING A COPY FOR THE PERSON THE PERMIT IS ISSUED TO AND ANOTHER COPY FOR THE BUILDING PERMIT FILES. THE TREATMENT CERTIFICATE SHALL PROVIDE THE PRODUCT USED, IDENTITY OF THE APPLICATOR, TIME AND DATE OF THE TREATMENT, SITE LOCATION AREA TREATED, CHEMICAL USED, IF THE SOIL CHEMICAL BARRIER METHOD FOR TERMITES PREVENTION IS USED, FINAL EXTERIOR TREATMENT SHALL BE COMPLETED PRIOR TO FINAL BUILDING APPROVAL.

105.11 NOTICE OF TERMITE PROTECTION. A PERMANENT SIGN WHICH IDENTIFIES THE TERMITE TREATMENT PROVIDER AND NEED FOR REINSPECTION AND TREATMENT CONTRACT RENEWAL SHALL BE PROVIDED. THE SIGN SHALL BE POSTED NEAR THE WATER HEATER OR ELECTRIC PANEL.

NOTE: EXISTING DOORS AND WINDOWS TO REMAIN.

GUARDRAILS SHALL COMPLY WITH FBC SECTION 1015

EXISTING BALCONY GUARDS TO REMAIN 42" MIN AFF (AFTER INSTALLATION OF NEW FLOORING) FBC 1013

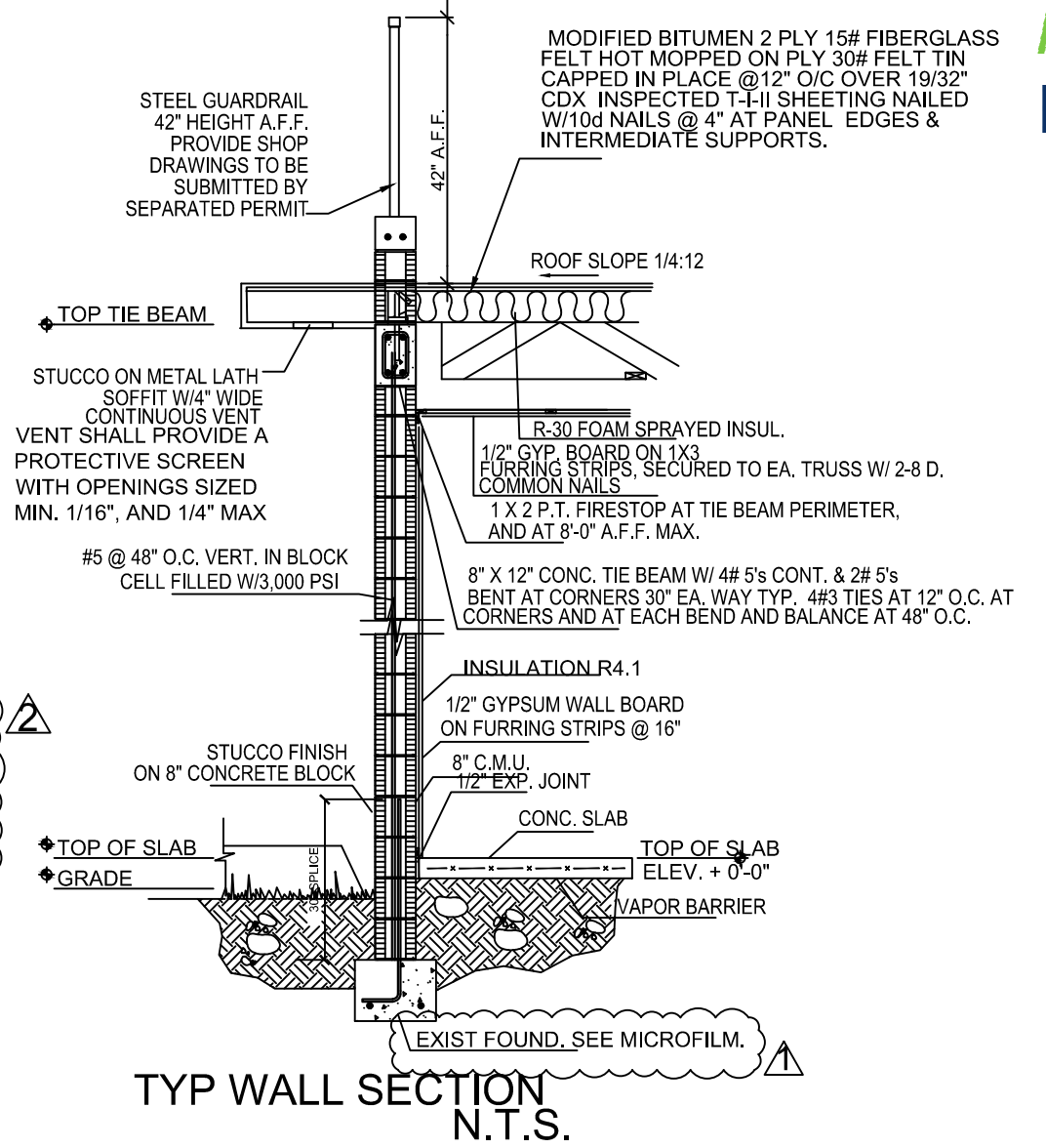
CRACKING OR BROKEN STUCCO WAS REPAIRED AS SHOWN ON TYPICAL WALL SECTION

34" STUCCO REPAIRED

WINDOWS/DOORS, ROOFING/WATERPROOFING, RAILINGS/FENCES, TRELLISES/PERGOLAS/CANOPIES, POOLS/WATER-FEATURES, PREFABRICATED STAIRS/LADDERS AND ELEVATORS, REQUIRE SEPARATE PERMITS AS PER CMB

RAILING WILL BE TEMPORARY REMOVED AND REINSTALLED AFTER ROOF COMPLETE ACCORDING DETAIL 4/S-2

EXIST. GUARDRAIL 42" A.F.F. SPACING REJECT 4" SPHERE TO BE PAINTED



PROPERTY ADDRESS
 FOLIO: 02-3226-001-1220
 220 31 ST
 MIAMI BEACH, FL.

LEGAL DESCRIPTION
 23-26-27-34 53 42
 M B IMPROVEMENT CO SUB PB 5-7
 LOTS 14 & 17 BLK 14
 OR 16239-3731 0194 2 (2)

BUILDING INFORMATION:
 ZONING CLASSIFICATION: RM-2
 OCCUPANCY CLASSIFICATION: R1 - HOTEL
 THIS BUILDING IS NOT FIRE SPRINKLER
 THIS BUILDING HAS FIRE ALARM

CODE IN EFFECT:
 FLORIDA BUILDING CODE 2017 6th EDITION
 FLORIDA BUILDING CODE EXISTING 2017 6th EDITION
 FLORIDA BUILDING CODE ACCESSIBILITY 2017 6th EDITION
 NFPA 101 2015 6th EDITION
 FLORIDA FIRE PREVENTION CODE 2017 6th EDITION

CLASSIFICATION OF WORK:
 COMPLIANCE BY WORK AREA
 LEVEL OF ALTERATION: LEVEL 2
 TYPE OF CONSTRUCTION: V
 WORK REHABILITATION CLASS: RENOVATION

BUILDING IS NOT GOING TO BE OCCUPIED WHILE THE WORK IS GOING TO BE TAKEN PLACE

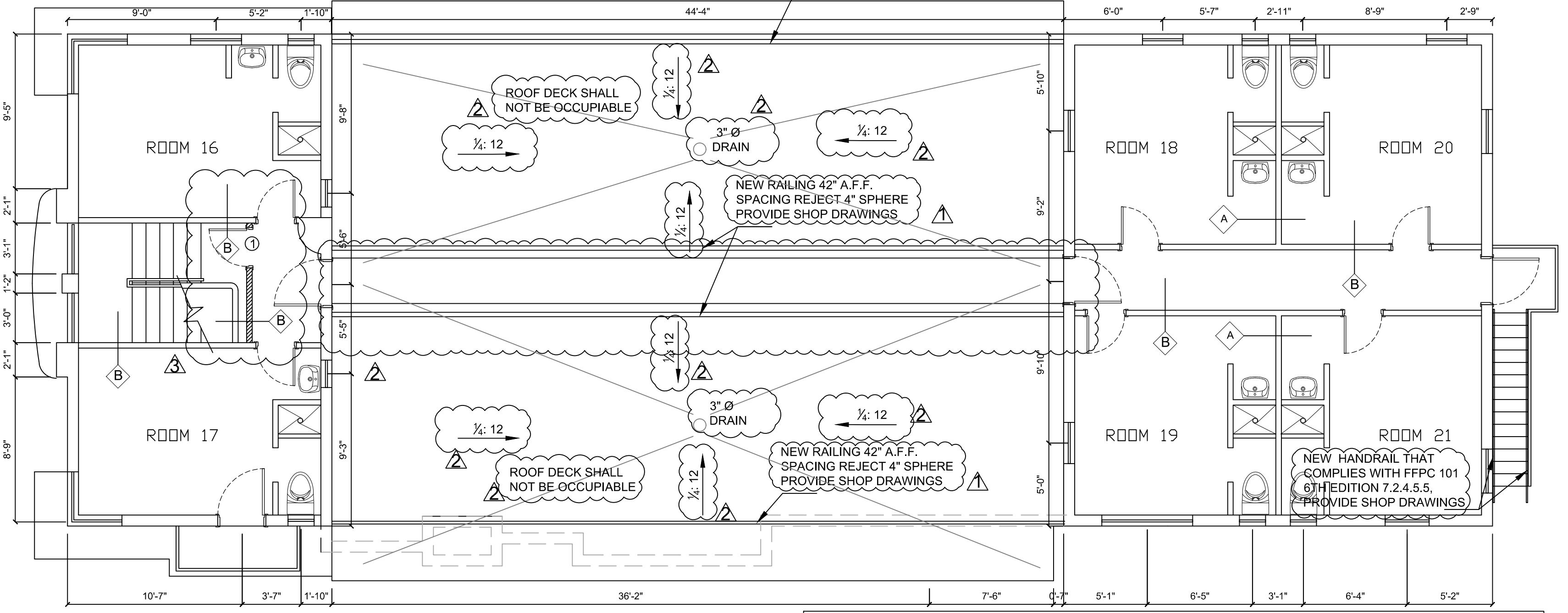
SMOKE DETECTORS INSIDE UNITS AND HALLWAY CONNECTED TO EXISTING FIRE ALARM PANEL. PROVIDE SEPARATED FIRE ALARM PERMIT TO CONNECT NEW SMOKE DETECTORS

TOTAL GROSS CONSTRUCTION AREA = 3,842 SQFT

SCOPE WORK:
 VIOLATIONS AS NOTED TO BE FIXED
 1. NEW TRUSSES ON ROOF WITH FILL CELLS ADDED. SEE S-1
 2. 420 SQ. FT. STUCCO REPAIRED
 3. SMOKE DETECTORS TO BE REPLACED
 4. RAILINGS ON ROOF TO BE PAINTED
 5. 1200 SQ. FT. NEW ROOF ACCORDING ROOF PERMIT RFC 1901077.

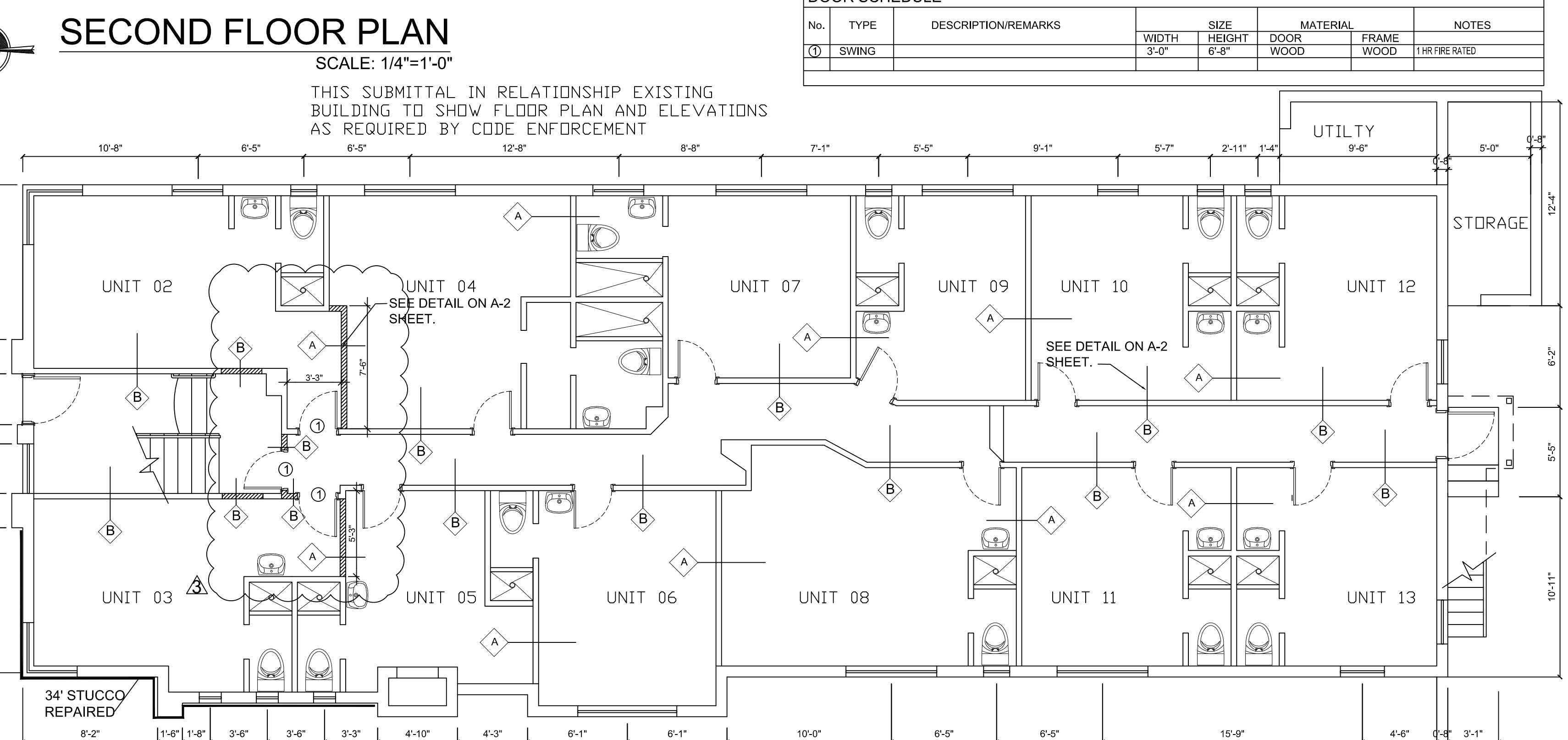
CASE PM2019-03416 WAS SOLVED ENTIRELY

VIOLATION CASE: BVC19000448 TO BE SOLVED



DOOR SCHEDULE

No.	TYPE	DESCRIPTION/REMARKS	WIDTH	SIZE HEIGHT	DOOR	MATERIAL	FRAME	NOTES
①	SWING		3'-0"	6'-8"	WOOD	WOOD		1 HR FIRE RATED



GROUND FLOOR PLAN
 SCALE: 1/4"=1'-0"

THIS SUBMITTAL IN RELATIONSHIP EXISTING BUILDING TO SHOW FLOOR PLAN AND ELEVATIONS AS REQUIRED BY CODE ENFORCEMENT

EMILIANO OROZCO P.E.
 949 SW 122 AVENUE
 MIAMI, FLORIDA 33184
 PHONE: (786) 715-7125
 emilianocentury21@gmail.com

EXISTING BUILDING VIOLATIONS TO BE FIXED

GUSTEL ENTERPRISES INC
 101 CRANDON BLVD

230 31 STREET
 MIAMI BEACH, FL 33140

Digitally signed by Emiliano Alberto Orozco
 Date: 2021.01.27 20:54:25 -05'00' SEAL

DATE: 02-04-2020
 SCALE: AS SHOWN
 DESIGNED: E.O.
 DRAWN: E.O.
 CHECKED: []
 DRAWING NO.: **A-1**
 SHEET OF

FLOOR PLAN GENERAL NOTES :

GENERAL NOTES REFER TO THIS SHEET ONLY. -

A. GRAPHIC SCALE:
 DO NOT SCALE DRAWINGS LARGER SCALE DRAWINGS SHALL CONTROL OVER SMALLER SCALE DRAWINGS COVERING THE SAME AREA ALL DIMENSIONS SHALL BE FIELD VERIFIED. DIMENSIONS REQUIRING CLARIFICATION SHALL BE OBTAINED FROM ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.

B. DIMENSIONS:
 GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY IN FIELD (V.I.F.) ANY/ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION SPECIALLY DIMENSION INDICATED WITH MARK "V.I.F." (VERIFY IN FIELD).

C. PLAN GRAPHICS:
 ALL EXTERIOR WALLS (C.M.U.) DRAWN WITH AN 8" THICKNESS ALL INTERIOR WALLS DRAWN W/4" THICKNESS. EXISTING CONDITIONS MAY VARY SLIGHTLY.

D. WALL ASSEMBLIES:
 FOR WALL ASSEMBLY INFORMATION REFER TO WALL DETAILS AND DETAIL NOTES AS INDICATED ON SCHEDULE THIS SHEET.

E. 2-HOUR (2HR) RATED UNIT SEPARATION:
 PER TABLE 709.21.48 OF F.B.C. 2010 EDITION TYPE "X" GYP WALL BOARD (40 MIN. RATED) 3/4" PORTLAND CEMENT-SAND PALTER ON METAL LATH (20 MIN. RATED).

F. FIRE STOPPING:
 PROVIDE FIRE STOPS AT 8'-0" O.C. AND AT CEILING HEIGHT. TYPICAL.

G. ALIGNMENT OF ASSEMBLIES:
 WHEN WALL ASSEMBLIES ARE A CONTINUATION OF PARTITIONS OR COLUMN ENCASMENTS, FACE OF ASSEMBLY SHALL BE ALIGNED WITH FACE OF PARTITIONS OR COLUMN ENCASMENT, U.N.O.

H. INSULATION:
 CONCEALED INSULATING MATERIALS WITHIN WALL, FLOOR AND CEILING CAVITIES (COMPLETELY ENCLOSED BY APPLIED FINISHES) SHALL HAVE A FLAME SPREAD RATING NO GREATER THAN 75 AND SMOKE DEVELOPED RATING NO GREATER THAN 450 PER 'ASTM E 84' (FBC-2010 CHAPTER 7). ALL WALL INSUL. SHALL COMPLY WITH FBC-2010 CHAPTER 7.

J. ACCESS PANELS:
 VERIFY THAT ACCESS PANELS ARE INSTALLED IN WALLS AND NON-ACCESSIBLE TYPE CEILINGS WHERE SERVICE OR ADJUSTMENT TO MECHANICAL, PLUMBING, OR ELECTRICAL ITEMS SHALL BE REQUIRED. ACCESS PANELS SHALL BE THE FIRE RATED TYPE EQUAL TO THE RATING OF THE WALL OR CEILING IN WHICH THEY OCCUR.

K. PRODUCT APPROVALS:
 SUBMIT MIAMI DADE COUNTY PRODUCT APPROVALS FOR ROOF, DOORS AND WINDOWS PRIOR TO INSTALLATION.

L. ROOF PERMIT:
 SUBMIT PRODUCT APPROVAL AND SHOP DRAWINGS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO SUBMITTAL TO BUILDING DEPARTMENT.

M. IMPACT RESISTANT WINNWS AND DOORS:
 1. EXTERIOR DOORS AND WINDOWS TO BE IMPACT RESISTANT CLEAR IN SPECIAL ALUM. FRAME OR SIMILAR.
 2. SUBMIT MIAMI DADE COUNTY PRODUCT APPROVAL FOR ALL EXTERIOR DOORS AND WINDOWS PRIOR TO INSTALLATION.
 3. GLASS AT BATHROOM WINDOWS SHALL BE FROSTED
 4. INSTALL ALL EXTERIOR DOORS AND WINDOWS IN ACCORDANCE WITH APPROVAL SPECIFICATIONS.
 5. ATTACH DOOR AND WINDOW BUCKS WITH FASTENERS STARTING AT 3 INCHES FROM ENDS THEN SPACED AT 6 INCHES O.C. STAGGERED. APPLY ADHESIVE SEALANT BETWEEN BUCK AND MANSORY REFER TO DETAILS.

N. RAILINGS:
 ALL RAILING MUST BE 42" HT. ALUM. RAILING PRE FINISH SYSTEM ESP. WITH INTERMEDIATE ORNAMENTAL PATTERN SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH ANY OPENING UP TO THE HEIGHT OF 34". A BOTTOM RAIL OR CURB BE PROVIDED THAT WILL REJECT THE PASSAGE OF 2" DIAMETER SPHERE AS PER SEC 1015-101.3 OPENING. FLORIDA BUILDING CODE 2010 EDITION.

P. FINISH SPECIFICATIONS:
 REFER TO OWNER PROVIDED SPECIFICATION SCHEDULES FOR SPECIFIC MATERIAL AND FINISH INFORMATION.

Q. PREPARE FLOOR PER MANUFACTURER'S RECOMMENDATIONS FOR THE INSTALLATION OF NEW FLOORING REFER TO OWNER SPECIFICATIONS FINISH SCHEDULE AND FOUNDATION SLAB PLAN.

R. BATHROOM NOTE:
 ALL WATER CLOSETS HAVE BEEN DESIGNED SUCH THAT THERE IS 15 INCH. MIN. (CLEAR) BETWEEN FIXTURE AND ADJACENT WALL SHOWER TUB. CABINET OR OTHER CONSTRUCTION AND PLACES NO CLOSER THAN 30. INCHES CENTER-TO-CENTER BETWEEN TOILETS OR ADJACENT FIXTURES. THERE SHALL BE AT LEAST 18 INCHES CLEARANCE IN FRONT OF THE WATER CLOSET OR BIDET TO ANY WALL, FIXTURE OR DOOR AS PER SECTION 405 F.B.C. 2010 EDITION (PLUMBING). VERIFY IN FIELD AND REPORT ANY DISCREPANCIES.

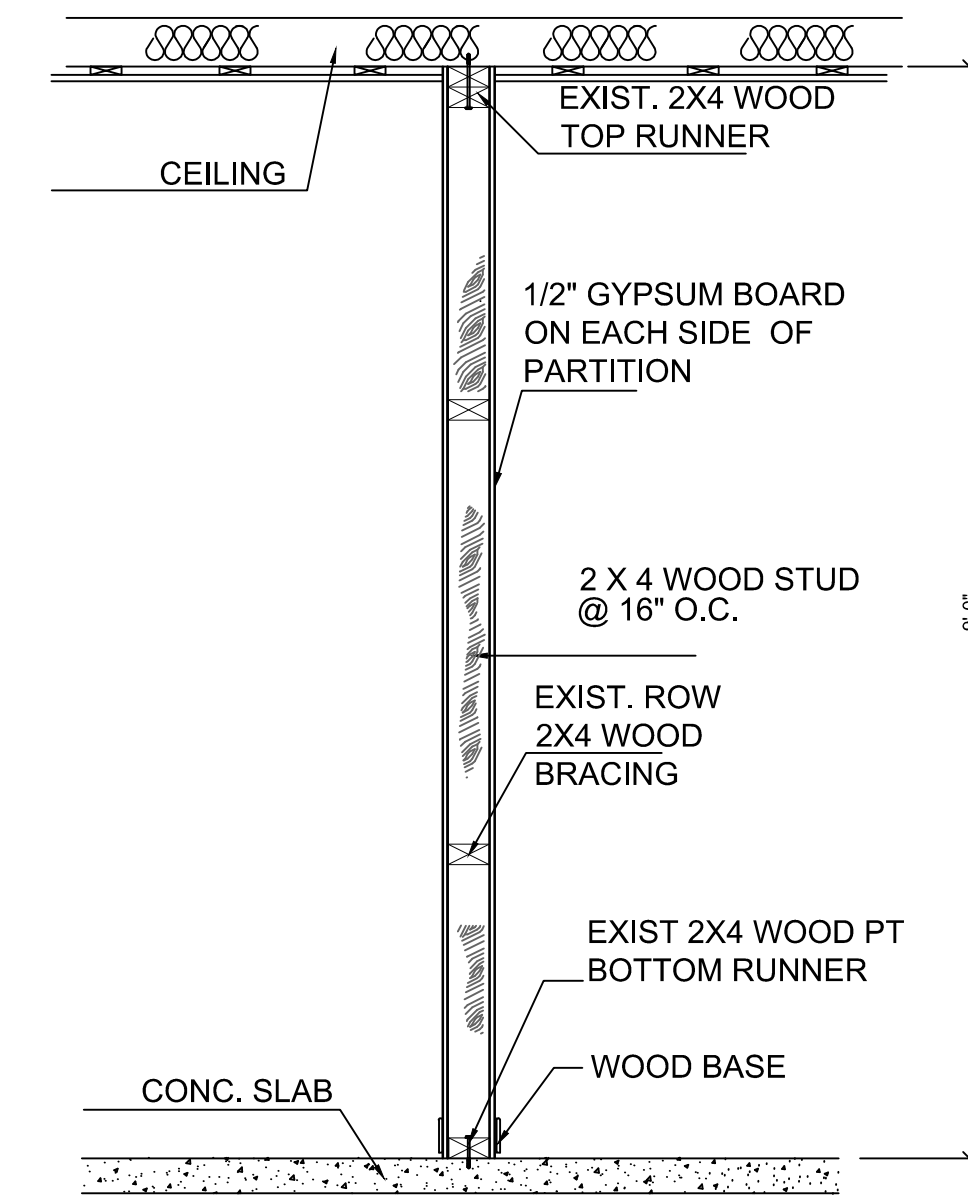
S. BATHROOM GLASS:
 ALL GLASS SHOWER ENCLOSURES GLASS TUB ENCLOSURES, AND MIRRORS SHALL BE SAFETY-GLAZING. PER F.B.C. 2010 EDITION.

T. EQUIPMENT AND APPLIANCES:
 ELECTRICAL, MECHANICAL AND PLUMBING EQUIPMENT AND APPLIANCES INDICATED ON PLAN ARE PROVIDED FOR REFERENCE ONLY. REFER TO INDIVIDUAL SHEETS AND/OR PROJECT SPECIFICATIONS FOR INFORMATION. CONCERNING THESE ITEMS.

