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1601 WASHINGTON AVE MIAMI BEACH, FL 33139

Owner	
Name	NG 1601 WASHINGTON LLC
Address	1430 BROADWAY, 7TH FLOOR
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Email	-
Landsca	ape Architecture
Landsca Name	ape Architecture Kimley-Horn
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Consulta Name Address Address Tel: Email

Consulta Name Address Address Tel: Email

DOCUMENT WAS KANDER GONZALEZ ACENT TO THE SEAL

ALEX GREGORY

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Architect: Kobi Karp Architecture and Interior Design, Inc. 571 NW 28th Street Miami, Fiorida 33127 USA Miami, Fiorida 33127 USA Tei: + 1(305) 573 3766



COVER SHEET

Date	09-11-2023	Sheet No.
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Project	2335	

PROJECT LOCATION

GENERAL NOTES:

- 1. LIMITS OF SCOPE OF WORK IS PLANTING AND IRRIGATION WITHIN THE SITE.
- 2. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH OWNERSHIP, ARCHITECT, AND LANDSCAPE ARCHITECT FOR PRIOR TO CONSTRUCTION.
- 3. CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING SITE PRIOR TO BIDDING IN ORDER TO FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITION OF A PARLE DE RESPUNSIBLE FUR VISITING STI E PRIOR TO BIDDING IN ORDER TO FAMILIARIZE THEMSELVES WITH ALL CONDITIONS AFFECTING THE WORK, INCLUDING BUT NOT LIMITED TO, PRIVATE AND PUBLIC UTILITIES ON AND OFFSITE, EXISTING DRAINAGE, ETC.
- 4. CONTRACTOR SHALL NOTIFY OWNERSHIP AND THE LANDSCAPE ARCHITECT IN WRITING IMMEDIATELY OF ANY EXPECTED OR UNKNOWN CONDITIONS OR DISCREPANCIES OR AMBIGUITIES IN THE DRAWINGS OR SPECIFICATIONS, AS WELL AS ERRORS OR OMISSIONS ON THE DRAWINGS PRIOR TO PROCEEDING WITH THE WORK OR SHOP FABRICATION.
- 5. CONTRACTOR SHALL COORDINATE ABE IN COMPLIANCE WITH ALL STATE AND LOCAL CODES AS WARRANTED.
- 6. ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS AND SPECIFICATIONS AND EXISTING SITE CONDITIONS OR ANY INCONSISTENCIES OR AMBIGUITIES IN DRAWINGS OR SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT, IN WRITING, WHO SHALL PROMPTLY ADDRESS SUCH INCONSISTENCIES OR AMBIGUITIES. WORK DONE BY THE CONTRACTOR AFTER HIS DISCOVERY OF SUCH DISCREPANCIES, INCONSISTENCIES, OR AMBIGUITIES SHALL BE PERFORMED AT THE CONTRACTOR'S RISK
- 7. DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER, OR THE LANDSCAPE ARCHITECT, MAY BE CAUSE FOR THE WORK TO BE DESIGNATED UNACCEPTABLE.
- 8. THE CONTRACTOR ACKNOWLEDGES & AGREES THAT THE WORK IS ENTIRELY AT HIS RISK UNTIL SITE IS ACCEPTED, AND HE WILL BE HELD RESPONSIBLE FOR ITS SAFETY BY THE OWNER.
- 9. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE DAMAGE OR LOSS OF ANY REFERENCE POINTS AND HUBS DURING THE CONSTRUCTION OF HIS WORK, AND SHALL BEAR THE COST OF REPLACING SAME
- 10 THE CONTRACTOR IS RESPONSIBLE FOR HORIZONTALLY AND VERTICALLY LOCATING AND PROTECTING ALL PUBLIC AND PRIVATE UTILITIES WHICH LIE IN A ADJACENT TO THE CONSTRUCTION SITE AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY (CALL SUNSHINE DIG/CALL - 811).
- 11. THE CONTRACTOR SHALL SALVAGE AND PROTECT ALL EXISTING POWER POLES, SIGNS, MANHOLES, TELEPHONE RISERS, WATER VALVES, ETC., DURING ALL CONSTRUCTION PHASES UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL REPAIR, AT HIS OWN EXPENSE, ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
- 12. ANY FOREIGN ITEM FOUND DURING CONSTRUCTION IS THE PROPERTY OF THE OWNER. THIS INCLUDES, BUT IS NOT LIMITED TO, PRECIOUS METALS, COINS, PAPER CURRENCY, ARTIFACTS AND ANTIQUITIES.
- 13. ALL SURPLUS EXCAVATION SHALL BE TAKEN TO A SITE DESIGNATED BY OWNER, AT NO ADDITIONAL COST TO THE OWNER. IF OWNER CHOOSES, THE CONTRACTOR MAY TAKE POSSESSION OF SURPLUS EXCAVATION MATERIAL.
- 14. CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND/OR OBTAINING ALL REQUIRED PERMITS AND APPROVALS PRIOR TO COMMENCING
- 15. CONTRACTOR IS TO MAINTAIN CONTROLLED PEDESTRIAN AND ADA ACCESS THROUGH ALL AREAS OF THE SITE THROUGHOUT CONSTRUCTION PERIOD.
- 16. MAINTAIN THE SITE IN A NEAT AND ORDERLY CONDITION AT ALL TIMES, DAILY, AND MORE OFTEN IF NECESSARY, INSPECT & AND PICK UP ALL SCRAP, DEBRIS, & WASTE MATERIAL
- 17. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ALL MUD, DIRT, GRAVEL AND OTHER MATERIALS TRACKED ONTO ANY PRIVATE OR PUBLIC STREETS OR SIDEWALKS. THE CONTRACTOR MUST CLEAN THESE DAILY, IF NECESSARY. THE CONTRACTOR MUST USE WATER OR OTHER ACCEPTABLE METHODS TO KEEP AIRBORNE DUST TO A REQUIRED MINIMUM.
- 18. PROVIDE PROTECTION TO ALL FINISHED WORK. MAINTAIN SURFACES CLEAN, UNMARRED, AND SUITABLY PROTECTED UNTIL ACCEPTANCE BY OWNER.
- 19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE RESULTING FROM CONSTRUCTION ACTIVITY TO EXISTING ELEMENTS THAT ARE TO REMAIN
- 20. EROSION CONTROL MEASURES (IE: SILT FENCING AND SEDIMENT CONTROL) SHALL BE MAINTAINED BY THE CONTRACTOR PER CIVIL SPECIFICATIONS. ANY EROSION CONTROL MEASURES DAMAGED BY THE CONTRACTOR SHALL BE REPLACED PER CIVIL SPECIFICATIONS.
- 21. CONTRACTOR SHALL VERIFY LOCATION, SIZE AND ELEVATION OF EXISTING UTILITIES, STRUCTURES, PIPES, PAVEMENTS, ETC. AS RELATED TO HIS WORK. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICT AND/OR DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS, PRIOR TO THE START OF CONSTRUCTION.
- 22. ALL GENERAL CONDITIONS, SUPPLEMENTARY GENERAL CONDITIONS AND TECHNICAL SPECIFICATIONS OF THE CONTRACT SHALL APPLY.
- 23. ALL AREAS OUTSIDE THE LIMITS OF CONSTRUCTION LINE OR TREE CRITICAL ROOT ZONES SHALL NOT BE CROSSED BY HEAVY EQUIPMENT OR USED FOR STORING ANY EQUIPMENT OR MATERIALS.

GENERAL ABBREVIATIONS:

- ARCH. = ARCHITECT/ARCHITECTURE
- TG = TOP OF GRADE TW = TOP OF WALL TPW = TOP OF PLANTER WALL
- FFE = FINISH FLOOR ELEVATION
- AFF = ABOVE FINISH FLOOR P.L. = PROPERTY LINE
- M.L. = MONUMENT LINE
- C.L. = CENTER LINE CONC = CONCRETE STRUCT. = STRUCTURAL / STRUCTURE
- ENG. = ENGINEER / ENGINEERING
- LA = LANDSCAPE ARCHITECT DWGS = DRAWINGS TYP = TYPICAL

- EXST = EXISTING HSCP = HARDSCAPE LSCP = LANDSCAPE
- PLNT = PLANTING
- PLTR = PLANTER
- REF = REFER TO C.T. = CLEAR TRUNK
- D.B.H = DIAMETER AT BREAST HEIGHT B & B = BALLED AND BURLAPPED
- MIN. = MINIMUM

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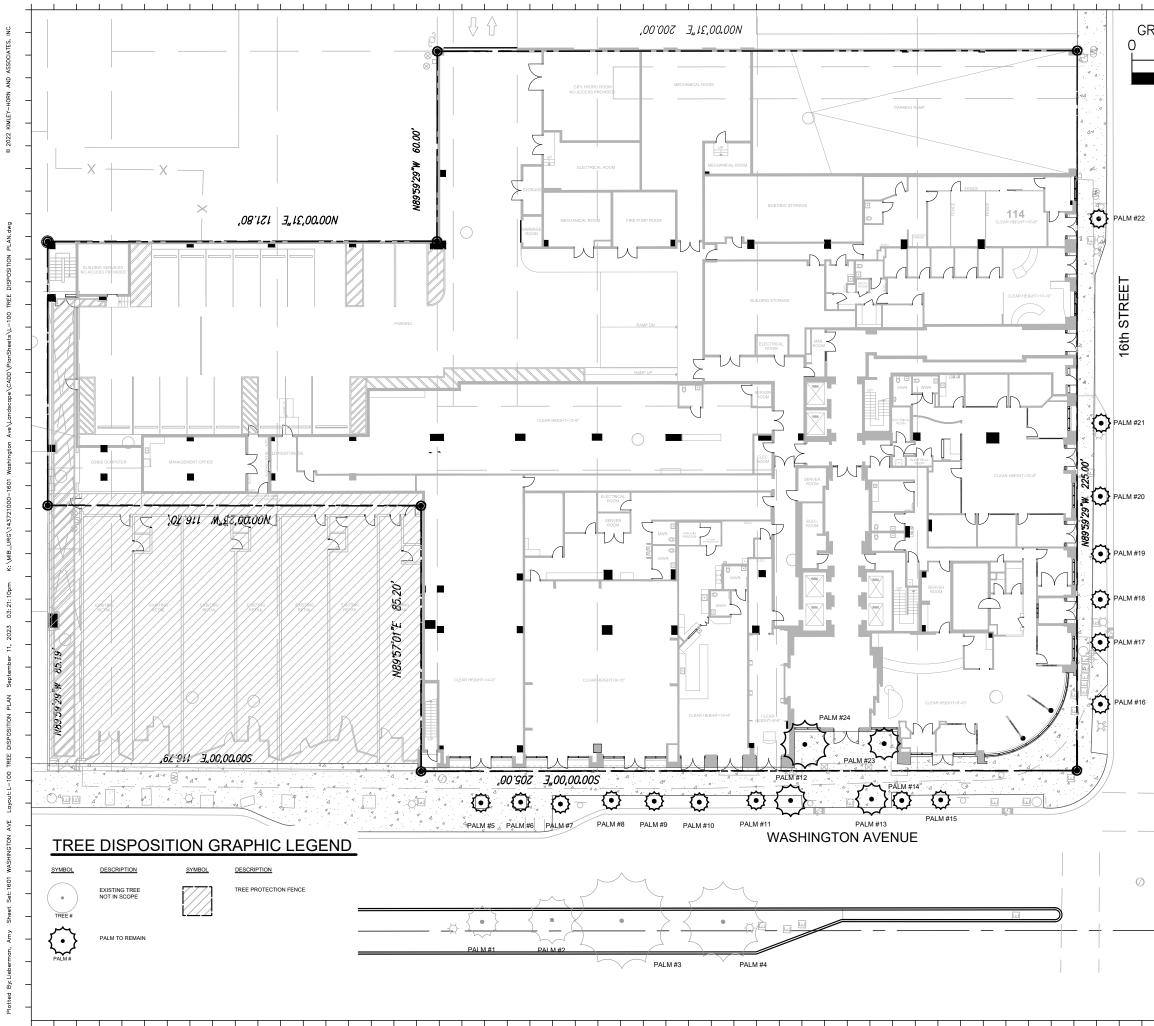
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	Date 09-11-2023 Sheet No.
	Project 2335

TREE DISPOSITION LIST

URVEY TREE NO. 📼	SCIENTIFIC NAME	COMMON NAME	DBH (IN.) 🚽	HEIGHT (FT.) 🚽	CANOPY (FT.) 🔽	DISPOSITION	COMMENTS
1	Delonix regia	Royal Poinciana	3	25	10	REMAIN (ROW) (NIS)	
2	Roystonia regia	Royal Palm	3	30	15	REMAIN (ROW) (NIS)	
3	Roystonia regia	Royal Palm	3	40	30	REMAIN (ROW) (NIS)	
4	Roystonia regia	Royal Palm	3	20	25	REMAIN (ROW) (NIS)	
5	Cocos nucifera	Coconut Palm	1	30	6	REMAIN (ROW)	
6	Cocos nucifera	Coconut Palm	1	30	6	REMAIN (ROW)	
7	Cocos nucifera	Coconut Palm	1	30	6	REMAIN (ROW)	
8	Cocos nucifera	Coconut Palm	1	30	6	REMAIN (ROW)	
9	Cocos nucifera	Coconut Palm	1	30	6	REMAIN (ROW)	
10	Cocos nucifera	Coconut Palm	1	30	6	REMAIN (ROW)	
11	Cocos nucifera	Coconut Palm	1	30	6	REMAIN (ROW)	
12	Phoenix dactylifera	Date palm	3	20	10	REMAIN (ROW)	
13	Phoenix dactylifera	Date palm	3	20	10	REMAN (ROW)	
14	Cocos nucifera	Coconut Palm	1	30	6	REMAIN (ROW)	
15	Cocos nucifera	Coconut Palm	1	30	6	REMAIN (ROW)	
16	Cocos nucifera	Coconut Palm	1	30	6	REMAIN (ROW)	
17	Cocos nucifera	Coconut Palm	1	30	6	REMAN (ROW)	
18	Cocos nucifera	Coconut Palm	1	30	6	REMAIN (ROW)	
19	Cocos nucifera	Coconut Palm	1	30	6	REMAIN (ROW)	
20	Cocos nucifera	Coconut Palm	1	30	6	REMAIN (ROW)	
21	Cocos nucifera	Coconut Palm	1	30	6	REMAIN (ROW)	
22	Cocos nucifera	Coconut Palm	1	30	6	REMAN (ROW)	
23	Dypsis cabadae	Cabada Palm	0.5	30	15	REMAN	
24	Dypsis cabadae	Cabada Palm	0.5	25	10	REMAN	

Total DBH to be removed =	-
Palms to be removed	-

TREE DISPOSITION G	RAPHIC KEY
TEXT	Requires mitigation
TEXT	Does not require mitigation / not regulated due to size or species / Tree not in scope
TEXT	Palm

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		Scale AS SHOWN L-101
		Project 2335

TREE REMOVAL AND TREE TO REMAIN PRUNING SPECIFICATIONS

- PART 1 EXPLANATION OF NATURAL RESOURCE PRESERVATION PROCEDURES THE SEQUENCE OF OPERATION IS CRITICAL TO THE PROTECTION OF THE TREES. A. TREE CAMOPP PRUINES TO COMPENSATE FOR ROT CLOSS AND DAMAGE. B. FERTILIZATION IS O STIMULATE ROOT SYSTEMS TO HELL CUICKLY AND GROW BACK IN ROOT-PRUNED AREAS. IT ALSO PRODUCES FASTER AVAILABILITY OF ROOT ON ROOT SYSTEM THAT IS LESS EMAIGENE TO THE DAMAGE INCURRED. C. ROOT PRUNING IS TO REMOVE THE ROOTS WITH A THENCHING PROCEDURE THAT IS LESS DAMAGING TO THE ROOTS THAN REGULAR CONSTRUCTION.

- REGULAR CONSTRUCTUR.

 12. DEFINITIONS
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 13. ARTURAL REQUIRES ENSITING TREES OR PAUMS.
 A ROTIONAL REQUIRES ENSITING TREES OR PAUMS.
 B ROTO ZONE THE ORDER NUCLEH AREAST FRANKTING TREES OR PAUM.
 B ROTO ZONE THE ORDER NUCLEH AREAST FRANKTING CONTRACTORS CERTIFIED ARBORIST.
 C DEHI- DUMETER BREAST HIGH-I NUCLESS THE LOCATION ON THE TRUNK, APPROXIMATELY 4.5 ABOVE GROUND, TO
 MEASURE THE DUMETER FOR TO THE CONTRACTORS CERTIFIED ARBORIST.
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- PART 3 PROLICTS FOR TREE TREATMENT EVERY EFFORT SHALL BE MADE TO UTILIZE CHEMICALS OF AN ORGANIC OR BIODEGRADABLE NATURE IN ORDER TO OFFER THE LEAST IMPACTTO THE NATURAL EWIGNMENT. CONTRACTOR IS RESPONSIBLE FOR MIXING, APPL'NIG, AND DISPOSAL OF ALL CHEMICALS IN ACCORDANCE WITH STRICT ADHERENCE TO MANUFACTURERS DIRECTIONS, UNLESS OTHERWISE DIRECTED IN THESE DRIVINGS, REFER TO YPART 49 BELOW

THESE DRAWNINGS. REFER TO *ART 45' BELOW. O CHEMICAL THEATMENTS. O CHEMICAL THEATMENTS. RECOMMENDED FERTULIZER. A 'KLINECTO FEED', PRODUCT OF DOGGETT CORP., LEBANON, NEW JERSEY (968) 234-6335. A 'KLINECTO FEED', PRODUCT OF DOGGETT CORP., LEBANON, NEW JERSEY (968) 234-6335. CHEMICAL THEATMENTS. CHEMICAL THEATMENTS. A 'KLINE'S AND THEAT AND THEATMENTS. A 'KLINE'S AND THE B INSECTICIDE TREATMEN

. "ASTRO". A PRODUCT OF FMC CORPORATION. (800) 321-1362.

