

APARTMENT

Owner A.L. Sammons

Permit No. 234

\$300.00

Lot 11 Block 9 Subdivision C.B.

No. 109 Street Washington

Date June 21, 1929

General Contractor

1108

Address

Front Depth

Height

Stories

Use

Type of construction

Foundation

Roof

Plumbing Contractor

Address

Date

No. fixtures

Rough approved by

Date

Plumbing Contractor

Address

Date

No. fixtures set

Final approved by

Date

Sewer connection

Septic tank

Make

Date

Electrical Contractor

Geo. L. Martin

Address

Fulford

Date Jan. 19, 1925

No. outlets 1 sign. Heaters

Stoves

Motors

Fans

Temporary service

Rough approved by

Date

Electrical Contractor

Address

Date

No. fixtures set

Final approved by

Date

Alterations or repairs # 27604 Addition of one story only- 1 apartment & 1 hotel room- Martin Hauri, arch: Diez Construction Co, contractor: Spread footing 12x24- ---= 4 5/8 #- #2 CBS - \$ 7,000: June 21, 1948

- * Plumbing #16271- C.J. Dulbs- reset 1 water closet - 1 lavatory - 1 shower - Nov. 24, 1941
- PLUMBING PERMIT # 27057 Harry Markowitz: 1 sewer, 2 water closets, 2 lavatories, 1 shower, 1 sink 1 gas range- August 6, 1948 -- GAS -- OK -- T.A. O'Neill 10/19, 1949
- PLUMBING PERMIT # 28804 Harry Markowitz: 1 Gas Range, October 4, 1949
- Electrical # 27176 Astor Electric: 9 switch outlets, 8 light outlets, 11 receptacles, 1 refrigerator outlet, 1 iron outlet, 1 space heater(bath), 2 centers of distribution, 1 meter change - Sept. 10, 1948
- PLUMBING # 31651 Harry Markowitz: 1 Sink - 5/14/1951 Rough Ok 5/16 LR - Final 6/19/51 L.R.
- # 31668 Harry Markowitz: 1 Gas range, 5/15/51 Rough Ok 5/16 LR SEE OTHER SIDE*****

BUILDING PERMIT # 35823 Remodeling: Making 2 rooms into apartment (500 sq ft) Owner builds: \$250.00 5/10/1951

41234 Roofing: Robbins Roofing & Sheet Metal Co:

\$200: Apr 21, 1951

#52657 Fred Arnold: Provide 2nd exit concrete stairs outside of bldg on So. side-\$500-2/13/57

#78604 Palmer's Roofing Co., Inc.: Reroof - 26 squares - \$962 - 7/19/67

#01294 - Orkin Exterminating Co.: - nylon tent fumigation - \$435.00 - June 21, 1972

#70049-Ocean Electric- 1 Service Repair-10-11-72

#28459 5/9/86 owner paint exterior white only \$1,500.

#28469 5/12/86 owner repair roof 5 sqs use alley only \$200.

PLUMBING PERMIT # 31965 Harry Markowitz: 1 lavatory - July 10, 1951-Rough - 7/11/51 Final 7/17/51 LR

ELECTRIC PERMIT #69730- Ocean Electric- 1 service 225 amp-6-8-72

PERMIT #	COMP_TYPE	SUB_TYPE	APPLIED	APPROVED	EXPIRED
BCC03135	BCCOMP	TEMP	27-Jan-03	27-Jan-03	17-Sep-04
BCC14164	BCCOMP	COMPLETE	07-Jul-14	18-Jul-14	
BCC13195	BCCOMP	COMPLETE	06-Sep-13	09-Sep-13	
BCC12034	BCCOMP	TEMP	02-Dec-11	05-Dec-11	03-Feb-12
BCC03307	BCCOMP	TEMP	10-Jul-03		
BCC11136	BCCOMP	COMPLETE	30-Sep-11	07-Dec-11	
BCC14165	BCCOMP	TEMP	07-Jul-14	07-Jul-14	05-Sep-14
BCO04387	BCOCC	COMPLETE	13-Aug-04	25-Aug-04	
BCO07110	BCOCC	COMPLETE	15-Mar-07	21-Mar-07	
BCO12072	BCOCC	COMPLETE	21-Dec-11	11-Jan-12	
BCO03322	BCOCC	COMPLETE	12-Aug-03	27-Aug-03	
BCO04333	BCOCC	COMPLETE	25-Jun-04	04-Aug-04	
BCO04409	BCOCC	COMPLETE	31-Aug-04	07-Sep-04	
BCO08006	BCOCC	COMPLETE	03-Oct-07	27-Nov-07	
BCO02179	BCOCC	TEMP	17-Apr-02	27-Jan-03	24-Oct-04
BCO03335	BCOCC	COMPLETE	22-Aug-03	25-Aug-03	
BCO04385	BCOCC	COMPLETE	13-Aug-04	20-Aug-04	
BCO06238	BCOCC	COMPLETE	24-Jul-06	27-Jul-06	
BCO09057	BCOCC	COMPLETE	02-Dec-08	22-Dec-08	
BCO13291	BCOCC	COMPLETE	05-Sep-13		
BCO03302	BCOCC	TEMP	10-Jul-03	22-Jul-03	18-Oct-04
BCO04144	BCOCC	TEMP	20-Jan-04	04-Mar-04	01-Sep-04
BCO04386	BCOCC	COMPLETE	13-Aug-04	25-Aug-04	
BCO06250	BCOCC	COMPLETE	08-Aug-06	10-Aug-06	
BCO09081	BCOCC	COMPLETE	26-Dec-08	26-Dec-08	
BCO03320	BCOCC	TEMP	07-Aug-03		
BCO16044	BCOCC	COMPLETE	21-Oct-15	21-Oct-15	
BC920415	BCOMPL	OTH	16-Jul-92	16-Jul-92	
BC910466	BCOMPL	OTH	12-Sep-91	12-Sep-91	
BC910365	BCOMPL	OTH	08-Jul-91	08-Jul-91	07-Aug-91
BC910197	BCOMPL	OTH	21-Mar-91	21-Mar-91	25-Apr-91
BCU1200141	BCU	PRIMARY	10-Nov-11		
BCU1300876	BCU	PRIMARY	30-Jul-13	28-Aug-13	
BCU1301035	BCU	PRIMARY	24-Sep-13	27-Sep-13	
BCU1400350	BCU	PRIMARY	12-Feb-14	12-Feb-14	
BCU1500032	BCU	ADDITION	08-Oct-14	18-Dec-14	
BCU1100170	BCU	PRIMARY	15-Nov-10	07-Dec-10	
BCU1400993	BCU	PRIMARY	22-Sep-14	25-Sep-14	
BCU1500547	BCU	PRIMARY	31-Mar-15	31-Mar-15	
BCU1001093	BCU	ADDITION	21-Sep-10	28-Oct-10	
BCU1100365	BCU	PRIMARY	24-Jan-11	31-Jan-11	
BCU1200142	BCU	PRIMARY	10-Nov-11	10-Nov-11	
BCU1300891	BCU	PRIMARY	06-Aug-13	29-Aug-13	

BCU1400136	BCU	PRIMARY	14-Nov-13	05-Dec-13	
BCU1400441	BCU	PRIMARY	27-Mar-14	21-Apr-14	
BCU1001125	BCU	PRIMARY	29-Sep-10	28-Oct-10	
BCU1500020	BCU	PRIMARY	06-Oct-14	13-Oct-14	
BCU1500765	BCU	PRIMARY	22-Jun-15	18-Sep-15	
BCU1200410	BCU	PRIMARY	15-Feb-12	16-Feb-12	
BCU1300901	BCU	PRIMARY	12-Aug-13	28-Aug-13	
BCU1400307	BCU	PRIMARY	29-Jan-14	27-Feb-14	
BCU1100068	BCU	PRIMARY	18-Oct-10	19-Nov-10	
BCU1500022	BCU	PRIMARY	07-Oct-14	13-Oct-14	
BCU1500991	BCU	PRIMARY	22-Sep-15	06-Oct-15	
BCU1200139	BCU	PRIMARY	10-Nov-11	19-Jan-12	10-Nov-11
BCU1300114	BCU	PRIMARY	09-Nov-12	09-Nov-12	
BCU1300902	BCU	PRIMARY	12-Aug-13	14-Oct-13	
BCU1400343	BCU	PRIMARY	07-Feb-14	10-Feb-14	
BD920019	BDEMO	OTH	29-Jul-92	01-Sep-92	28-Feb-93
BD150099	BDEMOPRJ	PARTIAL	23-Jan-15	03-Mar-15	01-Dec-15
BD140079	BDEMOPRJ	PARTIAL	03-Dec-13	09-Jan-14	09-Oct-14
BD130130	BDEMOPRJ	PARTIAL	21-Feb-13	28-Feb-13	27-Feb-14
BE031733	BELEC	LOWVOLT	15-May-03	15-May-03	17-Jan-04
BE031870	BELEC	LOWVOLT	03-Jun-03	03-Jun-03	09-Feb-04
BE032292	BELEC	LOWVOLT	22-Jul-03	22-Jul-03	01-Feb-04
BE041066	BELEC	ALTRMDL	06-Feb-04	06-Feb-04	28-Feb-05
BE082625	BELEC	ALTRMDL	11-Aug-08	11-Aug-08	17-Jun-09
BE120753	BELEC	LOWVOLT	22-Dec-11	22-Dec-11	31-Jul-12
BE011685	BELEC		07-Jun-01	07-Jun-01	29-Oct-03
BE041433	BELEC	ALTRMDL	30-Mar-04	30-Mar-04	09-Feb-05
BE062062	BELEC	ALTRMDL	09-May-06	09-May-06	05-Dec-06
BE070036	BELEC	ALTRMDL	09-Oct-06	09-Oct-06	30-Jul-07
BE001811	BELEC		25-Jul-00	26-Jul-00	29-Oct-03
BE090132	BELEC	LOWVOLT	15-Oct-08	15-Oct-08	17-Jun-09
BE090947	BELEC	SIGNAGE	28-Jan-09	28-Jan-09	23-Jan-10
BE020775	BELEC	FALARM	16-Jan-02		
BE070448	BELEC	LOWVOLT	16-Nov-06	22-Nov-06	23-Jul-07
BE112022	BELEC	LOWVOLT	27-May-11	27-May-11	23-Nov-11
BE031778	BELEC	FALARM	21-May-03	22-May-03	17-Jan-04
BE031874	BELEC	ALTRMDL	03-Jun-03	04-Jun-03	01-Feb-04

BE032507	BELEC	ALTRMDL	18-Aug-03	19-Aug-03	27-Oct-04
BE012344	BELEC		29-Aug-01	29-Aug-01	03-Nov-02
BE041690	BELEC	ALTRMDL	30-Apr-04	30-Apr-04	28-Feb-05
BE062416	BELEC	LOWVOLT	19-Jun-06	19-Jun-06	04-Feb-07
BE070075	BELEC	ALTRMDL	12-Oct-06	12-Oct-06	30-Mar-08
BE082946	BELEC	LOWVOLT	10-Sep-08	10-Sep-08	17-Jun-09
BE121582	BELEC	SIGNAGE	21-Mar-12	27-Mar-12	04-Jul-13
BE060587	BELEC	ALTRMDL	05-Dec-05	05-Dec-05	20-Jan-07
BE090221	BELEC	LOWVOLT	24-Oct-08	24-Oct-08	17-Jun-09
BE130131	BELEC	LOWVOLT	12-Oct-12	01-Nov-12	30-Apr-13
BE020826	BELEC	FALARM	23-Jan-02	23-Jan-02	29-Oct-03
BE112493	BELEC	LOWVOLT	20-Jul-11	20-Jul-11	25-Mar-12
BE031787	BELEC	ALTRMDL	22-May-03	22-May-03	09-Feb-04
BE031883	BELEC	FALARM	04-Jun-03	04-Jun-03	09-Feb-04
BE040614	BELEC	SRVCS	05-Dec-03	05-Dec-03	27-Oct-04
BE112920	BELEC	SRVCS	01-Sep-11	01-Sep-11	21-Mar-12
BE121612	BELEC	LOWVOLT	23-Mar-12	26-Mar-12	22-Sep-12
BE010520	BELEC		18-Dec-00	18-Dec-00	29-Oct-03
BE020031	BELEC	NCONST	02-Oct-01	05-Oct-01	29-Oct-03
BE041750	BELEC	ALTRMDL	06-May-04	06-May-04	09-Feb-05
BE062454	BELEC	SRVCS	23-Jun-06	23-Jun-06	20-Jan-07
BE082998	BELEC	LOWVOLT	17-Sep-08	17-Sep-08	17-Jun-09
BE090421	BELEC	SRVCS	18-Nov-08	18-Nov-08	17-Jun-09
BE022392	BELEC	SIGNAGE	16-Aug-02	16-Aug-02	12-Feb-03
BE072493	BELEC	SRVCS	05-Jul-07	05-Jul-07	30-Mar-08
BE011370	BELEC		24-Apr-01	25-Apr-01	09-Feb-03
BE041245	BELEC	LOWVOLT	01-Mar-04	01-Mar-04	28-Feb-05
BE061601	BELEC	ALTRMDL	20-Mar-06	20-Mar-06	04-Feb-07
BE062590	BELEC	LOWVOLT	07-Jul-06	07-Jul-06	20-Jan-07
BE031414	BELEC	NCONST	03-Apr-03	03-Apr-03	17-Jan-04
BE031863	BELEC	SRVCS	02-Jun-03		
BE032247	BELEC	FALARM	17-Jul-03	18-Jul-03	01-Feb-04
BE040952	BELEC	LOWVOLT	26-Jan-04	26-Jan-04	27-Oct-04
BE070351	BELEC	SRVCS	13-Nov-06	13-Nov-06	30-Jul-07
BE111079	BELEC	LOWVOLT	08-Feb-11	18-Feb-11	17-Aug-11
BE112335	BELEC	LOWVOLT	05-Jul-11		
BE001158	BELEC		06-Apr-00	06-Apr-00	16-Jul-02
BE090928	BELEC	SIGNAGE	27-Jan-09		
BE161569	BELEC	SRVCS	01-Apr-16	01-Apr-16	04-Oct-16
BL011902	BELEV	ELEV	01-Oct-15	17-Jul-15	30-Sep-16
BL011901	BELEV	ELEV	01-Oct-15	17-Jul-15	30-Sep-16
BM090053	BMECH	FSUPPRES	16-Oct-08	16-Oct-08	17-Jun-09
BM030944	BMECH	A/C	05-Jun-03	05-Jun-03	01-Feb-04
BM010578	BMECH		23-Mar-01	23-Mar-01	29-Oct-03
BM071233	BMECH	A/C	24-Jul-07	24-Jul-07	30-Mar-08
BM040408	BMECH	A/C	13-Jan-04	13-Jan-04	28-Feb-05

BM060349	BMECH	A/C	28-Dec-05	28-Dec-05	20-Jan-07
BM010992	BMECH		10-Aug-01	10-Aug-01	09-Sep-02
BM030990	BMECH	A/C	18-Jun-03	18-Jun-03	09-Feb-04
BM040855	BMECH	A/C	21-Apr-04	21-Apr-04	18-Oct-04
BM090052	BMECH	HOOD	16-Oct-08	24-Oct-08	17-Jun-09
BM030711	BMECH	A/C	15-Apr-03	15-Apr-03	17-Jan-04
BM010577	BMECH		23-Mar-01	23-Mar-01	29-Oct-03
BM061385	BMECH	A/C	21-Sep-06	21-Sep-06	30-Jul-07
BM040041	BMECH	A/C	09-Oct-03	09-Oct-03	27-Oct-04
BM011003	BMECH		15-Aug-01	15-Aug-01	29-Oct-03
BM110393	BMECH	A/C	13-Jan-11		
BM000884	BMECH		07-Jul-00	07-Jul-00	29-Oct-03
BM060811	BMECH	A/C	28-Apr-06	28-Apr-06	04-Feb-07
BM081385	BMECH	A/C	22-Sep-08	22-Sep-08	17-Jun-09
BM040864	BMECH	A/C	22-Apr-04	22-Apr-04	09-Feb-05
BMS0802599	BMISC	REVISE	24-Jul-08	18-Aug-08	14-Feb-09
BMS0900723	BMISC	OCCLOAD	04-Dec-08	17-Dec-08	15-Jun-09
BMS0900826	BMISC	REVISE	12-Dec-08	12-Dec-08	10-Jun-09
BMS0003136	BMISC		27-Jul-00		
BMS0302276	BMISC		14-Apr-03		
BMS0304080	BMISC		04-Sep-03	04-Sep-03	
BMS1500881	BMISC	DOC HIST	14-Jan-15		
BMS0102042	BMISC		10-Apr-01	20-Jul-04	
BMS1401448	BMISC	DOC HIST	26-Mar-14		
BMS0000596	BMISC		06-Dec-99	06-Dec-99	
BMS0201656	BMISC		14-Mar-02	14-Mar-02	
BMS0403517	BMISC	DOC HIST	24-Jun-04		
BMS0803234	BMISC	REVISE	29-Sep-08	01-Dec-08	30-May-09
BMS0900786	BMISC	REVISE	10-Dec-08	10-Dec-08	08-Jun-09
BMS1203652	BMISC	DOC HIST	25-Sep-12		
BMS0104109	BMISC		26-Sep-01	26-Sep-01	
BMS0201857	BMISC		01-Apr-02	02-Aug-04	
BMS0403792	BMISC	REVISE	14-Jul-04	16-Jul-04	12-Jan-05
BMS0003342	BMISC		15-Aug-00	25-Sep-00	
BMS0302450	BMISC		29-Apr-03	02-May-03	
BMS0604880	BMISC	REVISE	20-Sep-06	06-Oct-06	04-Apr-07
BMS1501733	BMISC	DOC HIST	16-Apr-15		
BMS0400375	BMISC	REVISE	03-Nov-03	03-Nov-03	01-May-04
BMS30048	BMISC	OTH	09-Oct-92	09-Oct-92	
BMS0802472	BMISC	REVISE	11-Jul-08	26-Aug-08	22-Feb-09

BMS0900501	BMISC	REVISE	13-Nov-08	17-Nov-08	16-May-09
BMS0900794	BMISC	REVISE	10-Dec-08	10-Dec-08	08-Jun-09
BMS1301239	BMISC	DOC HIST	30-Jan-13	30-Jan-13	29-Jul-13
BMS0201134	BMISC		29-Jan-02	07-Mar-02	
BMS0201966	BMISC		10-Apr-02	10-Apr-02	
BMS1202463	BMISC	DOC HIST	30-May-12		
BMS0003088	BMISC		24-Jul-00	27-Jul-00	
BMS0301589	BMISC		14-Feb-03	14-Feb-03	
BMS0303686	BMISC		06-Aug-03	06-Aug-03	
BMS0702166	BMISC	REVISE	15-Mar-07	16-Mar-07	12-Sep-07
BMS80686	BMISC	OTH	17-Feb-98	17-Feb-98	
BMS0101536	BMISC		01-Mar-01	15-Jul-04	
BMS0703747	BMISC	REVISE	10-Sep-07	11-Sep-07	09-Mar-08
BMS0200228	BMISC		23-Oct-01	23-Oct-01	
BMS0201945	BMISC		09-Apr-02	09-Apr-02	
BMS0603231	BMISC	REVISE	23-May-06		
BMS0900475	BMISC	REVISE	10-Nov-08	12-Nov-08	11-May-09
BMS0900787	BMISC	REVISE	10-Dec-08	10-Dec-08	08-Jun-09
BMS1300833	BMISC	DOC HIST	13-Dec-12		
BMS0101222	BMISC		01-Feb-01	08-Feb-01	
BMS0702579	BMISC	DOC HIST	19-Apr-07		
BMS0100210	BMISC		25-Oct-00	20-Jul-04	
BMS0303497	BMISC		22-Jul-03	25-Jul-03	
BMS0701071	BMISC	DOC HIST	09-Jan-07		
BMS1501747	BMISC	DOC HIST	17-Apr-15		
BP031443	BPLUM	RGH_SETS	06-Jun-03	06-Jun-03	01-Feb-04
BP040875	BPLUM	ALTRMDL	07-Apr-04	07-Apr-04	09-Feb-05
BP060314	BPLUM	ALTRMDL	15-Dec-05	15-Dec-05	20-Jan-07
BP031080	BPLUM	RGH_SETS	04-Apr-03	04-Apr-03	17-Jan-04
BP001125	BPLUM		28-Jun-00	28-Jun-00	29-Oct-03
BP010670	BPLUM		06-Mar-01	06-Mar-01	29-Oct-03
BP060921	BPLUM	ALTRMDL	03-Apr-06	03-Apr-06	04-Feb-07
BP031595	BPLUM	FPROJECT	01-Jul-03	01-Jul-03	01-Feb-04
BP001156	BPLUM		08-Jul-00	08-Jul-00	29-Oct-03
BP011179	BPLUM		28-Jun-01	28-Jun-01	30-Sep-02
BP031132	BPLUM	FPROJECT	15-Apr-03	15-Apr-03	17-Jan-04
BP061166	BPLUM	PORTABLE	17-May-06	17-May-06	13-Nov-06
BP031440	BPLUM	FPROJECT	06-Jun-03	06-Jun-03	09-Feb-04
BP040622	BPLUM	ALTRMDL	12-Feb-04	12-Feb-04	28-Feb-05
BP001001	BPLUM		01-Jun-00	01-Jun-00	29-Oct-03
BP001368	BPLUM		25-Aug-00	25-Aug-00	11-Mar-01
BP061868	BPLUM	ALTRMDL	29-Sep-06	29-Sep-06	30-Jul-07
BP020844	BPLUM	IRRIG	03-Apr-02	03-Apr-02	01-Oct-02
BP000833	BPLUM		21-Apr-00	21-Apr-00	18-Oct-00
BP001242	BPLUM		26-Jul-00	26-Jul-00	29-Oct-03
BP011537	BPLUM		06-Sep-01	06-Sep-01	05-Mar-02

BP111620	BPLUM	ALTRMDL	11-Jul-11		
BP061092	BPLUM	ALTRMDL	08-May-06	08-May-06	07-Mar-07
BP031413	BPLUM	RGH_SETS	04-Jun-03	04-Jun-03	09-Feb-04
BP031971	BPLUM	RGH_SETS	08-Sep-03	08-Sep-03	27-Oct-04
BP020572	BPLUM	IRRIG	12-Feb-02	12-Feb-02	26-Aug-02
BREV111166	BREV	ALTRMD	15-Aug-11	28-Sep-11	
BREV120418	BREV	ALTRMD	12-Jan-12	19-Jan-12	
BREV110975	BREV	ALTRMD	29-Jun-11	05-Jul-11	
BREV152451	BREV	ALTRMD	22-Jul-15	23-Jul-15	
BREV120074	BREV	ALTRMD	18-Oct-11	20-Oct-11	
BREV110977	BREV	ALTRMD	29-Jun-11	29-Jun-11	
BREV141968	BREV	ALTRMD	27-Jun-14	27-Jun-14	
BREV142041	BREV	ALTRMD	09-Jul-14	15-Jul-14	
BREV110479	BREV	ALTRMD	08-Mar-11	29-Mar-11	
BREV152242	BREV	ALTRMD	30-Jun-15	01-Jul-15	
BREV132005	BREV	ALTRMD	21-Aug-13	22-Aug-13	
BREV120336	BREV	ALTRMD	19-Dec-11	19-Dec-11	
BREV131901	BREV	ALTRMD	02-Aug-13	02-Aug-13	
BREV120087	BREV	ALTRMD	20-Oct-11	20-Oct-11	
BREV141990	BREV	ALTRMD	01-Jul-14	01-Jul-14	
BREV152144	BREV	ALTRMD	17-Jun-15	18-Jun-15	
B0201980	BSBUILD	DR/WNDW	27-Feb-02	08-Mar-02	20-Oct-02
B1603347	BSBUILD	ALTRMD	20-Apr-16	20-Apr-16	17-Oct-16
B0904466	BSBUILD	DRWNW	01-Sep-09		
B0202804	BSBUILD	OTHER	19-Apr-02	16-May-02	12-Nov-02
B0104542	BSBUILD		30-Aug-01	30-Oct-01	28-Jan-03
B0902945	BSBUILD	ALTRMD	11-May-09	15-May-09	19-Apr-10
B0203403	BSBUILD	ALTRMDL	23-May-02	24-May-02	28-Jan-03
B0102847	BSBUILD		09-May-01	09-May-01	28-Jan-03
B0002925	BSBUILD		04-May-00	12-Jun-00	31-Jan-05
B0202805	BSBUILD	ALTRMDL	19-Apr-02	16-May-02	12-Nov-02
B0102323	BSBUILD		02-Apr-01	12-Jul-01	28-Jan-03
B0800850	BSBUILD	PAINT	27-Nov-07	27-Nov-07	27-Aug-08
B9601017	BSBUILD	ALT	31-Jan-96	01-Feb-96	14-Nov-01
BSL92009	BSECLIEN	OTH	26-Nov-91	07-Feb-92	27-Aug-92
BSL91357	BSECLIEN	OTH	03-May-91	19-Jul-91	27-Aug-92
BSE13242	BSPEV	TENTS	03-May-13	07-May-13	09-May-13
BE112061	BSUBELEC	ALTRMDL	02-Jun-11	02-Jun-11	05-Apr-12
BE152698	BSUBELEC	ALTRMDL	29-Jun-15	29-Jun-15	10-Feb-16
BE141514	BSUBELEC	LOWVOLT	07-Mar-14	07-Mar-14	13-Oct-14
BE140924	BSUBELEC	DEMO	08-Jan-14	09-Jan-14	08-Jul-14

BE152401	BSUBELEC	ALTRMDL	29-May-15	04-Jun-15	16-Mar-16
BE150833	BSUBELEC	ALTRMDL	12-Dec-14	12-Dec-14	15-Jun-15
BE131496	BSUBELEC	DEMO	27-Feb-13	28-Feb-13	22-Dec-13
BE112334	BSUBELEC	ALTRMDL	05-Jul-11	05-Jul-11	05-Apr-12
BE132600	BSUBELEC	ALTRMDL	19-Jun-13	19-Jun-13	11-Feb-14
BE141585	BSUBELEC	ALTRMDL	13-Mar-14	13-Mar-14	12-Oct-14
BE142674	BSUBELEC	ALTRMDL	24-Jun-14	24-Jun-14	13-Jan-15
BE142675	BSUBELEC	LOWVOLT	24-Jun-14	24-Jun-14	28-Dec-14
BE132672	BSUBELEC	LOWVOLT	25-Jun-13	25-Jun-13	02-Feb-14
BE120752	BSUBELEC	ALTRMDL	22-Dec-11	22-Dec-11	07-Aug-12
BE151583	BSUBELEC	DEMO	26-Feb-15	03-Mar-15	30-Aug-15
BM120357	BSUBMECH	A/C	16-Dec-11	16-Dec-11	31-Jul-12
BM131319	BSUBMECH	DUCTWORK	20-Jun-13	20-Jun-13	09-Feb-14
BM141454	BSUBMECH	ALTRMDL	26-Jun-14	26-Jun-14	28-Dec-14
BM111144	BSUBMECH	A/C	11-Jul-11	11-Jul-11	05-Apr-12
BM150815	BSUBMECH	DEMO	26-Feb-15	03-Mar-15	30-Aug-15
BM110846	BSUBMECH	A/C	29-Apr-11	29-Apr-11	05-Apr-12
BM151371	BSUBMECH	ALTRMDL	28-May-15	28-May-15	13-Jan-16
BM141025	BSUBMECH	VENT	08-Apr-14	14-Apr-14	12-Oct-14
BP111621	BSUBPLUM	ALTRMDL	11-Jul-11	11-Jul-11	05-Apr-12
BP141805	BSUBPLUM	ALTRMDL	25-Jun-14	25-Jun-14	31-Dec-14
BP110606	BSUBPLUM	ALTRMDL	25-Jan-11	25-Jan-11	05-Apr-12
BP151074	BSUBPLUM	DEMO	26-Feb-15	03-Mar-15	01-Dec-15
BP151936	BSUBPLUM	ALTRMDL	19-Jun-15	19-Jun-15	16-Mar-16
BP140666	BSUBPLUM	DEMO	09-Jan-14	09-Jan-14	08-Jul-14
B0400597	BUILD	ALTRMD	03-Nov-03	09-Jan-04	28-Sep-04
B0302652	BUILD	ALTRMDL	10-Apr-03	20-May-03	09-Feb-04
B0602447	BUILD	ALTRMD	01-Mar-06	21-Jul-06	30-Mar-08
B1101984	BUILD	ALTRMD	02-Mar-11	22-Mar-11	18-Sep-11
B1304246	BUILD	ALTRMD-C	20-May-13	12-Jun-13	16-Feb-14
B9901354	BUILD	ALT	25-Jan-99	07-Jul-99	09-Feb-03
B1100150	BUILD	ALTRMD	13-Oct-10	25-Jan-11	05-Apr-12
B9300398	BUILD	NEW	13-Aug-93		
B0204142	BUILD	SIGNAGE	11-Jul-02	22-Jul-02	30-Apr-03
B0901529	BUILD	SIGNAGE	27-Jan-09	28-Jan-09	23-Jan-10
B0302545	BUILD	ALTRMDL	04-Apr-03	23-May-03	01-Feb-04
B0601395	BUILD	ALTRMD	04-Jan-06	21-Feb-06	04-Feb-07

B1100888	BUILD	FLOOR	06-Dec-10	21-Jan-11	20-Jul-11
B0301647	BUILD	ALTRMDL	31-Jan-03	28-Mar-03	17-Jan-04
B1102823	BUILD	ALTRMD	22-Apr-11	25-May-11	05-Apr-12
B0303102	BUILD	ALTRMDL	14-May-03	16-Jun-03	21-Jul-04
B0402034	BUILD	ALTRMD	18-Feb-04	18-Mar-04	13-Oct-04
B1105030	BUILD	ALTRMD	01-Sep-11	30-Nov-11	07-Aug-12
B0604042	BUILD	ALTRMD	18-May-06	07-Jul-06	30-Jul-07
B1501151	BUILD	ALTRMD	01-Dec-14	05-Dec-14	13-Jul-15
B0804614	BUILD	ALTRMD	07-Aug-08	07-Aug-08	17-Jun-09
B1502493	BUILD	ALTRMD	12-Feb-15	06-Apr-15	17-Apr-16
B0505197	BUILD	ALTRMD	06-Jul-05	29-Sep-05	20-Jan-07
B1404350	BUILD	ALTRMD	05-Jun-14	24-Jun-14	13-Jan-15
B0506704	BUILD	ALTRMD	23-Sep-05	27-Apr-06	05-Mar-07
B0801759	BUILD	ALTRMD	07-Feb-08	23-Jun-08	24-Jan-09
B1402175	BUILD	ALTRMD	07-Feb-14	03-Mar-14	13-Oct-14
BV11000052	BVIO	STRUCT	15-Oct-10	18-Oct-10	18-Oct-10
BV14000420	BVIO	STRUCT	10-Feb-14	10-Feb-14	12-Feb-14
BV04000294	BVIO	ENGINEER	11-Feb-04	11-Feb-04	10-Mar-04
BV04000214	BVIO	ENGINEER	10-Feb-04	10-Feb-04	10-Mar-04
BV01000137	BVIO	BVIO	14-Dec-00	14-Dec-00	06-Mar-01

BV07000446	BVIO	STRUCT	15-Feb-07	15-Feb-07	25-Jul-07
BV11000053	BVIO	STRUCT	15-Oct-10	18-Oct-10	02-Feb-11
BV04000326	BVIO	ENGINEER	11-Feb-04	11-Feb-04	10-Mar-04
BV11000415	BVIO	STRUCT	28-Jan-11	17-Feb-11	10-May-11

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DESCRIPTION
T.C.C. FOR SHELL BUILD NEW OFFICES
CC/ #505/from 4 to 2 offices and 1 conference room include the kitchenette.
CC // #600 New wood flooring, new drywall ceiling, new lighting, new interior partitions, new doors (2 openings)
TCC for office space Int renovation suite 402/403
Int buildout/Nw walls/ele/mech /fire sprk/finishes
CC for office space Int renovation suite 402/403
TCC/ #505/from 4 to 2 offices and 1 conference room/except the kitchenette.
CO Interior Buildout Office Use Suite #500
CO for Int. Build out. Office use. Suite # 602
CO for office interior build out on the 1st. floor.
Certificate of Occupancy Int Build-Out Network Office # 501.
Certificate of Occupancy for New Building Shell & Parking Garage.
CO Interior Buildout Unit # 505
CO for int. Buildout of dental office Unit # 601
TCO Parking Garage.
CO Int Build-Out "Villazo LLC" Office # 502
CO Interior Buildout for Office Space-Suite#504
CO Int Buildout 4 offices 401, 402, 403 & 404.
CO for 176 seats restaurant interior buildout ""RED STEAKHOUSE"
CO /#600 This is a change of use business to mercantile.(real state office)
TCO for office use in suite# 400
T.C.O. for Suite #500.INT BLUE COMET OFFICE BLDG-OUT=NEW WALLS, ELECT,PLUMB, MECH,FIRE SPRINKLERS
CO Int buildout Office Use-Suite #400
CO for Interior Buildout Unit # 600. Office use.
CO for 201 seats restaurant interior buildout ""RED STEAKHOUSE"
TCO Int Build-Out "Villazo LLC" Office # 502
CO/New sale center - Office- Site #400.. "JHPSB COLLINS VENTURES, LLC"
UNSECURED BLDGS RECENT FIRES
OPEN & UNSECURED BLDG
UNSECURED VAGRANTS LIVING THERE
UNSECURED BLDG
119 WASHINGTON AVE / PARKING GARAGE
Valet Parking Service @ 119 Washington Ave (Red Steak House)
Storage On-Site at 119 Washington Ave.
119 Washington Ave- underutilized parking-
NAME CHANGE OF COMPANY. NO CHANGE IN USE. 119 WASHINGTON AVE #400 / CASTING OFFICE, TALENT
Model Agency @ 119 Washington Ave #501 2183sq. ft.
INTERNET SOFTWARE CO. 119 WASHINGTON AVE #505. PRIOR LIC RL-05000912.
REAL ESTATE INVESTMENT OFFICE @ 119 WASHINGTON AVE #505; 3200 SQ FT
OFFICE @ 119 WASHINGTON AVE #405
MANAGEMENT CONSULTANT. 119 WASHINGTON AVE #501. SHARING SPACE WITH RL-07002878. SHARING SPACE LETTER ON FILE.
LAW OFFICE. 119 WASHINGTON AVE #402 & 403. PRIOR LIC RL-10002099 & RL-10001571.
NEW VALET SERVICE APPLICATION / 1 LOCATION 119 WASHINGTON AVE / STORAGE ON SITE / NO LIC REQ FOR ON SITE GARAGE PER SUSANA ALONSO
119 WASHINGTON AVE, SUITE#600, OFFICE SHARING SPACE

Additional valet location 119 Washington Ave (One Sothebys Intl - RL-10005239) with storage at 119 Washington Ave (South Florida Parking - RL-10006633)

119 WASHINGTON AVE # 403 - OFFICE 549 sq ft

Management Consulting firm. 119 Washington Ave #502.

Revised by Lisa Harris on 10/8/14

SHARING SPACE WITH RL-10007458 (ALJ HOLDINGS) @ 119 WASHINGTON AVE #505

Valet Parking Service @ 119 Washington Ave

Storage @ 550 Lenox Avenue

119 WASHINGTON AVE, SUITE#403, INTERIOR DECORATOR (confined to furnishing curtains, draperies, hangings, furniture, etc.)

OFFICE SPACE LOCATED @119 WASHINGTON AVE. #600. OWNER WILL DIVIDE SPACE FOR SHARING SPACE.

SHARING SPACE @ 119 WASHINGTON AVE #600 (LETTER ATTACHED) Revised by JeannieCastor on 2/4/14

REAL ESTATE FIRM. 119 WASHINGTON AVE #504. PRIOR LIC RL-05000050.

119 WASHINGTON AVE STE 505 BOOKEEPING OFFICE (NON CPA) SHARING SPACE ALJ HOLDINGS RL-10007458

119 Washington Ave - Parking Garage - Parking Lot-Underutilized/Self-Parking/Parking Lot-Valet. 09/21/2015 LM

REAL ESTATE BROKERAGE FIRM. 119 WASHINGTON AVE. MOVING FROM SUITE 504 TO 102. NO PRIOR FOUND.

119 WASHINGTON AVE #401 1200 sq ft administrative office for holding company

OFFICE AT 119 WASHINGTON AVE SUITE #404.

Sq Ft=600

SHARING SPACE @ 119 WASHINGTON AVE #600 (FOR MAILING PURPOSES, THEY USE #608); FINANCIAL ADVISOR OFFICE

TOTAL DEMOLITION OF BUILDING

Partial demo of existing space

unit#505 miscellaneous demolition of office space (interior only partial demolition

Partial demolition. Demolition of tiles, carpet, flooring, non-load bearing walls, dropped ceiling, reception desk, conference furniture and cabinetry.

LOW VOLT DEVICES FOR DATA PHONE CATV

OUTLETS (DATA,SPEAKERS) UNIT 502

10 VOICE,19 DATA

#503/ INTERIOR OFFICE . 41 R/O,1 SERV.REP., 1-200A PANEL, 1 W/H, 1 FAN,1 D/W,1 REF., 1 A/C 7 TON.1 COFFEE URN,45 L/F.EMPTY CONDUITS FOR F/A,PHONE AND TV.

B0804614- "RED RESTAURANT" - INTERIOR BUILDOUT OF RESTURNT ELECTRICAL OUTLETS AND FIXTURE

B1105030 / Low voltage for phone nad wire. 6 devices.

TEMPORARY FOR TEST (30 DAYS)

U-504. 28 R/O, 28 L/F, 1 SERV.,1 FREEZER,2-A/C 2 TON E/A, 1 S/O, EMPTY CONDUITS FOR F/A & PHONE

ELEC. INSTALLATION OF SVCS. (lights, receptacles and switches)

Elec. installation as per plans

SERVICE,OUTLETS,A/C,GEN,MOTORS,LIGHT FIXTURES

B0804614- "RED RESTAURANT" PHONE AND DATA PREWIRE

B0901529///INSTALL ELECTRICAL SIGNAGE "RED"

FIRE ALARM DEVICES (REVISION) -ISSUED UNDER PERT BE020826

Voice, data, shades, low voltage. UNIT NUMBER 6TH FLOOR SUITE 602

B1100150///// LOW VOLTAGE DEVICES (SPEAKERS)

6/15/2011 UPGRADE ELECTRICAL LOW VOLTAGE PERMIT TO INCLUDE 5 PHONE 5 DATA 5 AUDIO 5 CAMERA.

ADD TO F/A SYSTEM

FEEDER,OUTLETS,FIXTURES- 5th floor; (Latin American Network)#501

UNIT # 500 SERVICE,OUTLETS,APPLS,A/C,LIGHT FIXTURES(OUTLETS FOR F/A EMPTY CONDUIT ONLY)
 FIRE ALARM SYSTEM (CANCELLED BY CONTRACTOR LETTER).
 SUITE=503==TEMPORARY FOR TEST 30 DAY
 LOW-VOLTAGE/ cabling, & phone system
 # 601 - Electrical, Int. build-out
 B0804614- "RED RESTAURANT" EMPTY CONDUIT FOR LOW VOLTAGE & FIRE ALARM
 Illuminated sign.
 ELECTRICAL FOR Int office buildout/4 offices (401a-d)
 B0804614... "RED RESTAURANT" CCTV 15 DROPS.
 RENEW BE121612 TO / 14 devices 1 panel
 ADD TO EXISTING F/A (REVISION)- REPLACE PERT # BE020775
 B1102823/ Unit#402 Installation of data lines(44) devices
 SERVICE OUTLETS CENTRAL A/C 5 TON FIXTURES
 SMOKE DETECTOR EMPTI CONDUIT FOR FIRE ALARM-suite 502
 5TH FLOOR (ADD FIRE ALARM)
 U-500. TEMPORARY FOR TEST.
 B1100150/ Temp for test 400 amps
 RNW BE111079 / 14 devices 1 panel
 TEMPORARY FOR CONTRUCTION
 TEMPORARY FOR TEST (30 DAYS)
 TEMPPORATY ELECTRIC FOR TEST ==30 DAY==SUIT 504
 TEMP FOR TEST
 b0804614/ - "RED RESTAURANT" - Install burglar alarm.
 B0804614/// "RED RESTAURANT" - ELECTRICAL TEMP FOR TEST (Restaraunt on Ground Level)
 NEW SIGN 18 FEET OFFICES USE
 TEMPORARY POWER FOR TEST
 FIRE ALARM SYSTEM(CANCELLED BY CONTRACTOR LETTER ON FILE)
 #503/ INTERIOR OFFICE. LOW VOLTAGE FOR VOICE,DATA SPEAKERS, TV. (8 DEVICES
 ELEC. AS PER PLANS
 office buildout/suites 403 and 404 Only. LOW VOLTAGE,voice/data
 F/A empty Conduit, Recept, Service, Lighting SUITE 400
 TEMPORAY FOR TEST (30 DAYS) PERT CANCL
 ADD DEVICES TO EXISTING F/A SYST.6 S/D,2 SPEAKERS,7 STROBE LIGHTS,6 RELAY STATIONS
 SUITE # 500. LOW VOLTAGE FOR 20 VOICE & 22 DATA
 Temp for test
 14 devices 1 panel
 B1102823/ #402 Relocating (16) data drops; 15 v.o.d & 1 t.v.
 TEMPORARY SERV FOR CONSTRUCTION
 ELECTRICAL SIGN "RED"
 #101/Replace one main breaker 600 amp damaged due to loose connection.
 INSTALL A NEW TRACTION ELEVATOR #2 MB-1902
 INSTALL A NEW TRACTION ELEVATOR #1 MB-1901
 B0804614/ "RED RESTAURANT" FIRE SUPPRESION
 New 5T.&3.5T.Duct & press piping.
 INSTALL A TRACTION ELEVATOR MB-1902
 INSTALLATION OF 7.5 TON A/C SYSTEM.
 #503 10.5T, DUCT,PROCCES PIPING,VENT.

INSTALL 12.5T WITH DUCT WORK
REVISE DUCT SYS FOR 4,5TH FL GRD FL TOO
#502. NEW 3.5H.P.,DUCT,DRAIN PUMP
inst 6tons sys dtwk 2 units
B0804614/ "RED RESTAURANT" Install hood system/ (4) commercial hood & (1) dish hood
15.5 tons/dtwk
INSTALL A TRACTION ELEVATOR MB-1901
inst 3 3.5t ht pumps with dtwk
Suite #500 install (2) systems/dtwk
install fuel-oil piping
Unit 403//Installation of a 2 tons simi split system for IT room.
INSTALL 10-T,HT-PUMP, 160T-COOLING-TOWER
INSTALLATION OF 23T (5 UNITS) HEAT PUMP W/ DUCT WORK
B0804614/"RED RESTAURANT" Install hvac w/ ductwork refrigeration for wine room
504 2-3T,DUCT,
B0801759- "RED RESTAURANT" STRUCTURAL SLAB REVISION.
Occupant load for "Red The Steakhouse" Restaurant
main area - 260 p
private dining - 15 p
kitchen - 18 p
3 exits
B0804614.."RED RESTAURANT" .REVISION TO PLUMB
REVISION TO PERMIT #B0002925 /PLUMBING ONLY
4 COPIES OF MICROFILM.
RVSN TO MECH,PLUM & ELEC B0303102
CD
Rvsn to planters (A.S.I. #5).
1 CD
EXTN TO B9901354.
Revis/B0002925/show irrigation connection to cooling tower
SIXTEEN MICROFILM COPIES
Rvsn/B0804614/ "RED RESTAURANT" Mech, ele, arch, safety.
B0804614 RVSN FP080637 \ "RED RESTAURANT" Rvsn to add 9 s/d, 4 h/d, 2 p/s, 1 speaker strobe for FP080637
CD
REVISION FOR MECHANICAL, SQUARE & RECTANGULAR DUCT IS NOW CIRCULAR/ NEW DIMENSION CF LOUVER.
RVSN FOR RAMP & HANDRAIL (ACCESSIBILITY AREA)/B0002925
RV B0400597-CHG FRM ACCESSABILITY TO ADAPTABILITY
REVISION/SHORING DRAWINGS/#B0002925
RVSN TO A/C/ FIRE SPRINKLERS/B0301647
B0602447/ REVISION TO PARTITION, PLUMB, MECH FIRST TIME BUILDOUT
1 cd
B0303102/ REVISION FOR CHANGE OF ENGINEER MECHANICAL, ELECTRICAL, FIRE SPRINKLERS AND PLUMBING.
REMOVAL OF 3 RECORDATION OF VIOLATIONS
B0801759/ "RED RESTAURANT" STRUCTURAL FOR SCRUBBER SLAB, MECHANICAL REVISION, ELEC, PLUMB
07/23/08 Description change: NO STRUCTURAL WORK ON THIS APPLICATION. MEP REVISION ONLY.

B0804614///BM090053... "RED RESTAURANT" REVISION 1 CHANGE TANK LOCATION AND CHANGE SOME EQUIPMENT ALSO, MODIFY SUPPLY LINE FIRE SUPPRESSION.

B0804614/ "RED RESTAURANT" SMOKE AND EVACUATION REVISION

CD.

REV BPP01354-PLUMB RV BP001242-STORM WATER

TEMPORARY USE PERMIT (5 MO.) MB-1901

CD

RVSN TO B0002925. (PLUMB).

COPIES OF RECORDS

MECH RVSN ONLY/B0302652

RVSN# B0602447/ ELECTRICAL ONLY

MICROFILM PHOTOCOPIES 6 COPIES

REVISION/BEAM 7TH FLR/ROOF;RFI NO82

MECH REVISION TO DUCT SIZE ONLY/

TEMP. CONSTRUCTION USE PERMIT MB-1901

1 SUPRA BOX

B0506704/ REVISION TO PLANS FOR RELOCATION OF REAR OFFICES

Rvsn/B0804614/ "RED RESTAURANT" MEPS IN KITCHEN AREA

RVSN B0804614/ "RED RESTAURANT" New fire sprinkler heads (6) relocated/ 6" bulk main to fire pump.

CERTF BE121582

REVISION TO PERMIT #B0002925 /COOLING TOWER SUPPORT & ELEVATOR MACHINE ROOM ROOF

28 copies

REVIS/SHORING DRAWING FOR 4TH,5TH FLR AND ROOF.

REV-B0302545, MECH REV.

15 copies

5 MF COPIES-LOST PLANS FEE BD150090

2/sets one cond. 5TH FLR, SW CORNER

#504, INSTALL ONE SINK - ROUGH AND SET

Int office buildout/4 offices (401a-d), 4 SINK R/SETS. ADD TO 4 CONDENSATION DRAINS

paid upgrade one r/s

PLBG SYS-R/S 610 FIX,2 GR TRPS,ETC

BUILD NEW OFFICES

Install water heater, rgh/set kitchen sink, dishwasher, im.

19 heads

2 INTERCEPTORS 1600GAL GR,340 GAL SAND/OIL

add irrigation lines

34 heads

1 PORTABLE TOILET.

12/heads

#503/ I 6/ROUGHS 6/SETS

DISPOSAL WELL FOR NEW OFFICES

FLOW TEST

#602. Add bathroom group, kitchen sink.

irrigation replace permit bp011179

1PORTABLE TOILET

STORM DRAINAGE FOR NEW OFFICES

t/toilet

B1102823/new kitchen sink, dishwasher and refridge..

2 water closets, 2 lavatories, 1 drinking fountain, 1 lounge sink, 2 condensate drains

1/r1/s

Suite #500.sink

backflow eight outlets

REVISION TO B1102823 // Revision to electrical mechanical, electrical layout change and added AHU to IT

Revision/ B1105030/ Relocate outlets & adding a junction box

B1102823 - revision to mech system relocated, cieling layout modified flipped door swing into office, demising wall change to 1 hour.

RSVN/B1502493/Minor building, HVAC, electrical revision due to site conditions.

Revision/ B1102823/ For mechanical smoke candle

B1100150 - REVISION TO FP110413, PIPE LAYOUT REVISION

B1404350--UNIT # 505 - "MAST CAPITAL" RVSN to life safety plan

/B1404350//UNIT # 505// Revision to relocate emergency devices as per field lacion

Rvsn B1100150/ Building, electrical, fire , plumbing & mechanical revision.

RSVN/B1502493/PLAN REVIEW ELECTRICAL & RELOCATE EXISTING ELECTRICAL PANEL.

RELOCATE EMERGENCY LIGHT.

ADD DROPPED DOWN CEILING AT ENTRANCE ONLY(80)SQF.

CHANGE FLOORING FINISH IN DISPLAY AREA 2 (TO UNFINISHED CONCRETE)

NO POCKET DOORS (OMITTED)

B1100150///RVSN FOR FIRE TO REMOVE SHEET E-103 AS PER INSPECTOR

#600 --B1304246---RVSN TO NEW ELECTRICAL DATA OUTLETS,NEW MECH SHEET W/HEAT LOAD CALCS.

Rvsn#B1100150/ Electrical Rvsn

B1404350/ "MAST CAPITAL" Rvsn to kitchen layout only

RSVN/B1502493/Revision to reconfiguration of dry master bathroom, conference area & office and additional GFI outlets. Revision to reconfiguration of a/c system on master bathroom conference area and office.

FURNISH AND INSTALL EXIT DOOR. (1) OPENING

small work permit to update parking calculations

B0902945//NEW IMPACT STOREFRONT WINDOWS TO REPLACE 6 EXISTING WINDOWS TOTAL OPNGS 6

FLOOD BARRIERS

Installation of Rolling doors.

FIRST FLOOR, NORTH WINDOWS AND PARTIAL WALL RENOVATION.

INSTALL FLOODBARRIERS.

WATERPROOF PLAZA DECK.

BUILD NEW OFFICES

INSTL HURRICAN PANELS SHUTTERS (7 OPNNGS)

Furnish/Install impact glass/Aluminum.

PAINT EXTERIOR OF BUILDING

RESURFACE/LANDSCAPING/PLUMB F/DRNGE

LIEN FOR SECURING WORK BY IND. SECURING

LIEN FOR SECURING WORK BY IND. SECURING

Red Steak House / (2) temp tents / the setup date is from 05-07-13 and the breakdown date is 05-09-13

B1100150/ Electrical for new offices; (1) electrical service, (2) new panels.

B1502493/ Low voltage installing for cable for data application. 26 data cables- 1 cable per station, 7- cable for 7 speaker, 2 cable for 2- tv application

b1402175/#505/Low Voltage 30 cable drops

BD140079/unit#505/Provide electrical demo consisting of removing lighting fixtures and electrical outlets.

B1502493/suite #400/Power and lighting renovations
B1501151/#405/Install new receptacles (5) install (2) phone jacks.
BD130130/ Electrical demo outlets and lighting
B1102823/ #402 Remodel, relocating (52) and (52) outlets as per design.
B1304246/#600/Install & Connect light fix. 15 devices lights & 4 switch controls.
B1402175/Suite 505/Relocating & re-installing (4) exit signs, light fixtures, (25) light switches, (26) duplex receptacles, (28) stub ups for data outlets.
B1404350/UNIT # 505 "MAST CAPITAL" Remodeling of existing office space consisting of relocating 4 duplex receptacles and 8 switches and adding 5 new duplex receptacles, 7 light fixtures.
B1404350/UNIT # 505 "MAST CAPITAL" / Low voltage/6 data outlets.
B1304246/Low Voltage/ Rig and out hangers in existing/ Low Voltage Wiring 20 Cables.
B1105030 / New 100 amp 3ph service(new meter, disconnect, and panel) 8 outlets, 2 switches, and 10 light fixtures.
BD150099- ELECTRICAL DEMOLITION.
B1105030 2 TON A/C /DUCT WORK /24,000 BTU HEATING
B1304246/#600/Relocating 5 ducts.
B1404350/ UNIT # 505 - "MAST CAPITAL" Relocate supply ductwork and return grilles
B1102823/relocation for water cold air, new ductwork, grills, f/d water lines
BD150099- --MECHANICAL DEMOLITION.
B1100150/New ductwork, a/c equipment.
B1502493 - relocate existing 5.0 ton water sourced heat pump unit. Relocate one existing thermostat. Relocate and extend copper cws/cwrt type L piping. Provide and install new flexible ductwork and new manual volume dampers at new flex branches. Provide and install new galvanized sheet-metal outside/ make-up air ductwork
B1402175/ Suite 505/ Remove old supply grilles. Install new grilles add some new flex ductwork
B1102823/new kitchen sink, dishwasher and refrigeration...
B1404350/UNIT # 505 / "MAST CAPITAL" Removed and install a new sink and ice maker box
B1100150 - TWO NEW BATHROOM, ONE MOP SINK, ONE WATER HEATER AND FOUR A/C DRAIN CONDENSERS.
BD150099--CUT CAP PLUMBING FOR DEMO.
b1502493--8 ROUGH FIXTURES.
BD140079/unit#505 /Cap all plumbing
#503/ INTERIOR OFFICE BUILDOUT NEW WALLS, PLUMBING, & FIRE SPRINKLERS + FINISHES.
NEW INT BUILD OUT FOR "VILLAZZO LLC" OFFICES-/ELECT/MECH/FIRE SPRK/MINOR PLUMBING AND FINISHES- ALL TRADES TO BE DONE BY LICENSED TRADES CONTRACTORS PULLING SEPARATE PERMITS ATTACHED TO MASTER PERMIT
FIRST TIME INT. BUILD-OUT OF SHELL BAY 601 FOR A DENTAL OFFICE /06-25-07 CHNG OF CTR FROM MAINSTAR CONSTRUCTION CORP., TO DIEGON LLC, AS PER MIAMI-DADE COUNTY ORDINANCE, CHAPTER 8, WITH ALL REQUIRED DOCUMENTATION ON FILE. P.PEREZ
INTERIOR ALUMINIUM AND GLASS PARTITION , 1 STOREFRONT 11 FEET LONG, 1 OPENING. 1 DOOR.
#600 New wood flooring, new drywall ceiling, new lighting, new interior partitions, new doors (2 openings) Mechanical work has to be added/ This is a change of use business to business.
BUILD NEW OFFICES & RETAIL
1 ST FLOOR INTERIOR/ALTERATION SQ FT 5,178
NEW 25 UNITS APT BLDG-119/129/137 WASHNG
Install ele sign rvsn chn ltrs "Atlantic Center"
ELECTRICAL SIGNAGE "RED"
INTERIOR BUILDOUT-ELECT, MECH, FIRE SPRKLR, MINOR PLUMBING, FINISHES, NEW WALLS.
INTERIOR BUILDOUT/

BV11000053 - TO CORRECT VIO, REMOVE EXISTING TILE & INSTALL NEW TILES OVER EXISTING CONCRETE (LOBBY AREA)

Int buildout/Nw walls/ele/mech /fire sprk/finishes

Int renovation of existing office space only.

Suite #500.INT BLUE COMET OFFICE BLDG-OUT=NEW WALLS, ELECT,PLUMB, MECH,FIRE SPRINKLERS

INT BUILD OUT FOR OFFICE SPC, PARTITIONS, DRYWALL, 5 INT DOORS, FLOORING, FINISHES, SPRINKLER SYST, ELEC, MECH, PLUM,

Minor electrical, new panel, new AC, new partition, and repairs.

NEW TENANT BUILD OUT.

#405/Partial wall demok, install entrance door & frame, relocate ele receptacles.

"RED RESTAURANT" - INTERIOR BUILDOUT OF RESTAURANT, ELECT, MECH AND PLUMB. KITCHEN FLOORING 4,500 SFT

08-07-08 - Change of contractor

from

TRIGRAM GC - CGC040101 (old permit B0801759)

to

U.S. CONSTRUCTION CORP CGC061766

(new permit B0804614)

New sale center - Office- Site #400.."JHPSB COLLINS VENTURES, LLC"

Int office buildout/4 offices (401a-d), 1 ac, ele, fixtures, minor plumb, drywall & finishes

UNIT # 505 - "MAST CAPITAL" Add kitchenette, modify offices (from 4 to 2 offices and 1 conference room.)

Int build out of office - partiton, mech, ele, plum

INTERIOR BUILDOUT OF RESTAURANT, ELECT, MECH AND PLUMB. KITCHEN FLOORING 4,500 SFT

08-07-08 - Change of contractor

from

TRIGRAM GC - CGC040101 (old permit B0801759)

to

U.S. CONSTRUCTION CORP CGC061766

(new permit B0804614)

Suite 505/ Office remodeling

NOTICE OF VIOLATION ISSUED FOR TILE INSTALLATION WITHOUT PERMITS. PROPERTY OWNER NEEDS TO OBTAIN REQUIRED PERMIT AND CALL MANDATORY INSPECTIONS. DOUBLE FEES APPLIES.

NOTICE OF VIOLATION ISSUED.

Installation of garage door without permit. Need to submit the required documents to obtian approved permit and inspections. Double fees apply.

FAILURE TO OBTAIN FINAL CERTIFICATE OF COMPLETION FOR BCC03135 WHICH EXPIRED ON 01/18/2004.

THIS VIOLATION WAS CLOSED FOR COMPLIANCE.

FAILURE TO OBTAIN FINAL CERTIFICATE OF OCCUPANCY FOR BCO02179 WHICH EXPIRED ON 01/25/2004.

THIS VIOLATION WAS CLOSED FOR COMPLIANCE.

TEMPORARY SERVICE FALLING OVER AND LEANING ON HIGH TENSION CABLES FROM SLAB. MUST OBTAIN A PERMIT TO RELOCATE FOR CONSTRUCTION SERVICE TEMP.

03/06/2001-CLOSED, COMPLIANCE PERMIT BE010520 APPROVED ON 12/18/2000

SWO ISSUED FOR PERMIT B0506704, CONTRACTOR WITHDRAW FROM JOB, NO MORE WORK UNTIL NEW CONTRACTOR IS ASSIGNED.

NOTICE OF VIOLATION ISSUED FOR TILE INSTALLATION WITHOUT PERMITS. PROPERTY OWNER NEEDS TO OBTAIN REQUIRED PERMIT AND CALL MANDATORY INSPECTIONS. DOUBLE FEES APPLIES.

FAILURE TO OBTAIN A FINAL CERTIFICATE OF COMPLETION FOR BCO03302 WHICH EXPIRED ON 01/20/2004.

THIS VIOLATION WAS CLOSED FOR COMPLIANCE

NOTICE OF VIOLATION ISSUED FOR ERECTING STRUCTURE AT THE LOBBY AREA WITHOUT AN APPROVED PERMIT. NEED TO OBTAIN AN APPROVED PERMIT AND FINAL INSPECTIONS IN ORDER TO CORRECT THIS

119		WASHINGTON AV	42030031200
119		WASHINGTON AV	42030031200
119		WASHINGTON AV	42030031200
119		WASHINGTON AV	42030031200

PERMIT #

30102847

CITY OF MIAMI BEACH
Miami Beach, Florida 33139
Receipt of Payment

Building Work Permit

Activity Number: 0010247
Status: APPROVED
Date Issued: 05/09/2001 Entered By: BULLECS
Date Expired: 11/06/2001
Balance Due: \$0.00
Valuation: \$102,475.00
Address: 119 WASHINGTON AV SWBCH
City: MIAMI BEACH FL 33139
Owner: BLUE COSMET L.L.C.
207 LINCOLN RD 600
MIAMI BCH FL 33139

Description: WATERPROOF PLAZA DECK

Payments made for this receipt:

Current Payment Made to the Following Items:

Account Summary for Fees and Payments:

Item	Description	Amount	Balance
10	Building Permit	102,475.00	102,475.00
11	Plan Review	0.00	102,475.00
12	Inspection	0.00	102,475.00
13	Final Inspection	0.00	102,475.00
14	Permit Fee	0.00	102,475.00
15	Other Fees	0.00	102,475.00

[RECEIPT]

000317Waterproofing Guidelines

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1400
MIAMI, FLORIDA 33135-1503
(305) 375-2500 FAX (305) 375-2500
CONTRACT ADMINISTRATION SECTION
(305) 375-2527 FAX (305) 375-2526
CONTRACT ADMINISTRATION SECTION
(305) 375-2526 FAX (305) 375-2526
SUBJECT ENGINEER, SUPERVISOR
(305) 375-2502 FAX (305) 375-2526

MEMO

TO: All Building Officials in Miami-Dade County
FROM: Francisco J. Quintana, R.A., Director
Building Code Compliance Office
DATE: March 17, 2000
SUBJECT: BORA Approved Guidelines for the Waterproofing of
Promenades or Plaza Decks, Terraces and Parking Garage
Decks.

The Board of Rules and Appeals at its March 16, 2000 meeting approved the following guidelines for the installation of waterproofing systems on the subject decks. The subject decks are to be horizontal or sloped, possess a suitable substrate (as detailed in Chapter 5 of the "SWRI Below Grade Waterproofing Manual" 1999 Copyright version), whether located above occupied or unoccupied spaces, and be designed for vehicular and/or pedestrian traffic.

1. The waterproofing system for the subject decks should be specified by a State of Florida Professional Engineer or Registered Architect.
2. The waterproofing system should possess a current and valid Notice of Acceptance.
3. The waterproofing assembly must possess a Class A or Class B fire rating as required by the Code.
4. If the waterproofing system does not possess a current and valid Notice of Acceptance, the manufacturer's published literature for the intended use of the waterproofing system as an entire assembly must be provided, including requirements for ultra-violet resistance, the structural deck, waterproofing membrane, and if applicable any above membrane components such as: protection layer, drainage board, insulation, and overburden or wearing surface.

<http://www.buildingcodeonline.com/info/bora/000317Waterproofing420Guidelines.htm> 05/04/2000

000317Waterproofing Guidelines

All Building Officials in Miami-Dade County
March 17, 2000
Page 2

5. If an overburden or wearing surface is not to be installed, the waterproofing system must be approved by the manufacturer for use in vehicular and/or pedestrian traffic locations.
6. If any portion of the waterproofing membrane is to remain exposed, the waterproofing system must be ultra-violet resistant.
7. A building permit specifically allowing the installation of the waterproofing system must be obtained.
8. The waterproofing assembly must be designed to comply with the provisions of Chapter 23. If the waterproofing system does not possess a Notice of Acceptance, in site testing in accordance with TAS 124 must be performed on the entire assembly prior to the issuance of the building permit. Where the overburden is poured in place concrete and the overburden can be designed and shown to comply with the provisions of Chapter 23, testing in accordance with TAS 124 would not be required.
9. The waterproofing system must be installed by a contractor licensed to perform waterproofing and approved/certified by the manufacturer.
10. Flashings must be installed according to the waterproofing manufacturer's published specifications.
11. The entire deck shall be flood tested in accordance with ASTM D 5957-96 to determine the watertight integrity of the waterproofing system prior to the installation of the above membrane components and the wearing surface or overburden. This test is to be performed by the waterproofing contractor.
12. The Building Official must perform an inspection of the waterproofing system during the flood test.

