

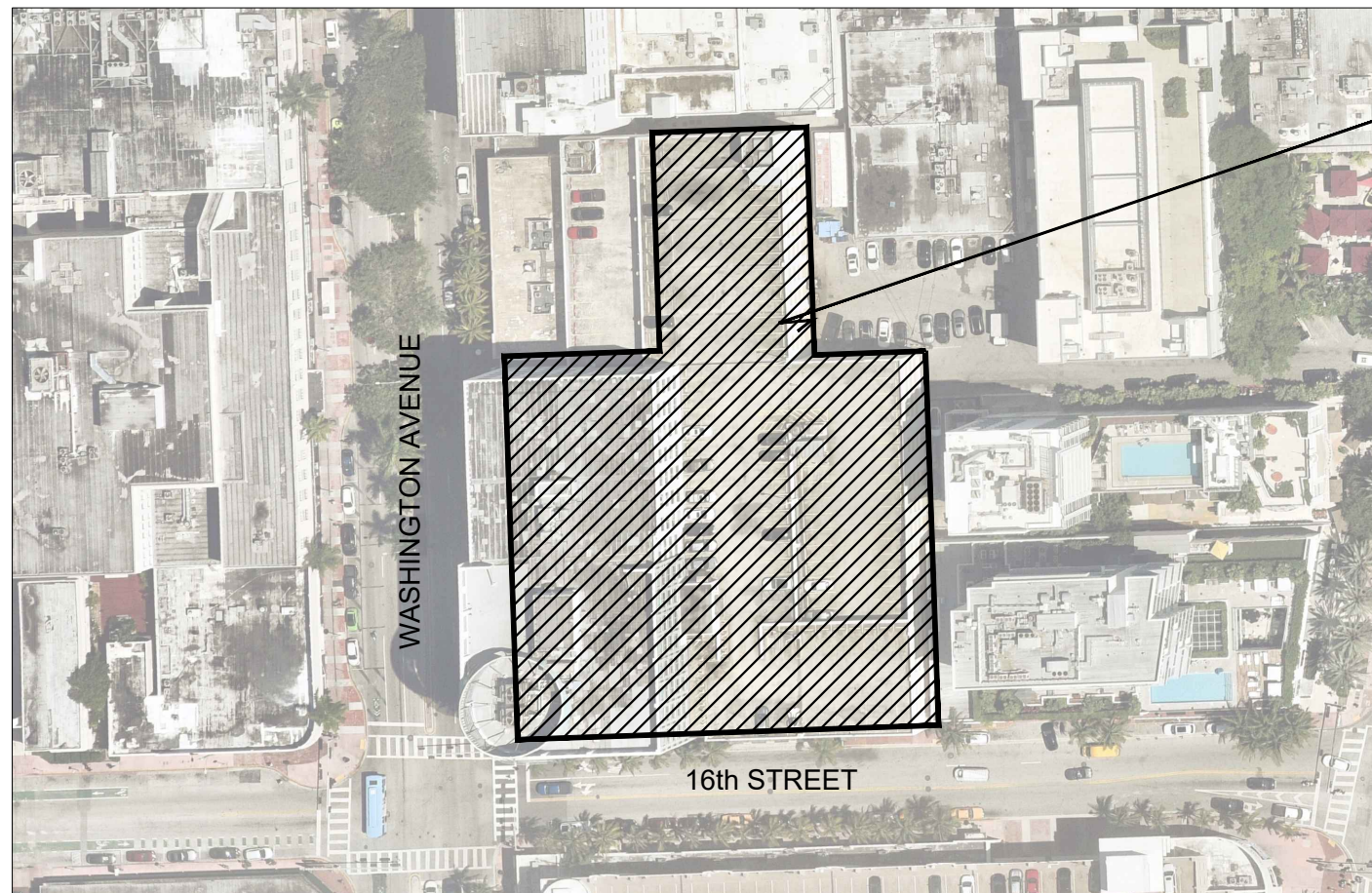
HPB - SUBMITTAL (#HPB 23-0588)

FOR

1601 WASHINGTON AVE

MIAMI BEACH, 33139

SEPTEMBER 2023



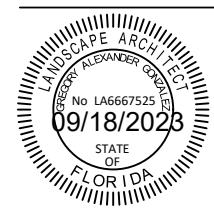
PROJECT LOCATION

SCALE: 1" = 100'

LANDSCAPE ARCHITECT:
Kimley»Horn

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 2 ALHAMBRA PLAZA, SUITE 500, MIAMI, FL, 33134
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Rev.	Date	Rev.	Date
2	09-11-2023		

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COVER SHEET

Date	09-11-2023	Sheet No.	L-000
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Project	2335		

GENERAL NOTES:

- LIMITS OF SCOPE OF WORK IS PLANTING AND IRRIGATION WITHIN THE SITE.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH OWNERSHIP, ARCHITECT, AND LANDSCAPE ARCHITECT FOR PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING SITE PRIOR TO BIDDING IN ORDER TO FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS AFFECTING THE WORK, INCLUDING BUT NOT LIMITED TO, PRIVATE AND PUBLIC UTILITIES ON AND OFFSITE, EXISTING DRAINAGE, ETC.
- CONTRACTOR SHALL NOTIFY OWNERSHIP AND THE LANDSCAPE ARCHITECT IN WRITING IMMEDIATELY OF ANY EXPECTED OR UNKNOWN CONDITIONS OR DISCREPANCIES OR AMBIGUITIES IN THE DRAWINGS OR SPECIFICATIONS, AS WELL AS ERRORS OR OMISSIONS ON THE DRAWINGS PRIOR TO PROCEEDING WITH THE WORK OR SHOP FABRICATION.
- CONTRACTOR SHALL COORDINATE ABE IN COMPLIANCE WITH ALL STATE AND LOCAL CODES AS WARRANTED.
- ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS AND SPECIFICATIONS AND EXISTING SITE CONDITIONS OR ANY INCONSISTENCIES OR AMBIGUITIES IN DRAWINGS OR SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT, IN WRITING, WHO SHALL PROMPTLY ADDRESS SUCH INCONSISTENCIES OR AMBIGUITIES. WORK DONE BY THE CONTRACTOR AFTER HIS DISCOVERY OF SUCH DISCREPANCIES, INCONSISTENCIES, OR AMBIGUITIES SHALL BE PERFORMED AT THE CONTRACTOR'S RISK.
- DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER, OR THE LANDSCAPE ARCHITECT, MAY BE CAUSE FOR THE WORK TO BE DESIGNATED UNACCEPTABLE.
- THE CONTRACTOR ACKNOWLEDGES & AGREES THAT THE WORK IS ENTIRELY AT HIS RISK UNTIL SITE IS ACCEPTED, AND HE WILL BE HELD RESPONSIBLE FOR ITS SAFETY BY THE OWNER.
- THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE DAMAGE OR LOSS OF ANY REFERENCE POINTS AND HUBS DURING THE CONSTRUCTION OF HIS WORK, AND SHALL BEAR THE COST OF REPLACING SAME.
- THE CONTRACTOR IS RESPONSIBLE FOR HORIZONTALLY AND VERTICALLY LOCATING AND PROTECTING ALL PUBLIC AND PRIVATE UTILITIES WHICH LIE IN OR ADJACENT TO THE CONSTRUCTION SITE AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY (CALL SUNSHINE DIGICALL - 811).
- THE CONTRACTOR SHALL SALVAGE AND PROTECT ALL EXISTING POWER POLES, SIGNS, MANHOLES, TELEPHONE RISERS, WATER VALVES, ETC., DURING ALL CONSTRUCTION PHASES UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL REPAIR, AT HIS OWN EXPENSE, ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
- ANY FOREIGN ITEM FOUND DURING CONSTRUCTION IS THE PROPERTY OF THE OWNER. THIS INCLUDES, BUT IS NOT LIMITED TO, PRECIOUS METALS, COINS, PAPER CURRENCY, ARTIFACTS AND ANTIQUITIES.
- ALL SURPLUS EXCAVATION SHALL BE TAKEN TO A SITE DESIGNATED BY OWNER, AT NO ADDITIONAL COST TO THE OWNER. IF OWNER CHOOSES, THE CONTRACTOR MAY TAKE POSSESSION OF SURPLUS EXCAVATION MATERIAL.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND/OR OBTAINING ALL REQUIRED PERMITS AND APPROVALS PRIOR TO COMMENCING CONSTRUCTION.
- CONTRACTOR IS TO MAINTAIN CONTROLLED PEDESTRIAN AND ADA ACCESS THROUGH ALL AREAS OF THE SITE THROUGHOUT CONSTRUCTION PERIOD.
- MAINTAIN THE SITE IN A NEAT AND ORDERLY CONDITION AT ALL TIMES. DAILY, AND MORE OFTEN IF NECESSARY, INSPECT & AND PICK UP ALL SCRAP, DEBRIS, & WASTE MATERIAL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ALL MUD, DIRT, GRAVEL AND OTHER MATERIALS TRACKED ONTO ANY PRIVATE OR PUBLIC STREETS OR SIDEWALKS. THE CONTRACTOR MUST CLEAN THESE DAILY, IF NECESSARY. THE CONTRACTOR MUST USE WATER OR OTHER ACCEPTABLE METHODS TO KEEP AIRBORNE DUST TO A REQUIRED MINIMUM.
- PROVIDE PROTECTION TO ALL FINISHED WORK. MAINTAIN SURFACES CLEAN, UNMARRRED, AND SUITABLY PROTECTED UNTIL ACCEPTANCE BY OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE RESULTING FROM CONSTRUCTION ACTIVITY TO EXISTING ELEMENTS THAT ARE TO REMAIN.
- EROSION CONTROL MEASURES (IE: SILT FENCING AND SEDIMENT CONTROL) SHALL BE MAINTAINED BY THE CONTRACTOR PER CIVIL SPECIFICATIONS. ANY EROSION CONTROL MEASURES DAMAGED BY THE CONTRACTOR SHALL BE REPLACED PER CIVIL SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY LOCATION, SIZE AND ELEVATION OF EXISTING UTILITIES, STRUCTURES, PIPES, PAVEMENTS, ETC. AS RELATED TO HIS WORK. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICT AND/OR DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS, PRIOR TO THE START OF CONSTRUCTION.
- ALL GENERAL CONDITIONS, SUPPLEMENTARY GENERAL CONDITIONS AND TECHNICAL SPECIFICATIONS OF THE CONTRACT SHALL APPLY.
- ALL AREAS OUTSIDE THE LIMITS OF CONSTRUCTION LINE OR TREE CRITICAL ROOT ZONES SHALL NOT BE CROSSED BY HEAVY EQUIPMENT OR USED FOR STORING ANY EQUIPMENT OR MATERIALS.

GENERAL ABBREVIATIONS:

- ARCH. = ARCHITECT/ARCHITECTURE
- TG = TOP OF GRADE
- TW = TOP OF WALL
- TPW = TOP OF PLANTER WALL
- FFE = FINISH FLOOR ELEVATION
- AFF = ABOVE FINISH FLOOR
- P.L. = PROPERTY LINE
- M.L. = MONUMENT LINE
- C.L. = CENTER LINE
- CONC = CONCRETE
- STRUCT. = STRUCTURAL / STRUCTURE
- ENG. = ENGINEER / ENGINEERING
- LA = LANDSCAPE ARCHITECT
- DWGS = DRAWINGS
- TYP = TYPICAL
- EXST = EXISTING
- HSCP = HARDSCAPE
- LSCP = LANDSCAPE
- PLNT = PLANTING
- PLTR = PLANTER
- REF = REFER TO
- C.T. = CLEAR TRUNK
- D.B.H = DIAMETER AT BREAST HEIGHT
- B & B = BALLED AND BURLAPPED
- MIN. = MINIMUM