- C. TREE PROTECTOR BARRIER MATERIAL.
- EE PROJECTIONE DAVIDER MAIL ERMAL. 1. SKI(6) FOOT TALL METAL ORANGE WINK MESH CONSTRUCTION FENCE SUPPORTED BY EIGHT (6) FOOT TALL METAL T-BAR POSTS AND POST CAPS. 2. THE THEE PROTECTORE BARRIER SHALL HAVE A TWO (2) FOOT BY TWO (2) FOOT THEE PROTECTION ZONE" SIGN AFFIXED TO THE FENCE EVERY TIMENTY (20) FET FLACED IN SUCH A MANNER'TO BE CLEARLY VISIBLE TO THE CONSTRUCTION WORKERS. THE SIGN MUST BE MADE UP OF WEATHER RESISTANT MATERIAL. 3. THE EIGHT (1) FOOT TALL METAL T-BAR POST AND FOST CAP SHALL BE PLACED A MAXIMUM OF SIX (6) FOOT INTERVALS.

PART 4 - EXECUTION

- A THEE CANOPYROIT PRUNING OPERATION 1. THEES TO BE PRUNED SALE UNCLUE ONLY THEES AFFECTED BY CONSTRUCTION OR AS DESIGNATED ON THE THEE DISPOSITION LIST. THIS TEN IS TO BE COORDINATED BY THE CONTRACTORS CERTIFIED ARBORIST WITH THE OWNER'S REPRESENTATIVE.
- VITILE 111E UWINEXS REPRESENTATIVE. 2. ALL PRUNING SHALL BE DONE IN ACCORDANCE WITH ANSI A300 (PART 1) PRUNING. 3. THE CONTRACTOR'S CERTIFIC DARBONIST MUST BE PRESENT DURING ALL PRUNING OPERATIONS. 4. PRUNING SHALL CONSIST OF THE FOLLOWING METHODS: A. CLEANING.
- A. CLEANING B. INTERFERING BRANCH REMOVAL. C. RAISING D. ROOT PRUNING.

- B. FERTILIZATION OPERATION 1. ONLY TREES AFFECTED BY CONSTRUCTION (CANOPY AND/OR ROOT PRUNING) SHALL BE FERTILIZED.
- 1. ONLY TREES AFFECTED BY CONSTRUCTION (CANOPY AND/OR ROOT PRUNING) SHALL BE FERTILIZED.
 2. TREES SPECIFIED TO RECEIVE FERTILIZES NHLL BE FERTILIZED BY THE CONTRACTOR'S CERTIFIED ARBONST.
 A MIX FERTILIZER WITH A 101 MORE WATER THAN LABEL INSTRUCTIONS INTO A TAW WITH AGTATION CAPABILITY (15LBs + 133 GALLONS).
 B. MIX WETTIGA AGENT AT A ARTE OF S OZ PER 103 GALLONS OF FERTILIZER SOLUTION INTO SAME
 C. INJECT THE MARTINE WITH A WORDAULC INJECTION STOTEM STATEMENT
 C. INJECT THE MARTINE STATE OF DO SALLONS OF FERTILIZER SOLUTION INTO SAME
 UNIT A SOLUTION RATE OF S OZ PER 103 GALLONS OF FERTILIZER SOLUTION INTO SAME
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 D. ORTICAL ROOT ZONE BUT NOT THE UPPER 6.1 MORES OF SOLUTION INTO SAME
 D. ORTICAL ROOT ZONE AGUNCETON WITH A SOUL PROBE.
 D. ORTICAL ROOT ZONE, BUT NOT SEVENDE ROOT PRUBES.
 E FERTILIZES SHALLE B MORE TO NOTALIATION OF WAT ARANTON STEELS (F APPLICABLE).
 E FERTILIZES SHALLE B MORE TO NOTALIANTON FWAY ARANTON STEEMES (F APPLICABLE).
 E FERTILIZES SHALLE B MORE TO MORE MARKET ANY OT BEYOND ROOT PRUBES.
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- AT THE REQUEST OF THE OWNER'S REPRESENTATIVE, EMPTY PRODUCT BAGS TO BE RETURNED TO THE OWNER'S REPRESENTATIVE FOR PROOF OF USE.

- I DEE RELIDINEL 10 THE UWERE STREPHESEN AT UP ON PROOF OF USE. I MEETALEE PERTURSEN TREATMENT IN MEET SID ONE WHERE THAN LABEL INSTRUCTIONS INTO A TANK WITH A GRIATION CARRAILTY (1588-153 CALLORS) B. MKV WERTING AGENT AT A VARTE OF 502 PERTURSEN OF PERTURSER SOLUTION INTO SAME TANK WITH FERTURSER, AGITATE MIX. C. INLICET THE KINTURE WITH A VORGALUE ONE SYSTEM SET AT 100 TO 150 P.S.I. FOR SANDY SOLE, 200 P.S.I. FOR SILTICLA' SOLE, NITO THE UPPER 4-12 INCHES OF SOLE WITH A SOLE PROBE. INCLET THE RATE OF OUR TIMOL TO SAME TO ALLONS FOR THE AT 100 TO 150 P.S.I. FOR SANDY SOLE, 200 P.S.I. FOR SILTICLA'S SOLE, NITO THE UPPER 4-12 INCHES OF SOLE WITH A SOLE PROBE. INCLET AT THE RATE OF OUR TIMOL TO SAME TATION OF THE OTHER SOLE WITH A SOLE PROBE.
- EMPTY PRODUCT BAGS TO BE STOCKPILED FOR INSPECTION BY OWNER'S REPRESENTATIVE PRIOR TO DISPOSAL.
- REPRESENTATION CONTRACTOR CONTRACT AND A CONTRACT A

- PACKS (TO EQUAL 1POUND) PHC BIOPACK PER 100 GALLONS OF WATER. C. AGITATE FOR INMITUES. D. INLECT THE MIXTURE WITH A HYDRAULIC INJECTION SYSTEM SET AT 100 TO 150 P.S.I. FOR SANDY SOLIS, 200 SJ. IOR SI TLCH VS JOL, SINCT THE UPPER 6-12 NUCES OF SOLI. WITH A SOLI PROBE. INJECT AT THE RATE OF ONE THIRD (10) GALLON AT EACH INJECTION SITE. SEE TRANSPLANT DETA THIS SHEET FOR INJECTION LOCATIONS. EMPTY PRODUCT BAGS TO BE STOCKPILED FOR INSPECTION BY OWNER'S REPRESENTATIVE PRIOR TO DISPOSAL.

- C. INSECTICIDE OPERATION 1. APPLY YASTROY AS A TOPICAL SOLUTION AS DIRECTED BY THE CONTRACTOR'S CERTIFIED ARBORIST. NOTIFY OWNER'S REPRESENTATIVE IF AN INFESTATION IS NOTICED. APPLY AROUND BASE OF TRUNK TO SOIL LINE, TRUNK AND ANY LIME 10 THE SIZE OF THE TRUNK TO 25'30 HIGH. INSURE COMPLETE COVERAGE. REAPPLY "ASTROY" 33 MONTH'S AFTER INITIL APPLICATION TULIENDE SAME PROCEDURE. TOUR STATUTION OF THE REPRESENTATIVE IF AN INFESTATION IS NOTICED. APPLY AROUND BASE OF TRUNK TO SOIL LINE, TRUNK AND ANY LIME 10 THE SIZE OF THE TRUNK TO 25'30 HIGH. INSURE COMPLETE COVERAGE. REAPPLY "ASTROY" 33 MONTH'S AFTER INITIL APPLICATION TULIENDE SAME PROCEDURE.
- 'ASTRO 2-3 MONTHS AFTER NITRL APPLICATION UTILIZIOS SAME PROCEDURE.
 C. FOLLOW ALL MAUR/GATURERS RECOMMENDATIONS CONCERNING APPLICATION WHEN APPLYING 'ASTRO'.
 READ ALL WARNING LABLIS, ANY PETS, AS WELL AS, THE PETS FOOD AND WATER BOWLS SHOLD BE REMOVED
 FROM THE AREA AND ANY SMIMINE POOL SHOLD BE COVERED (IF APPLICABLE).
 3. CONTRACTOR SHALL ENSURE NO MIXING OF CHEMICALS OCCURS WITHOUT PROTECTIVE MEASURES
 TO PREVENT SHLAGE AND FORTHAL CONTRAMINATION OF SOLS.

- TO PREVENT SPILLAGE AND POTENTIAL CONTAMINATION OF SOLS. OT PRUNING TENCHNIG OPERATION 1. TRENCHNIG LOCATIONS SHALL BE APPROVED IN THE FIELD BY THE OWNER'S REPRESENTATIVE AND THE CONTRACTOR'S CERTIFIED ARBORIST. 2. TERECHNIG SOLUMENT THAT WILL TURN AT HIGH PAYNS IS PREFERERED. TRENCHNIG EQUIPMENT IS TO BE USED TO PERFORM ALL ROOT PRUNING OPERATIONS. A MINIMUM DEPTH OF THIME FET IS REQUIRED OR AS DETERMINED BY CONTRACTOR'S CERTIFIED ARBORIST. CLEAN CUT ROOTS IN TRENCH ON TREE SIDE WITH STERLIE EQUIPMENT, LOODERES, OR CHAIN SAW AFTER TRENCHNIG IS COMPLETE. 3. THE TRENCH'S REALL BE BACKFILLED AND COMPACTED MIMEONTELY. VS BIORCTED BY THE CONTRACTOR'S CERTIFIED ARBORIST. 4. PHASED ROOT PRUNING TIMEFRAMES VARY BY SPECIES. CONTRACTOR'S CERTIFIED ARBORIST SHALL DIRECT PRUNING SCHEDUE.

- THEE PROTECTOR BARNES 1. SEE DETAILS THIS SHEET 2. THEE PROTECTOR BARNER IS TO BE PLACED BY THE CONTRACTOR AROUND EACH TREE TO REMAIN AS DIRECTED BY THE CONTRACTOR'S CERTIFIED ARBORIST. F. TREE REMOVALS

- BEE REMOVALS I. CONTRACTOR SHALL REMOVE AND DISCARD ALL TREES SHOWN AS 'REMOVE' ON THE TREE DISPOSITION FLAN AND THE TREE DISPOSITION LIST. ALL TREES SHOWN TO BE REMOVED SHALL BE FELLED WITH A CHAIN SAW AND STUMP GROUND O'RELOW SURFACE. NY TREES SHOWN TO BE REMOVED AND IS NAN AREA. WHERE COMPACTONIS GRITICAL. THE THEE SHALL BE FELLED WITH A CHAIN SAW AND STUMP REMOVED BY THE CONTRACTOR CARE MUST BE TAKEN NOT TO DAMAGE THE MASS THEES MANNED TO REMAIN. I. IF TREE PROFICETOR BARKIER REMOVED. TO DE PROF OWNED MILED THE MASS THE TAKEN NOT TO DAMAGE THE TREES TO REMAIN. 3. CONTRACTOR SHALL REMOVE AND HAUL AWAY FROM THE JOB SITE ALL WOOD GENERATED FROM TREE REMOVALS, INCLUDING STUMPS, THE SAME DAY THE REMOVAL HAPPENS. 4. BURN PTI'S AND TALLOWED.

- PART 5 PENALTIES
- 1 PERVICE DIAMAGED TREES TO RELIAN 1. REVAR OF DIAMAGE TO RESS TO RELIAND OR OTHER NATURAL RESOURCES SHOLLD OCCUR BY ACCIDENT OR NEGLIGENCE DURING THE CONTRUCTION PERIOD, THE OWNERS REPRESENTATIVE SHILL APPRAISE THE DIAMAGE AND MAKE RECOMMENDATIONS TO THE OWNER FOR REPARE BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. 2. IF ANY TREE THAT IS DESIGNATED TO REMAIN IS DEEMED SUBSTANTIALLY DAMAGED OR DEAD DUE TO CONSTRUCTION DAMAGE, AT THE SOLE DISCRETION OF THE OWNER'S REPRESENTATIVE, THE FOLLOWING PENALTIES WILL APPLY:
 - A. TREES 1" 12" OF TRUNK DIAMETER, MEASURED AT 1' FROM THE GROUND WILL BE VALUED AT \$300.00 PER DIAMETER INCH.

1

1 1

- A TREEST Y 2 OF TOWN DOWNELEY, MEDIADURED AT FIROUM THE DROUGH WILL BE VALUED AT SALOUD FER DOWNELEY MEDIADURETER INCH. B. TREEST Y 200 TRUNK COMMETER MESIED AT 4 5 FROM THE GROUND WILL BE VALUED AT 54000 PER DUMATER INCH. C. IF ANY TREE DESIGNATED TO REMAIN IS REMOVED FROM THE SITE WITHOUT PERMISSION OF THE OWNER'S REPRESENTATIVE, THE PENALTY WILL BE \$500.00 PER INCH.
- L. IF ANT THEE DESIGNATED TO REMARKE RENOVED THOM THE SITE WITHOUT PERMISSION OF THE OWNER'S REPRESENTATIVE. THE PERMITTY THE DESIGNATION OF THE DESIGNATION OF THE DESIGNATION. THE DESIGNATION OF THE DESIGNATION OF THE DESIGNATION OF THE DESIGNATION.
 B. REPARK OF DOT HET THEE PROTECTOR BARRIER HOULD OCCUR BY ACCIDENT OR NEGLIGENCE, THE CONTRACTOR WILL BE RESPONSIBLE FOR IMMEDIATE REPAIRS OF THE INITIAL DAMAGE. FIFTHER WITH DE OFFENSE AFTER DESIGNATION OF THE DESIGNATION OF THE

BACKHOE TRACKH SIMILAR EQUIPMEN OR HAND EXCAVATED PER CONTRACTOR

D C.M.B TREE / PALM PROTECTION DETAIL

B DEMOLITION PROCEDURE - PAVEMENT

A DEMOLITION PROCEDURE - CURB

- PART 6 NATURAL RESOURCE PROTECTION SEQUENCE

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B. PER DIRECTION OF 1 AND 2, CONTRACTOR SHALL PROCEED WITH THE MORE STRINGENT WATERING SCHEDULE.

- 6 NATURAL RESOURCE PROTECTION SEQUENCE
 A THE SEQUENCE OF TREE TREATMENT AND PRESERVATION MEASURES SHALL BE:
 1. CONTRACTOR SHALL SUBMIT A STAGNGACCESS PLAN PROVIDED TO CONTRACTORS CERTIFIED
 2. TREE PROTECTION ETTEM TO COMMENCEMENT.
 2. TREE PROTECTION ETTEM.
 3. ROOT PRUNING AND GROOT BARRIERS
 4. CLEARING AND GROOT BARRIERS
 5. TREE PRUNING
 6. STREE PRUNING
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 6. STREE PRUNING
 6. CONTRACTORS SURVEYOR SHALL STAKE ALL STE IMPROVEMENTS IN ORDER TO FACULTATE ACCURATE LOCATION OF TRENCHING AND FENCING OPERATIONS.
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 6. CONTRACTORS SURVEYOR SHALL STAKE ALL STE IMPROVEMENTS IN ORDER TO FACULTATE ACCURATE LOCATION OF TRENCHING AND FEASURE AND IND FACULTIER TO BEMAN BASET ON HIS/HEF AND
- C. CONTRACTOR'S CERTIFIED ARBORIST TO DETERMINE THE LOCATION OF THE TREE PROTECTOR BARRIER AROUND EACH TREE TO REMAIN BASED ON HIS/HER ANALYSIS OF EACH EXISTING TREE TO REMAIN THAT IS ADJACENT TO CONSTRUCTION IMPROVEMENTS SUCH AS UTILITY INSTALLATION, PAVEMENT ADDITION AND/OR RESTORATION, ETC.

2. CONTRACTOR SHALL CONSULT HIS/HER CERTIFIED ARBORIST FOR WATERING REQUIREMENTS FOR THE TREES THAT HAVE BEEN CANOPY AND/OR ROOT PRUNED

EXISTING TREE TO REMAIN THAT IS ADJACENT TO CONSTRUCTION MRROVEMENTS SUCH AS UTLITY INSTALLATION, PAVEWER ADDITION AND/OR RESTORATION, ETC.
0. CONTRACTOR SHALL MARTAN AND REPAR THE TERE PROTECTOR AMRERED RUNKS ISTE CONSTRUCTION OF PERFATIONS.
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E. CONTRACTOR SHALL MARTAN AND REPAR THE TERE PROTECTOR AMREAS WILL BE PRANITED ONLY WITH APPROVIL OF OWNERSY REPRESENTATIONS.
I. CONTRACTOR TO LIMIT REQUIRED GRADING OF THE CONTRACTORS CERTIFIED AMBORISTS WITHIN THE INFORMATION OF THE CONTRACTORS CERTIFIED AMBORISTA ON THE STATUS.
I. CONTRACTOR TO LIMIT REQUIRED GRADING WITHIN THE FENCED TREE PROTECTION AREAS TO A MAXIMUM OF 5' CUTO RELLO FTHE TREE ORTICAL ROOT ZONE AREAS. ALL GRADING TO BE
SUPERVISED BY THE CONTRACTORS CERTIFIED ARBORISTA ON THE OWNERS REPRESENTATIVE.
I. CONTRACTOR SHALL LEARE Y HAND THEES DESIGNATED TO BE REMOVED WITHIN CRITICAL ROOT ZONE AREAS OT THE CONTRACTOR'S CERTIFIED ARBORISTA AND THE APPROVAL OF THE CONTRACTOR'S CERTIFIED ARBORISTA TO THE CONTRACTOR'S CERTIFIED ARBORISTA TO THE APPROVAL OF THE CONTRACTOR'S CERTIFIED ARBORISTA AND THE APPROVAL OF THE CONTRACTOR'S CERTIFIED ARBORISTA AND THE APPROVAL OF THE CONTRACTOR'S CERTIFIED ARBORISTA AND THE APPROVAL OF THE APPROVAL OF THE CONTRACTOR'S CERTIFIED ARBORISTA AND THE APPROVAL OF THE APPROVAL OF THE CONTRACTOR'S CERTIFIED ARBORISTA AND THE APPROVAL OF THE APPROVAL OF THE CONTRACTOR'S CERTIFIED ARBORISTA AND THE APPROVAL OF THE CONTRACTOR'S CERTIFIED ARBORIST AND THE APPROVAL OF THE APPROVAL OF THE CONTRACTOR'S CERTIFIED ARBORIST AND THE APPROVAL OF THE APPROVAL OF THE CONTRACTOR'S CERTIFIED ARBORIST AND OWNERS REPRESENTATIVE.
I. CONTRACTOR'S SHALL LEARE Y HAND THEES DESIGNATED TO THE APPROVAL OF THE APPROVAL OF THE CONTRACTOR'S CERTIFIED ARBORIST AND OWNERS REPRESENTATIVE.
I. CONTRACTOR SHALL LEARE Y HAND THERES DESIGNATION THE APPROVAL OF THE

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NO DRIP LINE ENCROACHMENT

TREE PRESERVATION

BARRICADE FENCING DETAIL

DRIPLINE

2"x4" RAILS EVENLY SPACED TO 48" HEIGHT.