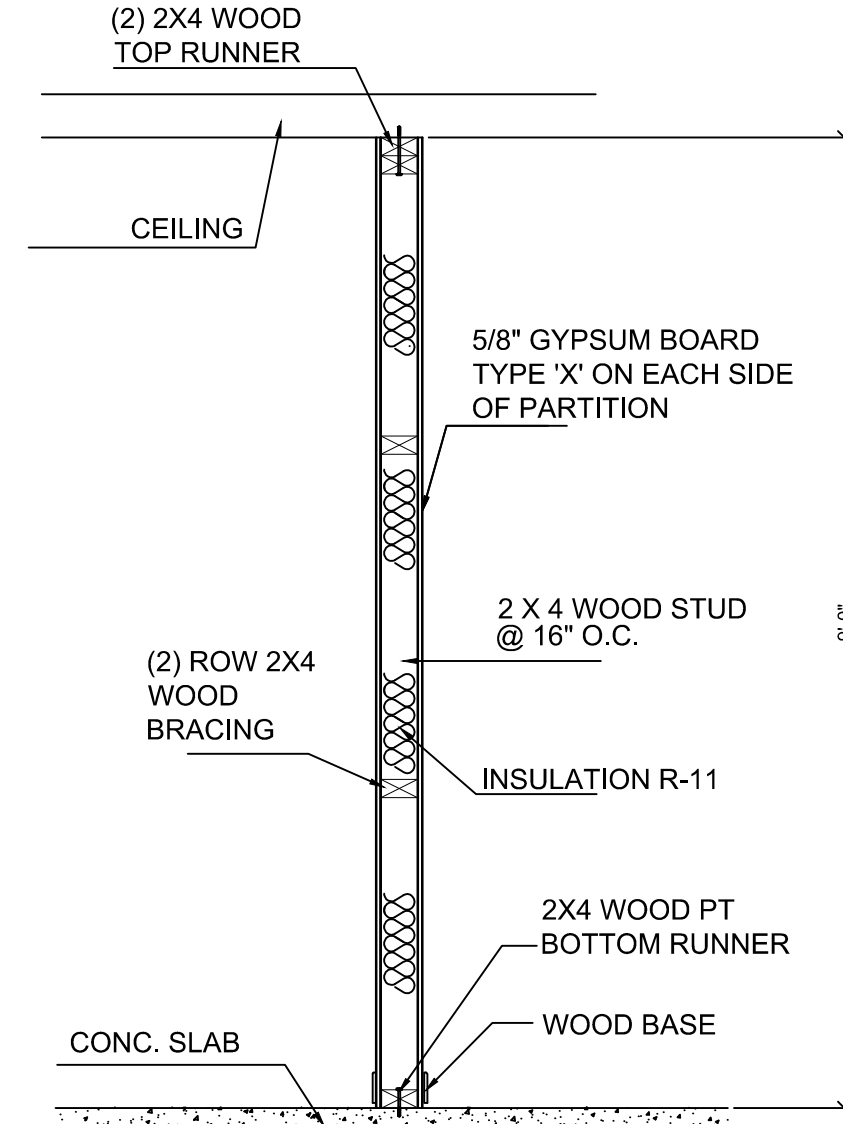
FLOOR PLAN KEY NOTES:

NOTE: KEY NOTES APPLY TO GROUND FLOOR

- EXTERIOR WALL - REFER TO WALL TYPE SCHEDULE THIS SHEET.
- PLUMBING FIXTURE - FIXTURES SELECTED BY OWNER W/ MIN POSITIVE WATER FLOW AND OR USAGE LIMITED TO 1.8 GAL PER MIN. PER FBC-2010.
- DOOR - DOOR AND FRAME IDENTIFICATION TAG SIZE AND TYPE PER SCHEDULE.
- WINDOW - GLAZING ASSEMBLY (WINDOW). IMPACT RATED AND TESTED IN COMPLIANCE WITH BROWARD COUNTY CODE COMPLIANT REFER TO WINDOW SCHEDULE.
- FURNITURE - FURNITURE LAYOUT IS INDICATED FOR REFERENCE AND WILL BE PROVIDED BY OWNER.
- MATCH LINE - LINE OF BUILDING UPON WHICH STRUCTURE IS MIRRORED, TYPICAL.
- SOFFIT - LINE OF SOFFIT OR CABINET LINE ABOVE.
- STAIR - CONCRETE STAIR, REFER TO BUILDING SECTION AND STRUCTURAL.
- RATED ASSEMBLY - UNIT FIRE SEPARATIONS, NO THROUGH PENETRATIONS ALLOWED.
- INSULATED WALL ASSEMBLY.
- CABINET LAYOUT CONCEPTUAL RETAIN CLEARANCES.



NON-RATED
 NON-BEARING INTERIOR PARTITION (TYP.)
 SCALE: NTS.



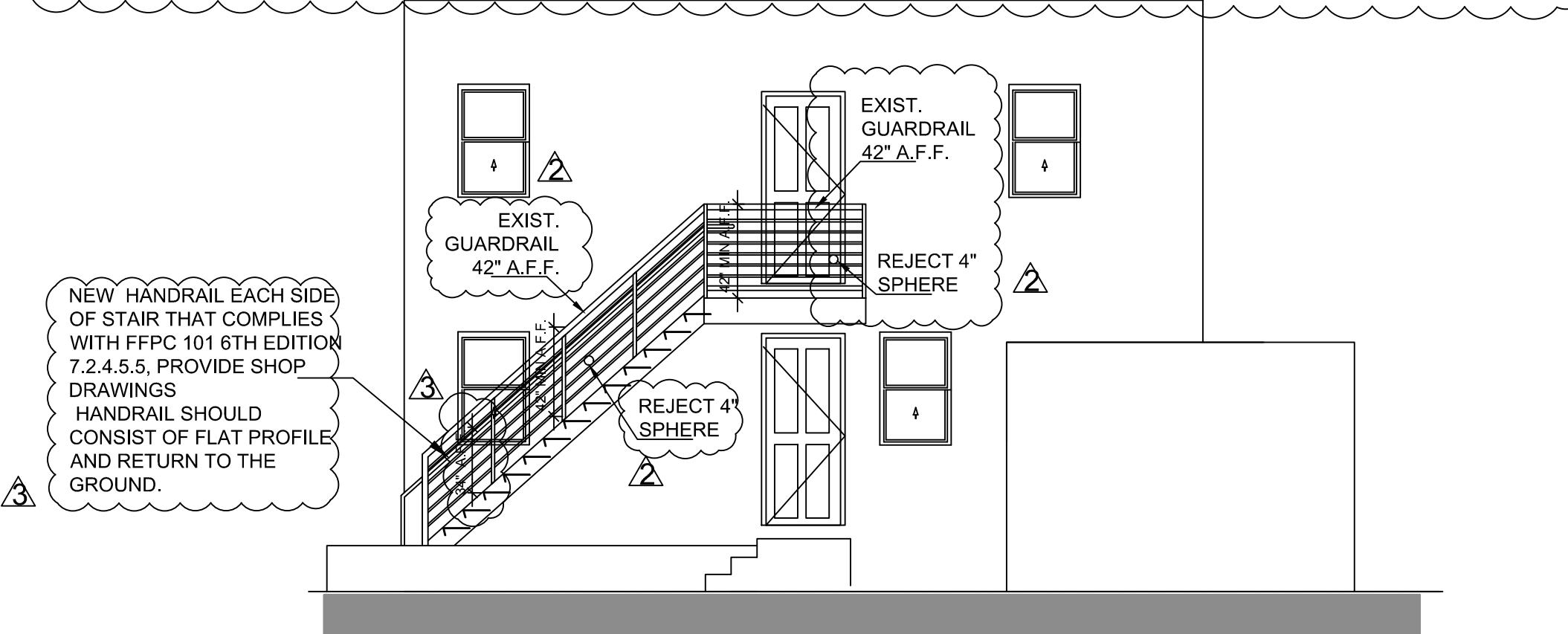
1-HR. FIRE RATED
 NON BEARING PARTITION
 U.L. - U337
 SCALE: NTS.



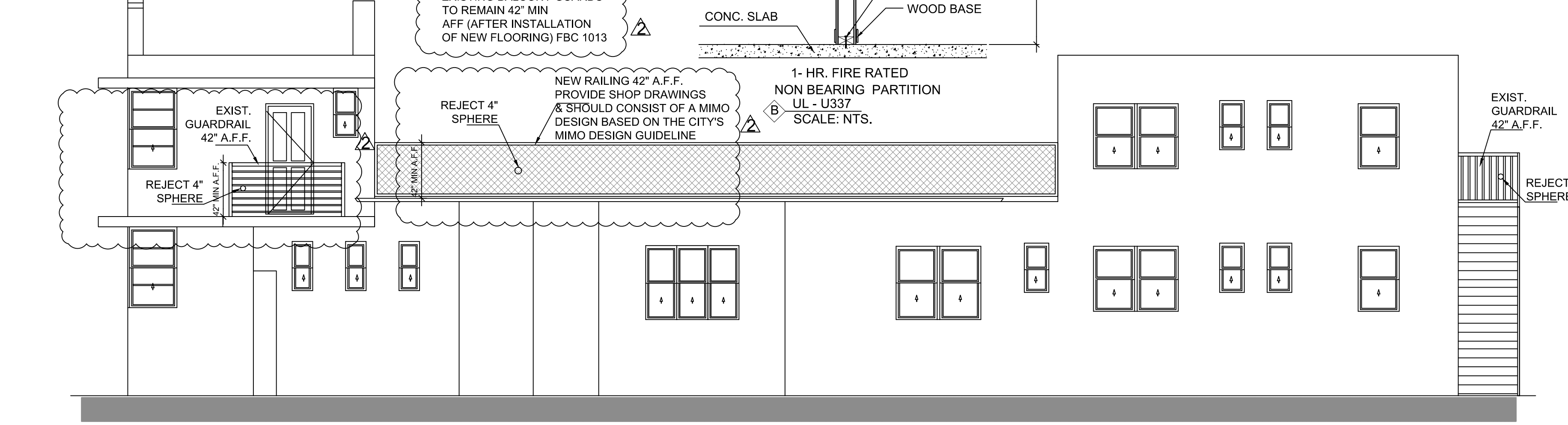
EXISTING RAILING
 TO BE REVIEWED BY
 PLANNING
 DEPARTMENT

WINDOWS/DOORS, ROOFING/WATERPROOFING,
 RAILINGS/FENCES, TRELLISES/PERGOLAS/CANOPIES,
 POOLS/WATER-FEATURES, PREFABRICATED
 STAIRS/LADDERS AND ELEVATORS, REQUIRE
 SEPARATE PERMITS AS PER CMB

GUARDRAILS SHALL COMPLY
 WITH FBC SECTION 1015
 EXISTING BALCONY GUARDS
 TO REMAIN 42" MIN
 AFF (AFTER INSTALLATION
 OF NEW FLOORING) FBC 1013



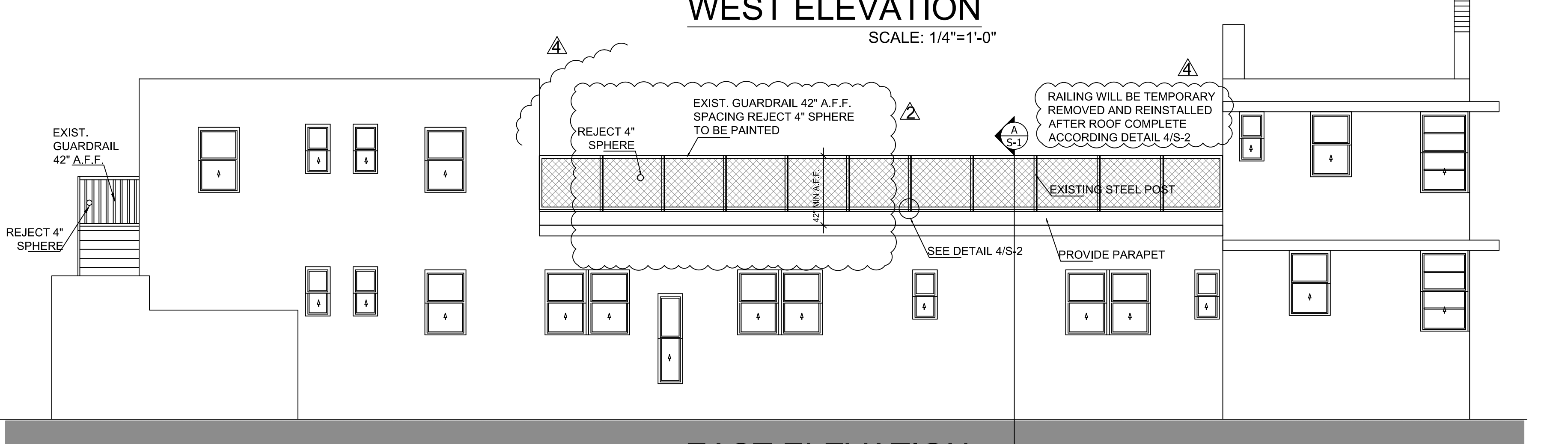
SOUTH ELEVATION
 SCALE: 1/4"=1'-0"



WEST ELEVATION
 SCALE: 1/4"=1'-0"



NORTH ELEVATION
 SCALE: 1/4"=1'-0"



EAST ELEVATION
 SCALE: 1/4"=1'-0"

THIS SUBMITTAL IN RELATIONSHIP EXISTING
 BUILDING TO SHOW FLOOR PLAN AND ELEVATIONS
 AS REQUIRED BY CODE ENFORCEMENT

EMILIANO OROZCO P.E.
 949 SW 122 AVENUE
 MIAMI, FLORIDA 33184
 PHONE: (786) 715-7125
 emilianocentury21@gmail.com

EXISTING BUILDING-VIOLATIONS TO BE FIXED

GUSTEL ENTERPRISES INC
 101 CRANDON BLVD

230 31 STREET
 MIAMI BEACH, FL 33140

Digitally signed
 by Emiliano
 Alberto Orozco
 Date: 2021.01.27
 20:54:49 -05'00'
 SEAL

DATE
 02-04-2020

SCALE
 AS SHOWN

DESIGNED
 E.O.

DRAWN
 E.O.

DRAWING NO.
A-2

SHEET OF

NO.	DATE
1	06-25-20
2	08-25-20
3	11-18-20

EMILIANO OROZCO P.E.
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 MIAMI, FLORIDA 33184
 PHONE: (786) 715-7125
 emilianocentury21@gmail.com

EXISTING BUILDING VIOLATIONS TO BE FIXED

GUSTEL ENTERPRISES INC
 101 CRANDON BLVD

230 31 STREET
 MIAMI BEACH, FL 33140

Digitally signed
 by Emiliano
 Alberto Orozco
 Date: 2020.11.23
 10:18:08 -05'00'
 SEAL

DATE: 02-04-2020
 SCALE: AS SHOWN
 DESIGNED: E.O.
 DRAWN: E.O.
 DRAWING NO.: **E-1**
 SHEET OF

ELECTRICAL SPECIFICATIONS

1. GUARANTEES AND RESPONSIBILITY: ALL MATERIAL AND WORKMANSHIP FOR ONE YEAR FROM DATE OF ACCEPTANCE. ALL DEFECTS SHALL BE CORRECTED WITHOUT CHARGE, INCLUDING ALL PATCHING AND PAINTING AND OTHER INCIDENTAL REPAIRS OR REPLACEMENT.
 2. WORKMANSHIP: ALL WORK SHALL BE INSTALLED IN A NEAT, ORDERLY MANNER. DEVICES, PLATES, EXPOSED RACEWAYS, ENCLOSURES, COVERS, FIXTURES, ETC. SHALL BE ALIGNED PERPENDICULAR TO OR PARALLEL WITH THE PRINCIPAL STRUCTURAL MEMBERS. THE EDGE OF THESE COVERS, PLATES ENCLOSURES, ETC. SHALL BE IN VERTICAL OR HORIZONTAL PLANE AS APPLICABLE FOR THE ITEMS INVOLVED. EXPOSED RACEWAYS SHALL BE OFFSET WHERE THEY ENTER SURFACE-MOUNTED EQUIPMENT. WIRING INSTALLED IN PANELS AND OTHER ENCLOSURES SHALL BE NEATLY LOOPED AND LACED & NOT WADDLED OR BUNDLED.
 3. MATERIAL STANDARDS: ALL MATERIALS SHALL BE NEW & CONFORM TO THE APPLICABLE STANDARDS WHERE SUCH HAVE BEEN ESTABLISHED FOR THE MATERIALS IN QUESTION. THE PUBLICATIONS AND STANDARDS OF THE ORGANIZATIONS BELOW ARE APPLICABLE TO THE MATERIALS SPECIFIED HEREIN.
 - A. AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM)
 - B. UNDERWRITER'S LABORATORIES, INC. (UL)
 - C. AMERICAN STANDARDS ASSOCIATION (ASA)
 - D. NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION (NEMA)
 - E. NATIONAL FIRE PROTECTION ASSOCIATION (NFPA)
- WHERE REFERENCE IS MADE TO TRADE NAMES OR NAMES OF MANUFACTURERS, SUCH REFERENCES ARE MADE SOLELY TO DESIGNATE AND TO IDENTIFY THE QUALITY OF THE MATERIALS OR EQUIPMENT TO BE FURNISHED, AND DOES NOT PRECLUDE THE USE OF "EQUAL" EQUIPMENT AS APPROVED BY THIS ENGINEER.
4. REFERENCE STANDARDS: INSTALLATION SHALL COMPLY WITH THE REGULATIONS OF THE FOLLOWING:
 - A. NATIONAL ELECTRICAL CODE (NFPA), 2008 EDITION
 - B. FLORIDA BUILDING CODE, 2010 EDITION
 5. DO NOT SCALE ELECTRICAL DRAWINGS. REFER TO PLANS AND ELEVATIONS FOR EXACT LOCATION OF ALL EQUIPMENT. CONFIRM WITH OWNER'S REPRESENTATIVE.
 6. THE MINIMUM WIRE SIZE SHALL BE #12 AWG, UNLESS OTHERWISE NOTED. ALL CONDUCTORS SHALL BE COPPER WITH TW INSULATION FOR SIZE #8 AND SMALLER. CONDUCTORS LARGER THAN #8 SHALL HAVE TYPE THW INSULATION, UNLESS OTHERWISE NOTED. ALL CONDUCTORS #10 AND SMALLER MAY BE SOLID AND ALL THOSE #8 AND LARGER SHALL BE STRANDED. ROMEX SIM PULL NM-B
 7. ALL RACEWAYS AND PIPES PLACED IN OR THRU A CONCRETE SLAB SHALL BE SPACED A MINIMUM OF 3 DIAMETERS OF THE LARGEST CONDUIT OR PIPE OF ANY OTHER SERVICE.
 8. ALL RACEWAYS SHALL BE CARLON PY-DUIT, TYPE A, U.L. LISTED OR EQUAL. CONDUIT FITTINGS AND CEMENT SHALL BE PRODUCED BY THE SAME MANUFACTURER.
 - A. RUNS IN CONCRETE IN CONTACT WITH EARTH, UNDERGROUND, EXPOSED OR IN INTERIOR WALLS OR FEEDERS 1 1/4" OR LARGER, SHALL BE RIGID STEEL OR PVC
 - B. METALLIC ELECTRICAL CONDUIT MAY BE USED IN THE INTERIOR PARTITIONS AND CEILINGS.
 9. OUTLET BOXES SHALL BE POLYVINYL CHLORIDE AND SHALL CONFORM TO THE N.E.M.A. STANDARDS.
 10. THE DISCONNECT SWITCHES SHALL BE HORSEPOWER-RATED HEAVY DUTY, QUICK-MAKE/QUICK-BREAK IN N.E.M.A.-1 INTERIOR, 4 EXTERIOR.
 11. IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO FURNISH & INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND PROVIDE ALL REQUIREMENTS FOR THE EQUIPMENT TO BE PLACED IN A PROPER WORKING ORDER. SHOULD ANY ITEMS BE MISSING, HE SHALL NOTIFY THE ARCHITECT/ENGINEER BEFORE COMMENCING WORK. NO ADDITIONAL PAYMENT WILL BE MADE FOR THE CONTRACTOR'S FAILURE TO NOTIFY THE ARCHITECT/ENGINEER.

ELECTRICAL NOTES:

1. OUTSIDE RECEPTACLES, RECEPTACLES AT BATH, GARAGE AND KITCHEN COUNTER, SHALL BE G.F.I.
2. ELECTRICAL METER AND PANEL LOCATION MAY VARY AS PER SERVICE ENTRANCE LOCATION.
3. ELECTRICAL CONTRACTOR TO COORDINATE SERVICE WITH F.P.L.
4. ALL "J" BOXES SHALL COMPLY WITH N.E.C. 314
5. ELECTRICAL OUTLETS (RECEPTACLES AND LIGHTING) BELOW BASE FLOOD ELEVATION SHALL BE INSTALLED AT THE HIGHEST PERMITTED ELEVATION AND SHALL BE INSTALLED ON (SEPARATE) INDEPENDENT CIRCUITS FROM THOSE IN THE HABITAT AREAS.
6. NO APPLIANCES OR APPLIANCE OUTLETS SHALL BE INSTALLED BELOW BASE FLOOD ELEVATION.
7. IT IS SUGGESTED THAT YOU CONFER WITH FLORIDA POWER AND LIGHT TO LOCATE THE ELECTRICAL METER TO COMPLY WITH FEDERAL EMERGENCY MANAGEMENT AGENCY REQUIREMENTS.

NOTES:

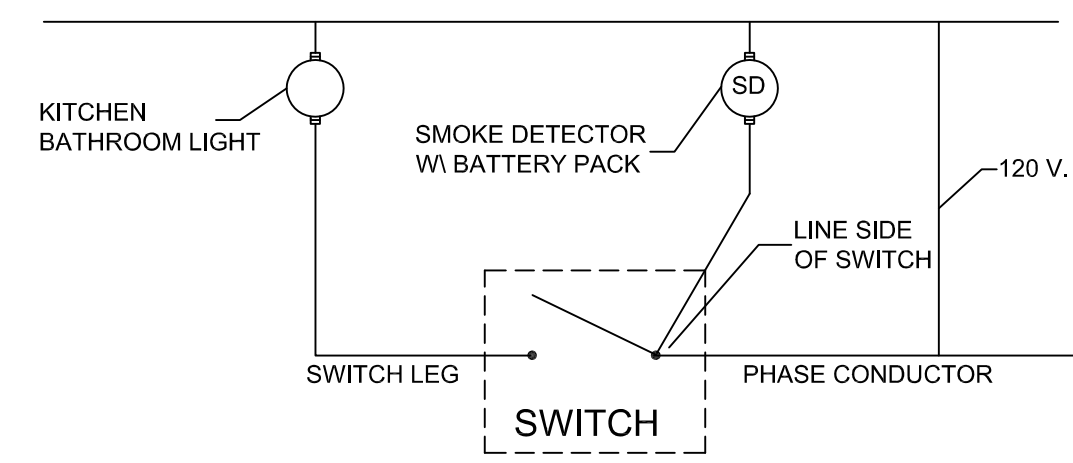
1. AS PER NEC 210.12 PROVIDE ALL OUTLETS IN AREA OF WORK TO BE ARC FAULT INTERRUPTER CIRCUIT.
2. PROVIDE IN THE 15 & 20 AMPS RECEPTACLES CIRCUITS TAMPER-RESISTANT RECEPTACLES AS PER NEC 406.11
 PROVIDE ALL SMOKE DETECTORS WITH BATTERY BACKUP AS PER FBC 907.2.8.3 AND NFPA 72
 15 & 20 AMPS RECEPTACLES IN COMPLIANCE WITH NEC 2008 EDITION ITEMS 210.12 & 406.11 TO BE COMBINATED TYPE-ARC FAULT INTERRUPTOR CIRCUIT AND CIRCUIT-INTERRUPTER CIRCUIT AND CIRCUIT-INTERRUPTER CIRCUIT.
 3. LIGHTING COMPLIES WITH FBC E404.

SCOPE WORK:
 1. INSTALL ALL ELECTRIC SYSTEM AS NEW.
 THERE IS NOTHING EXISTING

TYPE: SQUARE 'D' OR SIMILAR													
SERVICE: COMMERCIAL													
VOLTAGE: 120/240v 1PH. 3W.													
MOUNTING: SURFACE													
EXIST. ELECT. PANEL "A"													
(ALL 20 AMPS, 1 POLE CKTS. EXCEPT AS NOTED)													
AMPS	POLES	TOTAL V.A.	COND. WIRE SIZE	REMARKS	CKT. NO.	REMARKS	WIRE SIZE	COND. NOMEX	TOTAL V.A.	POLES	AMPS		
60	2	8,000	3/4"	6	1	SUB-PANEL UNIT 01			60	3/4"	8,000	1	60
60	2	8,000	3/4"	6	2	SUB-PANEL UNIT 02			60	3/4"	8,000	1	60
60	2	8,000	3/4"	6	3	SUB-PANEL UNIT 03			60	3/4"	8,000	1	60
60	2	8,000	3/4"	6	4	SUB-PANEL UNIT 04			60	3/4"	8,000	1	60
60	2	8,000	3/4"	6	5	SUB-PANEL UNIT 05			60	3/4"	8,000	1	60
60	2	8,000	3/4"	6	6	SUB-PANEL UNIT 06			60	3/4"	8,000	1	60
60	2	8,000	3/4"	6	7	SUB-PANEL UNIT 07			60	3/4"	8,000	1	60
60	2	8,000	3/4"	6	8	SUB-PANEL UNIT 08			60	3/4"	8,000	1	60
60	2	8,000	3/4"	6	9	SUB-PANEL UNIT 09			60	3/4"	8,000	1	60
20	1	720	1/2"	12	10	HALLWAY REC			12	1/2"	360	1	20
20	1	400	1/2"	12	11	HALLWAY LIGHTS			12	1/2"	600	1	20
20	1	600	1/2"	12	12	FIRE ALARM PANEL							

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
⊙	CEILING MOUNTED LIGHT
⊕	DUPLEX RECEPTACLE
⊕	RECEPTACLE GROUND FAULT INTERRUPTER
⊕	EXISTING ELECTRICAL PANEL
⊕	WALL SWITCH (SINGLE, DOUBLE)
⊕	WALL SWITCH (3-WAY)
⊕	220 VOLT RECEPTACLE
⊕	DISCONNECT SWITCH
⊕	EXHAUST FAN:50CFM 120-1-60
⊕	CEILING MOUNTED SMOKE DETECTOR
⊕	CEILING MOUNTED CARBON DETECTOR
⊕	WALL MOUNTED LIGHT
⊕	CEILING MOUNTED FAN/LIGHT
⊕	CARBON MONOXIDE DETECTOR