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2023.09.11 | HPB SUBMITTAL

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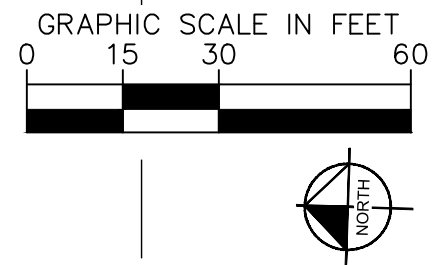
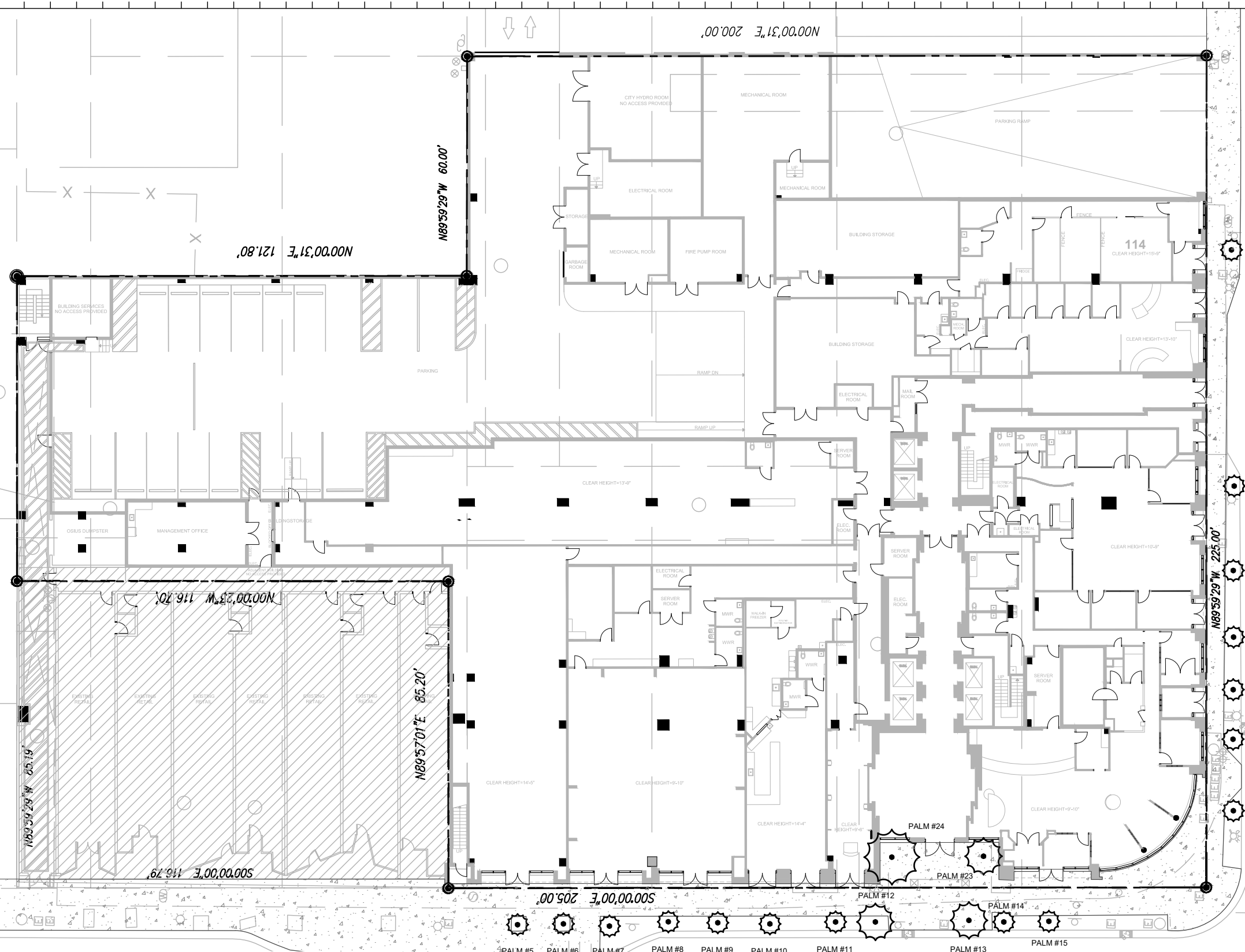
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SHEET INDEX

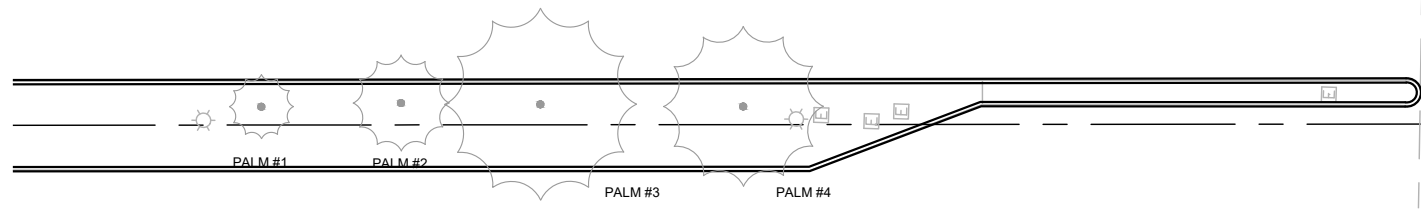
Date	09-11-2023	Sheet No.	L-001
Scale	AS SHOWN		
Project	2335		

© 2022 KIMLEY-HORN AND ASSOCIATES, INC. K:\MB_LRG\143721000-1601 Washington Ave Landscape\CADD\PlanSheets\L-100 TREE DISPOSITION PLAN.dwg Plotted By:Lieberman, Amy Sheet Set:1601 WASHINGTON AVE Layout:L-100 TREE DISPOSITION PLAN September 11, 2023 03:21:10pm



TREE DISPOSITION GRAPHIC LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	EXISTING TREE NOT IN SCOPE		TREE PROTECTION FENCE
	PALM TO REMAIN		



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TREE DISPOSITION PLAN

Date	09-11-2023	Sheet No.	L-100
Scale	AS SHOWN		
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© 2022 KIMLEY-HORN AND ASSOCIATES, INC. K:\MIB_LIRC\43721000-1601 Washington Ave\Landscapa\CADD\PlanSheets\L-100 TREE DISPOSITION PLAN.dwg Plotted By:Lieberman, Amy Sheet Set:1601 WASHINGTON AVE Layout:L-101 TREE LIST CALCS September 11, 2023 03:21:10pm

TREE DISPOSITION LIST

SURVEY TREE NO.	SCIENTIFIC NAME	COMMON NAME	DBH (IN.)	HEIGHT (FT.)	CANOPY (FT.)	DISPOSITION	COMMENTS
1	<i>Delonix regia</i>	Royal Poinciana	3	25	10	REMAIN (ROW) (NIS)	
2	<i>Roystonea regia</i>	Royal Palm	3	30	15	REMAIN (ROW) (NIS)	
3	<i>Roystonea regia</i>	Royal Palm	3	40	30	REMAIN (ROW) (NIS)	
4	<i>Roystonea regia</i>	Royal Palm	3	20	25	REMAIN (ROW) (NIS)	
5	<i>Cocos nucifera</i>	Coconut Palm	1	30	6	REMAIN (ROW)	
6	<i>Cocos nucifera</i>	Coconut Palm	1	30	6	REMAIN (ROW)	
7	<i>Cocos nucifera</i>	Coconut Palm	1	30	6	REMAIN (ROW)	
8	<i>Cocos nucifera</i>	Coconut Palm	1	30	6	REMAIN (ROW)	
9	<i>Cocos nucifera</i>	Coconut Palm	1	30	6	REMAIN (ROW)	
10	<i>Cocos nucifera</i>	Coconut Palm	1	30	6	REMAIN (ROW)	
11	<i>Cocos nucifera</i>	Coconut Palm	1	30	6	REMAIN (ROW)	
12	<i>Phoenix dactylifera</i>	Date palm	3	20	10	REMAIN (ROW)	
13	<i>Phoenix dactylifera</i>	Date palm	3	20	10	REMAIN (ROW)	
14	<i>Cocos nucifera</i>	Coconut Palm	1	30	6	REMAIN (ROW)	
15	<i>Cocos nucifera</i>	Coconut Palm	1	30	6	REMAIN (ROW)	
16	<i>Cocos nucifera</i>	Coconut Palm	1	30	6	REMAIN (ROW)	
17	<i>Cocos nucifera</i>	Coconut Palm	1	30	6	REMAIN (ROW)	
18	<i>Cocos nucifera</i>	Coconut Palm	1	30	6	REMAIN (ROW)	
19	<i>Cocos nucifera</i>	Coconut Palm	1	30	6	REMAIN (ROW)	
20	<i>Cocos nucifera</i>	Coconut Palm	1	30	6	REMAIN (ROW)	
21	<i>Cocos nucifera</i>	Coconut Palm	1	30	6	REMAIN (ROW)	
22	<i>Cocos nucifera</i>	Coconut Palm	1	30	6	REMAIN (ROW)	
23	<i>Dyopsis cabadae</i>	Cabada Palm	0.5	30	15	REMAIN	
24	<i>Dyopsis cabadae</i>	Cabada Palm	0.5	25	10	REMAIN	

Total DBH to be removed =	-
Palms to be removed	-

TREE DISPOSITION GRAPHIC KEY	
TEXT	Requires mitigation
TEXT	Does not require mitigation / not regulated due to size or species / Tree not in scope
TEXT	Palm

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TREE LIST CALCS

Date	09-11-2023	Sheet No.	L-101
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TREE REMOVAL AND TREE TO REMAIN PRUNING SPECIFICATIONS

PART 1 - EXPLANATION OF NATURAL RESOURCE PRESERVATION PROCEDURES
 THE SEQUENCE OF OPERATION IS CRITICAL TO THE PROTECTION OF THE TREES.
 A. TREE CANOPY PRUNING IS TO COMPENSATE FOR ROOT LOSS AND DAMAGE.
 B. FERTILIZATION IS TO STIMULATE ROOT SYSTEMS TO HEAL QUICKLY AND GROW BACK IN ROOT-PRUNED AREAS. IT ALSO PRODUCES FASTER AVAILABILITY OF FOOD TO A ROOT SYSTEM THAT IS LESS EFFICIENT DUE TO THE DAMAGE INCURRED.
 C. ROOT PRUNING IS TO REMOVE THE ROOTS WITH A TRENCHING PROCEDURE THAT IS LESS DAMAGING TO THE ROOTS THAN REGULAR CONSTRUCTION.

PART 2 - DEFINITIONS
 A. NATURAL RESOURCE - EXISTING TREES OR PALMS.
 B. CRITICAL ROOT ZONE - THE MASS OF ROOTS SURROUNDING A TREE THAT IS REQUIRED BY THE TREE TO LIVE. THE CRITICAL ROOT ZONE IS OFTEN MUCH LARGER THAN THE CANOPY. THE CRITICAL ROOT ZONE FOR EACH TREE OR PALM WITHIN THE PROJECT LIMITS TO BE DETERMINED BY THE CONTRACTOR'S CERTIFIED ARBORIST.
 C. DBH - DIAMETER BREAFAST HIGH - INDICATES THE LOCATION ON THE TRUNK, APPROXIMATELY 4.5' ABOVE GROUND, TO MEASURE THE DIAMETER OF A TREE.
 D. GRADE - THE GRADE OF A TREE REFERS TO THE OVERALL HEALTH AND APPEARANCE OF THE TREE. THE GRADES RANGE FROM "A" BEING EXCELLENT TO "D" BEING HAZARDOUS.
 E. PRESERVED TREES - TREES THAT ARE TO BE SAVERED/REMAIN IN PLACE.
 F. OWNER'S REPRESENTATIVE - A REPRESENTATIVE, HIRED AND PAID FOR BY THE OWNER, THAT SUPERVISES THE CONSTRUCTION OF THE PROCEDURES SHOWN ON THE TREE DISPOSITION PLANS.
 G. PROTECTION ZONES/AREAS - ANY AREA ENCLOSED PARTIALLY OR COMPLETELY BY A TREE PROTECTOR BARRIER/FENCE.
 H. CONTRACTOR'S CERTIFIED ARBORIST - AN INDEPENDENT ISA CERTIFIED ARBORIST, HIRED AND PAID FOR BY THE CONTRACTOR, THAT SUPERVISES THE CONSTRUCTION OF THE PROCEDURES SHOWN ON THE TREE DISPOSITION PLANS.

PART 3 - PRODUCTS FOR TREE TREATMENT
 EVERY EFFORT SHALL BE MADE TO UTILIZE CHEMICALS OF AN ORGANIC OR BIODEGRADABLE NATURE IN ORDER TO OFFER THE LEAST IMPACT TO THE NATURAL ENVIRONMENT. CONTRACTOR IS RESPONSIBLE FOR MIXING, APPLYING, AND DISPOSAL OF ALL CHEMICALS IN ACCORDANCE WITH STRICT ADHERENCE TO MANUFACTURER'S DIRECTIONS, UNLESS OTHERWISE DIRECTED IN THESE DRAWINGS. REFER TO "PART 4B" BELOW.
 A. CHEMICAL TREATMENTS
 1. RECOMMENDED FERTILIZER
 A. "XL INJECTO FEED", PRODUCT OF DOGGETT CORP., LEBANON, NEW JERSEY (808) 236-6335. APPLY A 12:24:24 RATIO WITH A DILUTION RATE 1/3 MORE WATER THAN SPECIFIED ON BAG.
 B. RECOMMENDED WETTING AGENT
 A. "APSA-80", PRODUCT OF AMWAY CORP. (800) 253-7088.
 2. MYCORRHIZAL TREATMENT
 A. PLANT HEALTH CARE, INC. (800) 421-9051
 PRODUCTS OF THE SAME TYPE FROM OTHER SOURCES SHALL NOT BE EXCLUDED, PROVIDED THEY POSSESS LIKE PHYSICAL AND FUNCTIONAL CHARACTERISTICS AND ARE APPROVED BY THE PROJECT LANDSCAPE ARCHITECT.
 B. INSECTICIDE TREATMENTS
 1. "ASTRO", A PRODUCT OF FMC CORPORATION, (800) 321-1362.
 C. TREE PROTECTOR BARRIER MATERIAL
 1. SIX (6) FOOT TALL ORANGE VINYL MESH CONSTRUCTION FENCE SUPPORTED BY EIGHT (8) FOOT TALL METAL T-BAR POSTS AND POST CAPS.
 2. THE TREE PROTECTOR BARRIER SHALL HAVE A TWO (2) FOOT BY TWO (2) FOOT "TREE PROTECTION ZONE" SIGN AFFIXED TO THE FENCE EVERY TWENTY (20) FEET PLACED IN SUCH A MANNER TO BE CLEARLY VISIBLE TO THE CONSTRUCTION WORKERS. THE SIGN MUST BE MADE UP OF WEATHER RESISTANT MATERIAL.
 3. THE EIGHT (8) FOOT TALL METAL T-BAR POST AND POST CAP SHALL BE PLACED A MAXIMUM OF SIX (6) FOOT INTERVALS.