2"x4" MIN. WOOD POST AT DRIP LINE

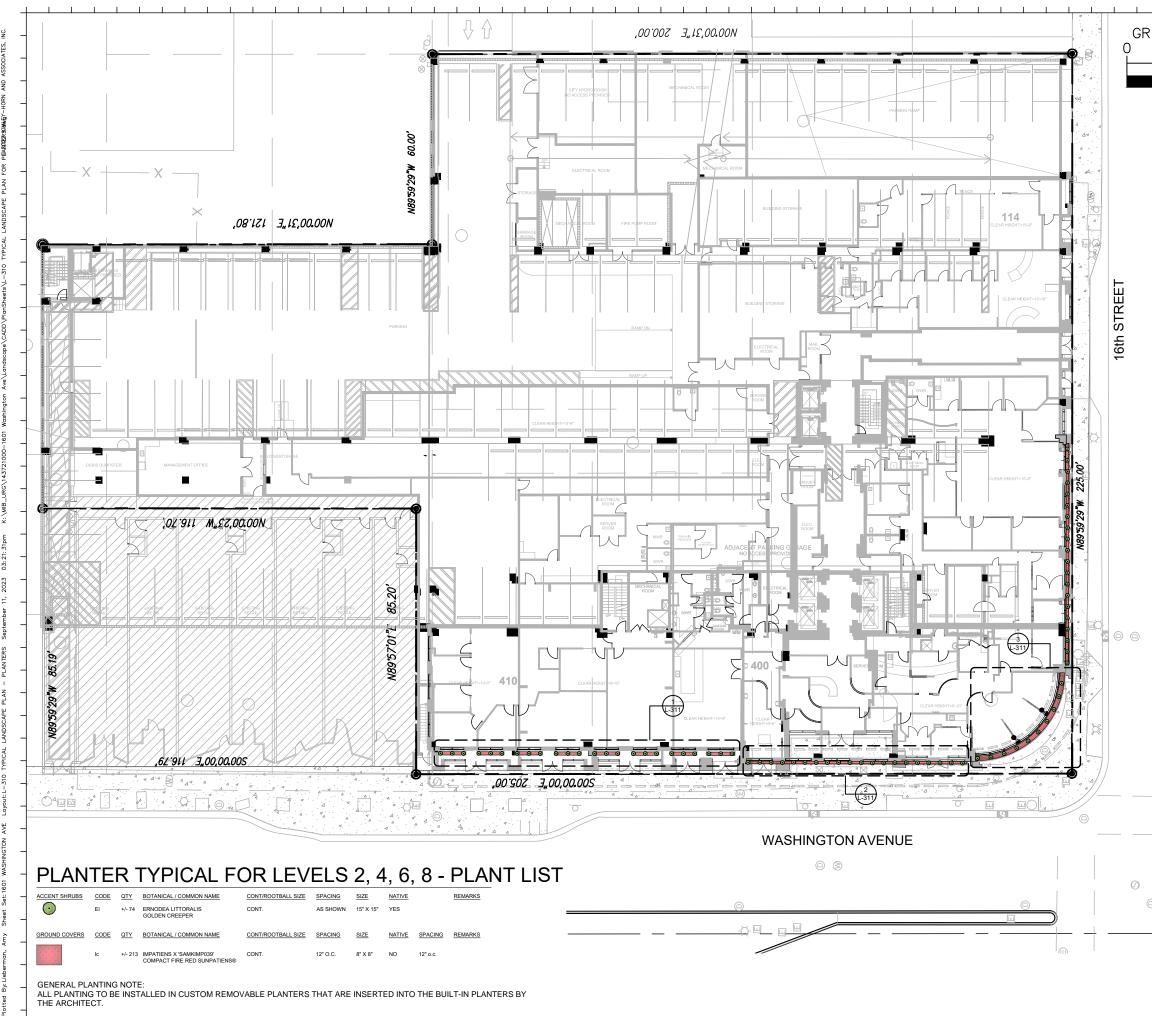
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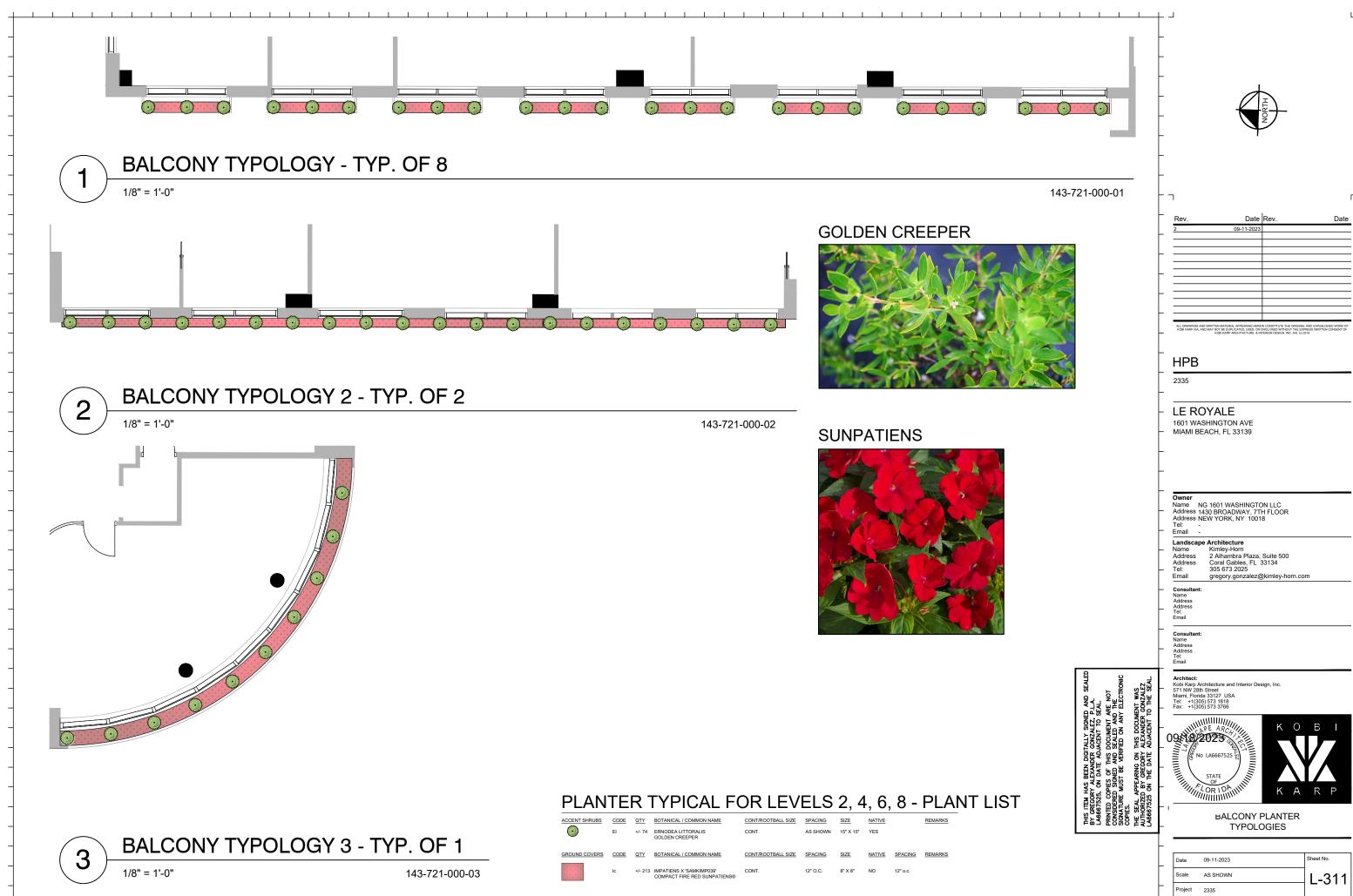
C TREE PRESERVATION / BARRICADE FENCING DETAIL

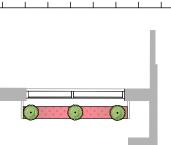
PART 7 - IRRIGATION - registion
CONTRACTOR SHALL WATER THE TREES THAT HAVE BEEN PRUNED (CANOPY AND/OR ROOT) AS SHOWN BELOW.
WATER ALL PRUNED TREES MIMEDIATELY AFTER PRUNING, CONTRACTOR SHALL WATER BY HAND. IF A POTABLE WATER SOURCE IS NOT AVAILABLE ON-SITE OR IF IT IS NOT IN WORKING CONDITION, THEN THE CONTRACTOR WILL BE RESPONSIBLE OF PROVIDING THE WATER AD WATER SOURCE AT HISHER OW EXPENSE.

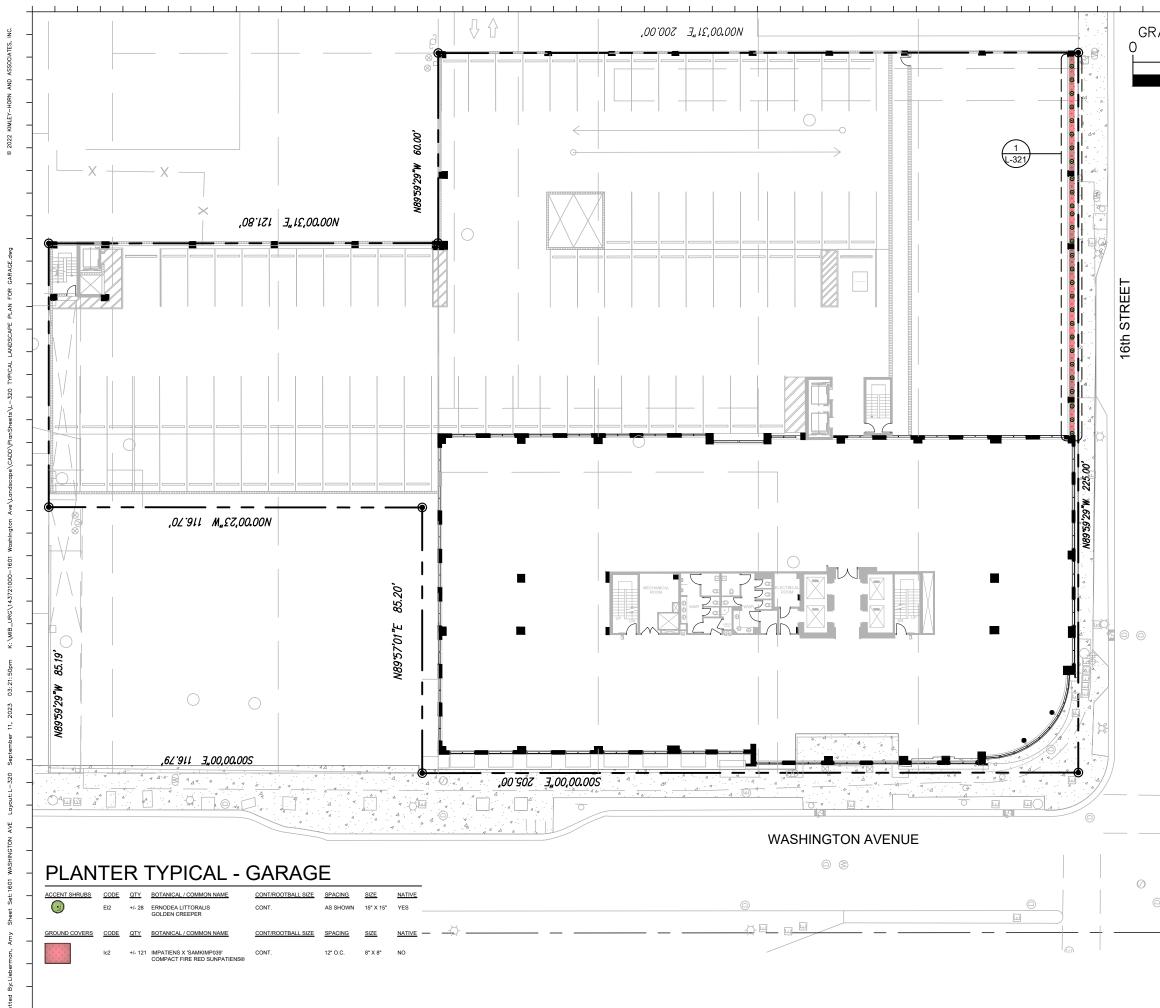
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SEQUENCE 1. NSTAL PROTECTION FENCING.	-	- -
2. PERFORM ANY ROOT FRUNING. 3. BREAK OR CUT CURE A F SECTION OF CURE SECTION ANY FROM ROOTS 5. COORDINATE ALL DEMOLTION OPERATIONS # PROJECT	-	- -
UIRDAN FORSIEN: ROTATE SIDEMALKOURE BACHOR TRACHOE OR SIMILAR EQUIPMENT	-	
ALL DEMOLITION PROCEDURES SHALL OCCUR OUTSIDE THE PROTECTION AREA. COORDINATE	-	
WITH PROJECT URBAN FORESTER CLUB	-	Rev. Date Rev. Date 2 09-11-2023
DN PROCEDURE - CURB	-	
1. CONTRACTOR SHALL SUBMIT A STAGING/ACCESS PLAN PROVIDED BACKHOE, TRACKHOE, TO CONTRACTOR'S CERTIFIED ARBORIST FOR WRITTEN APPROVAL SMILAR EQUIPMENT 7 PRICR TO COMMENCEMENT 2. NISTAL PROCESTION FERCING.	-	ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORDINAL AND UNPUBLISHED WORK OF
KIPIED ARBURGI DIRECTIVE 4. CONTRACTORE LICENSED BIG CERTIFIED ARBORIST SINALLE PRESENT DURING COMPLETE OPERATION. 5. CAREFULLY HAND EXCANATE PAVING TO SUBGRADE. 6. INVESTIGATE TO DETERMINE LOCATION AND SUE OF ROOT SYSTEM. 7. LOSSEN SOL IF NO LARGE ROOTS ARE PRESENT. 7. HAND EXCANATE WITHIN CRITICAL ROOT ZONE.	-	АL ВИМИНОВ АНО ИНТЕНИ, ИРРЕАЛНО ИСЕЛИ ОТ ИЛИ И ВО ОКОВИСКИ И ОКОВИК. АКО ИРРИЦЕНИЕВ И КОРК ОГ КОВИ ИАРРААЛ АНО ИМИ УЛИ СТВОИТИСТИ ИЛЕ О ОКОВИСИВНИТИСТ И СТВОИТИСТИ И СТВОИТИСТИ И КОВИ ИАРРААЛ АНО ИМИ УЛИ И СТВОИТИСТИ И СТВОИТИСТИ И СТВОИТИСТИ И СТВОИТИСТИ И КОВИ ИАРРААЛ И ОКОВИ И СТВОИТИСТИ И СТВОИТИСТИ И СТВОИТИСТИ И СТВОИТИСТИ И КОВИ ИАРРААЛ И ОКОВИ И СТВОИТИСТИ И СТВОИТИСТИ И СТВОИТИСТИ И СТВОИТИСТИ И СТВОИТИСТИ И КОВИ ИАРРААЛ И ОКОВИ И СТВОИТИСТИ И СТВОИТИСТИ И СТВОИТИСТИ И СТВОИТИСТИ И СТВОИТИСТИ И СТВОИТИСТИ И СТВОИТИСТИ И ПОРИТИСТИ И СТВОИТИСТИ И СТВОИТИТЕ СОВИСИЛИ И СТВОИТИ И СТВОИТИ И СТВОИТИСТИ И СТВОИТИСТИ И СТВОИТИ И ПОРИТИ И СТВОИТИ И С
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DN PROCEDURE - PAVEMENT	-	
MTS	-	Owner Name NG 1601 WASHINGTON LLC Address 1430 BROADWAY, 7TH FLOOR
TREE/ PALM PROTECTION FENCES SHALL BE CONSTRUCTED PROR TO ANY CONSTRUCTION ACTIVITY INCLUDING GRUBBING FOR ALL TREESPALMS THAT ARE 'TO REMAN, BE PROTECTED OR BE RELOCATED'	-	Address NEW YORK, NY 10018 Tel: - Email - Landscape Architecture Name Kimley-Horn
FOR ALL TREESPAULS THAT ARE TO REAMA, BE PROTECTED OR BE ELECOLTED' NO ACTIVITY OR DUTURBANCE SHOULD OCCUR WITHIN THE FERENCE AREA, NCLLDANO VEHICLE USE, STORAGE OF IMITERIAS, CRUIPHO OF LUCIDED OR INTERIALS, GRADE CHANGES, ORUBBING, AND MECHANICAL TRENCHING FOR IRRIGATION, ELECTRICAL, LIGHTING, ETC. IN NO CASE SHALL THE FERCE BE INSTALLED LESS THAN THE FEET FROM THE TRUNK	-	Address 2 Alhambra Plaza, Suite 500 Address Coral Gables, FL 33134 Tel: 305 673 2025 Email gregory.gonzalez@kimley-horn.com Consultant:
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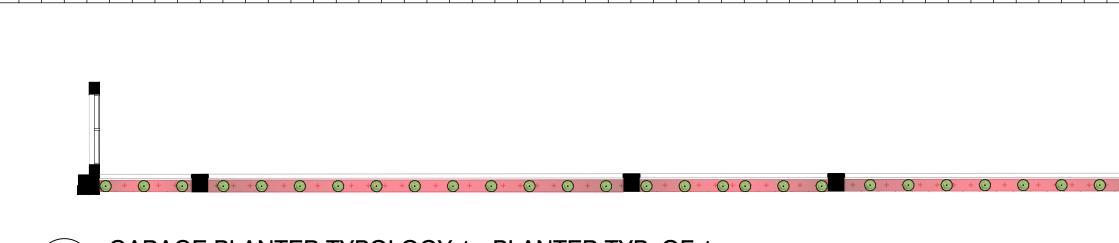
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	Owner
	Name NG 1601 WASHINGTON LLC Address 1430 BROADWAY, 7TH FLOOR Address NEW YORK, NY 10018 Tel: -
	Email - Landscape Architecture Name Kimley-Horn Address 2 Alhambra Plaza, Suite 500
	Address Coral Gables, FL 33134 – Tel: 305 673 2025 Email gregory.gonzalez@kimley-horn.com
	- Consultant: Name Address Address Tel:
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	- Owner
	Name NG 1601 WASHINGTON LLC Address 1430 BROADWAY, 7TH FLOOR Address NEW YORK, NY 10018 Tel: - Email -
	Landscape Architecture Name Kimley-Horn Address 2 Alhambra Plaza, Suite 500 Address Coral Gables, FL 33134 Tel: 305 673 2025
	Tel: 305 673 2025 Email gregory.gonzalez@kimley-horn.com Consultant: Name Address
	Address Tel: Email — Tel: Consultant:
	Name Address Address Tel: Email
ND SEALED LA LA FIE FIE TAXS TAXS TAXS TAXS TAXS TAXS	Architect: Kobi Karp Architecture and Interior Design, Inc. 571 NW 28th Street Miami, Florida 33127 USA Tei: +1(305) 573 1618 Fax: +1(305) 573 3766
This item has been digitally signed and seale by Gregory alexander Gonzalet. Luggerszes, on date adjacent to seal econsidered signed and teal primted copies of this document are not constered signed and teal and the constered signed and the condicates. Luggerszes on the date adjacent to the seal.	
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	Date 09-11-2023 Sheet No.
	Project 2335



GARAGE PLANTER TYPOLOGY 1 - PLANTER TYP. OF 1

3/32" = 1'-0"

143-721-000-07

GOLDEN CREEPER



SUNPATIENS



PLANTER TYPICAL - GARAGE

ACCENT SHRUBS	CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	CONT/ROOTBALL SIZE	SPACING	SIZE	NATIVE
\odot	EI2	+/- 28	ERNODEA LITTORALIS GOLDEN CREEPER	CONT.	AS SHOWN	15" X 15"	YES
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT/ROOTBALL SIZE	SPACING	SIZE	NATIVE
	lc2	+/- 121	IMPATIENS X 'SAMKIMP039' COMPACT FIRE RED SUNPATIENS®	CONT.	12" O.C.	8" X 8"	NO

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GARAGE PLANTER TYPOLOGY

Date	09-11-2023	Sheet No.
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Project	2335	2021

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GENERAL LANDSCAPE SPECIFICATIONS AND NOTES

A. SCOPE OF WORK

- THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.
- 2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER.