<http://www.buildingcodeonline.com/info/bora/000317Waterproofing420Guidelines.htm> 05/04/2000

MIAMI-DADE COUNTY FLORIDA
 METRO DADE FLORIDA BUILDING
 BUILDING CODE COMPLIANCE OFFICE
 METRO DADE FLORIDA BUILDING
 140 WEST PLAMENOR STREET, SUITE 3401
 MIAMI, FLORIDA 33126-3763
 (305) 375-2901 FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE
 Carlisle Coatings & Waterproofing Incorporated
 8810 W. 100th Street S.
 Sapulpa, OK 74866
 OK 74866

CONTRACTOR LICENSING SECTION
 (305) 375-2901 FAX (305) 375-2908

CONTRACTOR ENFORCEMENT SECTION
 (305) 375-2906 FAX (305) 375-2908

PROJECT CONTROL DIVISION
 (305) 375-2907 FAX (305) 375-6339

Your application for Product Approval of:
CCW-590-R Waterproofing System w/Pavers
 under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This approval shall not be valid after the expiration date stated below. BCCO reserves the right to secure the product or material at anytime from a jobsite or manufacturer's plant for quality control testing.
 If this product or material fails to perform in the approved manner, BCCO may revoke, suspend or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined BCCO that this product or material fails to meet the requirements of the Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

Acceptance No. **99-0412.02**
 Expires: **02/25/2003**

[Signature]
 Chief Product Control Division

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS
BUILDING CODE & PRODUCT REVIEW COMMITTEE

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Dade County, Florida under the conditions specified herein.

[Signature]
 Director
 Building Code Compliance Office

Approved: **02/25/2000**

CARLISLE COATINGS & WATERPROOFING, INC. Product Control No. **99-0412.02**
PRODUCT CONTROL NOTICE OF ACCEPTANCE
ROOFING SYSTEM APPROVAL

Applicant:
 Carlisle Coatings & Waterproofing Inc.
 8810 West 100th Street-South
 Sapulpa, OK 74866-1680

Product Control No. **99-0412.02**
 Approval Date: February 25, 2000
 Expiration Date: February 25, 2003

Category: Waterproofing with Pavers
Sub-Category: Hot Applied Rubberized Asphalt
Type: Reinforced, Non-reinforced
Sub-Type: Liquid Applied

System Trade Name:
 CCW-500 Hot-Applied Liquid Membrane Waterproofing System

Installation Type:
 None

Maximum Design Velocity Pressure:
 Material: Concrete
 Design Velocity Pressure: 167.5 psf

Maximum Fire Classification:
 Material: Concrete
 Classification: N/A

Page 2 of 11
[Signature]
 Frank Zukawa RRI
 Roofing Product Control Division

CARLISLE COATINGS & WATERPROOFING, INC. Product Control No. **99-0412.02**
TRADE NAMES OF PRODUCTS MANUFACTURED OR LABELED BY APPLICANT

Product	Dimensions	Test Specification	Product Description
CCW-500 Hot-Applied Liquid Membrane	45 lb. Bows	UCBS-37.50-M89	Single component, hot-applied Rubberized asphalt compound for Reinforced and non-reinforced applications
CCW-550 Primer	5 gal. Pails, 55 gal. Drums	See Product Literature	Concrete surface primer
CCW Reinforcing Fabric	59" x 610 ft. rolls	See Product Literature	Polyester spunbonded reinforcement fabric
CCW-711-90 Sheet Membrane and Flashing	18, 36, 48" wide 45 ft./roll	See Product Literature	90 mil self-adhesive preformed flashing
CCW-711-150 Sheet Membrane and Flashing	18, 36, 48" wide 25 ft./roll	See Product Literature	150 mil self adhesive preformed flashing
CCW-704 Mastic	5 gal. Pails, 30 oz. Tubes	See Product Literature	Rubberized asphalt mastic for terminating flashing
CCW-703 V Liquid Membrane	4 gal. Kit	See Product Literature	Two-component liquid-applied membrane
CCW Protection Board H	0.125 in x 36 in x 36 ft.	See Product Literature	Asphalt impregnated protection board
CCW Sure Drain H	4 ft. x 50 ft. roll	See Product Literature	Damage composite, 0.375" thick
CCW Sure Drain H-2	4 ft. x 50 ft. roll	See Product Literature	Damage composite, 0.45" thick
CCW-701 Sealant	1.5 gal. Kit	TT-S-227E	Multi-component polyurethane sealant

Page 3 of 11
[Signature]
 Frank Zukawa RRI
 Roofing Product Control Division

PRODUCTS MANUFACTURED BY OTHERS

Product	Dimensions	Test Specification	Product Description	Manufacturer
Concrete pavers	1" x 1" x 1 1/2" thick	ASTM C936	8000 psi Min. Compressive strength, 5% water absorption max.	PaverModule
Concrete pavers	1" x 1" x 1 1/2" thick	ASTM C936	8000 psi Min. Compressive strength, 5% water absorption max.	TREMLON
Mortar mix	3:1 mix		Three parts white masonry sand to one part cement (Type I Portland Cement Type I).	

EVIDENCE SUBMITTED

Test Agency	Test Identifier	Test Specification	Product Date
IRT of S. Florida, Inc.	C-99013 3.9.99	PA 114	March 1999


 Frank Zukaus RRC
 Roofing Product Control Examiner

SYSTEMS


Deck Type I Concrete Decks, New Construction
Deck Description: Min. 2500 psi
System Type A: CCW-500-R Hot Applied Liquid Membrane, reinforced
Substrate: New concrete shall be water cured and be in place for 14 days minimum, 21 days preferred. If curing agents are required, they must be of the self-dispersing type and be approved by the membrane manufacturer. Venting of the deck from the underside is recommended to facilitate drying. Deck shall be sloped to drain and all roof drains shall be the two stage with weep holes to provide drainage at the membrane level.

Substrate Preparation: Surface shall be structurally sound, dry, and free of dust, dirt, laitance, non-approved curing agent or other contamination which may affect adhesion of the membrane. Remove splinters, fins, ridges or other projections to provide a level surface. Fill holes, honeycombs, rock pockets, spalls or other voids and indentations with approved concrete patching compound. Grind or fill surface at cold joints where each pour is at a different plane to provide a smooth and level surface.

Saw cut cracks greater than 1/16" wide to 1/4" x 1/4". Saw cut a 1/4" x 1/4" x 1/4" kerf around drain flanges. Mix CCW-201 Sealant and apply a 1-1/2" x 1-1/2" x 1-1/2" 45 degree sealant cap at the juncture of all vertical and horizontal surfaces including pipes and all other projections. Fill saw cut cracks and saw cut around drain flanges. Install backer rod and sealant to all expansion joints. Allow the sealant to cure overnight.

Membrane Flashing: Apply a thin, even coat of CCW-550 Primer, 16" wide, centered over all cracks greater than 1/16" wide and all moving cracks. Allow primer to dry. Install a 12" wide strip of CCW-711-90 Sheet Membrane Flashing, centered over the cracks.

At the juncture of all vertical sections with the deck surface, such as parapet walls, columns and all projections through the deck, apply a thin, even coat of CCW-550 Primer to the vertical wall section to the height of a minimum of 6" and 8" onto the deck. Flashing must terminate a minimum of 1" below the wearing slab. Allow the primer to dry. Apply CCW-711-90 Sheet Membrane Flashing over primed area on the vertical section and extend flashing 6" up the deck surface. Termination of flashing. Terminate flashing on wall per CCW-500-9 details. Apply CCW-500-R over all horizontal flashing sections during membrane installation. Install Sure-Seal® EPDM Flashing in exposed areas per Carlisle recommendations and 500-4B detail.


 Frank Zukaus RRC
 Roofing Product Control Examiner

Apply a thin, even coat of CCW-550 Primer to drain flange and a 4 ft. by 4 ft. area around drain. Allow primer to dry. Install a 2 ft. by 2 ft. piece of CCW-711-90 Sheet Membrane Flashing, centered over the drain. Install drain clamping ring. Cut away flashing inside drain opening. Detail expansion joints per Carlisle approved drawings.

Primer: Apply a thin, even coat of CCW-550 Primer to the entire surface to receive waterproofing. Apply primer at a rate of 150-450 ft² per gallon. Allow the primer to dry. Note: Membrane will not properly adhere to wet primer.

Base Coat: Blocks of CCW-500 shall be melted in a twin wall (oil or air jacketed) kettle with continuous agitation. Caution: Do not exceed maximum safe operating temperature of 480°F. Apply a 6" wide, 125 mil thickness coat of CCW-500 Hot Applied Liquid Membrane over non-moving cracks and cold joints. Mark off the deck in 9 ft. x 10 ft. sections. Apply CCW-500 Hot Applied Membrane to the primed surface, including over all previously detailed areas, at a rate of 18 ft²/gallon (5 gallons per 90 square foot area) as required to obtain 90 mils minimum average thickness.

Apply reinforcement over membrane immediately, while membrane is still warm and tacky to ensure adhesion. Ensure that no air pockets or fish-mouths exist.

Reinforcement: Install CCW Reinforcing Fabric as quickly as possible, while the CCW-500 Liquid Membrane is still tacky. Place fabric carefully to avoid wrinkles. Overlap edges 0" to 1/2".

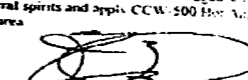
Top Coat: Top coat reinforcing fabric with a second coat of CCW-500 Hot Applied Membrane at a rate of 13 ft²/gallon (125 mils) for 215 mil systems as required to obtain the specified total system thickness.

Protection Course: Place CCW Protection Board H over the membrane as soon as possible. Tightly butt all protection, leaving no gaps greater than 0.125".

Integrity Test: Allow membrane to cool sufficiently to allow foot traffic. Verify that the structure can support the deadload weight of a watertight test before proceeding. Plug drains and provide necessary barriers to contain flood water. Flood deck with 2" head of water and check for leaks after 24 hours. Any leaks found shall be repaired immediately and the area shall be retested.

Inspection: Inspection shall be witnessed by the Building Official, the Building Owner, representative, general contractor, architect/engineer, waterproofing contractor, and a representative of Carlisle Coatings & Waterproofing Incorporated.

Repairs: In the event the CCW-500 Hot Applied Liquid Membrane is damaged within the area with a cloth wet with mineral spirits and apply CCW-500 Hot Applied Liquid Membrane to the damaged area.


 Frank Zukaus RRC
 Roofing Product Control Examiner

Surfacing: Concrete Pavers by Paver Modules embedded in minimum 2" thick bed of mortar mix.

Maximum Design Pressure: 147.5 psf

Maximum Slope: N/A

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Deck Type 1 Concrete Decks, New Construction

Deck Description: Min. 2500 psi

System Type A: CCW-500-R Hot Applied Liquid Membrane, reinforced

Substrate: New concrete shall be water cured and be in place for 14 days minimum, 21 days preferred. If curing agents are required, they must be of the self-dispersing type and be approved by the membrane manufacturer.

Substrate Preparation: Surface shall be structurally sound, dry, and free of dust, dirt, laitance, non-approved curing agents or other contamination which may affect adhesion of the membrane.

Membrane Flashing: Apply a thin, even coat of CCW-550 Primer, 1/8" wide, centered over all cracks greater than 1/16" wide and all moving cracks.

At the juncture of all vertical sections with the deck surface, such as parapet walls, columns and all projections through the deck, apply a thin even coat of CCW-550 Primer to the vertical wall section to the height of a minimum of 8" and 5" onto the deck.

Apply a thin, even coat of CCW-550 Primer to drain flange and a 2 ft. x 2 ft. area around drain. Allow primer to dry. Install a 3 ft. by 3 ft. piece of CCW-711-90 Sheet Membrane Flashing, centered over the drain.

Frank Zukaga RRC Roofing Product Control

Primer: Apply a thin, even coat of CCW-550 Primer to the entire surface to prepare for waterproofing.

Base Coat: Blocks of CCW-500 shall be melted in a twin roll (oil or air jacketed) kettle with continuous agitation. Apply a 6" wide, 125 mil thickness coat of CCW-500 Hot Applied Liquid Membrane over non-moving cracks and cold joints.

Reinforcement: Install CCW Reinforcing Fabric as quickly as possible, while the CCW-500 Liquid Membrane is still tacky.

Top Coat: Top coat reinforcing fabric with a second coat of CCW-500 Hot Applied Membrane at a rate of 13 lb/gallon (125 mils) for 215 mil systems as required to obtain the specified total system thickness.

Protection Course: Place CCW Protection Board H over the membrane as soon as possible.

Integrity Test: Allow membrane to cool sufficiently to allow foot traffic. Verify that the structure can support the deadload weight of a watertight test before proceeding.

Inspection: Inspection shall be witnessed by the Building Official, the building owner's representative, general contractor, architect/engineer, waterproofing contractor and a representative of Carlisle Coatings & Waterproofing, Incorporated.

Repairs: In the event the CCW-500 Hot Applied Liquid Membrane is damaged, clean the area with a cloth wet with mineral spirits and apply CCW-500 Hot Applied Liquid Membrane to the damaged area.

Surfacing: Concrete Pavers by TREMIRON embedded in minimum 2" thick bed of mortar mix.

Maximum Design Pressure: 167.5 psf

Maximum Slope: N/A

(AL) 305-632-3800

Frank Zukaga RRC Roofing Product Control

General Limitations:

1. A copy of the integrity test described in this approval shall be provided to the Building Official at time of final inspection.
2. Fire ratings are determined by a combination of slope, deck type and assembly. CCW-500 does not require a separate fire rating. Fire ratings shall be in compliance with Sections 3401.5 and 3401.6 of the South Florida Building Code.
3. All work shall be performed by a Contractor licensed to do roofing/waterproofing work in Miami-Dade County. Contractor shall be familiar with the details and specifications published by the manufacturer and shall be approved by the manufacturer.
4. The submission of system specifications and details shall accompany the Section II Building Code Permit Application. This information is available in the publications listed in the "System Description" of this Product Control Approval. Submission of these documents, as well as the proper application and installation of all materials shall be the sole responsibility of the contractor.
5. Flashings shall be installed according to the manufacturer's standard details, specific details, approved by the manufacturer, shall be submitted with the Section II Permit Application.
6. Carlisle Hot Applied Liquid Membrane Systems shall not be exposed and shall be protected by a protection sheet or other approved protection method from traffic.



 Frank Zuloaga RRI
 Roofing Product Control Examiner

Carlisle Coatings & Waterproofing Inc.
 8810 W. 190 St.
 Naples, OK 34104

ACCEPTANCE NO: 22-011282
 APPROVED: February 25, 2000
 EXPIRES: February 25, 2003

NOTICE OF ACCEPTANCE STANDARD CONDITIONS

1. Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documentation, including test supporting data, engineering documents, and an expiration eight (8) years.
2. Any and all approved products shall be permanently labeled with the manufacturer's name, tag, date, and the following statement: "Miami-Dade County Product Control Approved", or as specifically stated in the specific conditions of this Acceptance.
3. Renewals of Acceptance will not be considered if:
 - a) There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes.
 - b) The product is no longer the same product (identical) as the one originally approved.
 - c) If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product.
 - d) The engineer who originally prepared, signed and sealed the required documentation initially submitted is no longer practicing the engineering profession.
4. Any revision or change in the materials, use, and/or manufacture of the product or process that, in any way, may be cause for termination of this Acceptance, unless prior written approval has been requested through the filing of a revision application with appropriate fee and granted by this office.
5. Any of the following shall also be grounds for removal of this Acceptance:
 - a) Unsatisfactory performance of this product or process.
 - b) Misuse of this Acceptance as an endorsement of any product for sales advertising or other similar purposes.
6. The Notice of Acceptance number printed by the words Miami-Dade County, Florida, and the date of expiration date may be displayed in advertising materials. If any portion of the Notice of Acceptance is displayed, then it shall be done at its entirety.
7. A copy of this Acceptance as well as approved drawings and other documents, when stamped and sealed, shall be provided to the user by the manufacturer or its distributor and shall be available for inspection at all times. The copies need not be rescaled by a re-examiner.
8. Failure to comply with any section of this Acceptance shall be cause for termination and removal of this Acceptance.
9. This Acceptance contains pages 1 through 11.
 END OF THIS ACCEPTANCE


 Frank Zuloaga RRI
 Roofing Product Control Examiner



DESCRIPTION

The CCW-500-R System utilizes CCW-500 Hot Applied Liquid Membrane, a single component, rubberized asphalt compound that forms a tough, flexible, thick, waterproofing membrane. Its rubber-like properties provide a self-healing characteristic which helps ensure waterproofing integrity. CCW-500 adheres tenaciously to virtually any sound surface, vertical or horizontal to assure water will not migrate beneath the membrane in the event of physical damage. The fast set up time speeds the completion of waterproofing. CCW-500 Hot Applied Liquid Membrane is applied to a thick, monolithic coating utilizing CCW Reinforcing Fabric which allows for a wide variety of substrate conditions.

TYPICAL USES

CCW-500-R is used for waterproofing split slab construction projects and is especially suited as the waterproofing membrane on roof decks using the inverted roof system.

LIMITATIONS

- Not recommended for exposed or wearing surface. Not recommended over lightweight insulated concrete. If metal pan is used for concrete form, the metal pan must be coated.
- Consult with Carlisle's representative before using CCW-500-R on any type lightweight concrete, concrete with curing compounds or additives, decks which have existing waterproofing materials.
- Do not apply to damp, frosty or contaminated surface.

PACKAGING

CCW-500 is packaged in 45 lb. blocks, one block per carton, 64 cartons per pallet. Each block is sealed in a polyethylene bag inside the carton. The block, including the bag, is placed in the bottle, leaving only disposal of the carton.

The CCW Reinforcing Fabric is packaged in rolls of 36" x 667' (2000 sq ft) weight approx. 26 lbs., 56" X 610' (3000sq ft) weight approx. 39 lbs.

APPLICABLE STANDARDS

1. Canadian Specification CGSB-37.50-M88
2. UL 790 Class A
3. City of New York MEA603-06-M

CCW-500-R
 REINFORCED HOT APPLIED
 LIQUID MEMBRANE SYSTEM

COVERAGE

The following is a guide to estimate the amount of membrane required for various substrate thicknesses.

- 215 mils applied = 1.10 sqft/ft² = 7 ft²/gal.
- 180 mils applied = 1.00 sqft/ft² = 6 ft²/gal.
- 150 mils applied = .83 sqft/ft² = 5 ft²/gal.
- 125 mils applied = .69 sqft/ft² = 4 ft²/gal.
- 90 mils applied = .50 sqft/ft² = 3 ft²/gal.
- 75 mils applied = .42 sqft/ft² = 2 ft²/gal.

PROPERTY	TEST METHOD	RESULTS
Bottle content	ASTM D-1991 (9)	100%
Flow	ASTM D-1991 @ 140°F, 1 min min	
Penetration (FT/30 sec)	ASTM D-1991 @ 140°F = Avg. 97 @ 122°F = Avg. 98	
Flash Point	ASTM D-92	480°F
Water Vapor Permeance	ASTM E-96 (3)	.225 perms
Toughness	CGSB-37.50-M88	29.2
Ratio of Toughness to peak load	CGSB-37.50-M88	.12
Adhesion	CGSB-37.50-M88	Pass
Softening	ASTM D-36	213°F
Viscosity	CGSB-37.50-M88 Brookfield	670 cps @ 100°F
Water Absorption	CGSB-37.50-M88	24 hrs. = 20% 48 hrs. = 22% 72 hrs. = 20% 60 hrs. = 25%
Flexibility	CGSB-37.50-M88	No visible plasticity
Low Temperature Stability	CGSB-37.50-M88	No cracks or loss of adhesion
Low temperature crack healing	CGSB-37.50-M88	No cracks or loss of adhesion
Heat stability	CGSB-37.50-M88	No change in viscosity, penetration, flow or low temp stability after aging
Resistance to mild acids		No effect
Minimum ambient temperature for application		67°

WARNINGS AND HAZARDS

Use with adequate ventilation. Workers must use proper protection to prevent burns. Refer to the MSDS for important warnings and product information.

INSTALLATION

Preparation: New concrete shall be water cured, light, fair to good finish and in place for 14 days minimum, 21 days preferred. Surface shall be structurally sound, dry, and free of dust, dirt, laitance, oil, grease, or other contaminants which may affect curing agent or other components which may be applied to the membrane.

Reinforcing steel, pipe, or other projections to protrude through the membrane, rock pockets, or other voids and indentations with approved patching compound.

On all surface at cold joints where each pour is at a different plane to provide a smooth and level surface.

Work: Mix CCW-501 Sealant and apply a 1-1/2" X 1/4" bead of sealant over the joint. Apply CCW-501 Sealant and apply a 1-1/2" X 1/4" bead of sealant over the joint. Apply CCW-501 Sealant and apply a 1-1/2" X 1/4" bead of sealant over the joint.

Expansion joints and drains per manufacturer's recommendation.

Apply a thin, even coat of CCW-500 Primer to the entire surface to seal the substrate. Apply primer at a rate of 350-450 sq. ft. per gallon. Allow the primer to dry. Note: Membrane will not properly adhere to wet primer.

Apply CCW-500 Hot Applied Membrane to the primed surface, including over all previously detailed areas, at a rate of 20 sq. ft. per gallon (75 mil) for 150 mil systems and 10 sq. ft. per gallon (30 mil) for 75 mil systems. Apply CCW Reinforcing fabric while membrane is warm and tacky. Apply second coat of CCW-500 Hot Applied Membrane at the rate required to obtain the specified total system thickness.

Note: When CCW-500 Hot Applied Liquid Membrane is installed on the flange of a low slope drain, use care not to fill the weep holes.

Flood Test: (Optional and at the direction of structural engineer) Plug drains and provide necessary barriers to contain flood water. Flood deck with 2" head of water and check for leaks after 24 hours.

Protection Course: The membrane must be protected from damage. Install CCW Sure Drain™ or CCW Protection Board immediately following flood test.

REPAIRS
In the event the CCW-500 Hot Applied Liquid Membrane is damaged, clean the area with a clean wet cloth and apply CCW-500 Hot Applied Liquid Membrane to the damaged area.

LIMITED WARRANTY
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The dollar value of Carlisle's liability and buyer's remedy under this limited warranty shall not exceed the purchase price of the Carlisle material in question.

Application: Blocks of CCW-500 shall be melted in a twin shaft kettle with continuous agitation. Caution: Do not exceed maximum safe operating temperature of 400°F.

Carlisle Coatings & Waterproofing Incorporated
Subsidiary of Carlisle Corporation
P.O. Box 1000, Seaside, OR 97137-1000
Telephone: 1-800-338-4701
Website: www.carlisle-cow.com



**CCW-711-90
90 MIL SHEET
MEMBRANE & FLASHING**

DESCRIPTION
CCW-711-90 Sheet Membrane and Flashing is a 90 mil thick composite consisting of a self-adhering rubberized asphalt membrane laminated to a high strength, heat resistant woven polypropylene mesh. A silicized release liner prevents the material from sticking to the roll, and is easily removed for installation. The factory controlled quality assures uniform thickness on the job, while the inherent waterproofing properties of the rubberized asphalt membrane provide an excellent water barrier. The woven mesh is designed to withstand high temperatures, allowing the membrane to become an integral part of the CCW-500 Hot Applied Membrane System.

TYPICAL USE
CCW-711-90 Sheet Membrane and Flashing is primarily designed to be used in conjunction with CCW-500 Hot Applied Membrane. It may be used as a preformed first course on difficult to coat substrates such as lightweight structural concrete. As a flashing, it provides a reinforced, uniform 90 mil layer on vertical surfaces while reinforcing cracks and joints.

- LIMITATIONS**
- Not recommended in areas where membrane will be subject to continuous exposure to sunlight.
 - Do not apply primer or membrane to frozen concrete. Between 25° and 40°F use CCW-711-90LT Low Temperature Membrane.
 - Do not apply primer or membrane to damp, frothy, or contaminated surfaces.
 - Not recommended for use over sealants containing coal tar or polysulfides. If these materials are present, they must be removed and the surfaces thoroughly cleaned.

- ADVANTAGES**
- When used as a first course, this reinforced membrane provides a uniform, pebble-free layer, providing an excellent substrate for the monolithic hot applied layer.
 - As a flashing for the CCW-500 System, the membrane combines the strength of the woven mesh with the self-adhering and elastic properties of the rubberized asphalt. This combination provides a durable, reinforced flashing.
 - The membrane adheres tenaciously to the primed substrate while the CCW-500 Hot Applied Membrane bonds with the mesh, assuring a waterproof condition.
 - The inherent durability and heat resistant properties of the mesh ensures the integrity of the membrane when the CCW-500 Hot Applied Membrane is installed over it.

TECHNICAL DATA

PROPERTY	ASTM	RESULTS
Tensile Strength	D-882	53 lb./in.
Elongation*	D-882	300%
Persistence (perms)	E-96 (B)	0.1
Pliability	D-148	Pass @ -25°F, 1/4" mandrel
Puncture Resistance	E-154	200 lbs

*% Elongation to failure of rubberized asphalt membrane

PACKAGING
18" x 45' (87.5 sq. ft.) 50 rolls/pallet, 38 lbs./roll
36" x 45' (135 sq. ft.) 25 rolls/pallet, 75 lbs./roll
48" x 32' (128 sq. ft.) 25 rolls/pallet, 70 lbs./roll

INSTALLATION

Surface Preparation: Structural concrete shall be in place for 7 days minimum (14 days preferred) and shall be dry. Lightweight, air-entrained structural concrete shall be in place for 14 days minimum (21 days preferred) and shall be dry. Surface shall have a smooth finish and be free of voids, spalled areas, sharp protrusions, loose aggregate, lullance and form release agents. Curing agents containing wax, oil or pigments must not be used. Only self-dispersing type curing agents are acceptable. Formwork should be removed as quickly as possible. If metal decking is used as a permanent form, the metal must be vented.

Primer: Apply CCW-702 Primer by spray or with a long nap roller at 250 to 300 sq. ft. per gallon. At 75°F, allow primer to dry 1 hour minimum. Prime only areas to be waterproofed the same day. Reprime if area becomes dirty. Primer has a shelf-life of 12 months when it will not transfer when touched.

Full Coverage Installation: Apply CCW-711-90 Sheet Membrane from low to high point, so that lap seams will shed water. Overlay edge seams 2 1/2 inches, and seams 4 inches and staggered. Snap a chalk line for a starting point. Pull back about 2 feet of release paper and place adhesive side of membrane along chalk line. As the roll is dispensed, simultaneously remove the release paper and maintain alignment along the chalk line. Immediately after installation, weigh the membrane with a metal roller 16" to 24" wide and at least 100 lbs. CCW-500 Hot Applied Membrane may be applied immediately. Prime CCW-711-90 if membrane surface becomes dirty before CCW-500 can be installed.

Flashing Installation: Install a 1" x 1" cart of CCW-201 Sealant in all inside corners, and around projections and penetrations. Allow sealant to cure overnight. Prime all areas to receive flashing. Apply CCW-711-90 Flashing to the height specified (8" minimum recommended). Final height shall be below the finished deck surface. Extend flashing 4" minimum onto the horizontal deck surface.

Termination: Terminate membrane on vertical surfaces per Carlisle 500-G Details. Press terminating edge firmly in place with a hand roller, hammer handle or similar tool. Apply CCW-704 Mastic or CCW-500 Hot Applied Membrane to all terminating edges and "T"-joints.

Note: Failure to use appropriate pressure at terminating edges will result in poor seal and potential leak. The use of mastic is not a substitute for a good seal.

Protection: CCW-711-90 Sheet Membrane must be protected from damage prior to installation of CCW-500. The applicator may install a temporary protection course of CCW Protection Board-HI or plywood walkways if required by jobsite conditions. This protection course must be removed before installation of the CCW-500.

WARNINGS AND HAZARDS
Avoid contact with eyes and skin. Wash thoroughly after use. Avoid breathing vapors from the primer and mastic. Use these only in areas with adequate ventilation. Refer to MSDS for important warnings and safety information.

STORAGE
Protect material from excessive heat and cold. Store materials away from open flames, sparks, or welding. For outside storage, protect materials from direct sunlight, rain or other harmful environmental conditions.

LIMITED WARRANTY
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Subsidiary of Carlisle Corporation
P.O. Box 1000, Seaside, OR 97137-1000
Telephone: 1-800-338-4701
Website: www.carlisle-cow.com



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CCW-550

DESCRIPTION

CCW-550 Primer is a single component, solvent based primer especially designed to promote adhesion of the CCW-500 Hot Applied Liquid Membrane by preparing the concrete surface.

TYPICAL USES

Use on all concrete surfaces to which CCW-500 Hot Applied Membrane is to be applied.

PACKAGING

CCW-550 Primer is packaged in 5 gallon pails and 55 gallon drums.

COVERAGE

Coverage rate will vary. The following is a guide, but Carlisle Coatings & Waterproofing Incorporated can not guarantee coverage rates. The concrete should show a deep stain as opposed to being fully colored black.

For smooth, hair broom finish concrete	350 to 450 sq. ft. per gallon
For rough finish concrete	250 to 350 sq. ft. per gallon

APPLICATION

CCW-550 Primer is best applied with airless spray equipment. CCW-550 Primer can also be applied by roller. Use a screen in the pail to roll off excess primer. Primer has a satisfactory cure when it will not transfer when touched. Prime only areas to be waterproofed the same day. Reprime if area becomes dirty or wet.

WARNINGS

Flammable liquid and vapors. Use only with adequate ventilation. Keep liquid and vapors away from open flames. Avoid contact with eyes and skin. In the event of contact, wash off immediately. Wear protective clothing, especially impervious rubber gloves and eye protection. Refer to the MSDS for important warnings and product information.

TYPICAL PROPERTIES

Color	Black
Weight per gallon	7.5 lbs.
VOC Content	660 g/l
Tack Free Time	1 hour @ 77°F
Flash Point	44°F

LIMITED WARRANTY

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CCW-550 500 pp



Carlisle Coatings & Waterproofing Incorporated
Subsidiary of Carlisle Companies
P.O. Box 1000, Dayton, OH 45407-1000
Telephone: 1-800-335-6701
Website: www.carlisle-cw.com



CCW-201
MULTI COMPONENT, SINGLE BASE
NON-SAG POLYURETHANE SEALANT

DESCRIPTION

CCW-201 is a multi-component, chemical curing, low modulus, non-sag, polyurethane sealant especially formulated for dynamically moving joints. CCW-201 is designed to provide long term performance +50% movement capability and excellent weathering characteristics. CCW-201 offers primerless adhesion to commonly used construction materials.

TYPICAL USES

CCW-201 is recommended for joints in fill-up construction, pre-cast panels and other masonry surfaces, joints in metal curtain wall, sealing window and door perimeters, control joints, and for most horizontal joints in decks or pavements.

LIMITATIONS

- CCW-201 Sealant is not recommended for:
 - Structural, Butt, Cap, Heel or Toe Bead glazing with certain glass or acrylic sheets.
 - Joints less than 1/4" wide x 1/4" deep.
 - Continuous immersion without a primer. (Avoid continuous immersion applications if chlorine content is greater than 3ppm).
 - Painted surfaces without prior testing.
 - Damp or contaminated surfaces, especially joints with polysulfide residue.
 - Consult manufacturer when temperature is below 40°F.

PACKAGING AND COLORS

1.5 Gallon kit (in 2 gallon pail, plus color pack)
Standard color packs: White, Off White, Gray, Tan, Precast, Limestone, Bronze, Redwood Tan, Charcoal, Beige and Buff.

Note: Sealant colors may be affected by acid type cleaning solutions.

Color Pack must always be used.

PROPERTY	TEST METHOD	RESULTS
Elongation	ASTM D 412	700%
Tensile Strength	ASTM D 412	200 psi
Hardness	ASTM C 601	30AS Shore A
Tack Free	ASTM C 679	12 hours
Pot Life	ASTM C 603	4-142 hours
Sag (Shunt)	ASTM C 639	1/16" Maximum
Adhesion-to-steel	ASTM C 734	20 lb./in.
Adhesion after cyclic movement	ASTM C 719	±50% movement
Weight Loss	ASTM C 782	3% wt. loss
Crack & Chalk	ASTM C 782	None
Chalking	ASTM C 510	No stain

Values typical at standard conditions: 77°F, 50% RH.
* After Post Aging ** Filled concrete

APPLICABLE STANDARDS

Fed Specifications TT-S-0227E, Type II, Class A
ASTM C 920-79 Type M, Grade NS, Class 25

INSTALLATION

Joint Design: Width of joint should be 4 times the anticipated joint movement. Minimum width and depth of joint shall be 1/4"

Surface Preparation: Joint surfaces must be dry, clean and free of dust, laitance, or contamination which may affect the adhesion of the sealant. Saw cut, grinding, wire brush, sand blast or solvent cleaning may be required.

In the event of mechanical cleaning, solvent wipe joints and allow solvent to evaporate.

Joint Backing: Backer rod shall be flexible, closed cell polyethylene. The backer rod should be 1/2" to 1/4" larger in diameter than the joint width. Use a blunt tool to install the backer rod to prevent puncture or damage. Do not stretch the rod when installing.

In the event depth of joint prevents use of a backer rod, bondbreaker tape must be installed to prevent three sided adhesion.

of Sealant: Joint width 1/4" to 3/8" sealant joint width; joint width 1/2" to 1" sealant joint width; joint width greater than 1": sealant joint width shall be 1/2" to 5/8" (max.).

Use of Sealant: Not required except for continuous installation. Use CCW-555 Primer for porous surfaces, CCW-555 for metal. Consult with the Carlisle Representative for metal. Consult with the Carlisle Representative for metal.

Due to the use of mineral building materials and sealants, it is recommended that field test be made to ensure proper adhesion. Adhesion and granule loss tests, requiring field test to determine acceptance of site bleeding.

Use a flat paddle with a heavy duty drill motor. Use Base until it is a smooth, heavy liquid. Add the color pack to the Base and mix until the color is completely blended, of an even color with no streaks. (Color packs must be used.) Mixing time is 10 minutes. Scrape sides of container and the mixing paddle periodically during mixing.

Use of exchange catalyst from one unit to another. Each unit must be properly cleaned. Mix only consistent.

Application: Apply sealant with standard caulking equipment using sufficient pressure to ensure complete filling of the joint.

Preparation: Using proper shape and size tool for joint, tool immediately after application. Use sufficient pressure to ensure any air which may be in the sealant is forced out, and that sealant is pressed firmly against the surfaces of the joint.

Clean-Up: Remove uncured sealant and clean tools or equipment with acetone or toluene.

Precautions: Xylene and acetone are combustible solvents. Observe solvent manufacturer's instructions and precautions.

MAINTENANCE: If sealant is damaged, cut out damaged portion, apply CCW-555 Primer and apply new sealant.

WARNINGS AND HAZARDS

Avoid breathing vapors. Avoid contact with the skin and eyes. In the event of contact with the skin, clean off immediately and wash in warm soapy water. Refer to MSDS for other important warnings and product information.

SHELF LIFE

All temperatures below 60° F, shelf life is 12 months in the original, unopened container.

LIMITED WARRANTY

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COVERAGE

The following table is a guide to estimate the number of linear feet of various size joints filled by one gallon of sealant.

Joint Depth	Joint Width					
	1/4"	3/8"	1/2"	5/8"	3/4"	1"
1/4"	330	210	142	100	70	50
3/8"				65	45	30
1/2"					30	20

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 Subsidiary of Carlisle Corporation
 P.O. Box 1000, Shepsuap, OK 74067-1000
 Telephone: 1-800-338-8701
 Website: www.carlisle-cow.com



DESCRIPTION

Carlisle CCW-704 is a solvent base, rubberized bitumen mastic. After evaporation of the solvent, the remaining compound is a rubber-like material that adheres tenaciously to the polyethylene face of the sheet membrane.

USE

CCW-704 Mastic is used as a secondary seal on the seams, T-joints, overlaps and other terminations of the CCW Sheet Membrane waterproofing. It is designed for use on the top surface and edges of the CCW Sheet Membrane and should never be used underneath the membrane.

COVERAGE RATE

A 1/2" bead yields approximately 100 linear feet per gallon. Estimate one 30 oz. tube for "T" joint and end lap treatment for every 200 sq. ft. of membrane installed.

PACKAGING

Quart Cartridges 12 cartridges per case
 Five gallon pails 45 pails per pallet

WARNINGS AND HAZARDS

Contains combustible solvents. Use only with adequate ventilation. Avoid contact with the skin, especially open breaks in the skin. In the event of skin contact, remove immediately and wash with hot, soapy water. Refer to MSDS before use for other warnings and product information.

LIMITED WARRANTY

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TECHNICAL DATA

Color	Black
Weight	10.4 lbs/gallon
Viscosity	Brookfield #5 @ 20 rpm <4,000 poise
VOC (Volatile Organic Compound)	200 grams per liter max.
Flash Point	104°F

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 P.O. Box 1000, Shepsuap, OK 74067-1000
 Telephone: 1-800-338-8701
 Web Site: www.carlisle-cow.com



SURE-DRAIN™ DRAINAGE COMPOSITES

DESCRIPTION

SURE-DRAIN Drainage Composite replaces costly, old style aggregate drains of stone, pipe and fabric.

SURE-DRAIN-V is a high-impact polystyrene core covered on one side with a non-woven, needle-punched polypropylene filter fabric and on the other with a solid polymeric film. The film provides extra protection for waterproofing membranes under high static loads.

SURE-DRAIN-H consists of a high compressive strength, high-impact polystyrene core covered on one side with a non-woven polypropylene geotextile filter fabric.

SURE-DRAIN-HD uses a woven polypropylene filter fabric. The fabric allows water to pass into the drain core while restricting the movement of soil particles which might clog the core. The core allows water to flow to designated drainage exits.

TYPICAL USE

SURE-DRAIN-V is designed for use in vertical, below grade applications such as waterproofed foundation walls, retaining walls, and tunnels.

SURE-DRAIN-H is designed for use in horizontal applications between concrete slabs or with pavers. SURE-DRAIN-HD is intended for use on horizontal decks or in planters; overburden may be soil, concrete, or pavers.

SURE-DRAIN is an approved protection course over all Carlisle Waterproofing Systems.

LIMITATIONS

- Consult Carlisle Representative in the event of unusual soil or environmental conditions. Hydrocarbon resistant version of SURE-DRAIN composite are also available.
- Not recommended for exposed conditions. Backfill should be placed within 2 weeks to prevent damage.
- Construction traffic, vehicles and equipment should not be allowed directly on the SURE-DRAIN.
- Do not use SURE-DRAIN-H with soil or compacted earth overburden.

PACKAGING

SURE-DRAIN is packaged in rolls 4' wide by 50' in length. Other thicknesses, fabrics and configurations are available by special order.

STORAGE

Protect materials from excessive heat or cold. Store away from open flames, sparks or smoking. Protect from rain, direct sunlight or any harmful environmental conditions during jobsite storage.

TECHNICAL DATA

PROPERTY	METHOD	ASTM TEST		
		TYPE "V"	TYPE "H"	TYPE "HD"
CORE				
Color	—	Black	Black	Black
Thickness	D-1777	0.25"	0.437"	0.25"
Compressive Strength	D-1621	15,000 psi	16,000 psi	21,000 psi
FILTER FABRIC				
Crab Tensile, lbs.	D-4832	115	200	410 X 285
Flow Rate	D-4491	170 gpm/ft ²	80 gpm/ft ²	28 gpm/ft ²
Opening (Std Sieve)	D-4751	80	100	80
Weight	D-3778	4.0 oz/yd ²	8.0 oz/yd ²	8.8 oz/yd ²
Transverse Tear Strength, lbs.	—	50	80	110 X 70
Permeability, cm/sec	D-4491	0.20	0.10	0.011
Puncture Strength, psi	D-3787	70	130	185
ASSEMBLY				
Flow Rate	D-4716	9 gpm/ft ²	15 gpm/ft ²	9 gpm/ft ²

INSTALLATION

SURE-DRAIN can be attached to the CCW waterproofing with double face tape, construction adhesives, or most approved methods used for adhesion protection board. Do not use materials incompatible with Carlisle representative bottom using adhesives. SURE-DRAIN-H and HD may be loosely laid on horizontal substrates directly over Carlisle waterproofing membranes. Temporary ballasting is required if high winds are expected prior to overburden placement.

Make all overlaps of core and fabric edges in a shingle fashion so that water flows in the same direction as the overlap. If necessary, use tape or spray adhesive to keep fabric in place prior to backfilling. To attach the end of a roll of drain to the end of the next, peel back filter fabric and overlap two rows of dimples. Press to interlock the panels, then pull the fabric back over the joint, overlapping both in the direction of expected water flow.

All finishing edges of the drainage composite should have extra fabric folded behind core to seal the edge and prevent soil from entering the core.

VERTICAL WALL: Place the first panel of SURE-DRAIN-V at the bottom of the wall. Install with the flange edge up, the geotextile filter fabric out, and the polymeric film against the wall. Where a drain pipe will be used, position the lower end of core horizontally to allow drainage pipe to rest on core. Pull fabric around pipe and back under core. If weep holes or discharge pipes in the wall are used instead of a drain pipe, cut 1/2" holes in the flat back of the core at these locations; do not cut fabric. Place the lower edge of next panel (edge without a flange) overlapping the flange of the previously installed panel. Overlap the fabric in the direction of the water flow.

HORIZONTAL DECK: Install SURE-DRAIN-H or HD with the geotextile fabric side up. The flange edge of the core should be placed up slope, away from the drains, so that subsequent layers will overlap in a shingle fashion to shed water. Cut core and fabric to fit tightly around floor drains. Ensure that paths to weep holes on two stage drains will remain open. Concrete, sand or mortar may be placed directly on SURE-DRAIN-H or HD. Use care to prevent puncture or tearing of the geotextile filter fabric.

LIMITED WARRANTY

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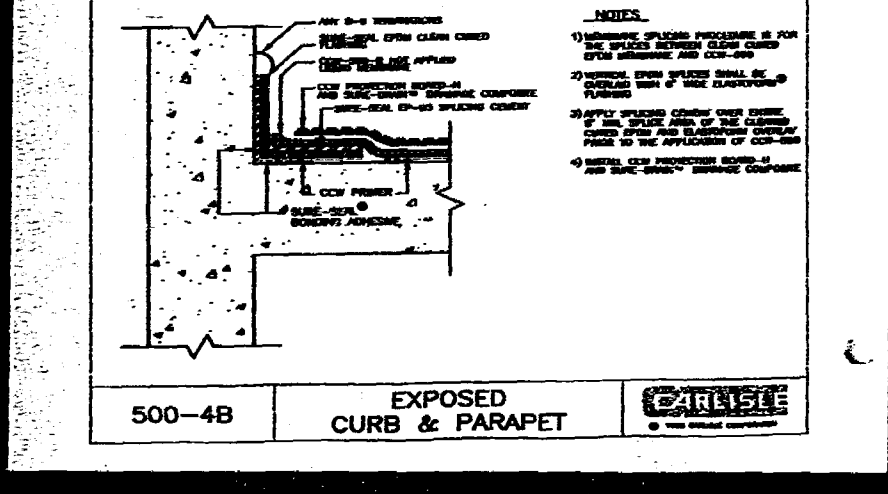
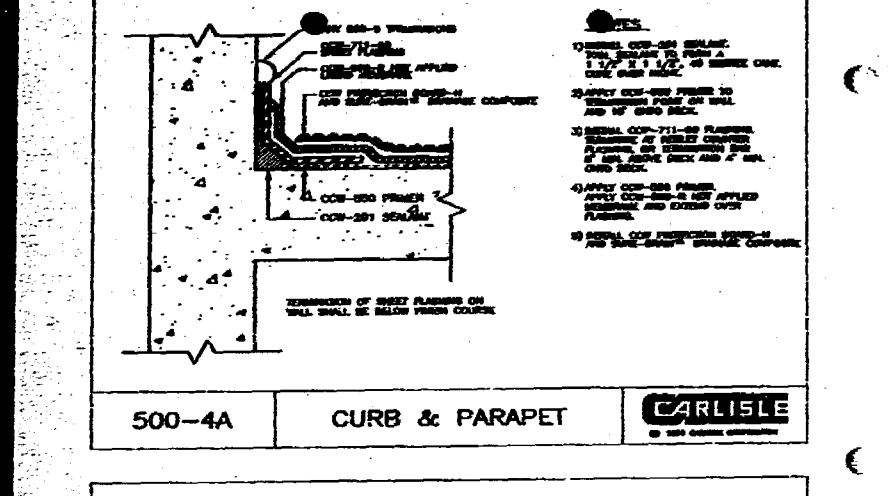
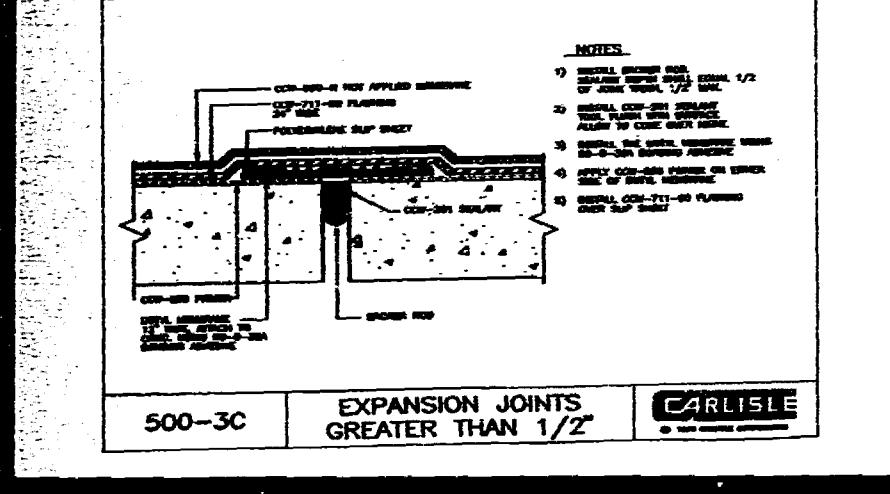
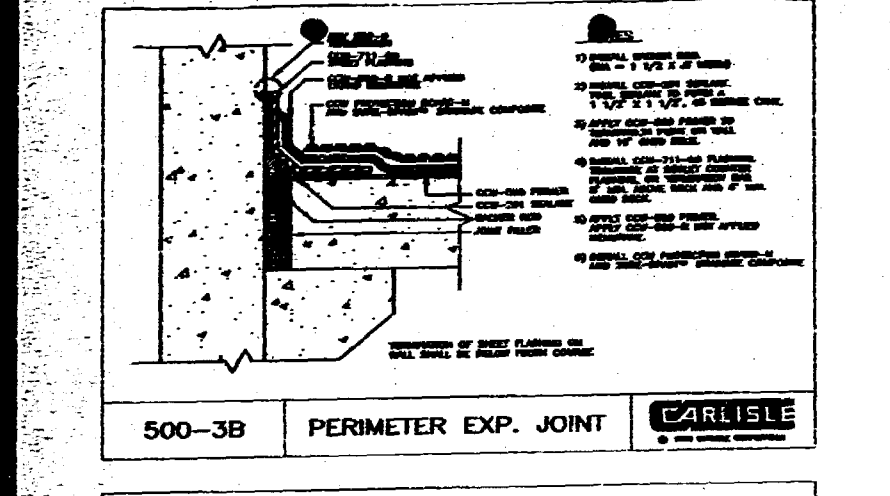
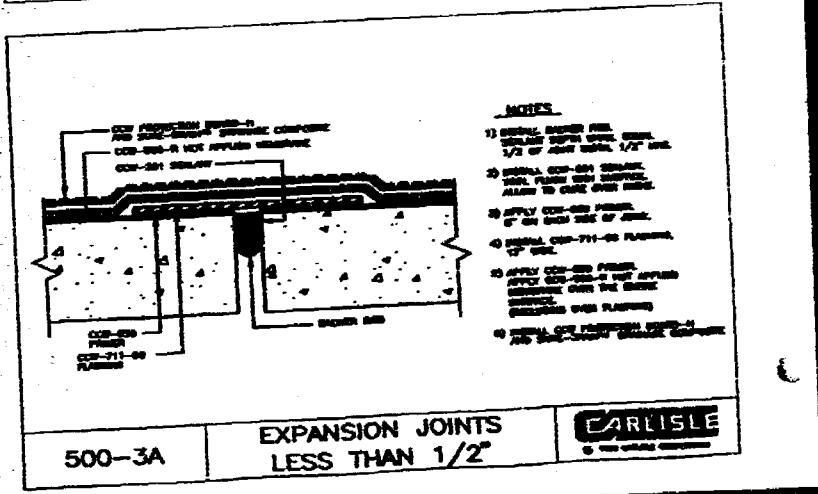
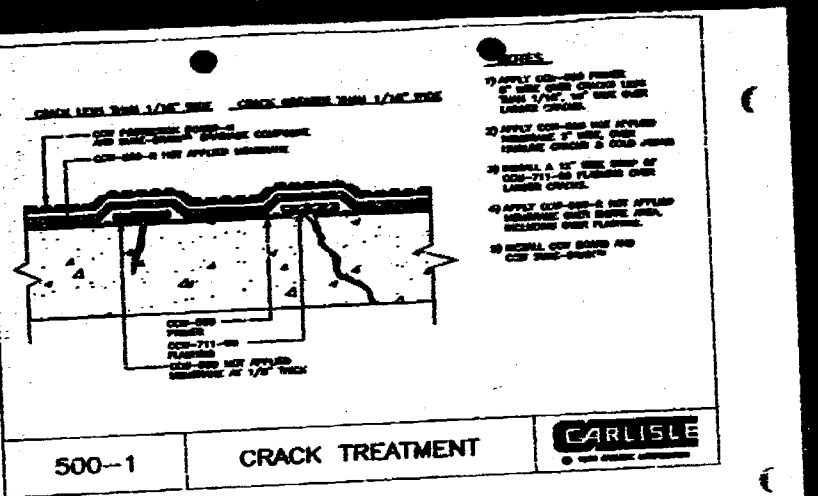


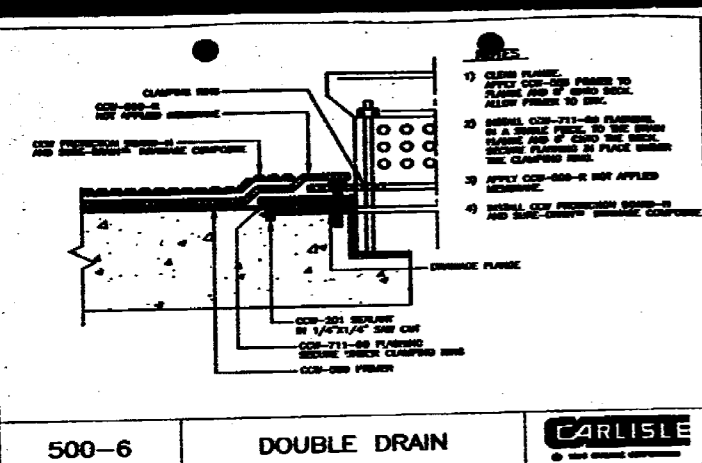
Carlisle Coatings & Waterproofing Incorporated
Subsidiary of Carlisle Corporation
P.O. Box 1690, Sandusky, OH 74887-1690
Telephone: 1-800-336-6701
Website: www.carlisle-cw.com

ARCHITECTURAL DETAILS

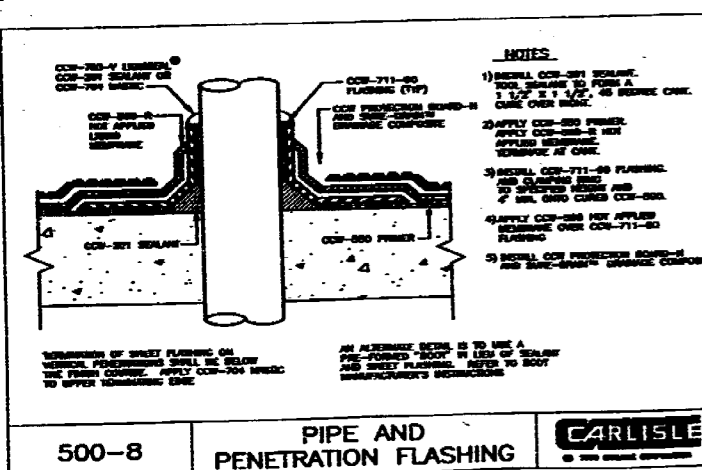
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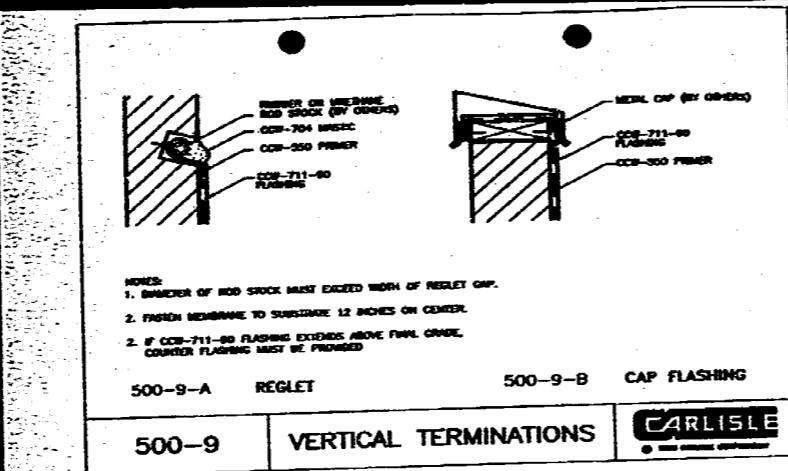




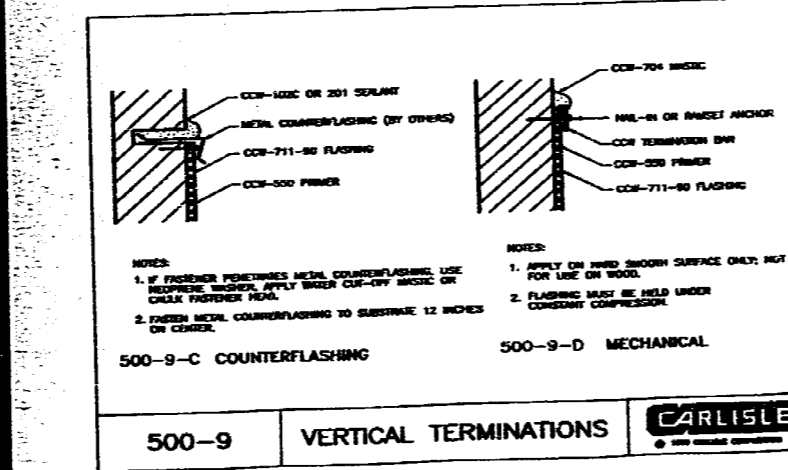
500-6 DOUBLE DRAIN **CARLISLE**



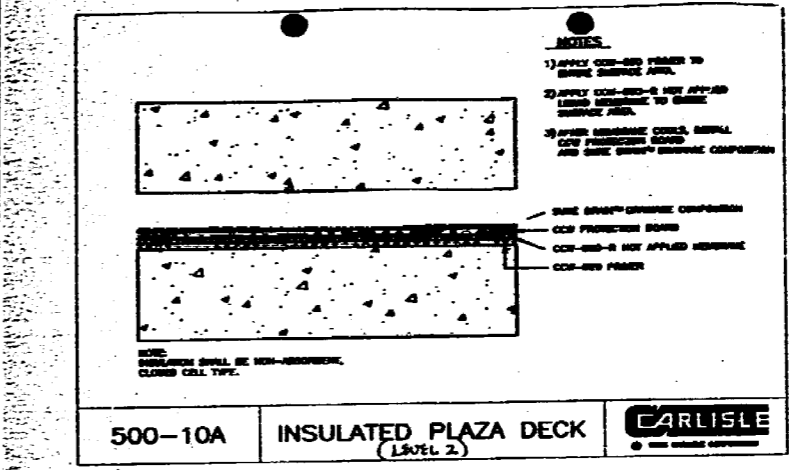
500-8 PIPE AND PENETRATION FLASHING **CARLISLE**



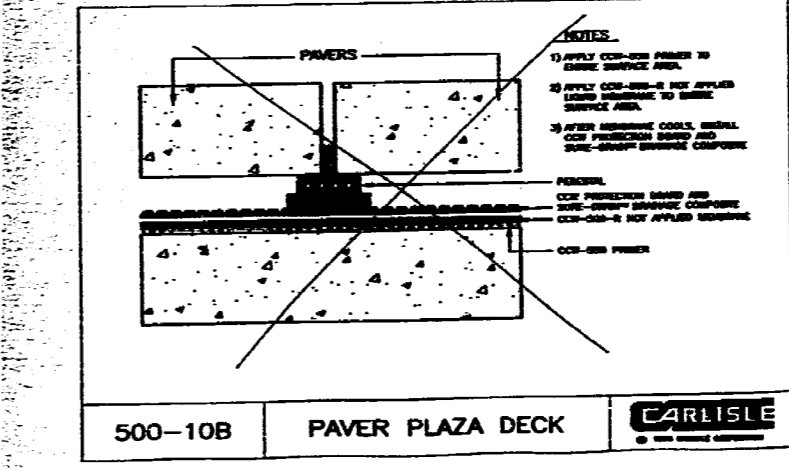
500-9-A REGLET 500-9-B CAP FLASHING
500-9 VERTICAL TERMINATIONS **CARLISLE**



500-9-C COUNTERFLASHING 500-9-D MECHANICAL
500-9 VERTICAL TERMINATIONS **CARLISLE**



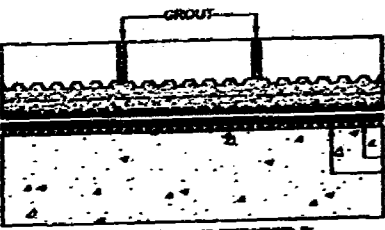
500-10A INSULATED PLAZA DECK (Level 2) **CARLISLE**



500-10B PAVER PLAZA DECK **CARLISLE**

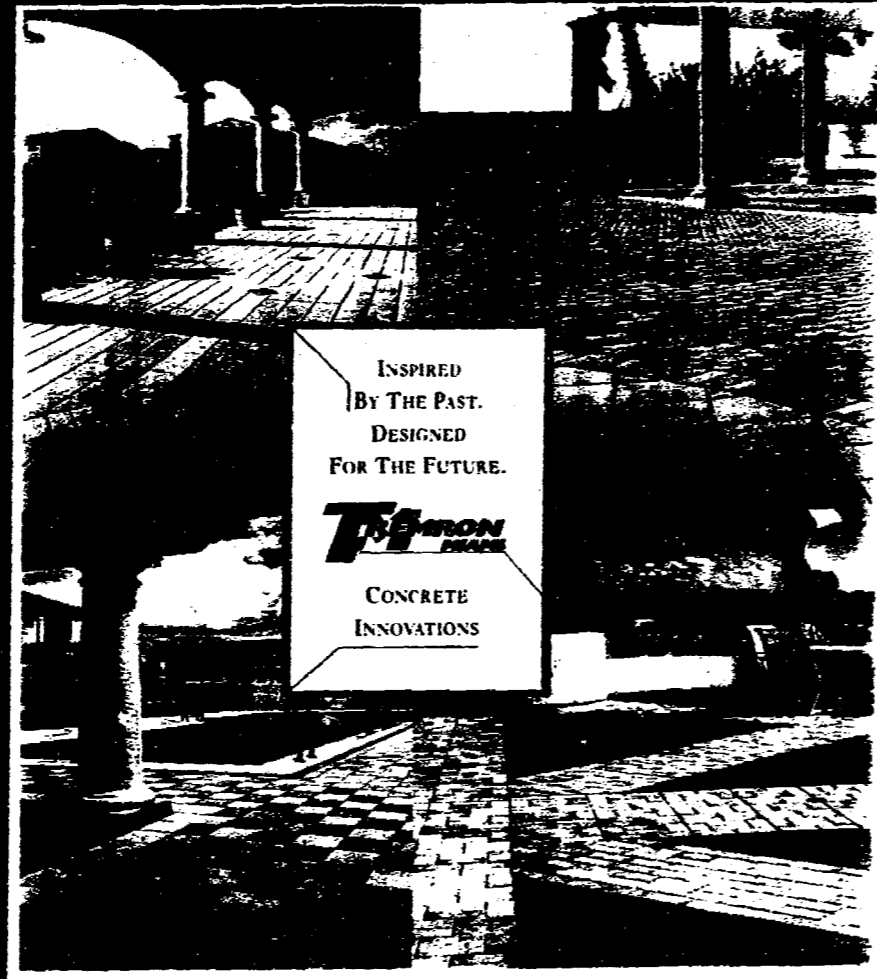
NOTES:

- 1. APPLY CARLISLE PAVES TO EXISTING SURFACE AND
- 2. APPLY CARLISLE-2000-2000 AND APPLIED SANDS TO EXISTING SURFACE AND
- 3. AFTER REMOVING CURB, REPAIR AND FINISH EXISTING SURFACE
- 4. REMOVE AND 2" MIN. THICK REINFORCED CONCRETE (OPTIONAL) AND FINISH EXISTING SURFACE AND SANDS TO EXISTING SURFACE
- 5. CARLISLE-2000-2000 NOT APPLIED WHERE CARLISLE-2000-2000 IS NOT APPLIED



SEE THE INSTALLATION MANUAL FOR AN RECOMMENDED BY THE CEMENT BOARD

500-10C MORTAR BED W/ PAVER PLAZA DECK (LENGLS 4-7) **CARLISLE**



INSPIRED BY THE PAST. DESIGNED FOR THE FUTURE.