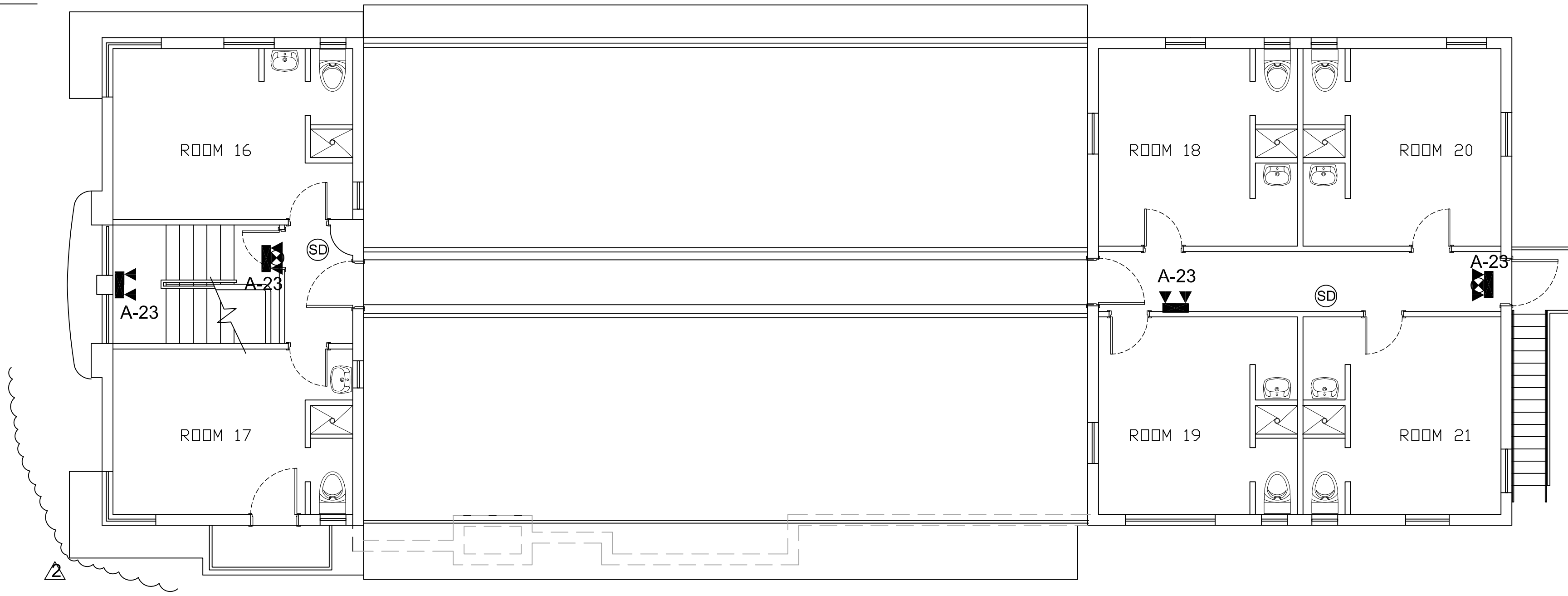
ABBREVIATIONS:
 R= EXISTING TO BE RELOCATED
 N= NEW CIRCUIT
 UC= UNDER CABINET
 C= COUNTER TOP LEVEL
 BC= BELOW COUNTER
 GFI= GROUND FAULT INTERRUPTER
 VH= VERIFY PRIOR TO INSTALLATION
 PB= PUSH BUTTON
 VP= VAPOR PROOF
 WP= WEATHER PROOF
 EL= EXTERIOR LIGHT



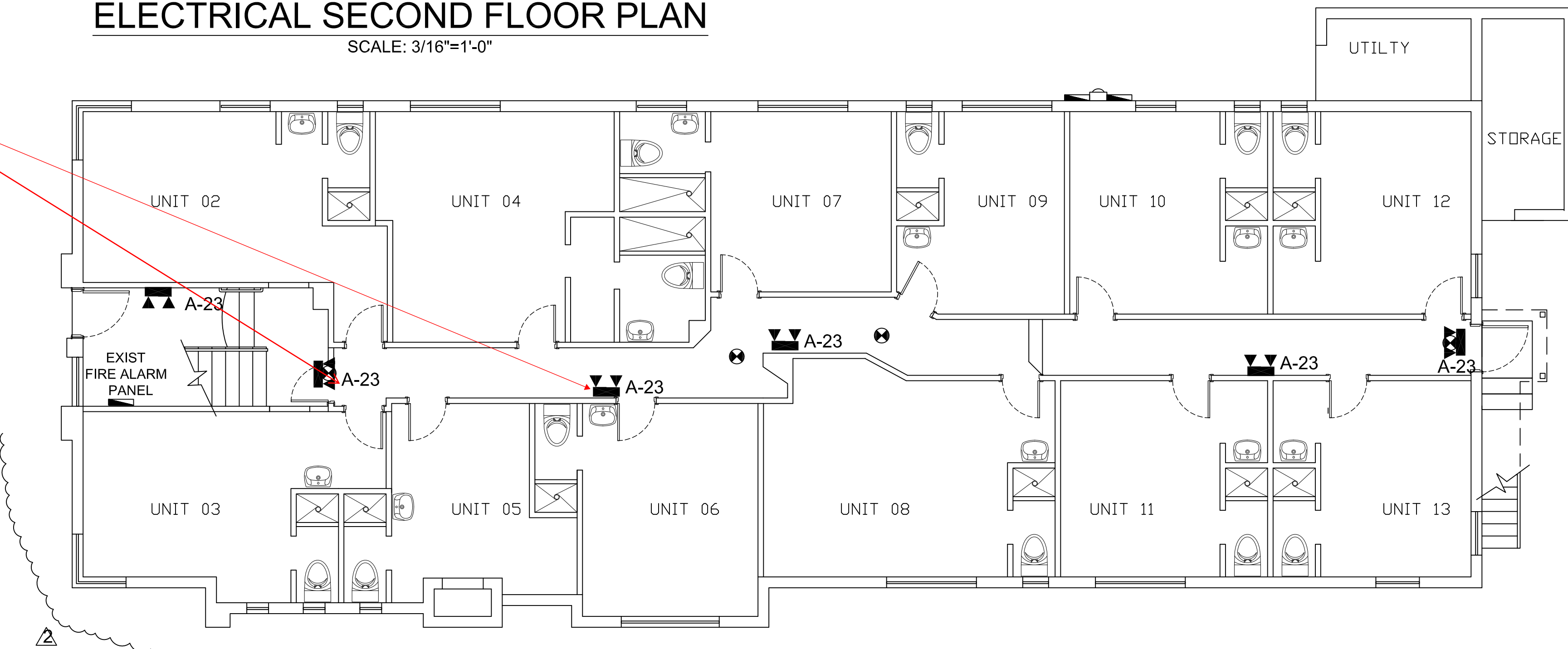
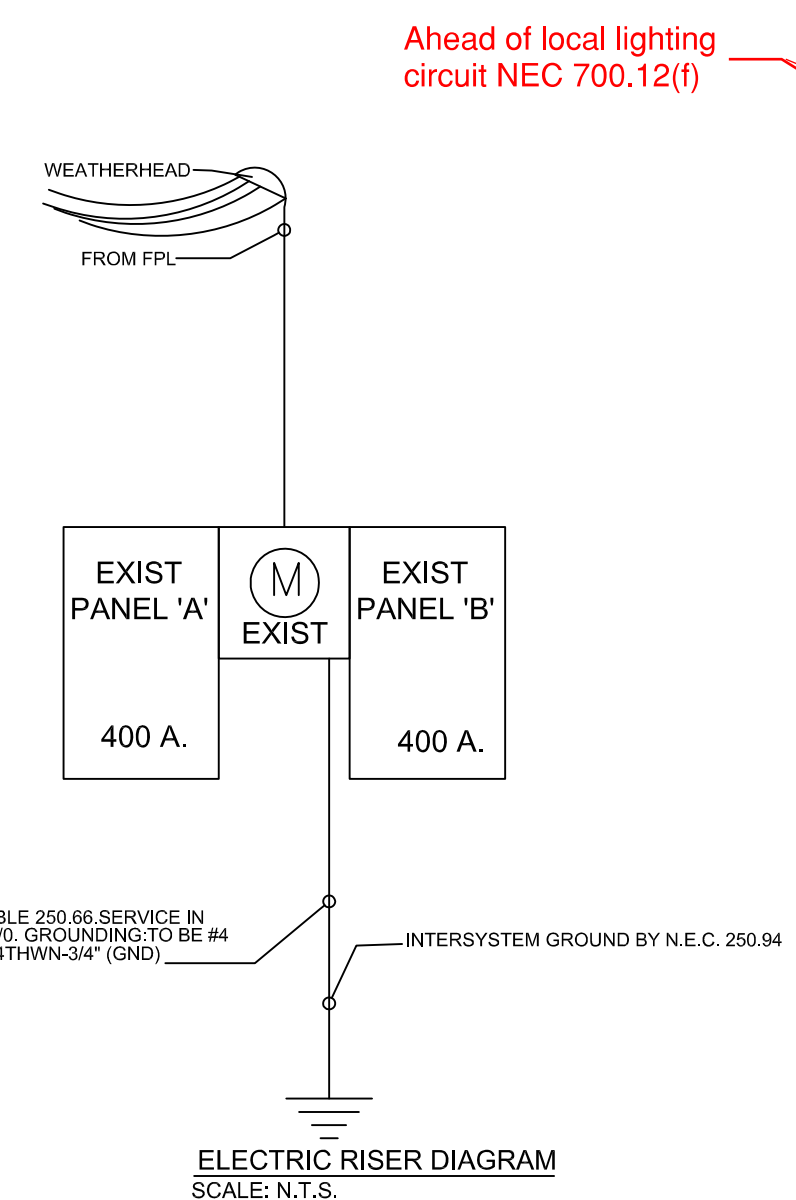
SMOKE DETECTOR CONNECTION DETAIL
 SCALE: N.T.S.

ELECTRICAL SCOPE OF WORK:

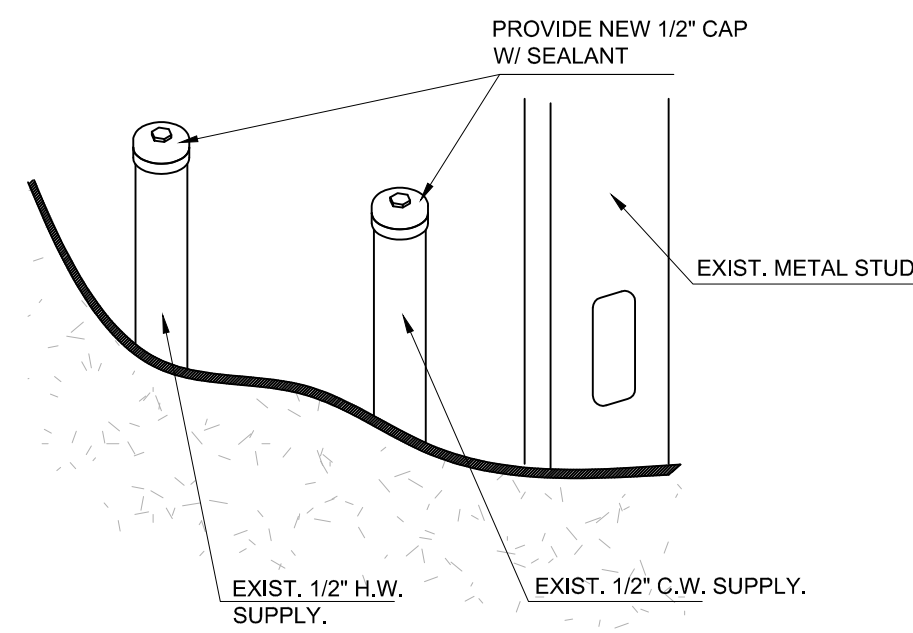
- REPLACE EMERGENCY LIGHTS AND EXIT LIGHTS IN LIGHT CIRCUIT TO AREA THAT ARE SERVED.
- REPLACE SMOKE DETECTORS TO EXISTING FIRE ALARM PANEL CIRCUIT BY SEPARATED FIRE ALARM PERMIT.
- ALL NOT PERMITTED ELECTRICAL TO BE REMOVED



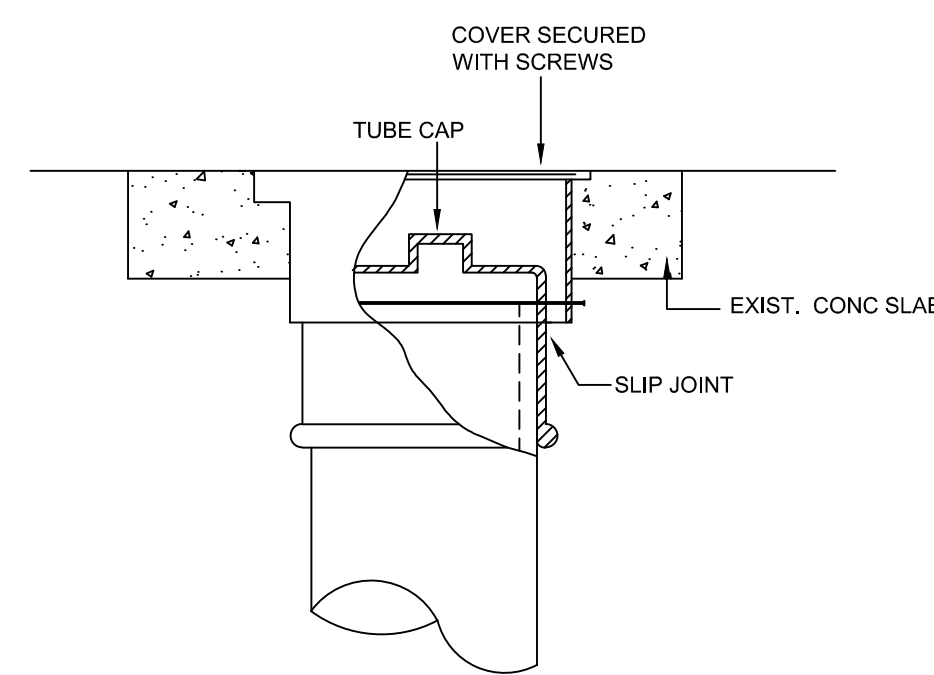
ELECTRICAL SECOND FLOOR PLAN
 SCALE: 3/16"=1'-0"



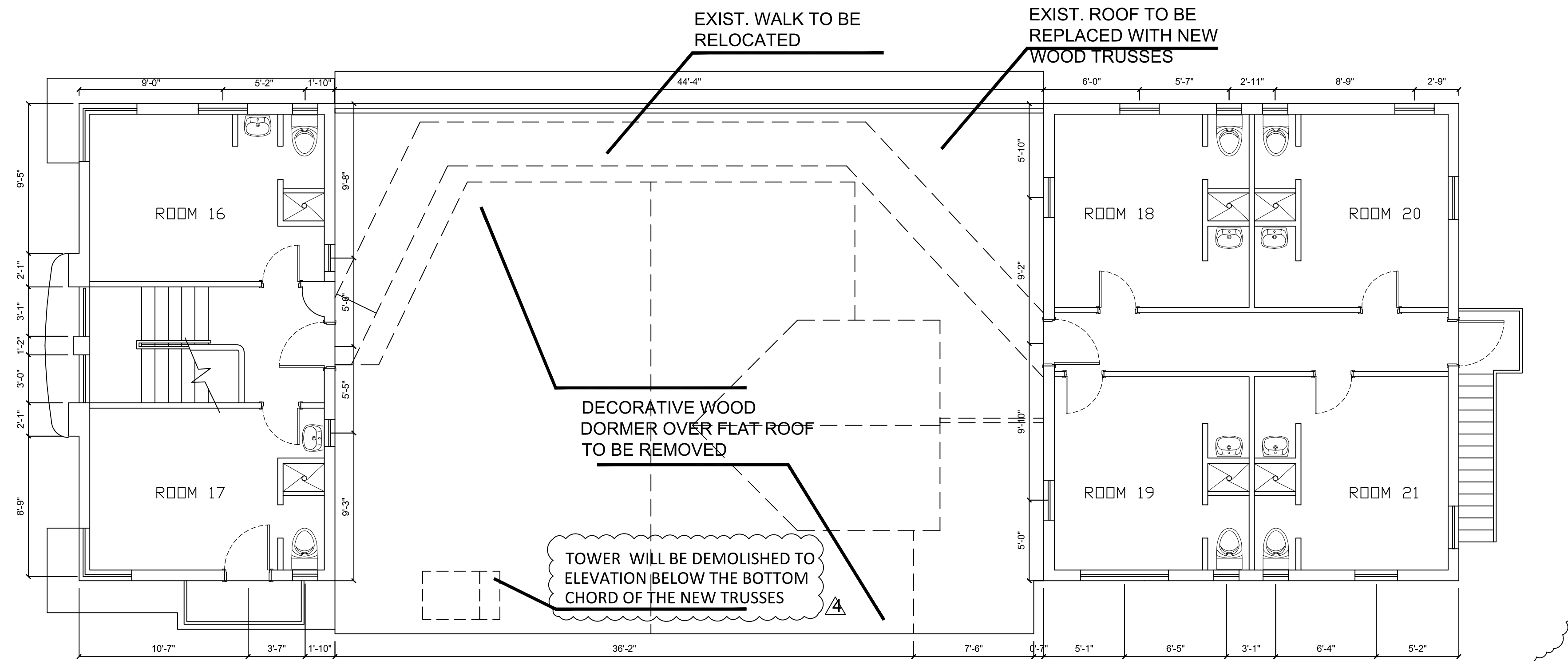
ELECTRICAL GROUND FLOOR PLAN
 SCALE: 3/16"=1'-0"



PLUMBING CAP DETAIL
 SCALE: N.T.S.



SEWER CAP DETAIL
 SCALE: N.T.S.



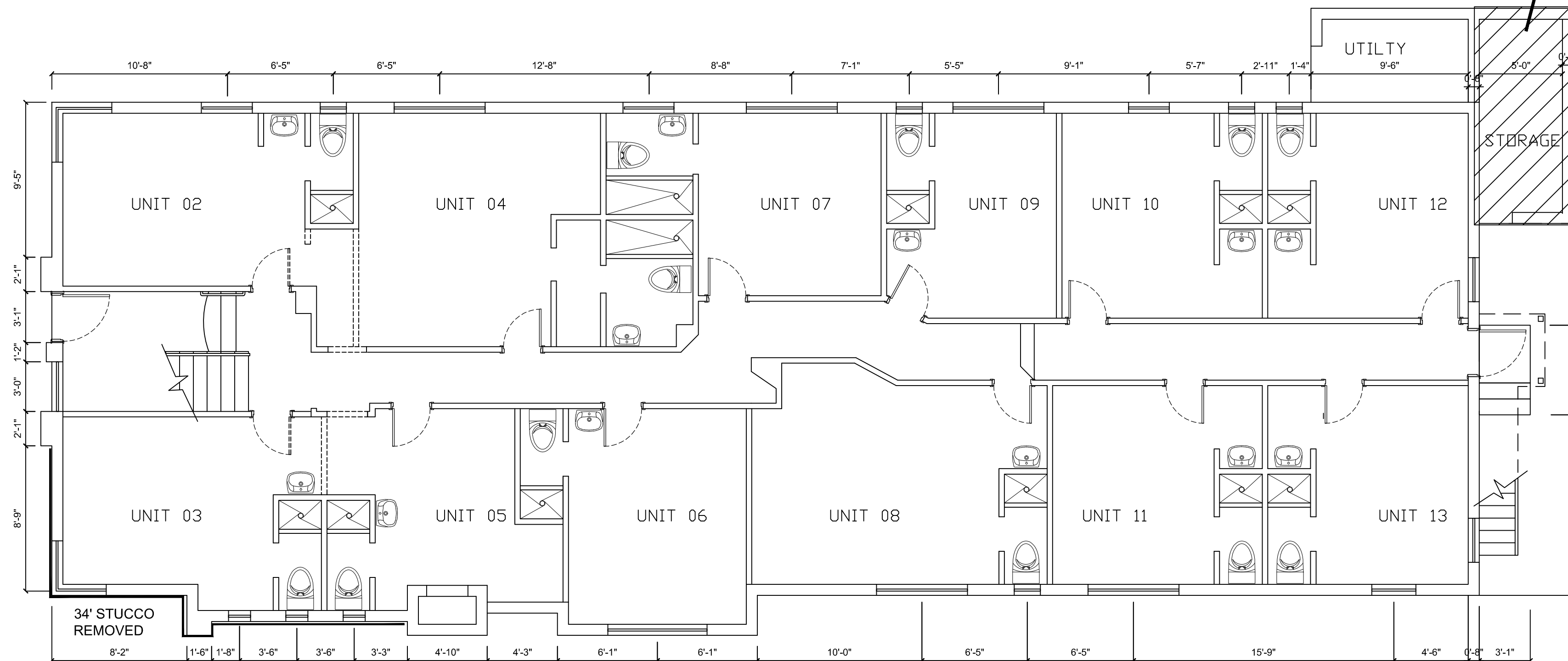
SECOND FLOOR DEMOLITION PLAN
 SCALE: 3/16"=1'-0"

ALL NON-PERMITTED PLUMBING AND ELECTRICAL INSTALLATION ON STORAGE TO BE REMOVED.
 ALL PLUMBING TO BE END CAP AND ELECTRICAL INSTALLATION TO BE SAFETY BY NFPA.

DEMOLITION NOTES:

- ① GENERAL CONTRACTOR SHALL VISIT THE SITE & FAMILIARIZE HIS/HERSELF W/ ALL EXIST. CONDITIONS @ THE JOBSITE, & ALSO, COORDINATE W/ APPROVED PLANS & W/ ARCHITECT ABOUT WORK TO BE DONE.
- ② ALL AREAS ADJACENT TO DEMO/ REMOVED WORK SHALL BE LEFT IN SUCH A CONDITION- EQUAL TO THAT OF ADJACENT AREAS-, READY TO APPLY FINISH.
- ③ ELECTRICAL CONTRACTOR TO REMOVE EXISTING RECEPTACLES, TELEPHONE, SWITCHES, AND ANY OTHER ELECTRICAL DEVICES AS INDICATED ON ELECT. PLAN OR AS REQUIRED BY DRAWINGS, PROVIDE THE ARCHITECT/ENGINEER WITH A AS-BUILT SCHEMATIC DRAWINGS OF FINAL INSTALLATION FOR RECORD PURPOSES.
- ④ CONTRACTOR IS NOTIFIED THAT NOT ALL EXISTING DEVICES MAY NOT HAVE BEEN INDICATED ON THE DRAWINGS AND THAT SOME EXISTING ELECTRICAL DEVICES MAY NOT HAVE BEEN SHOWN IN THEIR ACTUAL LOCATION. CONTRACTOR IS REQUIRED TO VISIT SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS PRIOR TO DETERMINING THE WORK THAT NEEDS TO BE ACCOMPLISHED AS PART OF HIS/HER BID.
- ⑤ THE WORK SHALL INCLUDE THE FURNISHING OF ALL MATERIALS, CUTTING, EXTENDING, CONNECTING, REPAIRING, ADAPTING, AND OTHER WORK COINCIDENTAL HERETO, TOGETHER WITH TEMPORARY INSTALLATIONS AS MAY BE NECESSARY TO SATISFY THE DEMOLITION PROGRAM. APPROVAL SHALL BE SECURED FROM THE ARCHITECT PRIOR TO CUTTING/DRILLING ANY STRUCTURAL SUPPORT.
- ⑥ ALL BUILDING CONSTRUCTION AFFECTED BY THE REMOVAL, RELOCATION, INSTALLATION OF ANY PIECE OF EQUIPMENT SHALL BE REPAIRED AND FINISHED AS REQUIRED TO MATCH EXISTING CONDITIONS OR AS DIRECTED BY ARCHITECTURAL DRAWINGS, SPECIFICATIONS, OR OWNER'S REPRESENTATIVE.
- ⑦ WHEN ELECTRICAL DEVICES ARE INSTALLED IN PARTITIONS OR CEILING TO BE REMOVED, THE ELECTRICAL CONTRACTOR SHALL DISCONNECT THEM UP TO THE NEXT OUTLET TO REMAIN OR BACK TO THE PANELBOARD, IF EXISTING TO REMAIN. OUTLETS ARE FED THROUGH DEMOLISHED PARTITIONS OR CEILINGS, THE CIRCUIT SHALL BE REARRANGED TO MAINTAIN CIRCUIT CONTINUITY. WIRE SHALL BE REMOVED BACK TO SOURCE FROM INACCESSIBLE RACEWAYS NOT REUSED. INSTALL BLANK PLATES ON FLUSH OUTLETS NOT REUSED. PLATE COLOR SHALL MATCH ADJACENT SURFACE AS NEAR AS POSSIBLE IN FINISHED AREAS.
- ⑧ ALL ELECTRICAL EQUIPMENT SHALL BE REMOVED FROM STRUCTURE TO BE REMOVED. ACCESSIBLE RACEWAYS, WIRES, BOXES, SWITCHES, AND OTHER ELECTRICAL ITEMS ASSOCIATED WITH WORK SHALL BE REMOVED IF NOT REQUIRED FOR NEW EQUIPMENT TO CONTINUE IN SERVICE.
- ⑨ ALL MATERIAL REMOVED SHALL BE DISPOSED OF AS DIRECTED BY OWNER.
- ⑩ ALL A/C COND. DUCTS & ELECTRICAL CONNECTIONS TO BE DISCONNECTED AND PREPARED FOR CONNECTION @ NEW EQUIPMENT LOCATION. SEE MECHANICAL PLANS FOR MORE INFO.

GENERAL CLEANED WAS DONE TO MATCH WITH CITY REQUIREMENTS



DEMOLITION GROUND FLOOR PLAN
 SCALE: 3/16"=1'-0"

CRACKING OR BROKEN STUCCO WAS REPAIRED AS SHOWN ON TYPICAL WALL SECTION
 34\"/>

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STRUCTURAL NOTES

GENERAL NOTES:
STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH JOB SPECIFICATIONS AND ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND SITE DRAWINGS. CONSULT ARCHITECTURAL DRAWINGS FOR SLEEVES, DEPRESSIONS, AND OTHER DETAILS NOT SHOWN ON STRUCTURAL DRAWINGS. AS A MINIMUM, CONSTRUCTION SHALL COMPLY WITH FLORIDA BUILDING CODE (F.B.C.) 2017, LAST EDITION, ACI 318-14, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE, ACI 308, AISI MANUAL 2012, NORTH AMERICAN SPECIFICATION FOR DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS S602-01, AND AISI SPECIFICATIONS.
ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUCTED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE ON THE PROJECT, EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD. DO NOT SCALE THE DRAWINGS. FOLLOW WRITTEN DIMENSIONS ONLY. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH THE AFFECTED PART OF THE WORK.
THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCES TO INSURE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS WORK INCLUDES THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS OR TIEDOWNS. THE CONTRACTOR SHALL SUPPLEMENT THE MINIMUM REQUIRED FOUNDATION AND SITE PREPARATION REQUIREMENTS AND SLAB-ON-GRADE THICKNESS TO HANDLE CONSTRUCTION LOADS.

DESIGN LOADS:
THE STRUCTURAL FRAMING WAS DESIGNED USING THE FOLLOWING SUPERIMPOSED LOADS. DESIGN WIND LOADS WERE DETERMINED IN ACCORDANCE WITH ASCE 7-10.
ROOF DECK:
DEAD LOAD = 25 PSF
LIVE LOAD = 100 PSF

WIND:
DESIGN WIND SPEED = 175 MPH
RISK CATEGORY = II
EXPOSURE C
INTERNAL PRESSURE COEFFICIENT = + 0.18/- 0.18

FOUNDATION/ ALLOWABLE BEARING CAPACITY :
FOOTING WERE DESIGNED FOR AN ALLOWABLE SOIL BEARING PRESSURE OF 2,000 PSF. PRIOR INSTALLATION OF ANY FOOTING FOUNDATION SYSTEM FOR THE NEW BUILDING, STRUCTURES OR ADDITIONS, THE BUILDING OFFICIAL SHALL BE PROVIDED WITH A STATEMENT OF ALLOWABLE BEARING CAPACITY FROM THE ENGINEER OF RECORD. SAID STATEMENT SHALL CLEARLY IDENTIFY THE ALLOWABLE IN-PLACE BEARING CAPACITY OF THE BUILDING PAD FOR THE NEW BUILDING OR ADDITION AND VERIFY THE EXISTING SOIL CONDITIONS. THE CERTIFIED IN-PLACE BEARING CAPACITY SHALL HAVE BEEN DETERMINED BY WAY OF RECOGNIZED TEST OR RATIONAL ANALYSIS.
THE MAXIMUM SIZE OF ROCK WITHIN 12 INCHES BELOW THE FLOOR SLAB IN COMPACTED FILL SHALL BE 3 INCHES IN DIAMETER. WHERE FILL MATERIAL INCLUDES ROCK, LARGE ROCKS SHALL NOT BE ALLOWABLE TO NEST AND ALL VOIDS SHALL BE CAREFULLY FILLED WITH SMALL STONES OR SAND, AND PROPERLY COMPACTED. WHEN FOUNDATION WALL ARE TO BE POURED SEPARATELY FROM THE FOOTING, THEY SHALL BE KEYS AND DOWELED TO THE FOOTING WITH NO LESS THAN #4 DOWELS, 20 DIAMETERS IN LENGTH ABOVE AND BELOW THE JOINT. SPACED NOT MORE THAN 4 FEET APART. WHERE FOOTING DEPTH DOES NOT ALLOW STRAIGHT DOWELS, STANDARD HOOKS WILL BE ALLOWABLE. SLAB SUBGRADE SHALL BE COMPACTED TO A DRY DENSITY OF AT LEAST 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY, DETERMINED IN ACCORDANCE WITH ASTM D-1557.