B. PROTECTION OF EXISTING STRUCTURES

- 1. ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREAPY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER. C. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OLL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED WHERE HEAT WILL DAMAGE ANY PLANT. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) ERECRIPT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCH CALIPER AND TWELVE (21) INCHES ABOVE GROUND LEVEL FOR TRESS OVER FOUR (4) INCH

D. MATERIALS

1. GENERA

a. MATERIALS LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL. UPON SUBMITTALS' APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

MATERIAL	SUBMITTAL
MULCH	PRODUCT DATA
TOPSOIL MIX	AMENDMENT MIX/ PRODUCT DATA/ TEST RESULTS
PLANTS	PHOTOGRAPHS OF ONE (1) OF EACH SPECIES (OR TAGGED IN NURSERY) INDICATE SIZES (HEIGHT/WIDTH AND QUALITY PER SPEC. CLIENT REQUESTED TAGGING MAY SUBSTITUTE PHOTOS.
FERTILIZER	PRODUCT DATA
INNOCULANT	PRODUCT DATA
HERBICIDE	PRODUCT DATA

2. PLANT MATERIALS

- a. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES, 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS, LATEST EDITION, PUBLISHED BY THE FLORIDA DEPARTIMENT OF A GRICULTURE AND CONSUMER SERVICES. ALL PLANTS SHALL BE FLORIDA GRADE NO. 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANTI INDUSTRY. ALL PLANTS SHALL BE HEALTHY. VIGOROUS, SOUND, WELL-BRANCHED, AND FREE OF DISEASE AND INSECTS. INSECT EGGS AND LAYALE AND SHALL HAVE A ADEUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE PLANT UST. FURNISHED SHALL BE NORMAL FOR THE VARIETY, PLANTS SHALL BE PROVIDED PRIOR TO DELIVER VONCY WITH APPROVAL FROM OWNER OR OWNER'S REPRESENTATIVE. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE OWNER'S REPRESENTATIVE.
- b. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.
- c. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY, SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

E. SOIL MIXTURE

- 1. SOIL MIXTURE (PLANTING MEDIUM FOR PLANT PITS) SHALL CONSIST OF 70% COARSE SAND AND 20% FLORIDA PEAT, AS DESCRIBED BELOW, AND 10% PINE BARK.
- SOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT PITS SHALL BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER; REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER; FREE OF ROOTS, STUMPS, STONES LARGER THAN 2° IN ANY DIRECTION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL HAVE A PH BETWEEN 5.5 AND 7.0 - SUBMIT SAMPLE AND PH TESTING RESULTS FOR APPROVAL
- SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND. CONTRACTOR SHALL SUBMIT RESULTS OF SOIL TEST FOR THE SOIL AND SAND PROPOSED FOR USE UNDER THIS CONTRACT FOR APPROVAL BY THE OWNER.
- 4. CONTRACTOR TO SUBMIT SAMPLES OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.
- 5. CONTRACTOR SHALL PROVIDE PH TEST RESULT FOR ALL MIX COMPONENTS.
- 6. CONTRACTOR SHALL PROVIDE PENETROMETER ON-SITE AT ALL TIMES FOR
- COMPACTION INSPECTION AT THE DISCRETION OF THE LANDSCAPE ARCHITECT.
- LESS THAN 300 PSI OR AS DETERMINE BY LANDSCAPE ARCHITECT.
- 8. SOIL SHALL BE SUPPLIED BY ATLAS PEAT & SOIL INC. 9621 STATE RD, BOYNTON BEACH, FLORIDA 33472. PHONE: 561-734-7300 OR APPROVED EQUAL.
- 9. FINAL MIX SHALL BE TESTED TO HAVE A SATURATED WEIGHT OF NO MORE THAN 110 POUNDS PER CUBIC FOOT WHEN FULLY COMPACTED TO 85% STANDARDS PROCTOR.

F. WATER

- 1. WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETIMIENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC... IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL INSURE ALL PLANT MATERIAL RECEIVES APPROPRIATE WATER THROUGHOUT THE GUARANTEE PERIOD SO PLANT MATERIAL THRIVES AND ESTABLISHES READLY.
- 3. CONTRACTOR SHALL SUBMIT A WATERING SCHEDULE FOR WRITTEN APPROVAL BY THE CLIENT.
- *WATERING/IRRIGATION RESTRICTIONS MAY APPLY REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.
- G. FERTILIZER
- 1. CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.
- *FERTILIZER RESTRICTIONS MAY APPLY REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

- 1. MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A MINIMUM DEPTH OF 3 INCHES. CLEAR MULCH FROM EACH PLANT'S CROWN (BASE). TYPE OF MATERIAL: "FLORIMULCH" OR SHREDDED, STERILE EUCALYPTUS MULCH.
- I. DIGGING AND HANDLING
- PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILTPRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER I OSS.
- 2. BALLED AND BURLAPPED PLANTS (B&B) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS BALLED AND BURLAPPED OR CONTAINER GROWN SHALL NOT BE HANDLED BY STEMS.
- 3. PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS, COMPLVING WITH FLORIDA GRADES AND STANDARDS FOR NURSERV PLANTS, CURRENT EDITION. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT DURING TRANSPORTATION AND PRIOR TO PLANTING.
- 4. PROTECTION OF PALMS (IF APPLICABLE): ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS SPECIFIED AFTER THE MINIMUM OF FRONDS HAVE BEEN REMOVED. ALL PALMS SHALL BE BRACED PER PALM PLANTING DETAIL
- EXCAVATION OF TREE PITS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.
 CONTAINER GROWN STOCK
- CONTAINER GROWN STOCK
- ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION, FLORIDA #1 OR BETTER.
- 2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
- 3. PLANT ROOTS BOUND IN CONTAINERS ARE NOT ACCEPTABLE.
- SUBSTITUTION OF NON-CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE CONTAINER GROWN WILL NOT BE PERMITTED WITHOUT WRITTEN APPROVAL IS OBTAINED FROM THE OWNER OR OWNER'S REPRESENTATIVE.
 K. COLLECTED STOCK
- COLLECTED STOCK
- WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED BY THE OWNER OR OWNER'S REPRESENTATIVE. THE MINIMUM SIZES OF ROOTBALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.
- L. NATIVE STOCK
- PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY RE-ESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW.
- M. MATERIALS LIST
- 1. QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR, QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO BIDDING OR INSTALLATION. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.

N. FINE GRADING

- 1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWIN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, UNLESS OTHERWISE NOTED.
- 2. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH. THIS CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.
- ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES.

O. PLANTING PROCEDURES

- 1. 1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOLL SHOULD THE CONTRACTOR FIND SUCH SOLL CONDITIONS BENEATH THE SOLL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, HE SHALL INMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
- 2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL NATIONAL ONE CALL - 811 - TO LOCATE UTILITIES.
- 3. SUBGRADE EXCAVATION: CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTI OF 38^o. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 38^o DEEP EXCAVATION BY THE CONTRACTOR SHALL VILLZE PLANTING DETAIL THAT ADDRESSES POOR DRAINAGE.
- FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.
- 5. GENERAL COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTE HORTICULTURAL PRACTICES AS USED IN THE TRADE. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON-SITE SHALL NOT REMAIN UNPLANTED FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES, METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.
- 6. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.
- 7. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK 260.1, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACKFILLED WITH THE PREPARED PLANTING SOLI MIXTURE AS SPECIFIED IN SECTION E. TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER PERCOLATION. IF POOR PERCOLATION EXISTS, UTILLE "POOR DRAINAGE CONDITION" PLANTING DETAIL. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A OUALIFIED LANDSCAPE FOREMAN. PROPER 'LETTING IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STICK" OR EQUAL IS RECOMMENDED.
- 8. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.
- 9. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION E OF THESE SPECIFICATIONS. 10. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER
- SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACKFILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).
- 11. AMEND PINE AND OAK PLANT PITS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT PITS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL PRIOR TO INOCULATION.
- 12.FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE, ONLY WITH MULCH. ALL BURLAP, ROPE, WIRES, BASKETS, ETC..., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERWEATH.
- 13. PRUNING: TREES SHALL BE PRUNED, AT THE DIRECTION OF THE OWNER OR OWNER'S REPRESENTATIVE, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY LICENSED ARBORIST, IN ACCORDANCE WITH ANSI A: 300.
- 14 SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6°, REMOVE AND DISPOSE ALL DEBRIS. MIX TOP 4° TO ACHEIVE SOIL MIXTURE AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.
- 15. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING AND BRACING, THE OWNER SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING AND BRACING TO INDEMNIFY AND HOLD HARMLESS THE LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.
- 16.MULCHING: PROVIDE A THREE INCH (MINIMUM) LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE PIT PLANTED UNDER THIS CONTRACT.
- 17.HERBICIDE WEED CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, 'ROUND-UP' SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER. (AS ALLOWED BY JURISDICTIONAL AUTHORITY)

P. LAWN SODDING

- 1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LA OWNER.
- 2. LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE S OF ANY ROUGH GRASS, WEEDS, AND DEBRIS, AND THE G EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED V NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT S' ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRAD PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUI
- 3. SOIL PREPARATION: PREPARE LOOSE BED FOUR (4) IN ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PR

4. SODDING

- a. THE CONTRACTOR SHALL SOD ALL AREAS THAT AR DESIGNATED ON THE DRAWINGS WITHIN THE CONT SPECIFICALLY NOTED OTHERWISE.
- b. THE SOD SHALL BE CERTIFIED TO MEET FLORIDA S SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY K
- c. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SC SODDED LAWN AREA. SOD SHALL BE LAID UNIFORM ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PY ADJACENT TO BUILDINGS, A 24 INCH STONE MULCH REFER TO DETALS. IMMEDIATELY FOLLOWING SOC SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMA PURPOSES, AND THEN THOROUGHLY IRRIGATED. II OWNER, TOP-DRESSING IS NECESSARY AFTER ROL BETWEEN THE SOD PANELS AND TO EVEN OUT INCC CLEAN SAND, AS APPROVED BY THE ENTIRE SURFACE C WATERED IN. FERTILIZE INSTALLED SOD AS ALLOW JURISDICTIONAL AUTHORITY.
- DURING DELIVERY, PRIOR TO, AND DURING THE PLANTIN SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSION

6. LAWN MAINTENANCE:

- a. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR S WELL ESTABLISHED LAWN. THE CONTRACTOR SHA REPAIR AND RE-SODING OF ALL ERODED, SUNKEN THAN 12*X12⁹ UNTIL CERTIFICATION OF ACCEPTABL REPRESENTATIVE. REPAIRED SODING SHALL BEA ORIGINAL WORK (INCLUDING REGRADING IF NECES)
- b. CONTRACTOR RESPONSIBLE FOR ESTABLISHING AM UNTIL ACCEPTANCE BY THE OWNER'S REPRESENT ACCEPTANCE, CONTRACTOR TO PROVIDE WATERIN OWNER. OBSERVE ALL APPLICABLE WATERING RES THE PROPERTY'S JURISDICTIONAL AUTHORITY.

Q. CLEANUP

- UPON COMPLETION OF ALL PLANTING WORK AND BEFOR CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMEN FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM-4 IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED I REPRESENTATIVE.
- R. PLANT MATERIAL MAINTENANCE
- ALL PLANTS AND PLANTING INCLUDED UNDER THIS CON BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHEI RE-STAKING OR REPARING GUY SUPPORTS) NECESSAR PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFI THE OWNER'S REPRESENTATIVE. MAINTENANCE AFTER ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SI SECTION. CONTRACTORS ARE REQUESTED TO PROVIDE LANDSCAPE AND IRRIGATION MAINTENANCE FOR A PER COMMENCING AFTER ACCEPTANCE.
- S. MAINTENANCE (ALTERNATE BID ITEM)

1. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ES FOLLOWING THE INITIAL 90-DAY MAINTENANCE PERIOD T. FINAL INSPECTION AND ACCEPTANCE OF WORK

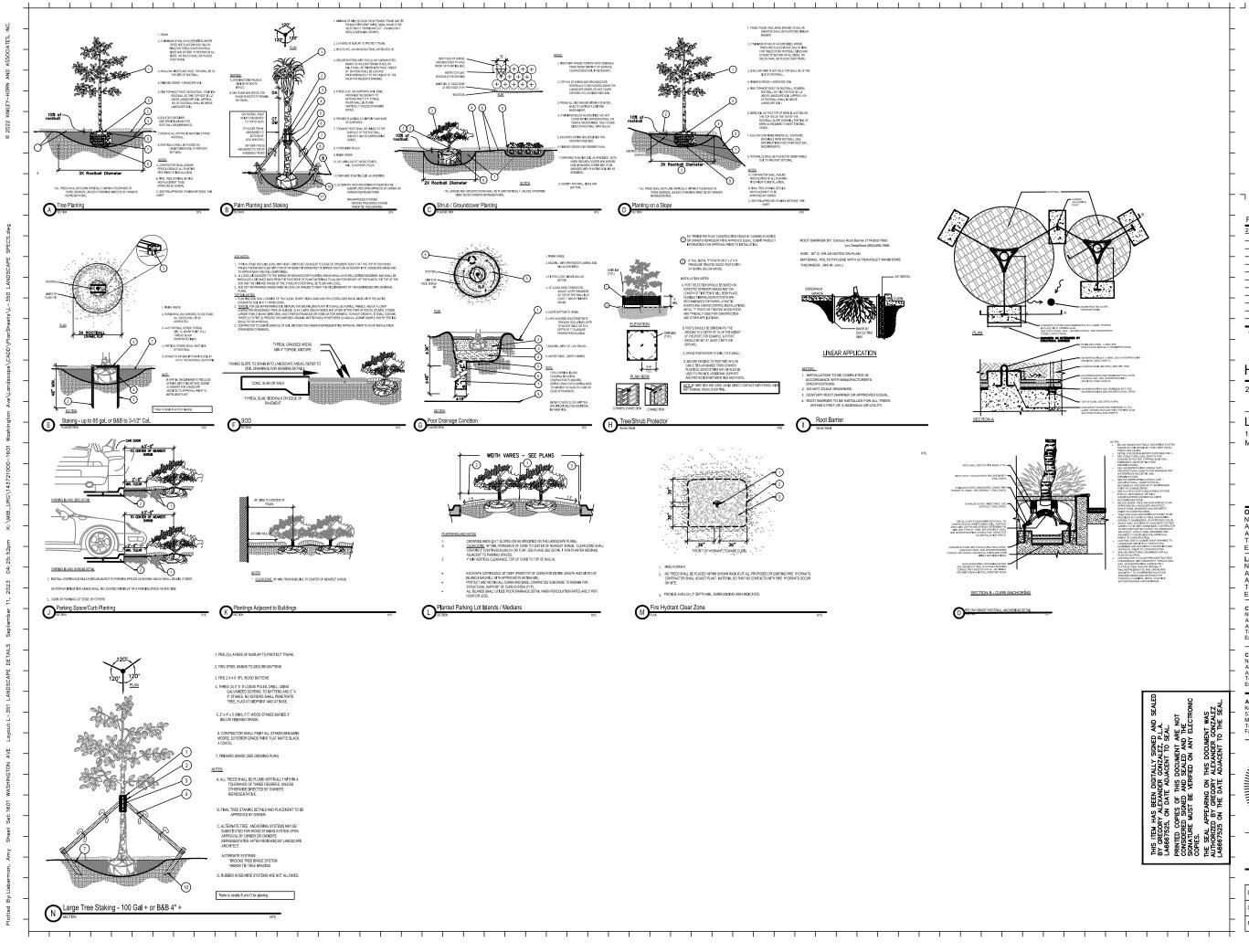
 FINAL INSPECTION AT THE END OF THE WARRANTY PER CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PER ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARC) WRITING) BEGINNING WITH THE TIME OF REPLACEMENT INSPECTION AND ACCEPTANCE HERRIN DESCRIBED.