TRIFERRON

CONCRETE INNOVATIONS

INSTALLATION PROCEDURES

- 2 3/8" PAVES SPECIFICATIONS**
- Excavate unsuitable, unstable or unconsolidated subgrade material and compact the area which has been cleared. Backfill and level with dense graded aggregate suitable for base material (Interlock screenings). Typically 4-6 inches of compacted base for light vehicular and pedestrian use, increasing to 8 1/2 inches for heavy vehicular and industrial use. (Or as otherwise directed by Site Engineer).
 - Place bedding course of washed concrete sand conforming to the grading requirements of ASTM C-33 to a uniform depth of 1-1 1/2 inches levelled to the grade and profile required. (DO NOT USE MASON SAND) Using a level 2 x 4 or PVC pipe, screed the sand to the desired level and leave loose.
 - Install Triferron Miami paving stone product desired. Allow approximately 1/8" to 1/16" joint width between pavers. Triferron paving stones with spacers automatically provide required joint.
 - Where required cut pavers to fit accurately, neatly and without damaged edges (use guillotine type stone cutter or masonry saw).
 - Tamp pavers with a vibratory plate compactor, uniformly, true to grade desired and free of movement.
 - Insert additional sands into joints to complete the installation process.
- 1" PAVES SPECIFICATIONS***
- The 1" paver is a durable product manufactured for the purpose of resurfacing pool decks, patios and walks. Ideal for placement on existing shotcrete/curb without having to remove existing surfaces.
 - The 1" paver can be installed on a sand bed just like the regular 2 3/8" paver (pedestrian traffic only) or on thin set like tile installation.
 - On sand installation, use minimum sand (maximum 7/8"), as necessary to obtain the desired patch.
 - When all the cuts and borders are in place, sweep silica sand with water until installation was 1/2 inch dry. Go over all installation and level off any paver not in height with a rubber mallet. Sweep job clean and replace any pavers that may be chipped.
 - Do not use vibrating compactor on 1" pavers. A water filled hand roller may be used to level sand installation.
- *"Heavy Duty" Triferron Miami for normal necessary 1" paver when used for vehicular traffic. For complete specifications and specifications guidelines contact Triferron Miami.
 *Warning: do not use masonry sand or any wet sand channels on this product. Acid will sink the color and repair the aggregate.

305-632-3000

TRIFERRON Alley

11321 North West 138th Street, Miami, Florida 33178



Signature: _____
 ARCHITECT
ARQUITECTONICA
 200 S.W. 10TH AVENUE, SUITE 202
 MIAMI, FL 33134
 TEL (305) 372-1812 FAX (305) 372-1178

STRUCTURAL ENGINEER
 G. V. PIREZ ASSOCIATES, INC.
 1286 CORAL WAY, SUITE 202
 MIAMI, FL 33146
 (305) 864-4104 FAX 865-2076

MEP
 MDC
 4141 NE 2ND AVENUE SUITE 107
 MIAMI, FL 33137
 (305) 573-6235

FLORIDA ENGINEERING SERVICES
 34 NW 108th STREET
 NORTH MIAMI BEACH, FL 33198
 (305) 653-0212 FAX (305) 653-0232

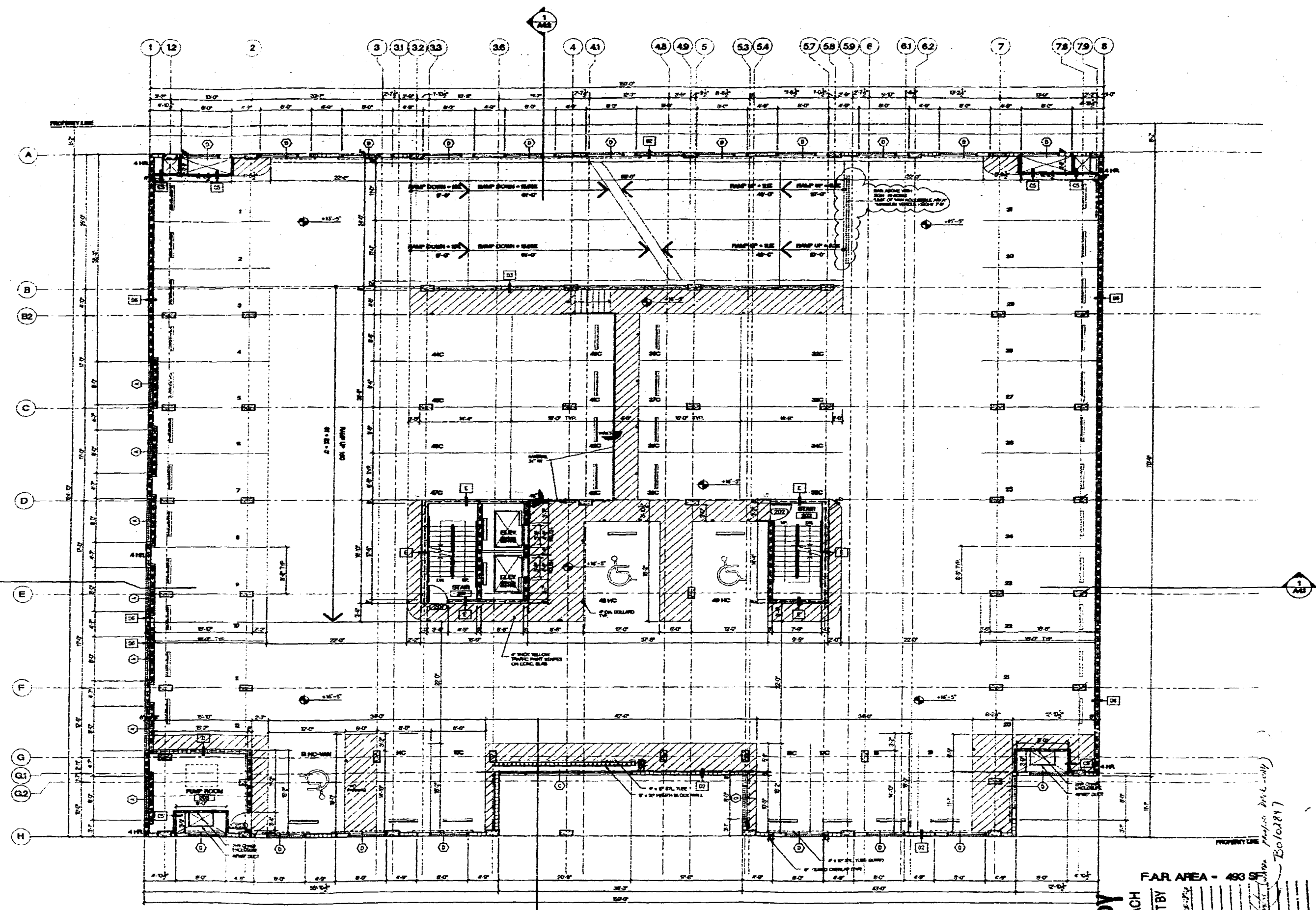
CIVIL ENGINEER
 ASBMIT CONSULTANTS, INC.
 9800 S. DADELAND BLVD., SUITE 570
 MIAMI, FL 33156
 (305) 576-1011 FAX 670-1010

LANDSCAPE ARCHITECT
 GEOMANTIC DESIGNS, INC.
 6800 SW 81 ST.
 MIAMI, FL 33143
 (305) 685-8888 FAX 685-4235

GEOTECHNICAL CONSULTANT
 INTERCOUNTRY LABORATORIES, INC.
 508 NW 170 ST.
 NORTH MIAMI BEACH, FL 33166
 (305) 851-8483 FAX 851-4480

PRO-TECH SHOP DRAWINGS
 Office Registration #AA C000465
 Issue Date: 09-15-99 Project No.: 9766
 Drawn by: M.J. AC, WR Approved by: BSC
 Permit Set 100% CD
 Revision/Date

Sheet No. _____
A-1.2
2nd FL. PLAN PARKING



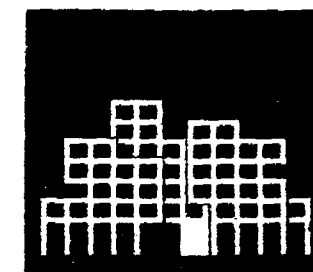
PARTITION WALL LEGEND
 FOUNDED CONCRETE WALL AS SHOWN
 1 HOUR FIRE RATED PARTITION WALL
 2 HOUR FIRE RATED PARTITION WALL
 3 HOUR FIRE RATED PARTITION WALL
 4 HOUR FIRE RATED PARTITION WALL
 5 HOUR FIRE RATED PARTITION WALL
 6 HOUR FIRE RATED PARTITION WALL
 8 HOUR FIRE RATED PARTITION WALL
 12 HOUR FIRE RATED PARTITION WALL
 CONCRETE WALL WITH 2 HOUR FIRE RATED PARTITION WALL

2ND FLOOR PLAN - PARKING
 A1.2 SCALE 1/8"=1'-0"

NOTE: ALL EXTERIOR DOORS, STOREFRONT AND WINDOWS ARE NOT PART OF THIS PERMIT

ALL FLOOR IS VAN ACCESSIBLE

OFFICE COPY
 CITY OF MIAMI BEACH
 APPROVED FOR PERMIT BY THE FOLLOWING:
 BUILDING DEPARTMENT
 ZONING DEPARTMENT
 CONCURRING: PLUMBING, ELECTRICAL, MECHANICAL, FIRE PREVENTION, ENGINEERING, PUBLIC WORKS, STRUCTURAL, ACCESSIBILITY, ELEVATOR.
 FAR AREA - 493.9
 [Signatures and stamps]



ATLANTIC CENTER
115 BRUNNEN AVENUE, MIAMI BEACH

DATE: 09-15-99

ARCHITECT

ARCHITECT

ARQUITECTONICA
2500 BIRCHWOOD AVENUE
MIAMI, FL 33147
TEL: (305) 572-5812
FAX: (305) 572-1178

STRUCTURAL ENGINEER

G. V. PEREZ ASSOCIATES, INC.
1388 CORAL WAY, SUITE 202
MIAMI, FL 33146
(305) 594-6164 FAX 808-2876

MEP

BADC

4141 NE 2ND AVENUE SUITE 107
MIAMI, FL 33137
(305) 873-8255

FLORIDA ENGINEERING SERVICES

34 NW 188th STREET
NORTH MIAMI BEACH, FL 33169
(305) 853-0212 FAX (305) 853-0232

CIVIL ENGINEER

AECOMT CONSULTANTS, INC.
4908 S. CARLETON BLVD., SUITE 370
MIAMI, FL 33146
(305) 676-1011 FAX 676-1016

LANDSCAPE ARCHITECT

GEOMANTIC DESIGNS, INC.
8600 SW 81 ST.
MIAMI, FL 33143
(305) 855-8888 FAX 855-8428

GEOTECHNICAL CONSULTANT

INTERCOUNTRY LABORATORIES, INC.
308 NW 170 ST.
NORTH MIAMI BEACH, FL 33169
(305) 851-6483 FAX 851-4490

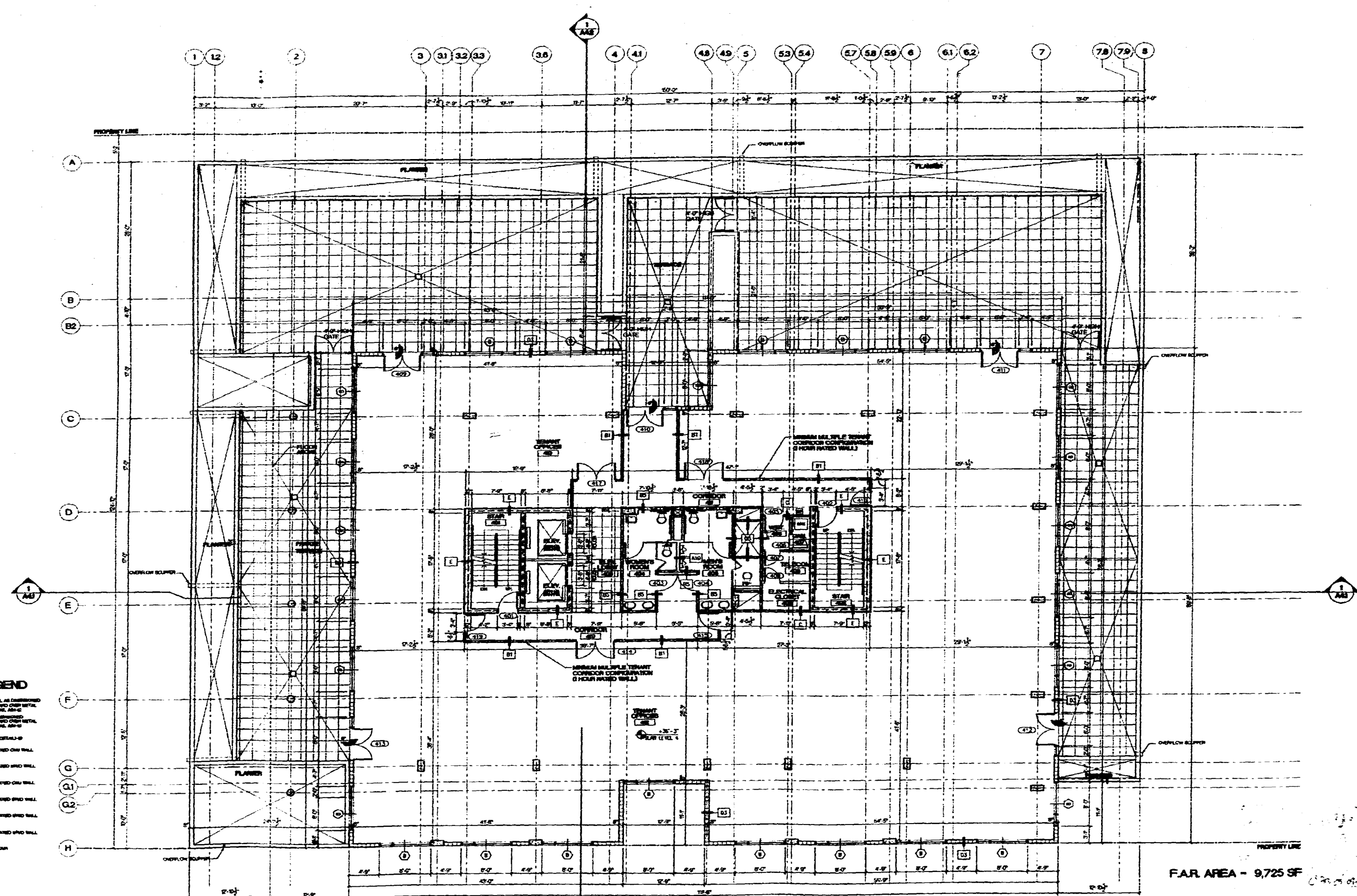
CONSTRUCTION DOCUMENTS

Office Registration #FA 0000485
Issue Date: 09-15-99 Project No.: 9766
Drawn by: M.J.A.G. VR Approved by: B.S.C.
Permit Set 100% CD
Revision/Date

Sheet No.

A-1.4

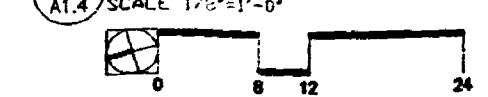
4th FL. PLAN OFFICE



PARTITION WALL LEGEND

- POURED CONCRETE WALL AS SHOWN WITH REINFORCING BARS AND CAST-IN-PLACE METAL PARTITION SEE DETAIL A1-1
- CONCRETE WALL AS SHOWN WITH REINFORCING BARS AND CAST-IN-PLACE METAL PARTITION SEE DETAIL A1-2
- 1 HOUR FIRE + BRICK BRICK AND WALL SEE DETAIL A1-3
- 1 HOUR FIRE + BRICK BRICK AND WALL SEE DETAIL A1-4
- 1 HOUR FIRE + BRICK BRICK AND WALL SEE DETAIL A1-5
- 2 HOUR FIRE + BRICK BRICK AND WALL SEE DETAIL A1-6
- 3 HR. METAL PARTITION SEE DETAIL A1-7
- 4 HR. METAL PARTITION SEE DETAIL A1-8
- CONCRETE WALL WITH 1 HOUR METAL PARTITION SEE DETAIL A1-9

4TH FLOOR PLAN - OFFICE



NOTE: ALL EXTERIOR DOORS, STOREFRONT AND WINDOWS ARE NOT PART OF THIS PERMIT

F.A.R. AREA - 9,725 SF

ms/02/00/1
NAC



ARQUITECTONICA
 850 Brickell Avenue
 Miami, FL 33131
 TEL (305) 372-2812
 FAX (305) 372-1178

ARQUITECTONICA
 850 Brickell Avenue
 Miami, FL 33131
 TEL (305) 372-2812
 FAX (305) 372-1178

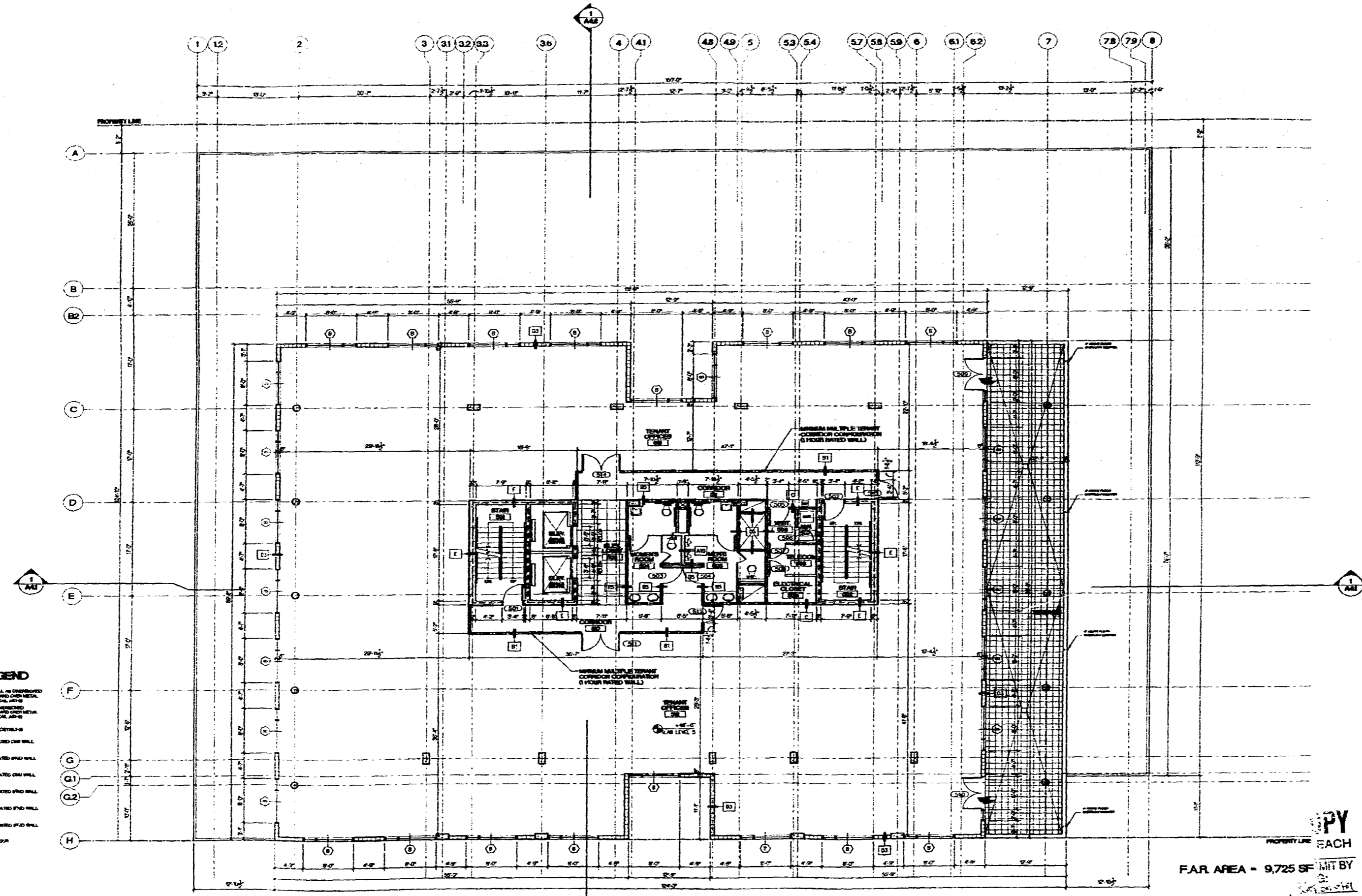
- STRUCTURAL ENGINEER
G. V. PIREZ ASSOCIATES, INC.
 1285 CORAL WAY, SUITE 202
 MIAMI, FL 33146
 (305) 854-4164 FAX 858-2676
- MEP
BMDG
 4141 NE 2ND AVENUE SUITE 107
 MIAMI, FL 33127
 (305) 573-8268
- FLORIDA ENGINEERING SERVICES
 34 NW 166th STREET
 NORTH MIAMI BEACH, FL 33168
 (305) 653-0212 FAX (305) 653-0232
- CIVIL ENGINEER
AB2MT CONSULTANTS, INC.
 9400 S. DADELAND BLVD., SUITE 370
 MIAMI, FL 33158
 (305) 670-1011 FAX 670-1016
- LANDSCAPE ARCHITECT
GEOMANTIC DESIGNS, INC.
 6800 SW 81 ST.
 MIAMI, FL 33143
 (305) 665-6886 FAX 668-8426
- GEOTECHNICAL CONSULTANT
INTERCOUNTY LABORATORIES, INC.
 305 NW 170 ST.
 NORTH MIAMI BEACH, FL 33168
 (305) 951-8483 FAX 951-4480

CONSTRUCTION DOCUMENTS

Issue Date: 09-15-99 Project No.: 9766
 Drawn by: M. J. K. Approved by: JSC
 Permit Set: 100% CD
 Revision/Date

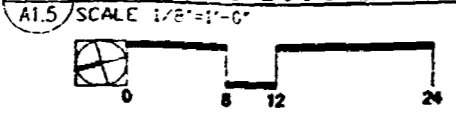
Sheet No. **A-15**

5th FL. PLAN OFFICE



- PARTITION WALL LEGEND**
- [Symbol] PORTED CONCRETE WALL, 6" MINIMUM THICKNESS, 10' MAXIMUM HEIGHT, 1/2" REINFORCING BARS AT 12" ON CENTER, METAL STUDS AT 24" ON CENTER, METAL PARTITION SEE DETAIL A1.5-1
 - [Symbol] CMU BLOCK WALL, 8" MINIMUM THICKNESS, 10' MAXIMUM HEIGHT, 1/2" REINFORCING BARS AT 12" ON CENTER, METAL PARTITION SEE DETAIL A1.5-1
 - [Symbol] METAL STUD PARTITION, 5/8" MINIMUM THICKNESS, 10' MAXIMUM HEIGHT, 1/2" REINFORCING BARS AT 12" ON CENTER, METAL PARTITION SEE DETAIL A1.5-1
 - [Symbol] 1 HOUR FIRE RATED CMU WALL, SEE DETAIL A1.5-2
 - [Symbol] 1 HOUR FIRE RATED CMU WALL, SEE DETAIL A1.5-3
 - [Symbol] 1 HOUR FIRE RATED CMU WALL, SEE DETAIL A1.5-4
 - [Symbol] 1 HOUR FIRE RATED CMU WALL, SEE DETAIL A1.5-5
 - [Symbol] 1 HOUR FIRE RATED CMU WALL, SEE DETAIL A1.5-6
 - [Symbol] 1 HOUR FIRE RATED CMU WALL, SEE DETAIL A1.5-7
 - [Symbol] 1 HOUR FIRE RATED CMU WALL, SEE DETAIL A1.5-8
 - [Symbol] 1 HOUR FIRE RATED CMU WALL, SEE DETAIL A1.5-9
 - [Symbol] 1 HOUR FIRE RATED CMU WALL, SEE DETAIL A1.5-10
 - [Symbol] CMU WALL, 8" MINIMUM THICKNESS, 10' MAXIMUM HEIGHT, 1/2" REINFORCING BARS AT 12" ON CENTER, METAL PARTITION SEE DETAIL A1.5-1

5TH FLOOR PLAN - OFFICE



NOTE: ALL EXTERIOR DOORS, STOREFRONT AND WINDOWS ARE NOT PART OF THIS PERMIT

FAR AREA - 9,725 SF

COPY EACH
 BY
 DATE



ARQUITECTONICA
 880 Brickell Avenue
 Miami, FL 33131
 TEL (305) 373-1012
 FAX (305) 373-1178

STRUCTURAL ENGINEER
G. V. PIREZ ASSOCIATES, INC.
 1385 CORAL WAY, SUITE 202
 MIAMI, FL 33145
 (305) 854-4104 FAX 855-2070

MEP
IMDC
 4141 NE 2ND AVENUE SUITE 107
 MIAMI, FL 33137
 (305) 573-8255

FLORIDA ENGINEERING SERVICES
 34 HWY 16899 STREET
 NORTH MIAMI BEACH, FL 33160
 (305) 653-0212 FAX (305) 653-0232

CIVIL ENGINEER
AB2MT CONSULTANTS, INC.
 9400 S. DADELAND BLVD., SUITE 370
 MIAMI, FL 33158
 (305) 670-1011 FAX 670-1010

LANDSCAPE ARCHITECT
GEOMANTIC DESIGNS, INC.
 8800 SW 81 ST.
 MIAMI, FL 33143
 (305) 685-6888 FAX 685-8428

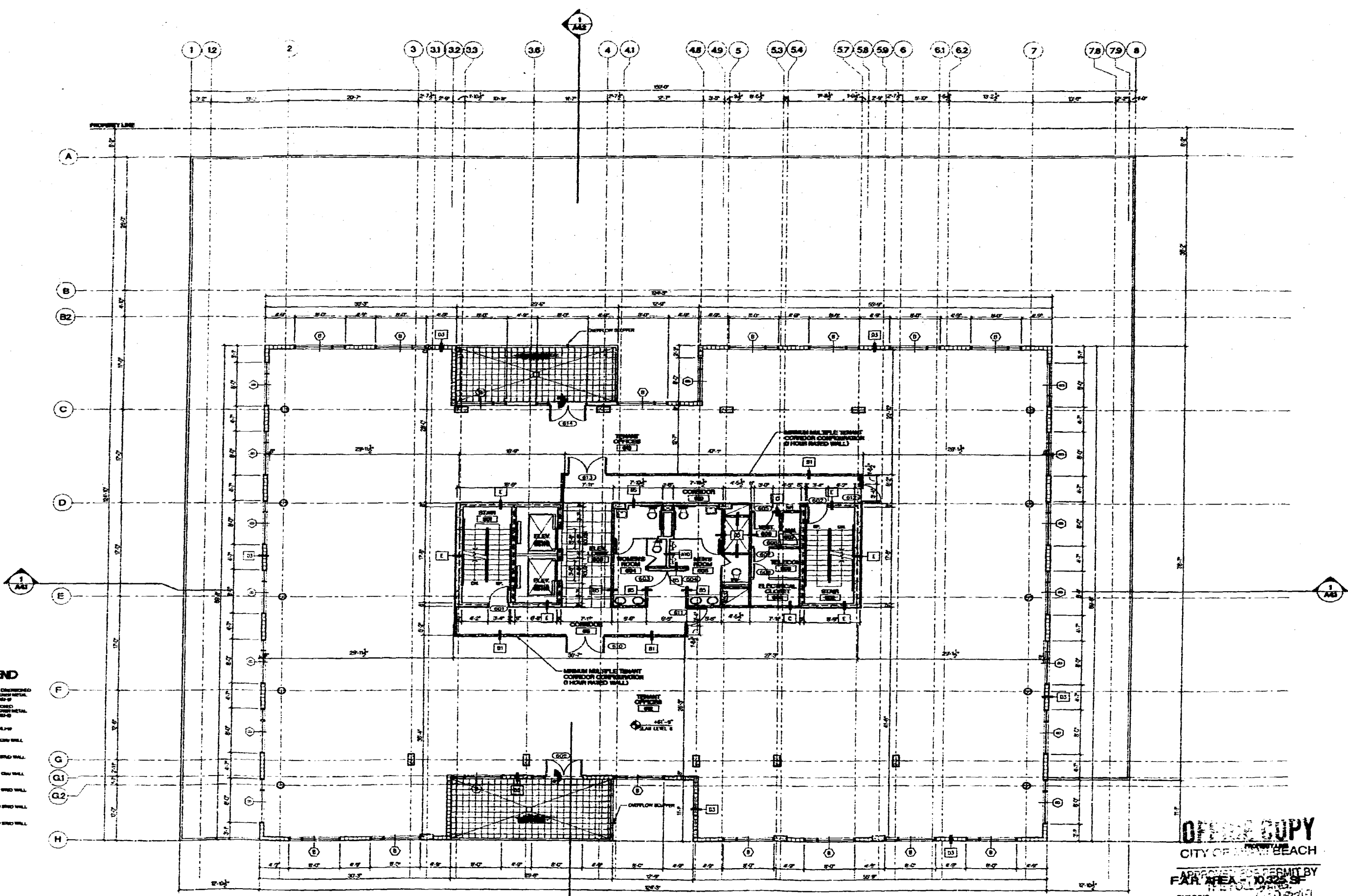
GEOTECHNICAL CONSULTANT
INTERCOUNTY LABORATORIES, INC.
 308 NW 170 ST.
 NORTH MIAMI BEACH, FL 33160
 (305) 651-8483 FAX 651-4490

CONSTRUCTION DOCUMENTS

Office Registration #AA 0000485
 Issue Date: 09-15-99 Project No.: 9766
 Drawn by: M. J. JR. Approved by: B.S.C.
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Sheet No. _____
A-16

6th FL. PLAN OFFICE



PARTITION WALL LEGEND

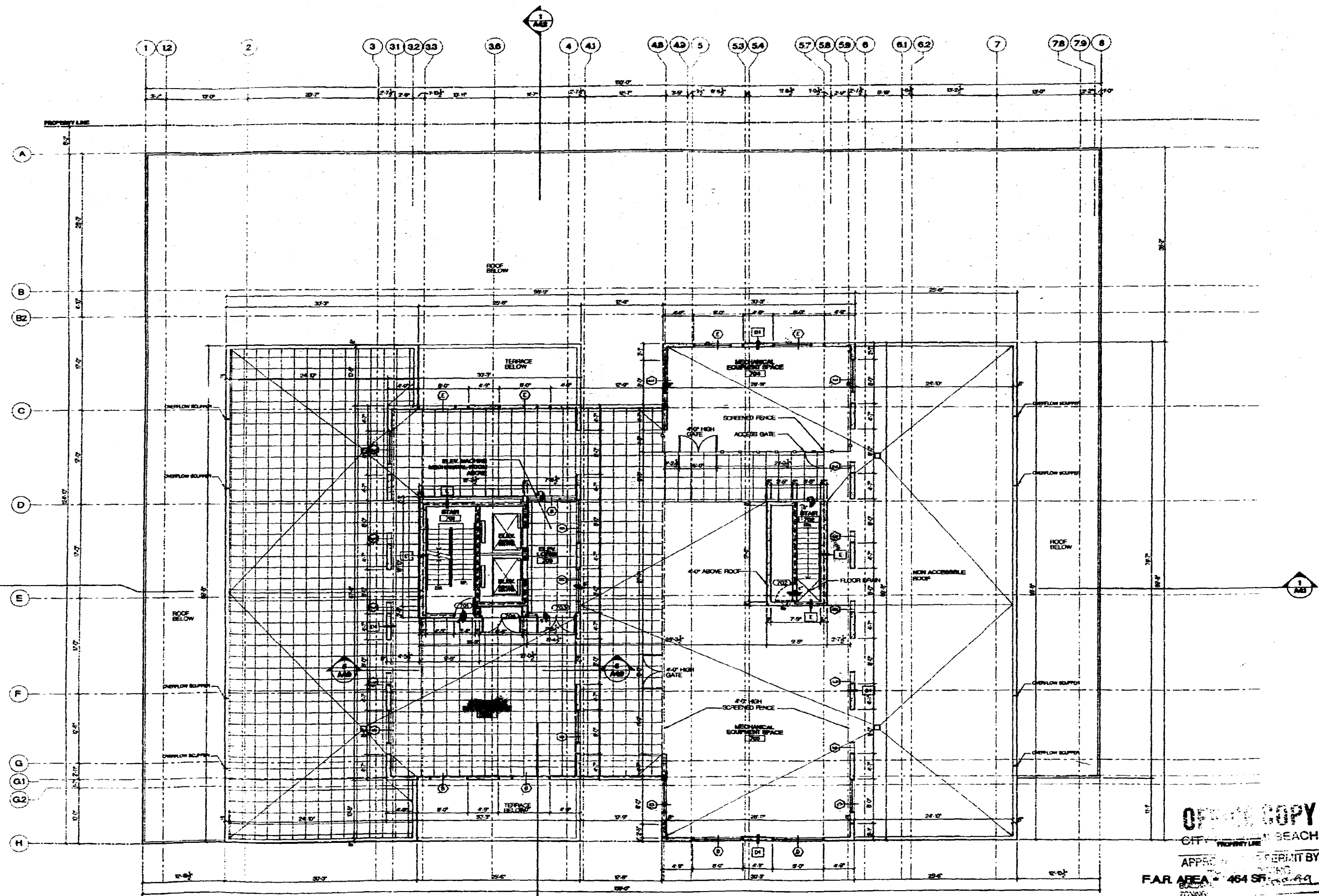
- 1 HOUR FIRE RATED CONCRETE WALL SEE DETAIL A11-2
- 1 HOUR FIRE RATED BRICK WALL SEE DETAIL A11-3
- 2 HOUR FIRE RATED BRICK WALL SEE DETAIL A11-4
- 1 HOUR FIRE RATED WOOD WALL SEE DETAIL A11-5
- 2 HOUR FIRE RATED WOOD WALL SEE DETAIL A11-6
- 3 HOUR FIRE RATED WOOD WALL SEE DETAIL A11-7
- 4 HOUR FIRE RATED WOOD WALL SEE DETAIL A11-8
- 1 HOUR FIRE RATED MASONRY WALL SEE DETAIL A11-9
- 2 HOUR FIRE RATED MASONRY WALL SEE DETAIL A11-10
- 3 HOUR FIRE RATED MASONRY WALL SEE DETAIL A11-11
- 4 HOUR FIRE RATED MASONRY WALL SEE DETAIL A11-12
- CONCRETE WALL WITH 2 HOUR FIRE RATING SEE DETAIL A11-13

6TH FLOOR PLAN - OFFICE

A1.6 SCALE 1/8"=1'-0"

NOTE: ALL EXTERIOR DOORS, STOREFRONTS AND WINDOWS ARE NOT PART OF THIS PERMIT

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 CITY OF MIAMI BEACH
 APPROVED FOR PERMIT BY
FAR AREA - D. J. JR.
 BUILDING:
 ZONING:
 DRAWN:
 CONSTRUCTION:
 PLUMBING:
 ELECTRICAL:
 MECHANICAL:
 FIRE PREVENTION:
 ENGINEERING:
 PUBLIC WORKS:
 STRUCTURAL:
 ACCESSIBILITY:
 ELEVATOR:



PARTITION WALL LEGEND

- 1 HOUR FIRE + BRICK RATED CMU WALL SEE DETAIL A4-10
- 1 HOUR FIRE + BRICK RATED BRICK WALL SEE DETAIL A4-11
- 2 HOUR FIRE + BRICK RATED CMU WALL SEE DETAIL A4-12
- 2 HOUR FIRE + BRICK RATED BRICK WALL SEE DETAIL A4-13
- 3 HR. CMU WALL SEE DETAIL A4-14
- 4 HR. CMU WALL SEE DETAIL A4-15
- CMU WALL WITH 2 HR. CMU DETAIL A4-16

1 ROOF PLAN
A1.7 SCALE 1/8"=1'-0"



NOTE ALL EXTERIOR DOORS, SCREENED AND WINDOWS ARE NOT PART OF THIS PERMIT

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CITY OF MIAMI BEACH

APPROVED PERMIT BY
FAR AREA # 464 SF
ZONING
DEVELOPMENT
CONDOMINIUM
PLANNING
ELECTRICAL
MECHANICAL
PLUMBING
ENGINEERING
PUBLIC WORKS
STRUCTURAL
ACCESSIBILITY
TRAVEL

ARQUITECTONICA
550 BROADWAY
MIAMI, FL 33137
TEL (305) 372-1812
FAX (305) 372-1178

STRUCTURAL ENGINEER
G. V. PIREZ ASSOCIATES, INC.
1285 CORAL WAY, SUITE 202
MIAMI, FL 33148
(305) 654-4104 FAX 888-2078

MEP
IMDC
4141 NE 2ND AVENUE SUITE 107
MIAMI, FL 33137
(305) 573-8285

FLORIDA ENGINEERING SERVICES
34 NW 100th STREET
NORTH MIAMI BEACH, FL 33189
(305) 653-0212 FAX (305) 653-0232

CIVIL ENGINEER
ABZMT CONSULTANTS, INC.
9600 S. DIDEL AND BLVD., SUITE 370
MIAMI, FL 33156
(305) 670-1011 FAX 670-1016

LANDSCAPE ARCHITECT
GEOMANTIC DESIGNS, INC.
6600 SW 81 ST.
MIAMI, FL 33143
(305) 665-0888 FAX 665-0428

GEOTECHNICAL CONSULTANT
INTERCOUNTRY LABORATORIES, INC.
306 NW 170 ST.
NORTH MIAMI BEACH, FL 33189
(305) 651-4483 FAX 651-4480

CONSTRUCTION DOCUMENTS

Issue Date: 09-15-99 Project No.: 9766
Drawn by: W. J. A. W. Approved by: BJC
Permit Set 100% CD
Revision/Date

Sheet No. **A-17**

ROOF PLAN



SCALE: AS SHOWN

Signature:
 AP# 0000000
 ARCHITECT
ARQUITECTONICA
 2500 Bayshore Avenue
 Miami, FL 33137
 TEL (305) 372-1512
 FAX (305) 372-1178

STRUCTURAL ENGINEER
 G. V. PIREZ ASSOCIATES, INC.
 1385 CORPAL WAY, SUITE 202
 MIAMI, FL 33145
 (305) 854-4704 FAX 854-2026

MEP
 BMDC
 4141 NE 2ND AVENUE SUITE 107
 MIAMI, FL 33137
 (305) 573-8255

FLORIDA ENGINEERING SERVICES
 34 NW 108th STREET
 NORTH MIAMI BEACH, FL 33160
 (305) 853-0212 FAX (305) 853-0232

CIVIL ENGINEER
 ABQMT CONSULTANTS, INC.
 6900 S. DADELAND BLVD., SUITE 370
 MIAMI, FL 33108
 (305) 670-1011 FAX 670-1010

LANDSCAPE ARCHITECT
 GEOMANTIC DESIGNS, INC.
 8500 SW 81 ST.
 MIAMI, FL 33143
 (305) 885-8888 FAX 885-8428

GEOTECHNICAL CONSULTANT
 INTERCOUNTY LABORATORIES, INC.
 380 NW 170 ST.
 NORTH MIAMI BEACH, FL 33160
 (305) 851-8483 FAX 851-4480

CONSTRUCTION DOCUMENTS

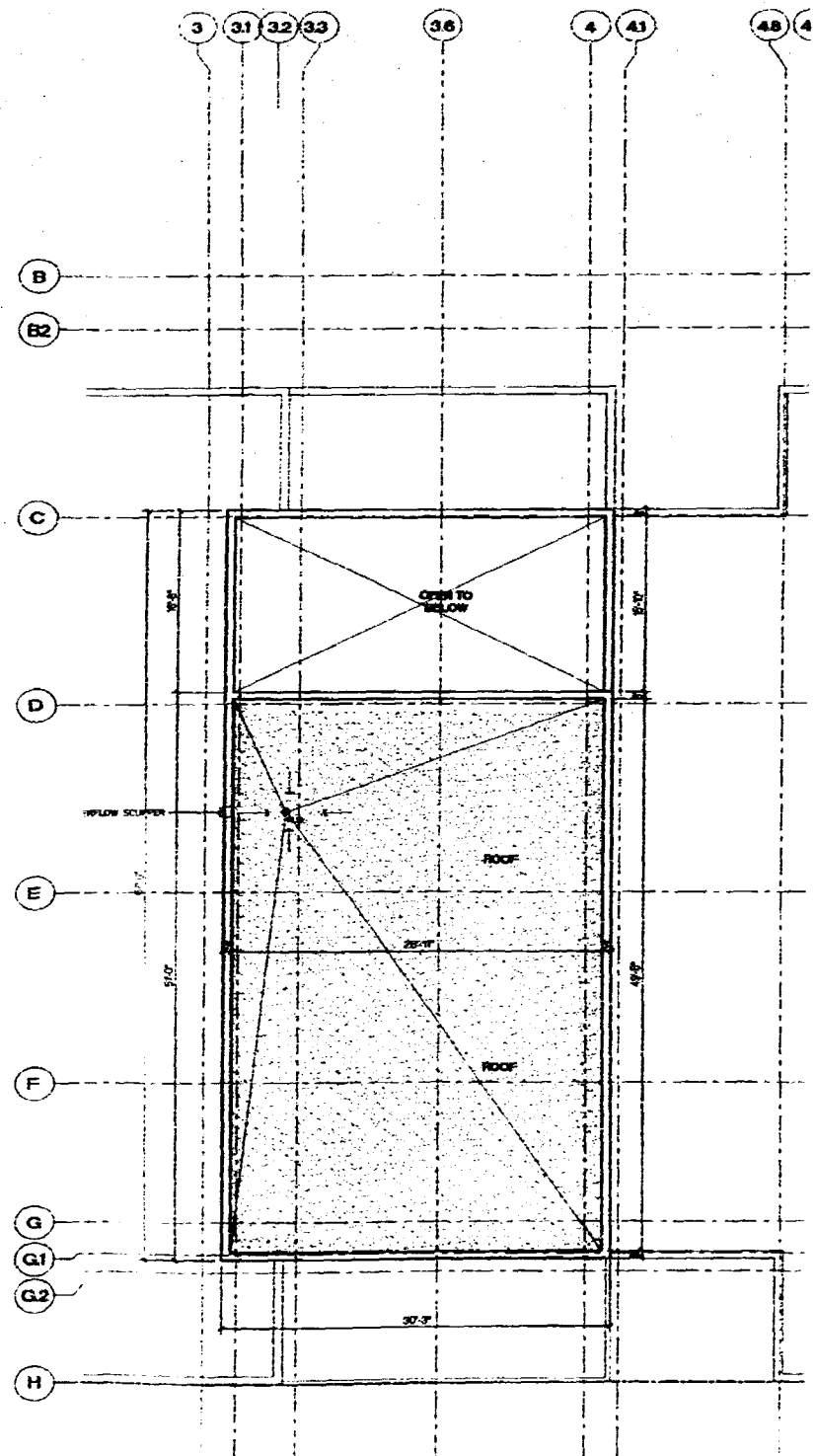
Office Registration #FA 00000005
 Issue Date: 09-15-99 Project No.: 9766
 Drawn by: M.E. AS, PR Approved by: BSC
 Permit Set 100% CD
 Revision/Date

Sheet No.
A-18

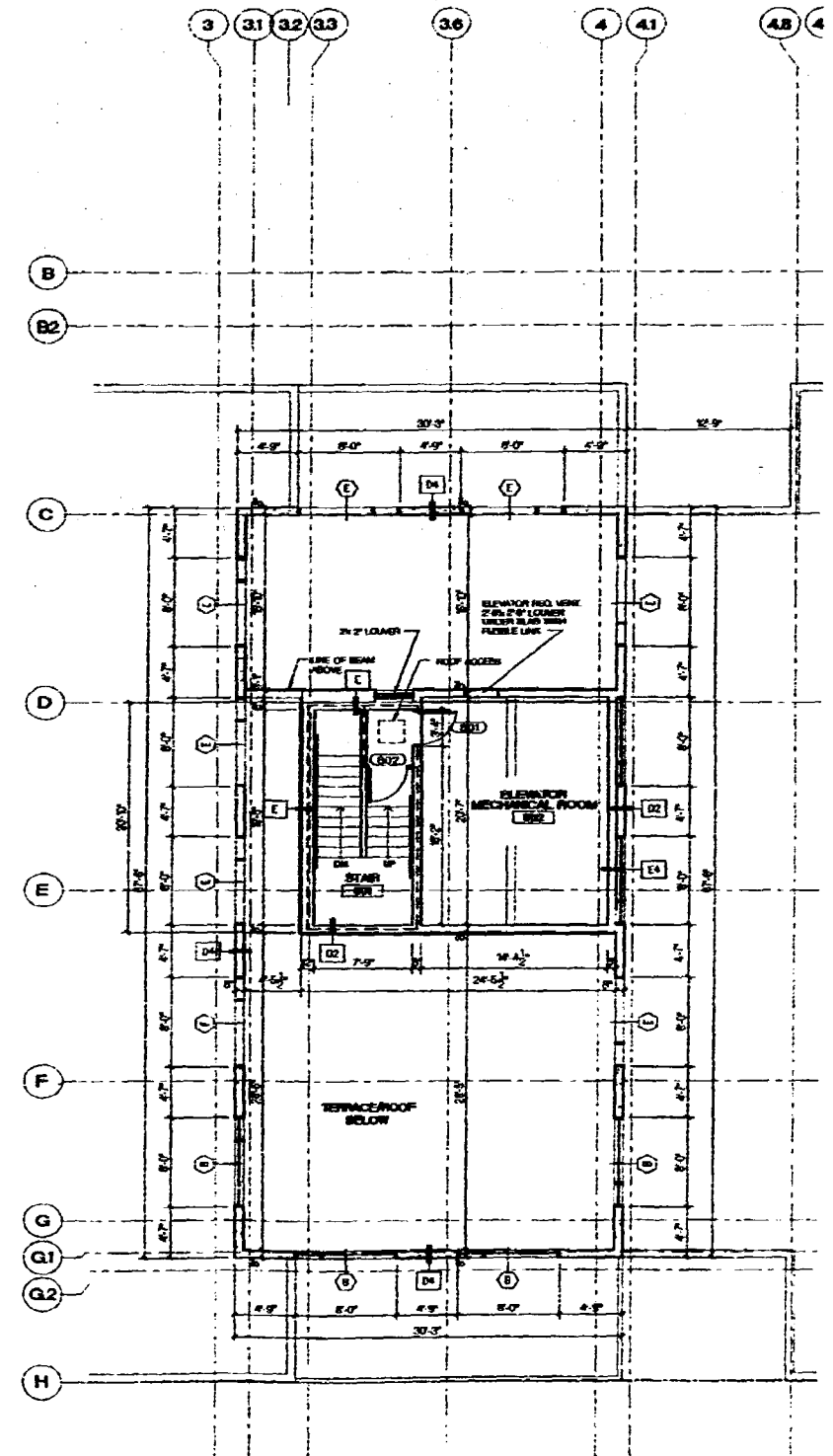
ELEV. MECH. ROOF PLANS

PARTITION WALL LEGEND

- 1/2" CONC. WALL, AS SHOWN OR REFERENCED TO DETAIL A1.8
- 1/2" BRICK WALL, AS SHOWN OR REFERENCED TO DETAIL A1.8
- 1/2" BRICK WALL WITH METAL LATH, AS SHOWN OR REFERENCED TO DETAIL A1.8
- 1/2" BRICK WALL WITH METAL LATH AND MESH REINFORCEMENT, AS SHOWN OR REFERENCED TO DETAIL A1.8
- 1/2" BRICK WALL WITH METAL LATH AND MESH REINFORCEMENT, 2" THICK, AS SHOWN OR REFERENCED TO DETAIL A1.8
- 1/2" BRICK WALL WITH METAL LATH AND MESH REINFORCEMENT, 4" THICK, AS SHOWN OR REFERENCED TO DETAIL A1.8
- 1/2" BRICK WALL WITH METAL LATH AND MESH REINFORCEMENT, 6" THICK, AS SHOWN OR REFERENCED TO DETAIL A1.8
- 1/2" BRICK WALL WITH METAL LATH AND MESH REINFORCEMENT, 8" THICK, AS SHOWN OR REFERENCED TO DETAIL A1.8
- 1/2" BRICK WALL WITH METAL LATH AND MESH REINFORCEMENT, 10" THICK, AS SHOWN OR REFERENCED TO DETAIL A1.8



1 ROOF - ELEV. MECH. ROOM
 SCALE 1/8"=1'-0"

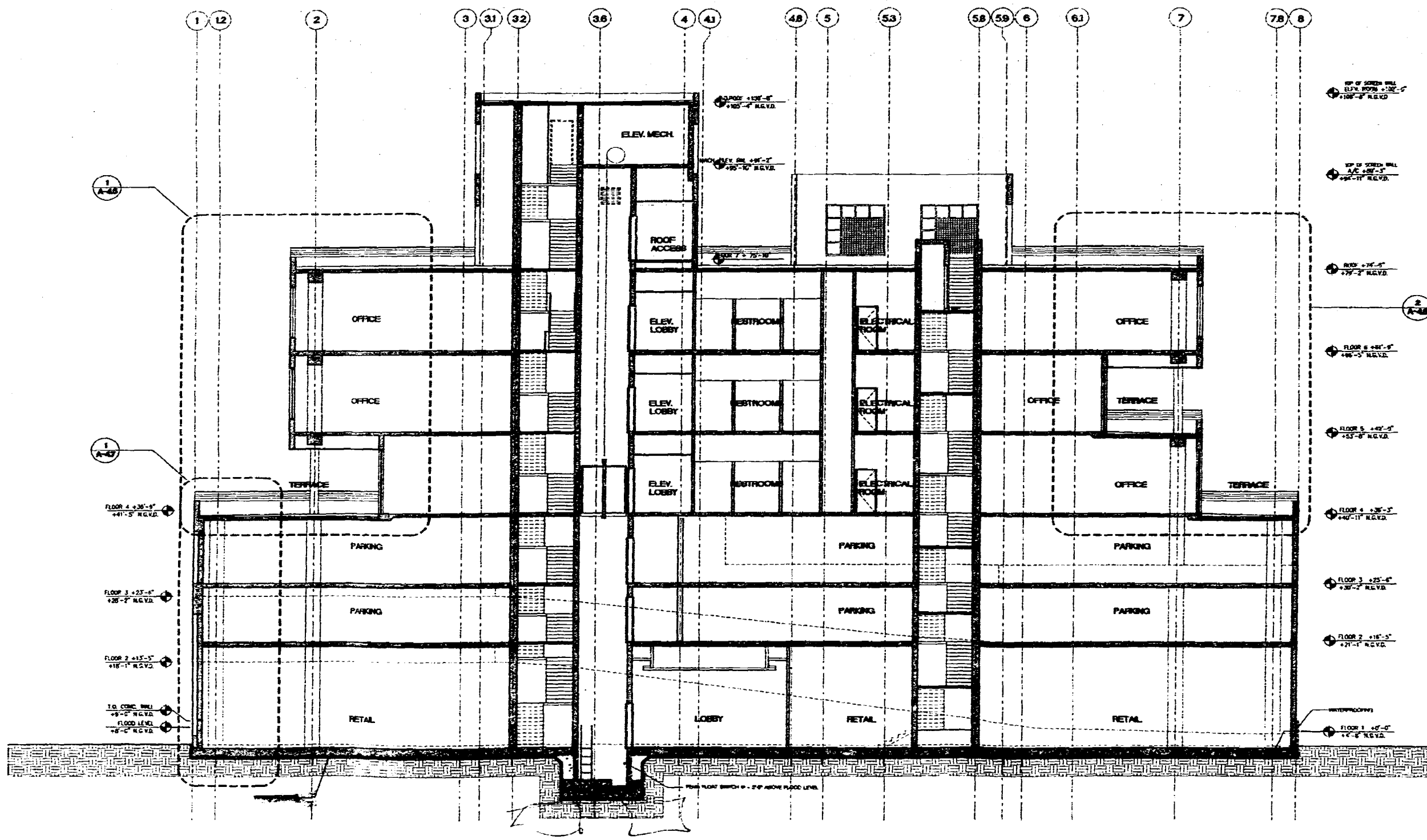


1 ELEVATOR MECHANICAL ROOM
 SCALE 1/8"=1'-0"

OFFICE COPY
 CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY THE FOLLOWING:

- BUILDING:
- ZONING:
- DIS-PPT:
- CONCURRENCY:
- PLUMBING:
- ELECTRICAL:
- MECHANICAL:
- FIRE PREVENTION:
- ENGINEERING:
- PUBLIC WORKS:
- STRUCTURAL:
- ACCESSIBILITY:
- ELEVATOR:



1 LONGITUDINAL SECTION
A4.1 SCALE 1/8"=1'-0"

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CITY OF MIAMI BEACH
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BUILDING	
ZONING	
DESIGN	
CONSERVATION	
PLANNING	
ELECTRICAL	
MECHANICAL	
FIRE PREVENTION	
ENGINEERING	
PUBLIC WORKS	
STRUCTURAL	
ACCESSIBILITY	
ELEVATOR	

Signature: _____
 AR # 0010280
 ARCHITECT
ARQUITECTONICA
 2800 Brickell Avenue
 Miami, FL 33131
 TEL (305) 572-1812
 FAX (305) 572-1178

STRUCTURAL ENGINEER
 G. V. PIREZ ASSOCIATES, INC.
 1385 CORAL WAY, SUITE 202
 MIAMI, FL 33145
 (305) 854-4104 FAX 858-2078

MEP
 IMDC
 4141 NE 2ND AVENUE SUITE 107
 MIAMI, FL 33137
 (305) 573-6226

FLORIDA ENGINEERING SERVICES
 34 NW 160th STREET
 NORTH MIAMI BEACH, FL 33188
 (305) 853-0212 FAX (305) 853-0232

CIVIL ENGINEER
 ARZUMI CONSULTANTS, INC.
 3900 S. DIXIE BLVD., SUITE 370
 MIAMI, FL 33133
 (305) 870-1011 FAX 870-1018

LANDSCAPE ARCHITECT
 GEOMANTIC DESIGNS, INC.
 6000 SW 81 ST.
 MIAMI, FL 33143
 (305) 885-8888 FAX 888-8428

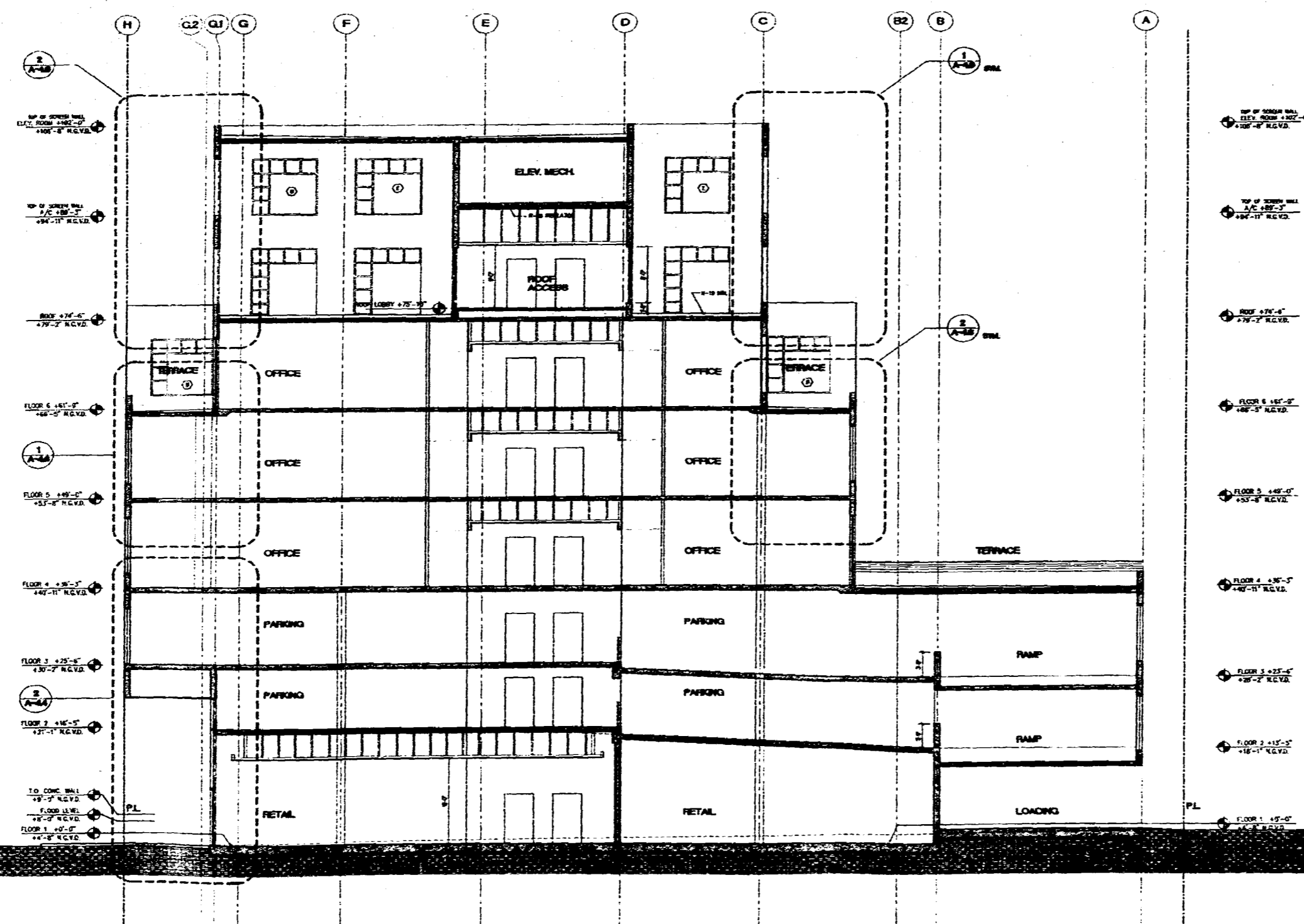
GEOTECHNICAL CONSULTANT
 INTERCOUNTY LABORATORIES, INC.
 308 NW 170 ST.
 NORTH MIAMI BEACH, FL 33186
 (305) 851-8483 FAX 851-4480

CONSTRUCTION DOCUMENTS

Issue Date: 09-15-99 Project No.: 9766
 Drawn by: M. J. AC, MR. Approved by: BSC
 Permit Set 100% CD
 Revision/Date

Sheet No. **A-4.1**

LONGITUDINAL SECTION



1 TRANSVERSAL SECTION
A4.2 SCALE 1/8"=1'-0"

CITY OF MIAMI BEACH
 APPROVED FOR PERMIT BY
 [Signature]
 BUILDING
 ZONING
 DEPT.
 CONSTRUCTION
 PLUMBING
 ELECTRICAL
 MECHANICAL
 FIRE PREVENTION
 ENGINEERING &
 PUBLIC WORKS
 STRUCTURAL
 ACCESSIBILITY
 ELEVATOR

REGISTERED
 ARCHITECT
ARQUITECTONICA
 850 Brickell Avenue
 Miami, FL 33137
 TEL (305) 373-1812
 FAX (305) 373-1178

STRUCTURAL ENGINEER
G. V. PIREZ ASSOCIATES, INC.
 1285 CORAL WAY, SUITE 202
 MIAMI, FL 33146
 (305) 854-4194 FAX 858-2076

MEP
IMDC
 4141 NE 2ND AVENUE SUITE 107
 MIAMI, FL 33137
 (305) 573-8226

FLORIDA ENGINEERING SERVICES
 34 NW 108th STREET
 NORTH MIAMI BEACH, FL 33189
 (305) 853-0212 FAX (305) 853-0232

CIVIL ENGINEER
AR2MIT CONSULTANTS, INC.
 8400 S. DIADLEND BLVD., SUITE 370
 MIAMI, FL 33158
 (305) 870-1011 FAX 870-1076

LANDSCAPE ARCHITECT
GEOMANTIC DESIGNS, INC.
 8800 SW 81 ST.
 MIAMI, FL 33143
 (305) 885-8888 FAX 885-8428

GEOTECHNICAL CONSULTANT
INTERCOUNTY LABORATORIES, INC.
 388 HWY 170 ST.
 NORTH MIAMI BEACH, FL 33189
 (305) 851-8483 FAX 851-4480

CONSTRUCTION DOCUMENTS

Office Registration FAA 0000485
 Issue Date: 09-15-99 Project No.: 9766
 Drawn by: M. J. AS. WR Approved by: BSC
 Permit Set 100% CD
 Revision/Date

Sheet No.