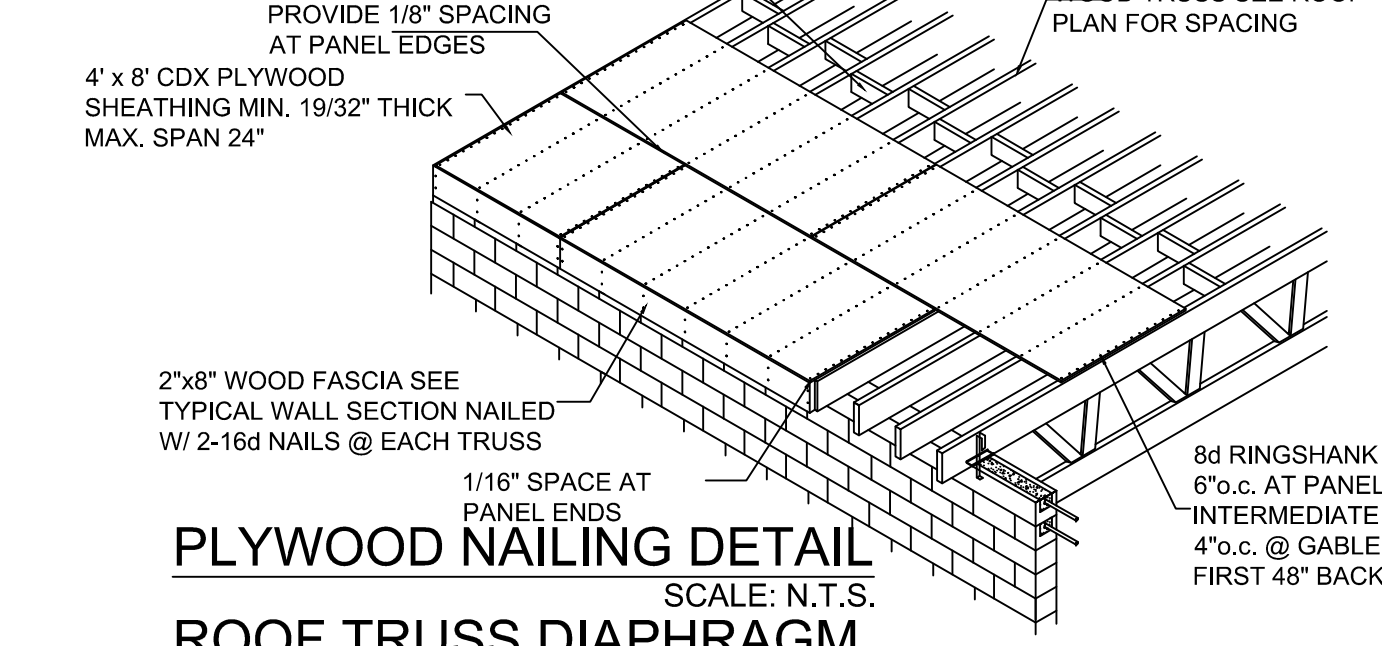
CONCRETE:
CONCRETE SHALL ACHIEVE MINIMUM 28 DAY COMPRESSIVE STRENGTHS AS FOLLOWS:
ALL NEW CONCRETE SHALL BE 3,000 PSI REGULAR WEIGHT NOT GREATER THAN 0.4 W/C CONTRACTOR SHALL SUBMIT PROPOSED MIX DESIGNS, WITH HISTORICAL STRENGTH DATA FOR EACH SEPARATE MIX PRIOR TO CONCRETE PLACEMENT. CONCRETE SLUMP SHALL NOT EXCEED 4" +/- 1" PRIOR TO THE ADDITION OF PLASTICIZER. CONCRETE SHALL COMPLY WITH ALL THE REQUIREMENTS OF ACI 301 AND ASTM C-94 FOR MEASURING, MIXING, TRANSPORTING, ETC. CONCRETE TICKETS SHALL BE TIME-STAMPED WHEN CONCRETE IS BATCHED. THE MAXIMUM TIME ALLOWED FROM WHEN WATER IS ADDED TO THE MIX UNTIL IT IS DEPOSITED IN ITS FINAL POSITION SHALL NOT EXCEED 90 MINUTES. IF FOR ANY REASON THERE IS A DELAY SUCH THAT A BATCH IS HELD FOR LONGER THAN 90 MINUTES, THE CONCRETE SHALL BE DISCARDED. IT SHALL BE THE RESPONSIBILITY OF THE TESTING LABORATORY TO NOTIFY THE OWNER'S REPRESENTATIVE AND THE CONTRACTOR OF ANY NONCOMPLIANCE WITH THE ABOVE. ALL CONCRETE SHALL BE CURED USING A CURING COMPOUND MEETING ASTM STANDARD C-309, TYPE 1. CURING COMPOUNDS SHALL HAVE A FUGITIVE DYE. THE CURING COMPOUND SHALL BE PLACED AS SOON AS THE FINISHING IS COMPLETED OR AS SOON AS THE VISIBLE WATER HAS LEFT THE UNFINISHED CONCRETE. ALL SCURFFED OR BROKEN AREAS IN THE CURING MEMBRANE SHALL BE RECOATED DAILY. CALCIUM CHLORIDES SHALL NOT BE UTILIZED IN THE WORK. OTHER ADMIXTURES MAY BE USED ONLY WITH THE APPROVAL OF THE ENGINEER.
UNLESS A GREATER CONCRETE COVER IS REQUIRED BY 20.6.1.3 OR 20.6.1.4 (ACI 318-14), SPECIFIED COVER FOR REINFORCEMENT SHALL NOT BE LESS THAN THE FOLLOWING:
CONCRETE COVER IN:
(a) CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH.....3
(b) CONCRETE EXPOSED TO EARTH OR WEATHER:
No. 6 THROUGH NO. 18 BARS.....2
No. 5 BAR, W31 OR D31 WIRE, AND SMALLER.....1-1/2
(c) CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND:
SLABS, WALLS, JOIST:
No. 14 AND NO. 18 BARS.....1-1/2
No. 11 BAR AND SMALLER.....3/4
BEAMS, COLUMNS:
PRIMARY REINFORCEMENT, TIES, STIRRUPS, SPIRAL.....1-1/2
SHELLS, FOLDED PLATE MEMBERS:
No. 6 BAR AND LARGER.....3/4
No. 5 BAR, W31 OR D31 WIRE, AND SMALLER.....1/2
20.6.1.4 CORROSIVE ENVIRONMENTS.
IN CORROSIVE ENVIRONMENTS OR OTHER SEVERE EXPOSURE CONDITIONS, THE CONCRETE COVER SHALL BE INCREASED AS DEEMED NECESSARY AND SPECIFIED BY THE LICENSED DESIGN PROFESSIONAL. THE APPLICABLE REQUIREMENTS FOR CONCRETE BASED ON EXPOSURE CATEGORIES AND CLASSES IN CHAPTER 19.3 SHALL BE MET, OR OTHER PROTECTION SHALL BE PROVIDED.
20.6.1.3 FIRE PROTECTION.
IF THE GENERAL BUILDING CODE (OF WHICH THIS CODE FORMS A PART) REQUIRES A THICKNESS OF COVER FOR FIRE PROTECTION GREATER THAN THE CONCRETE COVER IN 20.6.1.3 THROUGH 20.6.4 (ACI 318-14), SUCH GREATER THICKNESS SHALL BE SPECIFIED.

THE REINFORCEMENT FOR FOOTINGS AND OTHER PRINCIPAL STRUCTURAL MEMBERS IN WHICH CONCRETE IS DEPOSITED AGAINST THE GROUND SHALL HAVE NOT LESS THAN 3 INCHES OF CONCRETE BETWEEN THE REINFORCEMENT AND THE GROUND CONTACT SURFACE. IF CONCRETE SURFACES AFTER REMOVAL OF THE FORM ARE TO BE EXPOSED TO THE WEATHER OR BE IN CONTACT WITH THE GROUND, THE REINFORCEMENT SHALL BE PROTECTED WITH NOT LESS THAN 2 INCHES OF CONCRETE FOR BARS LARGER THAN #5 AND 1-1/2" FOR #5 OR SMALLER BARS. EXCAVATIONS FOR CONTINUOUS FOOTINGS SHALL BE CUT TRUE TO LINE AND GRADE AND THE SIDES OF FOOTINGS SHALL BE FORMED, EXCEPT WHERE SOIL CONDITIONS ARE SUCH THAT THE SIDES OF THE EXCAVATION STAND FIRM AND SQUARE. EXCAVATIONS SHALL BE MADE TO FIRM, CLEAN BEARING SOIL.
WHEN POLYETHYLENE SHEETS ARE USED AS A VAPOR BARRIER BENEATH A GROUND FLOOR SLAB, THE SUB GRADE FOR THAT SLAB SHALL BE CONSIDERED A FORMED SURFACE FOR THE PURPOSE OF REINFORCING STEEL COVERAGE.

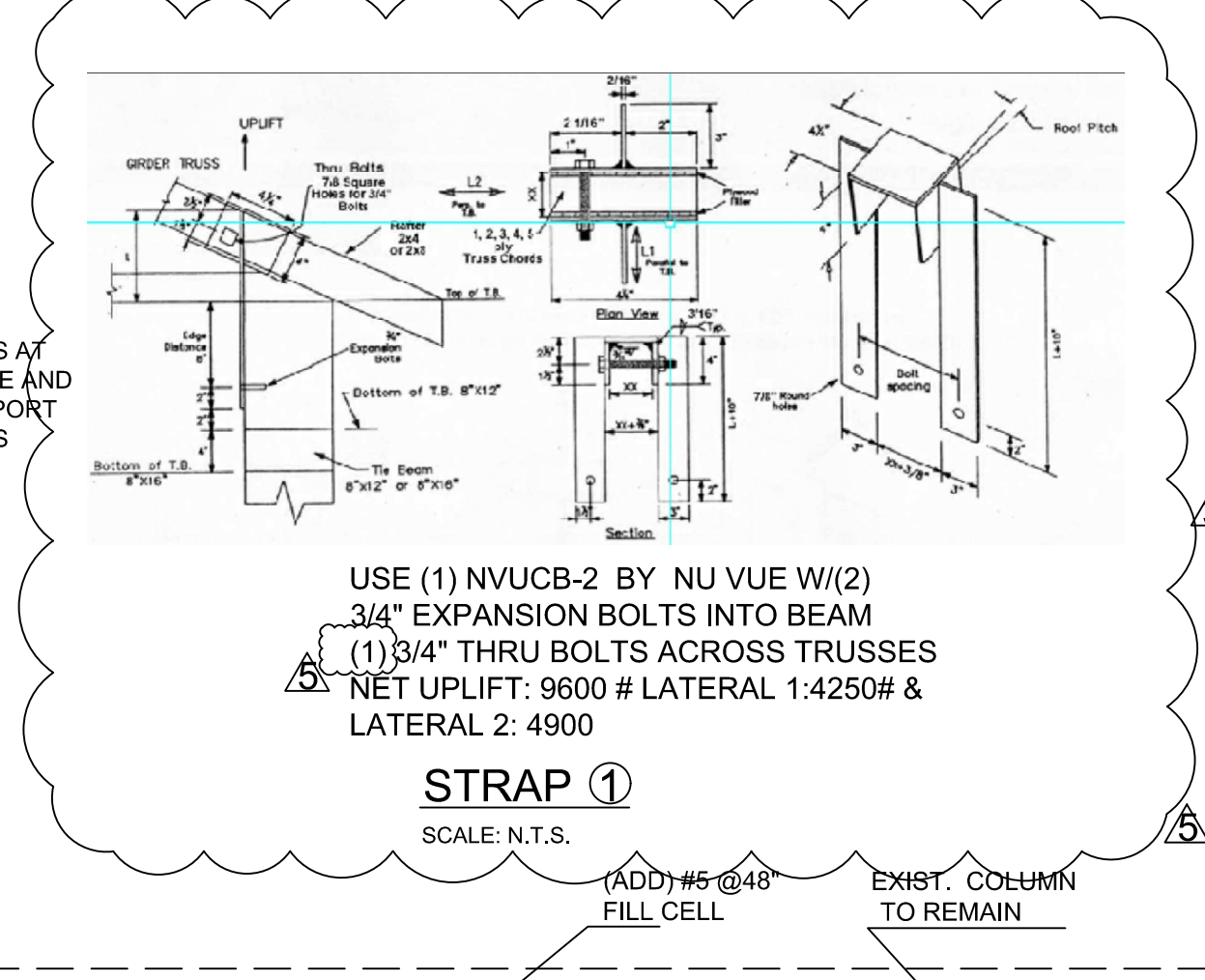
STRUCTURAL CONCRETE SHALL CONFORM WITH ACI-301 IT SHALL REACH A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI IN 28 DAYS FOR SLABS FOR BEAMS AND COLUMNS. AGGREGATES SHALL BE CLEAN AND GRADED MAXIMUM SIZES 3/4" CONCRETE ASTM C-33 SHALL CONFORM TO ASTM C-94
CONCRETE TESTING IS REQUIRED AS FOLLOWS: 1 SET OF 5 CYLINDERS FOR EVERY 50 CU. YDS. OF CONCRETE AS PER ASTM C-94
MAXIMUM PERMISSIBLE SLUMP IS 5-6" IN STRUCTURAL CONCRETE WITH THE EXCEPTION BEING SAND CEMENT GROUT
REINFORCING STEEL SHALL CONFORM TO ASTM A-615 GRADE 60. REINFORCING STEEL SHALL BE DETAIL AND FABRICATED ACCORDING TO THE "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES". HOOK ALL DISCONTINUOUS TOP REINFORCING. PROVIDE CORNERS WITH 2# 5 X 5-0" BEND.
WOOD:
1. ALL WOOD FOR BEAMS, BEARING WALLS, SOLE PLATES, TOP PLATES, BLOCKING, BRACING, LEDGERS, CRIPPLES, SILLS, ETC., SHALL BE SOUTHERN PINE NO. 2, MINIMUM REQUIRED Fb=1,000 PSI, Fv=90 PSI, E=1,000,000 PSI AND L / 360, KD-15, OR BETTER.
2. MICRO-LAM BEAMS SHALL BE MANUFACTURED BY TRUS-JOIST CORP., OR APPROVED EQUAL, AND SHALL PROVIDE A MODULUS OF ELASTICITY OF 2,000,000 PSI, A MIN. FLEXURAL STRESS OF 2,825 PSI, AND A MIN. HORIZONTAL SHEAR STRESS OF 285 PSI.
3. ALL WOOD IN CONTACT WITH CONCRETE OR CONCRETE BLOCK SHALL BE PRESSURE-TREATED. WOOD FOR NON-STRUCTURAL USES SHALL BE RATED TO RETENTION LEVELS OF 0.25 PCF OF CHROMATED COPPER ARSENATE (CCA), WOOD FOR STRUCTURAL USE THAT SHALL BE TREATED FOR ANY REASON SHALL BE RATED TO RETENTION LEVELS OF 0.4 PCF OF CCA OR MORE.
4. FOR STRUCTURAL USES, AVOID BUYING TREATED LUMBER THAT CONTAINS MORE THAN 1/2" OF HEARTWOOD.
5. AVOID INHALATION OF SAWDUST PRODUCED BY PRESSURE TREATED WOOD. WEAR A DUST MASK AND WORK OUTDOORS. DISPOSE OF DUST AND SCRAP BY ORDINARY TRASH COLLECTION. DO NOT BURN IT: PRESSURE TREATED WOOD MAY PRODUCE VERY TOXIC FUMES.
6. IN HIGHLY CORROSIVE ENVIRONMENTS, ALL WIND RESISTING HARDWARE INCLUDING THE HURRICANE STRAPS, SHALL BE MADE OF STAINLESS STEEL, OR SHALL BE DIPPED (AND SCRATCHES RE-PAINTED) IN COAL-TAR EPOXY PAINT.
7. WOOD PREVIOUSLY USED AS FORMWORK SHALL NOT BE USED AS ROOF FRAMING OR SHEATHING.
8. HURRICANE STRAPS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
9. HANGERS OR STRAPS THAT DO NOT MATCH EXACTLY THE ONES SPECIFIED ON THE DRAWINGS IN STEEL YIELD OR ULTIMATE STRENGTH, STEEL DIMENSIONS (LENGTH AND WIDTH), NUMBER AND DIAMETER OF HOLES FOR THE SAME SIZES OF NAILS OR BOLTS, AND/OR DO NOT HAVE THE SAME GENERAL SHAPE, WILL NOT BE ACCEPTABLE.
10. NO POCKETS WILL BE ALLOWED IN CONCRETE OR STEEL MEMBERS FOR CONNECTION OF WOOD MEMBERS UNLESS THE CONNECTION DETAIL IS IN WRITING PRIOR TO INSTALLATION.
11. ALL NAILS, SCREWS, AND BOLTS SHALL BE HOT-DIPPED GALVANIZED.
TERMITE PROTECTION:
ALL BUILDINGS SHALL HAVE PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES, THE RULES AND LAWS AS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES SHALL BE DEEMED AS APPROVED WITH RESPECT TO PRE-CONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST SUBTERRANEAN TERMITES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT:
"THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."

FOUNDATION GEOTECHNICAL REPORT
CONTRACTOR SHALL PREPARE SITE FOLLOW RECOMMENDATIONS AND PROCEDURES IN GEOTECHNICAL REPORT BY ALL STATE ENGINEER & TESTING CONSULTANTS, INC. SIGN AND SEALED BY JOHN BUSCHER PE # 41844 ON 11-18-20. TO APPLY FOLLOWING STATEMENT FROM REPORT:
"Based on the proposed construction, our evaluation of the site subsurface conditions, the Site Preparations Procedures given above having achieved and verified, we can confirm that spread footing and single column pads may be appropriately designed for a safe soil bearing capacity of 2,000 lb/ft²"

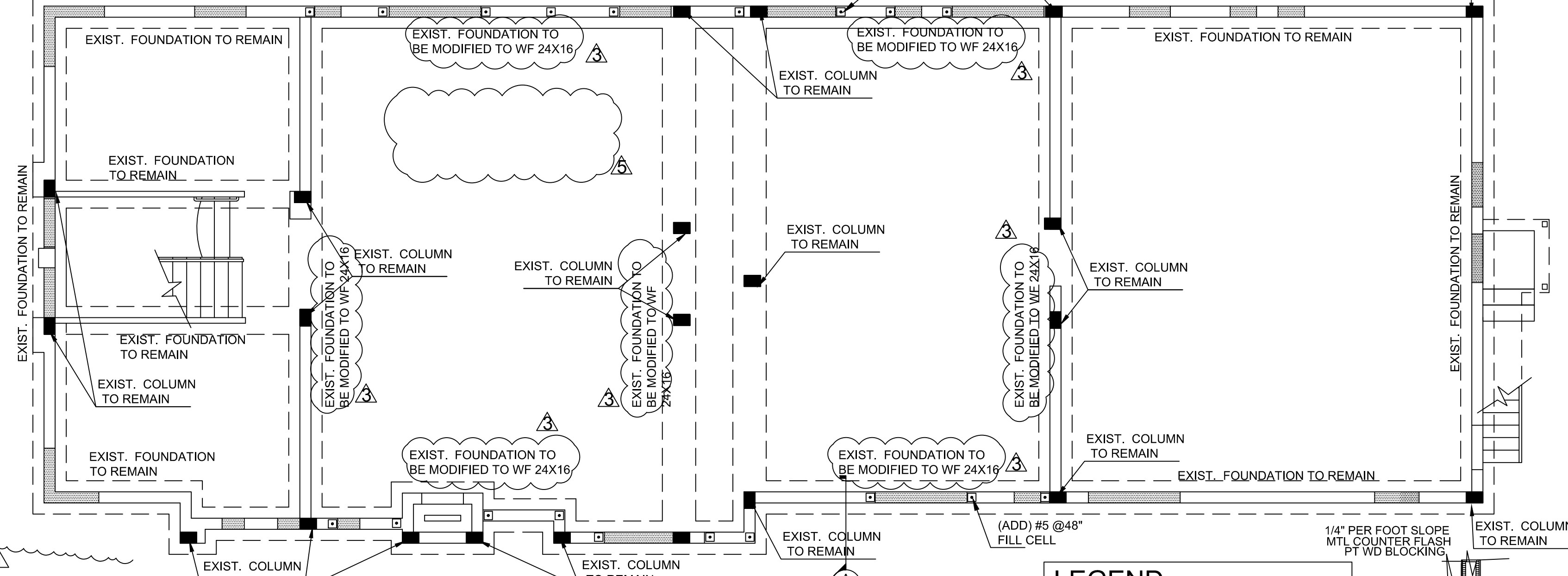
PROVIDE 2"x4" BLOCKING @ ALL PLYWOOD SEAMS, 4# BACK @ 4" o.c. EA. SIDE OF SEAM, OF GABLE END, NAIL SEAM w/ 10d



PLYWOOD NAILING DETAIL
SCALE: N.T.S.
ROOF TRUSS DIAPHRAGM
1. FLOOR DIAPHRAGM SHALL COMPLY WITH THE DESIGN RECOMMENDATIONS OF "A.P.A. DESIGN / CONSTRUCTION GUIDE - DIAPHRAGMS" AND THE LOCAL BUILDING CODE.
2. PLYWOOD FLOOR DECKING SHALL BE 1/2" MINIMUM THICKNESS, AND SHALL BE CONTINUOUS OVER TWO OR MORE SPANS, WITH FACE GRAIN PERPENDICULAR TO THE SUPPORTS.
3. CONNECT PLYWOOD DIAPHRAGM TO STRUCTURE WITH 8d RINGSHANK GALVANIZED NAILS, SPACED AT 6" o.c. MAX. AT SUPPORTED EDGES AND AT 6" o.c. ALONG INTERMEDIATE SUPPORTS. GABLE ENDS NAIL SPACING SHALL BE 10d NAILS @ 4" o.c. MAX.
4. INSPECTIONS: SHALL COMPLY WITH THE LOCAL BUILDING CODE REQUIREMENTS FOR INSPECTIONS (BY THE MUNICIPALITY, ARCHITECT OR ENGINEER) OF SPECIFIED COMPONENTS OF THE FLOOR STRUCTURE REQUIRING INSPECTIONS.

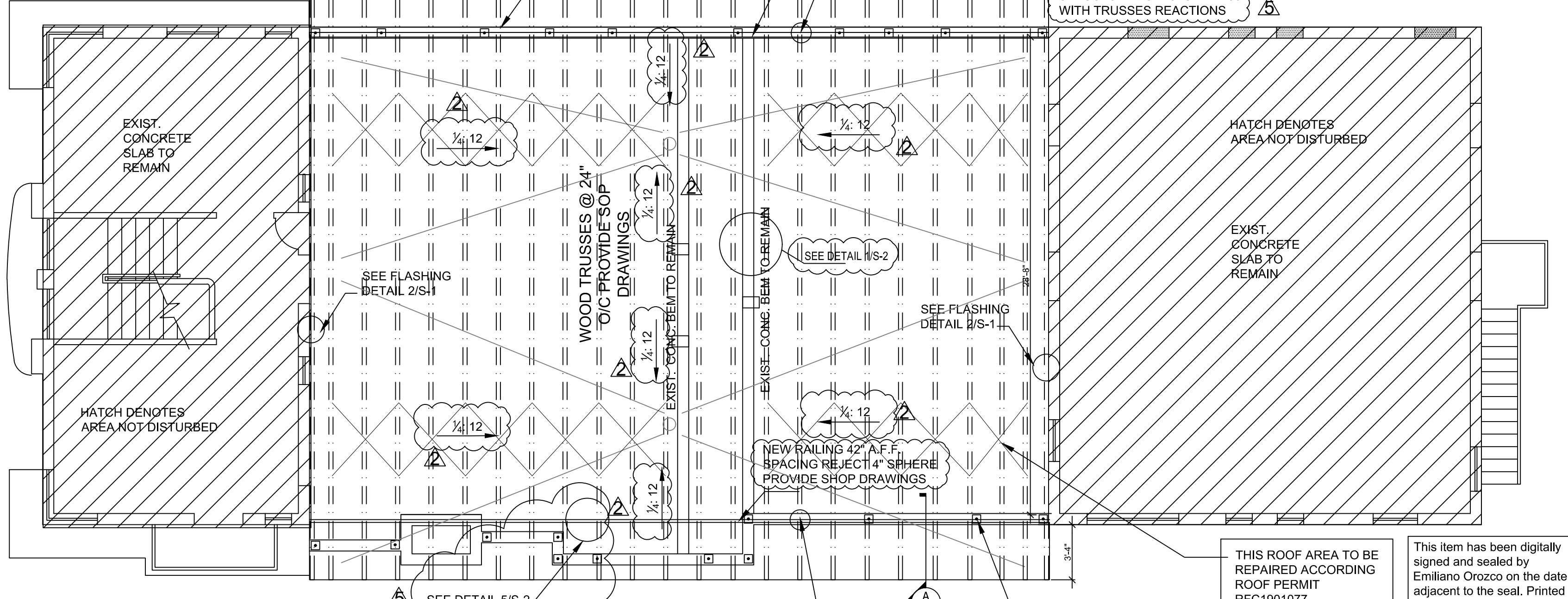


SCOPE WORK:
VIOLATIONS AS NOTED TO BE FIXED
1. 420 SQ. FT. STUCCO REPAIRED
2. SMOKE DETECTORS TO BE REPLACED
3. RAILINGS ON ROOF TO BE PAINTED
4. 1200 SQ. FT. NEW ROOF ACCORDING ROOF PERMIT RFC 1901077
ADDITIONAL WORK NOT INCLUDED IN VIOLATION BUT SUGGESTED BY EOR
1. NEW TRUSSES ON ROOF WITH FILL CELLS ADDED. SEE S-1

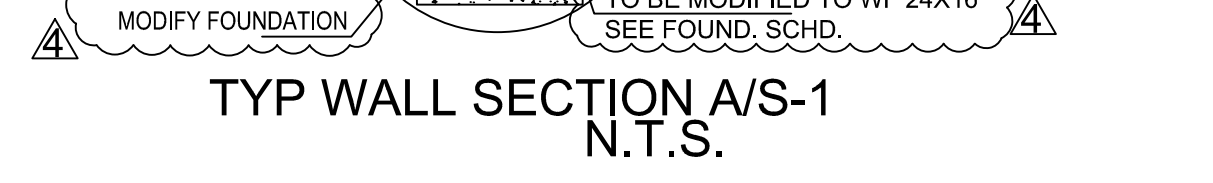


FOUNDATION PLAN
SCALE: 3/16"=1'

MARK	WIDTH	SIZE	REINFORCING	REMARKS	NOTES
WF-24	24"	16"	3 # 5 CONT. # 4 @ 12" TRANSV.		