U. WARRANTY

- 1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY TI MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE.
- REPLACEMENT: ANY PLANT NOT FOUND IN A HEALTHY G END OF THE WARRANTY PERIOD SHALL BE REMOVED FF AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPL OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLAN FURNISHED PLANTED AND MULCHED AS SPECIFIED UND ADDITIONAL COST TO THE OWNER.
- 3. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH LANDSCAPE (ADDI RRIGATION) MAINTENANCE, THE CON VISIT THE PROJECT SITE PERIODICALLY DURING THE ON TO EVALUATE MAINTENANCE PROCEDURES BEING PERS SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANC CONDITIONS WHICH THREATEN VIGOROUS AND HEALTH SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MONTH FOR A PERIOD OF TWELVE (LE) CONDUCTED A MONTH FOR A PERIOD OF TWELVE (LE) MONTHS FROM T

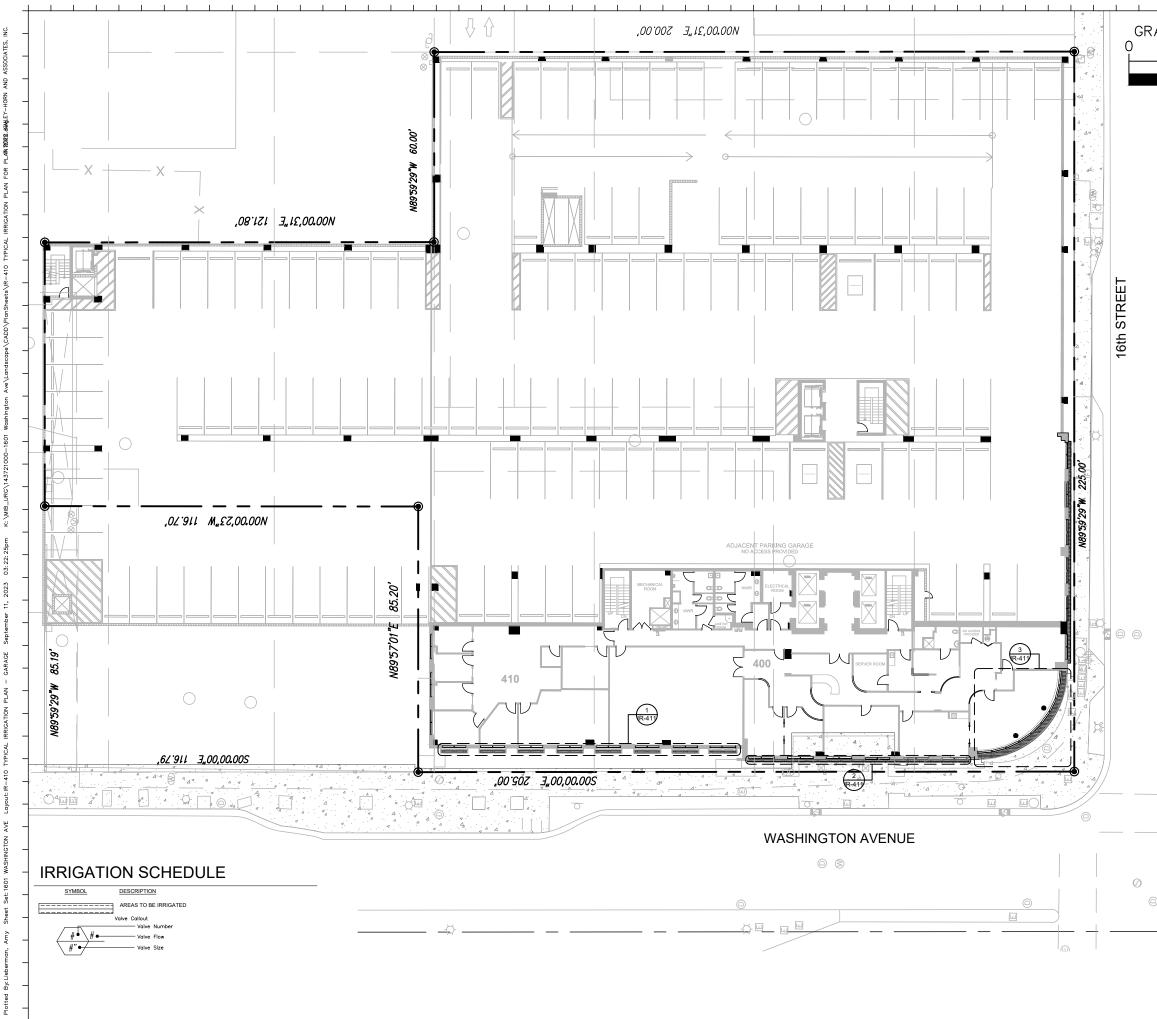
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BED PREPARATION, SOIL PREPARATION, AND ACCORDANCE WITH THE SPECIFICATIONS AND THE DUCE A TURF GRASS LAWN ACCEPTABLE TO THE		-
REAS THAT ARE TO BE SODDED SHALL BE CLEARED AND DEBRIS, AND THE GROUND BROUGHT TO AN ACE SHALL BE ROLLED WITH A ROLLER WEIGHING (100) POUNDS PER FOOT OF WIDTH. DURING THE JSED BY SETTLEMENT SHALL BE FILLED WITH "ACE SHALL BE REGRADED AND ROLLED UNTIL EN FINISH TO THE REQUIRED GRADE. OOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL RE REMOVED. WET PREPARED AREA THOROUGHLY.		-
DD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS INGS WITHIN THE CONTRACT LIMITS, UNLESS RWISE.		
DID MEET FLORIDA STATE PLANT BOARD ILY TRUE TO VARIETAL TYPE, AND FREE FROM WID DISEASE OF ANY KIND. TIGHTLY TOGETHER SO AS TO MAKE A SOLID SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF DISCAPE ELEMENTS, PAVED AND PLANTED AREAS. 24 INCH STONE MULCH STRIP SHALL BE PROVIDED - ATTELY FOLLOWING SOD LAYING, THE LAWN AREAS WIN ROLLER CUSTOMARILY USED FOR SUCH ROUGHLY IRRGATED. IF, IN THE OPINION OF THE IECESSARY AFTER ROLLING TO FILL THE VOIDS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, 19 THE OWNER'S REPRESENTATIVE, SHALL BE THE SON STRATE OF THE SOD AND THOROUGHLY TALLED SOD AS ALLOWED BY PROPERTY'S 4. DD URING THE PLANTING OF THE LAWN AREAS, THE S BE PROTECTED FROM EXCESSIVE DRYING AND HE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SWEATING OR EXCESSIVE HEAT AND MOISTURE. TS, THE CONTRACTOR SHALL PRODUCE A DENSE. THE CONTRACTOR SHALL PRODUCE TO US SODIONS ALL BE ACCOMPLISHED AS IN THE S REPRESENTATIVE. PRIOR TO AND UPON A TO PROVIDE WATEHINGIRRICATION SCHEDULE TO UCABLE WATERING RESTRICTIONS AS SET FORTH BY TONAL AUTHORITY. TING WORK AND BEFORE FINAL ACCEPTANCE, THE LL MATERIAL FOULPMENT, AND DEERIS RESULTING EAS SHALL BE BROOM-CLEANDED AND THE ST		Rev. Date Rev. Date 09-11-2023
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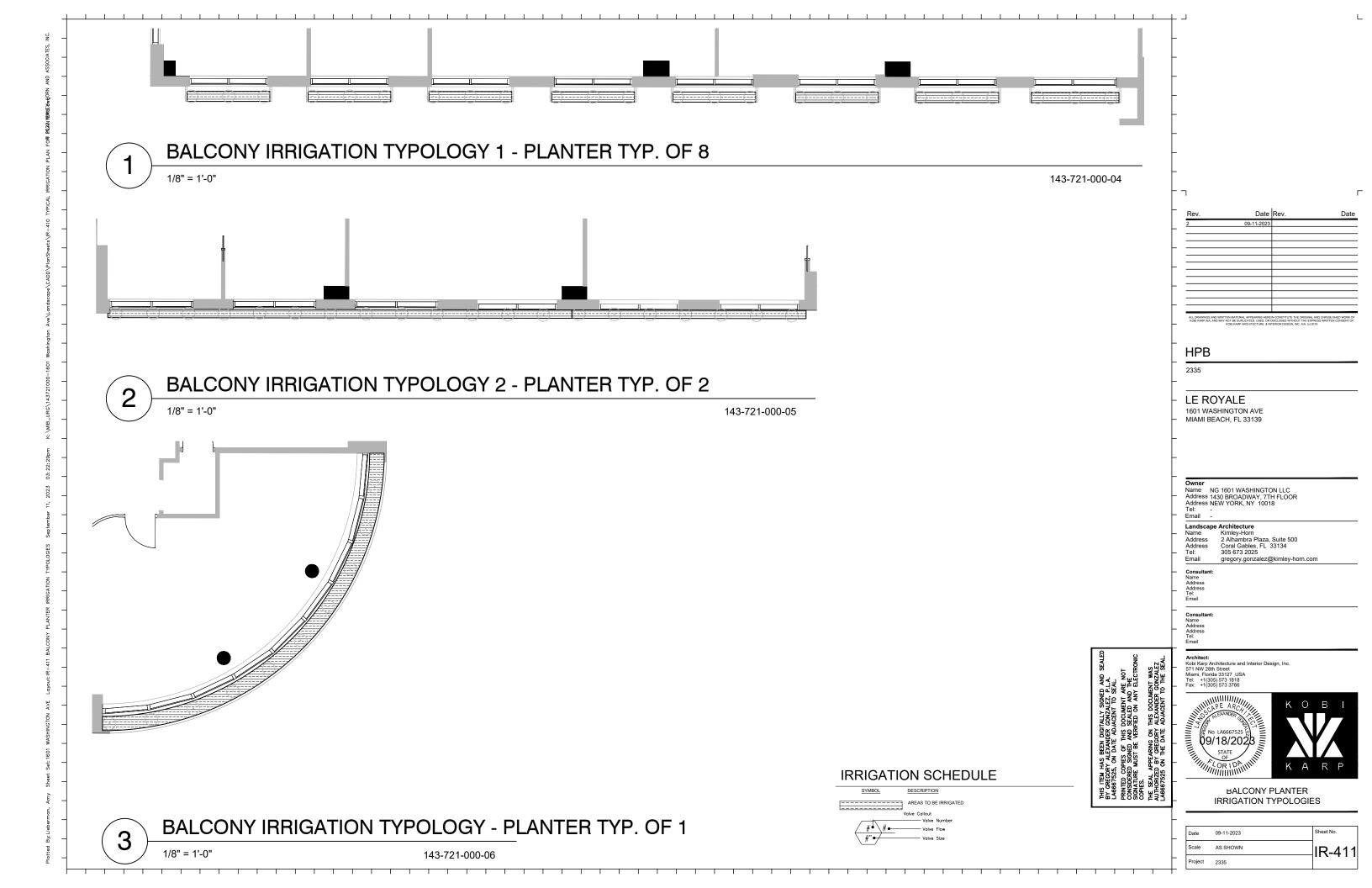


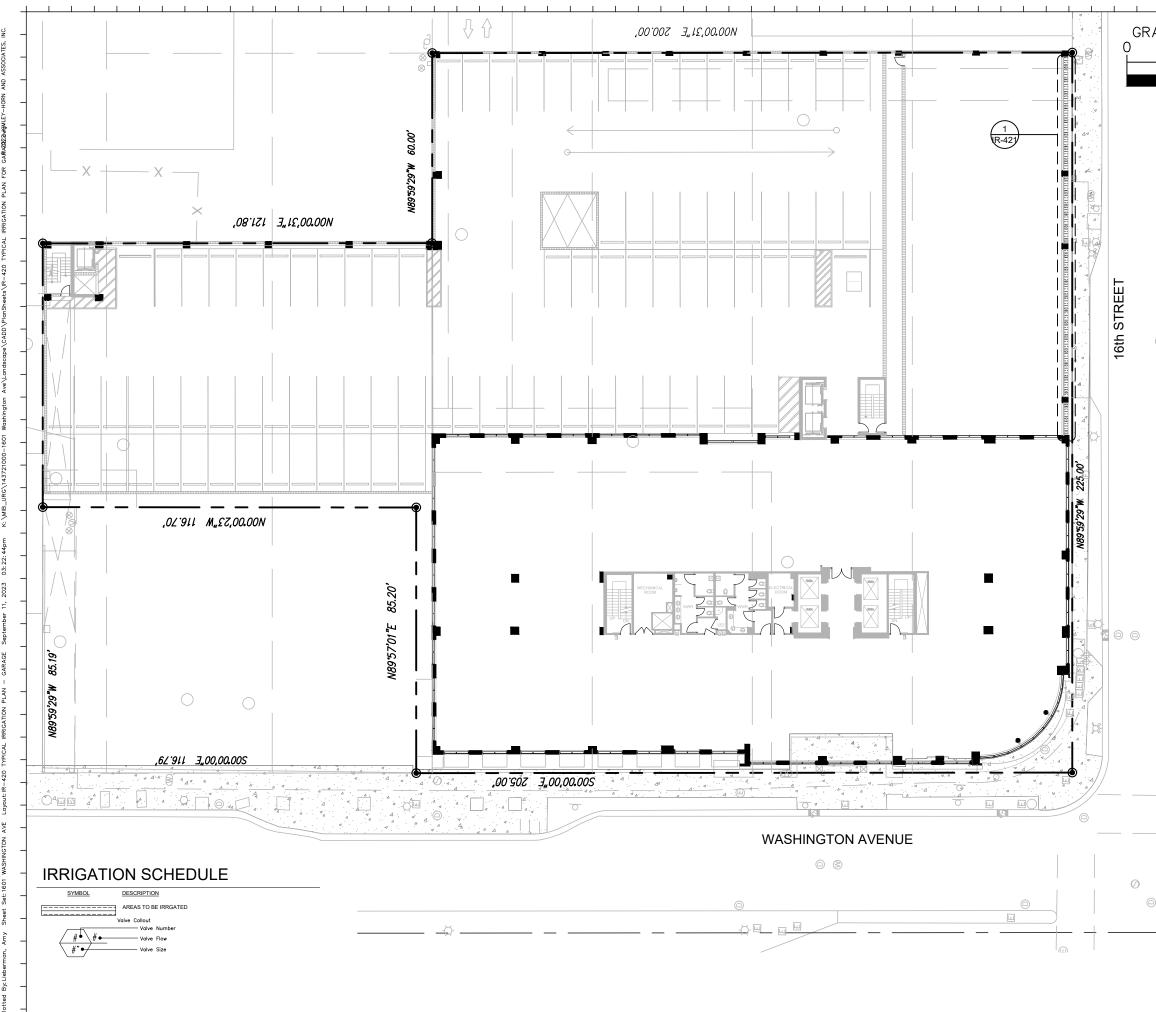
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GENERAL IRRIGATION SPECIFICATIONS AND NOTES

PART I: GENERAL 1.01 SCOPE

UNDERGROUND IRRIGATION SYSTEM

- A. THE WORK COVERED BY THIS SPECIFICATION SHALL INCLUDE THE FURNISHING OF ALL LABOR. MATERIALS I THE WUMN GUPERED OF THE SPECIFICATION SPEC
- B. THE WORK COVERED BY THIS SPECIFICATION ALSO INCLUDES ALL PERMITS, FEDERAL, STATE AND LOCAL TAXES AND ALL OTHER COSTS, BOTH FORESEEABLE AND UNFORESEEABLE AT THE TIME OF CONSTRUCTION.
- C. NO DEVIATION FROM THESE SPECIFICATIONS, THE ACCOMPANYING DRAWINGS, OR AGREEMENT IS AUTHORIZED OR SHALL BE MADE WITHOUT PRIOR WRITTEN AUTHORIZATION SIGNED BY THE OWNER OR HIS DULY APPOINTED REPRESENTATIVE