A-4.2

TRANSVERSAL SECTION



ARQUITECTONICA
 1305 CORAL WAY, SUITE 202
 MIAMI, FL 33146
 (305) 554-4104 FAX 554-2070

STRUCTURAL ENGINEER
G. V. PIREZ ASSOCIATES, INC.
 1305 CORAL WAY, SUITE 202
 MIAMI, FL 33146
 (305) 554-4104 FAX 554-2070

MEP
IMDC
 4141 NE 2ND AVENUE SUITE 107
 MIAMI, FL 33137
 (305) 573-8225

FLORIDA ENGINEERING SERVICES
 34 NW 108th STREET
 NORTH MIAMI BEACH, FL 33180
 (305) 653-0212 FAX (305) 653-0232

CIVIL ENGINEER
ABZMT CONSULTANTS, INC.
 9400 S. DIABLO AND BLVD., SUITE 370
 MIAMI, FL 33148
 (305) 670-1011 FAX 670-1016

LANDSCAPE ARCHITECT
GEOMANTIC DESIGNS, INC.
 6880 SW 81 ST.
 MIAMI, FL 33148
 (305) 685-6888 FAX 685-8425

GEOTECHNICAL CONSULTANT
INTERCOUNTY LABORATORIES, INC.
 308 NW 170 ST.
 NORTH MIAMI BEACH, FL 33180
 (305) 651-8480 FAX 651-4400

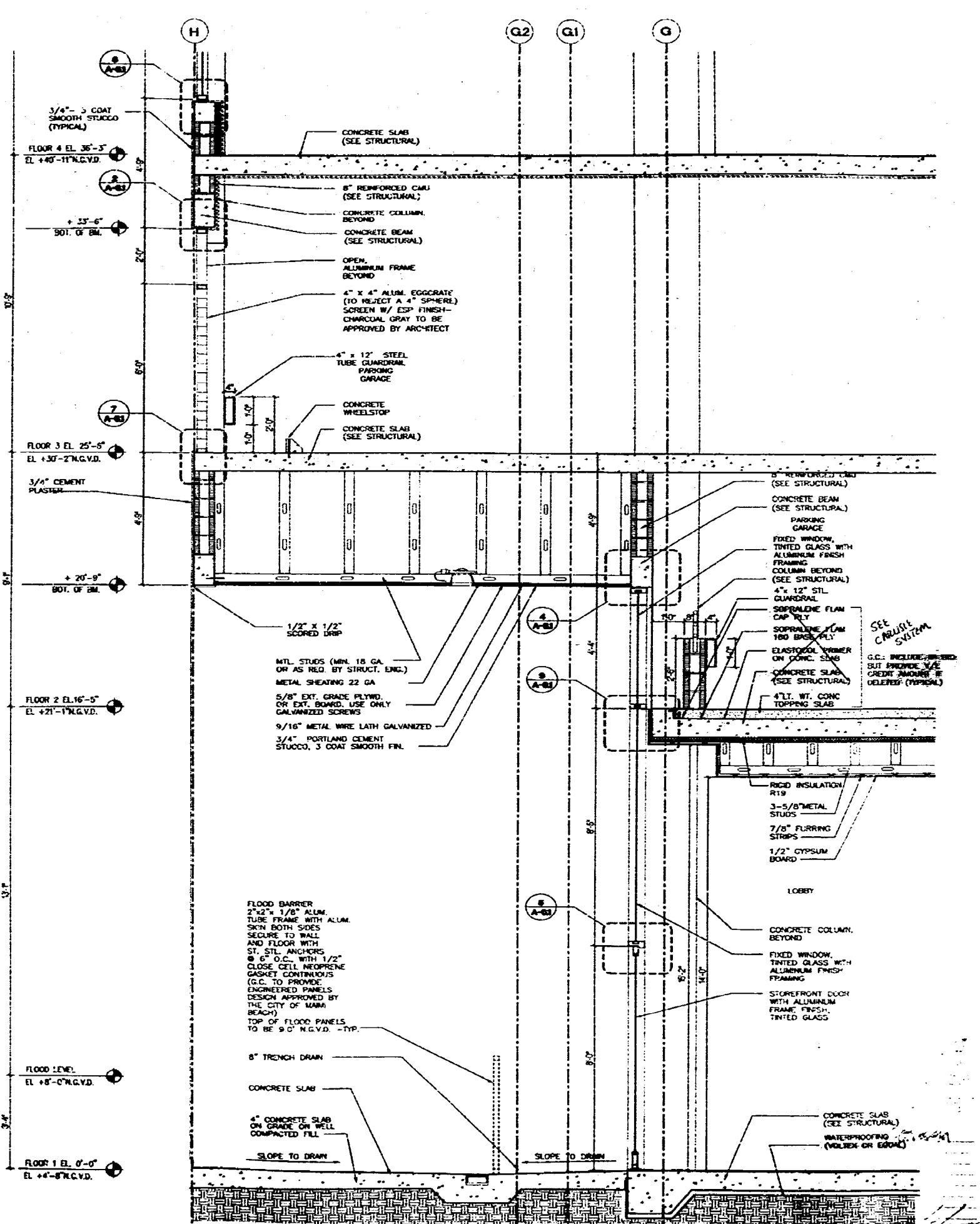
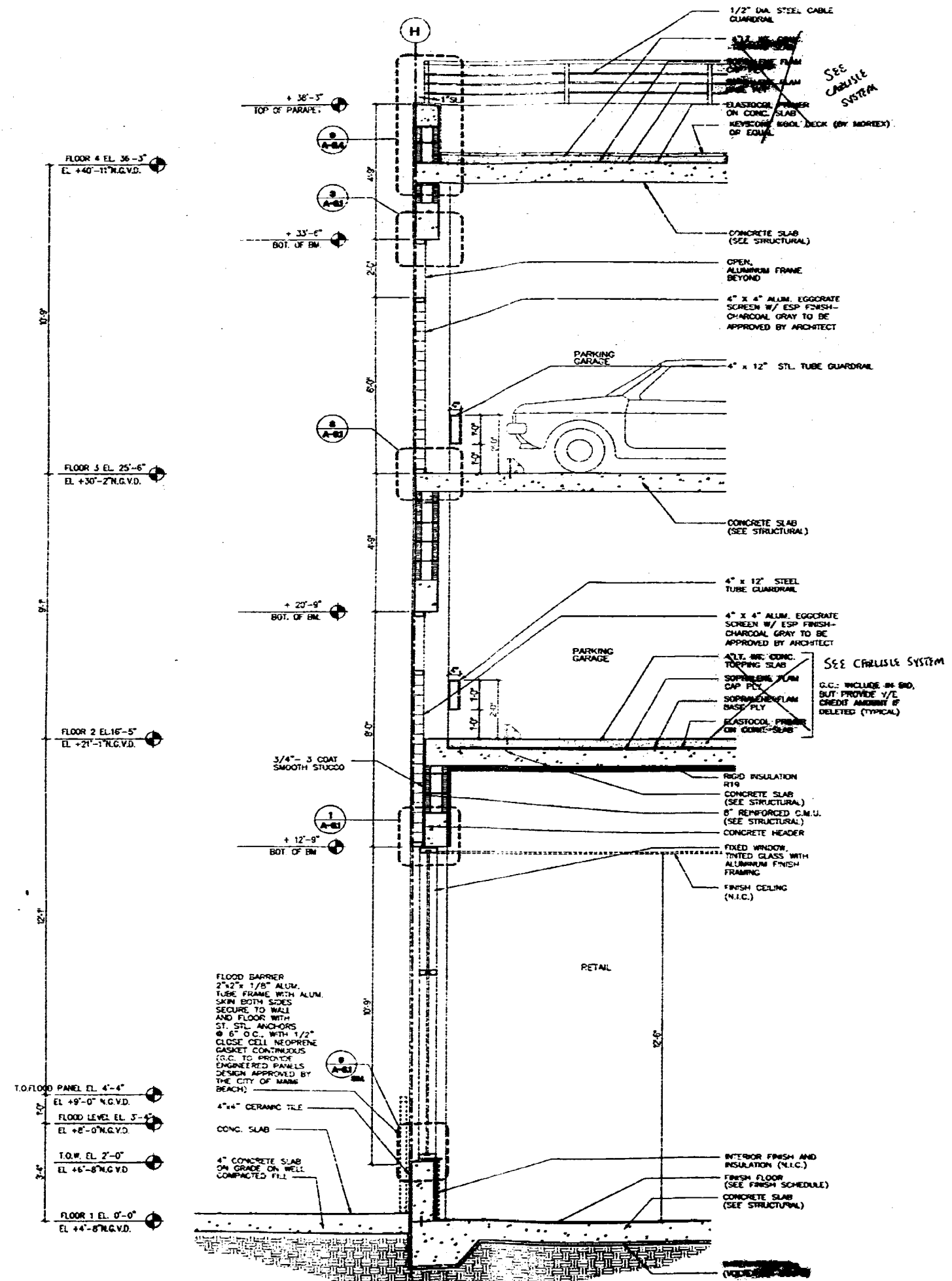
CONSTRUCTION DOCUMENTS

Office Registration #AA C000462
 Issue Date: 09-15-99 Project No.: 9766
 Drawn by: M.A.R. YHR Approved by: B.S.C.
 Permit: Set 100% CD
 Revision/Date

Sheet No.

A-4.4

WALL SECTIONS





ARQUITECTONICA
 500 Brickyard Avenue
 Miami, FL 33145
 TEL (305) 372-1872
 FAX (305) 372-1178

STRUCTURAL ENGINEER
 G. V. PIREZ ASSOCIATES, INC.
 1386 CORAL WAY, SUITE 202
 MIAMI, FL 33145
 (305) 954-4104 FAX 954-2076

MEP
 IMDC
 4141 NE 2ND AVENUE SUITE 107
 MIAMI, FL 33137
 (305) 573-8256

FLORIDA ENGINEERING SERVICES
 34 NW 168th STREET
 NORTH MIAMI BEACH, FL 33189
 (305) 653-0212 FAX (305) 653-0232

CIVIL ENGINEER
 ABZMT CONSULTANTS, INC.
 9408 S. DADELAND BLVD., SUITE 370
 MIAMI, FL 33109
 (305) 670-1011 FAX 670-1010

LANDSCAPE ARCHITECT
 GEOMANTIC DESIGNS, INC.
 6800 SW 81 ST.
 MIAMI, FL 33143
 (305) 685-0888 FAX 688-8428

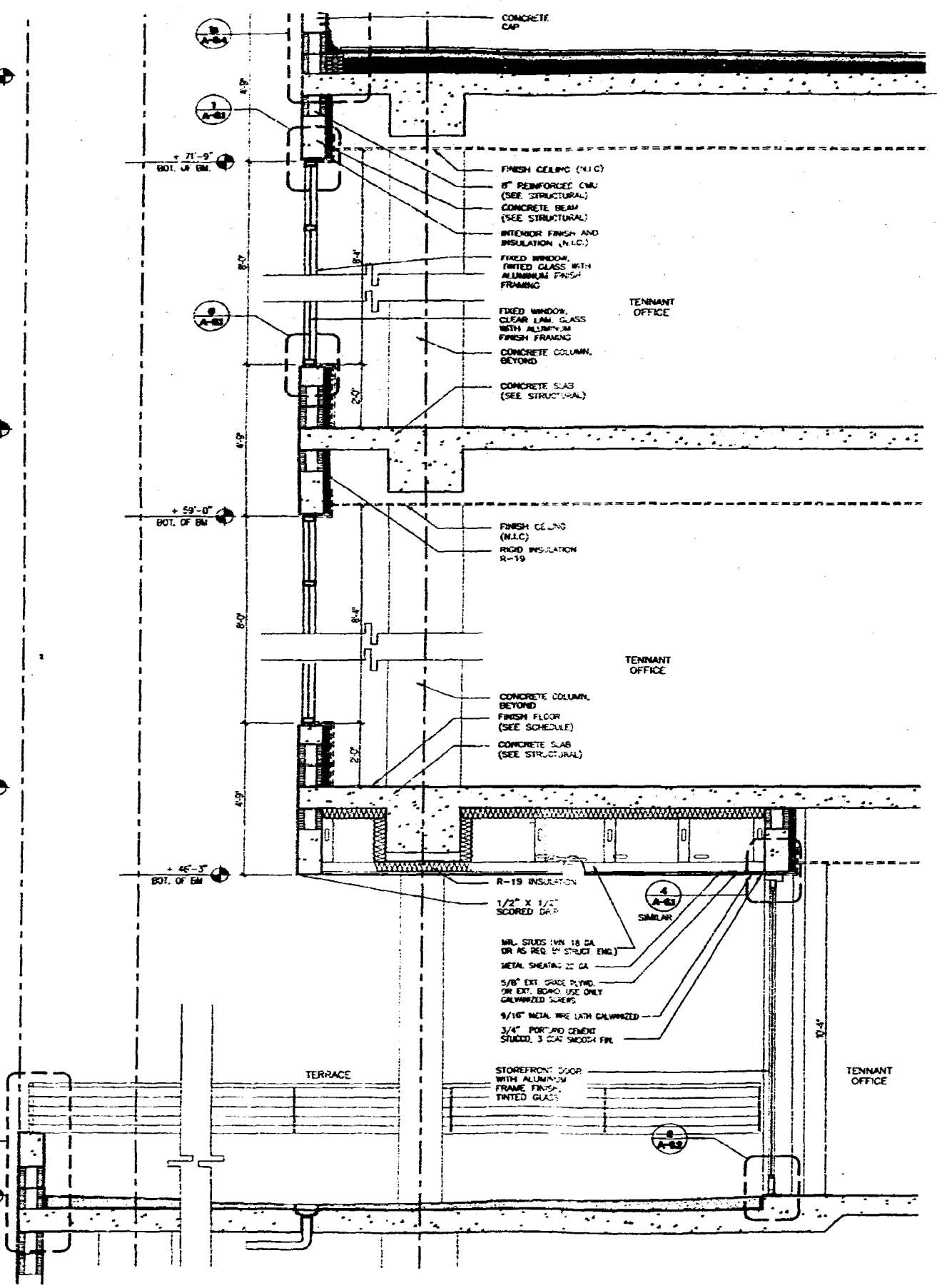
GEOTECHNICAL CONSULTANT
 INTERCOUNTY LABORATORIES, INC.
 308 HWY 170 ST.
 NORTH MIAMI BEACH, FL 33189
 (305) 651-8483 FAX 651-4480

CONSTRUCTION DOCUMENTS

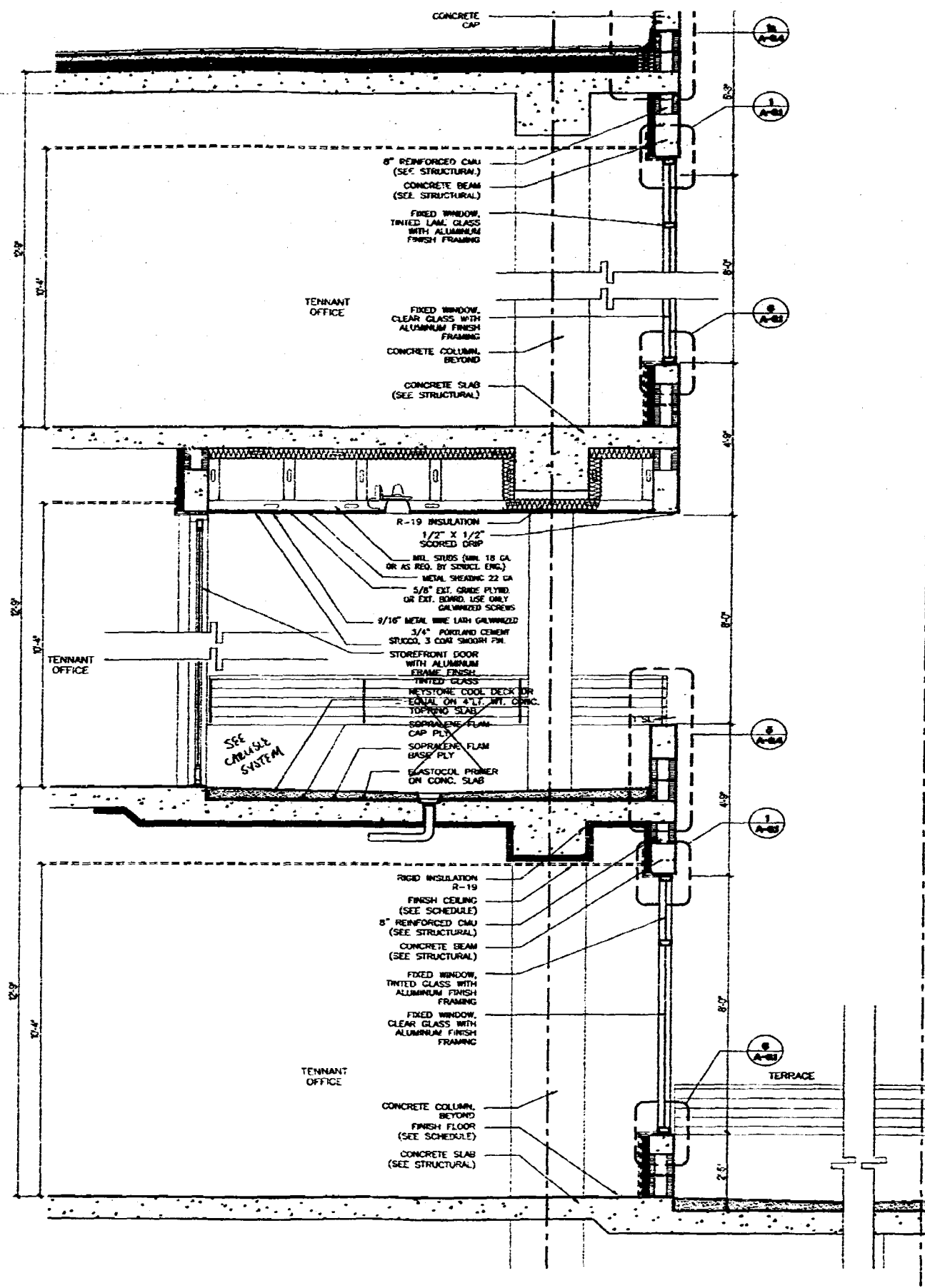
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 Issue Date: 09-15-99 Project No.: 9756
 Drawn by: M.J., AC, VR Approved by: BSC
 Permit Set 100% CD
 Revisor/Date

Sheet No. **A-4.5**

OFFICE SECTIONS



1 WALL SECTION
A4.5 SCALE 1/2"=1'-0"



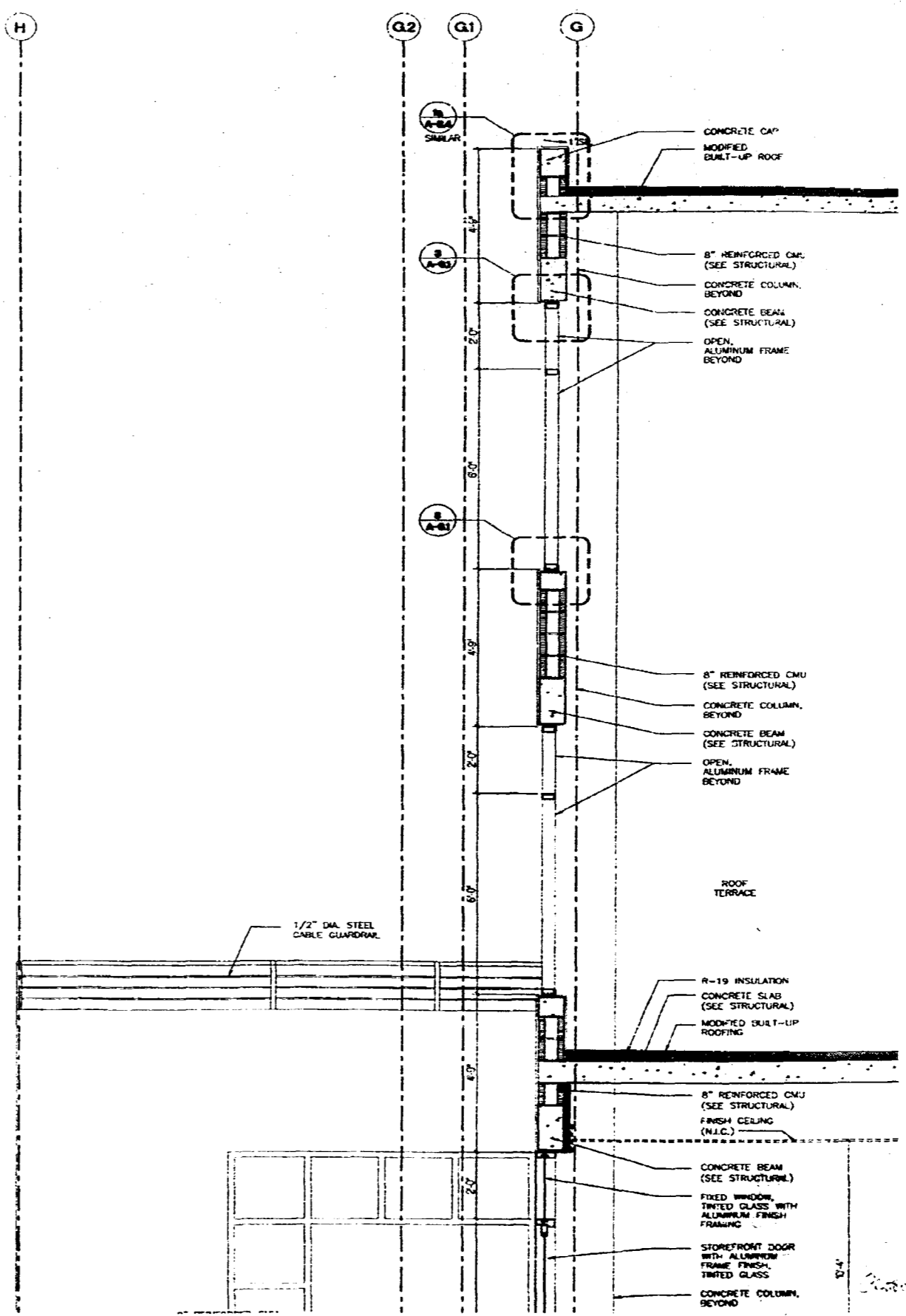
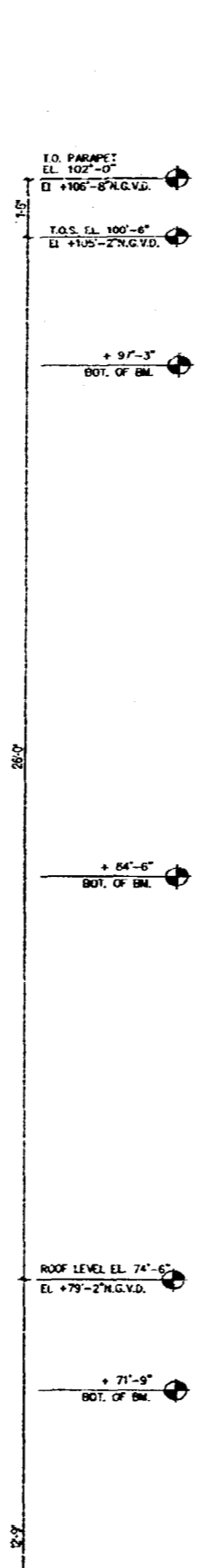
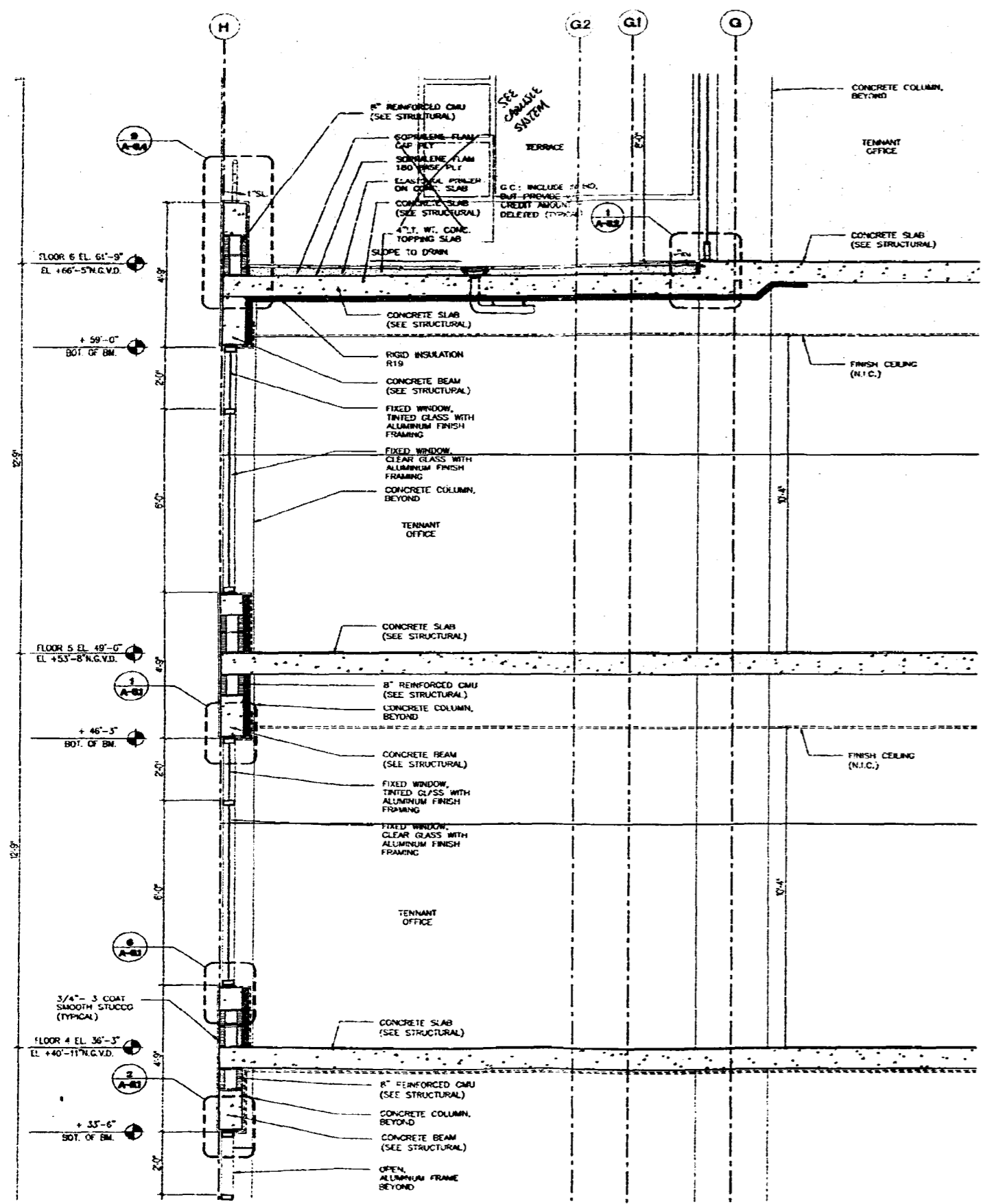
2 WALL SECTION
A4.5 SCALE 1/2"=1'-0"

NOTE: ROOFING IS NOT PART OF THIS PERMIT.

OFFICE COPY
MIAMI BEACH

APPROVED FOR PERMIT BY THE FOLLOWING:

BUILDING	
MECHANICAL	
ELECTRICAL	
PLUMBING	
ELECTRICAL	
MECHANICAL	
FIRE PROTECTION	
ENGINEERING	
PLUMBING	
STRUCTURAL	
ACCESSIBILITY	
ELEVATOR	



1 WALL SECTION
A4.6 SCALE 1/2"=1'-0"

2 WALL SECTION
A4.6 SCALE 1/2"=1'-0"

NOTE: ROOFING IS NOT PART OF THIS PERMIT.



Signature:
A/E: # 0010008
ARCHITECT

ARQUITECTONICA
800 Brickell Avenue
Miami, FL 33137
TEL (305) 372-1812
FAX (305) 372-1178

STRUCTURAL ENGINEER
G. V. PIREZ ASSOCIATES, INC.
1285 CORAL WAY, SUITE 202
MIAMI, FL 33149
(305) 854-4104 FAX 856-2078

MEP
IMDC
4141 NE 2ND AVENUE SUITE 107
MIAMI, FL 33137
(305) 573-8225

FLORIDA ENGINEERING SERVICES
24 NW 105TH STREET
NORTH MIAMI BEACH, FL 33168
(305) 853-0212 FAX (305) 853-0232

CIVIL ENGINEER
ABZMT CONSULTANTS, INC.
9400 S. DADELAND BLVD., SUITE 370
MIAMI, FL 33156
(305) 670-1011 FAX 670-1016

LANDSCAPE ARCHITECT
GEOMANTIC DESIGNS, INC.
6800 SW 81 ST.
MIAMI, FL 33143
(305) 885-9888 FAX 889-8428

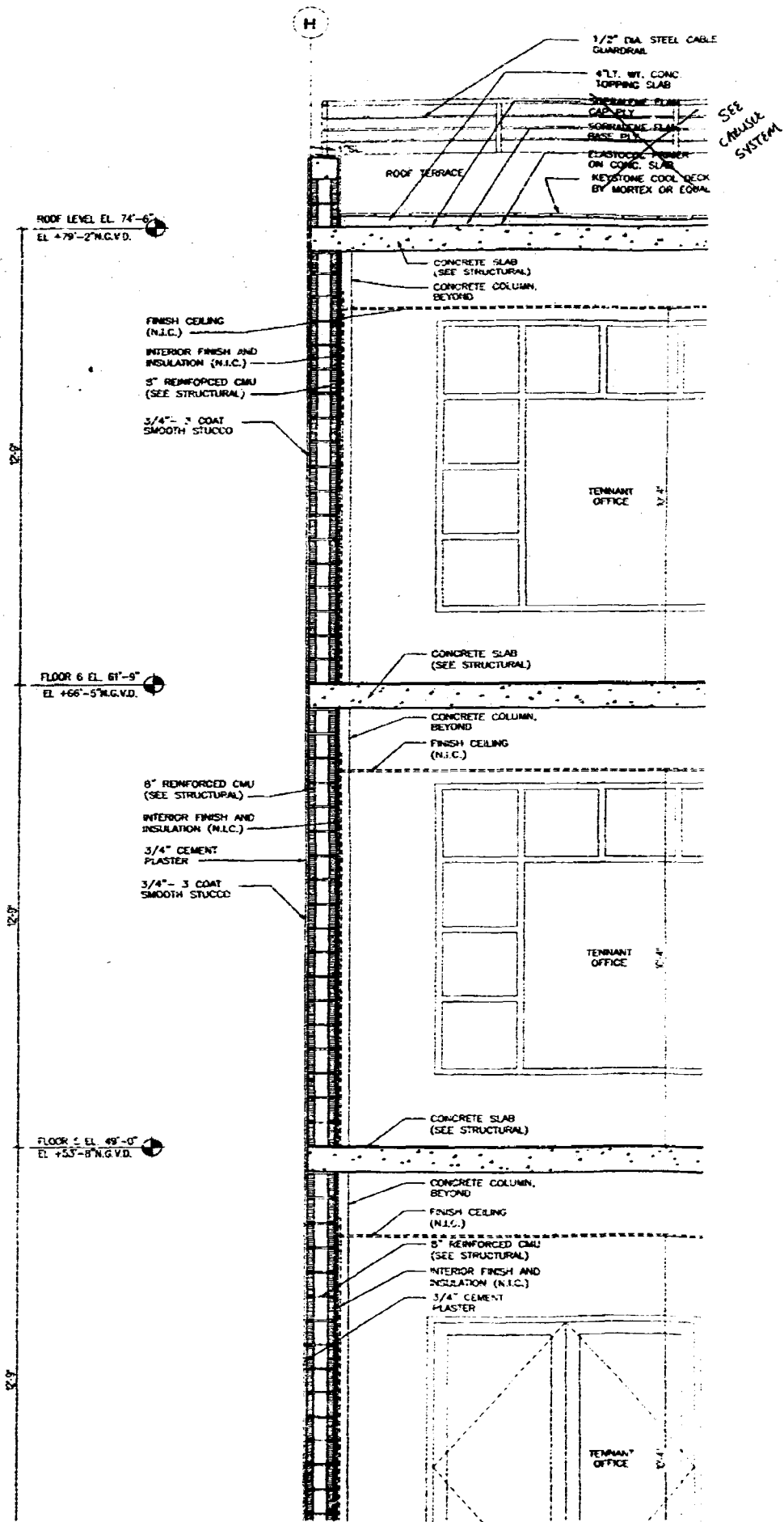
GEOTECHNICAL CONSULTANT
INTERCOUNTY LABORATORIES, INC.
308 NW 170 ST.
NORTH MIAMI BEACH, FL 33169
(305) 651-8483 FAX 651-4480

CONSTRUCTION DOCUMENTS

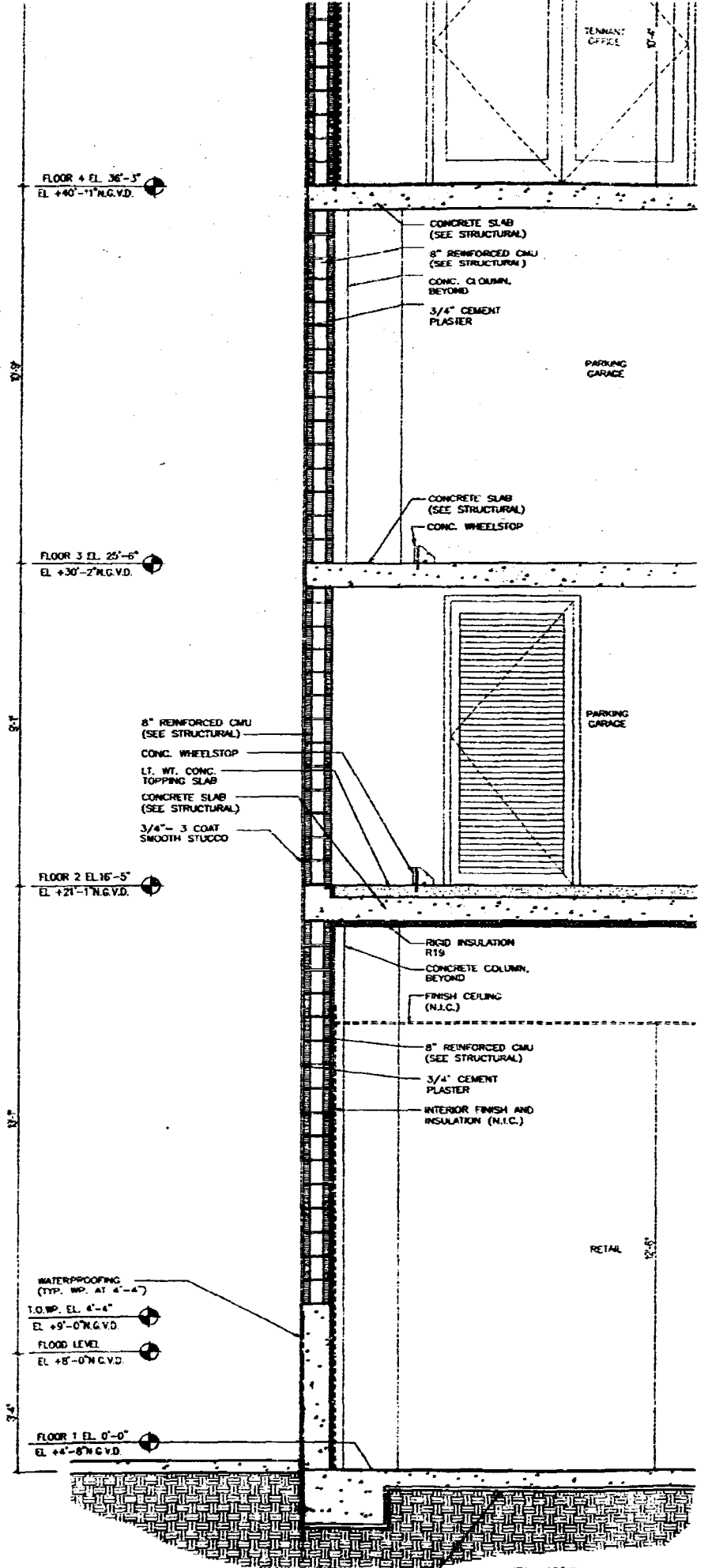
Issue Date: 09-15-99 Project No.: 9756
Drawn by: M.S.L. & V.H. Approved by: B.S.C.
Permit Set 100% CD
Revision/Date

Sheet No.
A-4.6

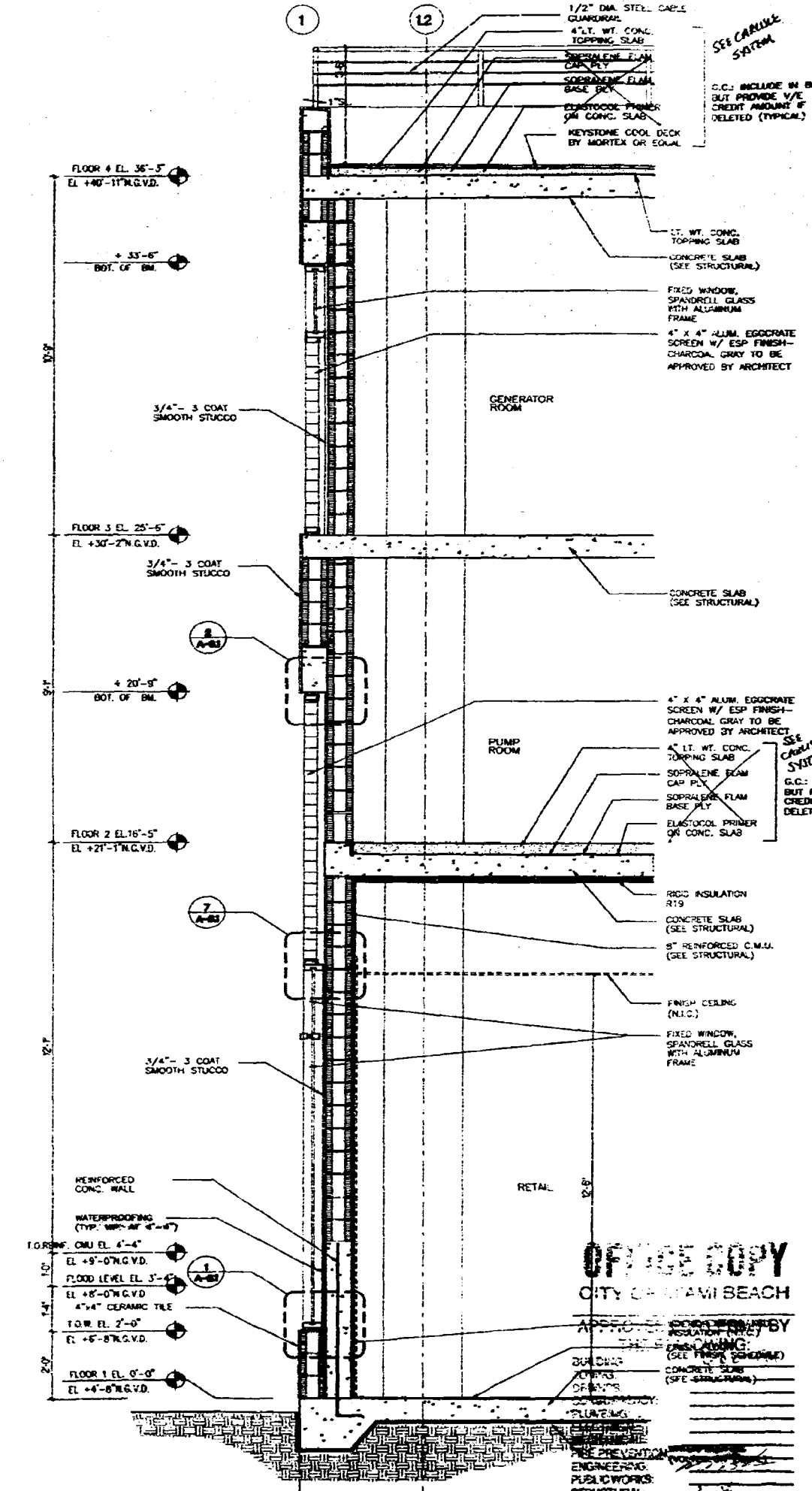
WALL SECTIONS




3 WALL SECTION
A4.7 SCALE 1/2"=1'-0"



2 WALL SECTION
A4.7 SCALE 1/2"=1'-0"



1 WALL SECTION
A4.7 SCALE 1/2"=1'-0"



ATLANTIC CENTER
110 WASHINGTON AVENUE, MIAMI BEACH

ARQUITECTONICA
350 Brickell Avenue
Miami, FL 33137
TEL (305) 372-1812
FAX (305) 372-1178

STRUCTURAL ENGINEER
G. V. PIREZ ASSOCIATES, INC.
1385 CORAL WAY, SUITE 202
MIAMI, FL 33146
(305) 854-4104 FAX 858-2676

MDC
4141 NE 2ND AVENUE SUITE 107
MIAMI, FL 33137
(305) 573-4225

FLORIDA ENGINEERING SERVICES
24 NW 18TH STREET
NORTH MIAMI BEACH, FL 33180
(305) 653-4212 FAX (305) 653-4232

CIVIL ENGINEER
AB2MT CONSULTANTS, INC.
9400 S. DADELAND BLVD., SUITE 370
MIAMI, FL 33158
(305) 676-1011 FAX 676-1016

LANDSCAPE ARCHITECT
GEOMANTIC DESIGNS, INC.
6800 SW 81 ST.
MIAMI, FL 33143
(305) 666-9886 FAX 666-9428

GEOTECHNICAL CONSULTANT
INTERCOUNTRY LABORATORIES, INC.
326 NW 170 ST.
NORTH MIAMI BEACH, FL 33180
(305) 651-8483 FAX 651-4480

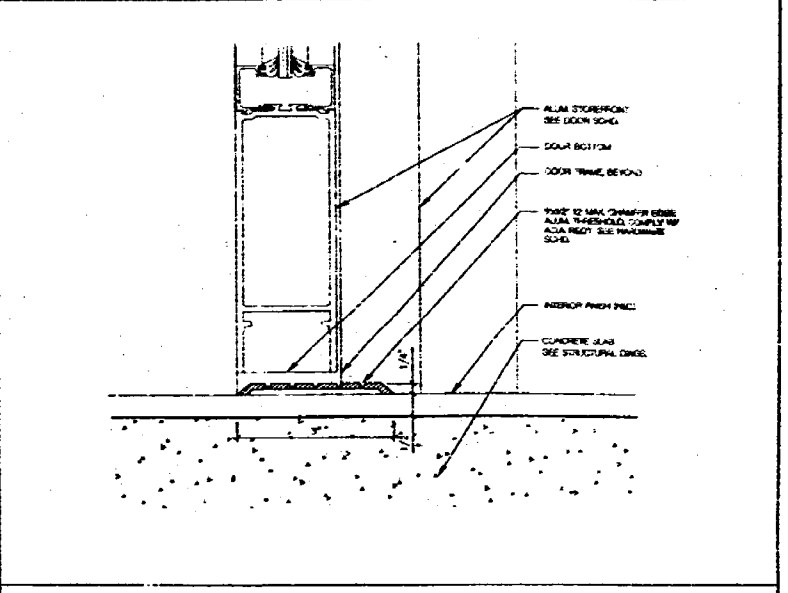
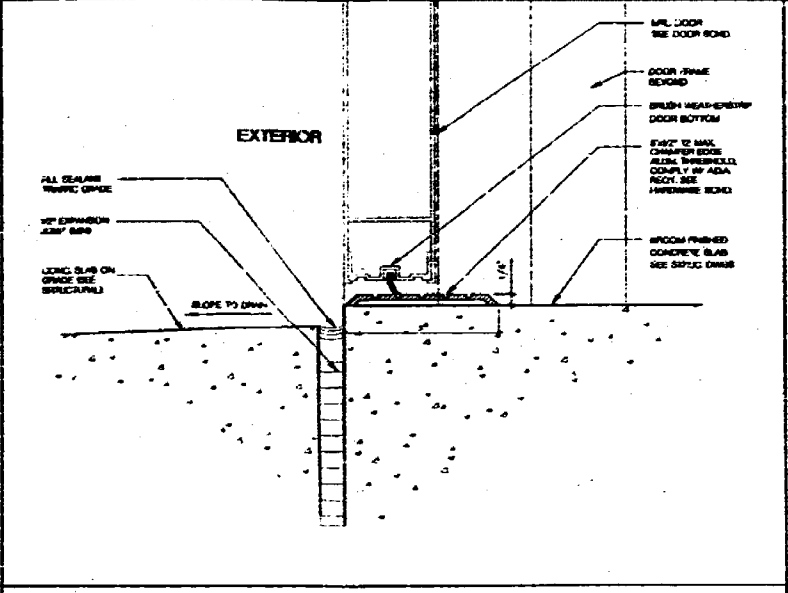
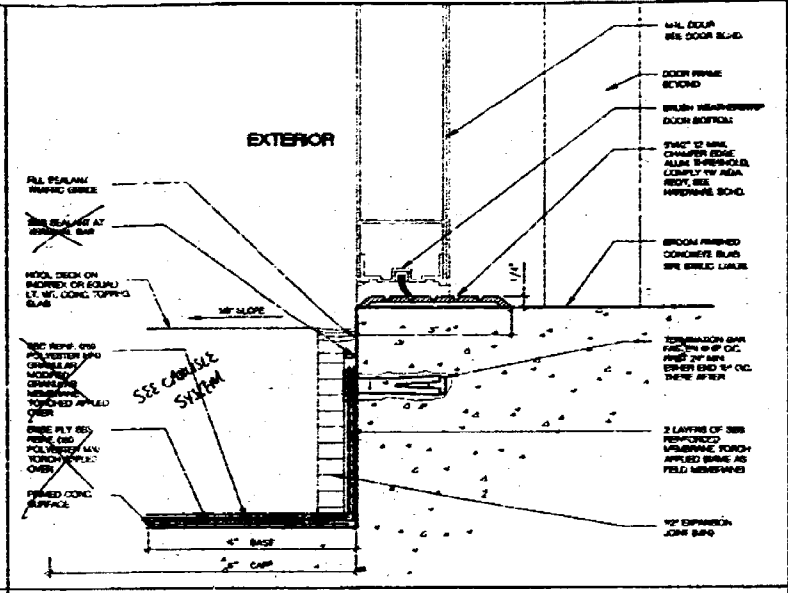
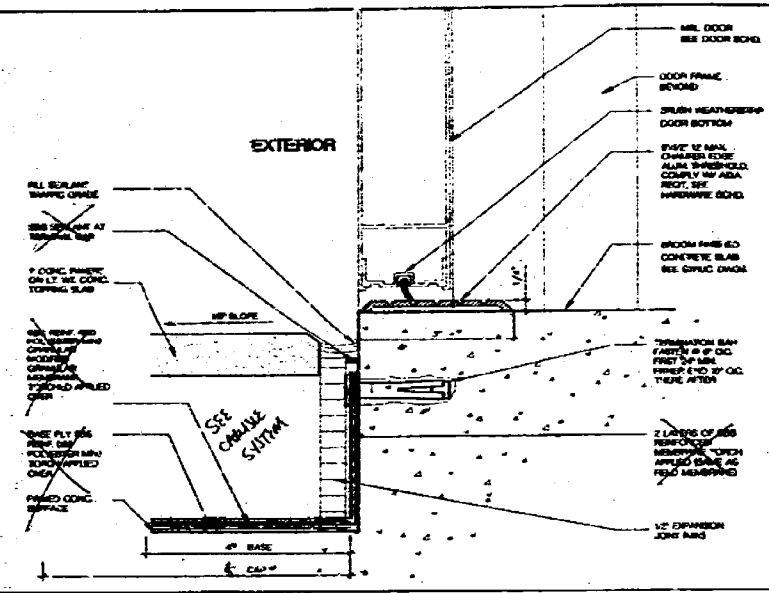
CONSTRUCTION DOCUMENTS

Office Registration PAA 0000485

Issue Date: 09-15-99 Project No.: 9756
 Drawn by: BA, JA, AC, WR Approved by: BSC
 Permit Set 100% CD
 Revision/Date

Sheet No. **A-4.7**

WALL SECTIONS

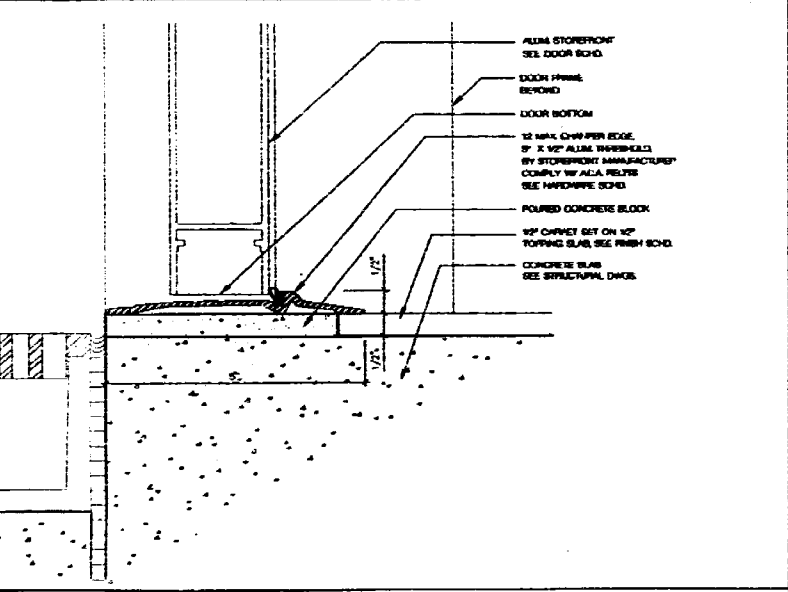
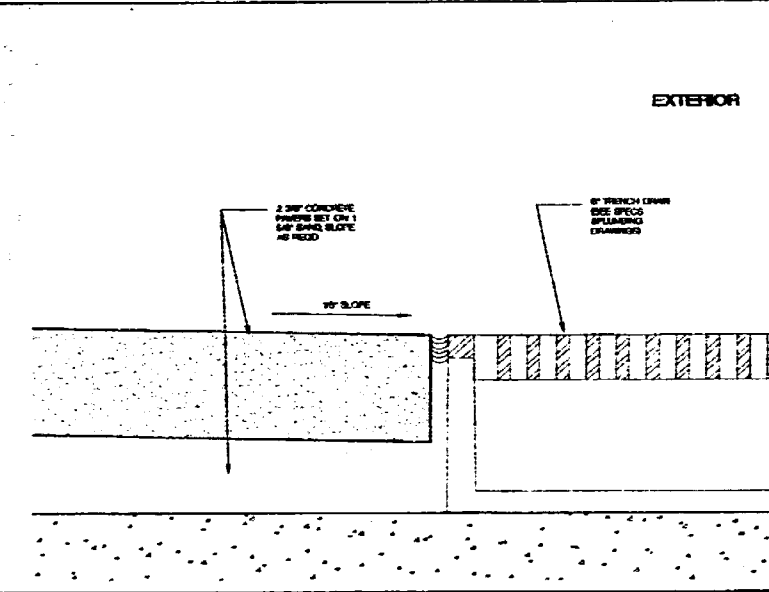


1 EXTERIOR THRESHOLD
PAVERS/CONCRETE
SCALE 6" = 1'-0"

2 EXTERIOR THRESHOLD
COOL DECK/CONCRETE
SCALE 6" = 1'-0"

3 EXTERIOR THRESHOLD
CONCRETE/CONCRETE
SCALE 6" = 1'-0"

5 INTERIOR THRESHOLD
SCALE 6" = 1'-0"



4 EXTERIOR THRESHOLD
CONCRETE PAVERS / CONCRETE W/ TRENCH DRAIN
SCALE 6" = 1'-0"

6 EXTERIOR THRESHOLD
BUILT-UP ROOF/CONCRETE LEVÉE
SCALE 6" = 1'-0"

Reference:
 AR # 0010000
 ARCHITECT
ARQUITECTONICA
 600 Brickell Avenue
 Miami, FL 33137
 TEL (305) 372-2812
 FAX (305) 373-1178
 STRUCTURAL ENGINEER
 G. V. PIREZ ASSOCIATES, INC.
 1385 CORAL WAY, SUITE 202
 MIAMI, FL 33146
 (305) 654-4104 FAX 658-2576
 MEP
 BMD
 4141 NE 2ND AVENUE SUITE 107
 MIAMI, FL 33137
 (305) 573-8255
 FLORIDA ENGINEERING SERVICES
 34 NW 165th STREET
 NORTH MIAMI BEACH, FL 33160
 (305) 653-0212 FAX (305) 653-0232
 CIVIL ENGINEER
 ABZMT CONSULTANTS, INC.
 9400 S. DADELAND BLVD., SUITE 370
 MIAMI, FL 33158
 (305) 670-1011 FAX 670-1018
 LANDSCAPE ARCHITECT
 GEOMANTIC DESIGNS, INC.
 8808 SW 81 ST.
 MIAMI, FL 33143
 (305) 655-6808 FAX 655-8428
 GEOTECHNICAL CONSULTANT
 INTERCOUNTY LABORATORIES, INC.
 308 NW 170 ST.
 NORTH MIAMI BEACH, FL 33160
 (305) 651-8463 FAX 651-4480

CONSTRUCTION DOCUMENTS

Office Registration #AA 0000485
 Issue Date: 09-15-99 Project No.: 9766
 Drawn by: W. J. K. W. Approved by: BSC
 Permit Set 100% CD
 Revision/Date

Sheet No.
A-6.2

DOOR
 DETAILS



ATLANTIC CENTER
1775 BROADWAY AVENUE, MIAMI BEACH, FLORIDA

SCALE: 1/8" = 1'-0"

ARCHITECT

ARQUITECTONICA
MIAMI, FL 33137
TEL: (305) 372-1812
FAX: (305) 372-1178

STRUCTURAL ENGINEER

G. V. PIREZ ASSOCIATES, INC.
1306 CORAL WAY, SUITE 202
MIAMI, FL 33140
(305) 404-4101 FAX 888-3078

MEP

EMDC
4141 NE 2ND AVENUE SUITE 107
MIAMI, FL 33137
(305) 573-6255

FLORIDA ENGINEERING SERVICES
34 NW 108th STREET
NORTH MIAMI BEACH, FL 33158
(305) 853-0212 FAX (305) 853-0252

CIVIL ENGINEER

ASCMT CONSULTANTS, INC.
3400 S. DADELAND BLVD., SUITE 370
MIAMI, FL 33156
(305) 670-1011 FAX 670-1016

LANDSCAPE ARCHITECT

GEOMANTIC DESIGNS, INC.
6900 SW 81st
MIAMI, FL 33143
(305) 685-6888 FAX 685-9428

GEOTECHNICAL CONSULTANT

INTERCOUNTRY LABORATORIES, INC.
308 NW 17th ST.
NORTH MIAMI BEACH, FL 33158
(305) 951-8483 FAX 851-4480

CONSTRUCTION DOCUMENTS

Office Registration #AA 0004055

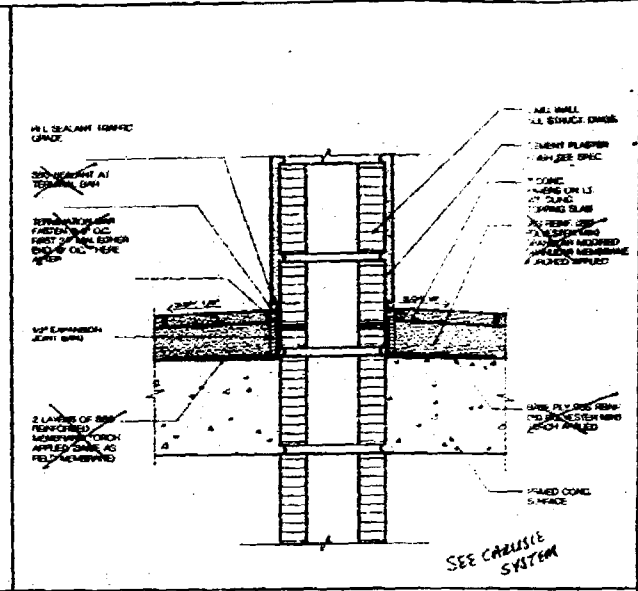
Issue Date: 09-15-99 Project No.: 9766
Drawn by: M.H.A. Approved by: B.S.C.
Permit: Set 100% CD
Revision/Date

Sheet No.