SECOND FLOOR FRAMING PLAN
SCALE: 3/16"=1'



TYP WALL SECTION A/S-1
N.T.S.

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emilianocentury21@gmail.com

GUSTEL ENTERPRISES INC
101 CRANDON BLVD

230 31 STREET
MIAMI BEACH, FL 33140

Digitally signed by Emiliano Orozco
Date: 2021.02.12 17:41:10 -05'00' SEAL

DATE: 02-04-2020
SCALE: AS SHOWN
DESIGNED: E.O.
DRAWN: E.O.
DRAWING NO.: S-1
SHEET OF

THIS ROOF AREA TO BE REPAIRED ACCORDING ROOF PERMIT RFC1901077
This item has been digitally signed and sealed by Emiliano Orozco on the printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

NO.	DATE
5	01-27-21
6	02-09-21

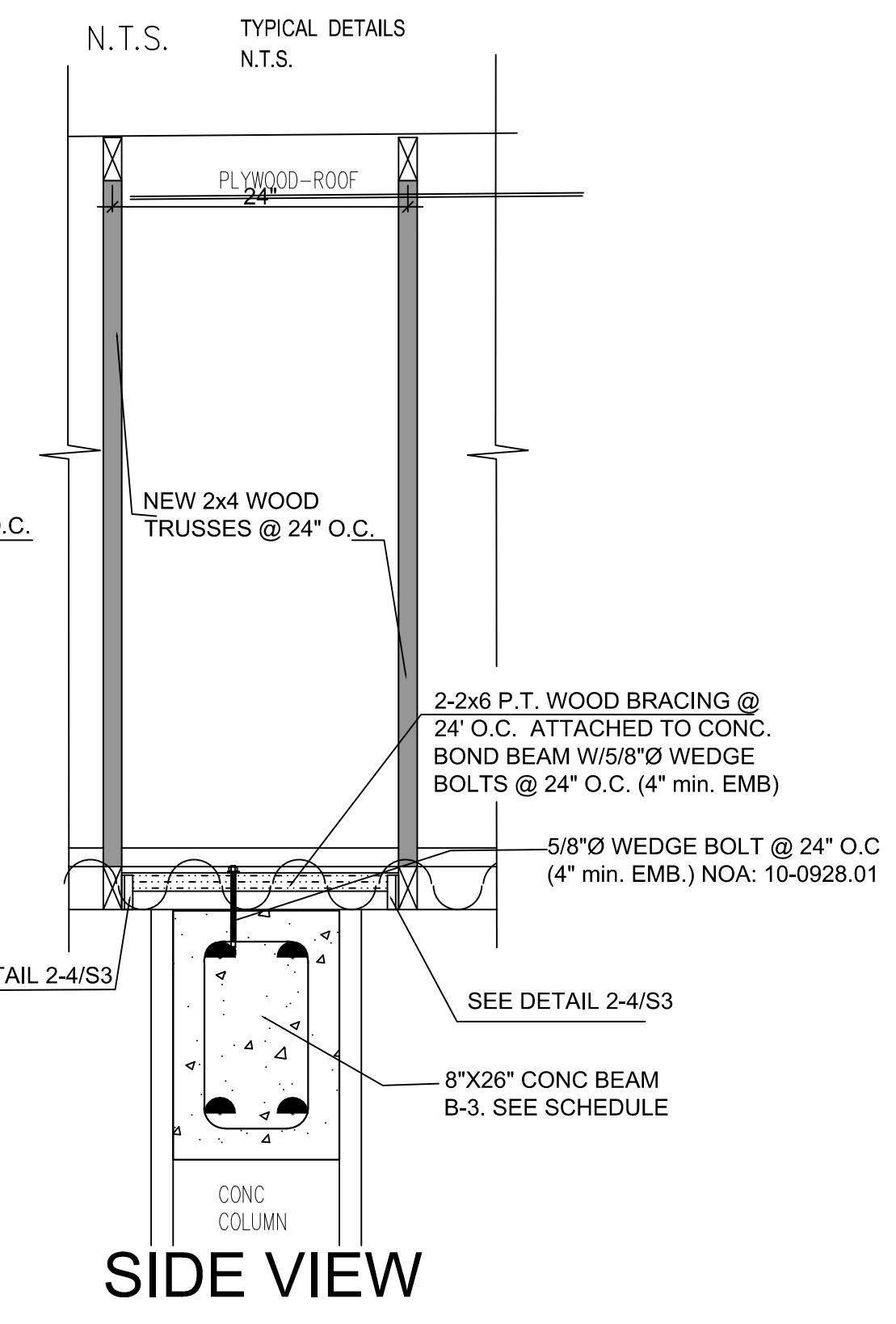
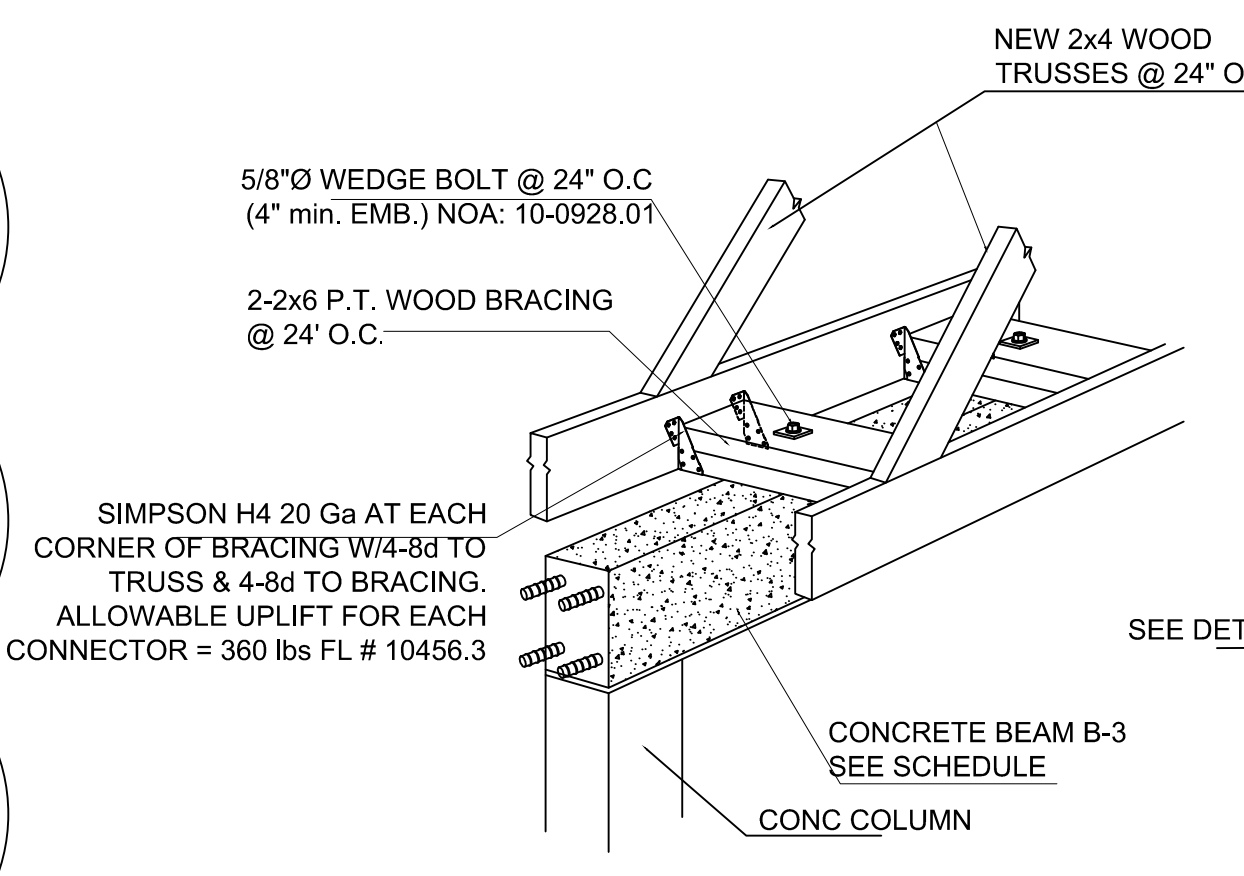
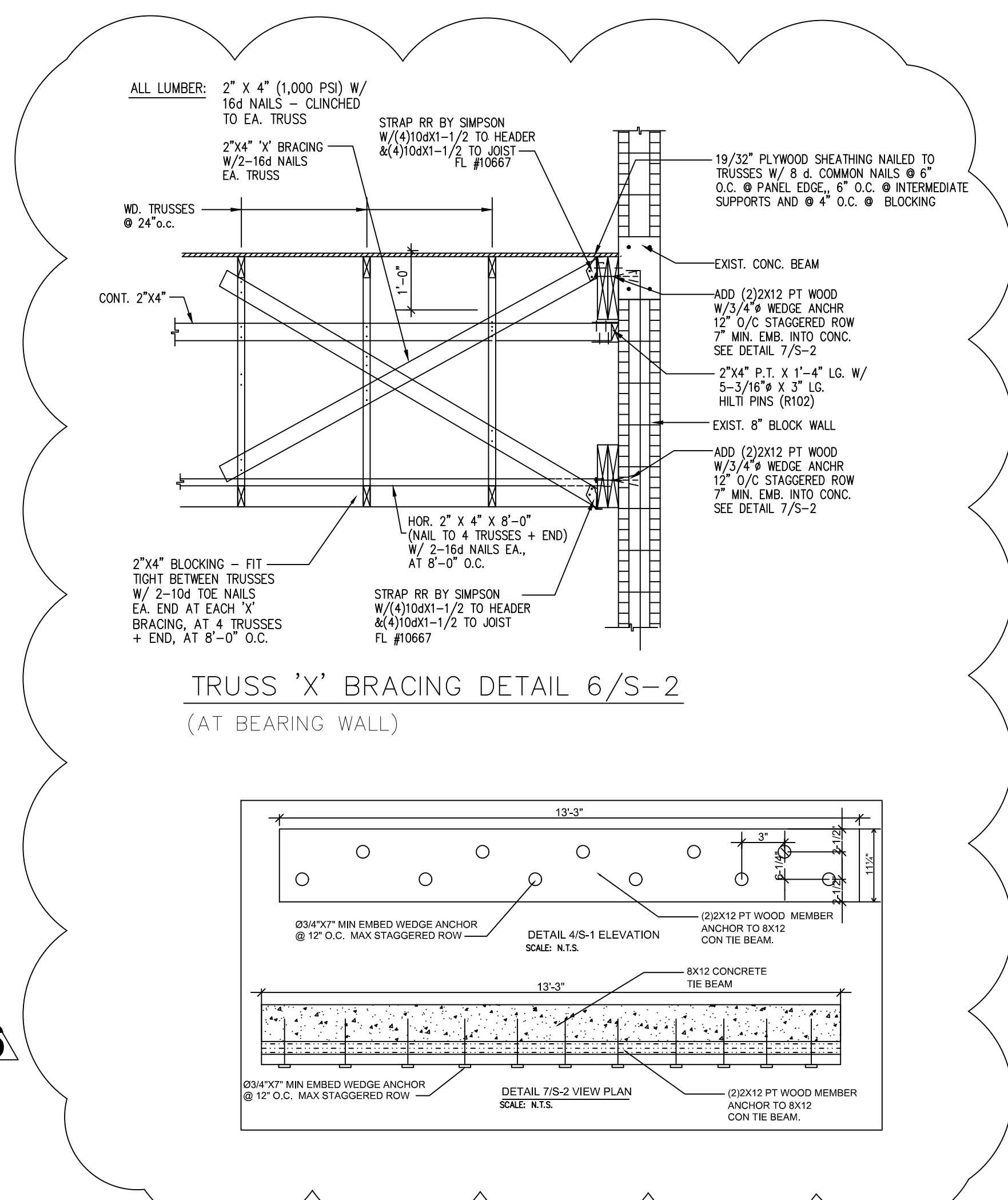
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Digitally signed
 by Emiliano
 Alberto Orozco
 Date: 2021.02.12
 17:41:31 -05'00'
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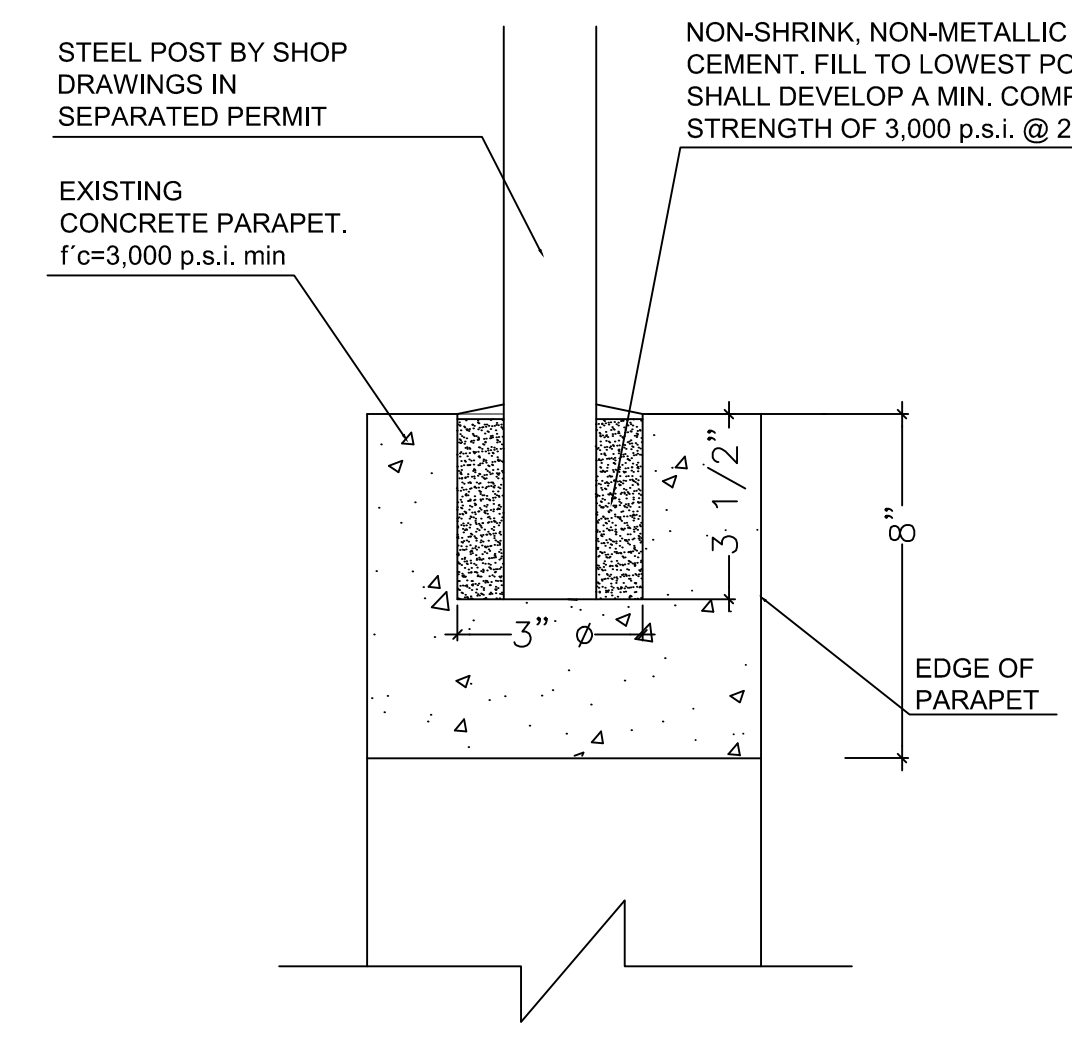
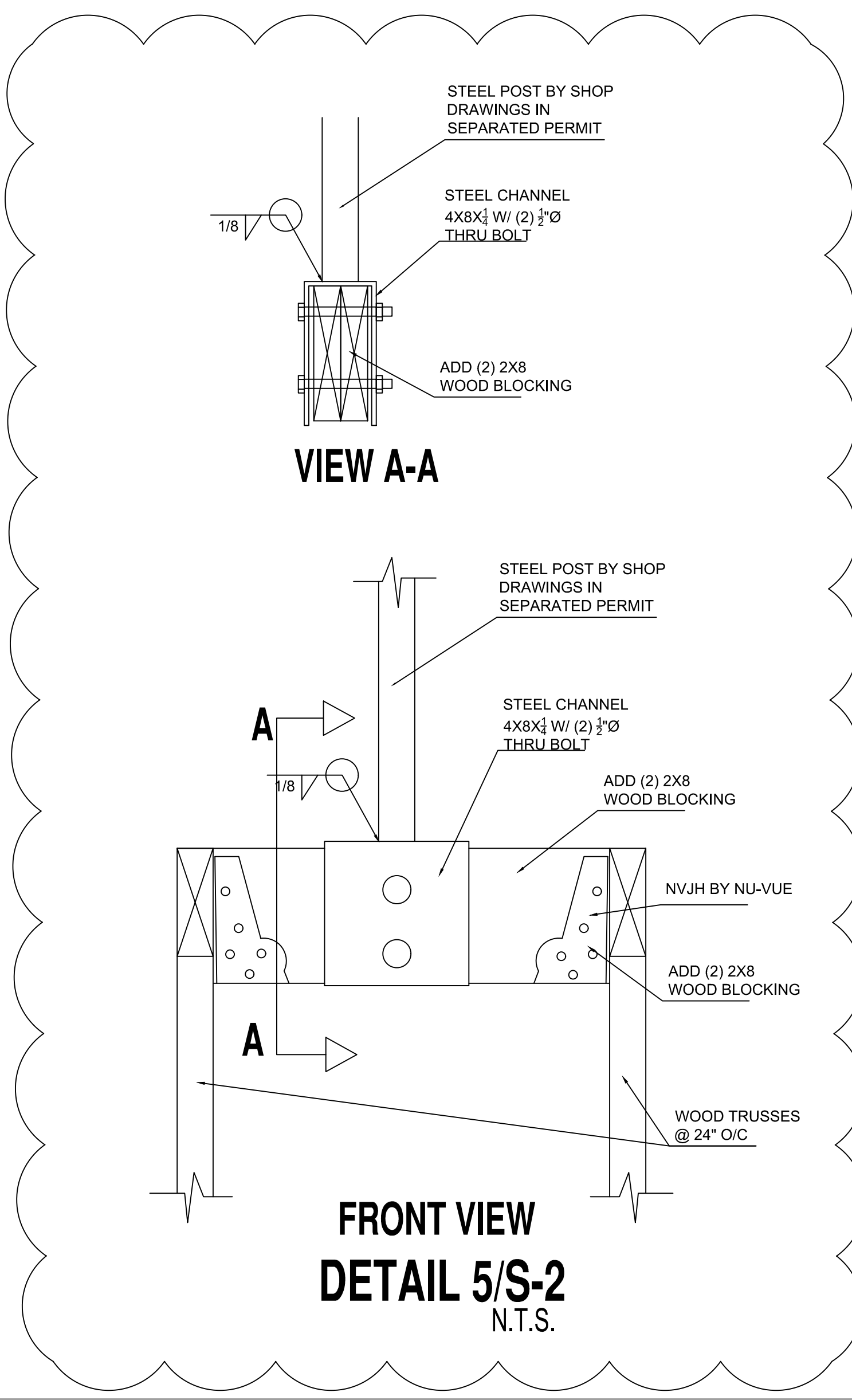
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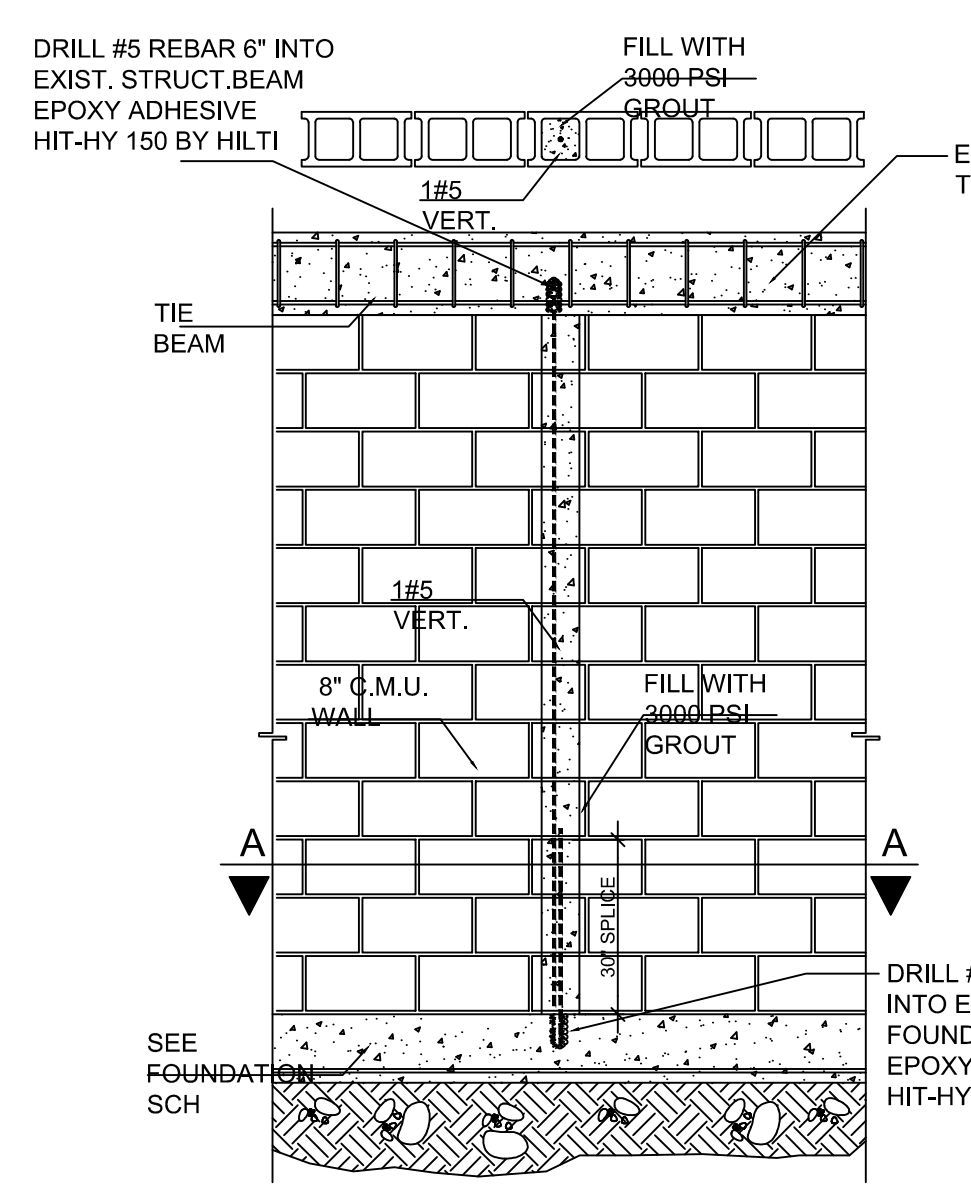
ISOMETRIC VIEW

SIDE VIEW

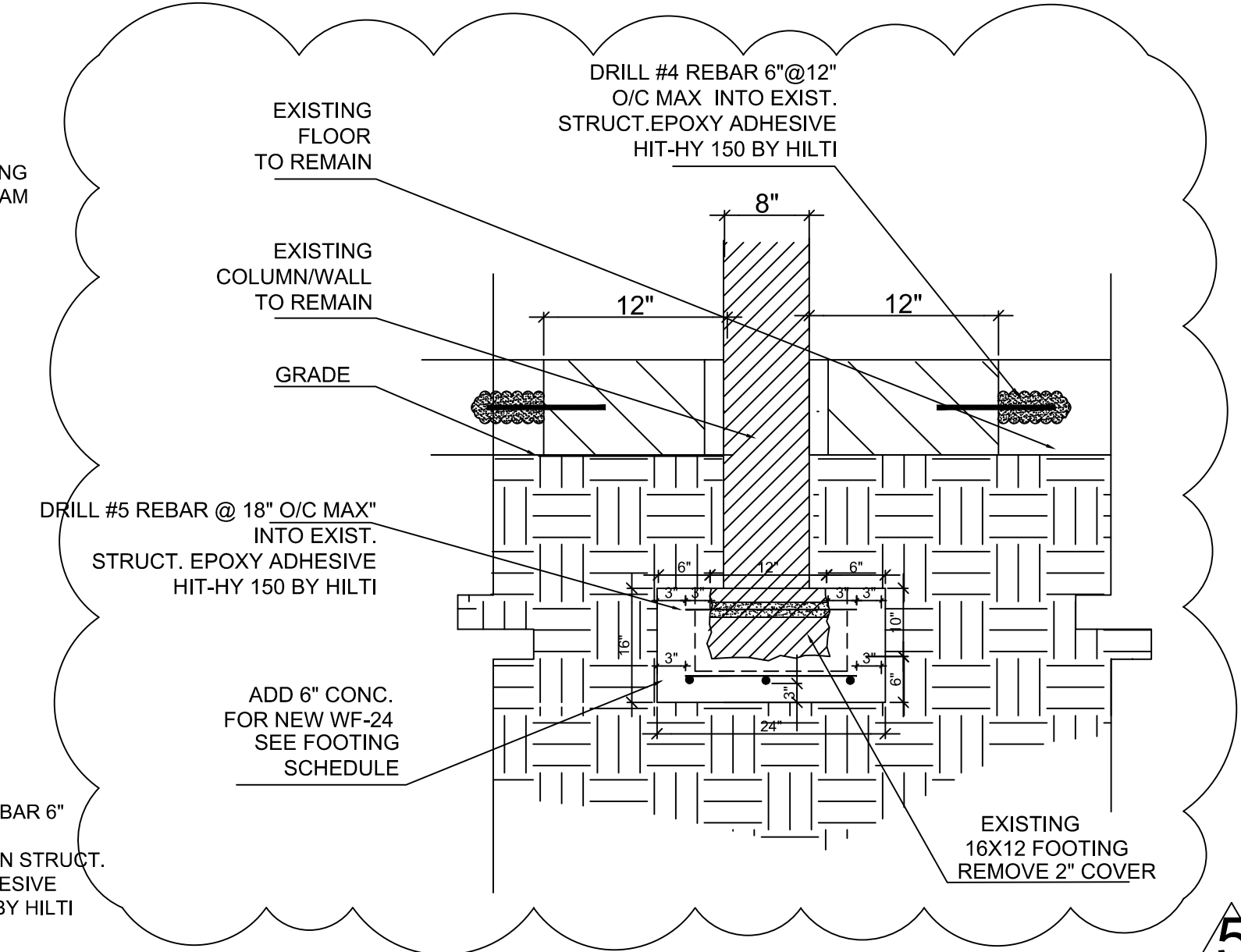
**BRACING DETAIL
 DETAIL 1/S-2
 N.T.S.**



**DETAIL 4/S-2
 N.T.S.**



NEW FILL CELL DETAIL 2/S-2



**DETAIL 3/S-2
 N.T.S.**

6

5
 6

5

REVISIONS

NO.	DATE
1	08-25-20
2	08-25-20
3	11-18-20

OCCUPANCY LOAD: 6 PERSONS/ SPACE

GENERAL NOTES:
 EGRESS HARDWARE W/ PUSH & PULL LATCH & SELF CLOSER DEVICE TO ALL EXTERIOR DRs.
 - ALL DOORS IN THE MEANS OF EGRESS SHALL BE SINGLE ACTION RELEASE. SHALL COMPLY WITH FAC WITH FAC AND GROUP D. THE INTERIOR FINISH MAY BE CLASS B FOR UNSPRINKLERED BUILDINGS AND CLASS C FOR SPRINKLERED BUILDINGS.
 - EXIT SIGNS AND EMERGENCY LIGHTING SHALL HAVE BATTERY BACK-UP. SHALL BE CONNECTED ON LIGHTING CIRCUIT AHEAD OF SWITCH AND SHALL BE LABELED ON THE ELECTRICAL BREAKER PANEL.