1.02 QUALITY ASSURANCE

- A. INSTALLER OLIAL ELECATIONS: A FIRM SPECIALIZING IN IRRIGATION WORK WITH NOT LESS THAN FIVE (5) YEARS OF EXPERIENCE IN INSTALLING IRRIGATION SYSTEMS SIMILAR TO THOSE REQUIRED FOR THIS PROJECT
- CORDINATION: COORDINATE AND COOPERATE WITH OTHER CONTRACTORS TO ENABLE THE WORK TO ROCEED AS RAPIDLY AND EFFICIENTLY AS POSSIBLE. C. INSPECTION OF STE: THE CONTRACTOR SHALL ACQUAINT HIMSELF WITH ALL STE CONDITIONS, INCLUDING UNDERGROUND UTILITES BEFORE CONSTRUCTION IS TO BEGIN. CONTRACTOR SHALL COORDINATE PLACEMENT OF UNDERGROUND MATERIALS WITH CONTRACTORS REVIOUSLY WORKING UNDERGROUND IN THE VICINITY OR THOSE SCHEDULED TO DO UNDERGROUND WORK IN THE VICINITY. CONTRACTOR IS RESPONSIBLE FOR MINOR ADDISTINENTS IN THE LAVOUT OF THE WORK TO ACCOMMONATE EXISTING
- FACILITIES D. PROTECTION OF EXISTING PLANTS AND SITE CONDITIONS: THE CONTRACTOR SHALL TAKE NECESSAR TIONS TO PROTECT SITE CONDITIONS TO REMAIN. SHOULD DAMAGES BE INCURRED, T CTOR SHALL REPAIR THE DAMAGE TO ITS ORIGINAL CONDITION AT HIS OWN EXPENSE. CUMIRACIUM SHALL BEYARIA THE UMMAGE I O'IS UMISIMALCUMUNION AT HIS UMICAYEMESE. ANY DISRUPTION, DESTRUCTION, OR DISTURBANCE OF ANY EXISTING PLANT, TREE, SHRUB, OR TURF, OR ANY STRUCTURE SHALL BE COMPLETELY RESTORED TO THE SATISFACTION OF THE OWNER AND HIS REPRESENTATIVES, SOLELY AT THE CONTRACTORES DREPINSE.
- E. PROTECTION OF WORK AND PROPERTY: THE CONTRACTOR SHALL BE LIABLE FOR AND SHALL TAKE THE FOLLOWING ACTIONS AS REQUIRED WITH REGARD TO DAMAGE TO ANY OF THE OWNER'S PROPERTY. 1 ANY EXISTING BUILDING FOURPMENT PIPING PIPE COVERINGS ELECTRICAL SYSTEMS SEWERS SIDEWA OADS. GROUNDS, LANDSCAPING OR STRUCTURE OF ANY KIND (INCLUDING AGE FROM LEAKS IN THE PIPING SYSTEM BEING INSTALLED OR HAVING BEEN INSTALLED B CONTRACTOR) DAMAGED BY THE CONTRACTOR. OR BY HIS AGENTS. EMPLOYEES. OR SUBCONTRACTOR
- CONTRACTOR DWINNEED BY THE CONTRACTOR, ON BY THE DIG INCENTS, EWEDTEES, ON SUBCONTRACTORS, DURING THE COURSE OF HIS VORK, WHETHER THROUGH NEGLIGENCE OF OTHERWISE, SHALL BE REPLACED OR REPARED BY CONTRACTOR AT HIS OWN EXPENSE IN A MANNER SATISFACTORY TO OWNER, WHICH REPAR OR REPLACEMENT SHALL BE A CONDITION PRECEDENT TO OWNER'S OBLIGATION TO MAKE FINAL PAYMENT LUNDER THE CONTRACT.
- CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR DAMAGE TO ANY WORK COVERED BY THESE SPECIFICATIONS BEFORE FINAL ACCEPTANCE OF THE WORK. HE SHALL SECURELY COVER ALL OPEN INTO THE SYSTEM SAND COVER ALL APPARATUS, EQUIPMENT AND APPLIANCES, BOTH BEING SET IN PLACE TO PREVENT OBSTRUCTIONS ON THE IPPES AND THE BREAKAGE, MISUSE OR DISFIGUREMENT OF THE APPARATUS, EQUIPMENT OR APPLIANCE.
- ALL TRENCHING OR OTHER WORK UNDER THE LEAF CANOPY OF ANY AND ALL TREES SHALL BE DONE BY HAND OR BY OTHER WORKTHODS SO THAT NO BRANCHES ARE DAMAGED IN ANY WAY. BUILDINGS, WALKS WALLS, AND OTHER ROPERTY SHALL BE PROTECTED FROM DAMAGED. OPEN DTICHES LEFT EXPOSED BY BE FLAGGED AND BARRICADED BY THE CONTRACTOR BY APPROVED MEANS. THE CONTRACTOR SHALL DEFETORE DEFENSION AND FLORE DIED DEID DE DOWNTON. STORE DISTURBED AREAS TO THEIR ORIGINAL CONDITION 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REQUESTING THE PROPER LITULTY COMPANY TO STAKE THE
- THE CURTIACL TOR SHALL BE RESPONSIBLE FOR REQUESTING THE PROPER UTILITY COMPARY TO STARE EXACT LOCATION OF ANY UNDERGROUND UNES INCLUMES BUT NOT UNITED TO ELECTRIC, GAS, TELEPHONE SERVICE, WATER, AND CABLE. THE CONTRACTOR SHALL TAKE WHATEVER PRECAUTIONS NECESSARY TO PROTECT THESE UNDERGROUND UNES INCLUMES FROM DAMAGE. IN THE EVENT DAMAGE DOES OCCUR, ALL DAMAGE SHALL BE COMPLETELY REPAIRED TO ITS ORIGINAL CONDITION, AT NO ADDITION COST TO THE OWNER. J, TIONS ARE
- 5. THE CONTRACTOR SHALL REQUEST THE OWNER, IN WRITING, TO LOCATE ANY PRIVATE UTILITIES (I.E., ELECTRICAL SERVICE TO OUTSIDE LIGHTING) BEFORE PROCEEDING WITH ANY EXCAVATION. IF, AFTER SUCH REQUESTS AND NECESSARY STAKING, PRIVATE UTILITIES WHICH WERE NOT STAKED ARE ENCOUNTERED AND DAMAGED BY THE CONTRACTOR, THEY SHALL BE REPARIED BY THE OWNER AT NO COST TO THE CONTRACTOR. IF THE CONTRACTOR DAMAGES STAKED OR LOCATED UTILITIES, THEY SHALL BE REPARED AT THE CONTRACTOR'S EXPENSE
- F. CODES AND INSPECTIONS: THE ENTIRE INSTALLATION SHALL COMPLY FULLY WITH ALL LOCAL AND STATE LAWS 2.01 MATERIALS AND ORDINANCES AND WITH ALL ESTABLISHED CODES ARRANGE FOR ALL NECESSARY INSPECTIONS SAND ALL LEESAND EXPENSES IN CONNECTION WITH SAME, SPARTO FTHE WORK LUNGER THIS ALL LOVED SPALE PAY ALL PEES AND EXPENSES IN CONNECTION WITH SAME, AS PART OF THE WORK ONDER THIS CONTRACT. UPON COMPLETION OF THE WORK, HE SHALL FURNISH TO THE "OWNER" ALL INSPECTION CERTIFICATES CUSTOMARILY ISSUED IN CONNECTION WITH THE CLASS OF WORK INVOLVED.
- G. THE CONTRACTOR SHALL KEEP ON HIS WORK, DURING ITS PROGRESS, A COMPETENT SUPERINTENDENT AND ANY NECESSARY ASSISTANTS, ALL SATISFACTORY TO THE OWNER, OR OWNER'S REPRESENTATIVE.
- H. THE SUPERINTENDENT SHALL REPRESENT THE CONTRACTOR IN HIS ABSENCE AND ALL DIRECTIONS GIVEN TO HIM SHALL BE AS BINDING AS IF GIVEN TO THE CONTRACTOR.
- THE OWNER'S LANDSCAPE ARCHITECT OR DESIGNATED INDIVIDUAL SHALL HAVE FULL AUTHORITY TO APPROVE OR REJECT WORK PERFORMED BY THE CONTRACTOR. THE OWNER'S AUTHORIZED REPRESENTATIVE SHALL ALSO HAVE FULL AUTHORITY TO MAKE FIELD CHANGES THAT ARE DEEMED NECESARY.
- FINAL ACCEPTANCE: FINAL ACCEPTANCE OF THE WORK MAY BE OBTAINED FROM THE OWNER LIPON THE ATISFACTORY COMPLETION OF ALL WORK. ACCEPTANCE BY THE LANDSCAPE ARCHITECT AND/OR OWNER IN 10 WAY REMOVES THE CONTRACTOR OF HIS RESPONSIBILITY TO MAKE FURTHER REPARS, CORRECTIONS AND ADJUSTMENTS TO ELIMINATE ANY DEFICIENCIES WHICH MAY LATER BE DISCOVERED.
- JARANTEE: ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE AGAINST LI DEFECTS IN MATERIAL, EQUIPMENT AND WORKMANSHIP TO THE SATISFACTION OF THE OWNER. REPAIRS, IF REQUIRED, SHALL BE DONE PROMPTLY AT NO COST TO THE OWNER.
- In REQUIRED, SHALL BE UDWE FROMPLIENT NO LOSI TO THE OWNER. I. THE GUARANTEE SHALL ASO COVER REPAR OF DAMAGE TO ANY PART OF THE PREMISES RESULTING FROM LEAKS OR WORKMANSHIP, TO THE SATESFACTION OF THE OWNER, THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR WORK DAMAGED BY OTHERS. REPARS, IF REQUIRED, SHALL BE DONE PROMPTLY. THE GUARANTEE SHALL STATE THE NAME OF THE OWNER, PROVIDE FULL GUARANTEE TERMS, EFFECTIVE AND TERMINATION DATE, NAME AND LICENSE VINNER OF CONTRACTOR PHOUPING GUARANTEE, ADDRESS, LUBBILITY UNDER THE GUARANTEE. SUCH WARRANTES SHALL ONLY SUPPLEMENT THE GUARANTEE.
- 2. IF. WITHIN TEN (10) DAYS AFTER MAILING OF WRITTEN NOTICE BY THE OWNER TO THE CONTRACTOR IT, WITHIN TEN LOU DATS AFTER MAILURE OF WAIT TEN NOTICE OF THE OWNER TO THE CONTRACTOR REQUESTING REPAIRS OR REPLACEMENT RESULTING FROM A BREACH OF WARRANTY. THE CONTRACTOR SHALL NEGLECT TO MAKE OR UNDERTAKE WITH OUE DILIGENCE TO MAKE THE SAME, THE CONTRACTOR MAKE SUCH REPAIRS AT THE CONTRACTOR'S EXPENSE PROVIDED, HOWEVER, THAT IN THE CASE OF EMERGENCY WHERE, IN THE JUDGMENT OF THE OWNER, DELAY WOLD CAUSE SERIOUS LOSS OR DAMAI EPAIRS OR REPLACEMENT MAY BE MADE WITHOUT NOTICE BEING SENT TO THE CONTRACTOR, AND CONTRACTOR SHALL PAY THE COST THEREOF.
- THE CONTRACTOR SHALL PROVIDE FULL, 100% IRRIGATION COVERAGE IN ALL AREAS DESIGNED WITH PROPOSED PLANTINGS, IN ACCORDANCE WITH THE SITE'S GOVERNING PERMITTING REQUIREMENTS A
- DO STORE ON THE OWNER OF ANY TIME DURING THE INSTALLATION OF THE IRRIGATION SYSTEM BY THE CONTRACTOR, THE OWNER OR LANDSCAPE ARCHITECT MAY VISIT THE STIE TO OBSERVE WORK UNDERWAY. UPON REQUEST, THE CONTRACTOR SHALL BE REQUIRED TO UNCOVER SPECIFIED WORK AS DIRECTED BY THE OWNER OR MATERIAL, WORKMANSHIP OR METHOD OF INSTALLATION NOT MEET THE STANDARDS SPECIFIED OWNER OR MATERIAL, WORKMANSHIP OR METHOD OF INSTALLATION NOT MEET THE STANDARDS SPECIFIED HEREIN, THE CONTRACTOR SHALL REPLACE THE WORK AT HIS OWN EXPENSE.
- WORKMANSHIP: ALL WORK SHALL BE INSTALLED BY QUALIFIED, SKILLED PERSONNEL, PROFICIENT IN THI TRADES REQUIRED, IN A NEAT, ORDERLY, AND RESPONSIBLE MANNER WITH RECOGNIZED STANDARDS C SHIP. THE CONTRACTOR SHALL HAVE HAD CONSIDERABLE EXPERIENCE AND DEMONSTRATE ABILITY IN THE INSTALLATION OF SPRINKLER IRRIGATION SYSTEMS OF THIS TYP
- 1.03 SUBMITTALS ALL MATERIALS SHALL BE THOSE SPECIFIED AND/OR APPROVED BY THE LANDSCAPE ARCHITECT.
- A. PRODUCT DATA: AFTER THE AWARD OF THE CONTRACT AND PROINT D BEGINNING WORK, THE CONTRACTOR SHALL SUBMIT FOR APPROVAL BY THE AOWNER AND LAACHAET ARCHITECT, TWO EXONO SO IT THE COMPLETE LIST OF MARERIALS, MANUPACTURER'S TECHNICAL DATA, AND INSTALLATION INSTRUCTIONS WHICH HE LIST OF MATERIALS, PROPOSES TO INSTA
- COMMENCE NO WORK BEFORE APPROVAL OF MATERIAL LIST AND DESCRIPTIVE MATERIAL BY THE LANDSCAPE C. RECORD DRAWINGS: THE CONTRACTOR SHALL RECORD ON REPRODUCIBLES, ALL CHANGES THAT MAY BE MADE DURING ACTUAL INSTALLATION OF THE SYSTEM. PROVIDE CONTROLLER SEQUENCING AND CONTROL
- VALVE LOCATIONS 1. IMMEDIATELY UPON INSTALLATION OF ANY PIPING, VALVES, WIRING, SPRINKLERS, ETC., IN LOCATIONS OTHER THAN SHOWN ON THE ORIGINAL DRAWINGS OR OF SIZES OTHER THAN INDICATED. TH

- CONTRACTOR SHALL CLEARLY INDICATE SUCH CHANGES ON A SET OF BLUELINE PRINTS. RECORDS SHALL BE MADE ON A DAILY BASIS. ALL RECORDS SHALL BE NEAT AND SUBJECT TO THE APPROVAL OF THE OWNER. 2. THE CONTRACTOR SHALL ALSO INDICATE ON THE RECORD PRINTS THE LOCATION OF ALL WIRE SPLICES, IAL OR DUE TO REPAIR, THAT ARE INSTALLED UNDERGROUND IN A LOCATION OTHER THAN THE NOLLER PEDESTAL, REMOTE CONTROL VALVE BOX, POWER SOURCE OR CONNECTION TO A IN-HEAD SPRINKLER.
- LVE-IN-HEAD SPRIN 3. THESE DRAWINGS SHALL ALSO SERVE AS WORK PROGRESS SHEETS. THE CONTRACTOR SHALL MAKE NEAT AND LEGIBLE NOTATIONS THEREON DAILY AS THE WORK PROCEEDS, SHOWING THE WORK AS ACTUALLY INSTALLED. THESE DRAWINGS SHALL BE AVAILABLE AT ALL TIMES FOR REVIEW AND SHALL BE KEPT IN A LOCATION DESIGNATED BY THE OWNER'S REPRESENTATIVE
- 4. PROGRESS PAYMENT REQUEST AND RECORD DRAWING INFORMATION MUST BE APPROVED BY LANDSCAPE ARCHITECT BEFORE PAYMENT IS MADE.
- 5. IF IN THE OPINION OF THE OWNER OR HIS REPRESENTATIVE. THE RECORD DRAWING INFORMATION IS NOT 2.11 VALVE BOXES PROPERTY OR PROMITY RECORDED. CONSTRUCTION PAYMENT MAY BE STOPPED UNTIL THE PROPER INFORMATION HAS BEEN RECORDED AND SUBMITTED.
- 6. BEFORE THE DATE OF THE FINAL SITE OBSERVATION AND APPROVAL, THE CONTRACTOR SHALL DELIVER ONE SET (COPIES) OF REPRODUCIBLE RECORD DRAWING PLANS AND NOTES TO THE LANDSCAPE ARCHITECT. RECORD DRAWING INFORMATION SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMITTAL TO OWNER FOR FINAL PAYMENTS, INCLUDING RETENTIONS.
- OPERATIONS AND MAINTENANCE MANUALS. THE CONTRACTOR SHALL PREPARE AND DELIVER TO THE OWNER, OR HIS DESIGNATED REPRESENTATIVE WITHIN TEN (12) CALENDAR DAYS PRIOR TO COMPLETION OF CONSTRUCTION, A HARD COVER BINDER WITH THREE RINGS CONTAINING THE FOLLOWING INFORMATION: 1. INDEX SHEET STATING THE CONTRACTOR'S ADDRESS AND BUSINESS TELEPHONE NUMBER, LIST OF EQUIPMENT WITH NAME(S) AND ADDRESS(ES) OF LOCAL MANUFACTURER'S REPRESENTATIVE(S).
- 2. CATALOG AND PARTS SHEETS ON EVERY MATERIAL AND EQUIPMENT INSTALLED LINDER THIS CONTRACT.
- 3. COMPLETE OPERATING AND MAINTENANCE INSTRUCTION ON ALL MAJOR EQUIPMENT. INCLUDE INITIAL CONTROLLER SCHEDULE AND RECOMMENDED SCHEDULE AFTER ESTABLISHMENT PERIOD.
- 4. DEMONSTRATE TO AND PROVIDE THE OWNER'S MAINTENANCE PERSONNEL WITH INSTRUCTIONS FOR MAJOR EQUIPMENT AND SHOW EXIDENCE IN WRITING TO THE OWNER, OR HIS DESIGNATED REPRESENTATIVE AT THE CONCLUSION OF THE PROJECT THAT THIS SERVICE HAS BEEN RENDERED.

EXPLANATION OF DRAWINGS

1.04

- DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS AND SLEEVES WHICH MAY BE REQUIRED. THE CONTRACTOR SHALL CAREFULLY INVESTIGATE THE STRUCTURAL AND FINISHED CONDITIONS AFFECTING ALL OF THE WORK AND PLAN HIS WORK ACCORDINGLY, FURNISHING SUCH OFFSETS, FITTINGS AND SLEEVES AS MAY BE REQUIRED TO MEET SUCH CONDITIONS.
- THE DRAWINGS ARE GENERALLY DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. THE WORK SHALL BE INSTALLED IN SUCH A MANNER AS TO AVOID CONFLICTS BETWEEN IRRIGATION SYSTEMS, LANTING AND ARCHITECTURAL FEATURES. DEVIATIONS SHALL BE BROUGHT TO THE LANDSCAPE ARCHITECTS
- ALL WORK CALLED FOR A ON THE DRAWINGS BY NOTES OR DETAILS SHALL BE FURNISHED AND INSTALLED WHETHER OR NOT SPECIFICALLY MENTIONED IN THE SPECIFICATIONS.
- WREITER UN NUT SPECIFICALLY MENTIONED IN THE SPECIFICATIONS. THE CONTRACTOR SHALL NOT WILLEULY INSTALL THE RIRGATION SYSTEM AS SHOWN ON THE DRAWING WHEN IT IS OBVIOUS IN THE FILLD THAT OBSTRUCTIONS, GRADE DIFFERENCES OR DISCREPANCIES IN AREA DIMENSIONE SKITS THAT MIGHT NOT HAVE BEEN KNOWN IN ENKINERING. SILVEN DOSTRUCTIONS OF
- IE. IN THE OPINION OF THE LANDSCAPE ARCHITECT. THE LABOR EURNISHED BY THE CONTRACTOR IS IF, IN THE OPINION OF THE LANDSLAPE ARCHITELT, THE LABOR VORINGHED BY THE CONTRACTORS FOR UNSAFE, OR IF THE INCOMPTENT, UNSAFELD, OR UNBALBLE, HIS EQUIPMENT INADEQUARTS, TIMEROPER OR UNSAFE, OR IF THE CONTRACTOR SHALL FAIL TO CONTINUOUSLY AND DILIGENTLY EXECUTE THE CONSTRUCTION, THE LANDSCAPE ARCHITECT OR OWNER SHALL, IN WITTING, INSTRUCT THE CONTRACTOR TO REMOVE ALL SUCH CAUSES OF NONCOMPLIANCE AND THE CONTRACTOR SHALL PROMPTLY COMPLY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULL AND COMPLETE COVERAGE OF ALL IRRIGATION AREAS. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY NECESSARY ADJUSTMENTS AT NO ADDITIONAL COST TO THE OWNER. ANY REVISIONS TO THE IRRIGATION SYSTEM MUST BE SUBMITTED AND ANSWERED IN WRITTEN FORM. ALONG WITH ANY CHANGE IN CONTRACT PRICE. LAYOUT MAY BE MODIFIED. IF NECESSARY TO OBTAIN COVERAGE. SPACING NOT TO EXCEED 60% OF THE DIAMETER
- PART II: PRODUCTS A MATERIAL AND FOURPMENT SHALL RE SUPPLIED BY THE CONTRACTOR. NO SUBSTITUTIONS SHALL BE
- ALLOWED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE OWNER/LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL INSPECT ALL MATERIALS AND EQUIPMENT PRIOR TO INSTALLATION, AND DEFECTIV Continued and the replaced with the report and requirement when (10 No) fallation, AND DEFECTIVE MATERIALS SHALL BE REPLACED WITH THE PROPER MATERIALS AND EQUIPMENT. THOSE THE STEED SEED IN THE INSTALLATION FOUND TO BE DEFECTIVE, IMPROPERTY INSTALLED OR NOT AS SPECIFIED, SHALL BE REMOVED AND THE PROPER MATERIALS AND EQUIPMENT INSTALLED IN THE ROPER MANNER, AS INTERPRETED BY THE OWNER/LANDSCAPE RECHTECT. THE CONTRACTOR SHALL REMOVE ALL DAMAGED AND DEFECTIVE PIPE AND EQUIPMENT FROM THE STE. 2.02 PIPING
- A. GENERAL PROVISIONS: ALL MATERIALS THROUGHOUT THE SYSTEM SHALL BE NEW AND IN PERFECT CONDITION UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT.
- B. POLYVINYL CHLORIDE PIPE (PVC): (WHERE INDICATED ON PLAN, USE NON-POTABLE PURPLE PIPING.) 1. LATERALS: PVC SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D 2241, CLASS 1120 OR 1220. ALL LATERAL PIPING LESS THAN 3" IN DIAMETER SHALL BE CLASS 200 SDR-21.
- 2. MAIN LINE UNDER PRESSURE: PVC SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D 2241, CLASS 1120 OR 1220, SCHEDULE 40 WITH BELLED END FOR SOLVENT WELD CONNECTION.
- 3. PIPE MARKINGS: ALL PVC PIPE SHALL BEAR THE FOLLOWING MARKINGS:
- MANUFACTURER'S NAME
- b. NOMINAL PIPE SIZE
- SCHEDULE OR CLASS d PRESSURE RATING OF PSU
- e. NSF (NATIONAL SANITATION FOUNDATION) APPROVAL
- DATE OF EXTRUSION
- 2.03 PVC IOINTS
- JOINTS IN PVC PIPE SMALLER THAN 3" SHALL BE SOLVENT WELDED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PIPE MANUFACTURER; THE SOLVENT CLEANER AND WELDING CO FURNISHED WITH THE PIPE.