PART 4 - EXECUTION
 A. TREE CANOPY/ROOT PRUNING OPERATION
 1. TREES TO BE PRUNED SHALL INCLUDE ONLY TREES AFFECTED BY CONSTRUCTION OR AS DESIGNATED ON THE TREE DISPOSITION LIST. THIS ITEM IS TO BE COORDINATED BY THE CONTRACTOR'S CERTIFIED ARBORIST WITH THE OWNER'S REPRESENTATIVE.
 2. ALL PRUNING SHALL BE DONE IN ACCORDANCE WITH ANSI A300 (PART 1) PRUNING.
 3. THE CONTRACTOR'S CERTIFIED ARBORIST MUST BE PRESENT DURING ALL PRUNING OPERATIONS.
 4. PRUNING SHALL CONSIST OF THE FOLLOWING METHODS:
 A. CLEANING
 B. INTERFERING BRANCH REMOVAL
 C. RAISING
 D. ROOT PRUNING.
 B. FERTILIZATION OPERATION
 ONLY TREES AFFECTED BY CONSTRUCTION (CANOPY AND/OR ROOT PRUNING) SHALL BE FERTILIZED.
 2. TREES SPECIFIED TO RECEIVE FERTILIZER SHALL BE TREATED DURING THE TIME OF YEAR AS RECOMMENDED BY THE CONTRACTOR'S CERTIFIED ARBORIST.
 A. MIX FERTILIZER WITH A DILUTION RATE 1/3 MORE WATER THAN LABEL INSTRUCTIONS INTO A TANK WITH AGITATION CAPABILITY (15LBS. = 133 GALLONS).
 B. MIX WETTING AGENT AT A RATE OF 5 OZ. PER 100 GALLONS OF FERTILIZER SOLUTION INTO SAME TANK WITH FERTILIZER. AGITATE MIX.
 C. INJECT THE MIXTURE WITH A HYDRAULIC INJECTION SYSTEM SET AT 100 TO 150 P.S.I. FOR SANDY SOILS, 200 P.S.I. FOR SILTCLAY SOILS, INTO THE UPPER 6-12 INCHES OF SOIL WITH A SOIL PROBE. INJECT AT THE RATE OF ONE THIRD (1/3) GALLON AT EACH INJECTION SITE.
 D. CRITICAL ROOT ZONE AREAS SHALL BE INJECTED, WHERE POSSIBLE, IN THE CRITICAL ROOT ZONE AREA PLUS 2' BEYOND CRITICAL ROOT ZONE, BUT NOT BEYOND ROOT PRUNES.
 E. FERTILIZERS SHALL BE INSTALLED PRIOR TO INSTALLATION OF ANY AERATION SYSTEMS (IF APPLICABLE). AT THE REQUEST OF THE OWNER'S REPRESENTATIVE, EMPTY PRODUCT BAGS TO BE RETURNED TO THE OWNER'S REPRESENTATIVE FOR PROOF OF USE.
 3. INJECTABLE FERTILIZER TREATMENT
 A. MIX FERTILIZER WITH A DILUTION RATE 1/3 MORE WATER THAN LABEL INSTRUCTIONS INTO A TANK WITH AGITATION CAPABILITY (15LBS. = 133 GALLONS).
 B. MIX WETTING AGENT AT A RATE OF 5 OZ. PER 100 GALLONS OF FERTILIZER SOLUTION INTO SAME TANK WITH FERTILIZER. AGITATE MIX.
 C. INJECT THE MIXTURE WITH A HYDRAULIC INJECTION SYSTEM SET AT 100 TO 150 P.S.I. FOR SANDY SOILS, 200 P.S.I. FOR SILTCLAY SOILS, INTO THE UPPER 6-12 INCHES OF SOIL WITH A SOIL PROBE. INJECT AT THE RATE OF ONE THIRD (1/3) GALLON AT EACH INJECTION SITE. SEE TRANSPLANT DETAILS ON THIS SHEET FOR INJECTION LOCATIONS.
 EMPTY PRODUCT BAGS TO BE STOCKPILED FOR INSPECTION BY OWNER'S REPRESENTATIVE PRIOR TO DISPOSAL.
 4. INOCULANT & BIOSTIMULANT
 A. USE ONE 3 OZ. PACKET OF MYCORRTREE TREE SAVER TRANSPLANT MYCORRHIZAL TRANSPLANT INOCULANT FOR EVERY ONE (1) FOOT DIAMETER OF ROOT BALL. MIX INOCULANT IN 1/2" WET TOPSOIL RING AROUND THE ROOT BALL.
 B. MIX ONE 4 OZ. BAG OF MYCORRTREE TREE SAVER INJECTABLE MYCORRHIZAL INOCULANT AND 4 PACKETS TO EQUAL 1 POUND) PHC BIOLOCK PER 100 GALLONS OF WATER.
 C. AGITATE FOR 10 MINUTES.
 D. INJECT THE MIXTURE WITH A HYDRAULIC INJECTION SYSTEM SET AT 100 TO 150 P.S.I. FOR SANDY SOILS, 200 P.S.I. FOR SILTCLAY SOILS, INTO THE UPPER 6-12 INCHES OF SOIL WITH A SOIL PROBE. INJECT AT THE RATE OF ONE THIRD (1/3) GALLON AT EACH INJECTION SITE. SEE TRANSPLANT DETAILS ON THIS SHEET FOR INJECTION LOCATIONS.
 EMPTY PRODUCT BAGS TO BE STOCKPILED FOR INSPECTION BY OWNER'S REPRESENTATIVE PRIOR TO DISPOSAL.

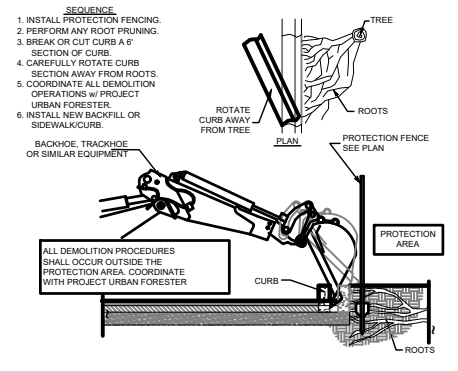
C. INSECTICIDE OPERATION
 1. APPLY "ASTRO" AS A TOPICAL SOLUTION AS DIRECTED BY THE CONTRACTOR'S CERTIFIED ARBORIST. NOTIFY OWNER'S REPRESENTATIVE IF AN INFESTATION IS NOTICED. APPLY AROUND BASE OF TRUNK TO SOIL LINE, TRUNK AND ANY LIMB 1/3 THE SIZE OF THE TRUNK TO 25-30' HIGH. INSURE COMPLETE COVERAGE. REAPPLY "ASTRO" 2-3 MONTHS AFTER INITIAL APPLICATION UTILIZING SAME PROCEDURE.
 2. FOLLOW ALL MANUFACTURER'S RECOMMENDATIONS CONCERNING APPLICATION WHEN APPLYING "ASTRO". READ ALL WARNING LABELS. ANY PETS, AS WELL AS, THE PETS FOOD AND WATER BOWLS SHOULD BE REMOVED FROM THE AREA AND ANY SWIMMING POOLS SHOULD BE COVERED (IF APPLICABLE).
 3. CONTRACTOR SHALL ENSURE NO MIXING OF CHEMICALS OCCURS WITHOUT PROTECTIVE MEASURES TO PREVENT SPILLAGE AND POTENTIAL CONTAMINATION OF SOILS.
 D. ROOT PRUNING TRENCHING OPERATION
 1. TRENCHING LOCATIONS SHALL BE APPROVED IN THE FIELD BY THE OWNER'S REPRESENTATIVE AND THE CONTRACTOR'S CERTIFIED ARBORIST.
 2. TRENCHING EQUIPMENT THAT WILL TURN AT HIGH RPM'S IS PREFERRED. TRENCHING EQUIPMENT IS TO BE USED TO PERFORM ALL ROOT PRUNING OPERATIONS.
 A. MINIMUM DEPTH OF THREE FEET IS REQUIRED OR AS DETERMINED BY CONTRACTOR'S CERTIFIED ARBORIST. CLEAN CUT ROOTS IN TRENCH ON TREE SIDE WITH STERILE EQUIPMENT, LOOPERS, OR CHAIN SAW AFTER TRENCHING IS COMPLETE.
 3. THE TRENCH SHALL BE BACKFILLED AND COMPACTED IMMEDIATELY, AS DIRECTED BY THE CONTRACTOR'S CERTIFIED ARBORIST.
 4. PHASED ROOT PRUNING TIMEFRAMES VARY BY SPECIES. CONTRACTOR'S CERTIFIED ARBORIST SHALL DIRECT PRUNING SCHEDULE.
 E. TREE PROTECTOR BARRIER
 1. SEE DETAILS THIS SHEET.
 2. TREE PROTECTOR BARRIER IS TO BE PLACED BY THE CONTRACTOR AROUND EACH TREE TO REMAIN AS DIRECTED BY THE CONTRACTOR'S CERTIFIED ARBORIST.
 F. TREE REMOVALS
 1. CONTRACTOR SHALL REMOVE AND DISCARD ALL TREES SHOWN AS "REMOVE" ON THE TREE DISPOSITION PLAN AND THE TREE DISPOSITION LIST. ALL TREES SHOWN TO BE REMOVED SHALL BE FELLED WITH A CHAIN SAW AND STUMP GROUND 4" BELOW SURFACE. ANY TREE SHOWN TO BE REMOVED AND IS IN AN AREA WHERE COMPACTION IS CRITICAL, THE TREE SHALL BE FELLED WITH A CHAIN SAW AND STUMP REMOVED BY THE CONTRACTOR. CARE MUST BE TAKEN NOT TO DAMAGE THE EXISTING TREES MARKED TO REMAIN.
 2. IF TREE PROTECTOR BARRIER IS DAMAGED, REPAIR IS TO BE PERFORMED IMMEDIATELY. CARE MUST BE TAKEN NOT TO DAMAGE THE TREES TO REMAIN.
 3. CONTRACTOR SHALL REMOVE AND HAUL AWAY FROM THE JOB SITE ALL WOOD GENERATED FROM TREE REMOVALS, INCLUDING STUMPS, THE SAME DAY THE REMOVAL HAPPENS.
 4. BURN PITS ARE NOT ALLOWED.

PART 5 - PENALTIES
 A. REPAIR OF DAMAGED TREES TO REMAIN
 1. IF ANY DAMAGE TO TREES TO REMAIN OR OTHER NATURAL RESOURCES SHOULD OCCUR BY ACCIDENT OR NEGLIGENCE DURING THE CONSTRUCTION PERIOD, THE OWNER'S REPRESENTATIVE SHALL APPRAISE THE DAMAGE AND MAKE RECOMMENDATIONS TO THE OWNER FOR REPAIR BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
 2. IF ANY TREE THAT IS DESIGNATED TO REMAIN IS DEEMED SUBSTANTIALLY DAMAGED OR DEAD DUE TO CONSTRUCTION DAMAGE, AT THE SOLE DISCRETION OF THE OWNER'S REPRESENTATIVE, THE FOLLOWING PENALTIES WILL APPLY:
 A. TREES 1" - 12" OF TRUNK DIAMETER, MEASURED AT 1' FROM THE GROUND WILL BE VALUED AT \$300.00 PER DIAMETER INCH.
 B. TREES 17" AND ABOVE OF TRUNK DIAMETER MEASURED AT 4.5' FROM THE GROUND WILL BE VALUED AT \$400.00 PER DIAMETER INCH.
 C. IF ANY TREE DESIGNATED TO REMAIN IS REMOVED FROM THE SITE WITHOUT PERMISSION OF THE OWNER'S REPRESENTATIVE, THE PENALTY WILL BE \$600.00 PER INCH.
 B. REPAIR OF DAMAGED TREE PROTECTOR BARRIER
 1. IF ANY DAMAGE TO THE TREE PROTECTOR BARRIER SHOULD OCCUR BY ACCIDENT OR NEGLIGENCE, THE CONTRACTOR WILL BE RESPONSIBLE FOR IMMEDIATE REPAIRS OF THE INITIAL DAMAGE. FINES WILL BE IMPOSED AS FOLLOWS:
 A. FIRST TIME OFFENSE, A FINE OF \$200.00 WILL BE IMPOSED.
 B. IN THE EVENT THE FENCE IS NOT REPAIRED WITHIN 24 HOURS TO THE OWNER'S REPRESENTATIVE'S SATISFACTION, AN ADDITIONAL FINE OF \$100.00 PER DAY WILL BE IMPOSED, UNTIL THE FENCE IS SATISFACTORILY REPAIRED.
 C. IN THE EVENT A NATURAL RESOURCE IS DAMAGED DUE TO A TREE PROTECTOR BARRIER BEING DOWN, A FINE OF \$200.00 PLUS THE COST OF REPAIR OR REPLACEMENT OF THE NATURAL RESOURCE AS APPRAISED BY THE OWNER'S REPRESENTATIVE WILL BE IMPOSED.
 D. CONTRACTOR SHALL ALSO BEAR THE COST OF ANY FINES, BONDED TREE VALUES, ATTORNEY FEES, EXPENSES INCURRED BY PROJECT DELAYS, ETC., AS DETERMINED BY THE COUNTY AND LOCAL MUNICIPALITY FOR UNAUTHORIZED TREE REMOVAL.