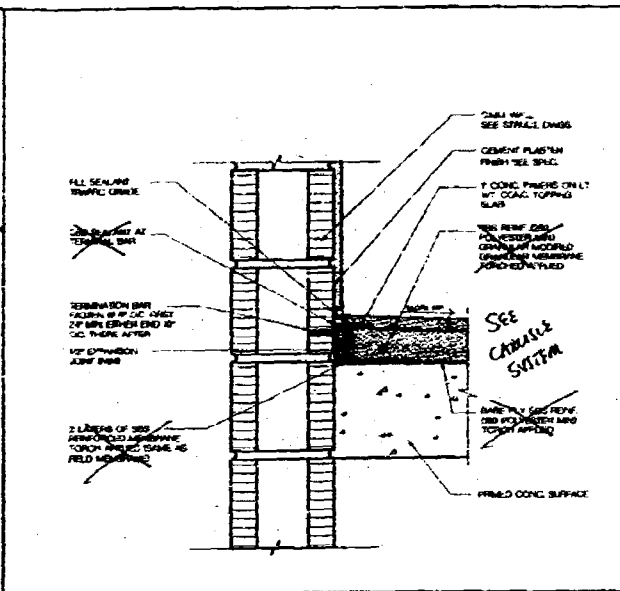
A-6.4

ROOF DETAILS

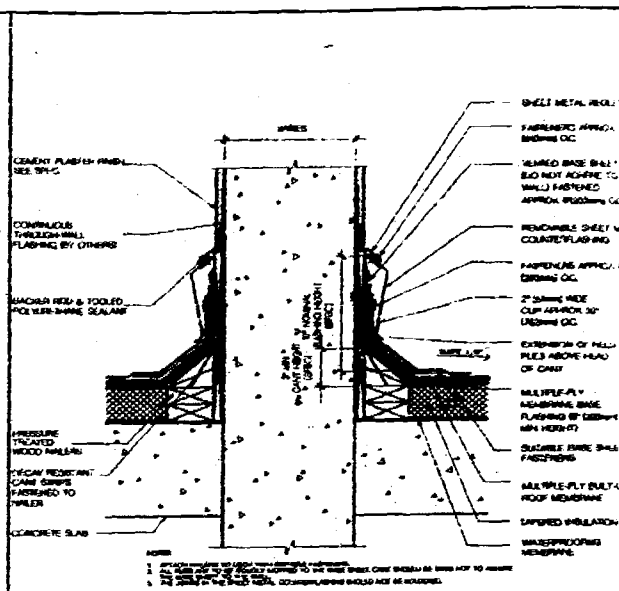
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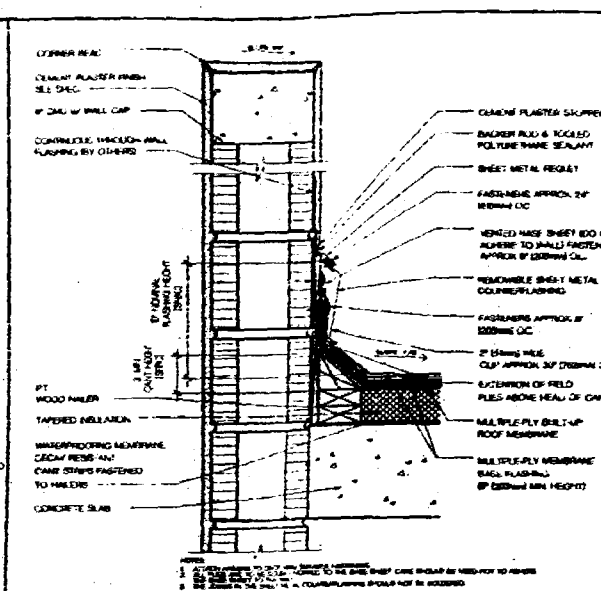
4 TYPICAL PAVERS AT WALL
ROOF LEVEL - TERRACE
SCALE: 1-1/2" = 1'-0"



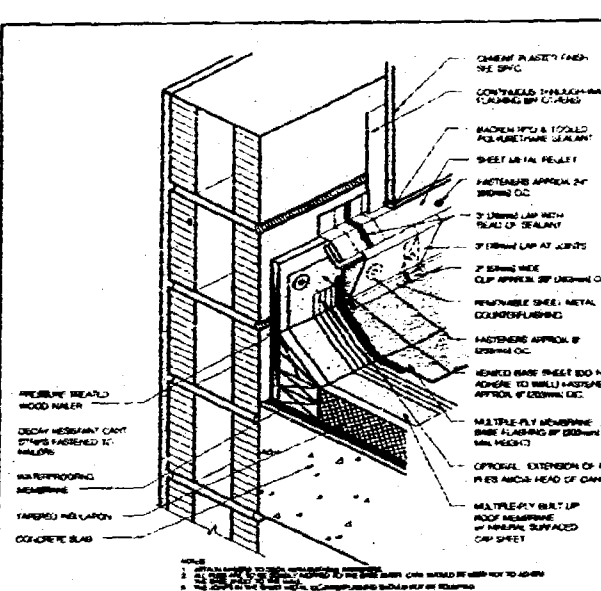
3 TYPICAL PAVERS AT EDGE
ROOF LEVEL - TERRACE
SCALE: 1-1/2" = 1'-0"



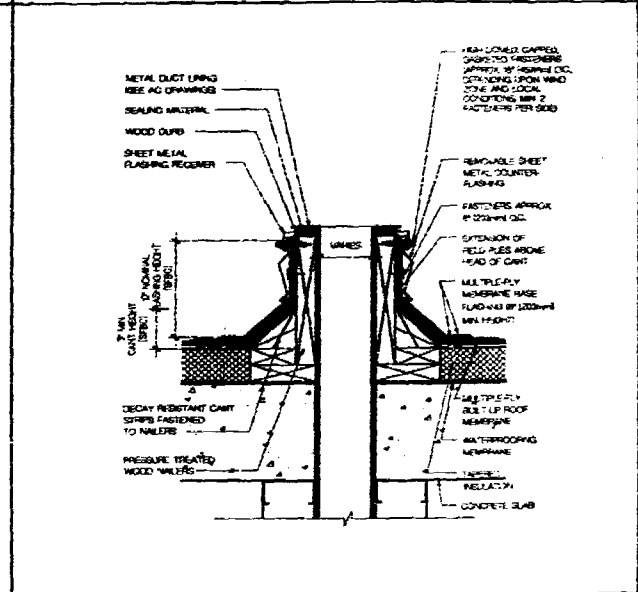
2 BASE FLASHING AT SHEAR WALL
ROOF LEVEL
SCALE: 1-1/2" = 1'-0"



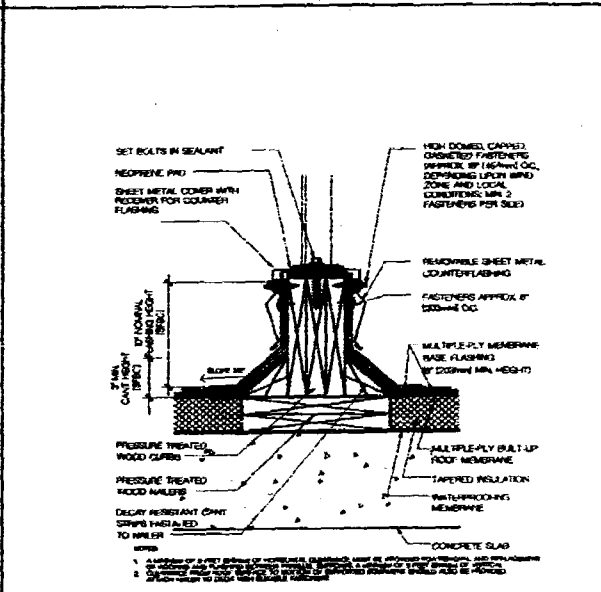
1a TYPICAL BASE FLASHING AT PARAPET
ROOF LEVEL
SCALE: 1-1/2" = 1'-0"



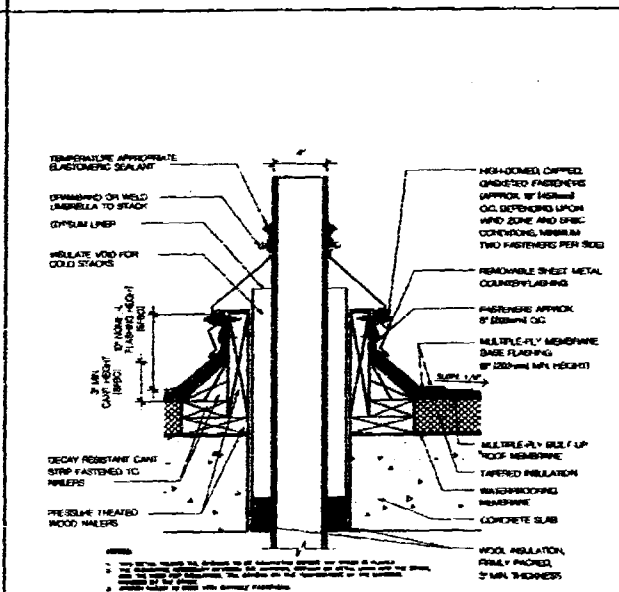
1 TYPICAL BASE FLASHING AT PARAPET
ROOF LEVEL (AXONOMETRIC)
SCALE: 1-1/2" = 1'-0"



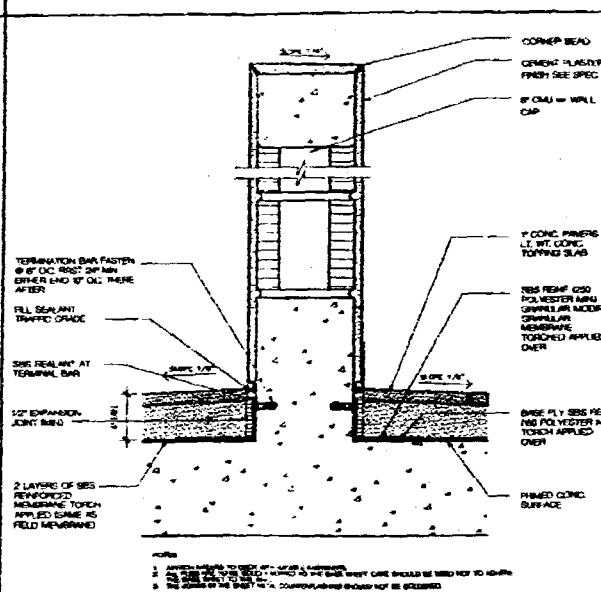
9 A/C DUCT + VENT
ROOF LEVEL
SCALE: 1-1/2" = 1'-0"



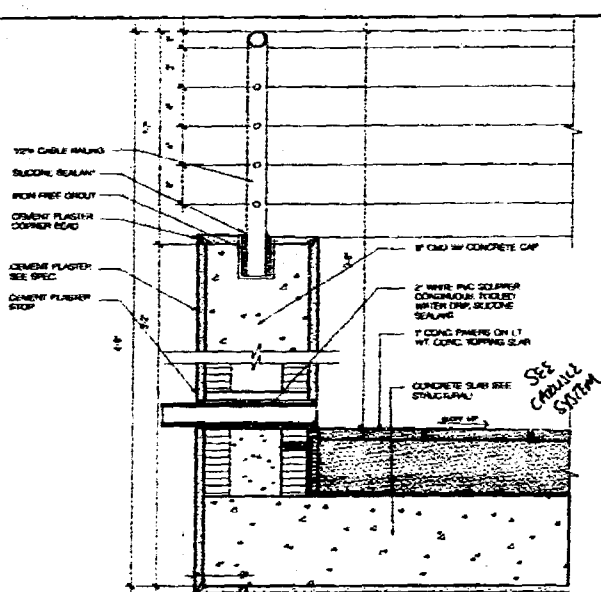
8 EQUIPMENT SUPPORT CURB
ROOF LEVEL
SCALE: 1-1/2" = 1'-0"



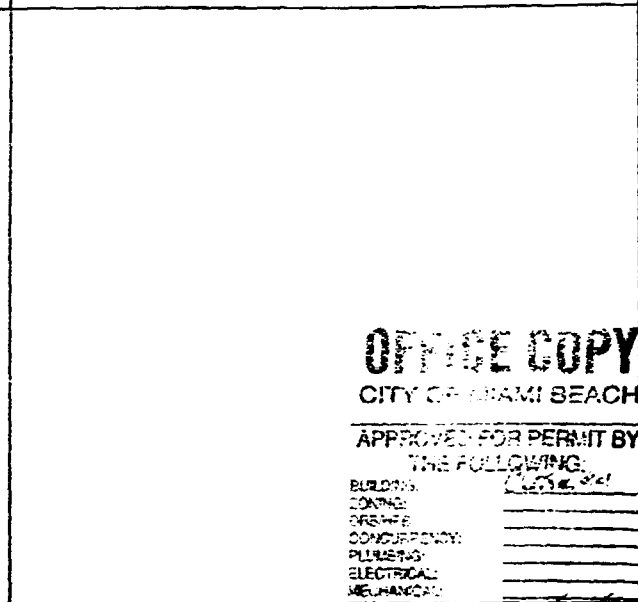
7 ISOLATED STACK FOR 4' PIPE / VENT
ROOF LEVEL
SCALE: 1-1/2" = 1'-0"



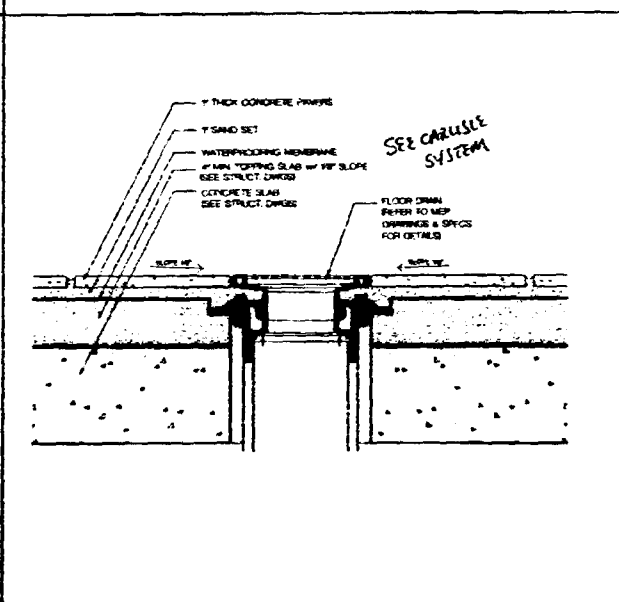
6 EGRESS PATH, WALL FLASHING
ROOF LEVEL
SCALE: 1-1/2" = 1'-0"



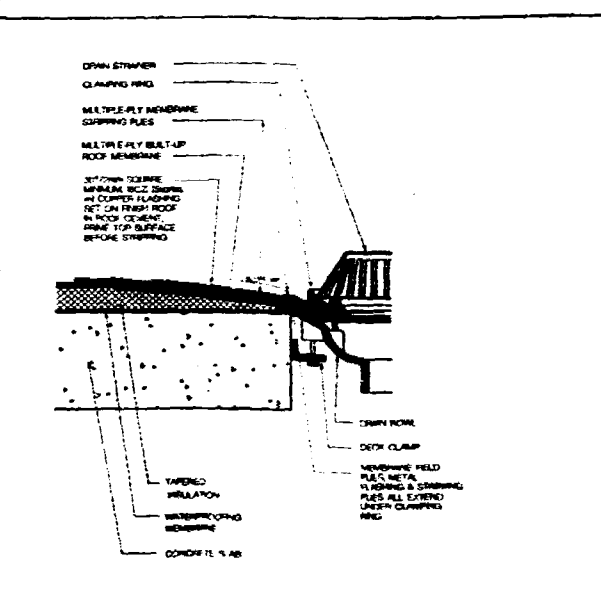
5 TYPICAL BALCONY RAILING EDGE
TERRACE LEVEL
SCALE: 1-1/2" = 1'-0"



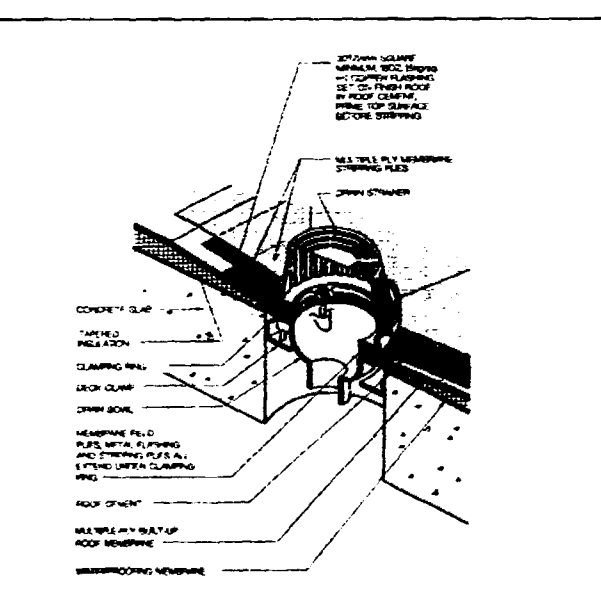
12 A/C EXHAUST FAN DUCT
ROOF LEVEL
SCALE: 1-1/2" = 1'-0"



11 ROOF DECK DRAIN
ROOF LEVEL
SCALE: 1-1/2" = 1'-0"

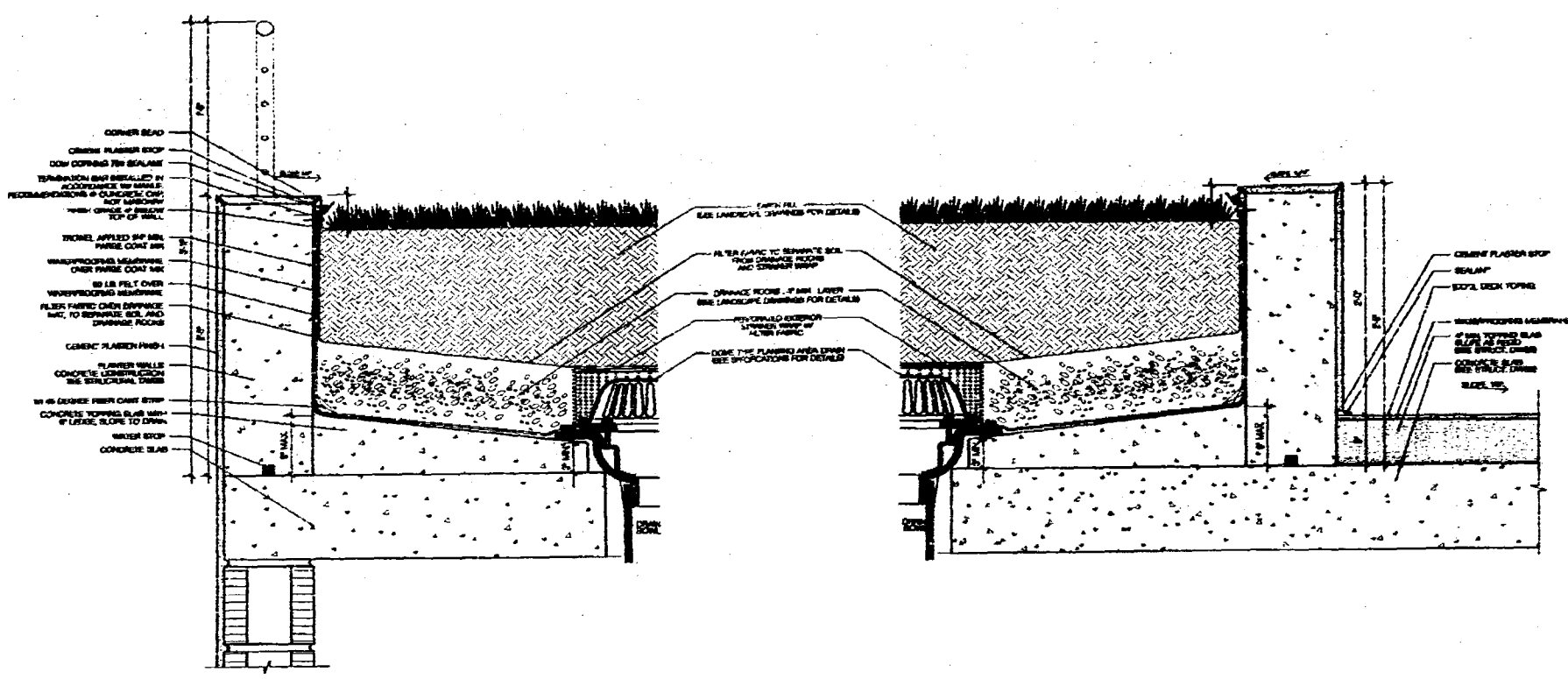


10a ROOF DRAIN
ROOF LEVEL
SCALE: 1-1/2" = 1'-0"



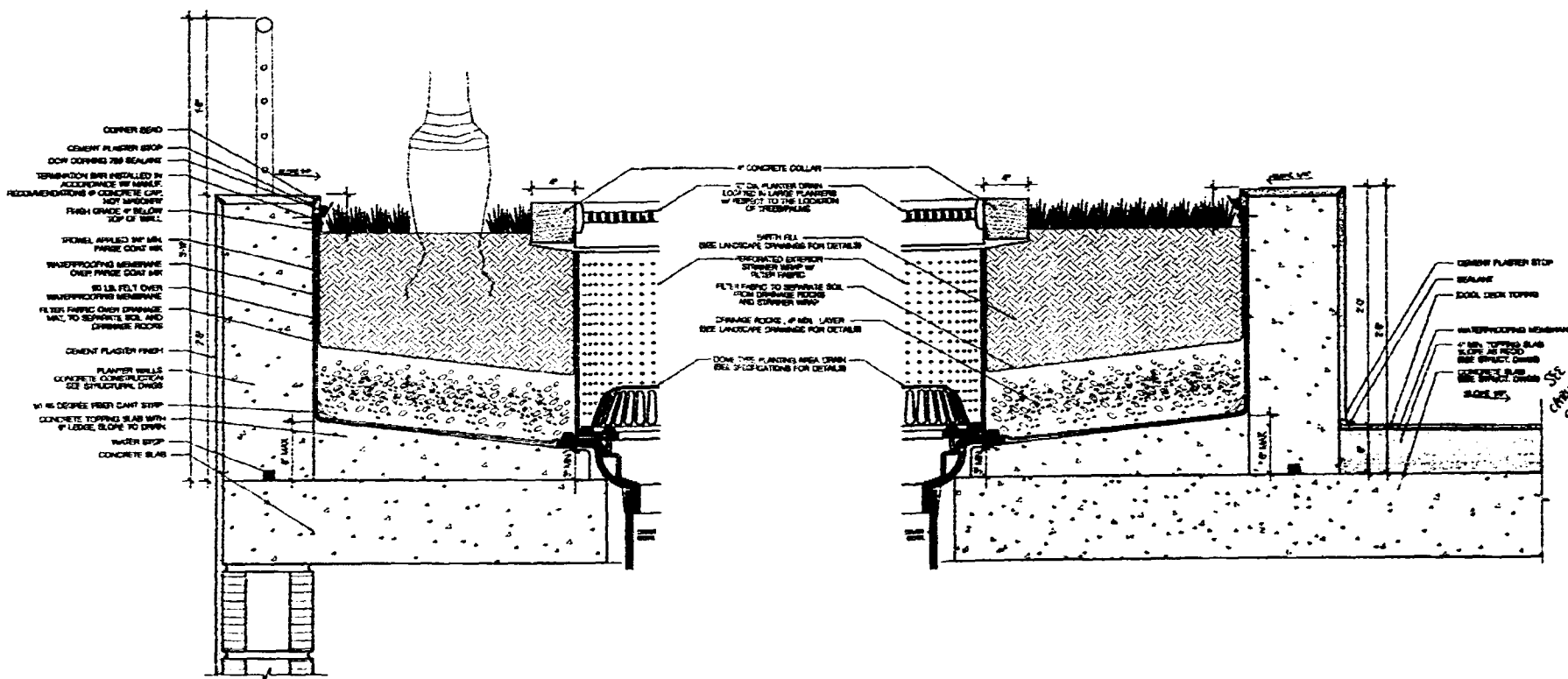
10 ROOF DRAIN
ROOF LEVEL (AXONOMETRIC)
SCALE: 1-1/2" = 1'-0"

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:
BUILDING DEPARTMENT
ENGINEERING
PUBLIC WORKS
STRUCTURAL ACCESSIBILITY
ELECTRICAL
MECHANICAL
FIRE PREVENTION
ENGINEERING
PLUMBING
CIVIL ENGINEERING
CONSTRUCTION



1 TYPICAL PLANTER AT PARAPET
FOOTING LEVEL
SCALE 1-1/2" = 1'-0"

2 TYPICAL PLANTER
FOOTING LEVEL
SCALE 1-1/2" = 1'-0"



3 TYPICAL TREE/PALM PLANTER AT PARAPET
FOOTING LEVEL
SCALE 1-1/2" = 1'-0"

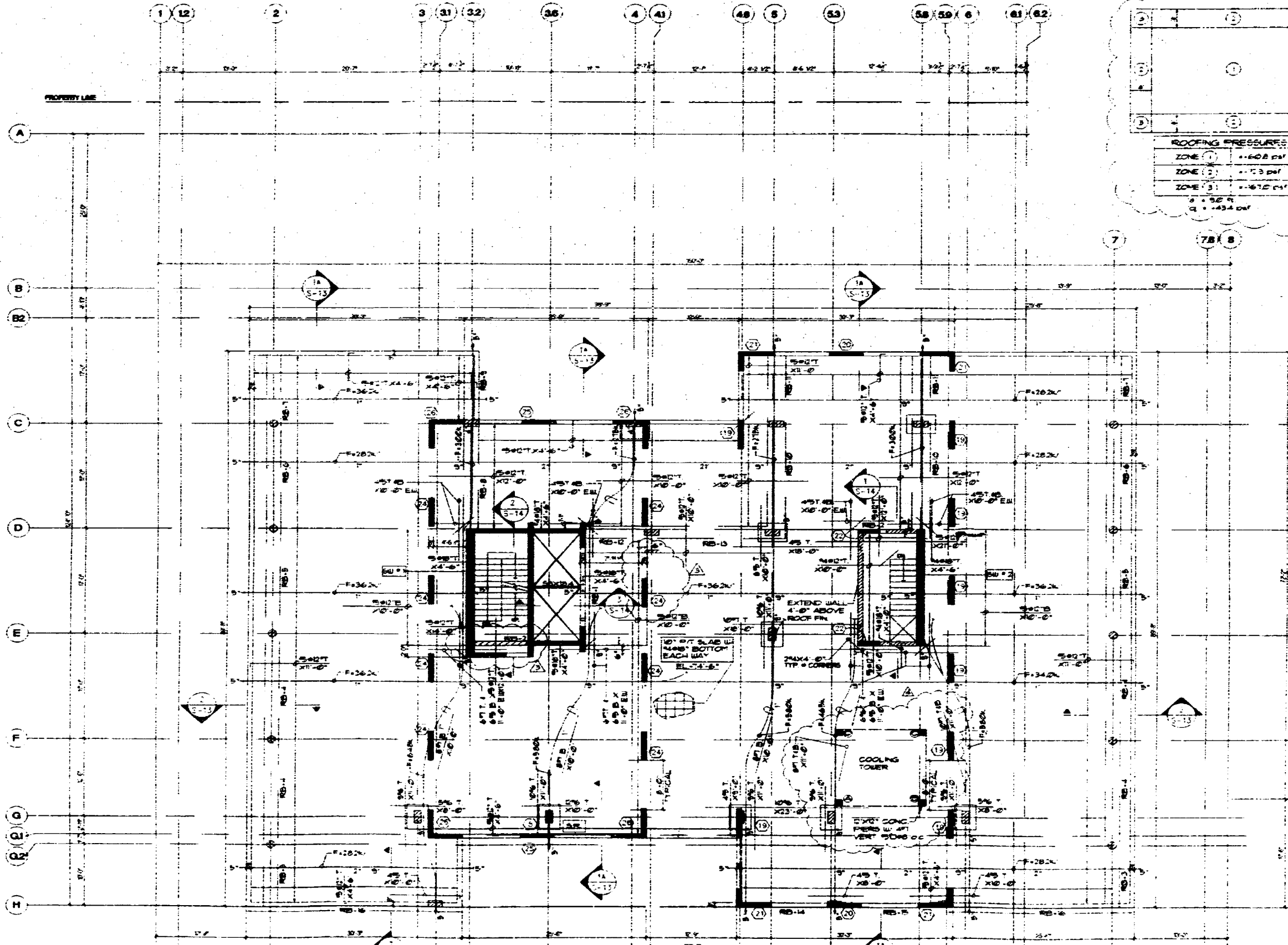
4 TYPICAL TREE/PALM PLANTER
FOOTING LEVEL
SCALE 1-1/2" = 1'-0"

ARQUITECTONICA
 Structural Engineer
 G. V. PIREZ ASSOCIATES, INC.
 1285 CORNL WAY, SUITE 202
 MIAMI, FL 33145
 (305) 854-4104 FAX 858-8276
 MEP
 BMDC
 4141 NE 2ND AVENUE SUITE 107
 MIAMI, FL 33137
 (305) 573-8255
 FLORIDA ENGINEERING SERVICES
 34 NW 108TH STREET
 NORTH MIAMI BEACH, FL 33168
 (305) 653-0212 FAX (305) 653-0232
 CIVIL ENGINEER
 AS2MT CONSULTANTS, INC.
 8800 S. DIWELAND BLVD., SUITE 370
 MIAMI, FL 33158
 (305) 670-1011 FAX 670-1016
 LANDSCAPE ARCHITECT
 GEOMANTIC DESIGNS, INC
 8800 SW 81 ST.
 MIAMI, FL 33143
 (305) 885-8888 FAX 888-8428
 GEOTECHNICAL CONSULTANT
 INTERCOUNTY LABORATORIES, INC.
 308 NW 170 ST.
 NORTH MIAMI BEACH, FL 33188
 (305) 951-8483 FAX 951-4480

CONSTRUCTION DOCUMENTS
 Office Registration #AA C000486
 Issue Date: 09-15-99 Project No.: 9766
 Drawn by: M.A. M. Approved by: B.S.C.
 Permit Set 100% CD
 Revision/Date
 Sheet No.

A-6.5

PLANTER DETAILS



ROOF FRAMING PLAN

SC. 1/8" = 1'-0"

NOTES

1. INDICATES FRAM POST-TENSIONING FORCES. TENSION PROFILES SHOWN ARE MEASURED FROM BOTTOM OF SLAB.
2. CONCRETE STRENGTH THIS FLOOR = 4000 PSI.

LOADS

PUBLIC AREAS
 ROOFING ISOLATION TOPPING 50 PSF
 LIVE LOAD 80 PSF

ROOFING PRESSURES

ZONE 1	+1.608 psf
ZONE 2	+1.133 psf
ZONE 3	+0.610 psf

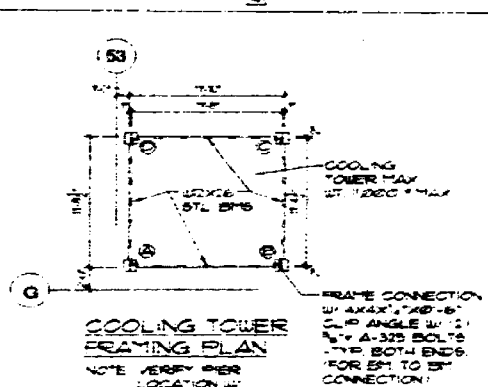
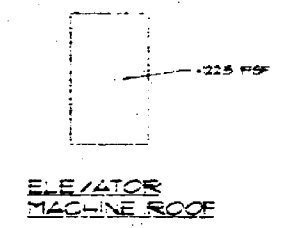
W = 56.9
 G = 434.0 psf

NOTES

1. ALL ROOFING TO BE SUPPORTED DIRECTLY ON 6" x 6" x 12" PILES.

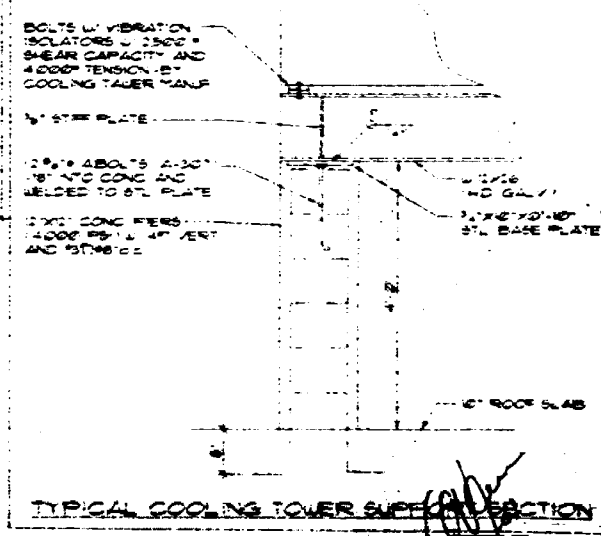
LOADS ARE AS FOLLOWS:

- (1) 50 PSF
- (2) 80 PSF
- (3) 40 PSF
- (4) 10 PSF
- (5) 10 PSF
- (6) 10 PSF
- (7) 10 PSF
- (8) 10 PSF
- (9) 10 PSF
- (10) 10 PSF
- (11) 10 PSF
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- (57) 10 PSF
- (58) 10 PSF
- (59) 10 PSF
- (60) 10 PSF
- (61) 10 PSF
- (62) 10 PSF



COOLING TOWER REACTIONS

REACTION	FRONT OPERATING UNIT	REAR UNIT
WIND	800 E	3200 E
SEISMIC	1000 E	3200 E
WIND	3200 W	1000 W
SEISMIC	3200 W	1000 W



G. V. PIREZ ASSOCIATES, INC.
 STRUCTURAL ENGINEERS EB 000838
 1305 CORAL WAY, SUITE 202, MIAMI, FL 33146
 TEL: (305) 554-4104 FAX: (305) 554-3770



ARQUITECTONICA
 200 Brickell Avenue, Miami, FL 33131
 TEL: (305) 372-8812 FAX: (305) 372-1176

STRUCTURAL ENGINEER
G. V. PIREZ ASSOCIATES, INC.
 1305 CORAL WAY, SUITE 202, MIAMI, FL 33146
 TEL: (305) 554-4104 FAX: (305) 554-3770

MEP
 2541 NE 2ND AVENUE, SUITE 107, MIAMI, FL 33137
 TEL: (305) 573-8535

FLORIDA ENGINEERING SERVICES
 34 NW 109th STREET, NORTH MIAMI BEACH, FL 33160
 TEL: (305) 853-0212 FAX: (305) 853-0232

CIVIL ENGINEER
ARZUMI CONSULTANTS, INC.
 3400 S. DADELAND BLVD., SUITE 370, MIAMI, FL 33156
 TEL: (305) 670-1011 FAX: (305) 670-1016

LANDSCAPE ARCHITECT
GEOMATIC DESIGNS, INC.
 6800 SW 81 ST, MIAMI, FL 33143
 TEL: (305) 555-0098 FAX: (305) 555-0128

GEOTECHNICAL CONSULTANT
INTERCOUNTY LABORATORIES, INC.
 308 NW 170 ST, NORTH MIAMI BEACH, FL 33160
 TEL: (305) 651-8493 FAX: (305) 651-4400

CONSTRUCTION DOCUMENTS

Office Registration # AA 000486
 Issue Date: 4-22-99 Project No. 9706
 Drawn By: Approved By:

Revision/Date: 1. 5-4-99
 2. 5-17-99

COOLING TOWER
 ROOF UPLIFT PRESSURE: 4.45 psf

S-7

ROOF FRAMING PLAN

B0102847

119 Washington Ave

1

10

PERMIT #

30104542

CITY OF MIAMI BEACH
Miami Beach, Florida 33139
Receipt of Payment
Building Work Permit

Activity Number: B010452
Status: APPROVED

Date Issued: 10/30/2001
Date Expired: 04/28/2002
Entered By: BETH WILK

Address: 119 WASHINGTON AV MBCH
Valuation: \$1,900.00
Balance Due: \$0.00

Contractor: BLUE COMET LLC
Project: PRESTIGE GARAGE DOORS
1767 WEST 37 STREET #14
MIAMI BEACH, FLORIDA 33142
305.366.5999

Installation of Rolling Doors

Payment Made to the Following Items:

Summary for Fees and Payments:

Item	Description	Amount
1	Permit Fee	1,900.00
2	Inspection Fee	0.00
3	Plan Review Fee	0.00
4	Other Fees	0.00
Total		1,900.00

108-083410-01
2106101
R.R. 9766

MIAMI-DADE COUNTY, FLORIDA
METRO DADFL FLAGLER BUILDING
BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
161 WEST FLAGLER STREET, SUITE 1400
MIAMI, FLORIDA 33136-1263
(305) 375-2901 FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE
Best Rolling Doors, Inc.
9625 NW 80TH AVENUE
Hialeah Gardens, FL 33016-2313

CONTRACTOR LICENSING SECTION
(305) 375-2927 FAX (305) 375-2924

PERMISSION TO INSTALL EVIDENCE DIVISION
(305) 375-2966 FAX (305) 375-2969

PRODUCT CONTROL DIVISION
(305) 375-2823 FAX (305) 375-2827

Your application for Notice of Acceptance (NOA) of:
Roll-Up Door
under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This NOA shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined by BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

ACCEPTANCE NO.: 00-0426-07
EXPIRES: 02/27/2004

Raul Rodriguez
Chief Product Control Division

OFFICE COPY
SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS
BUILDING CODE & PRODUCT REVIEW COMMITTEE

CITY OF MIAMI BEACH
This application for Product Approval has been reviewed by the BCCO and approved by the Building Code & Product Review Committee to be used in Miami-Dade County, Florida under the conditions set forth herein.

APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING: [Signature]
ZONING: [Signature]
DREMP: [Signature]
CONCURRENCY: [Signature]
PLANNING: 02/27/2001
ELECTRICAL: [Signature]
MECHANICAL: [Signature]
FIRE PREVENTION: [Signature]
ENGINEERING: [Signature]
PUBLIC WORKS: [Signature]
STRUCTURAL: [Signature]
ADVISOR: [Signature]
ELEVATOR: [Signature]

Francisco J. Quintana, R.A.
Director
Miami-Dade County
Building Code Compliance Office

3010 4542

Internet address: www.miamidade.gov/buildingcodeonline.com Homepage: <http://www.buildingcodeonline.com>

Best Rolling Doors, Inc.

ACCEPTANCE NO.: 00-0426-07
APPROVED: FEB 2 2 2004
EXPIRES: FEB 2 2 2004

NOTICE OF ACCEPTANCE EVIDENCE SUBMITTED

A. DRAWING:
1. Drawing No. 99-156, titled "Roll-Up Door", sheet 1 and 3 of 3, prepared by Tiltaco, Inc. dated 05/25/99, with user revision on 06/15/00, signed and sealed by W. A. Tiltin Jr., PE.

B. TEST:
1. Test report on Large Missile Impact Test per PA 201, Cyclic Wind Pressure Test per PA 203 and Uniform Static Air Pressure Test per PA 202 on "Series Roll-Up Door, Steel Garage Door" prepared by Fenestration Testing Laboratory, Inc., report No. 2337, dated 01/09/99, signed and sealed by A. P. Gonzalez, PE.

C. CALCULATIONS:
1. Calculations for attachment of guide to steel or masonry jamb, prepared by Tiltaco, Inc. with no date, sheets 1 to 20, signed and sealed by W. A. Tiltin Jr., PE. on 08/27/99.

D. STATEMENTS:
1. Code Compliance letter issued by Tiltaco, Inc. on 04/27/99, signed and sealed by W. A. Tiltin Jr., P.E.
2. No Financial Interest letter issued by Tiltaco, Inc. on 08/27/99, signed and sealed by W. A. Tiltin Jr., P.E.
3. Test Compliance letter issued by Fenestration Testing Laboratory, Inc. on 12/06/99, signed and sealed by A. P. Gonzalez, PE.

E. MATERIAL CERTIFICATION:
1. Tensile Test Report No. ATC 1374-001 per ASTM A 370 on plate material, prepared by ATC Associates, Inc. on 05/24/99 and 10/18/99, signed and sealed by S. E. Black, PE.
2. Tensile Test Report No. ATC 1374-001 per ASTM A 370 on component, prepared by ATC Associates, Inc. on 05/24/99, signed and sealed by S. E. Black, PE.

Francisco J. Quintana, R.A.
Director
Miami-Dade County
Building Code Compliance Office

Shop Drawing Review
Reviewed and Approved:
Date: 10/20/01
By: *AK*
370 Buckle Drive, Suite 200
Miami, FL 33134

AK
10/20/01

Best Rolling Doors, Inc.

ACCEPTANCE NO: 00-0426.07

APPROVED: FEB 2 2 2001

EXPIRES: FEB 2 2 2004

NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS

- 1.0 SCOPE: This approves a roll up door with maximum dimensions of 18'-0" wide x 28'-0" high as described in section 2 of this Notice of Acceptance. It is designed to comply with the South Florida Building Code, 1994 edition for Miami-Dade County (S.F.B.C.). For the locations where the pressure requirements, as determined by the S.F.B.C. chapter 21, do not exceed the design pressure rating values indicated on the approved drawings.
- 2.0 PRODUCT DESCRIPTION: 2.1 The Best Roll-Up Door and its components shall be built in strict compliance with the following documents: Drawing No. 00-156, sheets 1 and 2 of 3, titled "ROLL-UP DOOR", prepared by Tileco Inc. dated 05/01/99 and with latest revision on 06/14/00. The drawing shall bear the Miami-Dade County Product Control approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade Product Control Division. These documents shall hereinafter be referred to as the approved drawings.
- 3.0 LIMITATION: 3.1 Units with dimensions equal to or smaller than those shown on the approved drawing shall qualify under this approval. 3.2 This approval requires the manufacturer to do testing of all coils used to fabricate door slats under this Notice of Acceptance. A minimum of 2 specimens shall be cut from each coil and tested according to ASTM E-8 by a Dade County Approved Laboratory selected and paid for by the manufacturer. Every 5 months, 4 times a year the manufacturer shall mail to this office a copy of the Test Reports with confirmation that the specimens were selected from coils at the manufacturer's production facilities and a notarized statement from the manufacturer that only coils with yield strength of 40 ksi or more shall be used to make door panels for DADP COUNTY under this Notice of Acceptance.
- 4.0 INSTALLATION: 4.1 The Roll-Up Door and its components shall be installed in strict compliance with the approved drawings. 4.2 The installation of this door does not require a hurricane protection system. 4.3 The door operating mechanism (not included on this approval) shall be certified by Underwriters Laboratories or other recognized agency.
- 5.0 LABELLING: 5.1 Each door shall bear a permanent label with the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved".
- 6.0 BUILDING PERMIT REQUIREMENTS: 6.1 Application for Building Permit shall be accompanied by copies of the following: 6.1.1 This Notice of Acceptance including duplicate copies of the approved drawings, identified in section 2, clearly marked to show the components selected for the proposed installation. 6.1.2 Any other document required by the building Official or the S.F.B.C. in order to properly evaluate the installation of this system.

Candida Font, PE, Sr. Product Control Examiner
Product Control Division

Best Rolling Doors, Inc.

ACCEPTANCE NO: 00-0426.07

APPROVED: FEB 2 2 2001

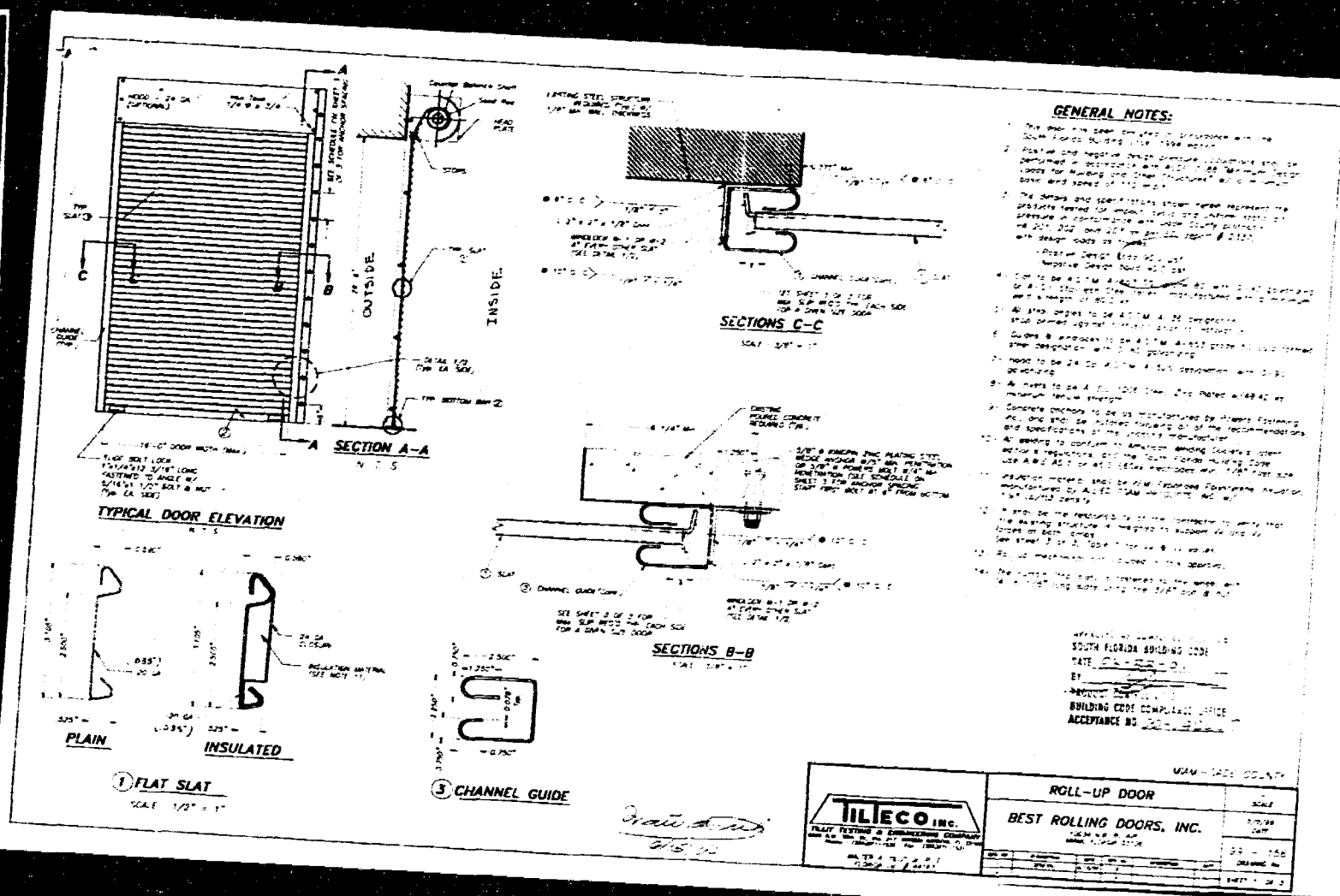
EXPIRES: FEB 2 2 2004

NOTICE OF ACCEPTANCE STANDARD CONDITIONS

- 1. Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documents, including test supporting data, engineering documents, are no older than eight (8) years.
- 2. Any and all approved products shall be permanently labeled with the manufacturer's name, city, state and the following statement: "Miami-Dade County Product Control Approved", or as specifically stated in the specific conditions of this Acceptance.
- 3. Renewals of Acceptance will not be considered if:
 - a) There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes.
 - b) The product is no longer the same product (identical) as the one originally approved.
 - c) If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product.
 - d) The engineer, who originally prepared, signed and tested the required documentation usually submitted, is no longer practicing the engineering profession.
- 4. Any revision or change in the materials, use, and/or manufacture of the product or process shall immediately be cause for termination of this Acceptance, unless prior written approval has been requested through the filing of a revision application with appropriate fee and granted by this office.
- 5. Any of the following shall also be grounds for removal of this Acceptance:
 - a) Unsatisfactory performance of this product or process.
 - b) Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purpose.
- 6. The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
- 7. A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributor and shall be available for inspection at the job site at all times. The registrant need not reveal the copies.
- 8. Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
- 9. This Acceptance contains pages 1, 2, and this last page 3.

Candida Font, PE, Sr. Product Control Examiner
Product Control Division

END OF THIS ACCEPTANCE

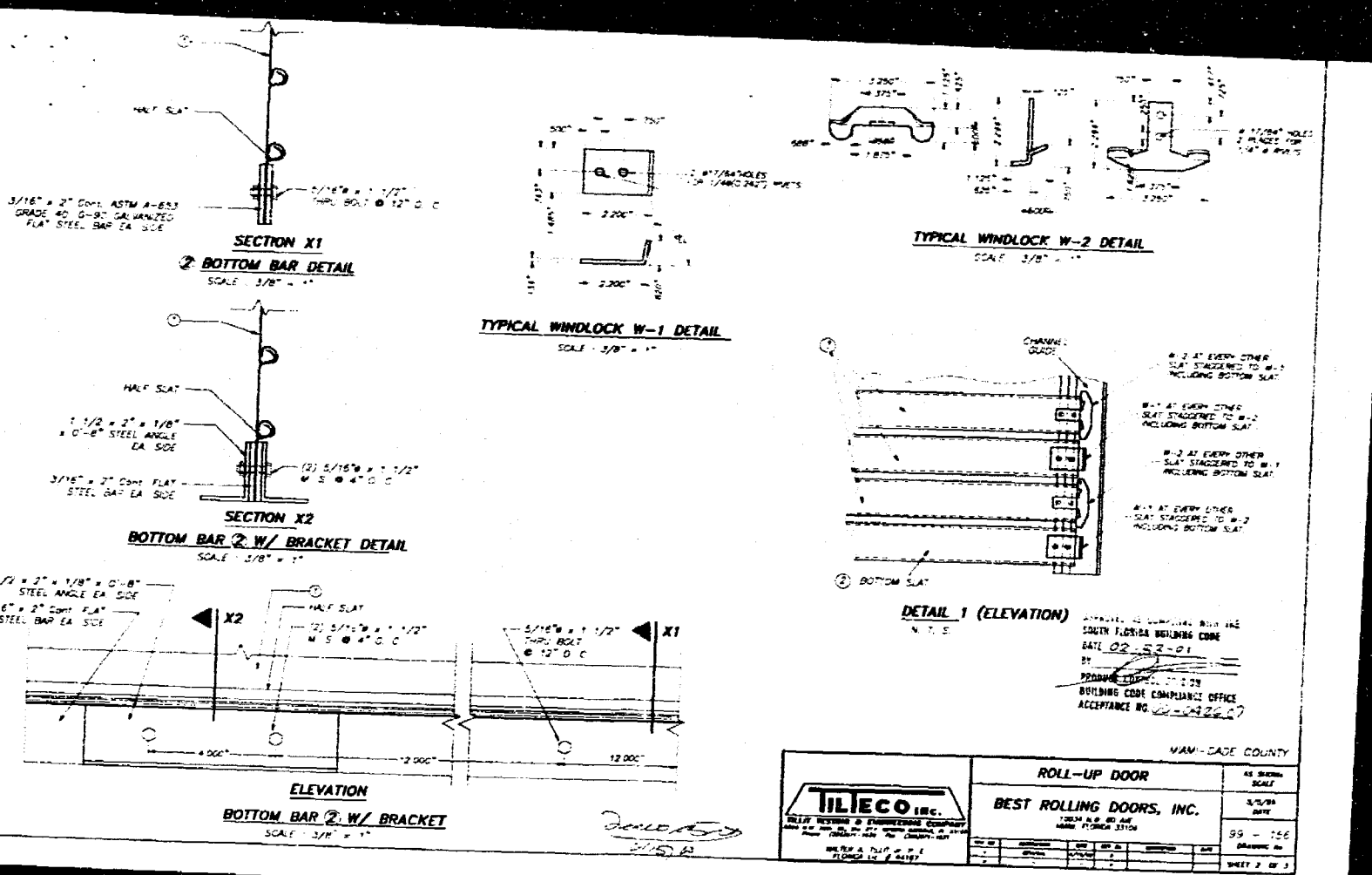


GENERAL NOTES:

- 1. The door shall be installed in accordance with the South Florida Building Code, 1994 edition.
- 2. The door shall be tested in accordance with the performance requirements of the S.F.B.C. chapter 21, section 21.05, and shall be tested in accordance with the design pressure rating values indicated on the approved drawings.
- 3. The door shall be tested in accordance with the performance requirements of the S.F.B.C. chapter 21, section 21.05, and shall be tested in accordance with the design pressure rating values indicated on the approved drawings.
- 4. The door shall be tested in accordance with the performance requirements of the S.F.B.C. chapter 21, section 21.05, and shall be tested in accordance with the design pressure rating values indicated on the approved drawings.
- 5. The door shall be tested in accordance with the performance requirements of the S.F.B.C. chapter 21, section 21.05, and shall be tested in accordance with the design pressure rating values indicated on the approved drawings.
- 6. The door shall be tested in accordance with the performance requirements of the S.F.B.C. chapter 21, section 21.05, and shall be tested in accordance with the design pressure rating values indicated on the approved drawings.
- 7. The door shall be tested in accordance with the performance requirements of the S.F.B.C. chapter 21, section 21.05, and shall be tested in accordance with the design pressure rating values indicated on the approved drawings.
- 8. The door shall be tested in accordance with the performance requirements of the S.F.B.C. chapter 21, section 21.05, and shall be tested in accordance with the design pressure rating values indicated on the approved drawings.
- 9. The door shall be tested in accordance with the performance requirements of the S.F.B.C. chapter 21, section 21.05, and shall be tested in accordance with the design pressure rating values indicated on the approved drawings.
- 10. The door shall be tested in accordance with the performance requirements of the S.F.B.C. chapter 21, section 21.05, and shall be tested in accordance with the design pressure rating values indicated on the approved drawings.



ROLL-UP DOOR	
BEST ROLLING DOORS, INC.	SCALE
1000 N.W. 13th St.	1/2" = 1'-0"
Miami, FL 33136	DATE
Phone: 305-251-1111	02/02/01
Fax: 305-251-1112	BY
Website: www.bestrollingdoors.com	Candida Font
	Product Control Examiner
	Product Control Division



VAM-DADE COUNTY

TILECO INC.
ROLL-UP DOOR

BEST ROLLING DOORS, INC.
ROLL-UP DOOR

DATE: 02-22-01

55 - 155

SHEET 2 OF 3

Vx & Vy REACTIONS & ANCHOR SCHEDULE

MAXIMUM DESIGN LOAD (PSF)	DOOR WIDTH (FT)	SLIP (IN)	W (LB/FT)	Vy (LB/FT)	ANCHOR SPACING			
					TYPE 1	TYPE 2	TYPE 1	TYPE 2
+80 - 90	8'-0" OR LESS	1/16"	1264	320	11"	12"	12"	12"
	12'-0"	5/8"	1736	480	7 1/2"	10 1/2"	8 1/2"	12"
	14'-0"	7/8"	1970	560	6 1/2"	9"	8"	10 1/2"
	16'-0"	7/8"	2530	640	5 1/2"	7 1/2"	7"	9"
-80 - -90	8'-0" OR LESS	3/16"	1525	360	9 1/2"	12"	12"	12"
	12'-0"	5/8"	1995	540	6 1/2"	9 1/2"	8 1/2"	11"
	14'-0"	7/8"	2250	630	6"	8"	7"	9 1/2"
	16'-0"	7/8"	2872	720	5"	7"	6"	8"

EXISTING STRUCTURE

LOAD DIAGRAM

EXISTING STRUCTURE

LOAD DIAGRAM

APPROVED AS SHOWN BY THE SOUTH FLORIDA BUILDING CODE DATE 02-22-01 BY [Signature] BUILDING CODE COMPLIANCE OFFICE ACCEPTANCE NO. [Number]

TILECO INC.
ROLL-UP DOOR

BEST ROLLING DOORS, INC.
ROLL-UP DOOR

DATE: 02-22-01

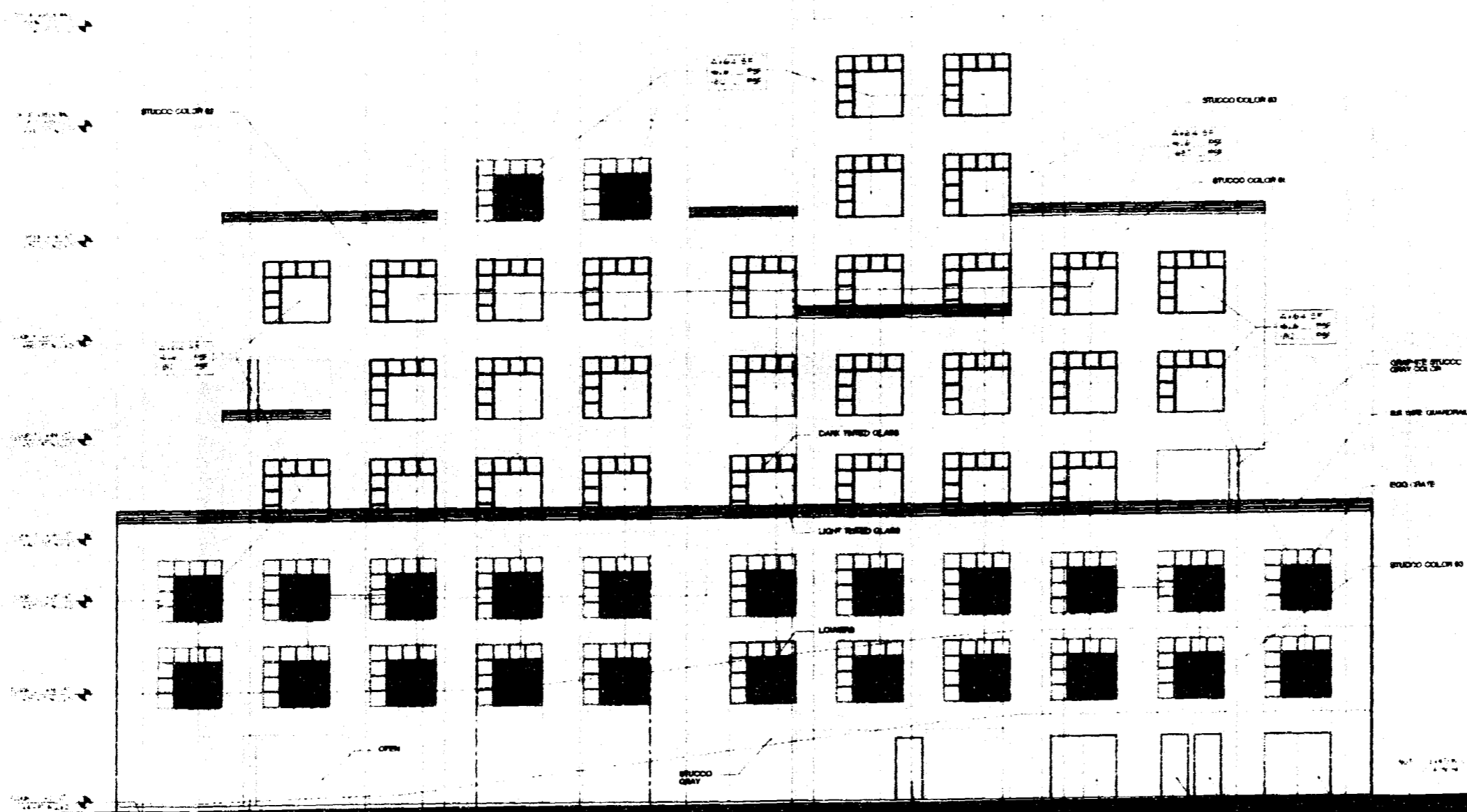
55 - 155

SHEET 2 OF 3

BD104542

119 WASHINGTON
AVE

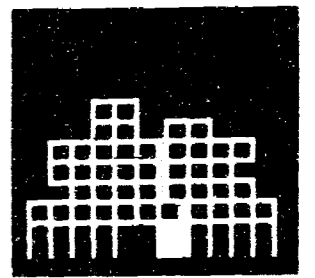
8 78 7 61 6 59 58 53 5 48 41 4 36 32 31 3 2 12 1



EAST ELEVATION

NOTE - ALL EXTERIOR DOORS, STOREFRONT AND WINDOWS ARE NOT PART OF THIS PERMIT
 RECEIVED
 Sep 2 8 2007
 BY: [Signature]
 WINDOW/DOOR PRESSURES

G. V. PIREZ ASSOCIATES, INC.
 STRUCTURAL ENGINEERS EB 0001839



7 SITE

OFFICE COPY
 CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY THE FOLLOWING:
 BUILDING: [Signature]
 ZONING: [Signature]
 CONCURRING: [Signature]
 PLUMBING: [Signature]
 ELECTRICAL: [Signature]
 MECHANICAL: [Signature]
 FIRE PREVENTION: [Signature]
 ENGINEERING: [Signature]
 PUBLIC WORKS: [Signature]
 STRUCTURAL: [Signature]
 ACCESSIBILITY: [Signature]
 ELEVATOR: [Signature]

- STRUCTURAL ENGINEER
 G. V. PIREZ ASSOCIATES, INC.
 1380 CORAL WAY SUITE 214
 MIAMI, FL 33145
 305-658-4704 FAX 305-676-2076
- MEP
 IMDC
 4147 NE 2ND AVENUE SUITE 127
 MIAMI, FL 33137
 305-573-8255
- FLORIDA ENGINEERING SERVICES
 34 NW 18TH STREET
 NORTH MIAMI BEACH, FL 33186
 305-653-0212 FAX 305-653-0232
- CIVIL ENGINEER
 ABZMT CONSULTANTS, INC.
 9400 S DADELAND BLVD SUITE 370
 MIAMI, FL 33156
 305-675-1011 FAX 675-1016
- LANDSCAPE ARCHITECT
 GEOMANTIC DESIGNS, INC.
 6800 SW 87 ST
 MIAMI, FL 33143
 305-650-9688 FAX 650-9628
- GEOTECHNICAL CONSULTANT
 INTERCOUNTY LABORATORIES, INC.
 302 NW 112 ST
 NORTH MIAMI BEACH, FL 33166
 305-657-8461 FAX 657-4480

CONSTRUCTION DOCUMENTS

Office Registration # PA 0000486

S-22

EAST ELEVATION

25

**PREVIOUS
DOCUMENT**

**IS
in poor
condition**



25

LASON
The Information Management Company

PERMIT #

B0301647

04

CITY OF MIAMI BEACH
Miami Beach, Florida 33139
RECEIPT OF PAYMENT
(This is not a permit it is a receipt only)

03-31-2003
Receipt: Activity Number: B201647 Status: APPROVED
Date Applied: 01/21/2003 Date Issued: 03/28/2003 Entered By: BUILWILR
Date Completed: 09/24/2003
Site Address: 119 WASHINGTON AV MBCH Balance Due: \$0.00
Parcel #: 4239031300 Valuation: \$60,000.00
Applicant: BUILTECH LLC Owner: BLUX COMET L.L.C.
MORTIZOAN TARIF 471 LINCOLN RD MBCH
2401 COLLINS AVE 33139 MIAMI BCH FL 331393025
305-476-5481

Description: 1st buildout New walls/elec/mech/fire opt./finishes

Payments made for this receipt:

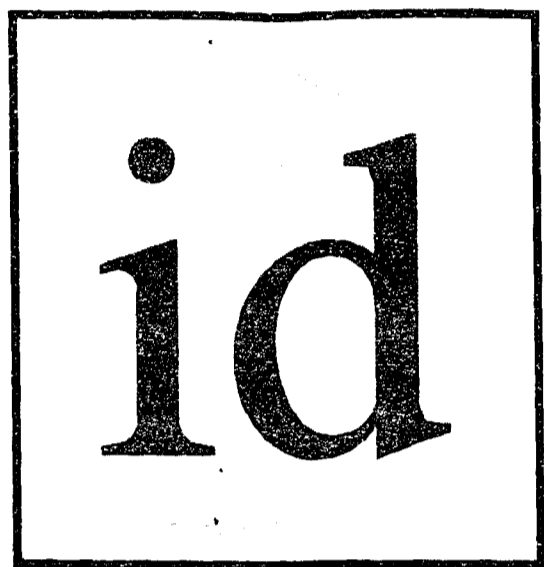
DATE	METHOD	DESCRIPTION	AMOUNT
03/28/2003	CASH	PAID	60,000.00

Current Payment Made to the Following Items:

Account Summary for Fees and Payments:

Line#	Description	Account Code	Total Fee	PAID	Prev. Bal	Cur. Bal
15	Building Permits	01800022100	1,100.00	1,100.00	1,100.00	.00
17	Service	01800022100	50.00	50.00	50.00	.00
17	APFC Compliance Fee	017000229219	50.00	50.00	50.00	.00
18	Training	017000229219	20.00	20.00	20.00	.00
18	Notification Impact Fee	018000229219	150.00	150.00	150.00	.00
18	ACOM Business	017000229219	20.00	20.00	20.00	.00

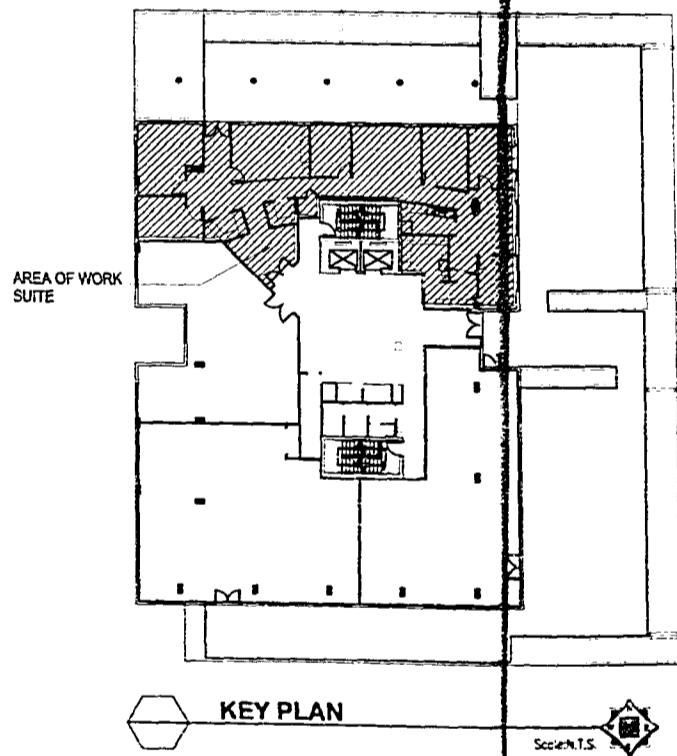
04



insight
design

Work
for
William Morris Agency
119 Washington Avenue, 4th Floor
Miami Beach, Florida

1210 Washington Avenue, Suite 225
Miami Beach, Florida 33139
TEL 305 535 9909 FAX 305 604 0093
ARCHITECTURE • INTERIORS
AR0014302 120003904



CONCURRENCY
 Yes
 No
Conditional
Comments

OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY
NON-STRUCTURAL
MECHANICAL
ELECTRICAL
PLUMBING
FIRE PREVENTION
ENGINEERING
PUBLIC WORKS
STRUCTURAL
ACCESSIBILITY

INDEX OF DRAWINGS

- Cover Sheet
- G-1 Notes, Abbreviations & Symbols
- A-1 Construction Plan
- A-2 Reflected Ceiling Plan
- A-3 Power & Communication Plan
- A-4 Finish Plan
- A-5 Elevations
- A-6 Elevations & Sections
- AC-1 HVAC Plan
- AC-2 HVAC Schedules, Notes & Details
- P-1 Plumbing Plan
- E-1 Electrical Plan
- E-2 Electrical, Panels Notes, Risers & Details
- SP-1 Fire Sprinkler Plan

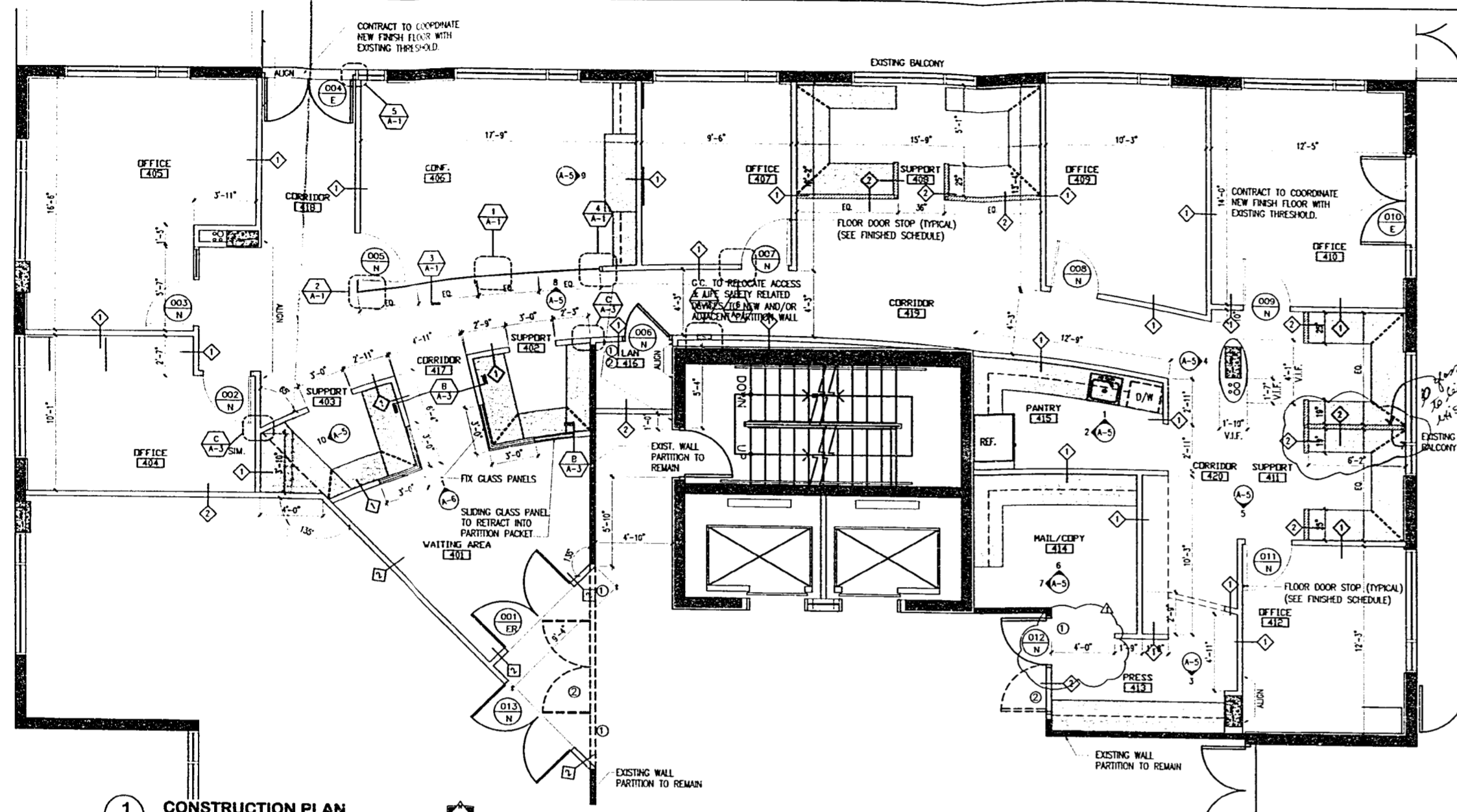
L. LEE J. JONES, R.A.
2/25/05

RECEIVED
JAN 23 2005
TH CONSULTANTS

Signature
1/21/05

Florida Building Code Section 104.5.3
REVIEWED FOR CODE COMPLIANCE

04



1 CONSTRUCTION PLAN
1/4"=1'-0"

BUILDING CLASSIFICATION

PROPERTY MANAGEMENT: WAVE GROUP DEVELOPMENT
407 LINDOCH ROAD
SUITE 800
MIAMI, FLORIDA 33139
(305) 674-7451
CONTACT: WJ ZARF

TENANT: WILLIAM MORRIS AGENCY

BUILDING ADDRESS: 119 WASHINGTON AVE. 4TH FLOOR
MIAMI BEACH, FL 33139

ARCHITECT: INSIGHT DESIGN
ARCHITECTURE, INTERIORS, PLUMBING
1210 WASHINGTON AVE. SUITE 220
MIAMI BEACH, FLORIDA 33139
(305) 535-9909
CONTACT: IRAM MUGURUZA/JUDY SANTOS

MEP: TES, FLORIDA ENGINEERING SERVICES
MECHANICAL, ELECTRICAL AND PLUMBING
34 N.W. 168th STREET
NORTH MIAMI BEACH, FLORIDA 33169
PHONE: 305-6530212
CONTACT: ALBERT SHUBI

BUILDING USE: OFFICE SPACE

OCCUPANCY GROUPS: GROUP B OCCUPANCY

APPLICABLE CODE: ZONING - CITY OF MIAMI BEACH
FLORIDA BUILDING CODE
ANSI / NFPA 101 LIFE SAFETY CODE

CONSTRUCTION: INTERIOR REMODELING IN FULLY
SPRINKLED BUILDING

GENERAL NOTES

ALL FINISHES, SURFACES & PRODUCTS WILL BE OF CONSISTENT QUALITY THROUGHOUT INTERIOR OF OFFICE SPACE AND PUBLIC CORRIDORS. THE FINISH PRODUCT WILL HAVE THE APPEARANCE OF A TOTALLY RENOVATED SPACE. WHERE ITEMS ARE REUSED AND/OR RELOCATED THEY WILL MATCH BOTH THE NEW AND EXISTING APPEARANCE AND FUNCTION. CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO SUBMITTING A BID. GENERAL CONTRACTOR TO PROVIDE PATCH FIRE PROOF THE BEAMS WHERE NECESSARY.