2.04 THREADED CONNECTIONS

- A. THREADED PVC CONNECTIONS SHALL BE MADE UP USING TEFLON TAPE ONLY. CONNECTION BETWEEN MAINLINE PIPE FITTINGS AND AUTOMATIC OR MANUAL CONTROL VALVES SHALL BI EDULE 80 THREADED EITTINGS AND NIPPLES
- 2.05 SOLVENT CEMENT GENERAL: PROVIDE SOLVENT CEMENT AND PRIMER FOR PVC SOLVENT WELD PIPE AND FITTINGS RECOMMENDED BY THE MANUFACTURER. PIPE JOINTS FOR SOLVENT WELD PIPE TO BE BELLED END. PIPE JOINTS FOR GASKETED PIPE TO BE INTRICAL RING TYPE. INSERT GASKETS WILL NOT BE ACCEPTED.
 - JUNIS TON GRACE LED IFJE TO BE INTINUE, ALING ITFE, INCENTIONAETS WILL NOT BE ALCEFTED. THRUST BLOCKS MAIN LINE PIPPING 3'O GREATER TO NOAMETER SHALL HAVE THRUST BLOCKS SIZED AND PLACED IN ACCORDANCE WITH THE PIPE MANUFACTURER'S RECOMMENDATIONS OR, IN THE ABSENCE OF SPECIFIED RECOMMENDATIONS BY THE PIPE MANUFACTURER. 3000 PSI CONCRETE THRUSTS SHALL BE PROPERLY INSTALLED AT TESS, ELBOWS, 45'S, CROSSES, REDUCERS, PLUGS, CAPS AND VALVES.
- 2.06 PIPE AND WIRE SLEEVES
- A. SLEEVES TO BE INSTALLED
- 1. THE CONTRACTOR SHALL INSTALL IRRIGATION SYSTEM PIPE AND WIRE SLEEVES CONFORMING TO THE
- a. ALL PIPE SLEEVES SHALL EXTEND A MINIMUM OF 36" BEYOND THE EDGES OF PAVEMENT ALL PIPE SLEEVES TO BE INSTALLED BENEATH FUTURE/EXISTING ROAD SURFACES SHALL BE PVC SCHEDULE 40 OR JACK AND BORE STEEL PIPE AS PER FDOT SPECIFICATIONS, AND AS SHOWN ON
- ALL IRRIGATION SYSTEM WIRES SHALL BE SLEEVED SEPARATELY FROM MAIN OR LATERAL LINES.
- d. ALL PIPE SLEEVES SHALL BE INSTALLED AT THE MINIMUM DEPTH SPECIFIED FOR MAIN LINES, LATERAL LINES, AND ELECTRIC WIRE.

CONTRACTOR SHALL COORDINATE ALL PIPE SLEEVE LOCATIONS AND DEPTHS PRIOR TO INITIATING STALLATION OF THE IRRIGATION SYSTEM. 2.09 AUTOMATIC CONTROL VALVE

3.09 CONTROL WIRE

3.12 MADDANITY

3.08

C.

- A. THE AUTOMATIC REMOTE CONTROL VALVES SHALL BE AS SPECIFIED ON THE PLANS, OR APPROVED EQUAL 2.10 GATE VALVES
- GATE VALVES FOR 3/4" THROUGH 2-1/2" SHALL BE OF BRASS OR BRONZE CONSTRUCTION, SOLID WEDGE, IPS THREADS. NON-RISING STEM WITH WHEEL OPERATING HANDLE. FOR A CONTINUOUS WORKING PRESSURE O
- GATE VALVES FOR 3" AND LARGER: IRON BODY, BRASS OR BRONZE MOUNTED AWWA GATE VALVES, WITH A CLEAR WATERWAY EQUAL TO THE FULL NOMINAL DIAMETER OF THE VALVE, RUBBER GASKET FOR A CONTINUOUS WORKING PRESSURE OF 150P PSI. VALVE SHALL BE EQUIPPED WITH A SQUARE OPERA TING NUT
- FOR GATE VALVES, USE AMETEK #10-181-014 BOX WITH #10-181-015 LOCKING LID, OR AS PER THE DRA
- FOR CONTROL VALVES 3/4" THROUGH 2", THE DRIP VALVE ASSEMBLIES, USE AMETEK #10-181-014 BOX WITH #10-181-015 LOCKING LID, OR SIZED AS NECESSARY TO EFFECTIVELY HOUSE THE EQUIPMENT FOR CONTROL WIRING SPLICES, USE AMETEK #10-181-014 BOX WITH #10-181-015 LOCKING LID, OR AS PER
- 2.12 IRRIGATION WIRING
 - WIRING USED FOR CONNECTING THE ELECTRIC CONTROL VALVES TO THE CONTROLI FRS SHALL BE TYPE UF. 600 SIGLE STRAND, SOLID COPPER WITH PVC INSULATION 4/64" THICK. SIZE SHALL BE 14 GAUGE, RED FOR 3.06 VALVES OR LEAD WIRES, AND COMMON WIRE TO BE 14 GAUGE, WHITE IN COLOR. CONTRACTOR SHALL PERFORM AN OHM TEST ON GROUND TO ASSURE ADEQUATE PROTECTION AGAINST SURGES AND INDIRECT LIGHTNING STRIKES.
- 2.13 MISCELLANEOUS MATERIALS
- DRAINAGE BACKFILL: CLEANED GRAVEL OR CRUSHED STONE, GRADED FROM 1" MAXIMUM TO 3/4" MINIMUM METALIZED UNDERGROUND TAPE: THE DETECTABLE. UNDERGROUND UTILITY MARKING TAPE SHALL CONSIST FA MINIMUM: 5 MIL (0.005") OVERALL THICKNESS; FIVE-PLY COMPOSITION; ULTRA-HIGH MOLECULAR VEIGHT, 100% VIRGIN POLYETHYLENE, ACID, ALKALINE AND CORROSION RESISTANT; WITH NO LESS THAN 150 WEIGHT, 100% VIRGIN POLYETHYLENE; ACID, ALKALINE AND CORROSION RESISTANT; WITH NO LESS THAN ISO POUNDS OF TENSILE BREAK STREAMF PER 6" WIDTH; CLODR-COBE MIREGNATE D WITH COLOR STABLE, LEAD-FREE, ORGANIC PIORMENTS SUITABLE FOR DIRECT BURIAL. TAPES UTILIZING REPROCESSED PLASTICS OR RESINS SHALL NOT BE ACCEFTABLE. THE DETECTABLE, UNDERGROUDU TUITI'N MARKING TAPE SHALL HAVE A 35 GAUGE (0.0035') SOLID ALUMINUM FOIL, CORE ENCAPSULATED WITHIN A 2.55 MIL (0.0025'') POLYETHYLENE BACKING AND A OS MIL (0.000' FTC OVER COATING. THE LAMINATE ON EACH SIDE SHALL CONSIST OF A.0.75 MIL (0.00075'') LAYER OF HOT LPDE, POLY-FUSING THE "SANDWICH" WITHOUT USE OF ADHESIVES. 3.07
- AUTOMATIC CONTROL SYSTEM 1. AN INDEPENDENT STATION CONTROLLER: FURNISH A SOLID STATE CONTROL FR. AS SPECIFIED ON THE
- ACH STATION SHALL BE CAPABLE OF TIMING FROM ZERO (0) MINUTE TO 99 MINUTES PER ON IN ONE (1) MINUTE INCREMENTS. EACH STATION SHALL BE CAPABLE OF OPERATING TWO (2) 7VA ELECTRIC VALVE-IN-HEAD
- THE STAND-ALONE CONTROLLER SHALL HAVE TWO (2) POSSIBLE PROGRAMS
- THE STAND-ALONE CONTROLLER SHALL PROVIDE GLOBAL PERCENTAGE INCREASE/DECREAS GET) FOR ALL STATIONS SIMULTANEOUSLY, FROM TEN (10) TO TWO HUNDRED (20 PERCENT, IN TEN (10) PERCENT INCREMENTS
- ALL STATIONS SHALL BE ABLE TO BE TURNED ON/OFF MANUALLY BUY OPERATING TIMING IECHANISM OR BY MANUAL SWITCH AT STATION OUTPUT THE STAND-ALONE CONTROLLER SHALL INCORPORATE AN INTEGRAL MOV SURGE PROTECTION
- AL BLOCK FOR EACH OF ITS 24 VAC FIELD WIRE OUTPUTS. CONTROLLER POWE NPUT WIRES WILL ALSO INCORPORATE SURGE PROTECTION.
- IN OF MINE WILL PROVIDE CONTINUOUS DISPLAY TIME. IT SHALL HAVE CAUPHANUMERIC DISPLAYS OF DESCRIPTIVE ENGLISH MENUS AND LEGEND IDENTIFIERS V SELECTION OF FUNCTION AND PRECISION VALUE ADJUSTMENT BY ROTARY DIAL INPUT. THE STAND-ALONE CONTROLLER SHALL BE ULLISTED AND FCC APPROVED.
- I. THE STAND-ALONE CONTROLLER SHALL HAVE 117 VAC. 60 HZ INPUT. 26.5 VAC. 60 HZ OUTPUT FOR OPERATING 24 VAC SOLENOIDS
- J.THE STAND-ALONE CONTROLLER CABINET SHALL BE A LOCKABLE AND WEATHER-RESISTANT OUTDOOR CABINET. MOUNT AS NOTED ON PLANS.
- THE CONTROLLER SHALL BE EQUIPPED WITH LIGHTENING PROTECTION, BY THE CONTRACTOR, ON 3.10 SPRINKLER HEADS A. GENERAL PROVISIONS
- BOTH THE PRIMARY (120V) AND EACH SECONDARY (24V) CIRCUIT. THE CONTROLLER CIRCUITS SHALL BE GROUNDED TO A COPPER CLAD GROUNDING ROD LOCATED AT EACH CONTROLLER. I. THE CONTROLLER SHALL BE EQUIPPED FOR A WATER CONSERVATION DEVICE. AS SPECIFIED
- PART III: EXECUTION
- 3.01 INSPECTION
 - A. THE CONTRACTOR SHALL EXAMINE THE AREAS AND CONDITIONS UNDER WHICH LANDSCAPE IRRIGATION THE CONTINGLION STATE CONTINUE THE AND SOLUTION TO THE AND SOLUTION WITHIN OF CONDITIONS SYSTEM IS TO BE INSTALLED AND NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OF CONDITIONS DETRIMENTAL TO THE PROPER AND TIMELY COMPLETION OF THE WORK. THE CONTRACTOR SHALL PROCEED WITH THE WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED IN A MANNER ACCEPTABLE TO THE LANDSCAPE ARCHITECT.
- 3.02 PREPARATION
- THE CONTRACTOR SHALL PROVIDE SLEEVES TO ACCOMMODATE PIPING LINDER WALKS OR PAVING T THE CONTRACTOR SHALL PROVIDE SLEEVES TO ACCOMMODATE PIPING UNDER WALKS OR PAVING. THE CONTRACTOR SHALL CORONIATE WITH OTHER TRADES AND INSTALL TO ACCURATE LEVELS PRIOR TO PAVING WORK. CUTTING AND PATCHING OF PAVING AND CONCRETE WILL NOT BE PERMITTED. THE CONTRACTOR SHALL MAINTAIN LA WARNING SGINGS, SHORING, BARICADES, FLARES AND RED LANTERNS, AS REQUIRED BY ANY LOCAL CODES, ORDINANCES OR PERMITS. 3.03 TRENCHING AND BACKFILLING

LATERAL PIPING (POP-LIP) 12" AT TOP OF PIPE FROM FINISH GRADE

A. PVC PIPE AND JOINTS: THE CONTRACTOR SHALL NOT INSTALL SOLVENT WILD PIPE WHEN AIR TEMPER. BELOW 400 F. INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS

3.04 INSTALLATION OF PIPING

3.05 BACKFILLING PROCEDURES

AND FINAL HEAD LOCATIONS

PRESSURE MAINLINE

CONTROL WIRING

LATERAL PIPING (ROTOR)

ALL CALLED AND BALAFILING ALL EXCAVATION: THE CONTRACTOR SHALL STAKE OUT THE LOCATION OF EACH RUN OF PIPE, SPRINKLER HEA SPRINKLEW ALVES AND ISOLATION VALVES PRIOR TO TRENCHING. EXCAVATION SHALL BE OPEN VERTICA CONSTRUCTION SUPPRICIENTLY WIDE TO PROVIDE FREE WORKING SPACE AROUND THE WORK INSTALLED A TO PROVIDE AMPLE SPACE OR BACKFILLING AND TAMPING. TERNICHSFOR PIPE PAILAL BE CUTTO REQUIR GRADE LINES, AND COMPACTED TO PROVIDE ACCURATE GRADE AND UNIFORM BEARING FOR THE FULL LENGTH OF THE LINE. THE BOTTOM OF THE TRENCHES SHALL BE FREE OF ROCK OR OTHER SHARP EDGED OBJECTS. MINIMUM COVER SHALL BE AS FOLLOWS: DIE ADM UNE FORTI-PIPE AND WIRE DEPTH

SIDE OF MAIN LINE

MINIMUM CLEARANCES: ALL PIPELINES SHALL HAVE A MINIMUM CLEARANCE OF SIX INCHES FROM EACH OTHER AND FROM LINES OF OTHER CRAFTS. PARALLEL LINES SHALL NOT BE INSTALLED DIRECTLY OVER ONE ANOTHER. NO LATERAL LINE SHALL BE INSTALLED IN THE MAIN-LINE TRENCH

1. ONLY THE SOLVENT RECOMMENDED BY THE PIPE MANUFACTURER SHALL BE USED. ALL PVC PIPE AND S SHALL BE INSTALLED AS OUTLINED AND INSTRUCTED BY THE PIPE MANUFACTURER. AND IT SHAL

BACKFILL ON PVC LINES SHALL BE PULVERIZED NATIVE SOIL, FREE OF FOREIGN MATTER. WITHIN RADI E PIPE SHALL BE CLEAN SOIL OR SAND. PLANT LOCATIONS SHALL TAKE PRECEDENCE OVER SPININCENT NONS. THE CONTRACTOR SHALL COORDINATE THE LOCATION OF TREES AND SHIRUBS WITH THE RIVEN A

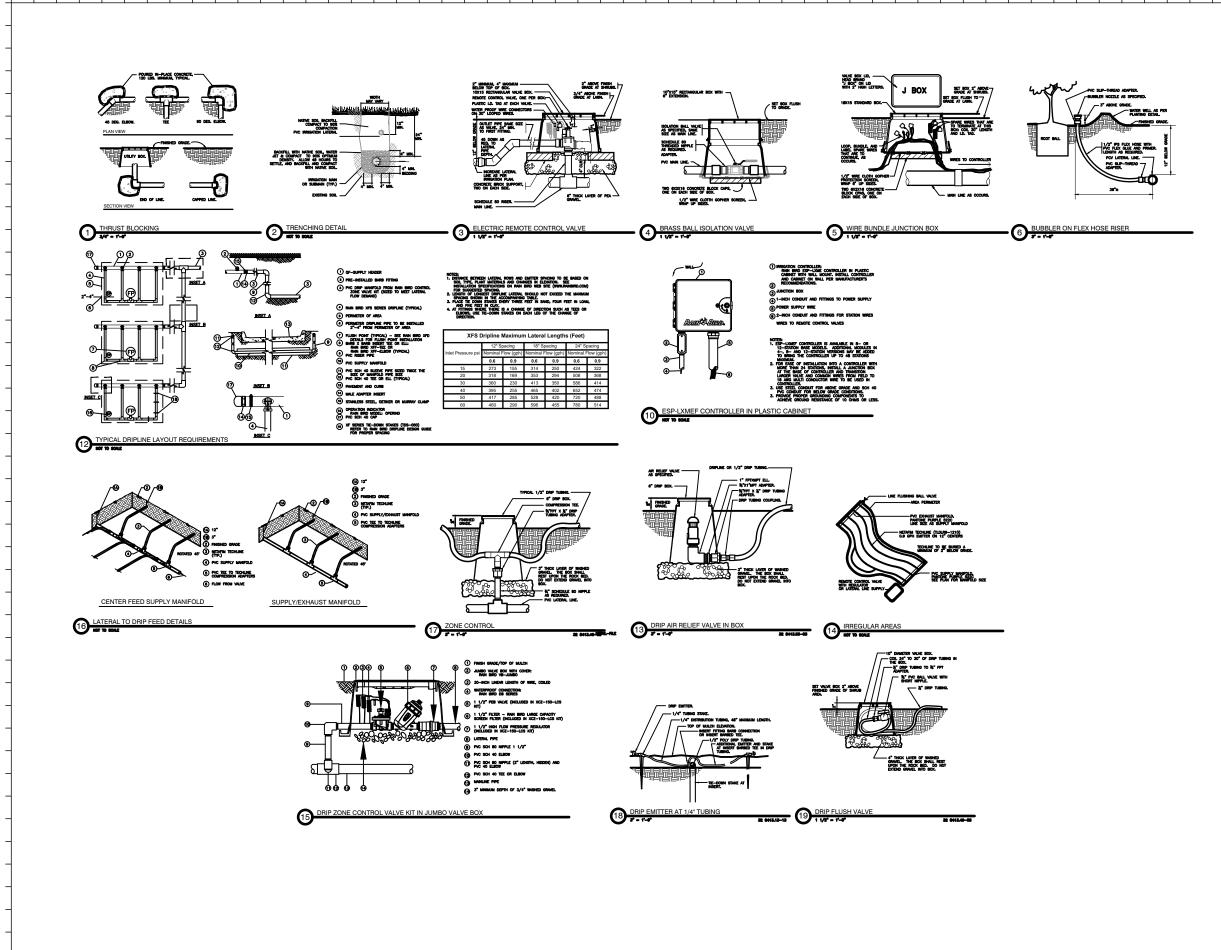
BACKFILL AND COMPACTION: THE CONTRACTOR SHALL LEAVE TRENCHES SLIGHTLY MOUNDED TO ALLOW FO SETTLEMENT AFTER THE BACKFILLING IS COMPLETED. THE CONTRACTOR SHALL CLEAN THE SITE OF THE WO CONTINUOUSLY OF EXCESS WASTE MATERIALS AS THE BACKFILLING PROGRESSES, AND LEAVE IN A NEAT

CONDITION. NO TRENCHES SHALL BE LEFT OPEN FOR A PERIOD OF MORE THAN 48 HOURS. PROTECT OPEN

BE THE CONTRACTOR'S FULL RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE PIPE MANUFACTURER FOR ANY FIELD ASSISTANCE THAT MAY BE NECESSARY. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THE CORRECT INSTALLATION.