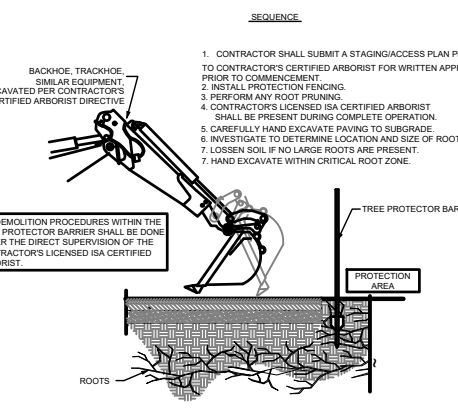
PART 6 - NATURAL RESOURCE PROTECTION SEQUENCE
 A. THE SEQUENCE OF TREE TREATMENT AND PRESERVATION MEASURES SHALL BE:
 1. CONTRACTOR SHALL SUBMIT A STAGING/ACCESS PLAN PROVIDED TO CONTRACTOR'S CERTIFIED ARBORIST FOR WRITTEN APPROVAL PRIOR TO COMMENCEMENT.
 2. TREE PROTECTOR BARRIER
 3. ROOT PRUNING AND ROOT BARRIERS
 4. CLEARING AND GRADING
 5. TREE PRUNING
 6. FERTILIZATION
 7. INSECTICIDE
 B. CONTRACTOR'S SURVEYOR SHALL STAKE ALL SITE IMPROVEMENTS IN ORDER TO FACILITATE ACCURATE LOCATION OF TRENCHING AND FENCING OPERATIONS.
 C. CONTRACTOR'S CERTIFIED ARBORIST TO DETERMINE THE LOCATION OF THE TREE PROTECTOR BARRIER AROUND EACH TREE TO REMAIN BASED ON HIS/HER ANALYSIS OF EACH EXISTING TREE TO REMAIN THAT IS ADJACENT TO CONSTRUCTION IMPROVEMENTS SUCH AS UTILITY INSTALLATION, PAVEMENT ADDITION AND/OR RESTORATION, ETC.
 D. CONTRACTOR SHALL MAINTAIN AND REPAIR THE TREE PROTECTOR BARRIER DURING SITE CONSTRUCTION OPERATIONS.
 E. CONTRACTOR'S ACCESS TO THE FENCED TREE PROTECTION AREAS WILL BE PERMITTED ONLY WITH APPROVAL OF OWNER'S REPRESENTATIVE AND CONTRACTOR'S CERTIFIED ARBORIST'S WRITTEN DIRECTIVE.
 F. CONTRACTOR SHALL PERFORM ANY EXCAVATION OR GRADING REQUIRED WITHIN THE FENCED TREE PROTECTION AREAS BY HAND. THIS OPERATION IS TO BE DONE UNDER THE DIRECT SUPERVISION OF THE CONTRACTOR'S CERTIFIED ARBORIST AND THE OWNER'S REPRESENTATIVE.
 G. CONTRACTOR TO LIMIT REQUIRED GRADING WITHIN THE FENCED TREE PROTECTION AREAS TO A MAXIMUM OF 3" CUT OR FILL OF THE TREE CRITICAL ROOT ZONE AREAS. ALL GRADING TO BE SUPERVISED BY THE CONTRACTOR'S CERTIFIED ARBORIST AND THE OWNER'S REPRESENTATIVE.
 H. CONTRACTOR SHALL CLEAR BY HAND TREES DESIGNATED TO BE REMOVED WITHIN CRITICAL ROOT ZONE AREAS OF THE TREES TO REMAIN.
 I. CONTRACTOR SHALL NOT INSTALL CONDUIT, SPRINKLERS, OR ANY UTILITY LINE IN ANY CRITICAL ROOT ZONE AREAS WITHOUT THE APPROVAL OF THE CONTRACTOR'S CERTIFIED ARBORIST AND OWNER'S REPRESENTATIVE.

PART 7 - IRRIGATION
 CONTRACTOR SHALL WATER THE TREES THAT HAVE BEEN PRUNED (CANOPY AND/OR ROOT) AS SHOWN BELOW. WATER ALL PRUNED TREES IMMEDIATELY AFTER PRUNING. CONTRACTOR SHALL WATER BY HAND. IF A POTABLE WATER SOURCE IS NOT AVAILABLE ON-SITE OR IS IT NOT IN WORKING CONDITION, THEN THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING THE WATER AND WATER SOURCE AT HIS/HER OWN EXPENSE.
 A. HAND WATERING SCHEDULE
 USE THE FOLLOWING WATERING SCHEDULE:
 1. CONTRACTOR SHALL WATER ALL NEWLY (CANOPY AND ROOT) PRUNED TREES:
 (1) THREE TIMES A WEEK FOR THE FIRST THREE MONTHS
 (2) TWO TIMES A WEEK FOR MONTHS FOUR AND FIVE
 (3) ONE TIME A WEEK FOR MONTH SIX
 2. CONTRACTOR SHALL CONSULT HIS/HER CERTIFIED ARBORIST FOR WATERING REQUIREMENTS FOR THE TREES THAT HAVE BEEN CANOPY AND/OR ROOT PRUNED.
 B. PER DIRECTION OF 1 AND 2, CONTRACTOR SHALL PROCEED WITH THE MORE STRINGENT WATERING SCHEDULE.

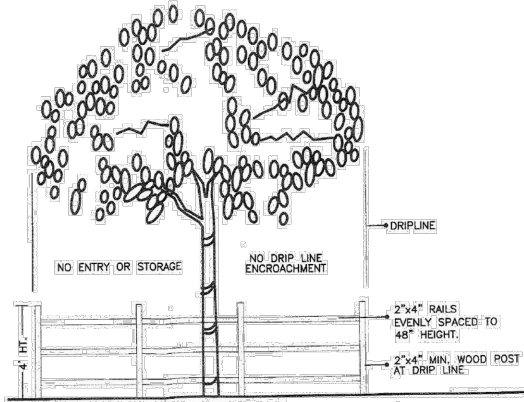
PART 8 - IRRIGATION
 CONTRACTOR SHALL WATER THE TREES THAT HAVE BEEN PRUNED (CANOPY AND/OR ROOT) AS SHOWN BELOW. WATER ALL PRUNED TREES IMMEDIATELY AFTER PRUNING. CONTRACTOR SHALL WATER BY HAND. IF A POTABLE WATER SOURCE IS NOT AVAILABLE ON-SITE OR IS IT NOT IN WORKING CONDITION, THEN THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING THE WATER AND WATER SOURCE AT HIS/HER OWN EXPENSE.
 A. HAND WATERING SCHEDULE
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 B. PER DIRECTION OF 1 AND 2, CONTRACTOR SHALL PROCEED WITH THE MORE STRINGENT WATERING SCHEDULE.



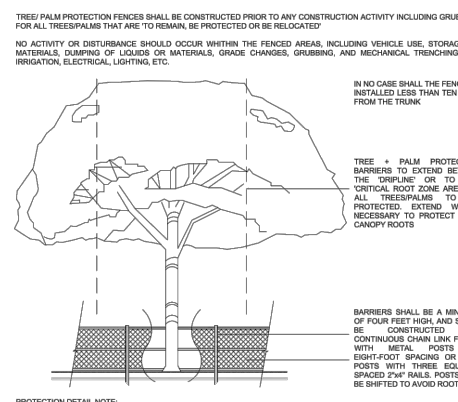
A DEMOLITION PROCEDURE - CURB



B DEMOLITION PROCEDURE - PAVEMENT



C TREE PRESERVATION / BARRICADE FENCING DETAIL



D C.M.B TREE / PALM PROTECTION DETAIL

Rev.	Date	Rev.	Date
2	09-11-2023		

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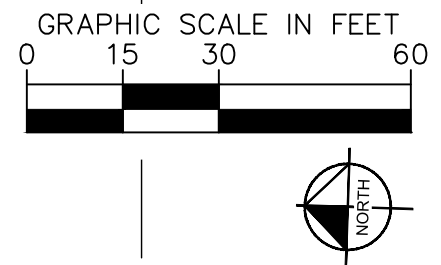
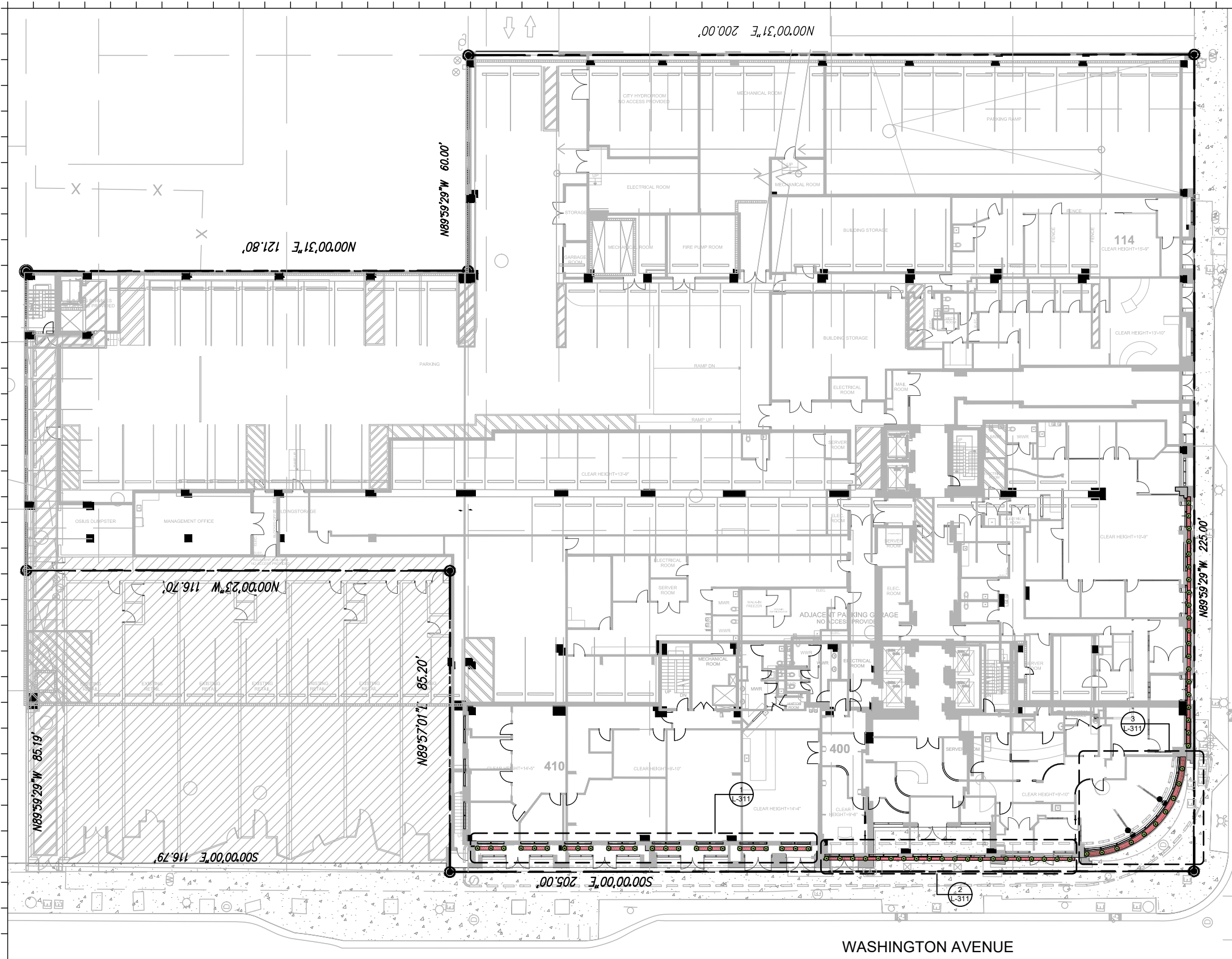


TREE DISPOSITION NOTES & DETAILS

Date	09-11-2023	Sheet No.
Scale	AS SHOWN	L-150
Project	2335	

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Plotted By: Lieberman, Amy Sheet Set: 1601 WASHINGTON AVE Layout: L-310 TYPICAL LANDSCAPE PLAN - PLANTERS September 11, 2023 03:21:31pm K:\MIB_URG\143721000-1601 Washington Ave Landscape\CADD\PlanSheets\L-310 TYPICAL LANDSCAPE PLAN FOR PLANTERS\WAGY-HORN AND ASSOCIATES, INC.