REMOVING WALL ASSEMBLY MUST EXTEND TO EXISTING STRUCTURE ABOVE.

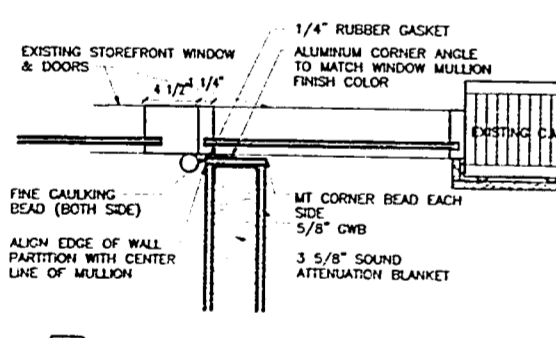
ARCHITECTURAL LEGEND

	EXISTING COLUMN
	EXISTING BUILDING
	NEW WALL PARTITION
	DEMOTES EXISTING WALL
	LOW PARTITION
	DOOR
	REMOVE EXISTING DOOR
	INTERIOR ELEVATION
	DOOR NUMBER
	MECH. ROOM
	PARTITION TYPE (SEE SHEET A-3)
	DEMOTES MILLWORK
	DEMOTES FIRE EXTINGUISHER CABINET
	DEMOTES LOW PARTITION SUPPORT
	C.C. TO PARTIALLY REMOVE EXISTING PARTITION AS INDICATED PATCH/REPAIR/PREPARE AS REQUIRED.
	C.C. TO PARTIALLY REMOVE EXISTING DOORS AND FRAMES AND SAFELAND FOR REUSE.

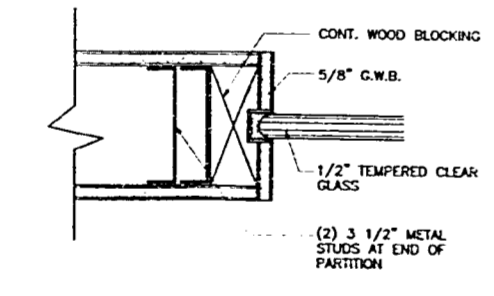
OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:

INSIGHT DESIGN ARCHITECTURE & INTERIORS
1210 Washington Avenue, Suite 220
Miami Beach, Florida 33139
AR0014302

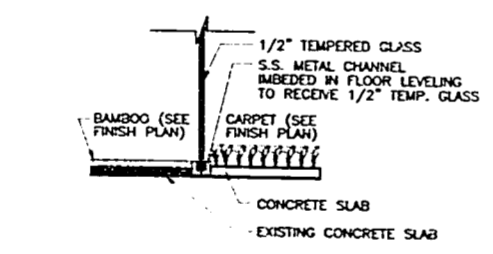
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DRAWN BY: SS
DATE: 1/14/02
SCALE: 3/16"=1'-0"
SHEET NO: A-1



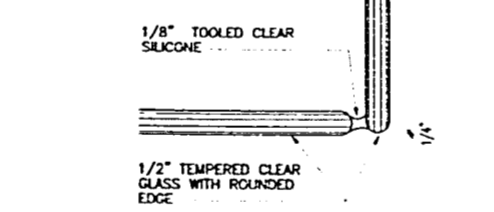
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1-1/2"=1'-0"



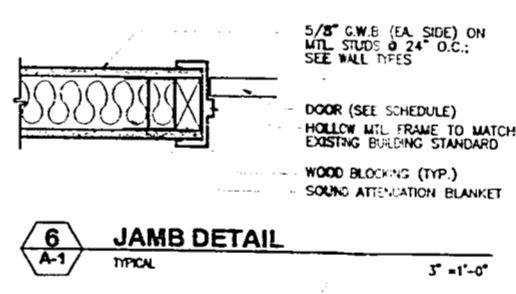
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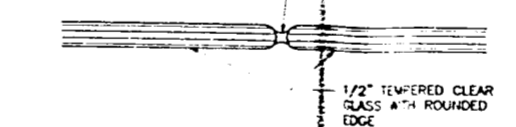
3 DETAIL
1-1/2"=1'-0"



2 DETAIL
1-1/2"=1'-0"



6 JAMB DETAIL
TYPICAL
3"=1'-0"



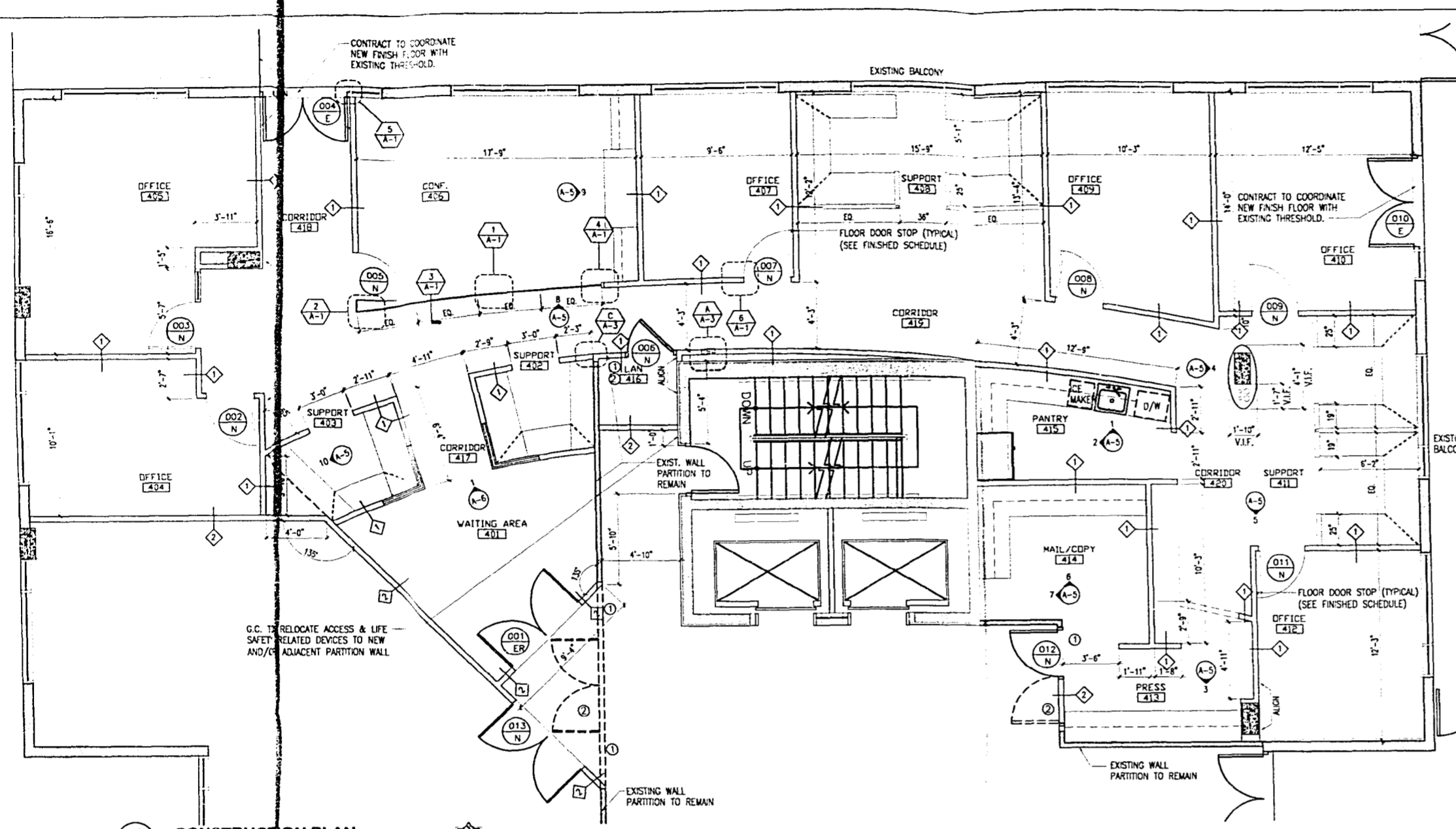
1 DETAIL
1-1/2"=1'-0"



REVISIONS

1	ISSUED FOR PERMIT
2	ISSUED FOR PERMIT
3	ISSUED FOR PERMIT
4	ISSUED FOR PERMIT

Work by
WILLIAM MORRIS AGENCY
119 Washington Avenue, 4th Floor
Miami Beach, Florida



1 CONSTRUCTION PLAN
1/4" = 1'-0"

BUILDING CLASSIFICATION

PROPERTY MANAGEMENT: WAVE GROUP DEVELOPMENT
407 LINCOLN ROAD
SUITE 805
MIAMI, FLORIDA 33139
(305) 874-7451
CONTACT: MO ZARF

TENANT: WILLIAM MORRIS AGENCY

BUILDING ADDRESS: 119 WASHINGTON AVE. 4TH FLOOR
MIAMI BEACH, FL 33139

ARCHITECT: INSIGHT DESIGN
ARCHITECTURE, INTERIORS, PLANNING
1210 WASHINGTON AVE. SUITE 225
MIAMI BEACH, FLORIDA 33139
(305) 535-9909
CONTACT: RAMI MUGURUZA/JUDY SANTOS

MEP: FES, FLORIDA ENGINEERING SERVICES
MECHANICAL, ELECTRICAL AND PLUMBING
34 N.W. 168th STREET
NORTH MIAMI BEACH, FLORIDA 33169
PHONE: 305-6530212
CONTACT: ALBERT SHUB

BUILDING USE: OFFICE SPACE

OCCUPANCY GROUPS: GROUP B OCCUPANCY

APPLICABLE CODE: ZONING - CITY OF MIAMI BEACH
FLOOR BUILDING CODE
ANSI / NFPA 101 LIFE SAFETY CODE

CONSTRUCTION: INTERIOR REMODELING IN FULLY
SPRINKLED BUILDING

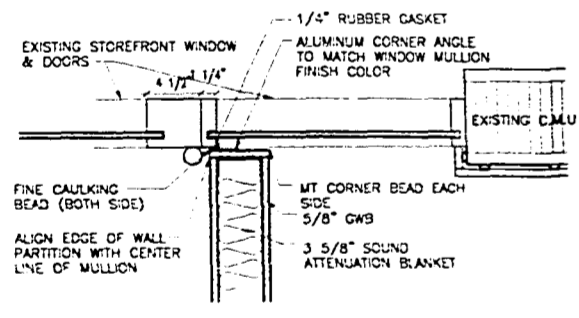
GENERAL NOTES

ALL FINISHES, SURFACES & PRODUCTS WILL BE OF CONSISTENT QUALITY THROUGHOUT INTERIOR OF OFFICE SPACE AND PUBLIC CORRIDORS. FINISH PRODUCT WILL HAVE THE APPEARANCE OF A TOTALLY REFINISHED SPACE WHERE ITEMS ARE REVISED AND/OR RELOCATED THEY SHALL VERIFY ALL CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO SUBMITTING A BID. CONTRACTOR TO PROVIDE PATCH FIRE PROOF THE BEAMS WHERE NECESSARY.

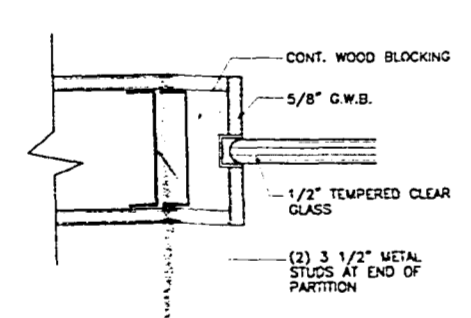
REVISION WALL ASSEMBLY MUST EXTEND TO EXISTING STRUCTURE ABOVE.

ARCHITECTURAL LEGEND

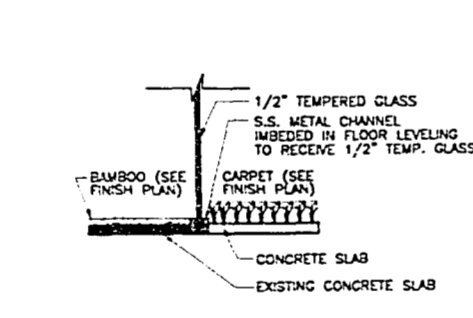
- EXISTING COLUMN
- EXISTING BUILDING CORE
- NEW WALL PARTITION
- DENOTES BORROWED LIGHT
- LOW PARTITION
- DOOR
- REMOVE EXISTING PARTITION
- REMOVE EXISTING DOOR
- INTERIOR ELEVATIONS
SEE INTERIOR ELEVATION SHEETS
- DOOR NUMBER
SEE DOOR SCHEDULES SHT. A-4
- NEW WALL
- EXISTING WALL
- EX- EXISTING TO RELOCATE
- DENOTES ROOM NAME & NUMBER
SEE SHT. A-4 FOR FINISHES
- PARTITION TYPE (SEE SHEET A-3)
- DENOTES MULLION
- DENOTES FIRE EXTINGUISHER CABINET
SEE SHT. A-3
- DENOTES LOW PARTITION SUPPORT
SEE PARTITION TYPES
- G.C. TO CAREFULLY REMOVE EXISTING PARTITION AS INDICATED PATCH/SEPAR/PREPARE AS REQUIRED
- G.C. TO CAREFULLY REMOVE EXISTING DOORS AND FRAMES AND SAFEGUARD FOR REUSE



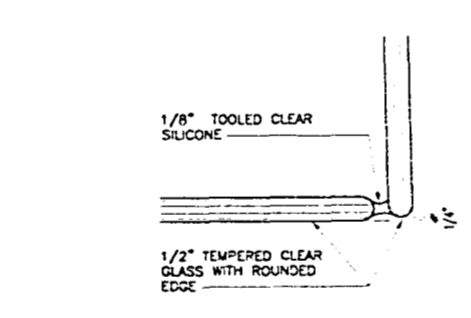
5 DETAIL
1-1/2" = 1'-0"



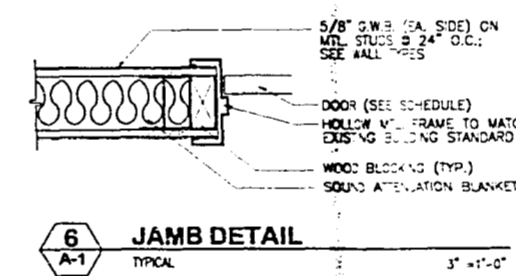
4 DETAIL
1-1/2" = 1'-0"



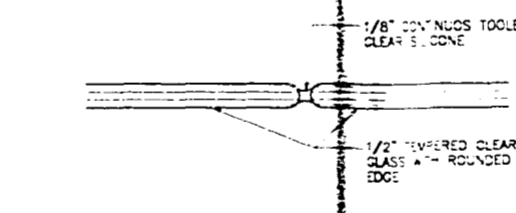
3 DETAIL
N.T.S.



2 DETAIL
1-1/2" = 1'-0"



6 JAMB DETAIL
TYPICAL
3" = 1'-0"



1 DETAIL
1-1/2" = 1'-0"

id
insight
design

CONSTRUCTION PLAN

OFFICE COPY
OF MIAMI BEACH

APPROVED FOR PERMIT BY

WILLIAM MORRIS AGENCY
119 WASHINGTON AVE.
MIAMI BEACH, FL 33139

insight design
ARCHITECTURE & INTERIORS
1210 Washington Avenue Suite 225
Miami Beach, Florida 33139
AR0001502

PROJECT NO: 0227-01
DRAWN BY: SB
DATE: 01/02/02
SCALE: 3/8" = 1'-0"
SHEET NO: A-1

04

id

insight
design

REVISIONS
Reflected Ceiling Plan

APPROVED FOR PERMIT BY
CITY OF MIAMI BEACH
FOR REVIEW FOR COMPLIANCE WITH
Miami Beach, Florida

insight design
ARCHITECTURE & INTERIOR DESIGN
1210 Washington Avenue, Suite 305
Miami Beach, Florida 33139-5989
A0001032 ID000386

DATE NO. 0227-01
DATE 1/14/02
SCALE 1/4"=1'-0"
A-2

REFLECTED CEILING LEGEND

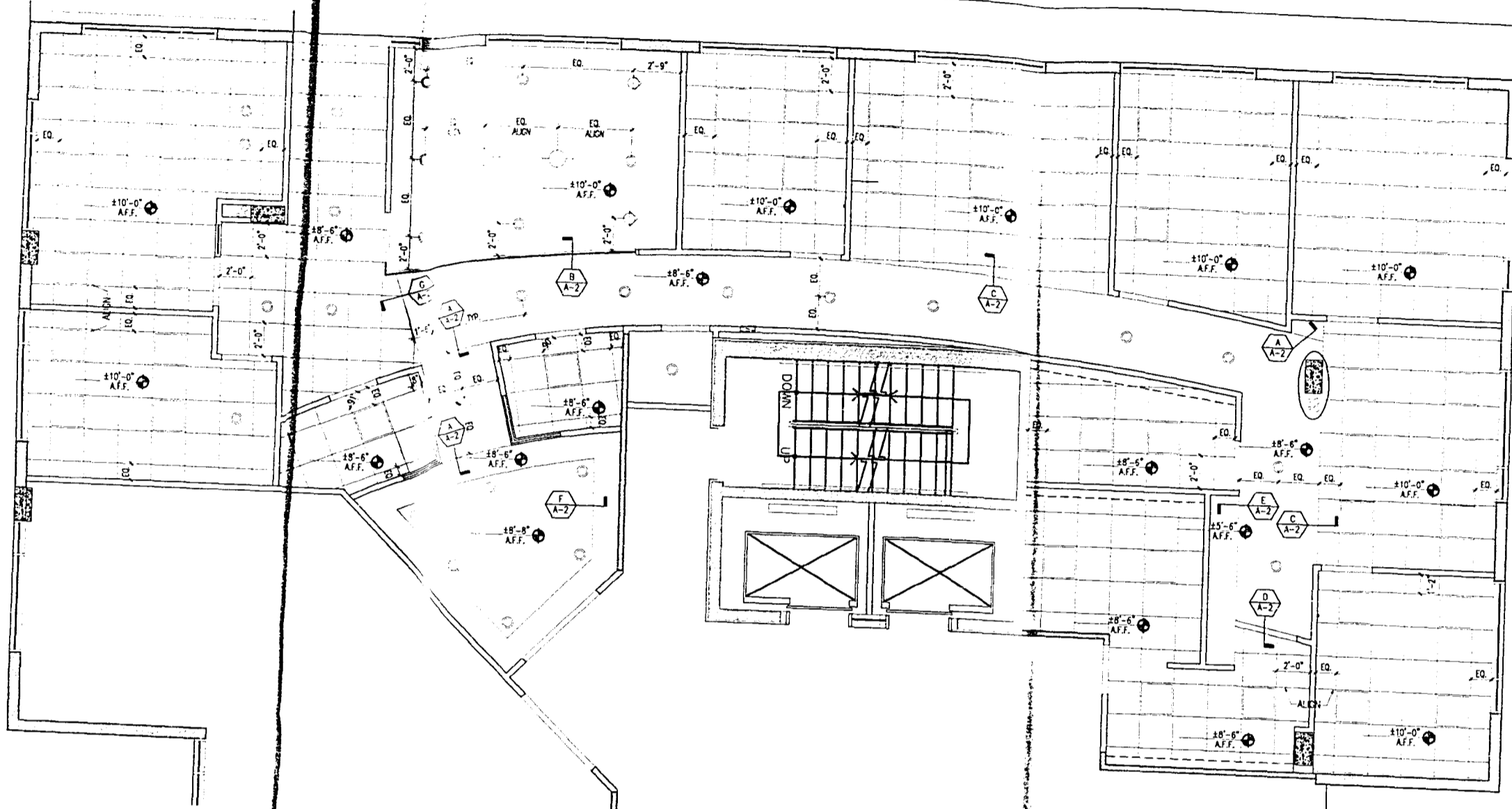
SYMBOL	DESCRIPTION
	NEW 2'x2' ACOUSTICAL CEILING TILE & GRID (BUILDING STANDARD) TO MATCH & ALIGN WITH EXISTING
	2'x2' PARABOLIC FLUORESCENT FIXTURE
	FLUORESCENT RECESSED DOWN LIGHT
	WALL MOUNT
	PENDANT
	UNDER CABINET LIGHT

REFLECTED CEILING NOTES:

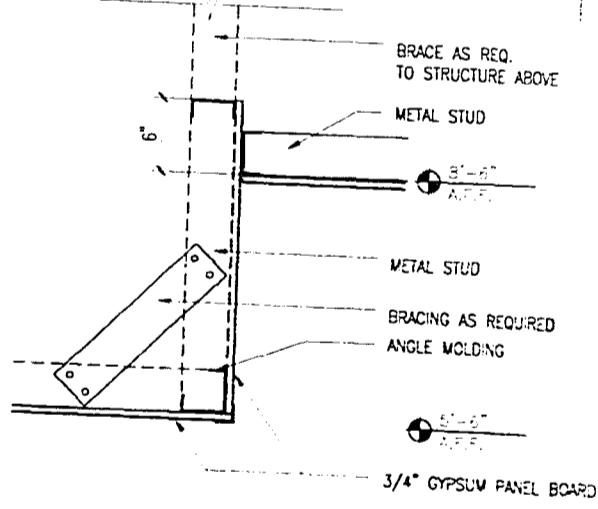
- LIGHT SWITCHES WILL BE LOCATED VERTICALLY. CENTERLINE OF LIGHT SWITCHES WILL BE LOCATED 36" FROM CONCRETE FLOOR, U.O.A.
- LIGHT SWITCHES WILL BE WHITE AND GANGED ON COMMON PLATE WHENEVER SHOWN IN PAIR OR GROUP.
- THIS DRAWING IS FOR CEILING DESIGN AND LOCATION OF LIGHT FIXTURES ONLY. SEE CORRESPONDING ENGINEERING DRAWINGS FOR COMPLETE LIGHT FIXTURE SPECIFICATIONS, SPRINKLER HEADS, EXIT LIGHTS, H.V.A.C. SUPPLY AND RETURN REGISTERS OR DIFFUSERS.
- WHENEVER LOCATED ON TOP OF EACH OTHER, THE CENTERLINE OF A LIGHT SWITCH OR THE CENTERLINE OF A GROUP OF SWITCHES WILL ALIGN WITH CENTERLINE OF THE CORRESPONDING LIGHT LOCATED BELOW.
- ALL DOWN LIGHTS, SPEAKERS & SPRINKLER HEADS TO BE CENTERED ON CEILING TILES.
- ALL CEILING HEIGHTS TO BE ±10'-0" U.O.A. CEILING SYSTEM TO ALIGN WITH UPPER EDGE OF WINDOW MULLION.
- PROVIDE 2 BALLAST IN FIXTURES CONNECTED TO EMERGENCY PANEL.
- LIGHT FIXTURES TO BE PROVIDED W/ 3,500 KELVIN WARM WHITE.

GENERAL NOTE:

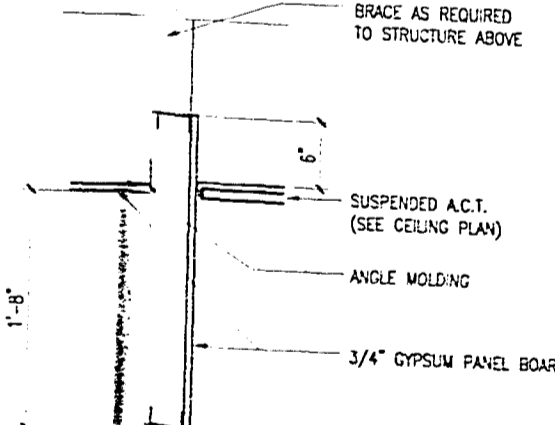
ALL FINISHES, SURFACES & PRODUCTS WILL BE OF CONSISTENT QUALITY THROUGHOUT INTERIOR OF OFFICE SPACE AND PUBLIC CORRIDOR. THE FINISH PRODUCT WILL HAVE THE APPEARANCE OF A TOTALLY RENOVATED SPACE. WHERE ITEMS ARE REVISED AND/OR RELOCATED THEY WILL MATCH BOTH THE NEW AND EXISTING APPEARANCE AND FUNCTION. CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO SUBMITTING A BID. GENERAL CONTRACTOR TO PROVIDE PATCH FIRE PROOF THE BEAMS WHERE NECESSARY.



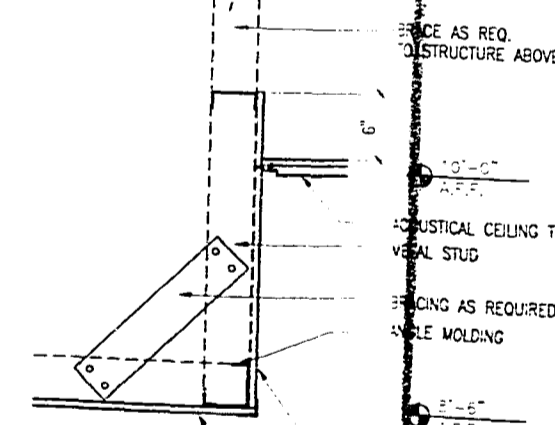
1 REFLECTED CEILING PLAN
1/4"=1'-0"



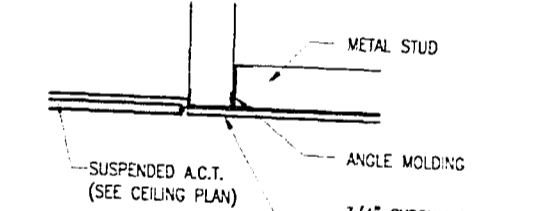
E CEILING DETAIL
Corridor 420
1 1/2"=1'-0"



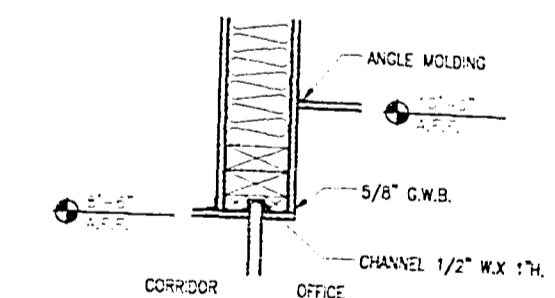
D CEILING DETAIL
Corridor 413 & 420
1 1/2"=1'-0"



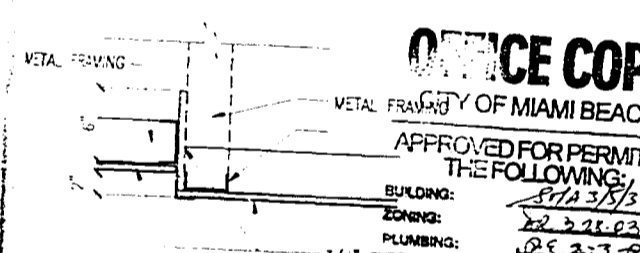
C CEILING DETAIL
Corridor 420 & 419
1 1/2"=1'-0"



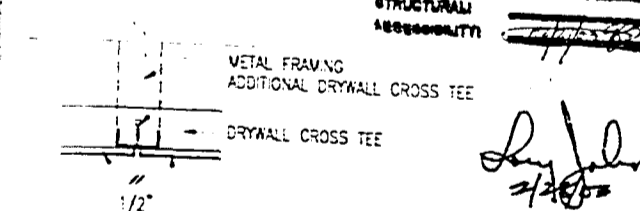
G CEILING DETAIL
Corridor
1 1/2"=1'-0"



B CEILING DETAIL
Waiting Area
1 1/2"=1'-0"



F CEILING DETAIL
Waiting Area
1 1/2"=1'-0"



A CEILING DETAIL
Waiting Area
1 1/2"=1'-0"

OFFICE COPY

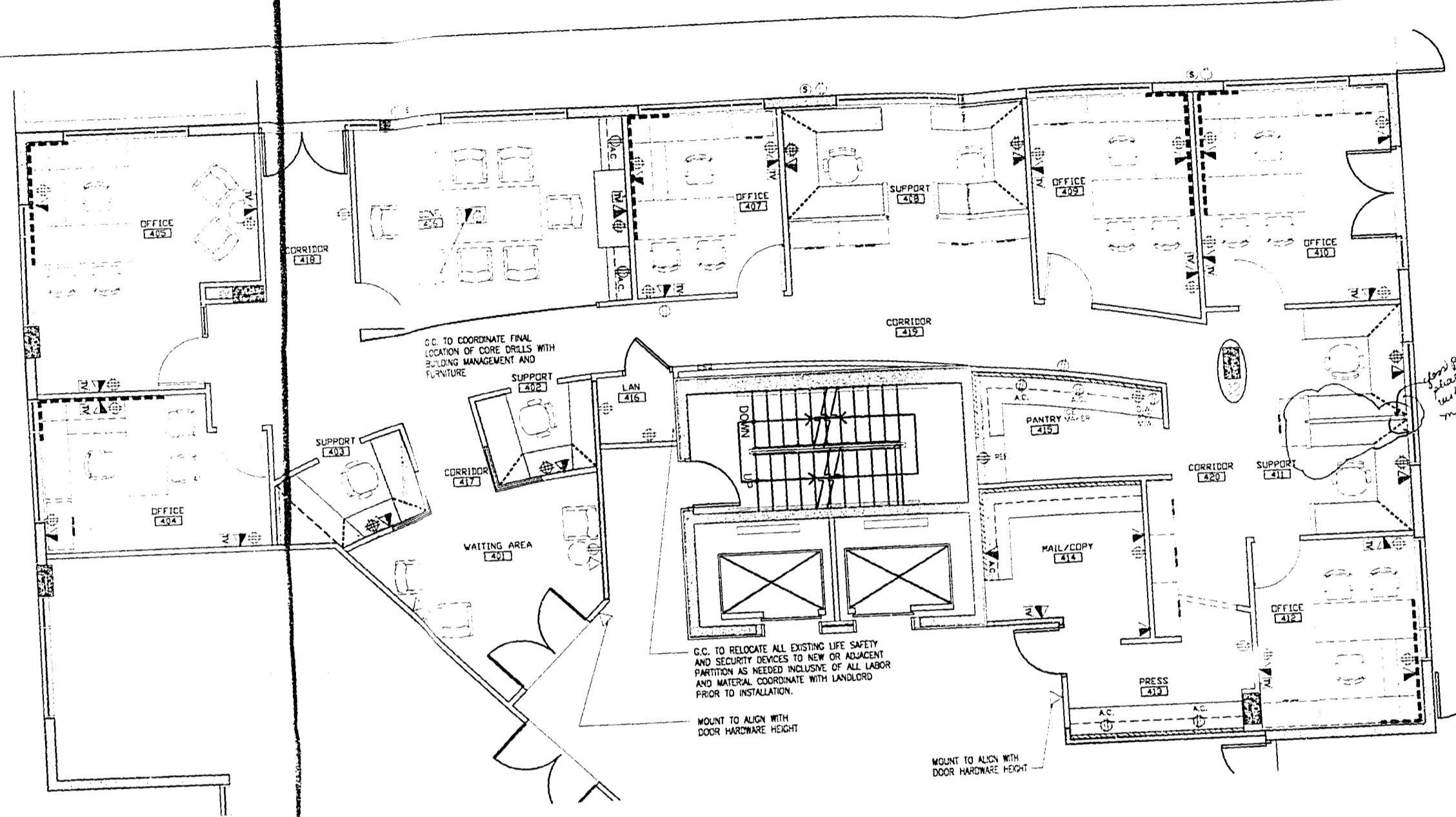
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

PLUMBING: [Signature]
ELECTRICAL: [Signature]
MECHANICAL: [Signature]
HVAC: [Signature]
PUBLIC WORKS: [Signature]
STRUCTURAL: [Signature]

METAL FRAMING
ADDITIONAL DRYWALL CROSS TEE
DRYWALL CROSS TEE
1/2"

3/4" GYPSUM PANEL BOARD
CEILING DETAIL
1/2"=1'-0"

04



- POWER & COMMUNICATIONS NOTES**
- ALL CONVENIENCE OUTLETS ARE TO BE LOCATED HORIZONTALLY. CENTERLINE OF CONVENIENCE OUTLETS TO BE LOCATED 18" A.F.F. U.O.N.
 - OUTLETS WILL BE LOCATED 6" ON CENTER FROM EACH OTHER U.O.N.
 - THIS DRAWING IS FOR NEW JACK LOCATION ONLY. FOR COMPLETE SPECIFICATIONS AND LOCATIONS REFER TO ENGINEERING DRAWINGS.
 - ELECTRICAL SYMBOLS ARE NOT DRAWN TO SCALE.
 - WHENEVER LOCATED ON TOP OF EACH OTHER, THE CENTERLINE OF A LIGHT SWITCH OR GROUP OF SWITCHES WILL ALIGN WITH THE CENTERLINE OF THE CONVENIENCE OUTLET.
 - ALL TELEPHONE & DATA OUTLETS SHOWN WILL CONSIST OF A SINGLE 3/4" CONDUIT CONNECTED TO A SINGLE QUAD BOX. CONDUIT TO RISE OF ABOVE CENTERLINE WITH PERM. W/.
 - REFER TO ELECTRICAL PLANS FOR CIRCUITING SPECIFICATIONS ON ALL OUTLETS.
 - ALL TELEPHONE & DATA CONNECTIONS TO BE RING & STRING TYPE.
 - ALL ENTRY OUTLETS (IF APPLICABLE) TO BE G.F.I. TYPE U.O.N.
 - G.C. TO VERIFY THE AVAILABILITY OF POWER IS IN GOOD WORKING ORDER.
 - ALL OUTLETS TO BE 18" A.F.F. TO CENTERLINE U.O.N.
 - COORDINATE ALL POKE-THROUGHS WITH FURNITURE SYSTEM REPRESENTATIVE AND BUILDING MANAGEMENT.
 - G.C. TO FURNISH AS REQUIRED INTERIOR SIDE OF PERIMETER EXTERIOR WALL FOR ELECTRICAL BOX INSTALLATIONS.
 - ALL EXTERIOR OUTLETS & SPEAKERS TO HAVE U.L. OUTDOOR RATING.

POWER & COMMUNICATIONS LEGEND

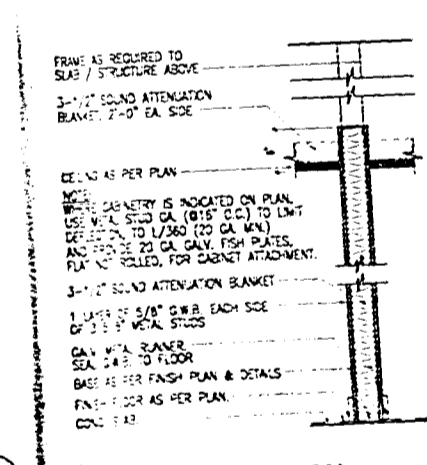
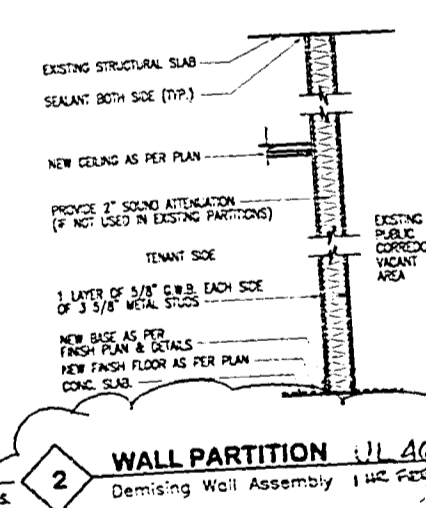
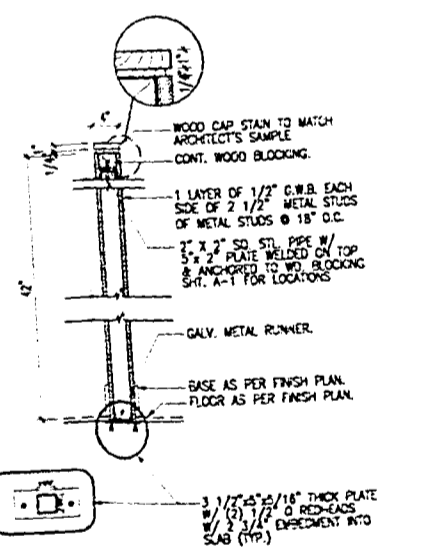
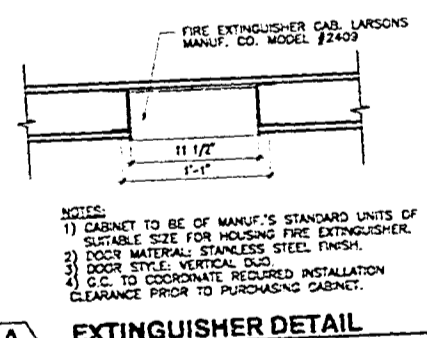
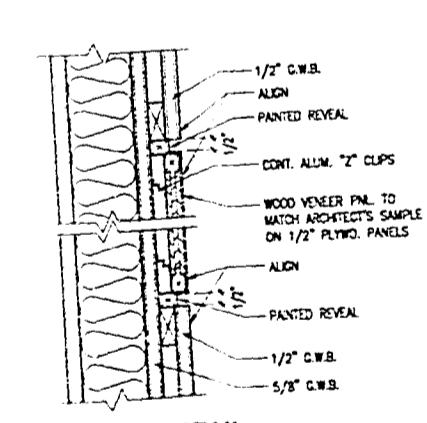
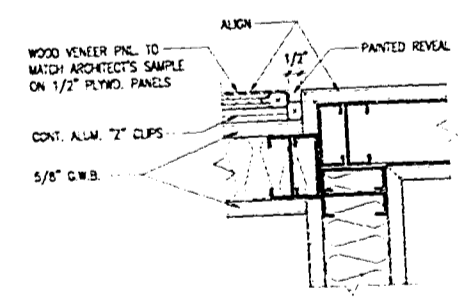
SYMBOL	DESCRIPTION
⊕	DUPLEX OUTLET
⊕	TELEPHONE/DATA OUTLET
⊕	DENOTES GROUND FAULT INTERRUPTED OUTLET
⊕	QUAD/PLEX
⊕	FLOOR POWER, TELEPHONE AND DATA (FLUSH MOUNTED)
⊕	DENOTES TV CABLE JUNCTION BOX
⊕	DENOTES "DEDICATED OUTLET"
⊕	DENOTES 8" ABOVE COUNTER HEIGHT
⊕	SPEAKER CONNECTION
⊕	TELEPHONE OUTLET

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1 POWER & COMMUNICATION PLAN
1/4"=1'-0"

G.C. NOTE:
ALL FURNITURE SHOWN IS FOR GRAPHIC REPRESENTATION ONLY.
G.C. TO COORDINATE THE MOUNTING HEIGHT OF ALL T.V. OUTLETS WITH TENANT PRIOR TO THEIR INSTALLATION.



C PLAN DETAIL
3/4\"/>

B SECTION DETAIL
3/4\"/>

A EXTINGUISHER DETAIL
1-1/2\"/>

3 WALL PARTITION
Low Partition
1-1/2\"/>

2 WALL PARTITION
Demising Wall Assembly
1-1/2\"/>

1 WALL PARTITION
1-1/2\"/>

id
insight
design

REVISED

Power & Comm.
Plan

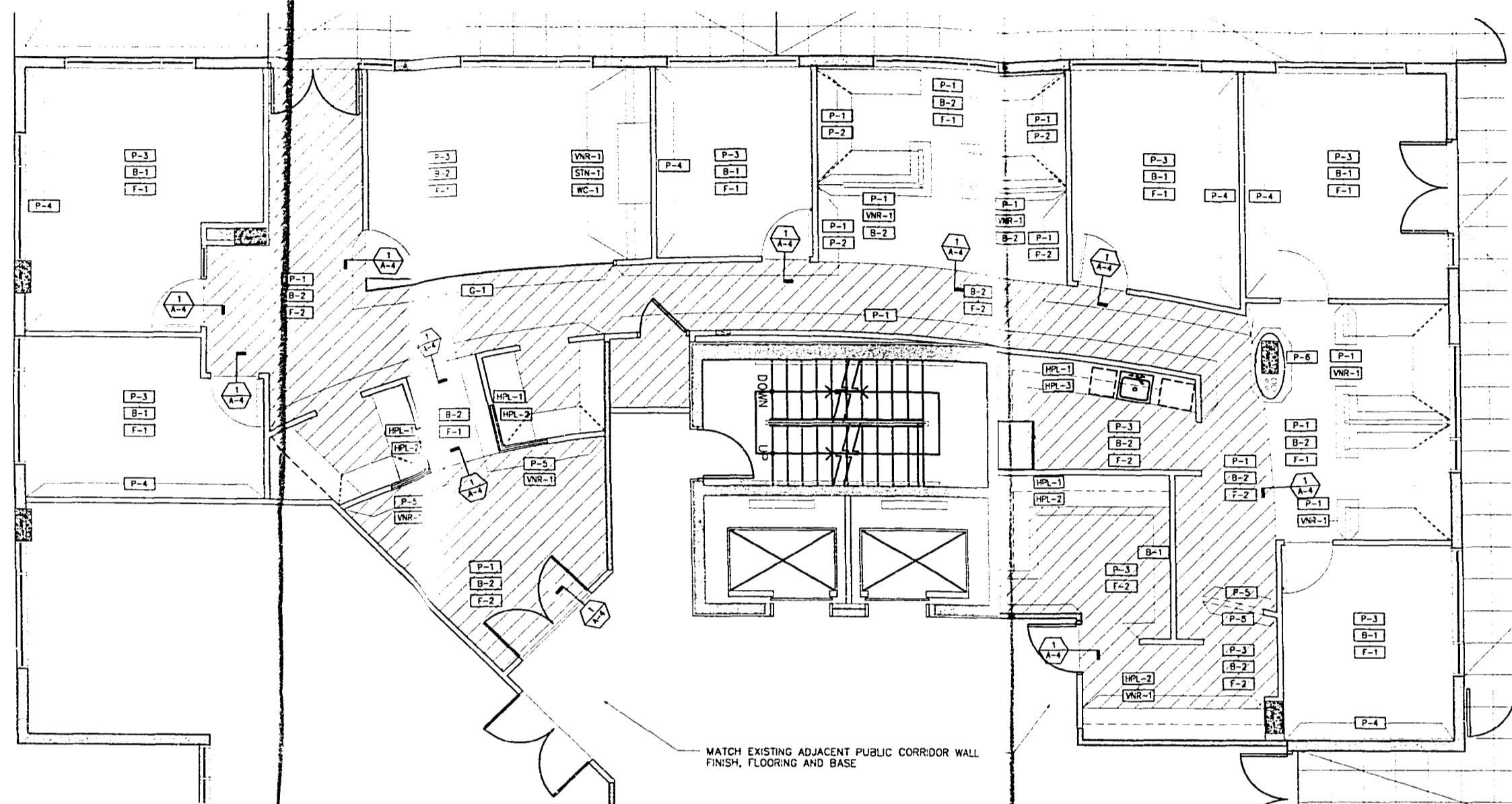
As per Florida Building Code Section 104.4.3
REVIEWED FOR CODE COMPLIANCE
WILLIAM MORRIS AGENCY
119 Washington Avenue Suite 404
Miami Beach, Florida

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:
BUILDING: [Signature]
PLUMBING: [Signature]
ELECTRICAL: [Signature]
MECHANICAL: [Signature]
FIRE PREVENTION: [Signature]
ENGINEERING: [Signature]
PUBLIC WORKS: [Signature]
STRUCTURAL: [Signature]
ACCESSIBILITY: [Signature]

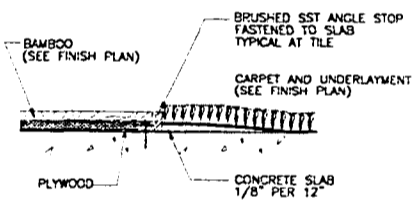
ARCHITECTURE & INTERIORS
1310 Washington Avenue Suite 225
Miami Beach, Florida 305 535 0949
AR0014302

PROJECT NO: 0227-01
SHEET NO: 55
DATE: 1/14/02
SCALE: 1/4\"/>

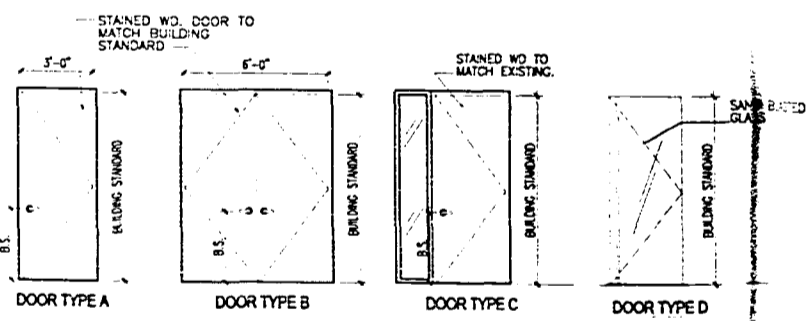
04



1
A-4
FINISH PLAN



1
A-4
TRANSITION DETAIL



1
A-4
DOOR TYPES

DOOR LOCATION		DOOR No.	TYPE	HARDWARE SET	SIZE	DESCRIPTION	FRAME	DET	THR	REMARKS
RECEPTION 401	001	A **	(2)3'-0"	BS	1-3/4"	WD PNT	HM	PNT		RELOCATED DOOR
OFFICE 404	002	A **	3'-0"	BS	1-3/4"	WD PNT	HM	PNT		
OFFICE 405	003	C **	3'-0"	BS	1-3/4"	WD PNT	HM	PNT		
CORRIDOR	004		(2)3'-0"							EXISTING TO REMAN
CONFERENCE 406	005	D **	3'-0"	BS	1-3/4"	WD PNT	HM	PNT		TEMPERED GLASS DOOR
LAN ROOM 416	006	A **	3'-0"	BS	1-3/4"	WD PNT	HM	PNT		
OFFICE 407	007	A **	3'-0"	BS	1-3/4"	WD PNT	HM	PNT		
OFFICE 409	008	A **	3'-0"	BS	1-3/4"	WD PNT	HM	PNT		
OFFICE 410	009	A **	3'-0"	BS	1-3/4"	WD PNT	HM	PNT		
OFFICE 410	010		(2)3'-0"							EXISTING TO REMAN
OFFICE 412	011	A **	3'-0"	BS	1-3/4"	WD PNT	HM	PNT		
PRESS RM 413	012	A **	3'-0"	BS	1-3/4"	WD PNT	HM	PNT		
MAN CORRIDOR 400	013	B **		BS	1-3/4"	WD PNT	HM	PNT		

NOTES:
1. (BS) DENOTES BUILDING STANDARD
2. TO MATCH EXISTING

SYMBOLS:
R- RELOCATED
N- NEW
E- EXISTING TO REMAN
W- WOOD FINISH
PNT- PAINT TO MATCH ARCHITECT'S SAMPLE
STH- STAIN TO MATCH ARCHITECT'S SAMPLE
HM- HOLLOW METAL

B.S. - TO MATCH EXISTING OFFICE STANDARD HOLLOW METAL FRAMES, SOLID CORE WOOD DOORS & HARDWARE
** ALL HARDWARE ACCESSORIES AND DEVICES TO MATCH EXISTING IN THE PARTICULAR DOOR TYPE, INCLUSIVE BUT NOT LIMITED TO DOOR SILENCERS, DOOR STOPS, HINGES, CLOSURES, ETC.
GENERAL CONTRACTOR TO COORDINATE ALL KETING WITH TENANT AND BUILDING MANAGEMENT.

GENERAL NOTE:

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ALL FINISH MATERIALS TO ALIGN AT THE SAME FINISH ELEVATION
ALL EXPOSED ELEMENT SUCH AS DUCT NOT LIMITED TO ELECTRICAL CONDUITS, ETC ARE TO BE COOL GALVANIZED METAL.

FINISH SCHEDULE

FLOORING

- F-1 CARPET
Interface
Style: Soli
Color: #3960 One-of-a-Kind
Installation Method: Quarter Turn
- F-2 BAMBOO
Constantine Commercial
Style: Uniclick
Color: Vertical Carbonized

NOTE: ALL CARPET TO BE INSTALLED GLUE DOWN.

BASE

- B-1 RUBBER BASE
Aquate
Color: #12
Size: 4" w/o cove
- B-2 WOOD BASE
Solid maple wood to match natural maple wood from Brylton
Size: 4" H (SEE SHT. A-5)

WALLS

- P-1 PAINT
Benjamin Moore
Color: #HC-26
Finish: Eggshell
- P-2 PAINT
Benjamin Moore
Color: #HC-25
Finish: Eggshell
- P-3 PAINT
Benjamin Moore
Color: #HC-27
Finish: Eggshell
- P-4 PAINT
Benjamin Moore
Color: #HC-24
Finish: Eggshell
- P-5 PAINT
Benjamin Moore
Color: #524
Finish: Eggshell
- P-6 PAINT
Benjamin Moore
Color: #195
Finish: Eggshell
- G-1 GLASS
Cesar Color, Inc.
Chromalution Self-cleaning Glass
W/Anodized privacy glass by Bond
U.C. to submit sample for approval.

Ceilings

- C-1 PAINT
Pratt & Lambert
Color: Seed Pearl #2314
Finish: Eggshell

MILLWORK

- M-1 HIGH PRESSURE LAMINATE
Wilsonart
Color: #0331-60 Sand
Finish: Matte
Vertical Surface Only
- M-2 HIGH PRESSURE LAMINATE
Wilsonart
Color: #4899-60 Natural Tiers
Finish: Matte
Horizontal Surface Only
- M-3 HIGH PRESSURE LAMINATE
Newcom
Color: #M-2-11
Finish: Matte
Horizontal Surface Only
- M-4 NATURAL MAPLE WOOD VENEER
to match architect's sample
- M-5 STONE
Stone & Tile Supply, Inc.
Tel: (954) 979-3593
Style: Kota Drive Limited
Finish: Polished
- M-6 FABRIC WALLCOVERING
Mardani
Pattern: Tea-Wal Retropect #205630
Color: 002 Pace



REVISIONS

1
A-4
Finish Plan

WILLIAM MORRIS AGENCY
118 West Beach, Florida

As per Florida Building Code Section 104.5.3
REVIEWED FOR CODE COMPLIANCE

OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT
THE FOLLOWING:
BUILDING: 2/2/05
ZONING: 2/2/05
ELECTRICAL: 2/2/05
MECHANICAL: 2/2/05
FIRE PREVENTION: 2/2/05
ENGINEERING: 2/2/05
PUBLIC WORKS:
STRUCTURAL:
ACCESSIBILITY:

id insight design
ARCHITECTURE INTERIORS
1210 Washington Avenue Suite 225
Miami Beach, Florida 33139
305.666.0084

PROJECT NO: 0227-01
SHEET: 55
DATE: 1/14/02
SCALE: 1/4"=1'-0"
SHEET NO: A-4



REVISIONS
A
02/20/03

ELEVATIONS

APPROVED FOR PERMIT BY THE FOLLOWING:
BUILDING: [Signature]
ZONING: [Signature]
JOB#MP: [Signature]
CONCURRENCY: [Signature]
PLUMBING: [Signature]
ELECTRICAL: [Signature]
MECHANICAL: [Signature]
FIRE PREVENTION: [Signature]
ENGINEERING: [Signature]
PUBLICWORKS: [Signature]
STRUCTURAL: [Signature]
ACCESSIBILITY: [Signature]
ELEVATOR: [Signature]
CABINETS: [Signature]

PROJECT NO: 0227-01
DRAWN BY: ES
DATE: 07/02/02
SCALE: 1/4" = 1'-0"
SHEET NO: A-5

As per Florida Building Code, Statewide, for Review FOR CODE COMPLIANCE
Work for
ARCHITECTURE & INTERIORS
1210 Washington Avenue, Suite 208
Miami Beach, Florida 305 535 9900
AR0014302 ID0003684

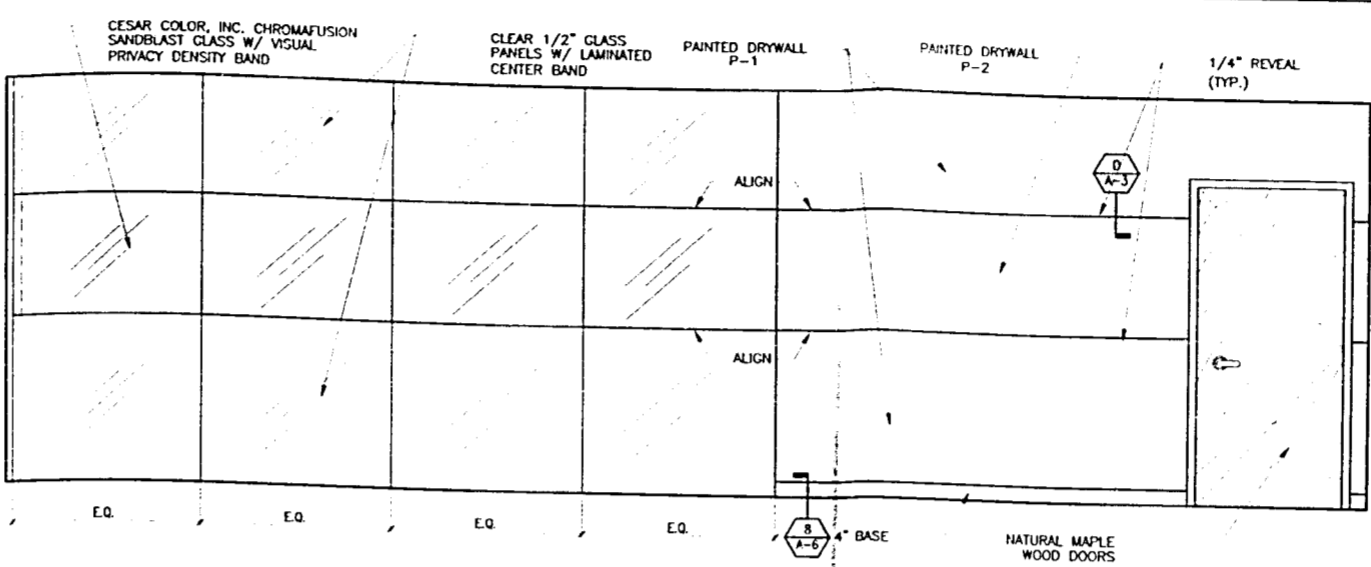
OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY THE FOLLOWING:

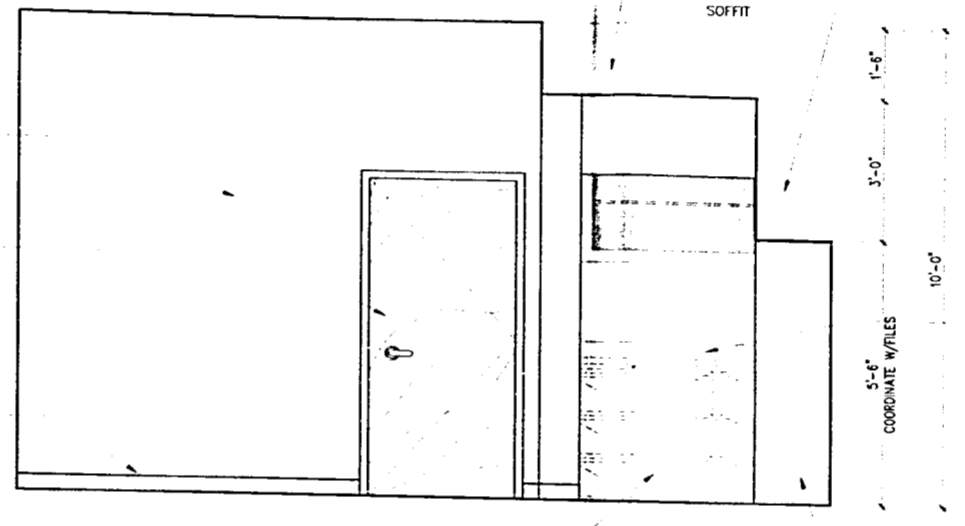
STAINLESS STEEL KITCHEN SINK BY KOHLER "TOCCATA" MODEL #K-3348-4 WITH S.S. SINK STRAINER #K-6811 FAUCET BY KOHLER "TRITON" #K-7765-K/116012-4 FINISH: POLISHED CHROME
MICROWAVE AMANA #ACM21EGAS
ASKO STAINLESS STEEL DISHWASHER MODEL # D1716SS
NOTE: ALL HARDWARE TO BE OF HEAVY DUTY INDUSTRIAL GRADE TYPE.