18" AT TOP OF PIPE FROM FINISH GRADE 12" AT TOP OF PIPE FROM FINISH GRADE

		J L
	 THE CONTRACTOR SHALL CAREFULLY BACKFILL EXCAVATED MATERIALS APPROVED FOR BACKFILLING, CONSISTING OF EARTH, LOAM, SAND, AND OTHER APPROVED MATERIALS, FREE OF ROCK AND DEBRIS OVER 1° IN SIZE. BACKFILL SHALL BE COMPACTED TO ORIGINAL DENSITY OF SURROUNDING SOIL WITHOUT DIPS, SUNKEN AREAS, OR IRREGULARITIES. 	
	2. THE CONTRACTOR SHALL CONFORM TO DOT REQUIREMENTS FOR METHODS AND REQUIRED COMPACTION PERCENTAGES, FOR ROADS AND PAVING.	-
	3. THE CONTRACTOR SHALL HAND PLACE THE FIRST 6" OF BACKFILL (OR TO TOP OF PIPE) AND HAVE IT WALKED ON SO AS TO SECURE THE POSITION OF THE PIPE AND WIRE. 4. NO WHEEL ROLLING WILL BE ALLOWED. THE CONTRACTOR SHALL REMOVE ROCK OR DEBRIS EXTRACTED	-
В.	FROM BACKFILL MATERIALS AND DISPOSE OF OFFSTE. THE CONTRACTOR SHALL FILL ANY VOIDS LEFT IN BACKFILL WITH APPROVED BACKFILL MATERIALS. EXISTING LAWNS: WHERE TRINCHING IS REQUIRED ACROSS EXISTING LAWNS, UNIFORMLY CUT STRIPS OF SOD	_
	6° WIDER THAN TRENCH. THE CONTRACTOR SHALL REMOVE SOO IN ROLLS OF SUITABLE SIZE FOR HANDLING AND KEEP MOISTRED UNTIL REPURTIET. THE CONTRACTOR SHALL REPARAT SOO WITHIN 48 HOURS AFTER REMOVAL, ROLL AND WATER GENEROUSKY. THE CONTRACTOR SHALL RESOD ANY AREAS NOT IN HEALTHY CONDITION EQUIL TO ADDIOINING UWNS 10 DAYS FATER REPLANTING.	-
C.	SEEDED AREA. TRENCHING WILL BE REQUIRED ARROSS EXISTING SEEDED AREAS, PRIMARILY ROADWAY EDGING. THE CONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF SEEDING, SECTION 02930 FOR THE RESEDING OF THE DISTURBED TRENCH AREA.	-
	PAVEMENTS: JACK AND BORE OR DIRECTIONAL BORE PIPING UNDER PAVING MATERIALS AS PER LOCAL REGULATORY CODES. NO CUTTING AND PATCHING OF PAVEMENT WILL BE PERMITTED. VALVES	
Α.	ISOLATION VALVES: SHALL BE SIZED CORRESPONDING TO ADJACENT PIPE SIZE. SPECIFIED VALVE BOXES SHALL BE INSTALLED FLUSH WITH FINISH GRADE IN SUCH A MANNER THAT SURFACE FORCES APPLIED TO THEIR EVOYCED AREA WILL NOT BE TRANSMITTED TO THE PIPMIG IN WHICH THE VALVE IS INSTALLED NOR ANY OTHER PIPMIC, WIRING OR OTHER LINES IN THE VIGINITY OF SAID VALVES. GATE VALVES: INSTALL WHERE STORMS, IN VALUE BOXES.	Rev. Date Rev. Date 2 09-11-2023
c.	ELECTRIC CONTROL VALVES: SHALL BE INSTALLED IN SPECIFIED VALVE BOXES. THE VALVE SHALL HAVE 6" OF 3/4" PEA GRAVEL INSTALLED BELOW THE BOTTOM OF THE VALVE. IF THE VALVE BOX DOES NOT EXTEND TO THE BASE OF THE VALVE, A VALVE BOX EXTENSION SHALL BE INSTALLED. ELECTRIC CONTROL VALVES SHALL BE INSTALLED WHERE SHOWN AND GROUPED TOGETHER WHERE PRACTICAL. THE CONTRACTOR SHALL PLACE NO CLOSET THAN 4"TO VALXE EDES BIEWAYE EDES SUILDINGS AND WALLS. THE CONTRACTOR SHALL PLACE NO CLOSET THAN 4"TO VALXE EDES."	
07	ADJUST THE VALIVE TO PROVIDE FLOW RATE OR RATED OPERATING PRESSURE REQUIRED FOR EACH SPRINKLER CIRCUIT. CONDUIT AND SLEEVES	
	CONDUIT AND SLEEVES FOR CONTROL WIRING AND MAIN/LATERAL PIPE: THE CONTRACTOR SHALL PROVIDE AND INSTALL WHERE NECESSARY. CONTRACTOR SHALL COORDINATE LOCATIONS OF PREVIOUSLY INSTALLED SLEEVING WITH THE GENERAL SITE CONTRACTOR. 1 THE CONTRACTOR SHALL COORDINATE INSTALLATION OF SLEEVES WITH WORK OF OTHER DISCIPLINES.	-
08 A.	CONTROLS THE CONTRACTOR SHALL CONNECT ELECTRIC CONTROL VALVES TO CONTROLLERS IN A CLOCKWISE SEQUENCE TO CORRESPOND WITH STATION SETTINGS BEGINNING WITH STATIONS J, 2, 3, ETC. AUTOMATIC CONTROLLERS FAULUE REPONDED AND INSTALLE DB THE CONTRACTORS AS NOTED ON THE DRAWINGS. ALL	ALL DRAWINGS AGI NETTED MITTERIAL UPRANDU GERIN OXIGETTITE THE DREWA MAD UNRIAL DREW WINK OF NOB KREP AL, AD UAVI NOT EF CIRCL SATEL UIED, DR SIGLOBED WITTER DREESS WITTER CONSIST OF KOB KREP APAGHTECTURE & NITEROR DESIGN, INC. ALA (p. 218)
	ZONES WILL BE LABELED ON THE CONTROLLER. CONTROLLERS SHALL BE EQUIPPED WITH LIGHTING PROTECTION AND GROUNDED TO A STANDARD 5/8" COPPER CLAD STEEL GROUND ROD DRIVEN A MINIMUM OF 8' INTO THE GROUND AND CLAMPED. THE ELECTRICAL SERVICE TO THE CONTROLLERS SHALL BE PERFORMED BY AN ELECTRICAL SUBCONTRACTOR IN	_ HPB
	COMPLANCE WITH NEC REQUIREMENTS. CONTROL WIRE CONTROL WINES BETWEEN THE CONTROLLER AND ELECTRIC VALVES SHALL BE BURIED IN MAIN LINE	2335
в.	TRENCHES OR IN SEPARATE TRENCHES. ELECTRICAL CONNECTION AT VALVE WILL ALLOW FOR PIGTALL SO SOLENDIG CAR BE REMOVED FROM VALVE WITH SHEFTICENT SALKET ACTALLOW ENDS TO BE PULLED 12" ABOVE GROUND FOR EXAMINATION AND CLEANING. AN EXPANSION LOOP SHALL BE FRONVEDE AT TEVERY VALVE AT 100" O.C. EXPANSION LOOP SHALL BE FORMED	-
	ANY CAPTAGRIAN LOUP STALL BE PROVIDED AT EVENT YALE AT LOU OLC. EXPERISION LOUP STALL BE FORMED BY WRAPPING WITH RET LEAST EIGHT TIMES AROUND A 3/4" PIER AN UTTORAWING PIER THE WIRE SHALL BE SUNDLED AND TAPED EVENT TIM FEET. THE WIRE SHALL BE LUID IN THE TRENCH PRIOR TO INSTALLING THE VIPPE BEING CAREFUL TO INSTALL WIRE BENATH AND FOT TO THE SIDE OF THE MAIN PIPE LING.	- LE ROYALE 1601 WASHINGTON AVE
D.	ELECTECIAL CONNECTIONS TO ELECTRIC CONTROL VALVES SHALL BE MADE WITH RAINBIRD PEN-TITE OR TECHDEL GT-3-GEL - TITE CONNECTORS OR EQUAL . POWER CONNECTIONS: ELECTRICAL CONNECTIONS TO POWER AND SIGNAL WIRES SHALL BE	— MIAMI BEACH, FL 33139 —
	MADE USING 3M 82-A2 POWER CABLE SPLICE KITS. SPRINKLER HEADS GENERAL PROVISIONS:	
	1. SPRINKLER HEADS SHALL BE INSTALLED AS DESIGNATED ON THE SHOP DRAWINGS. HEADS SHALL BE INSTALLED ON FLEXIBLE PVC. TOP TO BE FLUSH WITH FINISH GRADE OR TOP OF CURB. 2. SPRANG OF HEADS SHALL NOT EXCEED THE MAXIMUM INDICATED ON THE SHOP DRAWINGS (UNLESS	
	DIRECTED BY THE LANDSCAPE ARCHITECT). IN NO CASE SHALL THE SPACING EXCEED THE MAXIMUM RECOMMENDED BY THE MANUFACTURER. HEAD TYPES: 1. POP-UP- ROTARY SPRINKLER HEADS: SHALL BE INSTALLED ON FLEX JOINT AND BE SET WITH TOP OF HEAD	Owner Name NG 1601 WASHINGTON LLC Address 1430 BROADWAY, 7TH FLOOR Address NEW YORK, NY 10018
	FLUSH WITH FINSH GRADE. HEADS INSTALLED AT CURB SHALL HAVE 6" TO 10" BETWEEN PERIMETER OF HEAD AND CONCERTE. HEADS PLACED AT EDGE OF PAVEMENT HAVING NO CURB SHALL BE INSTALLED 24" FROM EDGE OF PAVEMENT. 2. SPRAT YOP-UP SPRINKER HEADS SHALL BE INSTALLED ON FLEXIBLE PVC AND BE SET WITH TOP OF HEAD FLUSH WITH FINISHE GRADE. STRUKER HEADS PLACED ADJACENT TO CURBS WILL BE INSTALLED 9" FROM	Tel: - Email - Landscape Architecture Name Kimley-Horn
	CONCRETE. SPRINKLER HEADS PLACED ADJACENT TO PAVEMENT HAVING NO CURB SHALL BE INSTALLED 24" FROM THE EDGE OF PAVEMENT. COMPLETION FLUSHING: BEFORE SPRINKLER HEADS ARE SET, THE CONTRACTOR SHALL FLUSH THE LINES THOROUGHLY TO	Address 2 Alhambra Plaza, Suite 500 Address Coral Gables, FL 33134 – Tel: 305 673 2025
	NAKE SURE THERE IS NO FOREIGN MATTER IN THE LINES. 1. THE CONTRACTOR SHALL RUSH THE MAIN LINES FROM DEAD END FITTINGS FOR A MINIMUM OF FIVE MINUTES UNDER A FULL HEAD OF PRESSURE.	- Consultant: Name
	TESTING: THE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT AND OWNER FORTY-EIGHT (48) HOURS IN ADVANCE OF TESTING. 1. PRIOR TO BACKFILLING OF MAIN LINE FITTINGS, CONTRACTOR SHALL FILL THE MAIN LINE PIPING WITH	Address Address Tel: Email
	WATER, IN THE PRESENCE OF THE OWNER/LANDSCAPE ARCHITECT, TAKING CARE TO PURGE THE AIR FROM IT BY OPERATING ALL THE SPRINKLER CONTROL VALVES ONE OR MORE TIMES AND/OR SUCH OTHER MEANS AS MAY BE NECESSARY. A SMALL, HIGH PRESSURE PUMP OR OTHER MEANS OF MAINTAINING A CONTINUOUS WATER SUPPLY SHALL BE CONNECTED TO THE MAIN LINE AND SET SO AS TO MAINTAIN 100 PS IN THE MAIN LINE SYSTEM FOR TWO (2) HOURS WITHOUT INTERPITION. WHEN THIS HAS BEEN	 Consultant: Name Address
	ACCOMPUSHED AND WHILE THE PRESSURE IN THE SYSTEM IS STILL 100 PSI, LEXAGE TESTING SHALL BE PERFORMED IN ACCORDANCE WITH AWWA STANDARD C-600. PRESSURE READINGS SHALL BE NOTED AND MARE UP WATER USAGE SHALL BE RECORDED. SHOULD THE RATE OF MAKE UP WATER USAGE INDICATE SIGNIFICANT LEXAGE, THE SOURCE OF SUCH LEXAGE SHALL BE FOUND AND CORRECTED AND THE SYSTEM INTEN RETERSTUDINT THE OWNER/JANDSCAFE ARCHITELT IS SATERIED THAT THE SYSTEM IS READONABLY	Address Tel: Email
		Architect: Kobi Karp Architecture and Interior Design, Inc. 571 NW 28th Street Miami, Florida 33127 USA
	2. Solo Single Transformed Solo Solo Solo Solo Solo Solo Solo Sol	Kobi Karp Architecture and Interior Design, Inc. 571 NW 28B Street Miami, Florida 33127 USA Teit: +1(305) 573 3176 Fax: +1(305) 573 3766
	STATUS ADJUSTICE VALUES AND THE UNIT STOLES AND	
A.	SYSTEM IS MOST EFFICIENT. THIS INCLUDES A SYNCHRONIZATION OF THE CONTROLLERS, ADJUSTMENTS TO PRESSURE REQUILATORS, PRESSURE REGUINATION ADJUSTMENTS TO THE CONTRACTOR SHALL FULLY WARRANT THE LANDSCAPE IRRIGATION SYSTEM FOR A PERIOD OF ONE (1) YEAR AFTER THE WRITTEN FINAL ACCEPTANCE AND WILL RECEIVE A WRITTEN CONFIRMATION FROM THE LANDSCAPE ARCHITECT THAT THE WARRANTY PERIOD IS IN EFFECT. DURING THE WARRANTY PERIOD IS IN ULL ENFORCE ALL MANUFACTURER'S AND SUPPLIER'S	8 k H E K No LA6667525 k E E K K K K K K K K K K K K K K K K K
	WARRANTES AS IF MADE BY THE CONTRACTOR HIMSELF. ANY MALFUNCTIONS, DEFICIENCES, BREAKS, DAMAGES, DISREPAR, OR OTHER DISORDER DUE TO MATERIALS, WORKMANSHIP, OR INSTALLATION BY THE CONTRACTOR AND HIS SUPPLIES SHALL BE IMMEDIATELY AND PROFERILY CORRECTED TO THE PROFER ORDER	State Widdeward Widd
	AS DIRECTED BY THE OWNER AND/OR LANDSCAPE ARCHITECT.	IKRIGATION NOTES AND IKRIGATION SPECIFICATIONS
		_ Date 09-11-2023 Sheet No.
		Project 2335



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1601 WASHINGTON AVE MIAMI BEACH, FL 33139

Owner Name NG 1601 WASHINGTON LLC Address 1430 BROADWAY, 7TH FLOOR Address NEW YORK, NY 10018 Tel: Email -Landscape Architecture Name Kimley-Horn Address 2 Alhambra Plaza, Suite 500 Address Coral Gables, FL 33134 Tel: 305 673 2025 Email gregory.gonzalez@kimley-horn.com

Consultan Name Address Address Tel: Email

Consultant: Name Address Address Tel: Email

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DOCUMENT WAS KANDER GONZALEZ ACENT TO THE SEAI

ARING ON GREGORY THE DATE

HUCRIZED BY

THIS ITTEM HAS BEEN DIGITALLY SIGNED AND SEA BY GRECORY ALEXANDER CONZALEZ, P.L.A. LA600752, ON DATE ADJACENT TO SEAL PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERHEED ON ANY ELECTRON COPIES. THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ORECOPY ALEXANDER GOVALAEZ LA6657555 ON THE DATE ADJACENT TO THE SEAL

SEAL

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IRRIGATION DETAILS

Date	09-11-2023	Sheet No.
Scale	AS SHOWN	IR-451
Project	2335	