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TYPICAL LANDSCAPE
PLAN - PLANTERS

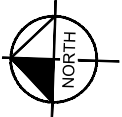
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	EI	+/- 74	ERNODEA LITTORALIS GOLDEN CREEPER	CONT.	AS SHOWN	15" X 15"	YES	
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT./ROOTBALL SIZE	SPACING	SIZE	NATIVE	REMARKS
	lc	+/- 213	IMPATIENS X 'SAMKIMP03P' COMPACT FIRE RED SUNPATIENS®	CONT.	12" O.C.	8" X 8"	NO	12" o.c.

GENERAL PLANTING NOTE:
ALL PLANTING TO BE INSTALLED IN CUSTOM REMOVABLE PLANTERS THAT ARE INSERTED INTO THE BUILT-IN PLANTERS BY THE ARCHITECT.

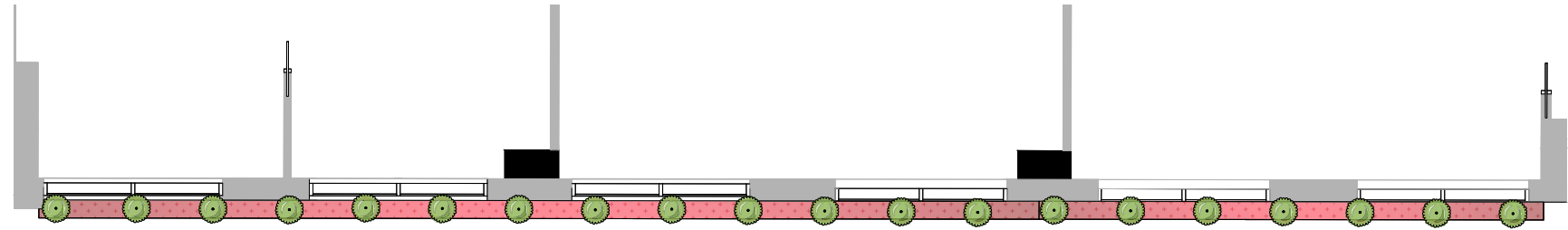
Date	09-11-2023	Sheet No.	L-310
Scale	AS SHOWN		
Project	2335		

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1 BALCONY TYPOLOGY - TYP. OF 8
1/8" = 1'-0"

143-721-000-01

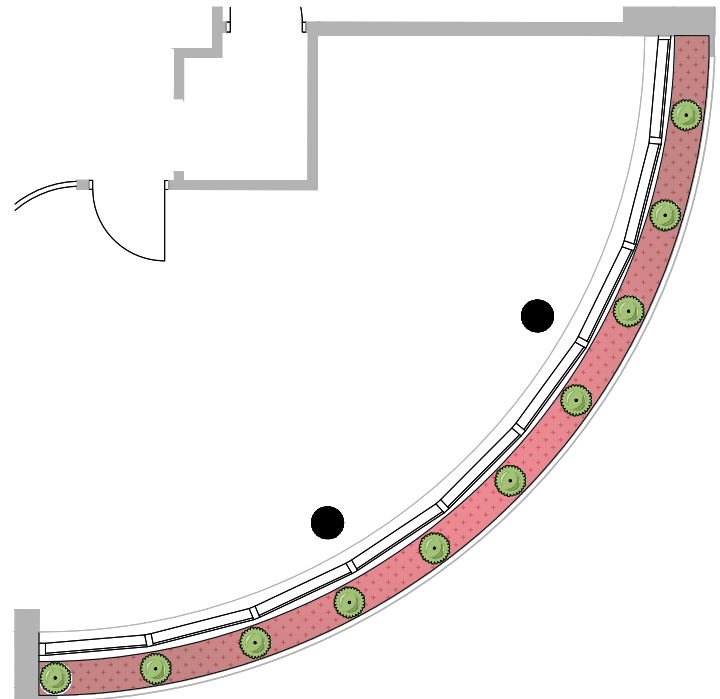


GOLDEN CREEPER



2 BALCONY TYPOLOGY 2 - TYP. OF 2
1/8" = 1'-0"

143-721-000-02





SUNPATIENS



3 BALCONY TYPOLOGY 3 - TYP. OF 1
1/8" = 1'-0"

143-721-000-03

PLANTER TYPICAL FOR LEVELS 2, 4, 6, 8 - PLANT LIST

ACCENT SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT./ROOTBALL SIZE	SPACING	SIZE	NATIVE	REMARKS	
	EI	+/- 74	ERNODEA LITTORALIS GOLDEN CREEPER	CONT.	AS SHOWN	15" X 15"	YES		
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT./ROOTBALL SIZE	SPACING	SIZE	NATIVE	SPACING	REMARKS
	Ic	+/- 213	IMPATIENS X 'SAMKIMP039' COMPACT FIRE RED SUNPATIENS®	CONT.	12" O.C.	8" X 8"	NO	12" o.c.	

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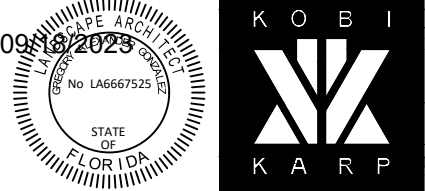
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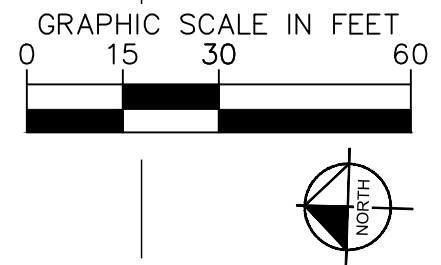
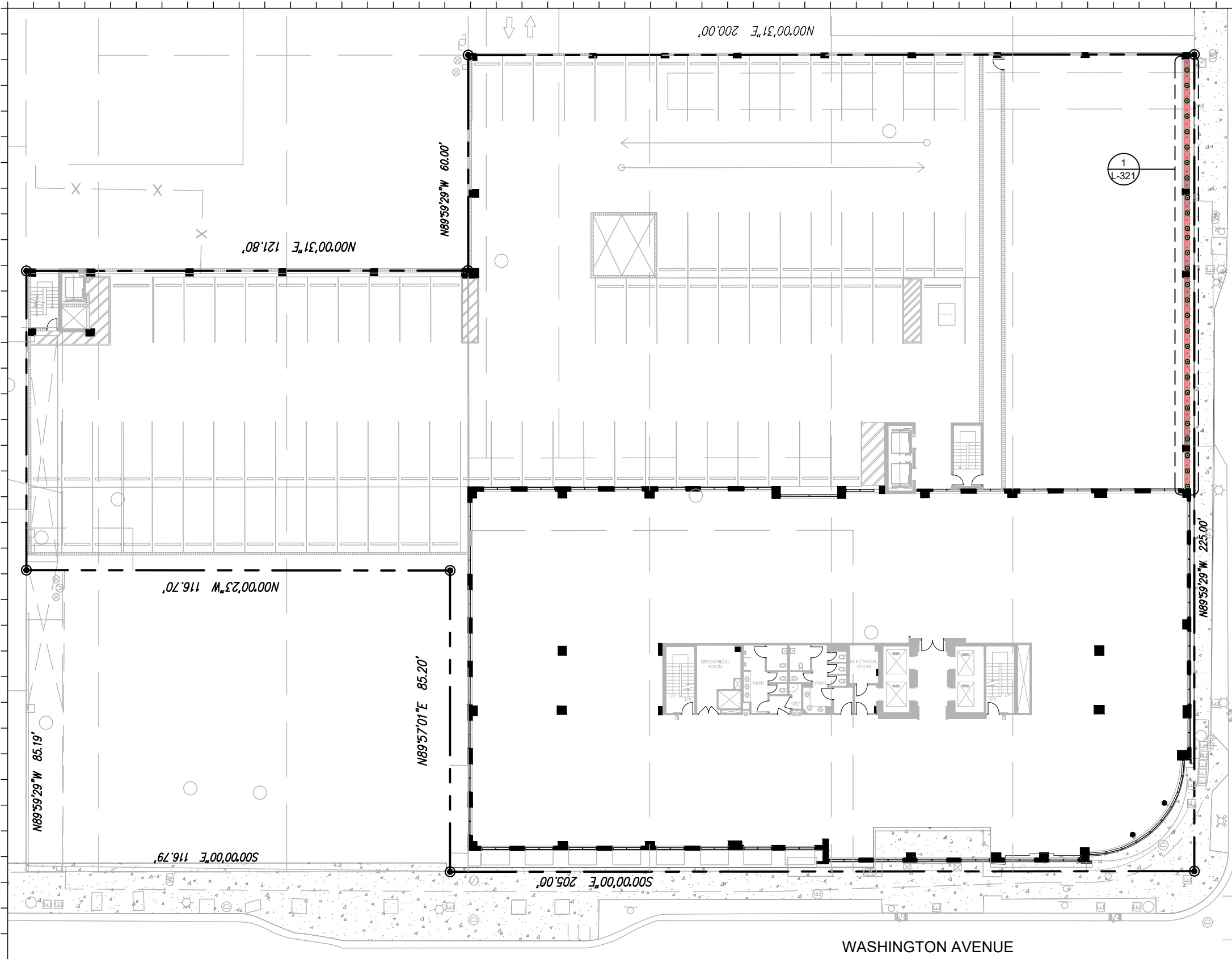
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BALCONY PLANTER TYPOLOGIES

Date	09-11-2023	Sheet No.	L-311
Scale	AS SHOWN		
Project	2335		

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Fax: +1(305) 573 3766



TYPICAL LANDSCAPE
PLAN - GARAGE

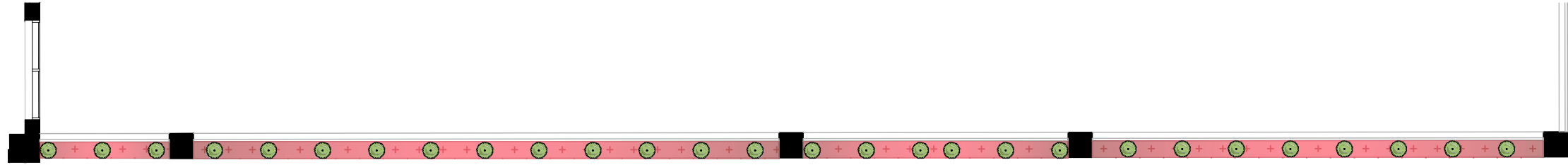
PLANTER TYPICAL - GARAGE

ACCENT SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT./ROOTBALL SIZE	SPACING	SIZE	NATIVE
	E12	+/- 28	ERNODEA LITTORALIS GOLDEN CREEPER	CONT.	AS SHOWN	15' X 15'	YES
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT./ROOTBALL SIZE	SPACING	SIZE	NATIVE
	Ic2	+/- 121	IMPATIENS X 'SANKIMP039' COMPACT FIRE RED SUNPATIENS®	CONT.	12" O.C.	8" X 8"	NO

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Date	09-11-2023	Sheet No.	L-320
Scale	AS SHOWN		
Project	2335		

Plotted By: Lieberman, Amy Sheet Set: 1601 WASHINGTON AVE Layout: L-321 GARAGE PLANTER TYPOLOGY September 11, 2023 03:21:50pm K:\MIB_LIRG\143721000-1601 Washington Ave Landscape\CADD\PlanSheets\L-320 TYPICAL LANDSCAPE PLAN FOR GARAGE.dwg © 2022 KIMLEY-HORN AND ASSOCIATES, INC.