MEANS OF EGRESS AS PER NFPA SECTION 39.2.6.2 AND TABLE A.7.6

LINE REPRESENTING MAXIMUM 200' EXIT PATH OF TRAVEL NFPA 101 SECTION 39.2.6.2
 MEANS OF EGRESS AS PER NFPA SECTION 39.2.6.2 AND TABLE A.7.6
 200' MAXIMUM TRAVEL DISTANCE - 75' MAXIMUM COMMON PATH OF TRAVEL LIMIT - 50' DEAD END CORRIDOR LIMIT
 EXISTING CONDITIONS - 30' MAX TRAVEL DISTANCE - 5' MAX COMMON PATH OF TRAVEL - 25' MAX DEAD END CORRIDOR

MINIMUM INTERIOR FINISH CLASSIFICATION (F.B.C. TABLE 803.3)

OCCUPANCY CLASS	UNSPRINKLERED			SPRINKLERED		
	Exit Access	Exit	Other Spaces	Exit Access	Exit	Other Spaces
A	A	A	B	B	B	B
B	A	A	C	C	C	C
D	A	A	B	A	A	B
E	A	A	B	A	A	B
F	C	C	C	C	C	C
H	C	C	C	C	C	C
I	A	A	A	A	A	A
J	A	A	A	A	A	A
K	A	A	A	A	A	A
L	A	A	A	A	A	A
M	B	B	C	C	C	C
N	B	B	C	C	C	C
O	C	C	C	C	C	C

GENERAL NOTES:
 1. IN VERTICAL EXITWAYS OF BUILDINGS THREE STORIES OR LESS IN HEIGHT OTHER THAN GROUP I RESTRAINED AND GROUP D, THE INTERIOR FINISH MAY BE CLASS B FOR UNSPRINKLERED BUILDINGS AND CLASS C FOR SPRINKLERED BUILDINGS.
 2. CLASS C INTERIOR FINISH MATERIALS MAY BE USED WITHIN A DWELLING UNIT.
 3. ROOMS WITH 4 OR FEWER PERSONS REQUIRE CLASS C INTERIOR FINISH.
 4. CLASS C INTERIOR FINISH MATERIALS ARE NOT PERMITTED IN GROUP R4 OCCUPANCIES.
 5. STAIRWAYS, CORRIDORS AND LOBBIES.

THE BUILDING IS TO BE TYPE V-B CONSTRUCTION WITH AN OCCUPANCY TYPE AS PER NFPA101 AND LAHJ MAXIMUM ELEVATIONAL CHANGE AT ALL BUILDING ENTRANCE DOORS (INCLUDING THRESHOLDS) SHALL BE EQUAL TO OR LESS THAN 1/2".

PROVIDE ONE-ABC TYPE, "2-A" RATED FIRE EXTINGUISHER FOR EACH 2,500 SQ. FT. MAXIMUM 75 FT. OF TRAVEL. TOP OF EXTINGUISHER NOT TO EXCEED 5 FOOT ABOVE FINISH FLOOR.

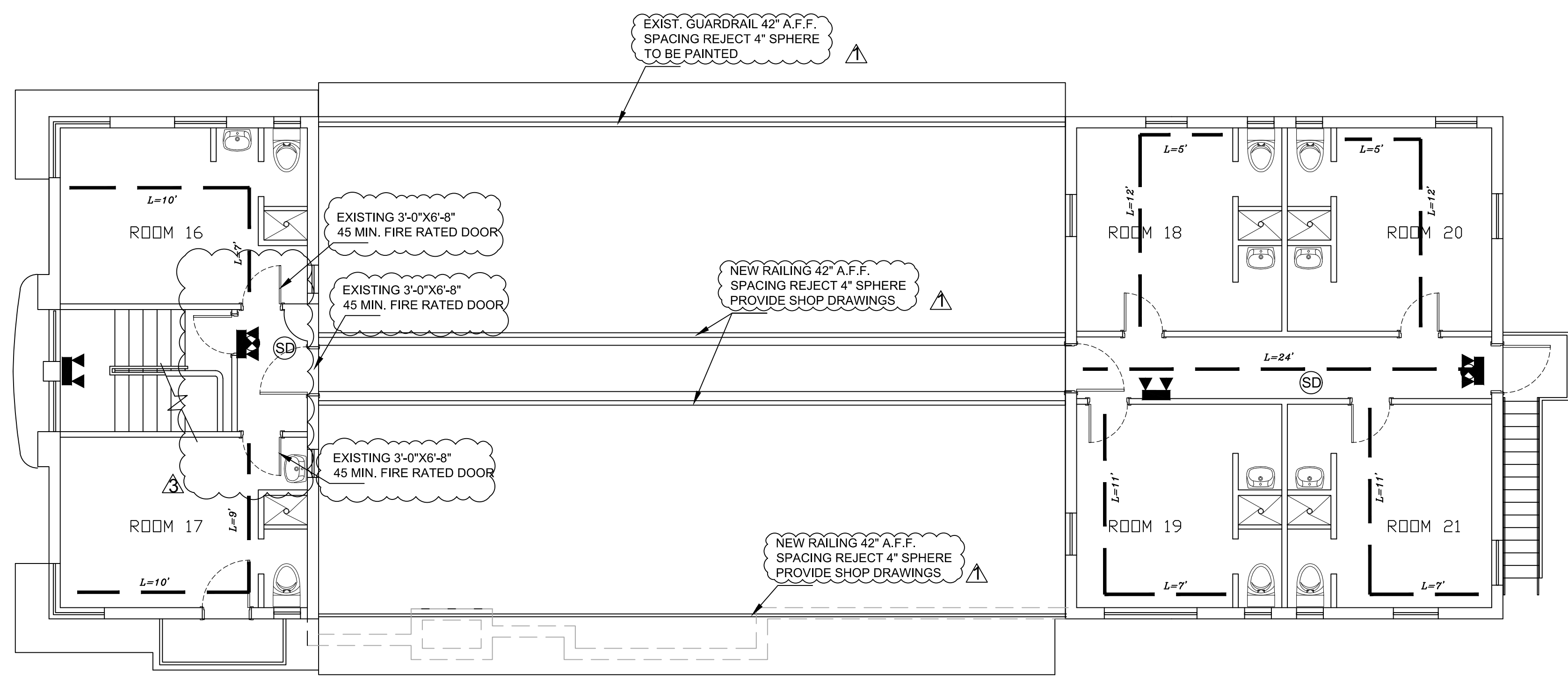
NO PARKING AREA IN THIS PROPERTY

NOTE:
 - PROVIDE SIGNS (EVERY 25' MAX. IN RED LETTERS, AND 1 1/2" HIGH LETTERS) ABOVE ANY DECORATIVE CEILING AND IN CONCEALED SPACES ON AND FIRE AND/OR SMOKE SEPARATION WALL AS PER F.B.C. 2017 SECTION 712.5 (SUGGESTED WORKING TIME AND SMOKE BARRIER-PROTECT ALL OPENINGS.)

MINIMUM INTERIOR FINISH CLASSIFICATION (NFPA 101)

OCCUPANCY	EXITS	ACCESS TO EXITS
ASSEMBLY-NEW CLASS A OR B	A	A OR B
CLASS C	A	A OR B
OFFICE	A OR B	A, B OR C
STORAGE	A OR B	A, B OR C

MIN. FLAME SPREAD CLASSIFICATION FOR INSULATION - FBC 720.
 FLAME SPREAD NOT MORE THAN 25; SMOKE DEVELOPED NOT MORE THAN 450.



LIFE SAFETY 2ND FLOOR PLAN
 SCALE: 1/4"=1'

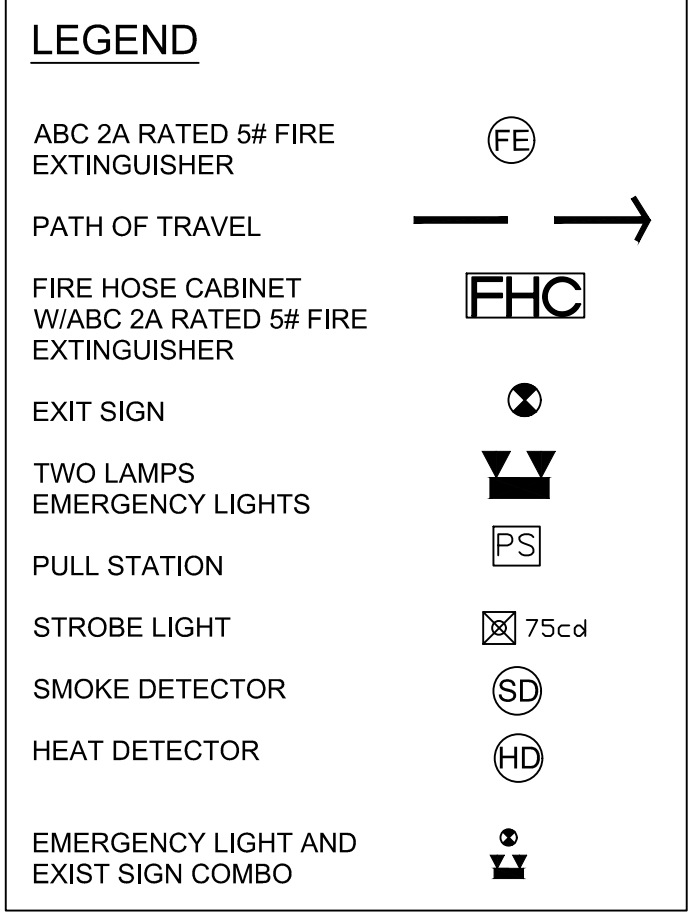
SCOPE WORK:
 VIOLATIONS AS NOTED TO BE FIXED
 1. NEW TRUSSES ON ROOF WITH FILL CELLS ADDED. SEE S-1
 2. 420 SQ. FT. STUCCO REPAIRED
 3. SMOKE DETECTORS TO BE REPLACED
 4. RAILINGS ON ROOF TO BE PAINTED
 5. NEW ROOF ACCORDING ROOF PERMIT RFC 1901077

BUILDING IS NOT GOING TO BE OCCUPIED WHILE THE WORK IS GOING TO BE TAKEN PLACE

SMOKE DETECTORS INSIDE UNITS AND HALLWAY CONNECTED TO EXISTING FIRE ALARM PANEL. PROVIDE SEPARATED FIRE ALARM PERMIT TO CONNECT NEW SMOKE DETECTORS

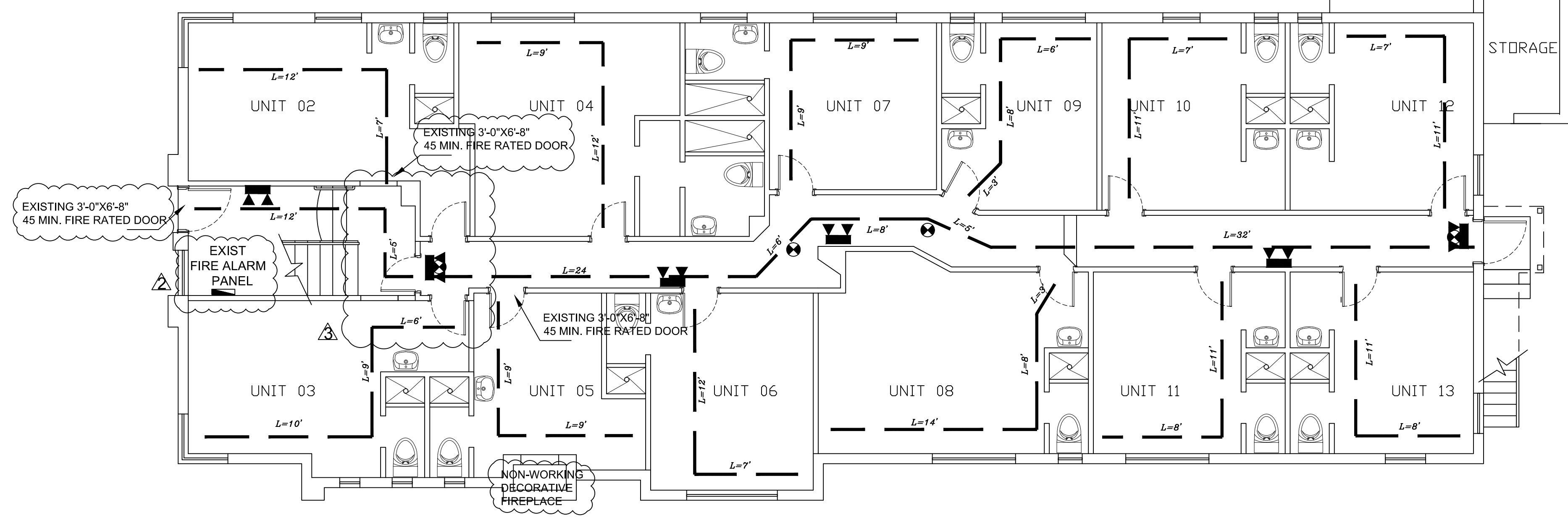
EMERGENCY LIGHTS WILL BE 90 MINUTE BATTERY BACKUP

THERE IS NO EXISTING FIRE SPRINKLER SYSTEM THERE IS AN EXISTING FIRE ALARM SYSTEM

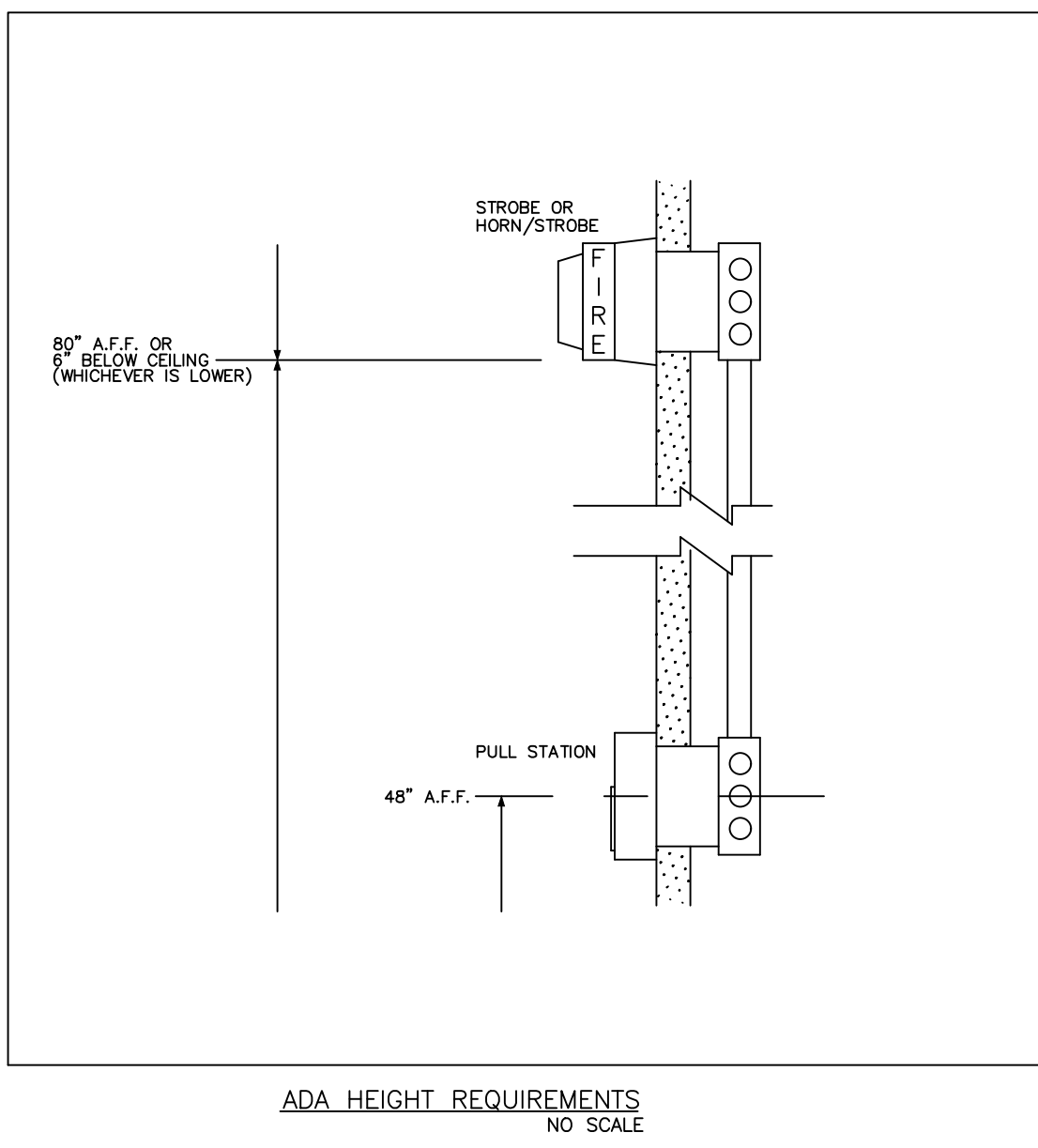


SYMBOL LEGEND

SYMBOL	MODEL #	DESCRIPTION	QTY
[FACP]	NOTIFIER NFV2-100	FIRE ALARM CONTROL PANEL	1
[SD]	NOTIFIER NP-100	SMOKE DETECTOR	5
[PS]	NOTIFIER NDT-868BLX	WP PULL STATION WITH SB-1 BACK BOX	12
[HD]	NOTIFIER NH-100	HEAT DETECTOR	3
[M]	SYSTEM SENSOR	MINI HORN	36
[WR]		END OF LINE RESISTOR	
[E]		CONNECTION TO AN APPROVED, DEDICATED EARTHGROUND, NFPA 70, COMPLY WITH NEC.	
[B]		120VAC SOURCE DEDICATED BREAKER COMPLY WITH NFPA 70.	
[P]		DEDICATED PHONE LINES	
[75cd]	NOTIFIER 75cd	WP HORN STROBE	14
[FAAP]	NOTIFIER FDU-80	ANNUNCIATOR PANEL	1
[PI]	NOTIFIER NIZ-24S	PIEZD	1
[75cd]	NOTIFIER SS	STROBE	1
[75cd]	NOTIFIER STRO	WP STROBE	9
[M]	NOTIFIER NIM-100	MONITOR MODULE	18
[C]	NOTIFIER NC-100R	CONTROL RELAY MODULE	3
[75cd]	NOTIFIER FDRK	WP CEILING MOUNT HORN STROBE	2
[M]	MERCOM CF-135HP	MOISTURE PROOF HEAT DETECTOR	5



LIFE SAFETY GROUND FLOOR PLAN
 SCALE: 1/4"=1'



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EXISTING BUILDING-VIOLATIONS TO BE FIXED

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Digitally signed by Emiliano Alberto Orozco
 Date: 2021.01.27 20:56:07 -05'00' SEAL

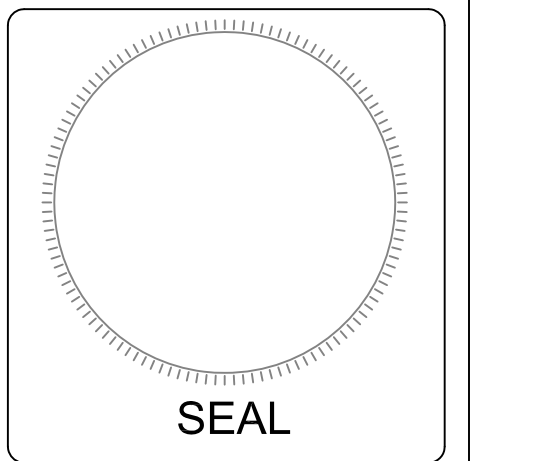
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SHEET	OF

REVISIONS	
NO.	DATE
1	07-21-20
2	08-25-20

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 101 CRANDON BLVD
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EXISTING BUILDING-VIOLATIONS TO BE FIXED



DATE	02-04-2020
SCALE	AS SHOWN
DESIGNED	E.O.
DRAWN	E.O.
DRAWING NO.	A-1
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GENERAL NOTES:

- THE CONTRACTOR SHALL VISIT THE PREMISES AND THOROUGHLY FAMILIARIZE HIMSELF WITH ALL DETAILS OF THE WORK AND WORKING CONDITIONS. VERIFY ALL DIMENSIONS IN THE FIELD, AND ADVISE THE ARCHITECT / ENGINEER OF ANY DISCREPANCY BEFORE PERFORMING THE WORK.
 - THE CONTRACTOR SHALL PERFORM ALL WORK REQUIRED UNDER THIS CONTRACT FOR A COMPLETE INSTALLATION AND IN SUCH MANNER THAT SURFACES NOT AFFECTED BY REMOVAL OF EXISTING OR FROM NEW WORK SHALL REMAIN UNDISTURBED AND NORMAL ACTIVITIES AT THE INSTALLATION MAY CONTINUE WITH THE LEAST POSSIBLE INTERFERENCE. ALL DEBRIS SHALL BE REMOVED FROM THE SITE OF THE WORK AT THE END OF EACH WORKING DAY. MATERIALS AND EQUIPMENT SHALL BE STORED ONLY AT LOCATIONS APPROVED BY THE ARCHITECT / ENGINEER AND OWNER'S REPRESENTATIVE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE STRUCTURES AND PERSONNEL DURING THE WORK UNDER THIS CONTRACT. ALL ALTERING, CUTTING, DRILLING OF PAVEMENT, FLOOR AND OTHER MODIFICATIONS SHALL BE NEATLY AND CAREFULLY DONE BY SKILLED MECHANICS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE TO EXISTING WORK, MATERIALS, AND EQUIPMENT AS A RESULT OF HIS OPERATIONS. ALL DAMAGED WORK SHALL BE REPAIRED OR REPLACED WITH MATERIALS OF LIKE TYPE, QUALITY AND FINISH BY SKILLED MECHANICS OF THE TRADES INVOLVED AT NO ADDITIONAL COST TO THE OWNER AND TO THE FULL SATISFACTION OF THE ARCHITECT / ENGINEER.
 - LEGAL DISPOSAL OF ALL MATERIAL NOT SPECIFIED OR SHOWN TO BE SALVAGED AND / OR REUSED RESULTING FROM REMOVAL OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL COSTS IN CONNECTION WITH LEGALLY DISPOSING OF THE MATERIALS WILL BE AT THE CONTRACTOR'S EXPENSE. ALL LIABILITY OF ANY NATURE RESULTING FROM THE DISPOSAL OF THE MATERIALS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - CONTRACTOR SHALL PROVIDE AND MAINTAIN ACCESS TO ALL EXISTING FACILITIES AND THOSE UNDER CONSTRUCTION IN THE IMMEDIATE VICINITY, AT ALL TIMES DURING CONSTRUCTION OF PROPOSED PROJECT.
 - CONTRACTOR SHALL INSTALL SECURITY FENCING AND BARRICADES AS REQUIRED BY THE LOCAL AUTHORITIES, AND/OR DIRECTED BY ARCHITECT / ENGINEER.
 - VERIFICATION OF EXISTING CONDITIONS:
EACH CONTRACTOR SHALL DETERMINE AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE BUILDING SITE AND SHALL BE RESPONSIBLE FOR SAME BEFORE COMMENCING THE WORK. DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AND/OR ENGINEER AND SHALL BE RESOLVED BEFORE RESUMING THE WORK. DIMENSIONS SHALL BE READ AND NEVER SCALED OR ESTIMATED FROM THE ARCHITECTURAL DRAWINGS.
 - CODE COMPLIANCE:
EACH CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE, BUILDING DEPARTMENT REGULATIONS AND WITH ALL OTHER CODES AND GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER HIS PORTION OF THE WORK. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR SAFETY PRECAUTION AND PROGRAMS IN CONNECTION WITH HIS PORTION OF THE WORK.
 - EXAMINATION OF THE CONTRACT DOCUMENTS AND SITE:
EACH CONTRACTOR FOR THIS PROJECT SHALL STUDY AND FAMILIARIZE HIMSELF WITH THE SITE AND WITH ALL THE DRAWINGS FOR ALL TRADES AND PARTS OF THE WORK. SHOULD ANY CONTRACTOR HAVE THE OPINION THAT THERE EXISTS IN THE ARCHITECTURAL DRAWINGS ANY ERRORS OR DISCREPANCIES, OR THAT CONDITIONS OF THE WORK OF ANY OTHER CONTRACTOR IS SUCH THAT IT WILL PREVENT HIM FROM COMPLETING HIS WORK IN A COMPETENT MANNER, HE SHALL NOTIFY THE ARCHITECT OF SUCH DURING THE BIDDING PHASE OF THE PROJECT, PRIOR TO BID OPENING.
- THE CONTRACTOR SHALL HAVE AT THE BUILDING SITE, FROM START TO FINISH OF CONSTRUCTION, A RESPONSIBLE FOREMAN. IN ADDITION, THE CONTRACTOR SHALL GIVE HIS PERSONAL SUPERVISION TO THE WORK. THE FOREMAN SHALL BE ON DUTY DURING ALL WORKING HOURS. ANY INSTRUCTIONS OR NOTICES GIVEN TO HIM SHALL HAVE THE SAME IMPORTANCE AS IF GIVEN TO THE CONTRACTOR IN PERSON.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TEMPORARY PROVISIONS SUCH AS TOILETS, WATER SUPPLY, LIGHT AND POWER AS WELL AS ANY OTHER DEEMED NECESSARY FOR THE COMPLETION OF THE BUILDING.
- ANY ITEM OF WORK NECESSARY TO THE PROPER COMPLETION OF CONSTRUCTION WHICH IS NOT SPECIFICALLY COVERED IN THESE DOCUMENTS SHALL BE PERFORMED IN A MANNER DEEMED GOOD PRACTICE OF THE TRADE INVOLVED.

ARCHITECTURAL NOTES

THE CONTRACTOR SHALL INSPECT ALL EXISTING CONDITIONS, VERIFY ALL ON SITE DIMENSIONS, EQUIPMENT AND BUILDING SERVICE REQUIREMENTS PRIOR TO COMMENCEMENT OF WORK. ORIGINAL BUILDING PLANS SHOULD BE REVIEWED TO ASSESS THE ENTIRE SCOPE OF THE PROJECT.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH ALL OTHER TRADES INCLUDING THE EXISTING STRUCTURAL ELEMENTS OF THE BUILDING

THE CONTRACTOR SHALL PROVIDE ALL ELEMENTS OF THE SYSTEMS AS INTENDED BY THE DESIGN TO RESULT IN COMPLETE AND WORKABLE SYSTEMS IN ACCORDANCE WITH ALL STATE AND LOCAL CODES, SAFETY STANDARDS AND GOVERNING ORDINANCES.