NOTE: PROVIDE ADA COVER PADS OVER PIPES AT SINK
NOTE: ALL PRINCLES FOR ADJUSTABLE SHELVES TO RECEIVE METAL SLEEVES

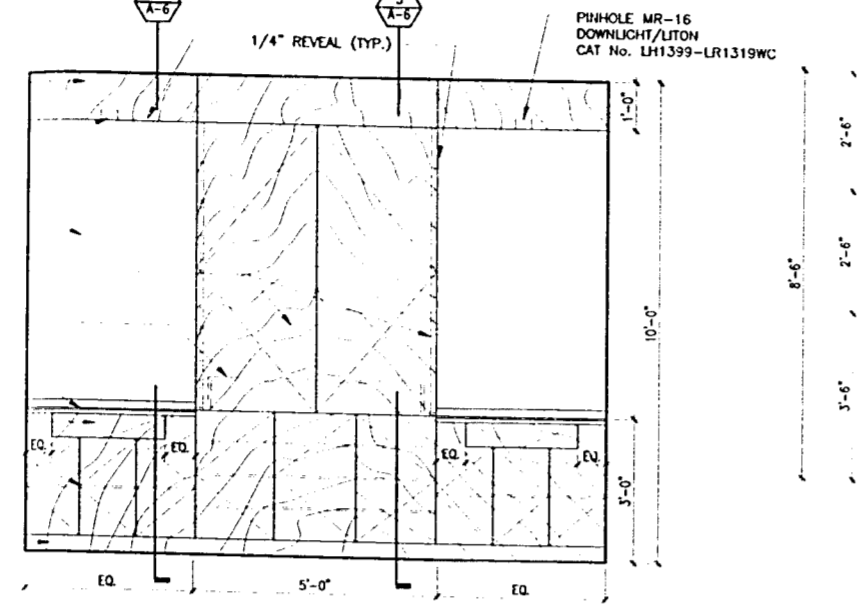
NOTE: G.C. TO COORDINATE ALL APPLIANCES PRIOR TO MILLWORK FABRICATION



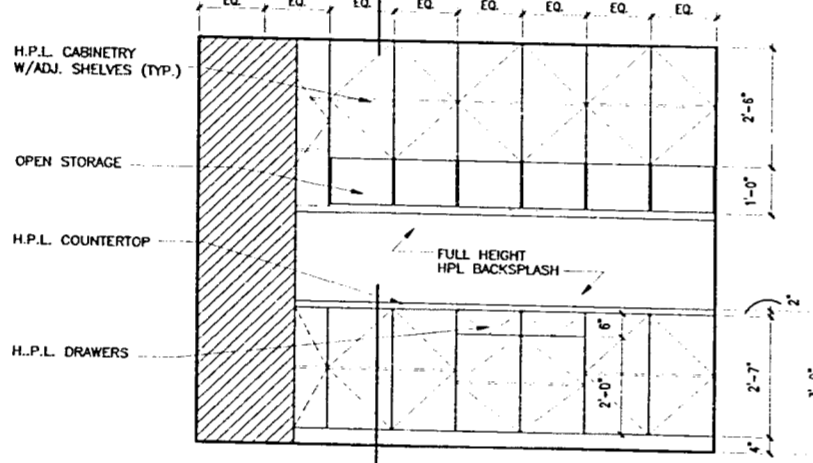
8 CORRIDOR ELEVATION
3/8"=1'-0"



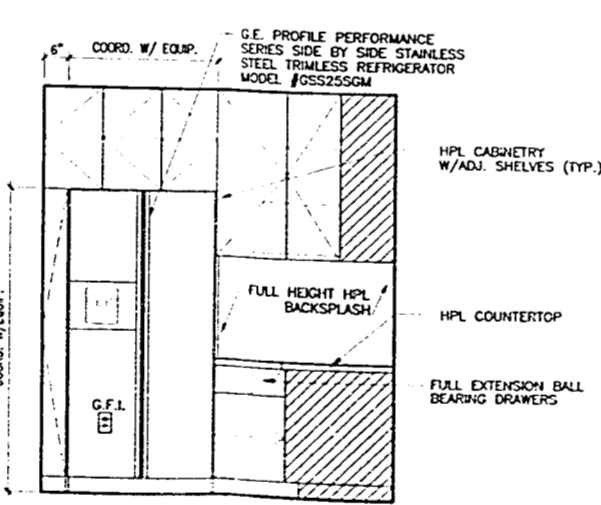
5 ACCENT WALL ELEVATION
1/2"=1'-0"



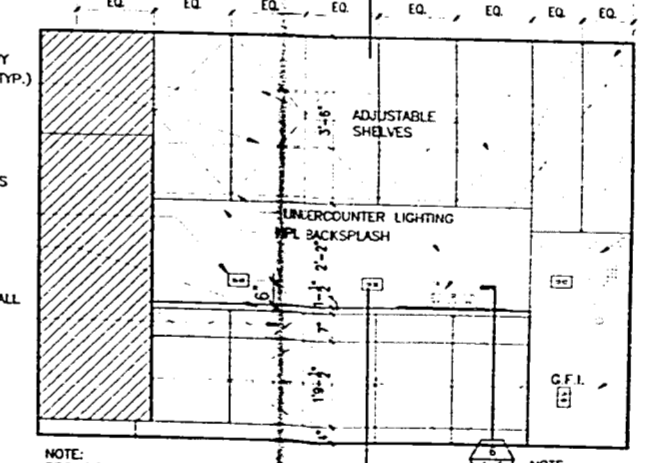
9 CONFERENCE RM. MILLWORK
3/8"=1'-0"



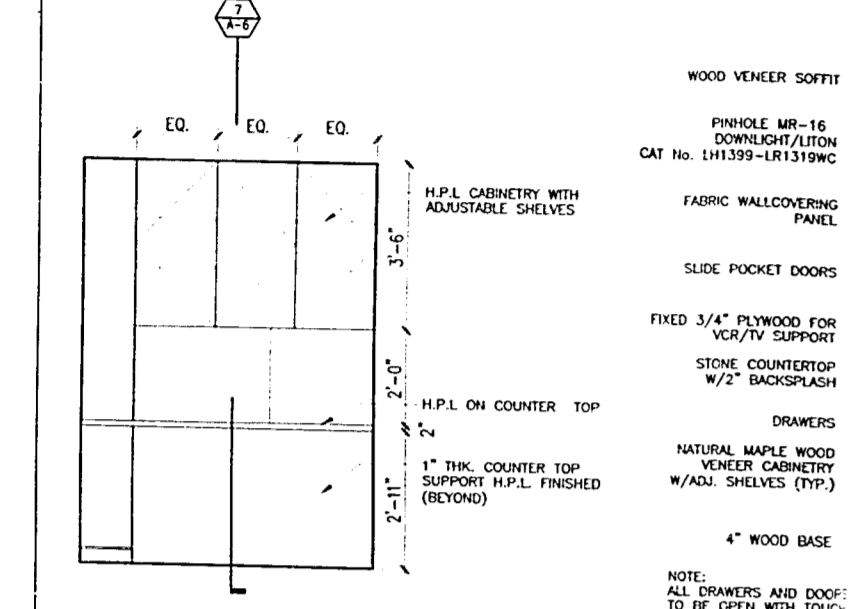
6 MAIL ROOM ELEVATION
1/2"=1'-0"



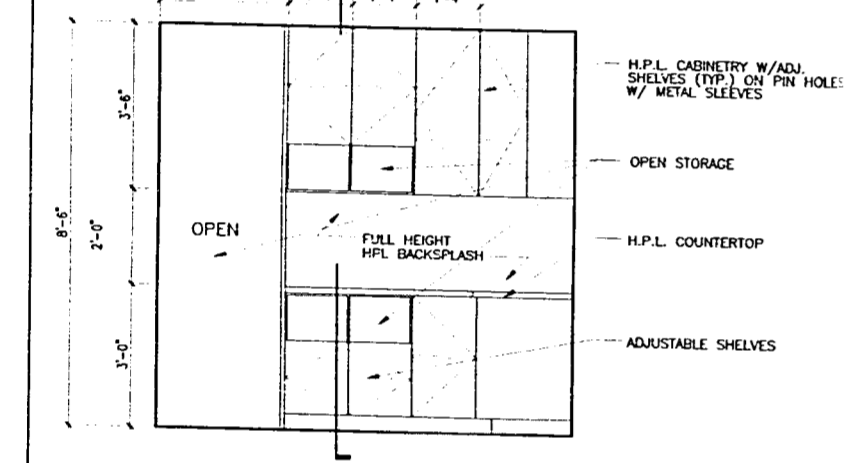
2 PANTRY ELEVATION
1/2"=1'-0"



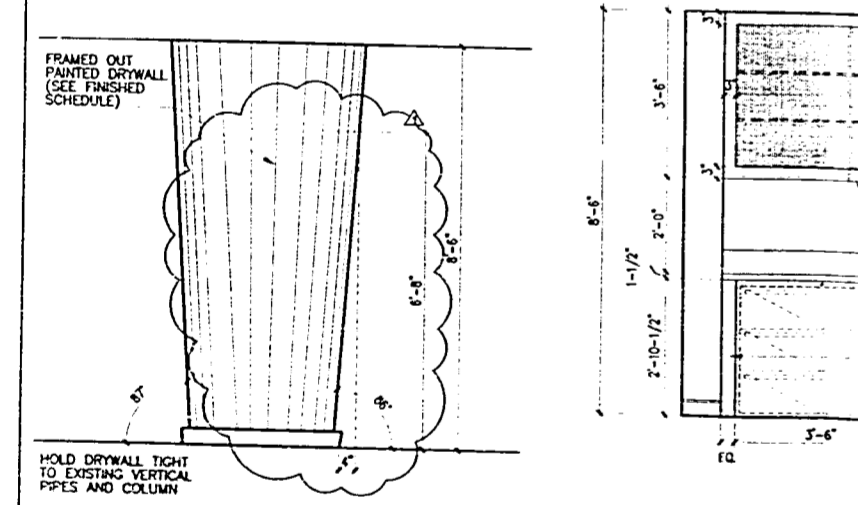
1 PANTRY ELEVATION
1/2"=1'-0"



10 SUPPORT ELEVATION
1/2"=1'-0"

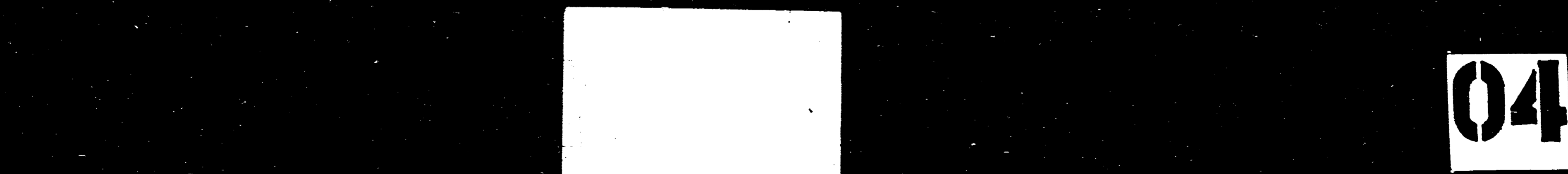


7 MAIL ROOM ELEVATION
1/2"=1'-0"

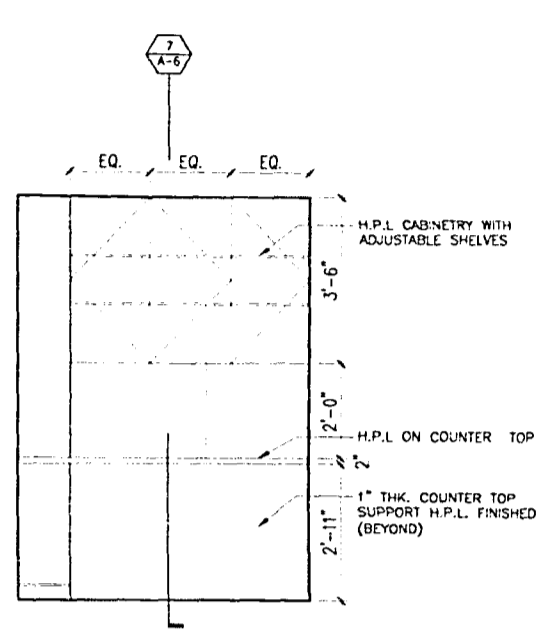


3 MARKETING ROOM ELEVATION
1/2"=1'-0"

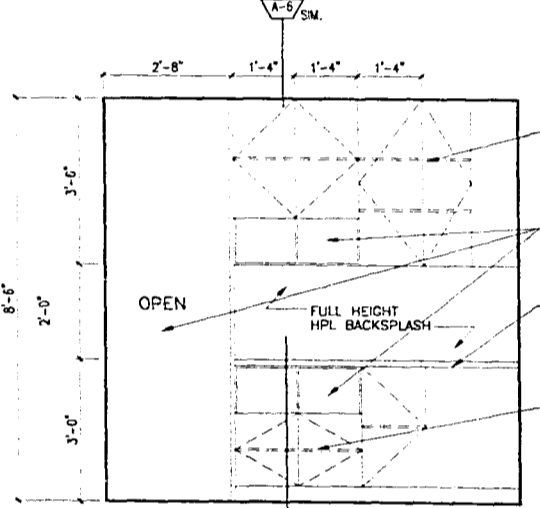
4 COLUMN ELEVATION
1/2"=1'-0"



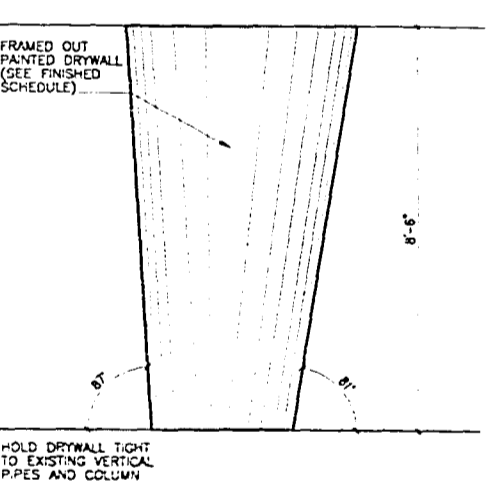
04



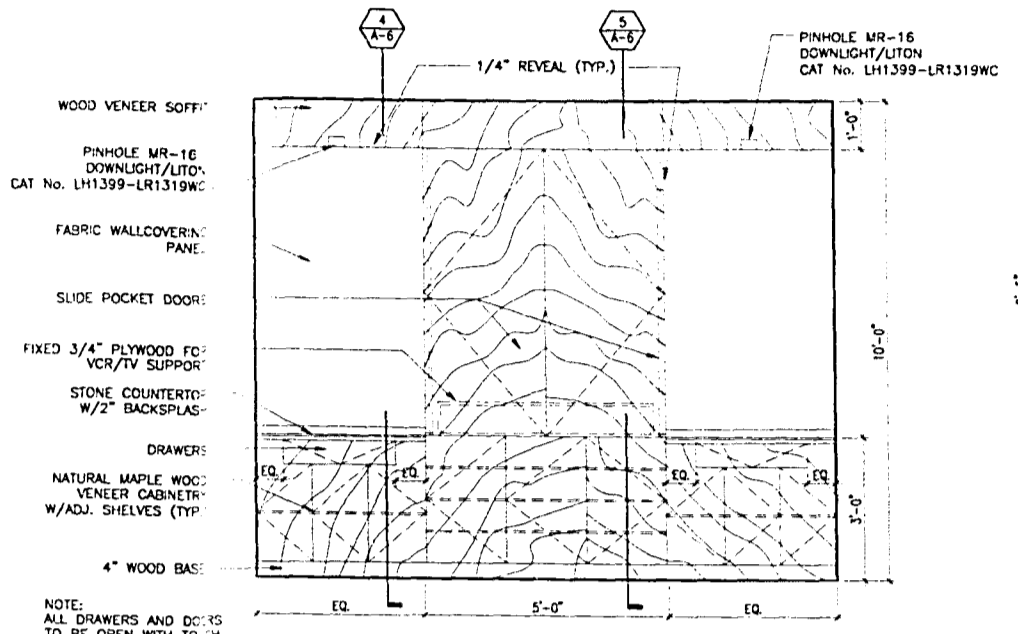
10 SUPPORT ELEVATION
1/2"=1'-0"



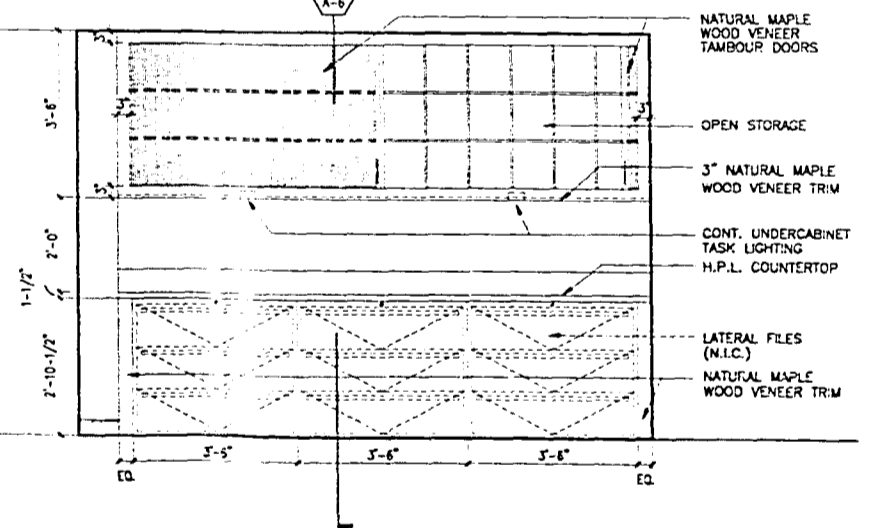
7 MAIL ROOM ELEVATION
1/2"=1'-0"



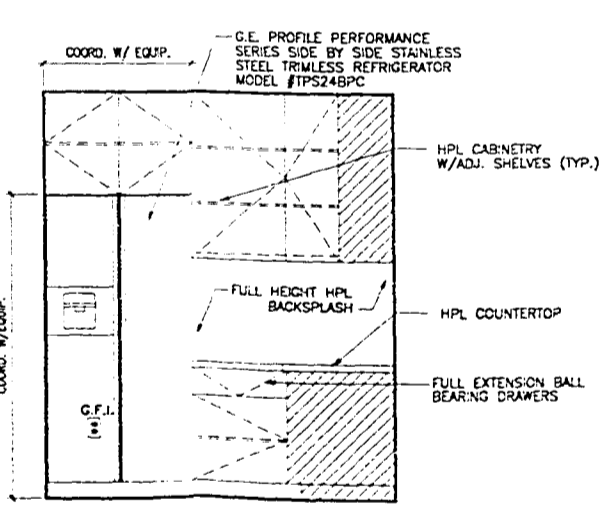
4 COLUMN ELEVATION
1/2"=1'-0"



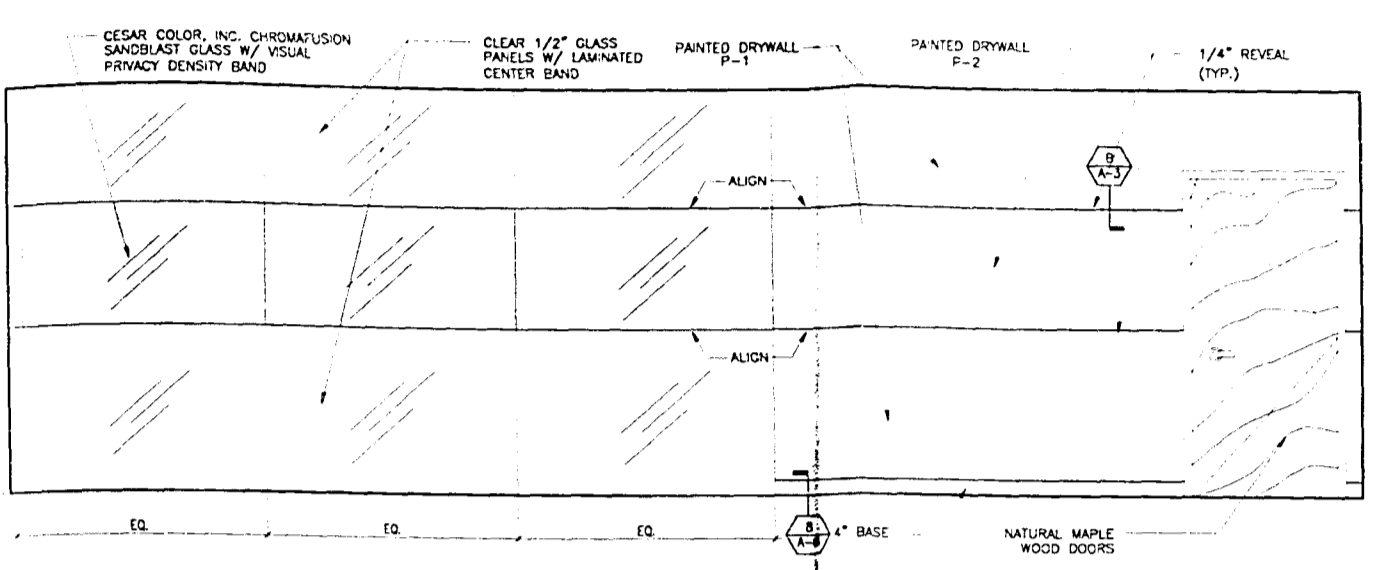
9 CONFERENCE RM. MILLWORK
3/8"=1'-0"



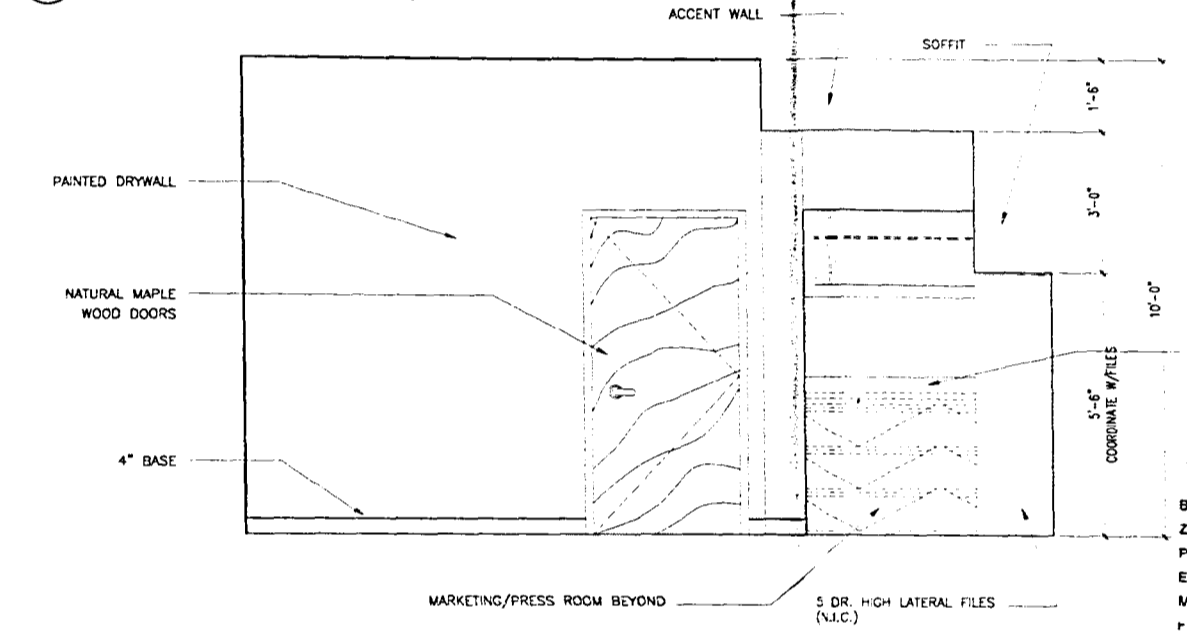
3 MARKETING ROOM ELEVATION
1/2"=1'-0"



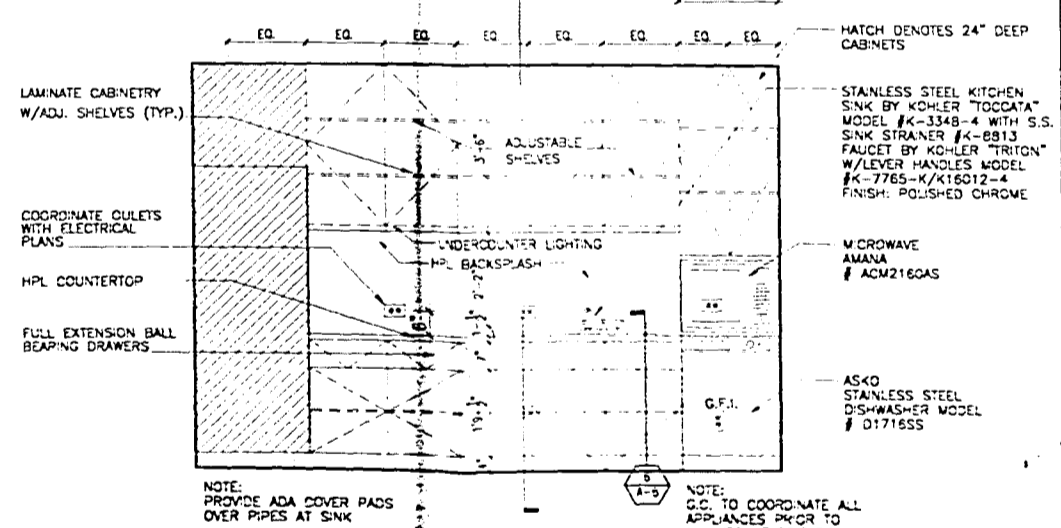
2 PANTRY ELEVATION
1/2"=1'-0"



8 CORRIDOR ELEVATION
3/8"=1'-0"



5 ACCENT WALL ELEVATION
1/2"=1'-0"



1 PANTRY ELEVATION
1/2"=1'-0"

id
insight
design

REVISIONS

WILLIAM MORRIS AGENCY
118 Washington Avenue, 4th Floor
Miami Beach, Florida

insight design
ARCHITECTURE & INTERIORS
1210 Washington Avenue Suite 225
Miami Beach, Florida 33139
A000039584
A00014302

PROJECT NO. 0227-01
DATE 1/14/02
SCALE 1/4"=1'-0"
SHEET NO. A-5

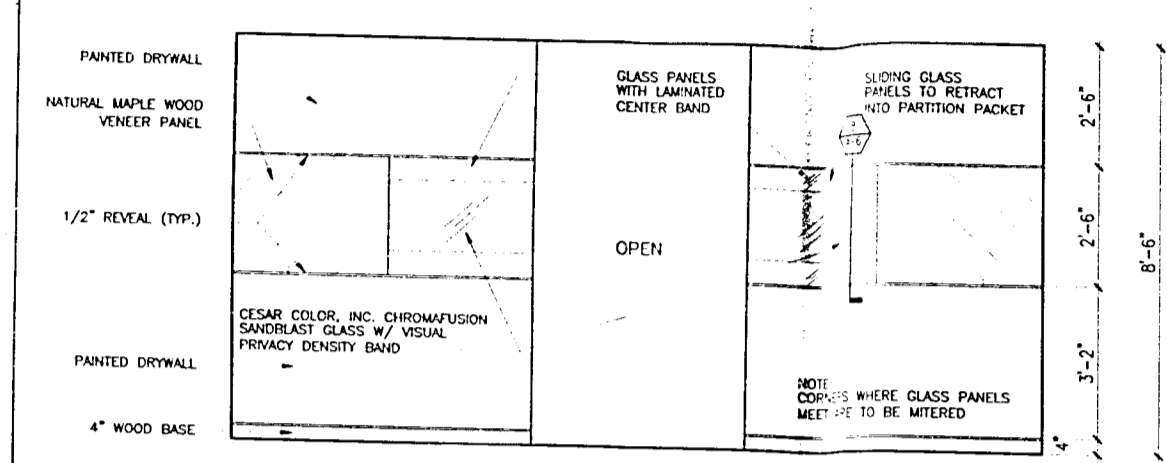
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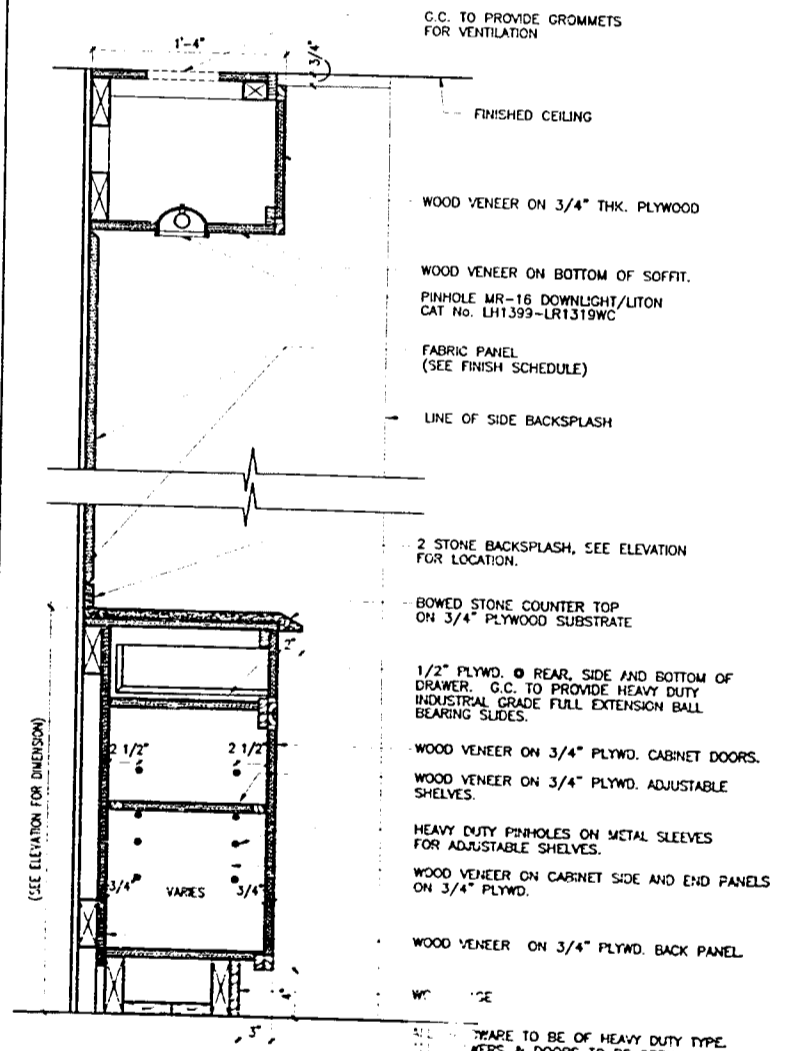
ELEVATIONS

WORK REVIEWED FOR CODE COMPLIANCE
ARCHITECTURE & INTERIORS
1210 Washington Avenue, Suite 225
Miami Beach, Florida 305 535 9909
AR0014302

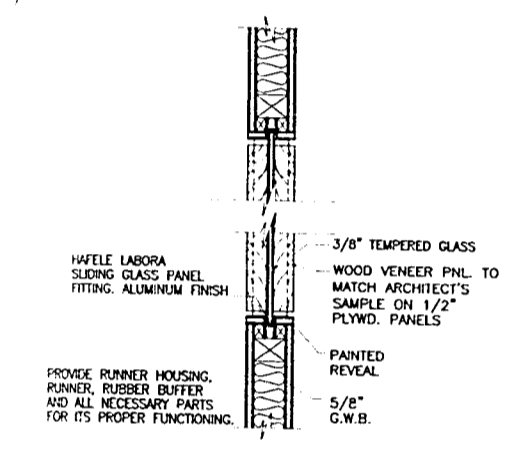
PROJECT NO: 0223-01
DATE: 02/20/03
SCALE: 1/8"=1'-0"
SHEET NO: A-6



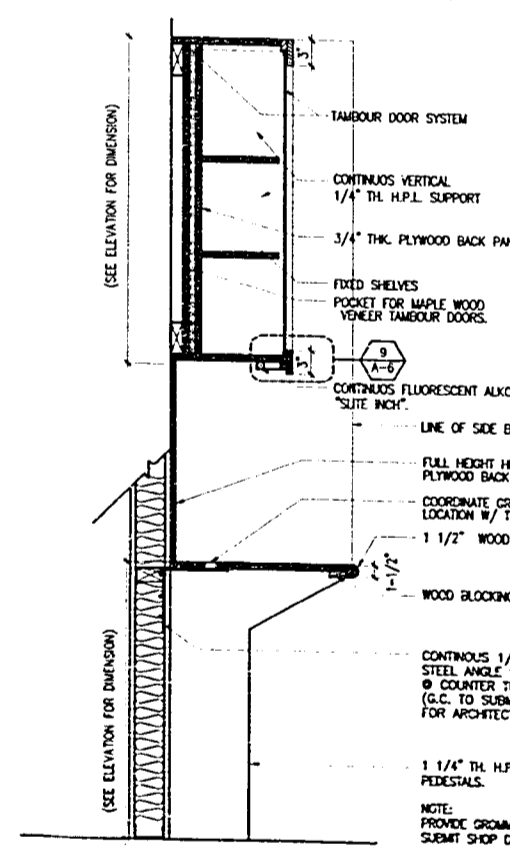
10 RECEPTION AREA ELEVATION
3/8"=1'-0"



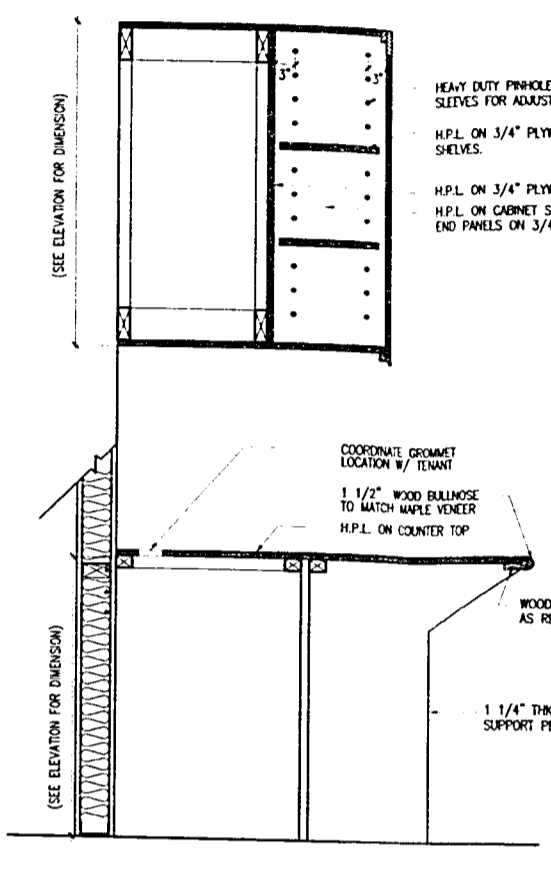
4 SECTION DETAIL
1-1/2"=1'-0"



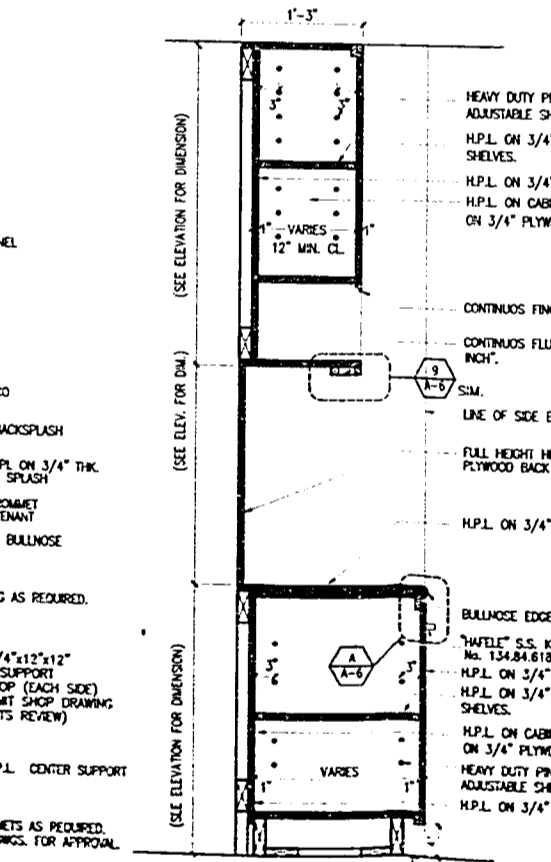
8 DETAIL
1-1/2"=1'-0"



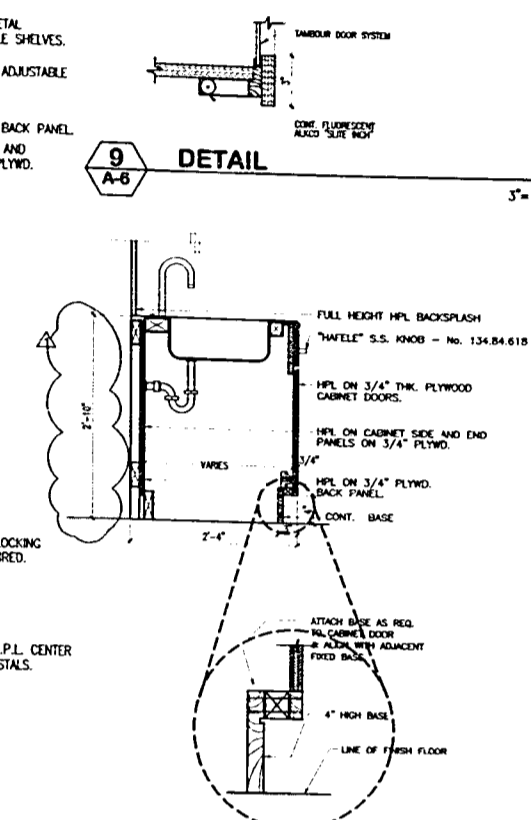
3 MARKETING ROOM SECTION
1-1/2"=1'-0"



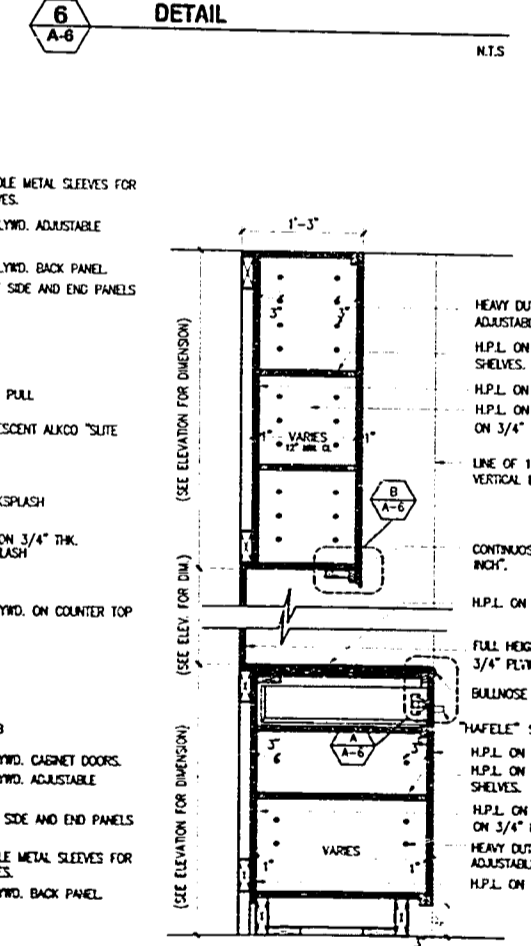
7 SECTION DETAIL
1-1/2"=1'-0"



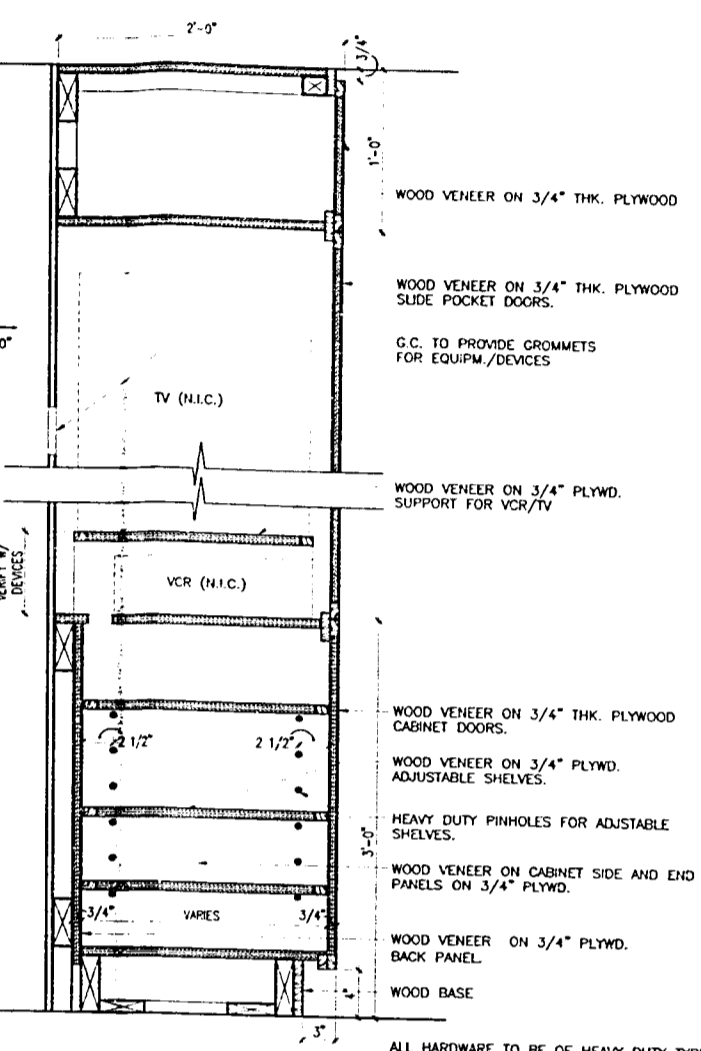
2 MAIL ROOM SECTION
FOR ELEVATION 7/1-A-B PROVIDE OPEN STORAGE UNDER COUNTER TOP AREA
1-1/2"=1'-0"



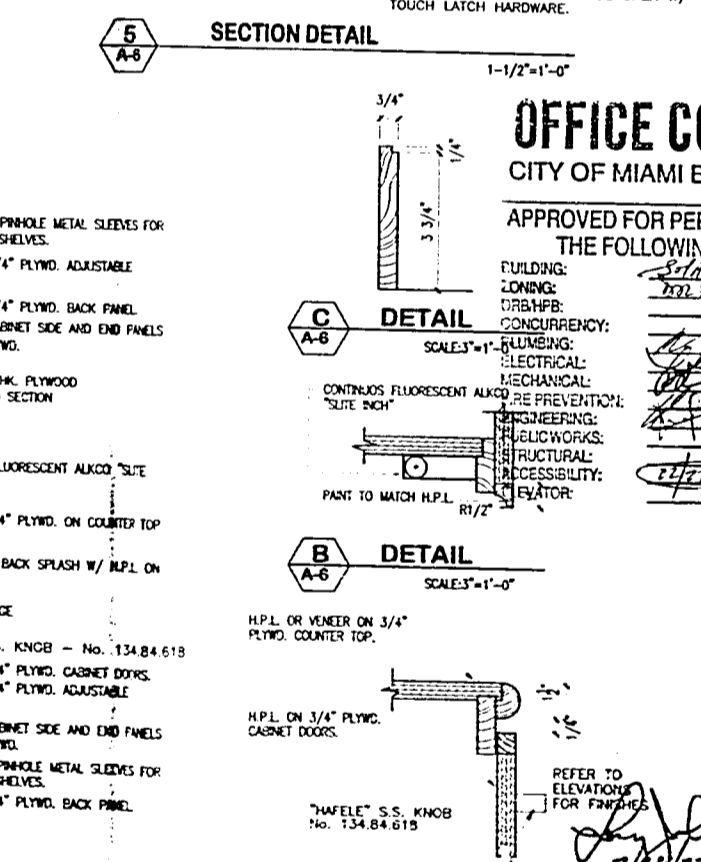
9 DETAIL
3/4"=1'-0"



6 DETAIL
1-1/2"=1'-0"



5 SECTION DETAIL
1-1/2"=1'-0"



1 PANTRY SECTION
1-1/2"=1'-0"

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CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:
BUILDING DEPARTMENT: [Signature]
CONCRETE: [Signature]
ELECTRICAL: [Signature]
MECHANICAL: [Signature]
PLUMBING: [Signature]
STRUCTURAL: [Signature]
ACCESSIBILITY: [Signature]
ELEVATOR: [Signature]
SCALE: 1/8"=1'-0"
DETAIL C: 3/4"=1'-0"
DETAIL B: 3/4"=1'-0"
DETAIL A: 3/4"=1'-0"
NOTE: G.C. TO PROVIDE SHOP DRAWINGS FOR INSIGHT DESIGN REVIEW
2/14/03

04

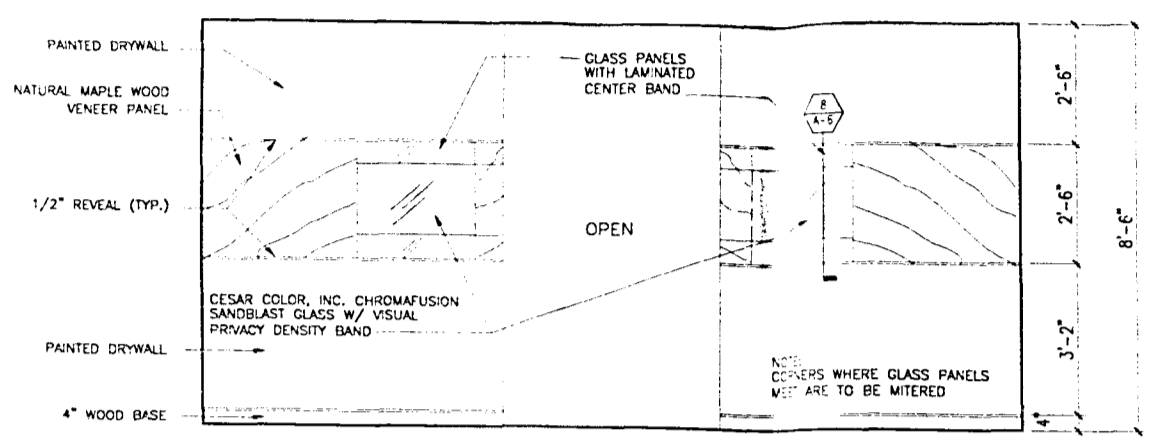
REVISIONS

ELEVATIONS

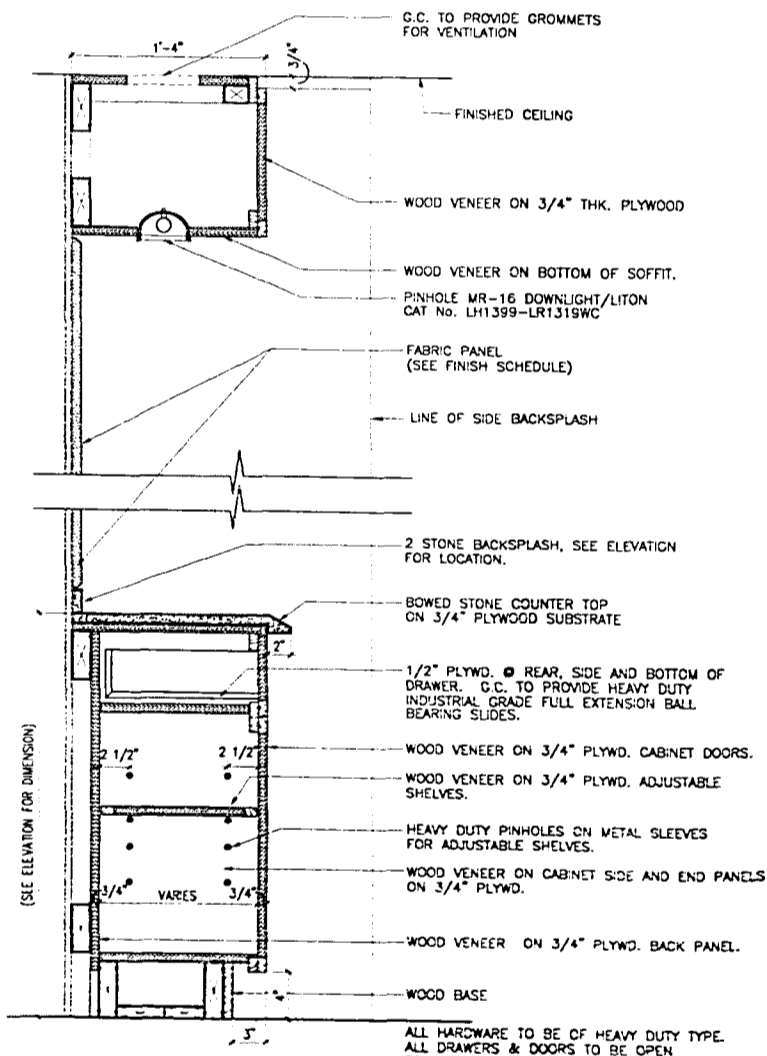
WILLIAM MORRIS AGENCY
119 Washington Avenue, 4th Floor
Miami Beach, Florida

insight design
ARCHITECTURE & INTERIORS
1210 Washington Avenue, Suite 225
Miami Beach, Florida 33139
AR0004302

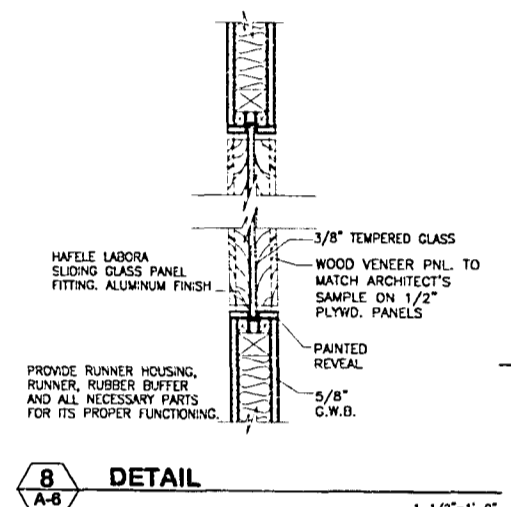
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DATE: 11/14/02
SCALE: VARIOUS
SHEET NO: A-6



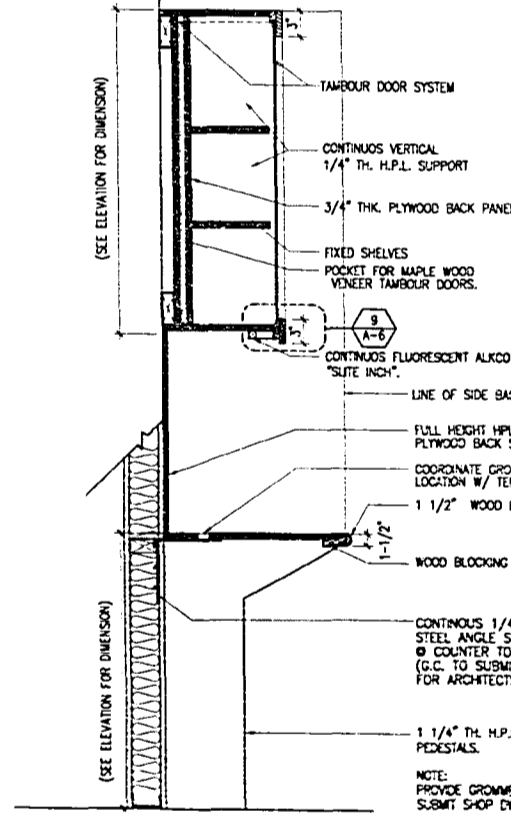
10 RECEPTION AREA ELEVATION
3/8"=1'-0"



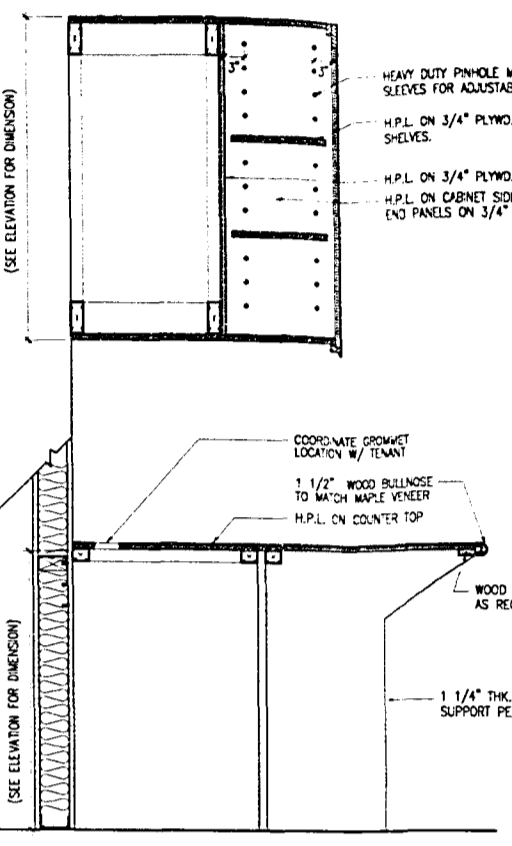
4 SECTION DETAIL
1-1/2"=1'-0"



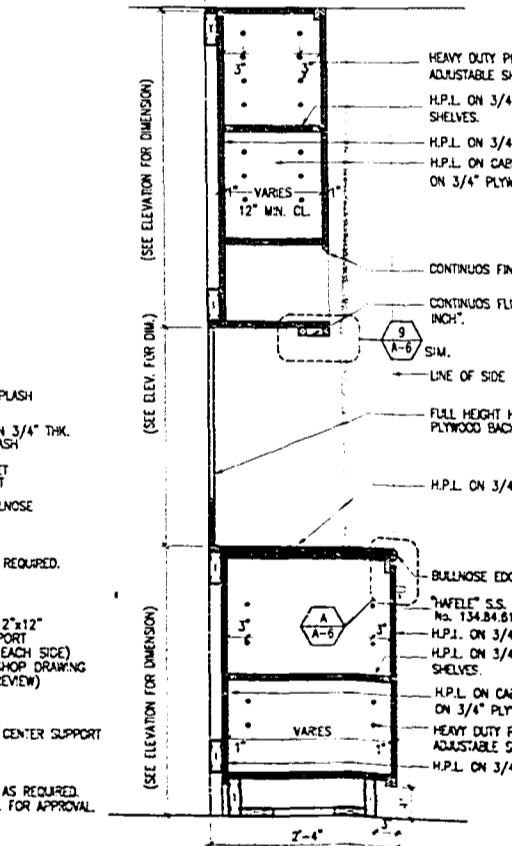
8 DETAIL
1-1/2"=1'-0"



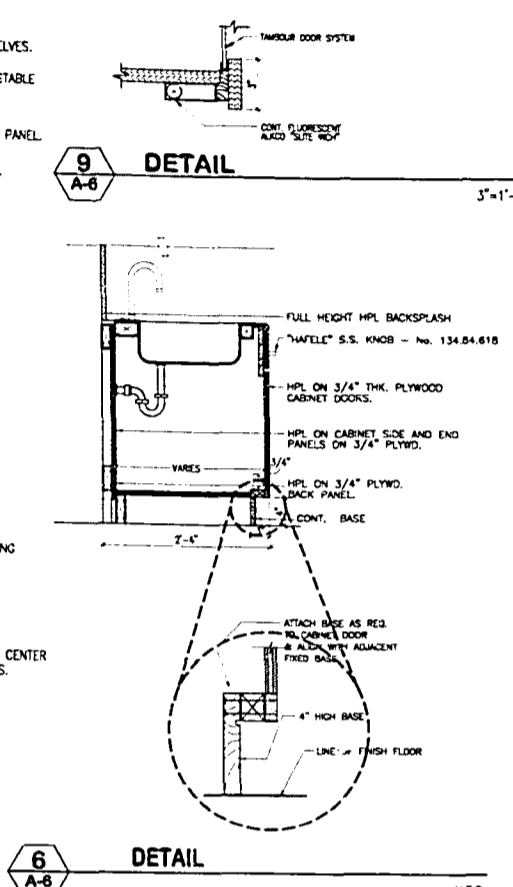
3 MARKETING ROOM SECTION
1"=1'-0"



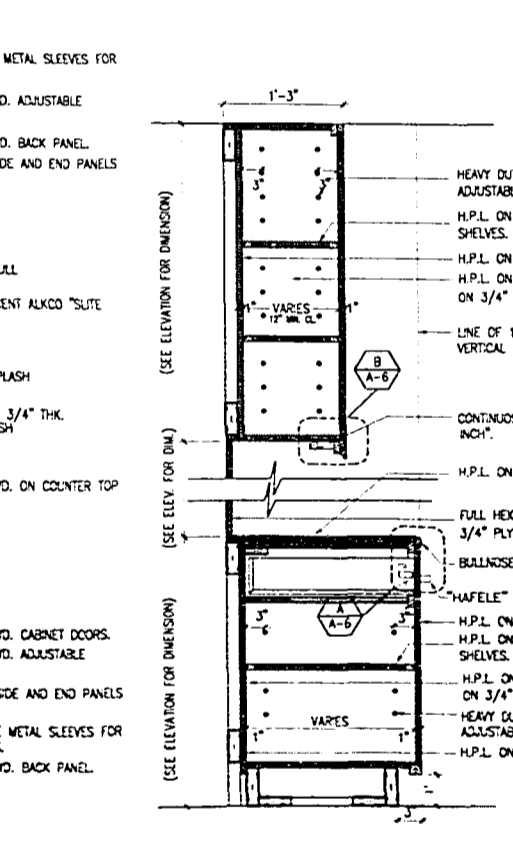
7 SECTION DETAIL
1"=1'-0"



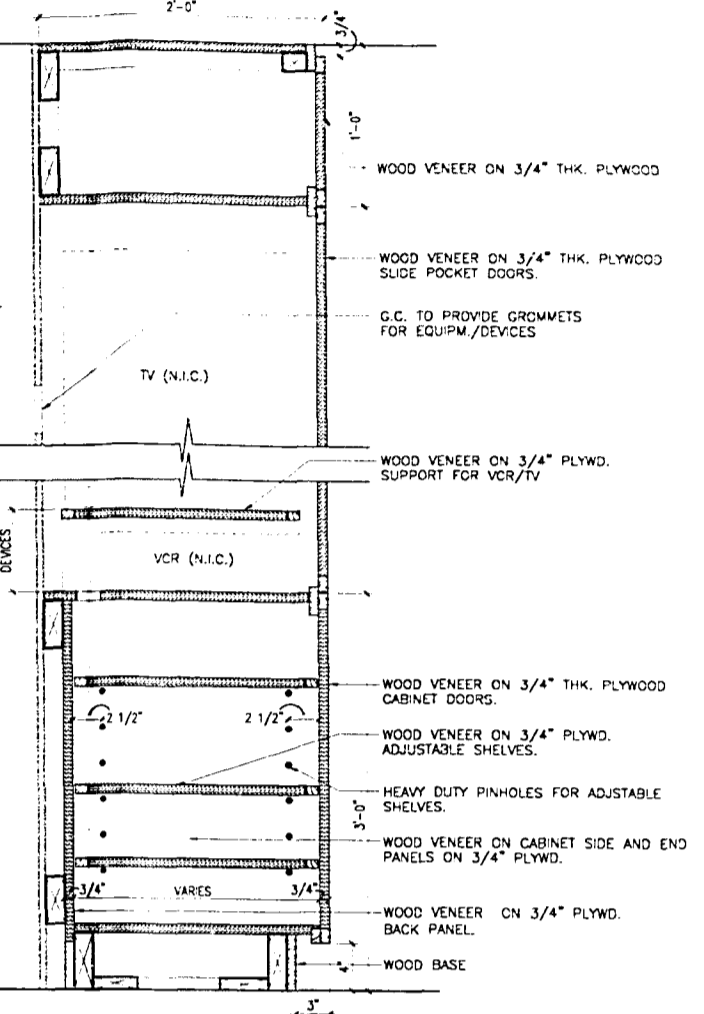
2 MAIL ROOM SECTION
FOR ELEVATION 7/1-5 PROVIDE OPEN STORAGE UNDER COUNTER TOP AREA
1"=1'-0"



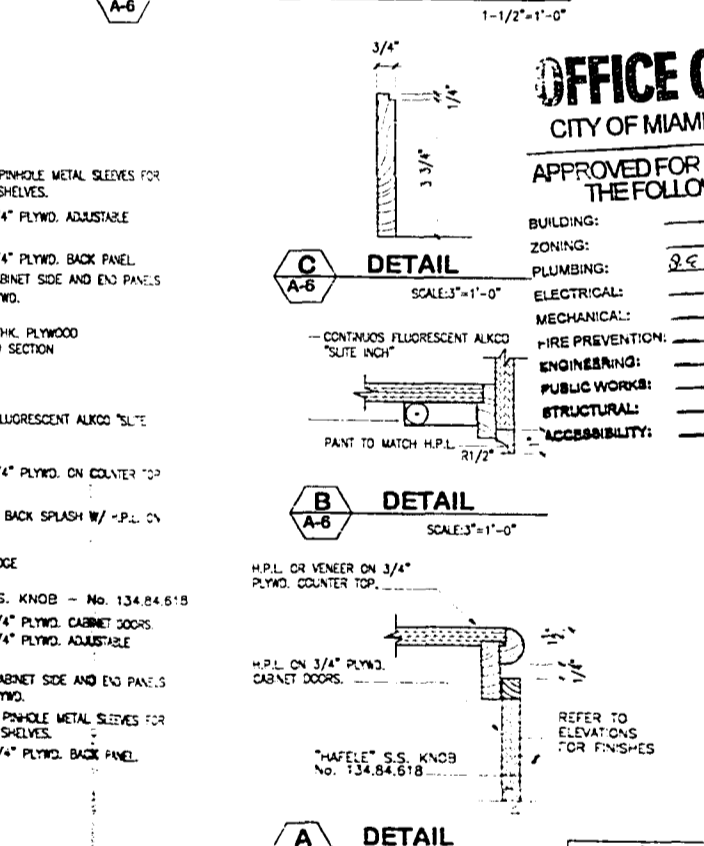
9 DETAIL
N.T.S.



1 PANTRY SECTION
1"=1'-0"



5 SECTION DETAIL
1-1/2"=1'-0"



1 DETAIL
N.T.S.

C DETAIL
SCALE: 1"=1'-0"

B DETAIL
SCALE: 1"=1'-0"

A DETAIL
N.T.S.