1

GARAGE PLANTER TYPOLOGY 1 - PLANTER TYP. OF 1

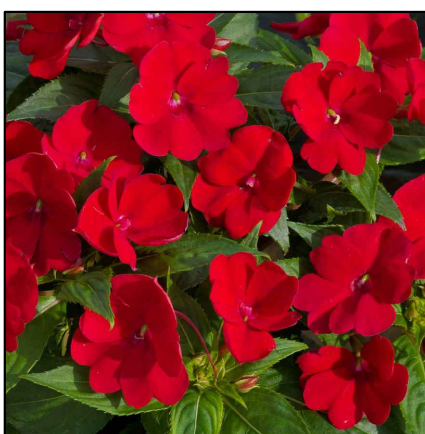
3/32" = 1'-0"

143-721-000-07

GOLDEN CREEPER



SUNPATIENS



PLANTER TYPICAL - GARAGE

ACCENT SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT./ROOTBALL SIZE	SPACING	SIZE	NATIVE
	E12	+/- 28	ERNODEA LITTORALIS GOLDEN CREEPER	CONT.	AS SHOWN	15' X 15'	YES
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT./ROOTBALL SIZE	SPACING	SIZE	NATIVE
	Ic2	+/- 121	IMPATIENS X 'SAMKIMP039' COMPACT FIRE RED SUNPATIENS®	CONT.	12" O.C.	8" X 8"	NO

Rev.	Date	Rev.	Date
2	09-11-2023		

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HPB
2335

LE ROYALE
1601 WASHINGTON AVE
MIAMI BEACH, FL 33139

Owner
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Address NEW YORK, NY 10018
Tel: -
Email -

Landscape Architecture
Name Kimley-Horn
Address 2 Alhambra Plaza, Suite 500
Address Coral Gables, FL 33134
Tel: 305 673 2025
Email gregory.gonzalez@kimley-horn.com

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

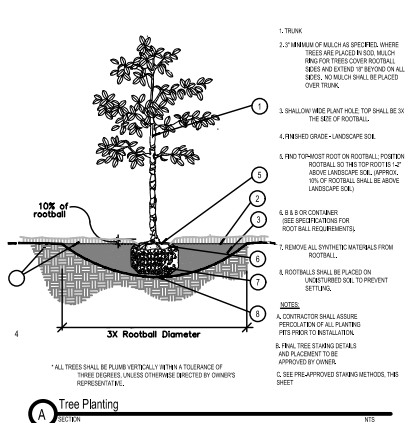
Architect:
Kobi Karp Architecture and Interior Design, Inc.
571 NW 28th Street
Miami, Florida 33127 USA
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Fax: +1(305) 573 3766

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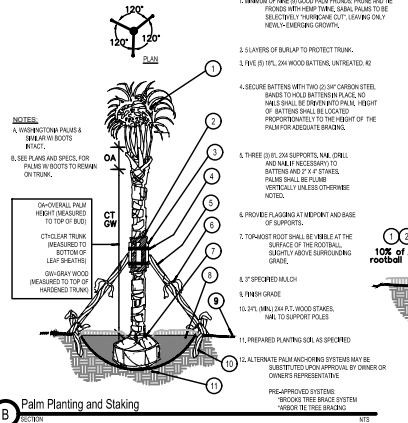


GARAGE PLANTER TYPOLOGY

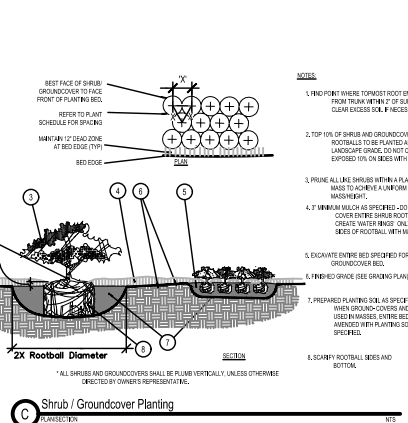
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Scale	AS SHOWN		L-321
Project	2335		



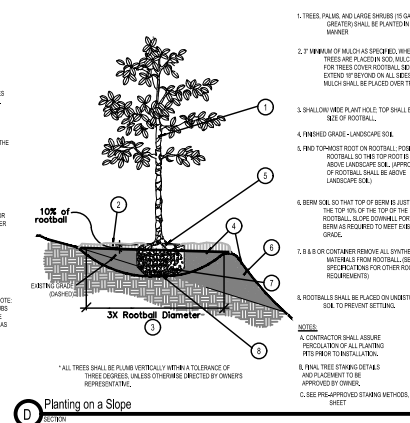
A Tree Planting
SECTION
NTS



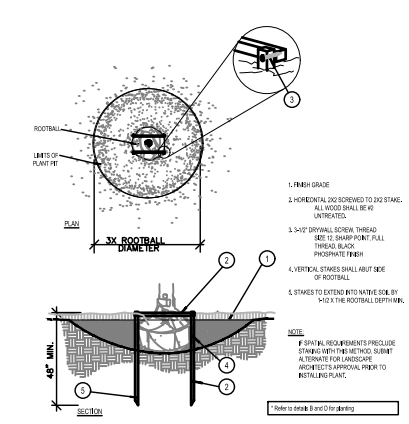
B Palm Planting and Staking
SECTION
NTS



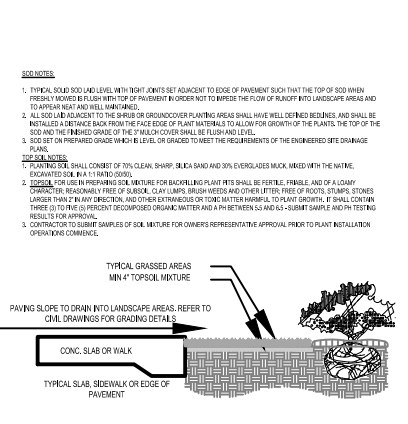
C Shrub / Groundcover Planting
SECTION
NTS



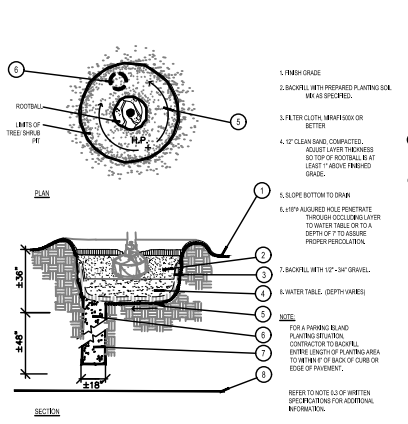
D Planting on a Slope
SECTION
NTS



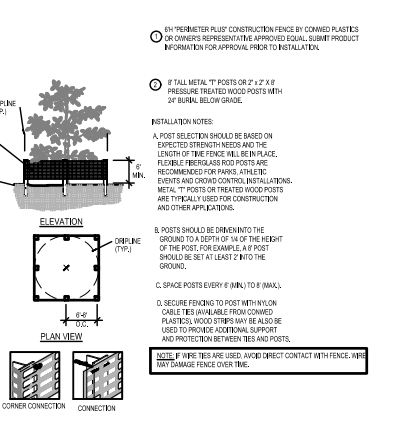
E Staking - up to 65 gal. or B&B to 3-1/2\"/>



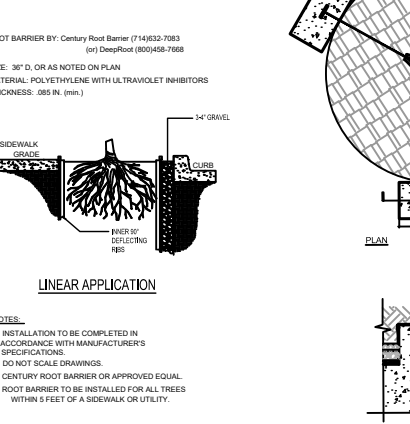
F SOD
SECTION
NTS



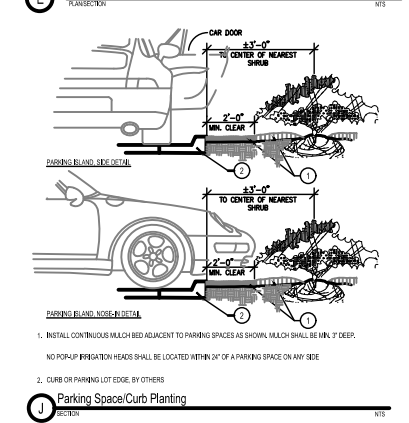
G Poor Drainage Condition
SECTION
NTS



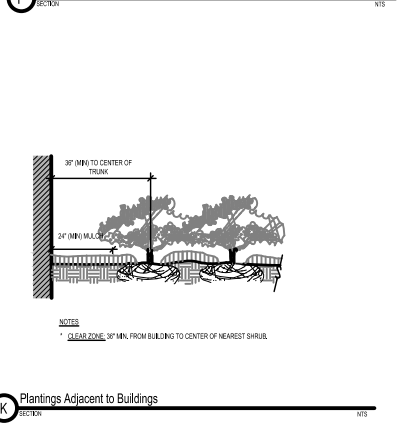
H Tree/Shrub Protector
SECTION
NTS



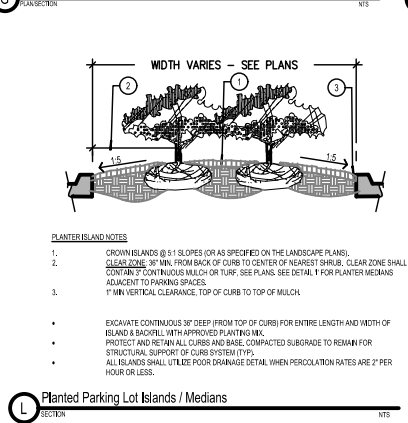
I Root Barrier
SECTION
NTS



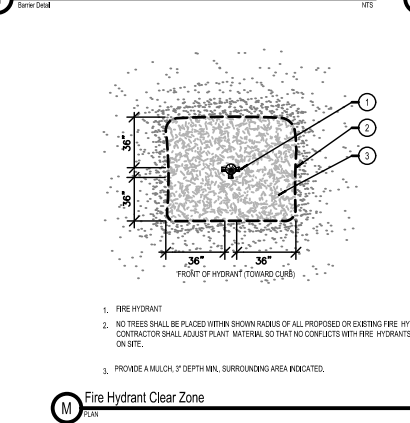
J Parking Space/Curb Planting
SECTION
NTS



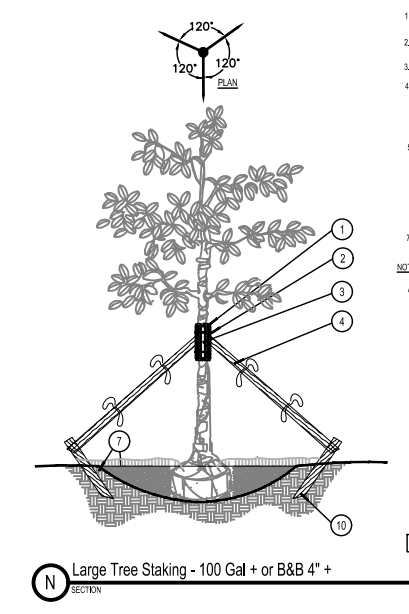
K Plantings Adjacent to Buildings
SECTION
NTS



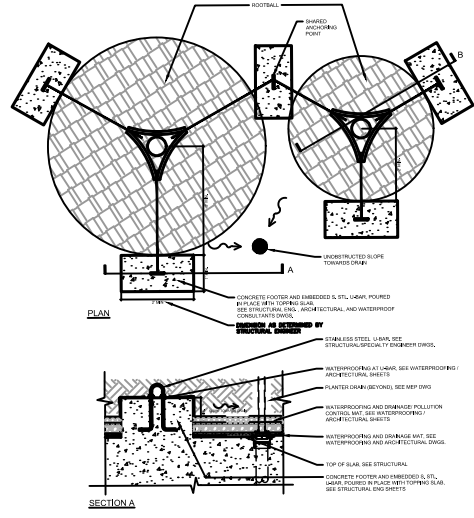
L Planted Parking Lot Islands / Medians
SECTION
NTS