ALL FINISH MATERIALS CHOSEN FOR THIS SPACE WILL BE DETERMINED

ALL CONSTRUCTION SHALL CONFORM TO ALL CODE REGULATIONS AND RESTRICTIONS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS

DRAWINGS ARE DIAGRAMMATIC. DO NOT SCALE FOR EXACT LOCATION OF OPENINGS.

ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH PROGRESS OF THE CONSTRUCTION.

REQUIRED INSURANCE SHALL BE PROVIDED BY CONTRACTOR FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK

CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, INSPECTIONS AND TESTS.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON JOB PRIOR TO BEGINNING CONSTRUCTION. DIMENSIONS SHALL TAKE PRECEDENCE OVER DRAWINGS.

TERMITES PROTECTION NOTE:
 AS PER F.B.C. 2017 6th EDITION

105-10 CERTIFICATE OF PROTECTIVE TREATMENT FOR PREVENTION OF TERMITES.
 A WEATHER- RESISTANT JOB- SITE POSTING BOARD SHALL BE PROVIDED TO RECEIVE DUPLICATE TREATMENT CERTIFICATES

AS EACH REQUIRED PROTECTIVE TREATMENT IS COMPLETED PROVIDING A COPY FOR THE PERSON THE PERMIT IS ISSUED TO AND ANOTHER COPY FOR THE BUILDING PERMIT FILES. THE TREATMENT CERTIFICATE SHALL PROVIDE THE PRODUCT USED,IDENTITY OF THE APPLICATOR,TIME AND DATE OF THE TREATMENT,SITE LOCATION,AREA TREATED,CHEMICAL USED,IF THE SOIL CHEMICAL BARRIER METHOD FOR TERMITE PREVENTION IS USED,FINAL EXTERIOR TREATMENT SHALL BE COMPLETED PRIOR TO FINAL BUILDING APPROVAL.

105.11 NOTICE OF TERMITE PROTECTION.
 A PERMANENT SIGN WHICH IDENTIFIES THE TERMITE TREATMENT PROVIDER AND NEED FOR REINSPECTION AND TREATMENT CONTRACT RENEWAL SHALL BE PROVIDED.THE SIGN SHALL BE POSTED NEAR THE WATER HEATER OR ELECTRIC PANEL.

CRACKING OR BROKEN STUCCO WAS REPAIRED AS SHOWN ON TYPICAL WALL SECTION

34' STUCCO REPAIRED

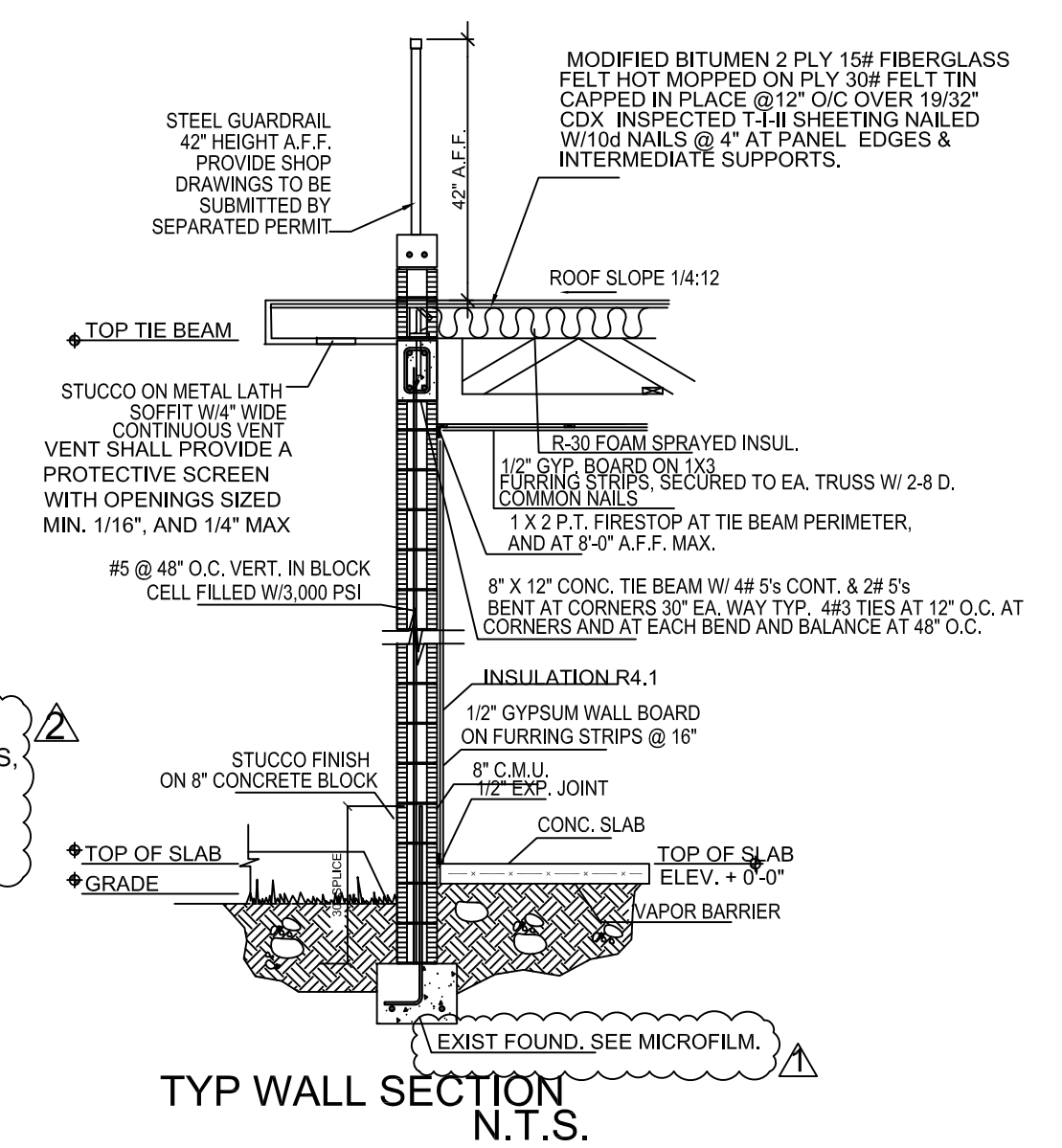
WINDOWS/DOORS, ROOFING/WATERPROOFING, RAILINGS/FENCES,TRELLISES/PERGOLAS/CANOPIES, POOLS/WATER-FEATURES, PREFABRICATED STAIRS/LADDERS AND ELEVATORS, REQUIRE SEPARATE PERMITS AS PER CMB

NOTE: EXISTING DOORS AND WINDOWS TO REMAIN.

GUARDRAILS SHALL COMPLY WITH FBC SECTION 1015

EXISTING BALCONY GUARDS TO REMAIN 42" MIN AFF (AFTER INSTALLATION OF NEW FLOORING) FBC 1013

EXIST. GUARDRAIL 42" A.F.F. SPACING REJECT 4" SPHERE TO BE PAINTED



PROPERTY ADDRESS
 FOLIO:02-3226-001-1220
 220 31 ST
 MIAMI BEACH, FL.

LEGAL DESCRIPTION
 23-26-27- 34 53 42
 M B IMPROVEMENT CO SUB PB 5-7
 LOTS 14 & 17 BLK 14
 OR 16239-3731 0194 2 (2)

BUILDING INFORMATION:
 ZONING CLASSIFICATION: RM-2 - OCCUPANCY CLASSIFICATION: R1 - HOTEL
 THIS BUILDING IS NOT FIRE SPRINKLER
 THIS BUILDING HAS FIRE ALARM

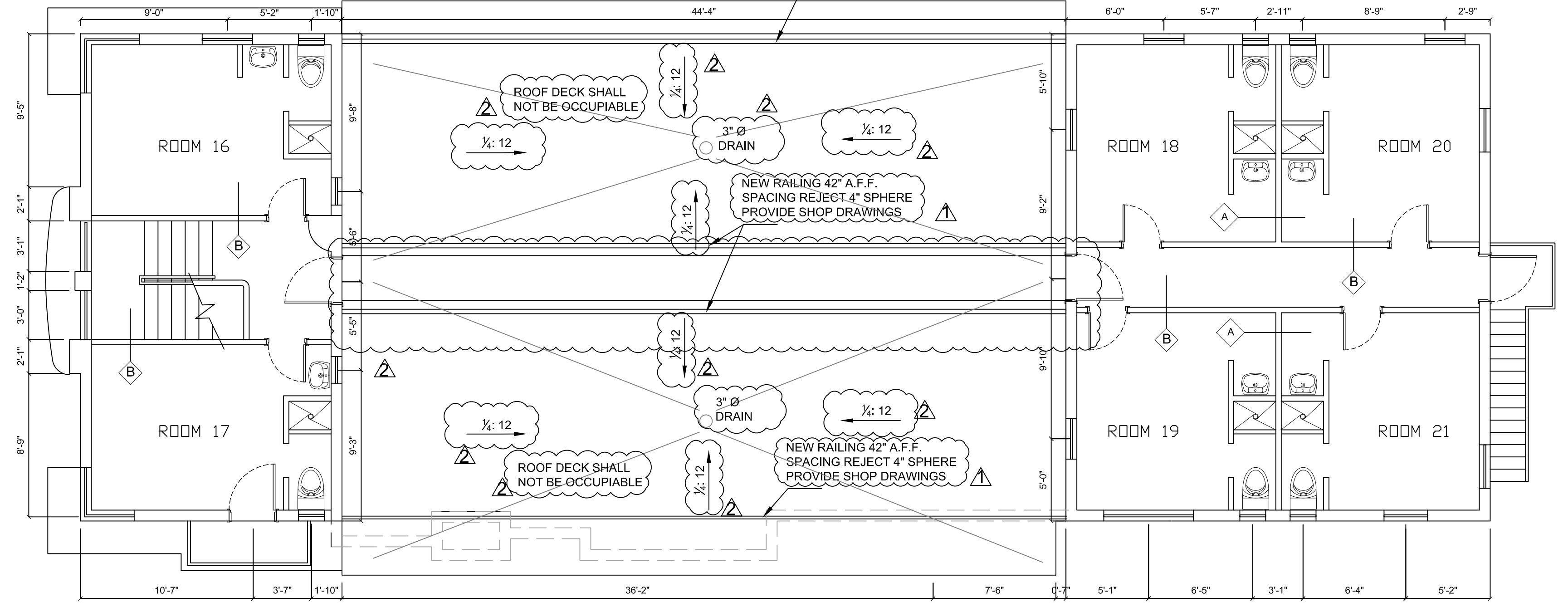
CODE IN EFFECT:
 FLORIDA BUILDING CODE 2017 6th EDITION
 FLORIDA BUILDING CODE EXISTING 2017 6th EDITION
 FLORIDA BUILDING CODE ACCESSIBILITY 2017 6th EDITION
 NFPA 101 2015 6th EDITION
 FLORIDA FIRE PREVENTION CODE 2017 6th EDITION

CLASSIFICATION OF WORK:
 COMPLIANCE BY WORK AREA
 LEVEL OF ALTERATION: LEVEL 2
 TYPE OF CONSTRUCTION: V
 WORK REHABILITATION CLASS: RENOVATION

BUILDING IS NOT GOING TO BE OCCUPIED WHILE THE WORK IS GOING TO BE TAKEN PLACE

SMOKE DETECTORS ARE SINGLE STATION SMOKE ALARM

TOTAL GROSS CONSTRUCTION AREA = 3,842 SQFT



SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

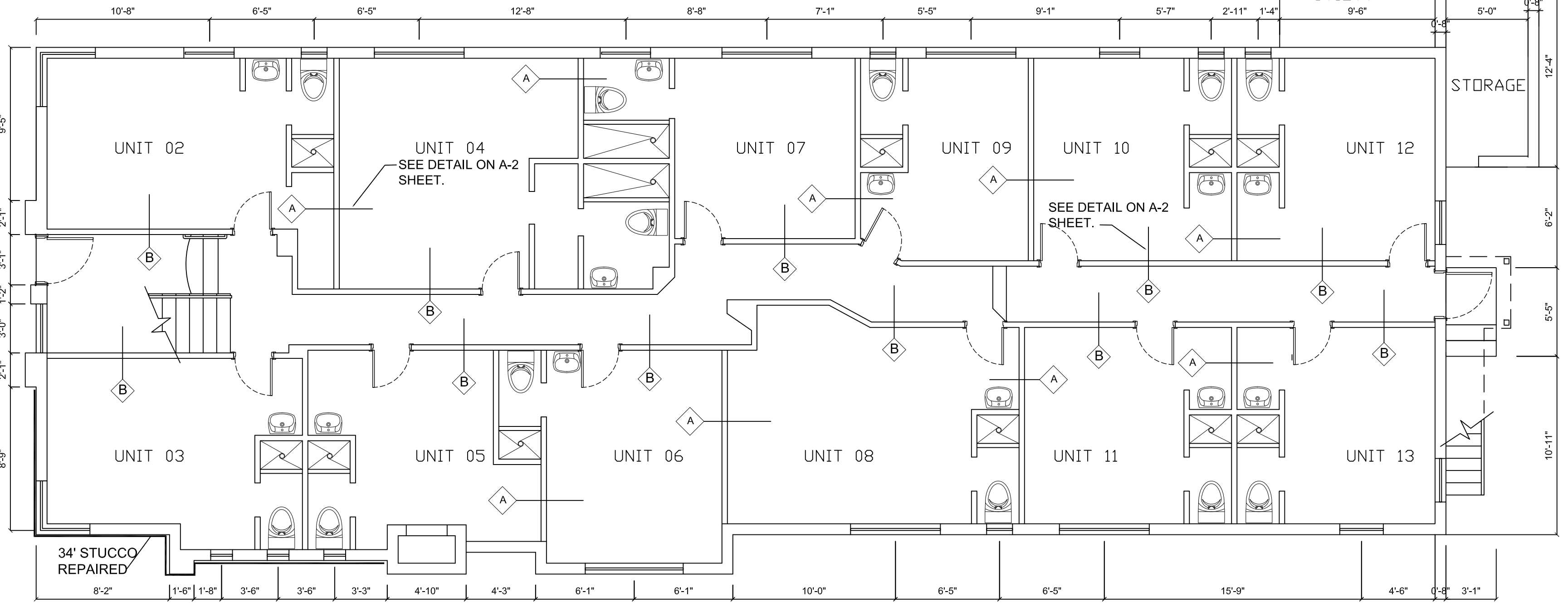
THIS SUBMITTAL IN RELATIONSHIP EXISTING BUILDING TO SHOW FLOOR PLAN AND ELEVATIONS AS REQUIRED BY CODE ENFORCEMENT

SCOPE WORK:
 VIOLATIONS AS NOTED TO BE FIXED

1. NEW TRUSSES ON ROOF WITH FILL CELLS ADDED. SEE S-1
2. 420 SQ. FT. STUCCO REPAIRED
3. SMOKE DETECTORS TO BE REPLACED
4. RAILINGS ON ROOF TO BE PAINTED
5. 1200 SQ. FT. NEW ROOF ACCORDING ROOF PERMIT RFC 1901077.

CASE PM2019-03416 WAS SOLVED ENTIRELY

VIOLATION CASE: BVC19000448 TO BE SOLVED



GROUND FLOOR PLAN

SCALE: 1/4"=1'-0"

THIS SUBMITTAL IN RELATIONSHIP EXISTING BUILDING TO SHOW FLOOR PLAN AND ELEVATIONS AS REQUIRED BY CODE ENFORCEMENT

PROVIDE DOOR AS: SAFETY / EGRESS DOOR NOTES

NO DOOR IN THE PATH OF TRAVEL OF MEANS OF ESCAPE SHALL BE LESS THAN 32" WIDE, EXCEPT THAT BATHROOM DOORS MAY BE 24" WIDE, UNLESS A LARGER DOOR OPENING IS REQUIRED TO SATISFY THE REQUIREMENTS OF SECTION 515

EVERY LOCK OR DOOR LATCH SHALL BE DESIGNED TO PERMIT THE OPENING OF THE DOOR FROM THE INSIDE IN AN EMERGENCY.

DOORS MAY BE SWINGING OR SLIDING AND ARE EXEMPT FROM THE REQUIREMENTS OF SECTION 515.3 AND 515.4

EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY

NFPA 101 21-2.4.4 EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY

21. PLANS COMPLY WITH F.B.C 2017 6th EDITION

Miami Dade County Department of Planning and Economic Development - Job Copy
 0220018590 - CIVIL ENGINEER
 ARCHITECTURAL AND ENGINEERING
 Examiner: Julio Diaz 10/09/2019
 10/09/2019 10:09 AM

FLOOR PLAN GENERAL NOTES :

GENERAL NOTES REFER TO THIS SHEET ONLY. -

A. GRAPHIC SCALE:
DO NOT SCALE DRAWINGS LARGER SCALE DRAWINGS SHALL CONTROL OVER SMALLER SCALE DRAWINGS COVERING THE SAME AREA ALL DIMENSIONS SHALL BE FIELD VERIFIED. DIMENSIONS REQUIRING CLARIFICATION SHALL BE OBTAINED FROM ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.

B. DIMENSIONS:
GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY IN FIELD (V.I.F.) ANY/ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION SPECIALLY DIMENSION INDICATED WITH MARK "V.I.F" (VERIFY IN FIELD).

C. PLAN GRAPHICS:
ALL EXTERIOR WALLS (C.M.U.) DRAWN WITH AN 8" THICKNESS ALL INTERIOR WALLS DRAWN W/4" THICKNESS. EXISTING CONDITIONS MAY VARY SLIGHTLY.

D. WALL ASSEMBLIES:
FOR WALL ASSEMBLY INFORMATION REFER TO WALL DETAILS AND DETAIL NOTES AS INDICATED ON SCHEDULE THIS SHEET.

E. 2-HOUR (2HR) RATED UNIT SEPARATION:
PER TABLE 709.21.48 OF F.B.C. 2010 EDITION TYPE "X" GYP WALL BOARD (40 MIN. RATED) 3/4" PORTLAND CEMENT-SAND PALTER ON METAL LATH (20 MIN. RATED).

F. FIRE STOPPING:
PROVIDE FIRE STOPS AT 8'-0" O.C. AND AT CEILING HEIGHT. TYPICAL.

G. ALIGNMENT OF ASSEMBLIES:
WHEN WALL ASSEMBLIES ARE A CONTINUATION OF PARTITIONS OR COLUMN ENCASUREMENTS, FACE OF ASSEMBLY SHALL BE ALIGNED WITH FACE OF PARTITIONS OR COLUMN ENCASUREMENT, U.N.O.

H. INSULATION:
CONCEALED INSULATING MATERIALS WITHIN WALL, FLOOR AND CEILING CAVITIES (COMPLETELY ENCLOSED BY APPLIED FINISHES) SHALL HAVE A FLAME SPREAD RATING NO GREATER THAN 75 AND SMOKE DEVELOPED RATING NO GREATER THAN 450 PER ASTM E 84 (FBC-2010 CHAPTER 7). ALL WALL INSUL SHALL COMPLY WITH FBC-2010 CHAPTER 7.

J. ACCESS PANELS:
VERIFY THAT ACCESS PANELS ARE INSTALLED IN WALLS AND NON-ACCESIBLE TYPE CEILING WHERE SERVICE OR ADJUSTMENT TO MECHANICAL, PLUMBING, OR ELECTRICAL ITEMS SHALL BE REQUIRED. ACCESS PANELS SHALL BE THE FIRE RATED TYPE EQUAL TO THE RATING OF THE WALL OR CEILING IN WHICH THEY OCCUR.

K. PRODUCT APPROVALS:
SUBMIT MIAMI DADE COUNTY PRODUCT APPROVALS FOR ROOF, DOORS AND WINDOWS PRIOR TO INSTALLATION.

L. ROOF PERMIT:
SUBMIT PRODUCT APPROVAL AND SHOP DRAWINGS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO SUBMITTAL TO BUILDING DEPARTMENT.

M. IMPACT RESISTANT WINNOWS AND DOORS:
1. EXTERIOR DOORS AND WINDOWS TO BE IMPACT RESISTANT CLEAR IN SPECIAL ALUM. FRAME OR SIMILAR.
2. SUBMIT MIAMI DADE COUNTY PRODUCT APPROVAL FOR ALL EXTERIOR DOORS AND WINDOWS PRIOR TO INSTALLATION.
3. GLASS AT BATHROOM WINDOWS SHALL BE FROSTED
4. INSTALL ALL EXTERIOR DOORS AND WINDOWS IN ACCORDANCE WITH APPROVAL SPECIFICATIONS.
5. ATTACH DOOR AND WINDOW BUCKS WITH FASTENERS STARTING AT 3 INCHES FROM ENDS THEN SPACED AT 6 INCHES O.C, STAGGERED. APPLY ADHESIVE SEALANT BETWEEN BUCK AND MANSORY REFER TO DETAILS.

N. RAILINGS:
ALL RAILING MUST BE 42" HT. ALUM. RAILING PRE FINISH SYSTEM ESP. WITH INTERMEDIATE ORNAMENTAL PATTERN SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH ANY OPENING UP TO THE HEIGHT OF 34". A BOTTOM RAIL OR CURB SHALL BE PROVIDED THAT WILL REJECT THE PASSAGE OF 2" DIAMETER SPHERE AS PER SEC 1015-101.3 OPENING. FLORIDA BUILDING CODE 2010 EDITION.

P. FINISH SPECIFICATIONS:
REFER TO OWNER PROVIDED SPECIFICATION SCHEDULES FOR SPECIFIC MATERIAL AND FINISH INFORMATION.

Q. PREPARE FLOOR PER MANUFACTURER'S RECOMMENDATIONS FOR THE INSTALLATION OF NEW FLOORING REFER TO OWNER SPECIFICATIONS FINISH SCHEDULE AND FOUNDATION SLAB PLAN.

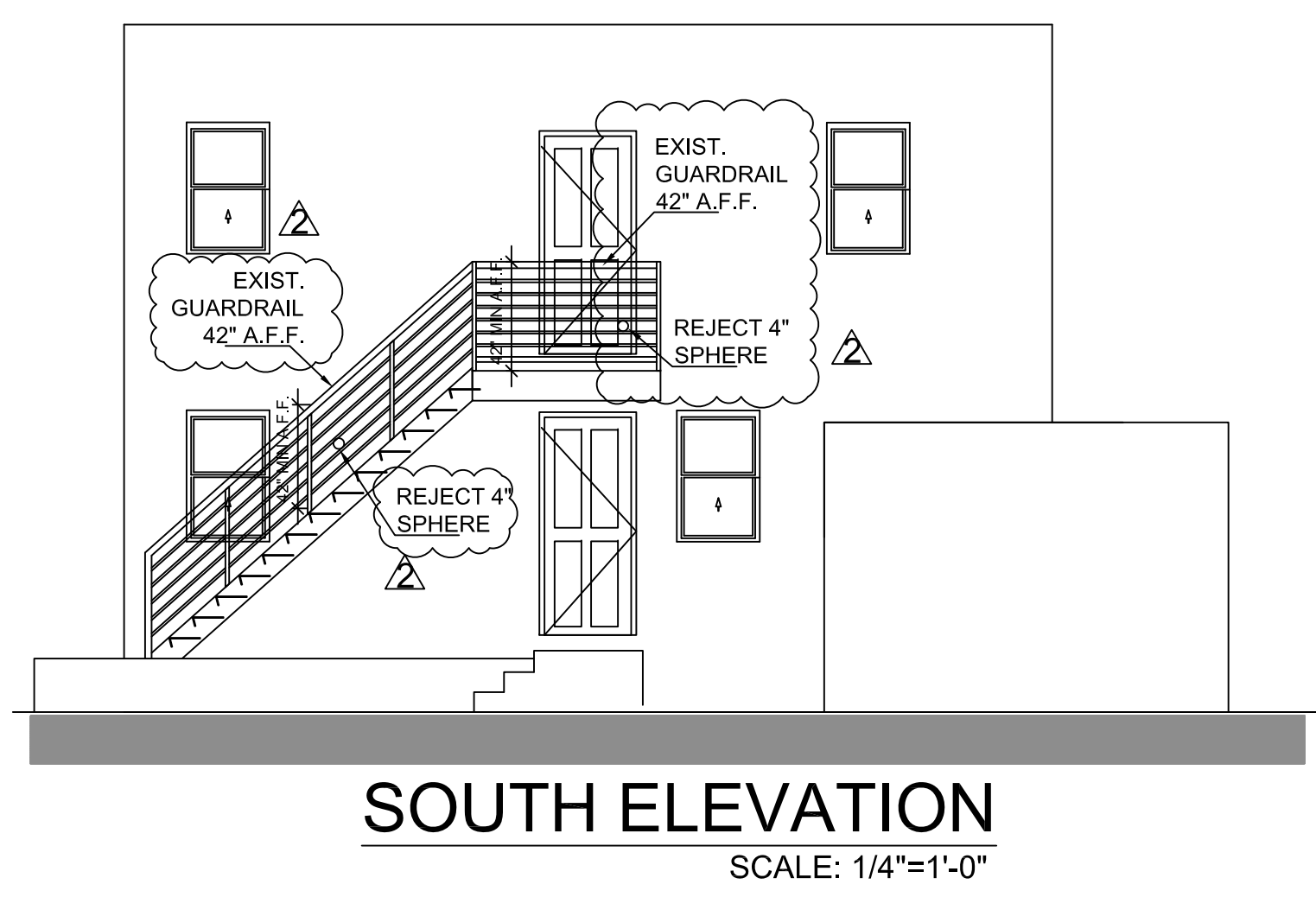
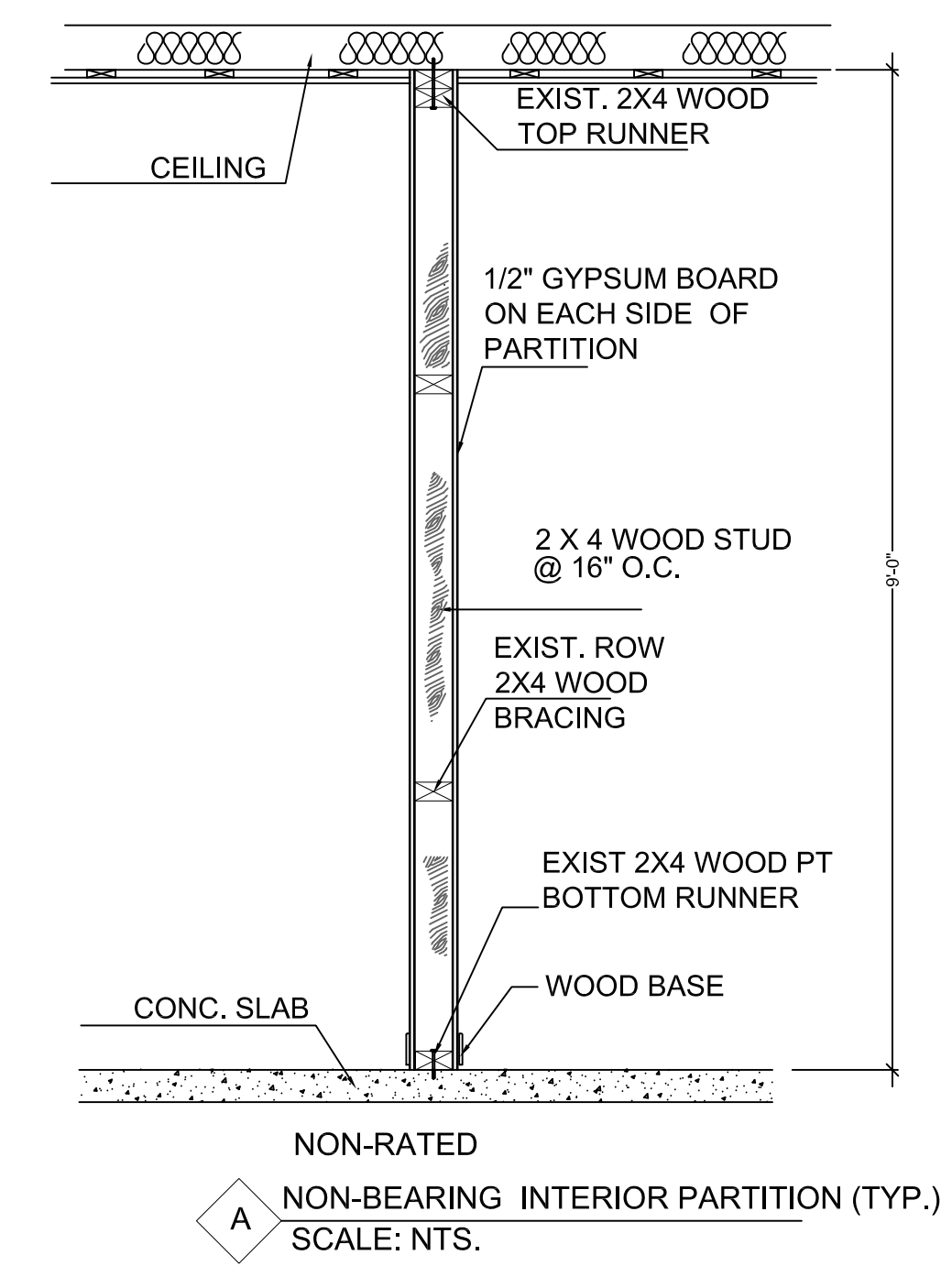
R. BATHROOM NOTE:
ALL WATER CLOSETS HAVE BEEN DESIGNED SUCH THAT THERE IS 15 INCH. MIN. (CLEAR) BETWEEN FIXTURE AND ADJACENT WALL SHOWER TUB. CABINET OR OTHER CONSTRUCTION AND PLACES NO CLOSER THAN 30. INCHES CENTER-TO-CENTER BETWEEN TOILETS OR ADJACENT FIXTURES. THERE SHALL BE AT LEAST 18 INCHES CLEARANCE IN FRONT OF THE WATER CLOSET OR BIDET TO ANY WALL, FIXTURE OR DOOR AS PER SECTION 405 F.B.C. 2010 EDITION (PLUMBING). VERIFY IN FIELD AND REPORT ANY DISCREPANCIES.