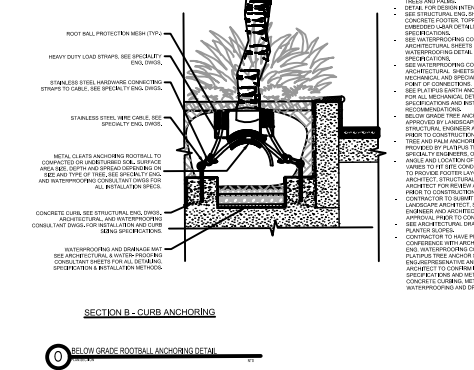
M Fire Hydrant Clear Zone
SECTION
NTS



N Large Tree Staking - 100 Gal + or B&B 4\"/>



O BELOW GRADE ROOTBALL ANCHORING DETAIL
SECTION
NTS



P BELOW GRADE ROOTBALL ANCHORING DETAIL
SECTION
NTS

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HPB
2335

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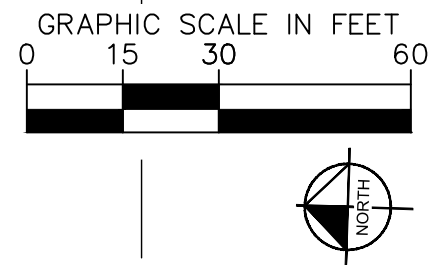
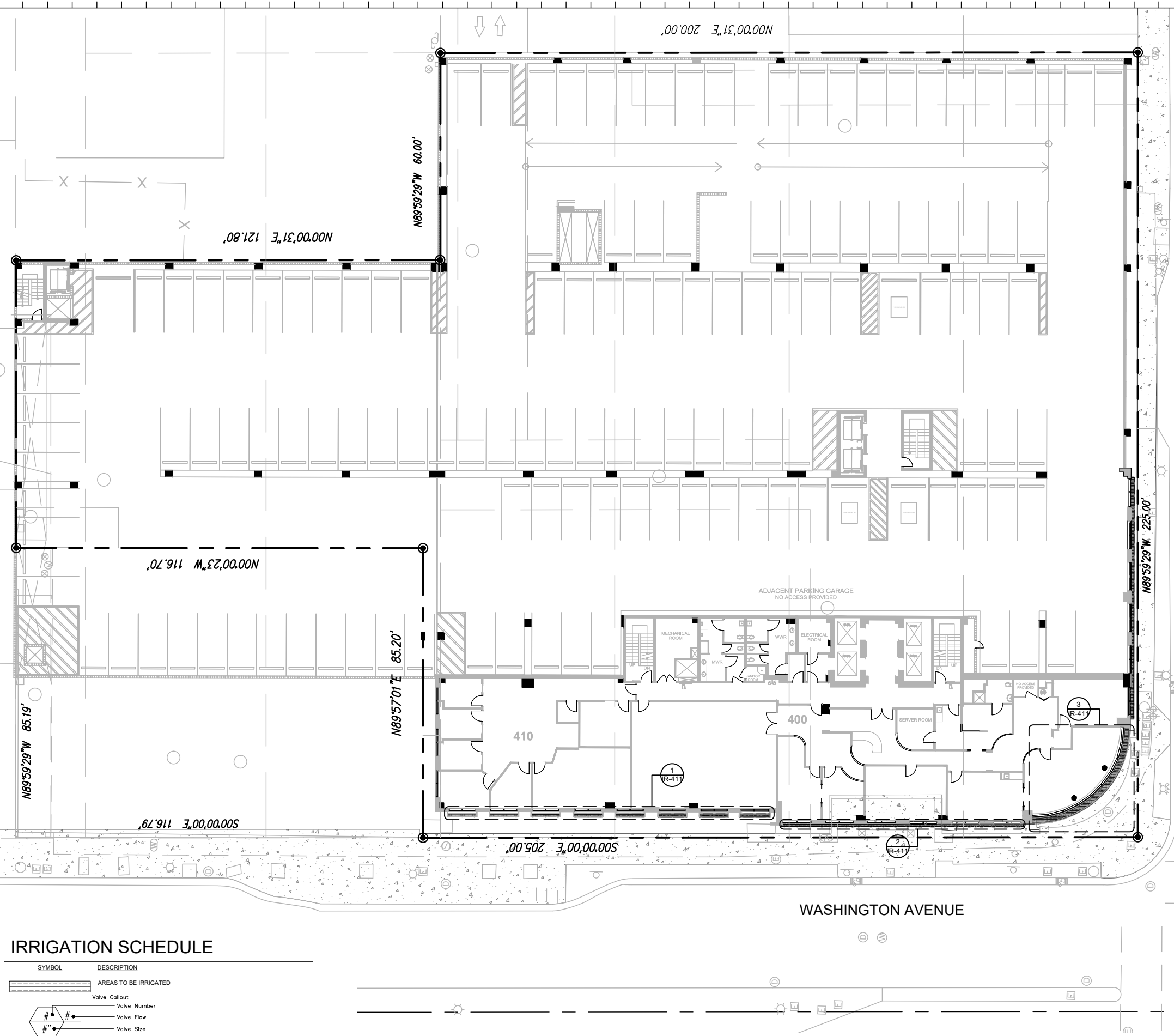
LA 6667525
No LA6667525
09/18/2023
STATE OF FLORIDA

KOBİ KARP

LANDSCAPE DETAILS

Date	09-11-2023	Sheet No.	
Scale	AS SHOWN		L-351
Project	2335		

Plotted By: Lieberman, Amy Sheet Set: 1601 WASHINGTON AVE Layout: IR-410 TYPICAL IRRIGATION PLAN - GARAGE September 11, 2023 03:22:25pm K:\MIB_LIRC\143721000-1601 Washington Ave\Landscapes\CADD\PlanSheets\IR-410 TYPICAL IRRIGATION PLAN FOR PLAN 1601-0323-04\MLEY-HORN AND ASSOCIATES, INC.



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2	09-11-2023		

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MIAMI BEACH, FL 33139

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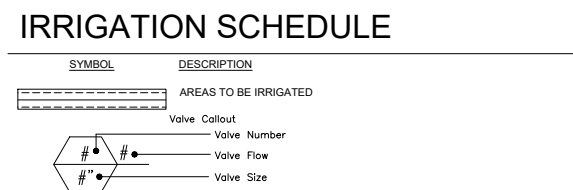
Landscape Architecture
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Tel: 305 673 2025
Email gregory.gonzalez@kimley-horn.com

Consultant:
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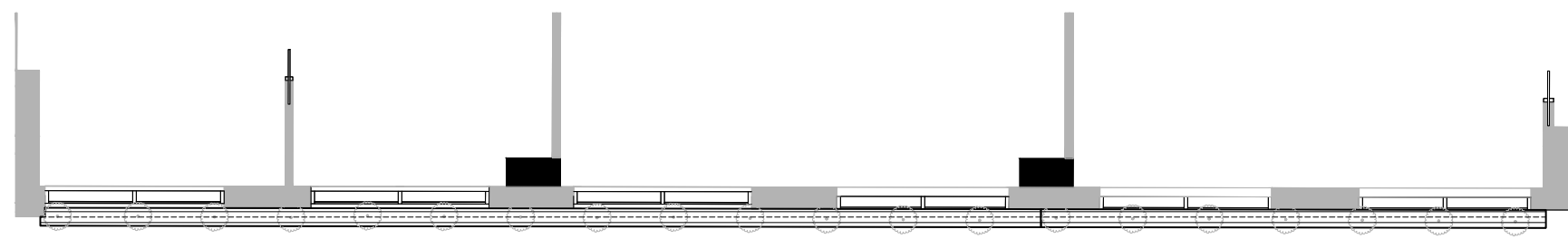


TYPICAL IRRIGATION PLAN - PLANTERS

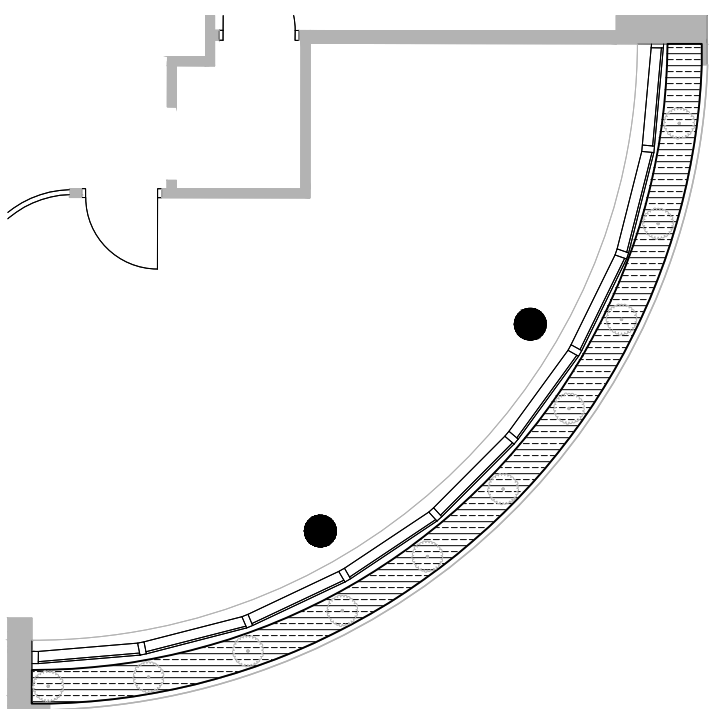
Date	09-11-2023	Sheet No.	IR-410
Scale	AS SHOWN		
Project	2335		

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1 BALCONY IRRIGATION TYPOLOGY 1 - PLANTER TYP. OF 8
1/8" = 1'-0" 143-721-000-04



2 BALCONY IRRIGATION TYPOLOGY 2 - PLANTER TYP. OF 2
1/8" = 1'-0" 143-721-000-05



3 BALCONY IRRIGATION TYPOLOGY - PLANTER TYP. OF 1
1/8" = 1'-0" 143-721-000-06

IRRIGATION SCHEDULE

SYMBOL	DESCRIPTION
	AREAS TO BE IRRIGATED
	Valve Callout
	Valve Number
	Valve Flow
	Valve Size

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Tel: 305 673 2025
Email gregory.gonzalez@kimley-horn.com

Consultant:
Name
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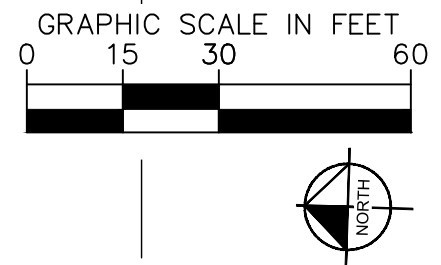
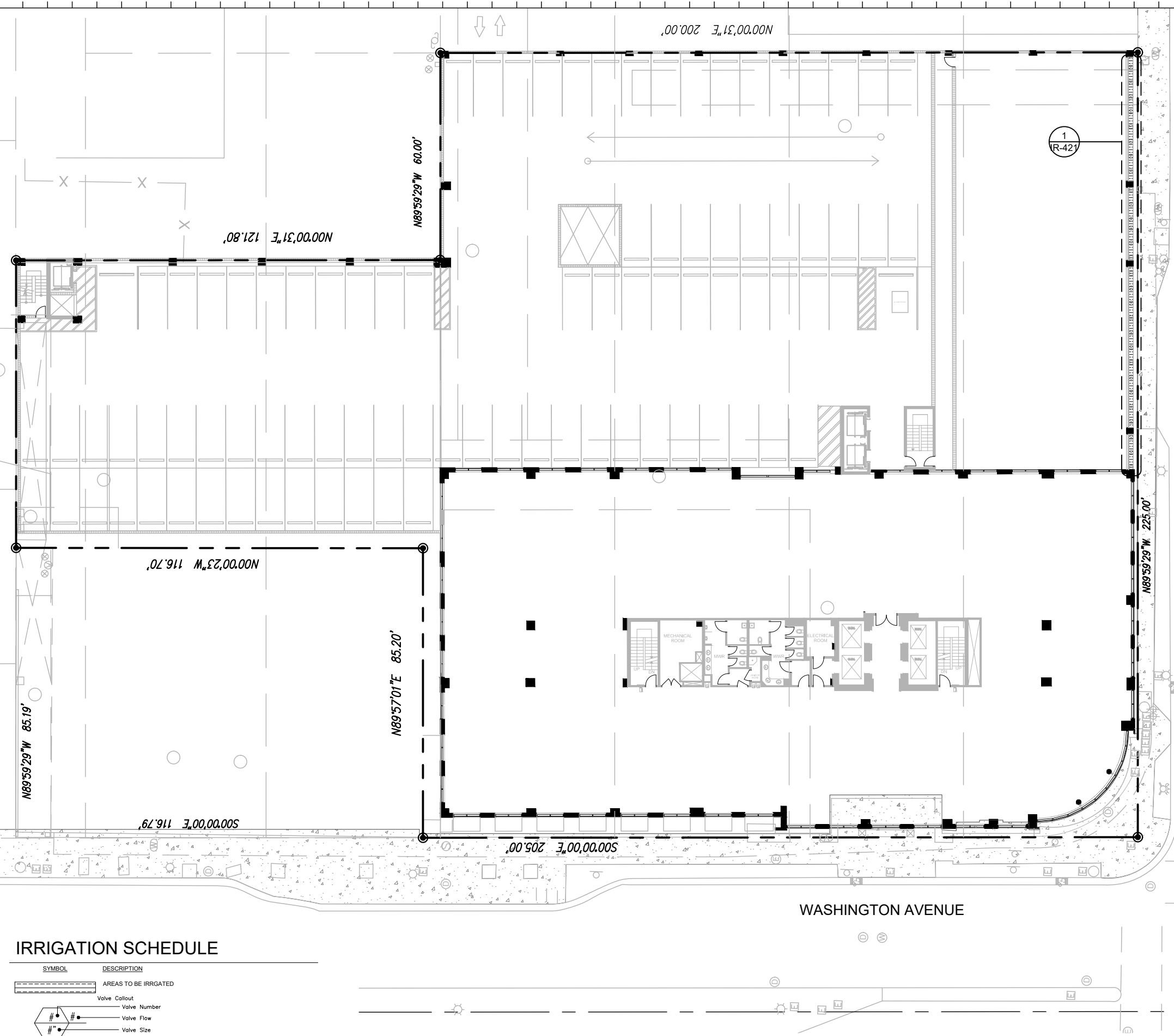
Architect:
Kobi Karp Architecture and Interior Design, Inc.
571 NW 28th Street
Miami, Florida 33127 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766



BALCONY PLANTER IRRIGATION TYPOLOGIES

Date	09-11-2023	Sheet No.	IR-411
Scale	AS SHOWN		
Project	2335		

Plotted By: Lieberman, Amy Sheet Set: 1601 WASHINGTON AVE Layout: IR-420 TYPICAL IRRIGATION PLAN - GARAGE September 11, 2023 03:22:44pm K:\MIB_LIRC\143721000-1601 Washington Ave\Landscapes\CADD\PlanSheets\IR-420 TYPICAL IRRIGATION PLAN FOR GARAGE.dwg WILEY-HORN AND ASSOCIATES, INC.



IRRIGATION SCHEDULE

SYMBOL	DESCRIPTION
	AREAS TO BE IRRIGATED
	Valve Callout
	Valve Number
	Valve Flow
	Valve Size

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Email gregory.gonzalez@kimley-horn.com

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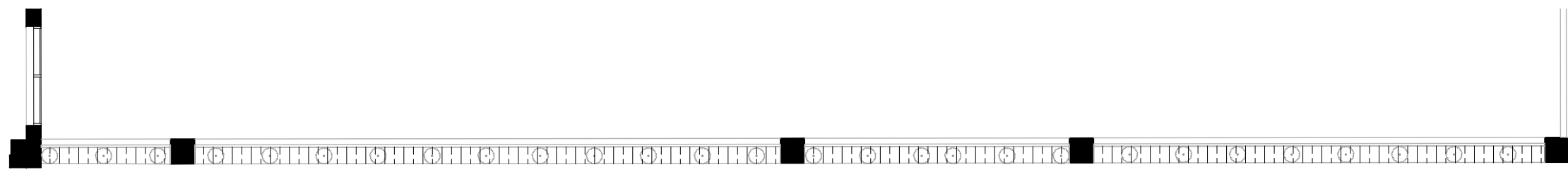
Architect:
Kobi Karp Architecture and Interior Design, Inc.
571 NW 28th Street
Miami, Florida 33127 USA
Tel: +1(305) 573 1818
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TYPICAL IRRIGATION PLAN - GARAGE

Date	09-11-2023	Sheet No.	IR-420
Scale	AS SHOWN		
Project	2335		

Plotted By: Lieberman, Amy Sheet Set: 1601 WASHINGTON AVE Layout: IR-421 GARAGE PLANTER IRRIGATION TYPOLOGY September 11, 2023 03:22:44pm K:\MIB_LIRC\143721000-1601 Washington Ave\Landscapa\CADD\PlanSheets\IR-420 TYPICAL IRRIGATION PLAN FOR GARAGE



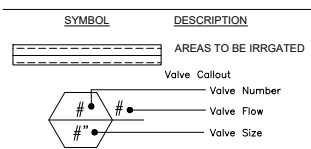
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GARAGE IRRIGATION PLANTER TYPOLOGY 1 - PLANTER TYP. OF 1

3/32" = 1'-0"

143-721-000-08

IRRIGATION SCHEDULE



Rev.	Date	Rev.	Date
2	09-11-2023		

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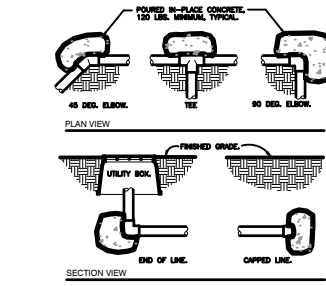
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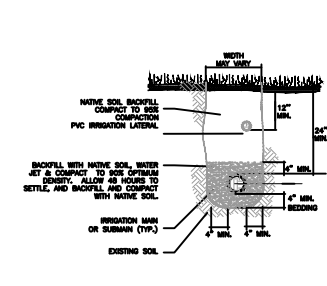
GARAGE PLANTER IRRIGATION TYPOLOGY

Date	09-11-2023	Sheet No.	IR-421
Scale	AS SHOWN		
Project	2335		

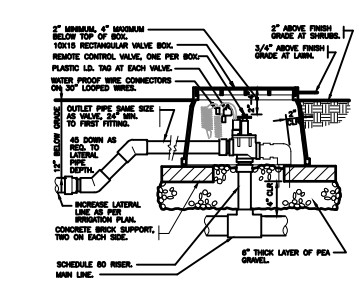
2022 KIMLEY-HORN AND ASSOCIATES, INC.
 Plotted By: Lieberman, Amy Sheet: 1601 WASHINGTON AVE Layout: IR-451 IRRIGATION DETAILS September 11, 2023 03:22:56pm
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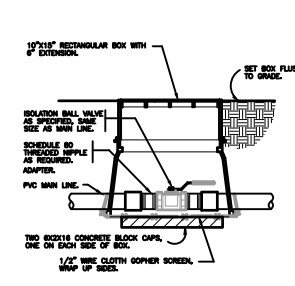
1 THRUST BLOCKING
3/4" = 1'-0"



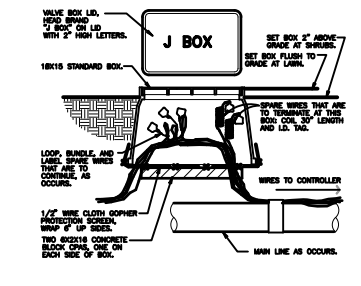
2 TRENCHING DETAIL
NOT TO SCALE



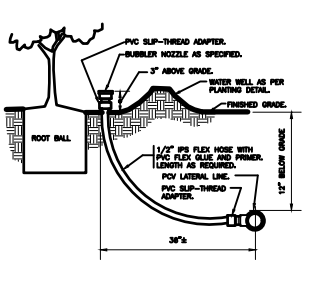
3 ELECTRIC REMOTE CONTROL VALVE
1 1/2" = 1'-0"



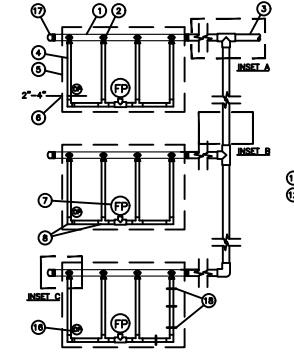
4 BRASS BALL ISOLATION VALVE
1 1/2" = 1'-0"



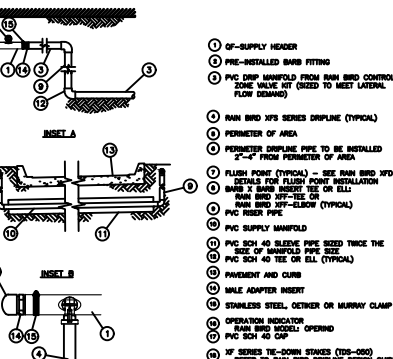
5 WIRE BUNDLE JUNCTION BOX
1 1/2" = 1'-0"



6 BUBBLER ON FLEX HOSE RISER
2" = 1'-0"



12 TYPICAL DRIPLINE LAYOUT REQUIREMENTS
NOT TO SCALE

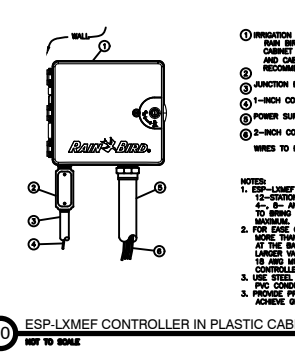


17 ZONE CONTROL
2" = 1'-0"

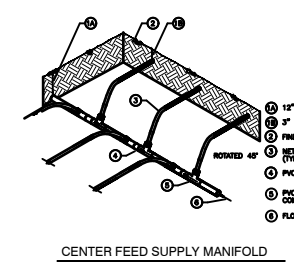
NOTES:

1. DISTANCE BETWEEN LATERAL ROSES AND EMITTER SPACING TO BE BASED ON SOIL TYPE, PLANT MATERIAL AND CHANGES IN ELEVATION. SEE INSTALLATION SPECIFICATIONS ON RAIN BIRD WEBSITE (WWW.RAINBIRD.COM) FOR SUGGESTED SPACING.
2. LENGTH OF LONGEST EMITTER LATERAL SHOULD NOT EXCEED THE MAXIMUM SPACING SHOWN IN THE ACCOMPANYING TABLE.
3. PLACE THE ZONE VALVES EVERY THREE FEET IN ROW, FOUR FEET IN ROW, AND FIFTEEN FEET IN ROW IF THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS. LINE THE ZONE VALVES ON EACH END OF THE CHANGE OF DIRECTION.

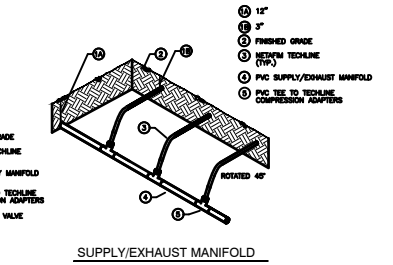
Inlet Pressure psi	12" Spacing		18" Spacing		24" Spacing	
	Normal Flow (gph)	Normal Flow (gph)	Normal Flow (gph)	Normal Flow (gph)	Normal Flow (gph)	Normal Flow (gph)
0.5	0.9	0.6	0.9	0.6	0.9	0.6
15	273	155	314	250	424	322
20	318	169	353	264	508	368
30	380	230	413	350	585	414
40	392	255	462	402	652	474
50	417	285	528	420	720	488
60	460	290	596	455	780	514



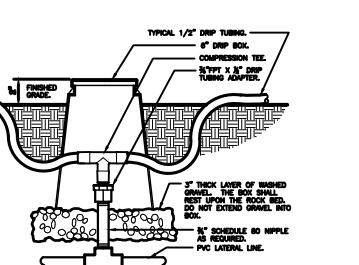
10 ESP-LXMEF CONTROLLER IN PLASTIC CABINET
NOT TO SCALE



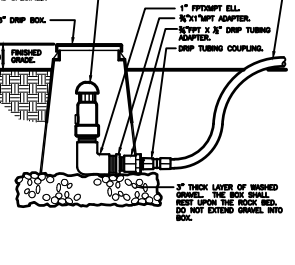
16 LATERAL TO DRIP FEED DETAILS
NOT TO SCALE



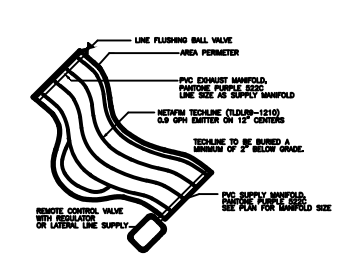
15 DRIP ZONE CONTROL VALVE KIT IN JUMBO VALVE BOX
NOT TO SCALE



13 DRIP AIR RELIEF VALVE IN BOX
2" = 1'-0"



14 IRREGULAR AREAS
NOT TO SCALE



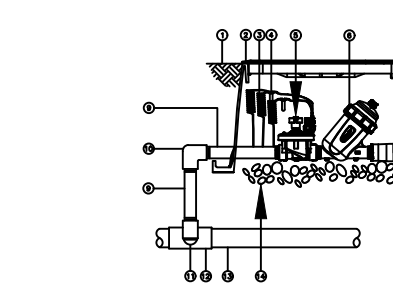
18 DRIP EMITTER AT 1/4\"/>



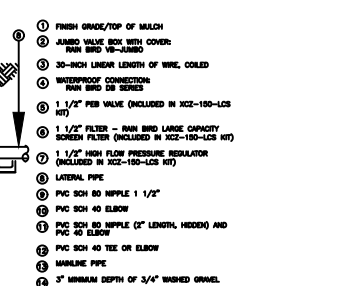
19 DRIP FLUSH VALVE
1 1/2" = 1'-0"



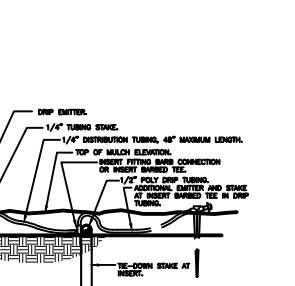
11 TYPICAL DRIPLINE LAYOUT REQUIREMENTS
NOT TO SCALE



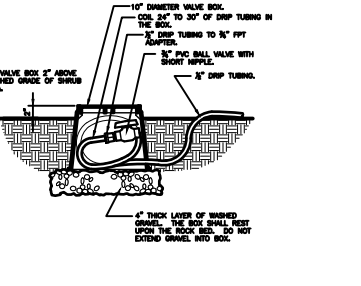
17 ZONE CONTROL
2" = 1'-0"



13 DRIP AIR RELIEF VALVE IN BOX
2" = 1'-0"



14 IRREGULAR AREAS
NOT TO SCALE



18 DRIP EMITTER AT 1/4\"/>



19 DRIP FLUSH VALVE
1 1/2" = 1'-0"

Rev.	Date	Rev.	Date
2	09-11-2023		

HPB
2335

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IRRIGATION DETAILS

Date	09-11-2023	Sheet No.	
Scale	AS SHOWN		IR-451
Project	2335		

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