S. BATHROOM GLASS:
ALL GLASS SHOWER ENCLOSURES GLASS TUB ENCLOSURES, AND MIRRORS SHALL BE SAFETY-GLAZING, PER F.B.C. 2010 EDITION.

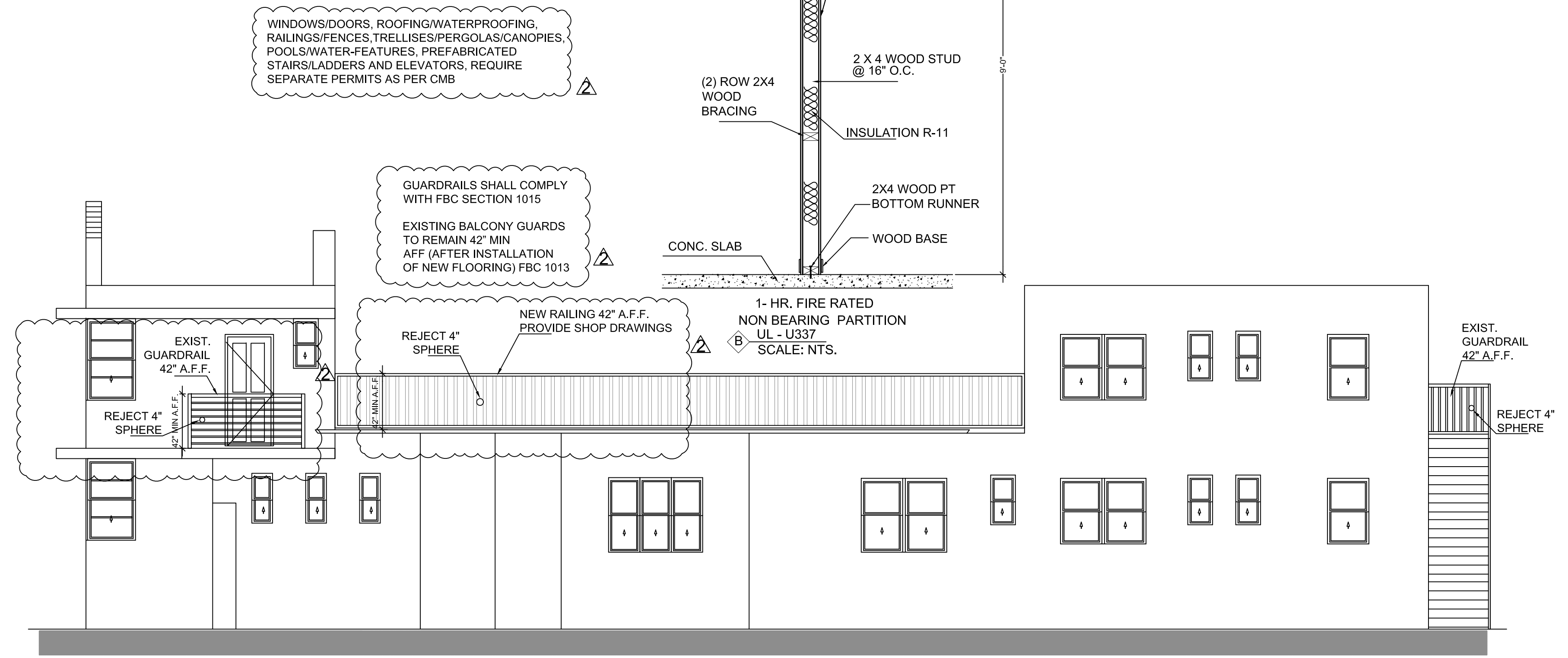
T. EQUIPMENT AND APPLIANCES:
ELECTRICAL, MECHANICAL AND PLUMBING EQUIPMENT AND APPLIANCES INDICATED ON PLAN ARE PROVIDED FOR REFERENCE ONLY. REFER TO INDIVIDUAL SHEETS AND/OR PROJECT SPECIFICATIONS FOR INFORMATION CONCERNING THESE ITEMS.

FLOOR PLAN KEY NOTES:

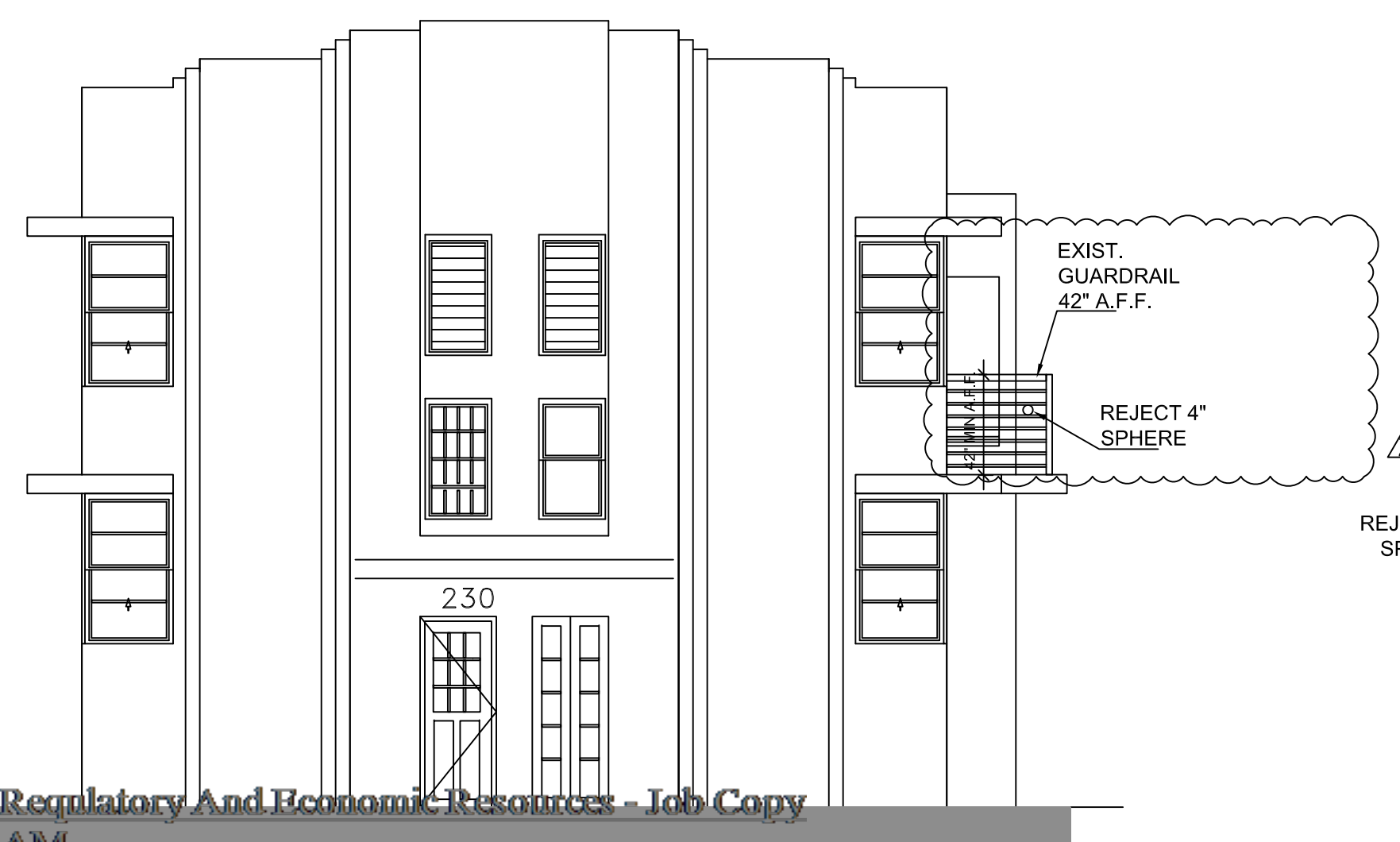
- NOTE: KEY NOTES APPLY TO GROUND FLOOR
- EXTERIOR WALL - REFER TO WALL TYPE SCHEDULE THIS SHEET.
 - PLUMBING FIXTURE - FIXTURES SELECTED BY OWNER W/ MIN POSITIVE WATER FLOW AND OR USAGE LIMITED TO 1.8 GAL PER MIN. PER FBC-2010.
 - DOOR - DOOR AND FRAME IDENTIFICATION TAG SIZE AND TYPE PER SCHEDULE.
 - WINDOW - GLAZING ASSEMBLY (WINDOW), IMPACT RATED AND TESTED IN COMPLIANCE WITH BROWARD COUNTY CODE COMPLIANT REFER TO WINDOW SCHEDULE.
 - FURNITURE - FURNITURE LAYOUT IS INDICATED FOR REFERENCE AND WILL BE PROVIDED BY OWNER.
 - MATCH LINE - LINE OF BUILDING UPON WHICH STRUCTURE IS MIRRORED, TYPICAL.
 - SOFFIT - LINE OF SOFFIT OR CABINET LINE ABOVE.
 - STAIR - CONCRETE STAIR, REFER TO BUILDING SECTION AND STRUCTURAL.
 - RATED ASSEMBLY - UNIT FIRE SEPARATIONS, NO THROUGH PENETRATIONS ALLOWED.
 - INSULATED WALL ASSEMBLY.
 - CABINET LAYOUT CONCEPTUAL RETAIN CLEARANCES.



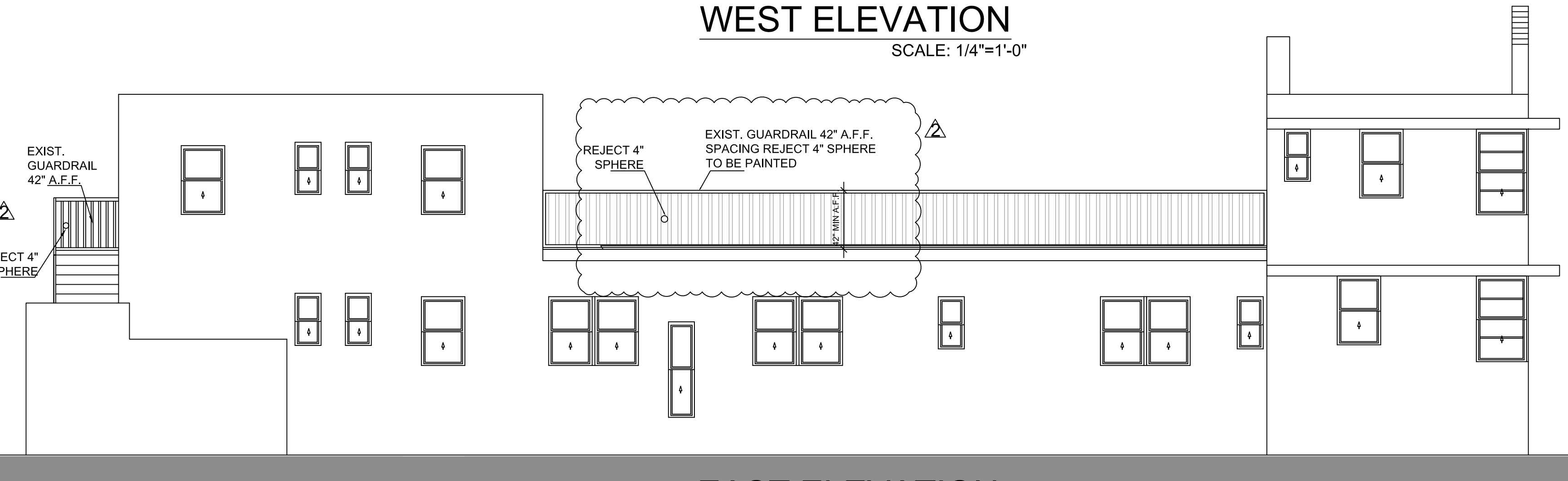
SOUTH ELEVATION
SCALE: 1/4"=1'-0"



WEST ELEVATION
SCALE: 1/4"=1'-0"



NORTH ELEVATION
SCALE: 1/4"=1'-0"

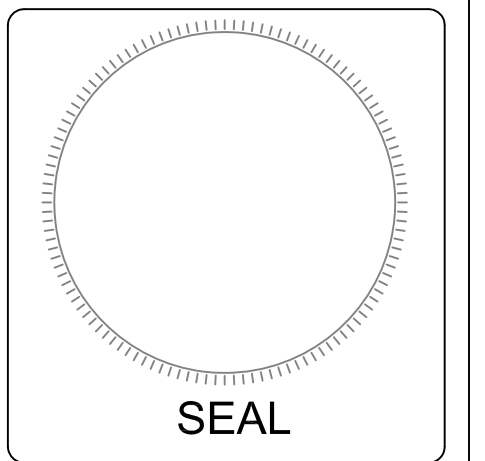


EAST ELEVATION
SCALE: 1/4"=1'-0"

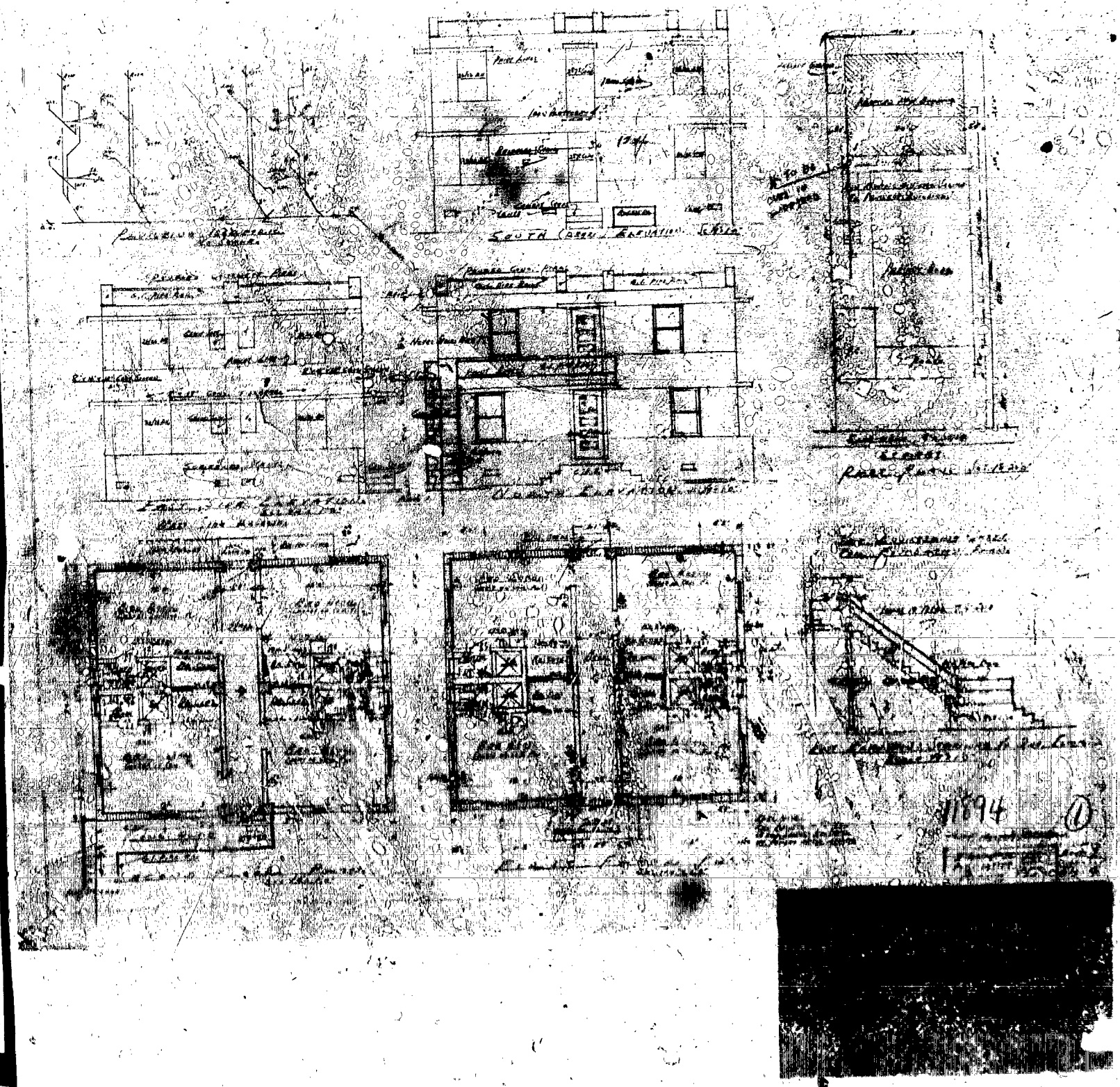
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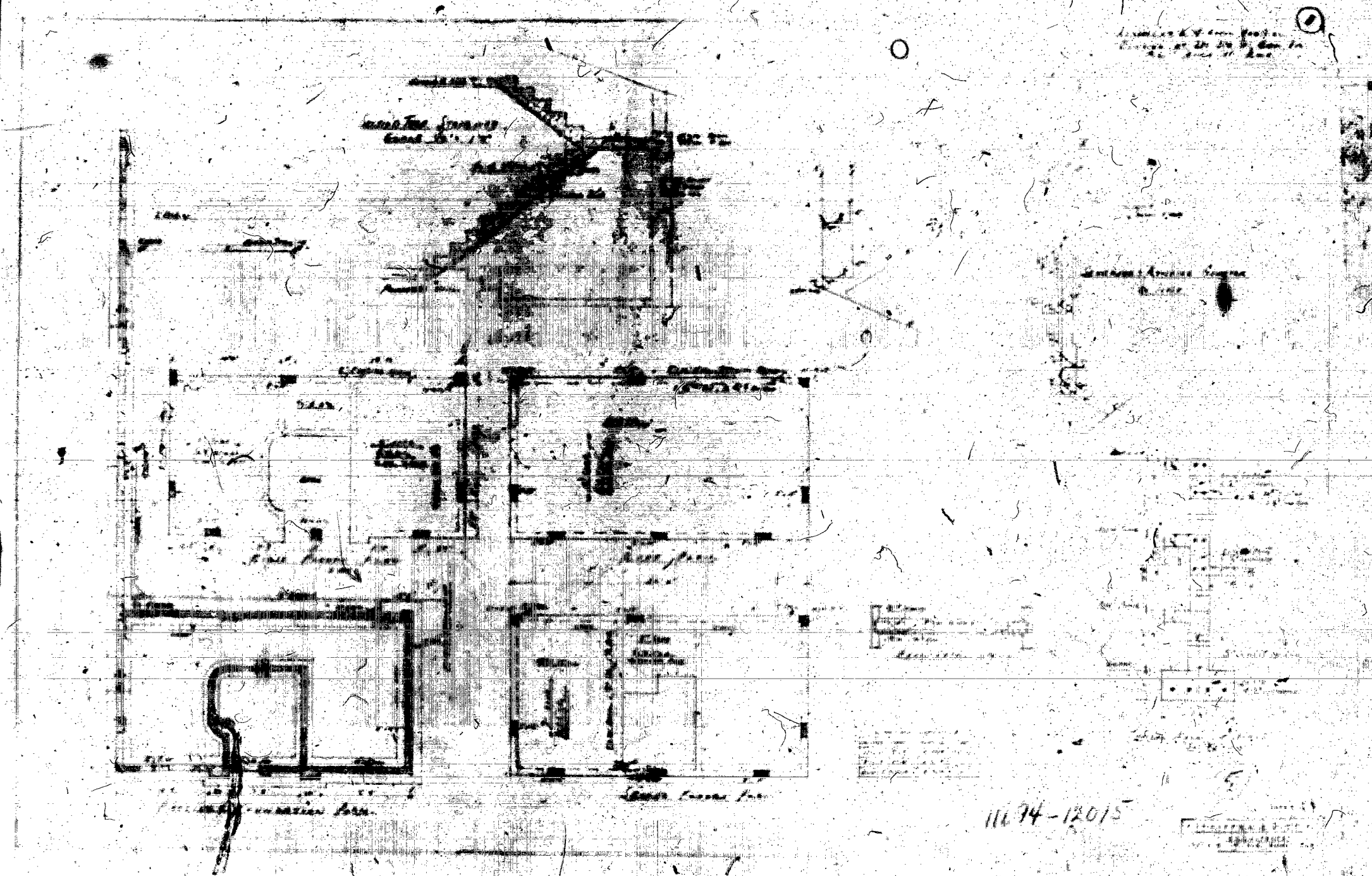
EMILIANO OROZCO P.E.
949 SW 122 AVENUE
MIAMI, FLORIDA 33184
PHONE: (786) 715-7125
emiliano21@gmail.com

GUSTEL ENTERPRISES INC
101 CRANDON BLVD
MIAMI BEACH, FL 33140

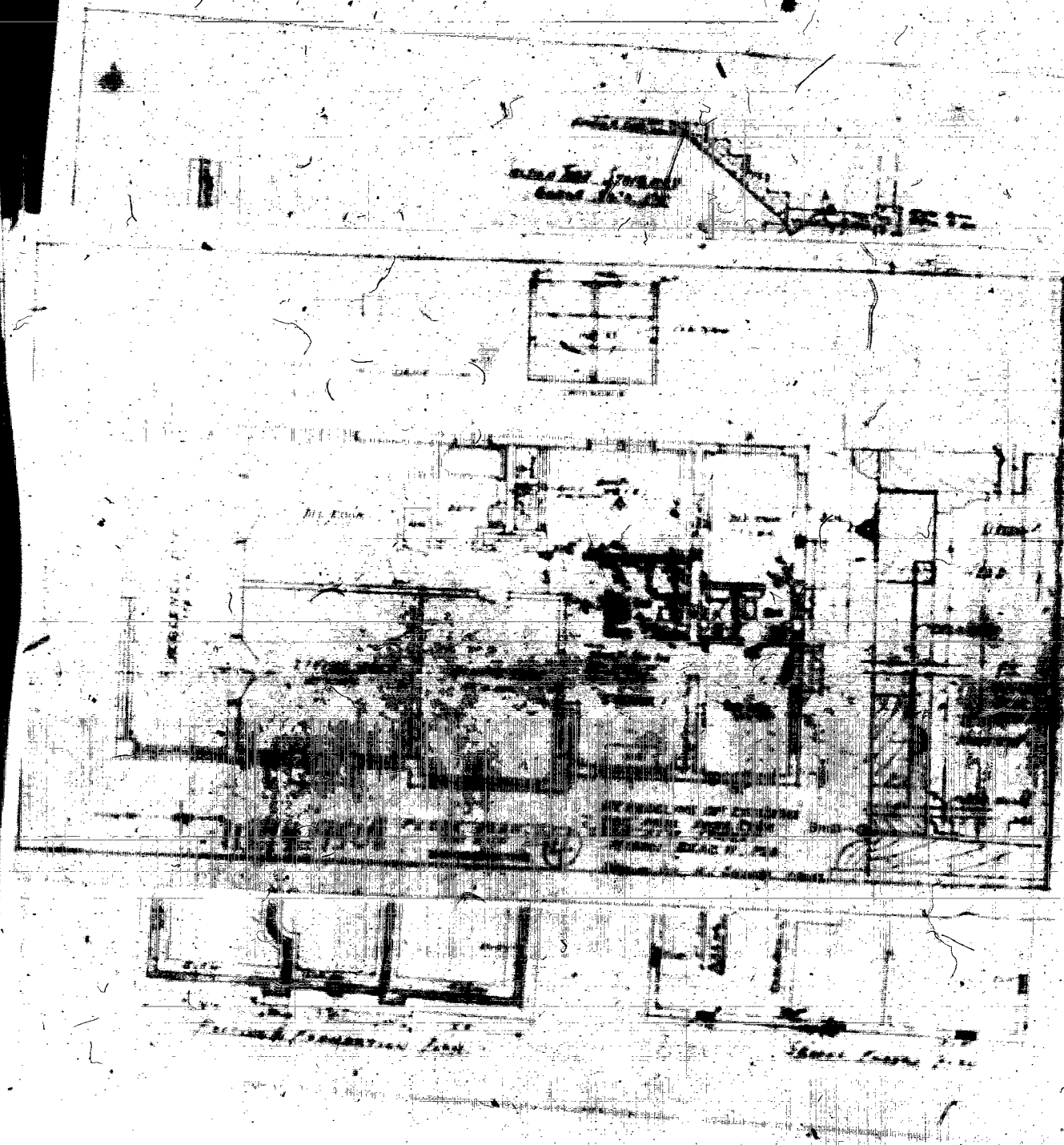


DATE: 02-04-2020
 SCALE: AS SHOWN
 DESIGNED: E.O.
 DRAWN: E.O.
 DRAWING NO.: **A-2**
 SHEET OF





11694-12015



11074-12015