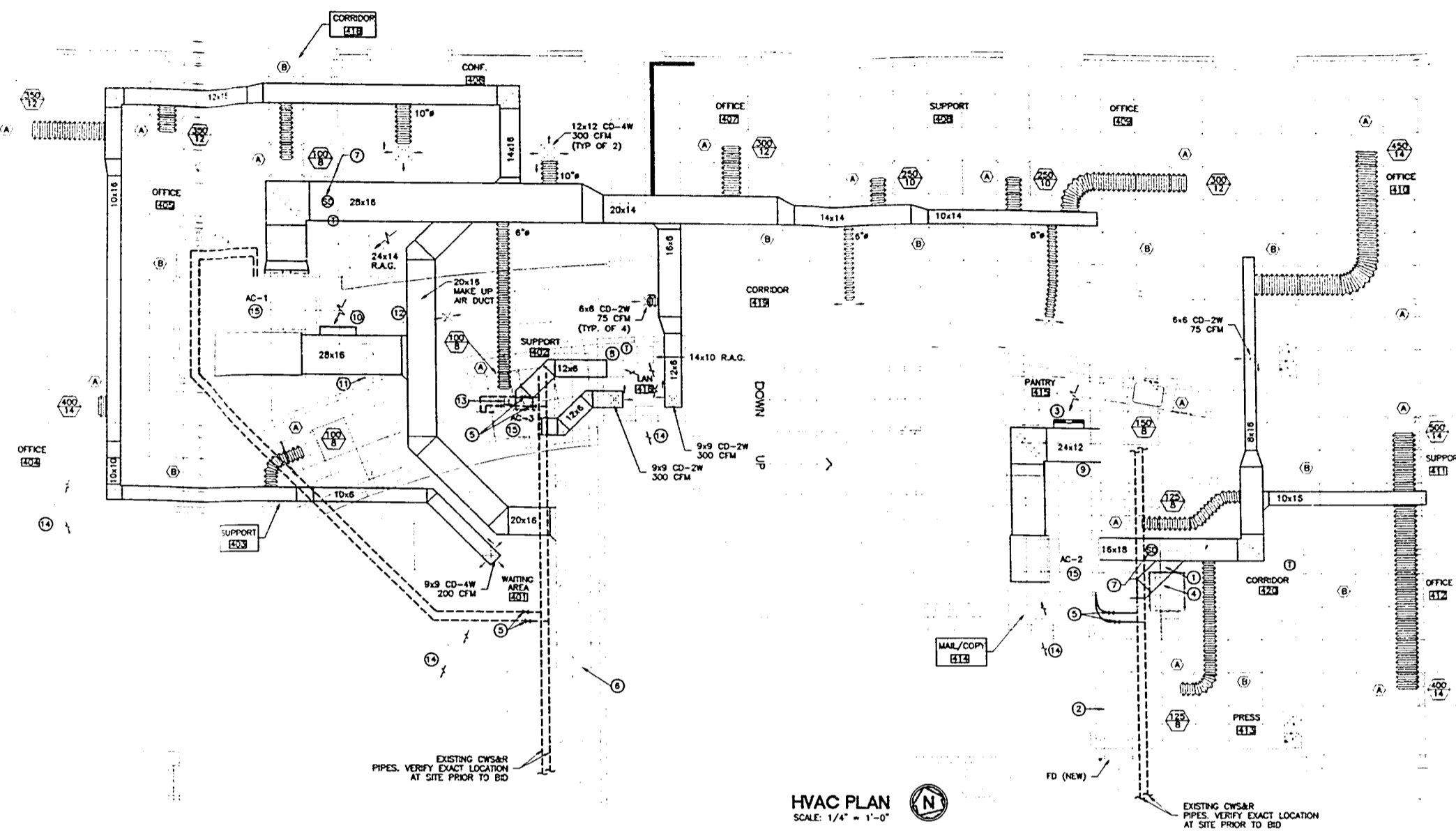
OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:

BUILDING: _____
ZONING: 2-1-1
PLUMBING: _____
ELECTRICAL: _____
MECHANICAL: _____
FIRE PREVENTION: _____
ENGINEERING: _____
PUBLIC WORKS: _____
STRUCTURAL: _____
ACCESSIBILITY: _____

REFER TO ELEVATIONS FOR FINISHES

NOTE: G.C. TO PROVIDE SHOP DRAWINGS FOR NSD-CR DESIGN REVIEW

Signature



HVAC PLAN
SCALE: 1/4" = 1'-0"

- DRAWING NOTES:**
- 14x14 SMOKE CONTROL MAKE UP AIR DUCT (1700 CFM).
 - EXISTING 20x14 VENTILATION AIR INTAKE AND MAKE UP AIR DUCT. VERIFY EXACT LOCATION AT SITE PRIOR TO BID.
 - 22x12 RETURN AIR OPENING WITH GRAVITY BACKDRAFT DAMPER.
 - 2-POSITION AUTOMATIC CONTROL DAMPER SET OPEN TO ALLOW 1700 CFM OF MAKE UP AIR MAX. IN SMOKE CONTROL MODE, AND CLOSED IN NORMAL HVAC MODE. CONTROL OF DAMPER TO BE BY FIRE ALARM SYSTEM.
 - EXISTING CONDENSER WATER SUPPLY AND RETURN VALVED SHUT-OFFS. VERIFY EXACT LOCATION AT SITE PRIOR TO BID. CONNECT NEW HEAT PUMP TO THESE VALVES USING PLENUM RATED STAINLESS STEEL BRANDED HOSES AND BRASS FITTINGS.
 - EXISTING 24x18 OUTSIDE AIR INTAKE AND MAKE UP AIR DUCT. VERIFY EXACT LOCATION AT SITE PRIOR TO BID.
 - PHOTOELECTRIC TYPE EXISTING SMOKE DETECTOR. DETECTOR TO SHUT OFF AC UNIT UPON DETECTION OF SMOKE AND SEND SUPERVISORY "DETECTOR TROUBLE" SIGNAL TO FIRE ALARM PANEL. PROVIDE DETECTOR WITH REMOTE TEST/RESET SWITCH VISUAL AND AUDIBLE ALARMS IN OCCUPIED AREAS.
 - 12x12 R.A.G.
 - 2-POSITION AUTOMATIC CONTROL DAMPER SET OPEN TO ALLOW 150 CFM MAX. OF VENTILATION AIR IN NORMAL HVAC MODE, AND CLOSED IN SMOKE CONTROL MODE. CONTROL OF DAMPER TO BE BY FIRE ALARM SYSTEM.
 - 26x16 RETURN AIR OPENING WITH GRAVITY BACKDRAFT DAMPER.
 - 2-POSITION AUTOMATIC CONTROL DAMPER SET OPEN TO ALLOW 280 CFM MAX. OF VENTILATION AIR IN NORMAL HVAC MODE, AND CLOSED IN SMOKE CONTROL MODE. CONTROL OF DAMPER TO BE BY FIRE ALARM SYSTEM.
 - 2-POSITION AUTOMATIC CONTROL DAMPER SET OPEN TO ALLOW 3300 CFM MAX. OF MAKE UP AIR IN SMOKE CONTROL MODE, AND CLOSED IN NORMAL HVAC MODE. CONTROL OF DAMPER TO BE BY FIRE ALARM SYSTEM. PROVIDE ACCESS PANEL AT CEILING.
 - CIRCULATING PUMP GRUNDFOSS MODEL LP15-428UC7, 65W AT 120-1-60, 3 GPM AT 12' HEAD, STAINLESS STEEL CONSTRUCTION.
 - NEW 18x12 COMBINATION FIRE SMOKE DAMPER. DAMPER CONTROL TO BE BY FIRE ALARM SYSTEM. DAMPER SHALL ONLY OPEN IN THE EVENT OF A FIRE CONDITION ON THIS FLOOR. OTHERWISE, THE DAMPER SHALL REMAIN CLOSED.
 - NEW HORIZONTAL WATER SOURCE HEAT PUMP (SEE SCHEDULE) AND DRAIN PAN SUSPENDED FROM STRUCTURE ABOVE. PROVIDE DAMP PAN MICRO FLUIDAT SWITCH WIRED TO SHUT OFF A/C UNIT IN CASE OF CONDENSATE DRAIN CLOGGING.

NOTE:
ALL CEILING SPACE TO BE RETURN AIR/SMOKE EVAC. PLENUM. NO COMBUSTIBLE MATERIALS ALLOWED.

id
insight
design

NO.	DATE	DESCRIPTION

Work for
FLORIDA BUILDING CODE COMPLIANCE AGENCY
1210 Washington Avenue Suite 225
Miami Beach, Florida 33139
305.663.9994

REVIEWED FOR CODE COMPLIANCE

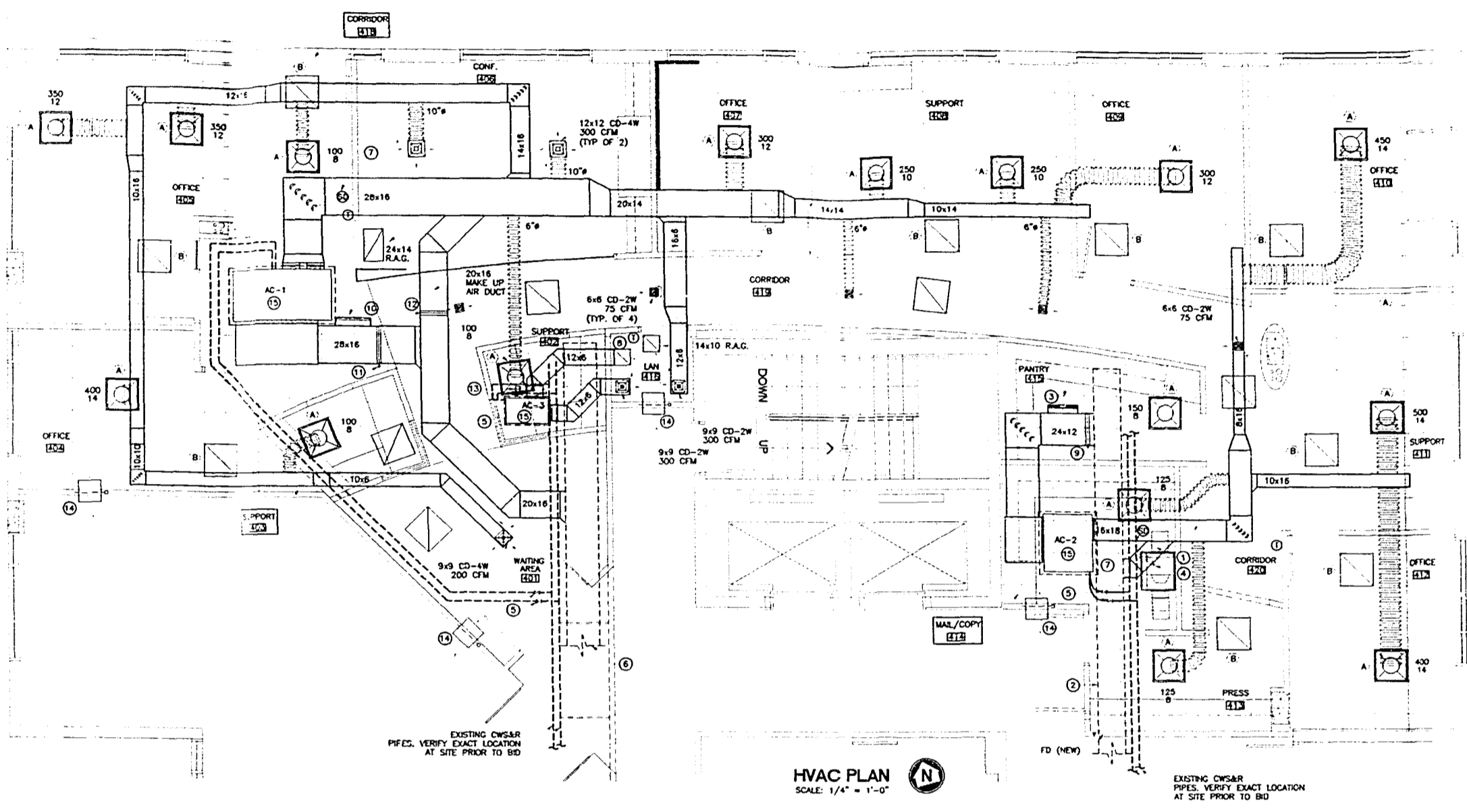
PROJECT NO.	02108
DATE	1/14/25
SCALE	AS SHOWN
SHEET NO.	AC-1

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING: *YR 8 11 13 2*
MECHANICAL: *YR 8 11 13 2*
ELECTRICAL: *YR 8 11 13 2*
PLUMBING: *YR 8 11 13 2*
MECHANICAL/ELECTRICAL/PLUMBING: *YR 8 11 13 2*
FIRE PREVENTION: *YR 8 11 13 2*
STRUCTURAL: *YR 8 11 13 2*
ACCESSIBILITY: *YR 8 11 13 2*

Allen
FES
24 NW 18TH STREET
NORTH MIAMI BEACH, FL 33149
TELEPHONE (305) 653-0212
FAX (305) 653-0232

04



- DRAWING NOTES:**
- 14x14 SMOKE CONTROL MAKE UP AIR DUCT (1700 CFM).
 - EXISTING 20x14 VENTILATION AIR INTAKE AND MAKE UP AIR DUCT. VERIFY EXACT LOCATION AT SITE PRIOR TO BID.
 - 22x12 RETURN AIR OPENING WITH GRAVITY BACKDRAFT DAMPER.
 - 2-POSITION AUTOMATIC CONTROL DAMPER SET OPEN TO ALLOW 1700 CFM OF MAKE UP AIR MAX. IN SMOKE CONTROL MODE, AND CLOSED IN NORMAL HVAC MODE. CONTROL OF DAMPER TO BE BY FIRE ALARM SYSTEM.
 - EXISTING CONDENSER WATER SUPPLY AND RETURN VALVED STUB-OUTS. VERIFY EXACT LOCATION AT SITE PRIOR TO BID. CONNECT NEW HEAT PUMP TO THESE VALVES USING PLENUM RATED STAINLESS STEEL BRAIDED HOSES AND BRASS FITTINGS.
 - EXISTING 24x16 OUTSIDE AIR INTAKE AND MAKE UP AIR DUCT. VERIFY EXACT LOCATION AT SITE PRIOR TO BID.
 - PHOTOELECTRIC TYPE DUCT SMOKE DETECTOR. DETECTOR TO SHUT OFF AC UNIT UPON DETECTION OF SMOKE AND SEND SUPERVISORY "DETECTOR TROUBLE" SIGNAL TO FIRE ALARM PANEL. PROVIDE DETECTOR WITH REMOTE TEST/RESET SWITCH VISUAL AND ALARMS ALARMS IN OCCUPIED AREAS.
 - 12x12 R.A.G.
 - 2-POSITION AUTOMATIC CONTROL DAMPER SET OPEN TO ALLOW 150 CFM MAX. OF VENTILATION AIR IN NORMAL HVAC MODE, AND CLOSED IN SMOKE CONTROL MODE. CONTROL OF DAMPER TO BE BY FIRE ALARM SYSTEM.
 - 20x16 RETURN AIR OPENING WITH GRAVITY BACKDRAFT DAMPER.
 - 2-POSITION AUTOMATIC CONTROL DAMPER SET OPEN TO ALLOW 260 CFM MAX. OF VENTILATION AIR IN NORMAL HVAC MODE, AND CLOSED IN SMOKE CONTROL MODE. CONTROL OF DAMPER TO BE BY FIRE ALARM SYSTEM.
 - 2-POSITION AUTOMATIC CONTROL DAMPER SET OPEN TO ALLOW 3300 CFM MAX. OF MAKE UP AIR IN SMOKE CONTROL MODE, AND CLOSED IN NORMAL HVAC MODE. CONTROL OF DAMPER TO BE BY FIRE ALARM SYSTEM. PROVIDE ACCESS PANEL AT CEILING.
 - CIRCULATING PUMP GRUNDFOS MODEL LP15-ES2ACT, BSW AT 120-1-ED, 3 GPM AT 12' HEAD, STAINLESS STEEL CONSTRUCTION.
 - NEW 18x12 COMBINATION FIRE SMOKE DAMPER. DAMPER CONTROL TO BE BY FIRE ALARM SYSTEM. DAMPER SHALL ONLY OPEN IN THE EVENT OF A FIRE CONDITION ON THIS FLOOR, OTHERWISE THE DAMPER SHALL REMAIN CLOSED.
 - NEW HORIZONTAL WATER SOURCE HEAT PUMP (SEE SCHEDULE) AND DRAIN PAN SUSPENDED FROM STRUCTURE ABOVE. PROVIDE DRAIN PAN W/30 FLOAT SWITCH WIRED TO SHUT OFF A/C UNIT IN CASE OF CONDENSATE DRAIN CLOGGING.

NOTE:
ALL CEILING SPACE TO BE RETURN AIR/SMOKE EVAC. PLENUM. NO COMBUSTIBLE MATERIALS ALLOWED.

HVAC PLAN
SCALE: 1/4" = 1'-0"

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DATE PLOT

Work for
WILLIAM MORRIS AGENCY
119 Washington Avenue,
Miami Beach, Florida

OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY
THE FOLLOWING:

- PLUMBING: _____
- ELECTRICAL: _____
- MECHANICAL: _____
- FIRE PREVENTION: _____
- ENGINEERING: _____
- PUBLIC WORKS: _____
- STRUCTURAL: _____
- ACCESSIBILITY: _____

ALBERT DUB
P.E. 043414 M.E.
FEDROSKES
FLORIDA ENGINEERING SERVICES
MECHANICAL AND ELECTRICAL
ENGINEERS
FES
24 N.W. 16TH STREET
NORTH MIAMI BEACH, FL 33169
TELEPHONE: (305) 653-0212
FAX: (305) 653-0232

Calvin
1/14/03

PROJECT NO:	02108
DATE:	MEY
DATE:	1/14/03
SHEET NO:	AC-1

insight design
ARCHITECTURE • INTERIORS
1210 Washington Avenue Suite 225
Miami Beach, Florida 305 535 9009
AR004302 10000984

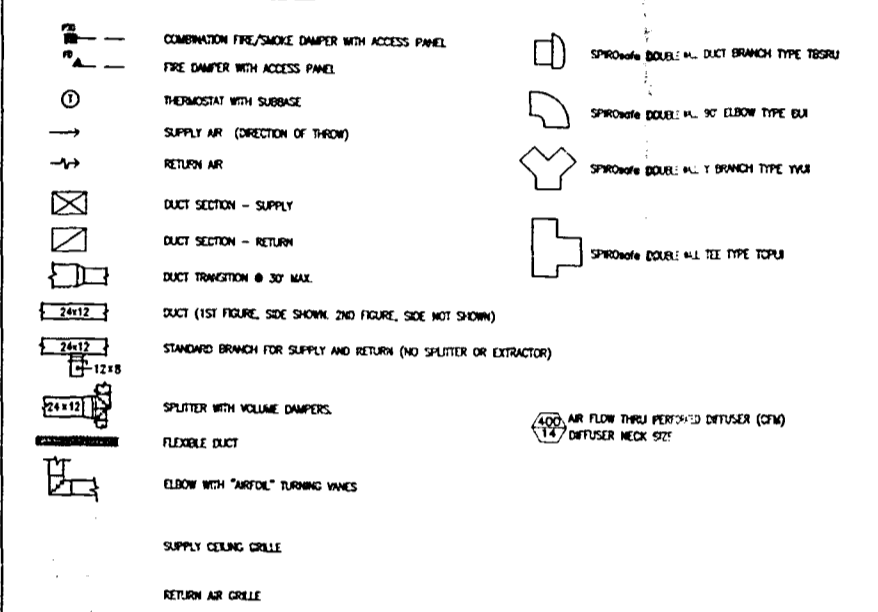
HEAT PUMP SCHEDULE																				
UNIT NUMBER	UNIT TYPE	TOTL TON	CHL. CTM	F.P. (TYP)	F.P. (MAX)	F.P. (MIN)	F.P. (AVG)	F.P. (MAX)	F.P. (MIN)	F.P. (AVG)	F.P. (MAX)	F.P. (MIN)	F.P. (AVG)	F.P. (MAX)	F.P. (MIN)	F.P. (AVG)	F.P. (MAX)	F.P. (MIN)	F.P. (AVG)	F.P. (MAX)
AC-1	100	200	200	0.7	1.0	0.5	0.7	0.8	0.6	0.7	0.8	0.6	0.7	0.8	0.6	0.7	0.8	0.6	0.7	0.8
AC-2	50	100	100	0.5	0.7	0.3	0.5	0.4	0.3	0.5	0.4	0.3	0.5	0.4	0.3	0.5	0.4	0.3	0.5	
AC-3	50	100	100	0.5	0.7	0.3	0.5	0.4	0.3	0.5	0.4	0.3	0.5	0.4	0.3	0.5	0.4	0.3	0.5	

- ACCESSORIES:
- EXTRA DUCT SOUND PACKAGE FOR ALL UNITS.
 - PLENUM RATED STAINLESS STEEL OVERBOARD HOSE WITH FULL PORT BALL VALVES (RETURN VALVE W/ REMOTE STOP) AS MANUFACTURED BY HAYS (FLEX CONTROLS).
 - STAINLESS STEEL DRAIN PANS FOR ALL UNITS (PLASTIC NOT ALLOWED).
 - CONDENSATE WATER HEAT EXCHANGER (SHELL AND TUBE NOT ALLOWED).
 - UNITS SHALL BE APPROVED. ACTUAL DATA SHOWN AT PROJECT CONDITIONS.
 - DIGITAL PROGRAMMABLE THERMOSTAT FOR EACH SYSTEM.
 - UNITS SHALL BE APPROVED. ACTUAL DATA SHOWN AT PROJECT CONDITIONS.

VENTILATION CALCULATION PER FMC TABLE 401

AC-1: 1750 SQ.FT. (OFFICE SPACE) X 7 PERSONS/1000 SQ.FT. X 20 CFM/PERSON = 250 CFM REQUIRED
 AC-2: 932 SQ.FT. (OFFICE SPACE) X 7 PERSONS/1000 SQ.FT. X 20 CFM/PERSON = 134 CFM REQUIRED

A/C LEGEND:



AIR DISTRIBUTION SCHEDULE

SYMBOL	DESCRIPTION	MANUFACTURER	MODEL NUMBER	MATERIAL	REMARKS
A	PERF. CEILING DUCT	TITUS	PAS-AM	ALUMINUM	24x24 MESH WITH AIR PATTERNS, DEFLECTORS, CHECK SIZE PER PLAN
B	RETURN AIR GALLE	TITUS	PAR	ALUMINUM	24x24 MESH SIZE WITH 22-22 MESH
RAG	RETURN AIR GALLE	TITUS	55F	ALUMINUM	W/ CSD
CD	CEILING DEFUSER	TITUS	TDC	ALUMINUM	W/ CSD

NOTES:
 TITUS IS THE BASIS OF DESIGN. PRICE, METAL AIR GUIDE ARE ACCEPTABLE SUBSTITUTIONS.
 GENERAL AND HVAC CONTRACTOR TO COORDINATE FINISH AND COLOR OF ALL AIR DISTRIBUTION PRODUCTS PRIOR TO ORDERING.

HVAC DESIGN REQUIREMENTS

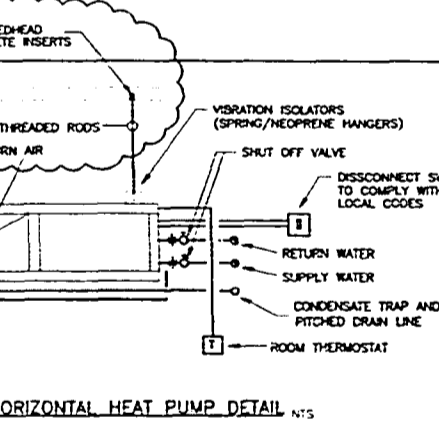
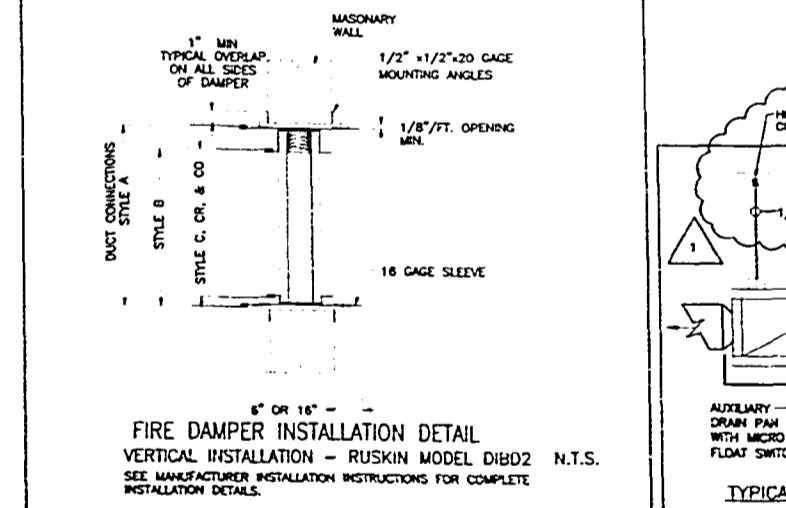
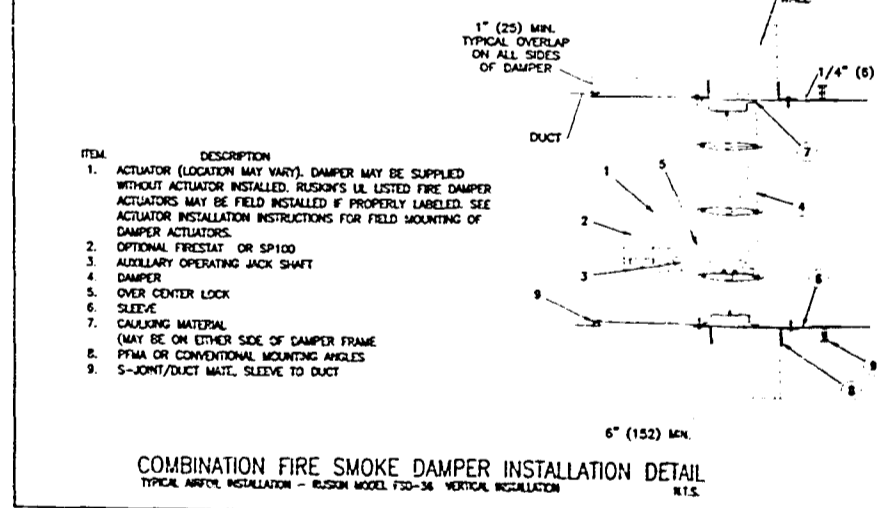
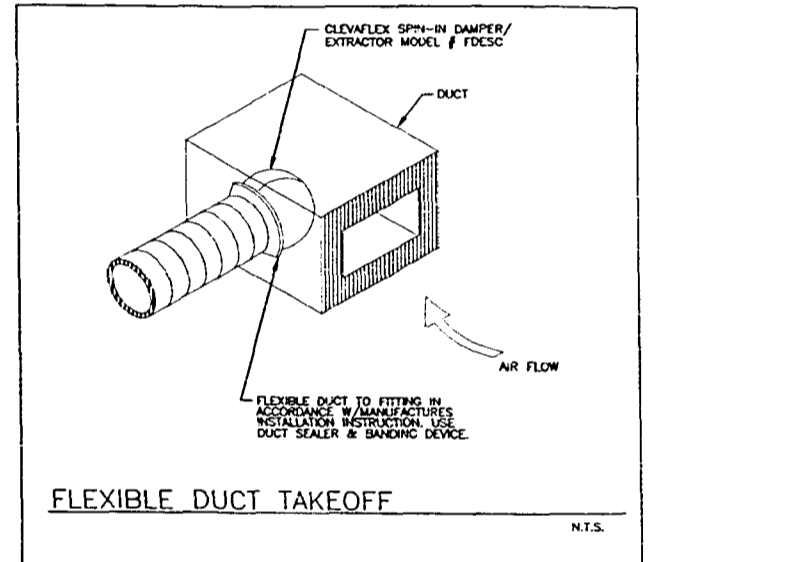
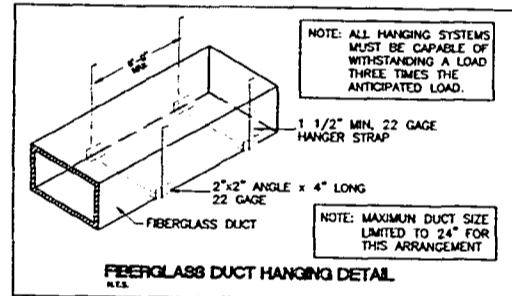
DUCT SMOKE DETECTOR	YES
FIRE DAMPERS	YES
SMOKE DAMPERS	YES
FIRE RATED ENCLOSURE	NO
FIRE RATED ROOF/CEILING ASSEMBLY	NO
FIRE STOPPING	YES
SMOKE CONTROL	YES **

HVAC SYSTEM REQUIREMENTS PER SACS CO. CHAPT. 8

** ZONE OCCUPANCY CALCULATION PER SFC 3905.8(C)
 TENANT FLOOR AREA = 2,290 SQ.FT.
 COMMON FLOOR AREA = 775 SQ.FT.
 TOTAL ZONE AREA = 3,065 SQ.FT.
 PERCENTAGE OF ZONE OCCUPANCY = 37%

SMOKE TESTING OF THIS TENANT TO BE PERFORMED WHEN 75% OF THE OVERALL SMOKE ZONE CONTAINING THIS TENANT (4TH FLOOR) IS OCCUPIED PER SFC 3905.9 (C)

Time (min)	Event
0:00	Ignition of smoke generators (bombs)
0:30	Activate smoke control system. Smoke zone boundaries for only smoke migration prior to activation.
3:00	Verify movement of smoke in the fire zone. Monitor smoke zone boundaries for migration.
13:00	Determine whether an exit sign in the test zone is visible from a height of 5 feet at a distance of 20 feet.



GENERAL AIR CONDITIONING NOTES

- ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE, FEDERAL ORDINANCES AND BUILDING CODES GOVERNING THE INSTALLATION OF THE AIR CONDITIONING SYSTEM. WORK AS Laid OUT, INDICATED OR SPECIFIED IN CONTRACT DOCUMENTS SHALL BE SUBJECT TO LOCAL, ORDINANCES, BUILDING CODES AND REGULATIONS. THE CONTRACTOR SHALL REPORT IN WRITING TO THE ARCHITECT/ENGINEER BEFORE SUBMITTING A BID. THE ARCHITECT/ENGINEER WILL THEN ISSUE INSTRUCTIONS AS HOW TO PROCEED.
- THE DRAWINGS ARE TO BE CONSIDERED SUPPLEMENTARY. NOT NECESSARILY SHOWING IN DETAIL OR TO SCALE ALL OF THE WORK. UNLESS SPECIFIC DIMENSIONS ARE SHOWN, THE STRUCTURAL, ARCHITECTURAL AND CIVIL DRAWINGS SHALL GOVERN THE EXACT LOCATIONS. CONTRACTOR SHALL FOLLOW DRAWINGS IN LAYOUT OF ALL TRUNKS TO VERIFY SPACES IN WHICH WORK WILL BE INSTALLED AND MAINTAIN MAXIMUM HEADROOM, AND SPACE CONDITIONS AT ALL POINTS. WHERE HEAD ROOM OR SPACE CONDITIONS APPEAR INADEQUATE, ARCHITECT/ENGINEER SHALL BE NOTIFIED BEFORE PROCEEDING WITH INSTALLATION. THIS CONTRACTOR SHALL, WITHOUT EXTRA CHARGE, MAKE FIELD MEASUREMENTS IN LAYOUT AS NECESSARY TO PREVENT CONFLICT WITH WORK OF VARIOUS TRADES FOR PROPER EXECUTION OF THE WORK.
- CONTRACTOR SHALL VISIT THE BUILDING AND FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO SUBMITTING A BID OR COMMENCING ANY WORK.
- EXAMINE ALL DRAWINGS CAREFULLY PRIOR TO SUBMITTING A BID. CONTRACTOR WILL BE REQUIRED TO FURNISH, INSTALL AND/OR CONNECT WITH APPROPRIATE SERVICES ALL AIR CONDITIONING ITEMS SHOWN ON ANY OF THE MECHANICAL, PLUMBING, ELECTRICAL AND SPRINKLER DRAWINGS WITHOUT ADDITIONAL EXPENSE TO THE OWNER. IF DISCREPANCIES, CONFLICTS, INTERFERENCES OR OMISSIONS OCCUR BETWEEN DRAWINGS, NOTIFY THE ARCHITECT/ENGINEER IN AMPLE TIME TO PERMIT REVISIONS BEFORE THE BIDS ARE SUBMITTED.
- INSTALL MATERIALS AND EQUIPMENT IN A NEAT AND FIRST CLASS WORKMANLIKE MANNER. THE OWNER RESERVES THE RIGHT TO DIRECT REMOVAL AND REPLACEMENT OF ITEMS, WHICH, IN HIS OPINION, DO NOT PRESENT A NEAT AND WORKMANLIKE APPEARANCE. REMOVAL AND IN WRITING, AT THE SOLE EXPENSE OF CONTRACTOR.
- START OF WORK BY CONTRACTOR SHALL BE CONSIDERED AS ACCEPTANCE BY HIM OF ALL CLAIMS OR QUESTIONS AS TO SUFFICIENCY OF THE WORK BY OTHER CONTRACTORS TO RECEIVE HIS WORK. THIS CONTRACTOR SHALL REMOVE AND REPLACE, AT HIS EXPENSE, ALL AIR CONDITIONING WORK WHICH MAY HAVE TO BE REWORKED BECAUSE OF INTERFERENCE WITH OTHER TRADES.
- THIS CONTRACTOR SHALL OBTAIN AND PAY FOR INSURANCE, FEES, PERMITS, ACCREDITATION FEES, ROYALTIES, AND TAXES OF WHATEVER NATURE SHALL APPLY TO THIS WORK. HE SHALL ALSO PAY ALL INSPECTION FEES AS MAY BE REQUIRED BY LOCAL, STATE OR FEDERAL AGENCIES AND SHALL KEEP THE OWNER HARMLESS FROM ANY DAMAGE AND EXPENSE ARISING FROM ANY VIOLATION OF THE LAWS, RULES OR ORDINANCES.
- THE WORD "AIR CONDITIONING" MEANS HEATING, VENTILATION, AIR CONDITIONING, DUCTWORK, PIPING, REFRIGERANT LINES, CONTROLS, SMOKE AND FIRE DAMPERS ETC.
- SHOP DRAWINGS: THIS CONTRACTOR SHALL FURNISH THE ENGINEER WITH SHOP DRAWINGS OF EQUIPMENT PRIOR TO PURCHASE FOR APPROVAL.
- AT COMPLETION OF JOB THE HVAC CONTRACTOR SHALL GIVE THE OWNER AN AS-BUILT SET OF DRAWINGS SHOWING THE EXACT INSTALLATION.
- ALL DUCT SIZES ARE CLEAR REEVE DUCTINGS.
- THE HVAC CONTRACTOR SHALL WARRANT ALL WORKMANSHIP AND MATERIALS FOR ONE YEAR FROM THE DATE OF FINAL WORK ACCEPTANCE BY OWNER. ANY BREAKDOWN OCCURRING IN FIRST YEAR SHALL BE REPAIRED AT NO CHARGE TO THE OWNER. THE COMPRESSOR (S) SHALL HAVE A FIVE YEAR WARRANTY.
- MATERIALS:
 - AIR CONDITIONING PIPING SHALL BE CONSTRUCTED OF 1/2" THICK R-4.2 STANDARD DUTY FIBERGLASS BOND FIBERPROOF REINFORCED ALUMINUM FACED COVER IN ACCORDANCE WITH S.M.A.C.S.A. AS MANUFACTURED BY DOW-CORNING. DUCTWORK SHALL BE FABRICATED AND INSTALLED ACCORDING WITH MANUFACTURER'S INSTRUCTIONS. INSTALL AIR VOLUME EXTRACTORS AT EACH DUCT LAP.
 - FLEXIBLE DUCTWORK SHALL BE CLASS I AIR DUCT, U.L. 181 LISTED AS MANUFACTURED BY ATCO FLEXIBLE OR APPROVED EQUAL AND OF RATED 1/2" RIGID PER LATEST S.M.A.C.S.A. STANDARDS AND MANUFACTURER'S RECOMMENDATIONS. FLEXIBLE DUCTS SHALL BE CONFIGURED AND SUPPORTED SO AS TO PREVENT THE USE OF EXCESS DUCT MATERIAL, PREVENT DUCT OBSTRUCTION OR DAMAGE, AND PREVENT THE CONTRACTION OF THE DUCT BELOW THE RATED DUCT DIAMETER WITH THE FOLLOWING REQUIREMENTS:
 - DUCTS SHALL BE INSTALLED FULLY EXTENDED. THE TOTAL EXTENDED LENGTH OF DUCT MATERIAL SHALL NOT EXCEED 5 PERCENT OF THE MINIMUM REQUIRED LENGTH FOR THAT RUN.
 - BENDS SHALL MAINTAIN A CENTERLINE RADIUS OF NOT LESS THAN ONE DUCT DIAMETER.
 - TERMINAL DEVICES SHALL BE SUPPORTED INDEPENDENTLY OF THE FLEXIBLE DUCT.
 - HORIZONTAL DUCT SHALL BE SUPPORTED AT INTERVALS NOT GREATER THAN 5 FEET. DUCT SAG BETWEEN SUPPORTS SHALL NOT EXCEED 1/4" HIGHER PER FOOT OF LENGTH. SUPPORTS SHALL BE PROVIDED WITHIN 1.5 FEET OF INTERMEDIATE FITTINGS AND BETWEEN INTERMEDIATE FITTINGS AND BENDS. CEILING JOISTS AND ROOF DUCT OR EQUIPMENT MAY BE CONSIDERED TO BE SUPPORTS.
 - VERTICAL DUCT SHALL BE STABILIZED WITH SUPPORT STRAPS AT INTERVALS NOT GREATER THAN 6 FEET.
 - HANGERS, SADDLES AND OTHER SUPPORTS SHALL MEET THE DUCT MANUFACTURER'S RECOMMENDATIONS AND SHALL BE NOT LESS THAN 1-1/2" INCHES WIDE AND SHALL BE OF SUFFICIENT WIDTH TO PREVENT RESTRICTION OF THE INTERNAL DUCT DIAMETER.
 - ALL AIR DEVICES SHALL BE OF ALUMINUM CONSTRUCTION, TITUS, OR METALAIR OR AS APPROVED BY OWNER.
 - CONDENSATE DRAIN-PIPING SHALL BE INSULATED WITH 1/2" THICK ARMAFLEX, PAINTED WHITE WHERE EXPOSED.
 - FILTERS SHALL BE OF DISPOSABLE TYPE AND HAVE CLEAN PRESSURE DROP OF 0.5" INCHES PER SETS, ONE DURING CONSTRUCTION AND ONE FOR USE AFTER OCCUPANCY.
 - FIRE DAMPERS SHALL BE RUSKIN MODEL D1802 OR EQUAL. DYNAMIC TYPE, 285 DB, WITH 20 GAGE SLEEVE, U.L. LISTED.
 - COMBINATION FIRE/SMOKE DAMPERS SHALL BE RUSKIN MODEL FSD-36, CLASS A, DAMPER POSITIVE, LEAKAGE, 285 DB, FUSIBLE LINK, ELECTRIC ACTUATOR 120-1-80 VOLT, 20 GAGE SLEEVE, U.L. LISTED.
 - 2-POSITION CONTROL DAMPERS SHALL BE RUSKIN MODEL CD-50. DAMPER POSITIVE, SHALL BE SET IN THE FIELD TO ALLOW PROPER AIR FLOW RATES FOR SMOKE CONTROL AND VENTILATION. DAMPERS TO BE SET CONCURRENTLY.
 - EXPOSED SPIRAL METAL DUCTWORK SHALL BE SPRINGSIDE DOUBLE WALL DUCT MANUFACTURED BY LINCOLN ENDOURMENTS SHOW AND CLEAR BREEZING. SPIRAL DUCT SHALL BE DOUBLE WALL CONSTRUCTION OF ALUMINUM SHEET METAL WITH PERFORATED INTERNAL METAL LINER. CONSTRUCTION PER MANUFACTURER'S RECOMMENDATIONS AND LATEST S.M.A.C.S.A. STANDARDS.
- ALL AREA SMOKE DETECTORS SHALL BE WIRED TO THE BUILDING FIRE ALARM PANEL. REPROGRAMMING OF AN AREA DETECTOR OR A SPARKLER SYSTEM WATER FLOW SWITCH SERVING THIS FLOOR OR FIRE ALARM PANEL SHALL COMMENCE THE SEQUENCE OF OPERATIONS FOR THE BUILDING SYSTEMS. THE FOLLOWING SHALL THEN OCCUR ON THIS FLOOR OF OCCURRENCE:
 - ALL AC UNITS SHALL SHUT DOWN.
 - 2-POSITION DAMPERS IN MAKE UP AIR DUCTS FOR AC-1.2 SHALL OPEN FULLY.
 - ALL COMBINATION FIRE SMOKE DAMPERS SERVING AIR TRANSFER OPENINGS SHALL OPEN FULLY.
 - 2-POSITION DAMPERS IN VENTILATION AIR INTAKE DUCTS SHALL CLOSE.
 - UPON RECEIVING A SIGNAL FROM A SMOKE DETECTOR OR WATER FLOW SERVING THE FLOOR ABOVE OR BELOW, THE FIRE ALARM PANEL SHALL COMMENCE THE SEQUENCE OF OPERATIONS FOR THE BLDG BUILDING SYSTEMS. THE FOLLOWING SHALL THEN OCCUR ON THIS FLOOR:
 - ALL AC UNITS SHALL SHUT DOWN.
 - 2-POSITION DAMPERS IN OUTSIDE AIR INTAKE DUCTS FOR AC-1.2 SHALL OPEN FULLY.
 - 2-POSITION DAMPERS IN VENTILATION AIR INTAKE DUCTS SHALL CLOSE.
 - ALL COMBINATION FIRE SMOKE DAMPERS SERVING AIR TRANSFER OPENINGS SHALL REMAIN CLOSED.

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WILLIAM MORRIS AGENCY
 1100 Washington Avenue,
 Miami Beach, Florida

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 CITY OF MIAMI
 APPROVED FOR PERMIT BY THE FOLLOWING:

insight design
 ARCHITECTURE & INTERIORS
 1210 Washington Avenue Suite 225
 Miami Beach, Florida 33139
 (305) 688-0884

PROJECT NO: 02108
 DATE: MEY
 SCALE: 1/16"=1'-0"
 SHEET NO: AC-2

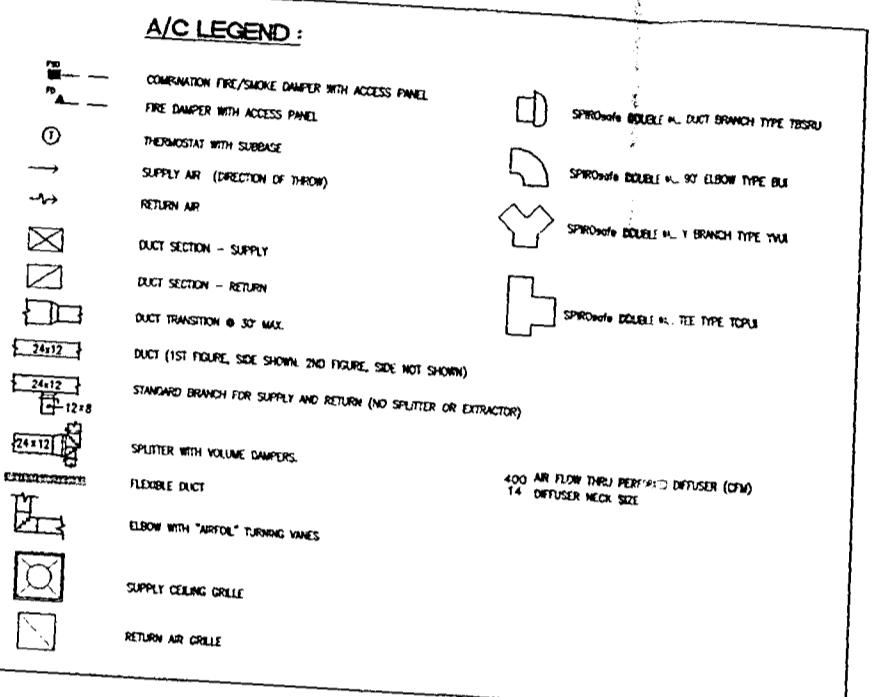
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HEAT PUMP SCHEDULE

UNIT NUMBER	WATER FLOW (GPM)	WATER TEMP (°F)	WATER PRESS (PSI)	WATER PUMP	WATER PUMP MOTOR	WATER PUMP MOTOR HP	WATER PUMP MOTOR EFF	WATER PUMP MOTOR SPEED (RPM)	WATER PUMP MOTOR TYPE	WATER PUMP MOTOR BRAND	WATER PUMP MOTOR MODEL	WATER PUMP MOTOR SERIAL	WATER PUMP MOTOR DATE	WATER PUMP MOTOR LOCATION	WATER PUMP MOTOR NOTES									
AC-1	100	360	70	0.1	779649	37.056	0.8	1115	78.8	140	3.0	208-340	436	3.090	2017.3	47.8	80	FHP	EMT2042	78L30002194	30	151	401-822-823-824 400-884-400	
AC-2	50	180	130	0.5	780844	36.593	0.8	573	86.9	4.0	127	4.4	208-340	22.8	0.750	177	27.3	45	FHP	EMT2042	42L30002194	14.6	102	401-822-823-824 400-884-400
AC-3	50	300	-	0.4	-	-	-	22	48	120	4.5	208-140	4.08	0.140	31	2.8	75	FHP	EMT2142	21L30001204	1.8	37	LAN	

- ACCESSORIES:**
- EXTRA QUIET SOUND PACKAGE FOR ALL UNITS.
 - PLAIN WETTED STAINLESS STEEL OVERBOARD HOSE WITH FULL PORT BALL VALVES (RETURN VALVE).
 - W/MEMORY STOP AS MANUFACTURED BY THIS FLECO CONTROLS.
 - STAINLESS STEEL DRAIN PANS FOR ALL UNITS (ELASTIC NOT ALLOWED).
 - CONDENSER CONDENSER WATER HEAT EXCHANGER (SHELL AND TUBE NOT ALLOWED).
 - UNITS SHALL BE AIR/SECO RATED. ACTUAL DATA SHOWN AT PROJECT CONDITIONS.
 - DISTAL PROGRAMMABLE THERMOSTAT FOR EACH SYSTEM.
 - UNITS SHALL BE AIR/SECO RATED. ACTUAL DATA SHOWN AT PROJECT CONDITIONS.

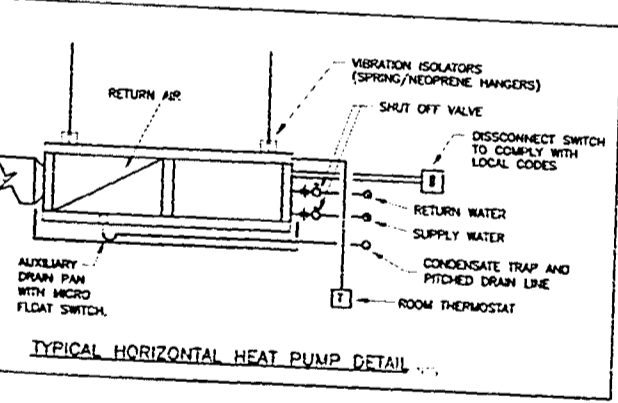
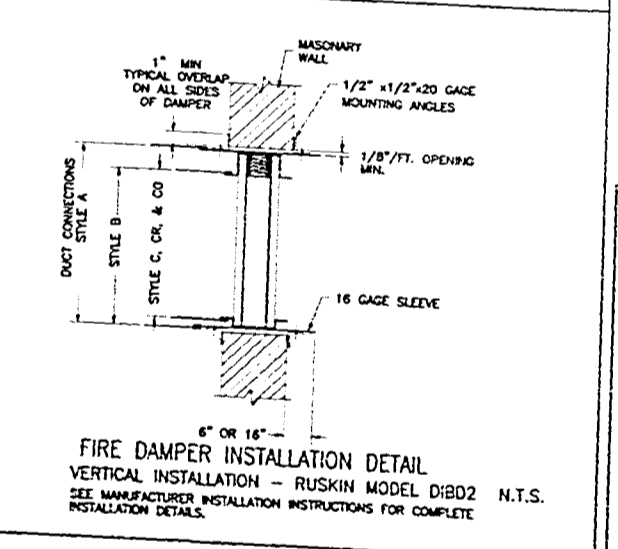
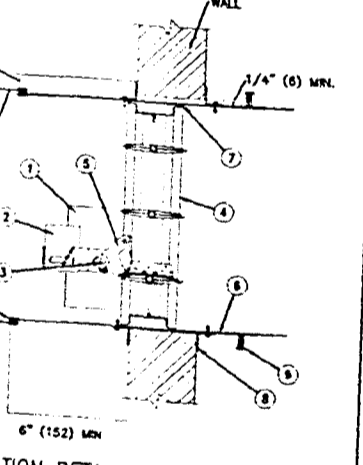
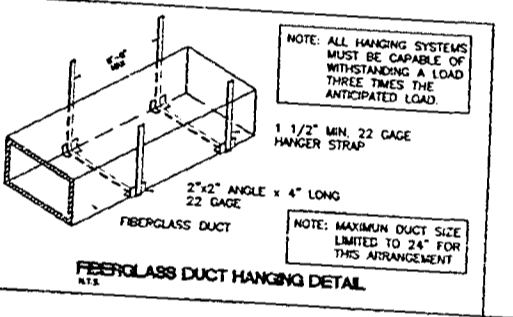
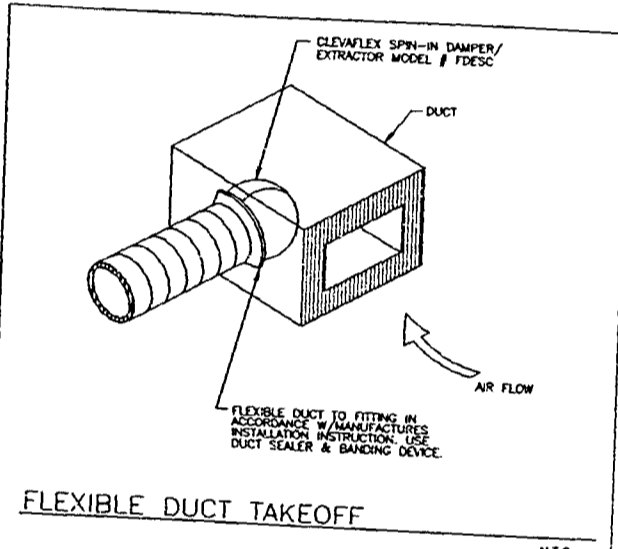
VENTILATION CALCULATION PER FMAC TABLE 401
 AC-1: 1790 SQ.FT. (OFFICE SPACE) X 7 PERSONS/1000 SQ.FT. X 20 CFM/PERSON = 250 CFM REQUIRED
 AC-2: 952 SQ.FT. (OFFICE SPACE) X 7 PERSONS/1000 SQ.FT. X 20 CFM/PERSON = 134 CFM REQUIRED



AIR DISTRIBUTION SCHEDULE

SYMBOL	DESCRIPTION	MANUFACTURER	MODEL NUMBER	MATERIAL	REMARKS
A	PERF. CEILING DUCT	TITUS	PAS-AA	ALUMINUM	24x24 MIDDLE WITH AIR SYSTEM DEFLECTORS, NECK SIZE 1/2" DIA.
B	RETURN AIR GRILLE	TITUS	PAR	ALUMINUM	24x24 NECK SIZE WITH 22-222 NECK
RAG	RETURN AIR GRILLE	TITUS	55F	ALUMINUM	W/ ODO
CD	CEILING DIFFUSER	TITUS	TDC	ALUMINUM	W/ ODO

NOTES:
 TITUS IS THE BASIS OF DESIGN. PRICE, METALARE AIR GRILLE ARE ACCEPTABLE SUBSTITUTIONS.
 GENERAL AND HVAC CONTRACTOR TO COORDINATE FINISH AND COLOR OF ALL AIR DISTRIBUTION PRODUCTS PRIOR TO ORDERING.



GENERAL AIR CONDITIONING NOTES

- ALL WORK SHALL CONFORM WITH ALL LOCAL, STATE, FEDERAL ORDINANCES AND BUILDING CODES GOVERNING THE INSTALLATION OF THE AIR CONDITIONING SYSTEM. IF WORK AS LAY OUT, INDICATED OR SPECIFIED IS CONTRARY TO OR IN CONFLICT WITH LOCAL, ORDINANCES, BUILDING CODES AND REGULATIONS, THE CONTRACTOR SHALL REPORT IN WRITING TO THE ARCHITECT/ENGINEER BEFORE SUBMITTING A BID. THE ARCHITECT/ENGINEER WILL THEN ISSUE INSTRUCTIONS AS HOW TO PROCEED.
- THE DRAWINGS ARE TO BE CONSIDERED DIAGNOSTIC, NOT NECESSARILY SHOWING IN DETAIL OR TO DIMENSIONS IN LAYING OUT WORK. EXCEPT WHERE SHOWN OTHERWISE, CONTRACTOR SHALL FOLLOW DIMENSIONS AND MAINTAIN MAXIMUM HEADROOM, AND SPACE CONDITIONS AT ALL POINTS WHERE HEAD ROOM OR SPACE CONDITIONS APPLICABLE. ARCHITECT/ENGINEER SHALL BE NOTIFIED BEFORE PROCEEDING WITH INSTALLATION. THIS CONTRACTOR SHALL WITHOUT EXTRA CHARGE, MAKE FIELD MODIFICATION IN LAYERS AS NECESSARY TO PREVENT CONFLICT WITH WORK OF VARIOUS TRADES OR FOR PROPER EXECUTION OF THE WORK.
- CONTRACTOR SHALL VISIT THE BUILDING AND FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO SUBMITTING A BID OR COMMENCING ANY WORK.
- EXAMINE ALL DRAWINGS CAREFULLY PRIOR TO SUBMITTING A BID. CONTRACTOR WILL BE REQUIRED TO FURNISH, INSTALL AND/OR CONNECT WITH APPROPRIATE SERVICES ALL AIR CONDITIONING ITEMS SHOWN ON ANY OF THE ARCHITECTURAL, PLUMBING, ELECTRICAL AND SPECIALIZED DRAWINGS WITHOUT ADDITIONAL EXPENSE TO THE OWNER. IF DISCREPANCIES, CONFLICTS, INTERFERENCES OR OMISSIONS OCCUR BETWEEN DRAWINGS, NOTIFY IN WRITING THE ARCHITECT/ENGINEER IN JUNE TRUE TO PERMIT PERSONS BEFORE THE BUS ARE SUBMITTED.
- INSTALL MATERIALS AND EQUIPMENT IN A NEAT AND FIRST CLASS WORKMANLIKE MANNER. THE OWNER RESERVES THE RIGHT TO CRITIC REMOVAL AND REPLACEMENT OF ITEMS WHICH, IN HIS OPINION, DO NOT PRESENT A NEAT AND WORKMANLIKE APPEARANCE. REMOVAL AND IN WRITING, AT THE SOLE EXPENSE OF CONTRACTOR.
- START OF WORK BY CONTRACTOR SHALL BE CONSIDERED AS ACCEPTANCE BY HIM OF ALL CLAIMS OR QUESTIONS AS TO SATISFACTORY OF THE WORK OF OTHER TRADES OR OTHER CONTRACTORS TO PRESENT HIS WHICH MAY BE TO BE REMOVED BECAUSE OF INTERFERENCE WITH OTHER TRADES.
- THE CONTRACTOR SHALL OBTAIN AND PAY ALL INSURANCE, FEES, PERMITS ASSOCIATION DUES, ROYALTIES, AND TAXES OF WHATEVER NATURE SHALL APPLY TO THIS WORK. HE SHALL ALSO PAY ALL FROM ANY DAMAGE AND EXTENSIVE REPAIRS FROM ANY VIOLATION OF THE LAWS, RULES OR ORDINANCES.
- THE WORD "AIR CONDITIONING" MEANS HEATING, VENTILATION, AIR CONDITIONING, DUCTWORK, PIPING, REFRIGERATION LINES, CONTROLS, SMOKE AND FIRE DAMPERS ETC.
- SHOP DRAWINGS THIS CONTRACTOR SHALL FURNISH THE ENGINEER WITH SHOP DRAWINGS OF EQUIPMENT PRIOR TO PURCHASE FOR APPROVAL.
- AT COMPLETION OF JOB THE HVAC CONTRACTOR SHALL GIVE THE OWNER AN AS-BUILT SET OF REPRODUCIBLE SETS SHOWING THE EXACT INSTALLATION.
- ALL DUCT SIZES ARE CLEAR INSIDE DIMENSIONS.
- THE HVAC CONTRACTOR SHALL WARRANT ALL WORKMANSHIP AND MATERIALS FOR ONE YEAR FROM THE DATE OF FINAL WORK ACCEPTANCE BY OWNER. AIR BREAKDOWN OCCURRING IN FIRST YEAR SHALL BE REPAIRED AT NO EXPENSE TO THE OWNER. THE COMPRESSOR (S) SHALL HAVE A FIVE YEAR WARRANTY.
- MATERIALS
- AIR CONDITIONING RIGID DUCTWORK SHALL BE CONSTRUCTED OF 1" THICK R-4.2 STANDARD DUTY FIBERGLASS BOMB FLAMEPROOF REINFORCED ALUMINUM FACES COVER IN ACCORDANCE WITH S.M.A.C.R.A. AS MANUFACTURED BY Duct-Comp. DUCTWORK SHALL BE FABRICATED AND INSTALLED ACCORDING WITH MANUFACTURER'S INSTRUCTIONS. TOTAL AIR VOLUME EXTRACTORS AT EACH DUCT TAP.
- FLEXIBLE DUCTWORK SHALL BE CLASS 1 AIR DUCT, U.L. LISTED AS MANUFACTURED BY ATCO FLEXIBLE OR APPROVED EQUAL AND OF R-4.2. U.L. LISTED FOR LATEST S.M.A.C.R.A. FLEXIBLE DUCTS SHALL BE CONFIGURED AND DAMAGED, AND PREVENT THE CONSTRUCTION OF THE DUCT BELOW THE RATED DUCT DIAMETER IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
 - DUCTS SHALL BE INSTALLED FULLY EXTENDED. THE TOTAL EXTENDED LENGTH OF DUCT MATERIAL SHALL NOT EXCEED 5 PERCENT OF THE MINIMUM REQUIRED LENGTH FOR THAT RUN.
 - BENDS SHALL MAINTAIN A CENTERLINE RADIUS OF NOT LESS THAN ONE DUCT DIAMETER.
 - TERMINAL DEVICES SHALL BE SUPPORTED INDEPENDENTLY OF THE FLEXIBLE DUCT.
 - HORIZONTAL DUCT SHALL BE SUPPORTED AT INTERVALS NOT GREATER THAN 5 FEET. DUCT SAG BETWEEN SUPPORTS SHALL NOT EXCEED 1/2" PER FOOT OF LENGTH. SUPPORTS SHALL BE PROVIDED JOISTS AND ROOF DUCT OR EQUIPMENT MAY BE CONSIDERED TO BE SUPPORTS.
 - VERTICAL DUCT SHALL BE STABILIZED WITH SUPPORT STRAPS AT INTERVALS NOT GREATER THAN 6 FEET.
 - HANGERS, SADDLES AND OTHER SUPPORTS SHALL MEET THE DUCT MANUFACTURER'S RECOMMENDATIONS AND RESTRICTION OF THE INTERNAL DUCT DIAMETER.
 - ALL AIR DEVICES SHALL BE OF ALUMINUM CONSTRUCTION, TITUS, OR METALARE OR AS APPROVED BY THE ENGINEER.
- CONDENSATE DRAIN-PIPING SHALL BE INSULATED WITH 1/2" THICK ARMAREX, PAINTED WHITE WHEN EXPOSED.
- FILTERS SHALL BE OF DISPOSABLE TYPE AND HAVE CLEAN PRESSURE DROP OF 0.15" PROVIDE TWO SETS, ONE DURING CONSTRUCTION AND ONE FOR USE AFTER OCCUPANCY.
- FIRE DAMPERS SHALL BE RUSKIN MODEL DIBD2 OR EQUAL, DYNAMIC TYPE, 285 DEG. FUSIBLE LINK, U.L. LISTED, WITH 20 GAGE SLEEVE, U.L. LISTED.
- COMBINATION FIRE SMOKE DAMPERS SHALL BE RUSKIN MODEL FSD-36, CLASS F LEAKAGE, 285 DEG. FUSIBLE LINK, ELECTRIC ACTUATOR TFD-1-80 VOLT, 20 GAGE SLEEVE, U.L. LISTED.
- 2-POSITION CONTROL DAMPERS SHALL BE RUSKIN MODEL CD-50, DAMPER POSITIONS SHALL BE SET AS FOLLOWS:
 - COUNTERBALANCED BACKDRIFT DAMPERS SHALL BE LOW LEAKAGE RUSKIN MODEL CB02 SET TO MECHANICAL OPENING AT CLOSING.
 - EXPOSED SPIRAL METAL DUCTWORK SHALL BE SPRING DOUBLE WALL DUCT MANUFACTURED BY FIRE PREVENTION LOCAL DIMENSIONS SHOWN ARE CLEAR INSIDE DIMENSIONS. SPIRAL DUCT SHALL BE DOUBLE WALL CONSTRUCTION OF ALUMINUM SHEET METAL WITH PERFORATED INTERNAL METAL LINER. INSTALL PUBLIC WORKS PER MANUFACTURER'S RECOMMENDATIONS AND LATEST SHANGHAI STANDARDS.
 - SMOKE CONTROL SYSTEM SEQUENCE OF OPERATIONS.
 - ALL AREA SMOKE DETECTORS SHALL BE WIRED TO THE BUILDING FIRE ALARM PANEL. UPON ACTIVATION OF AN AREA SMOKE DETECTOR OR A SPRINKLER SYSTEM WATER FLOW SWITCH SERVING THIS FLOOR, THE FIRE SYSTEMS, THE FOLLOWING SHALL COMMENCE THE SEQUENCE OF OPERATIONS FOR THE BASE BUILDING, THE FOLLOWING SHALL THEN OCCUR ON THIS FLOOR:
 - ALL AC UNITS SHALL SHUT DOWN.
 - ALL COMBINATION FIRE SMOKE DAMPERS SERVING AIR TRANSFER OPENINGS SHALL OPEN FULLY.
 - 2-POSITION DAMPERS IN VENTILATION AIR INTAKE DUCTS SHALL OPEN FULLY.
 - UPON RECEIVING A SIGNAL FROM A SMOKE DETECTOR OR WATER FLOW SERVING THE FLOOR ABOVE OR BELOW, THE FIRE ALARM PANEL SHALL COMMENCE THE SEQUENCE OF OPERATIONS FOR THE BASE BUILDING SYSTEMS. THE FOLLOWING SHALL THEN OCCUR ON THIS FLOOR:
 - ALL AC UNITS SHALL SHUT DOWN.
 - 2-POSITION DAMPERS IN OUTSIDE AIR INTAKE DUCTS FOR AC-1,2 SHALL OPEN FULLY.
 - 2-POSITION DAMPERS IN VENTILATION AIR INTAKE DUCTS SHALL CLOSE.
 - ALL COMBINATION FIRE SMOKE DAMPERS SERVING AIR TRANSFER OPENINGS SHALL REMAIN CLOSED.

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REVISIONS

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CITY OF MIAMI BEACH

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APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING: _____
 PLUMBING: _____
 ELECTRICAL: _____
 MECHANICAL: _____
 STRUCTURAL: _____

ACCESSIBILITY:
 ALL AREA DETECTORS OR A SPRINKLER SYSTEM WATER FLOW SWITCH SERVING THIS FLOOR, THE FIRE SYSTEMS, THE FOLLOWING SHALL COMMENCE THE SEQUENCE OF OPERATIONS FOR THE BASE BUILDING, THE FOLLOWING SHALL THEN OCCUR ON THIS FLOOR:

1. ALL AC UNITS SHALL SHUT DOWN.
 2. ALL COMBINATION FIRE SMOKE DAMPERS SERVING AIR TRANSFER OPENINGS SHALL OPEN FULLY.
 3. 2-POSITION DAMPERS IN VENTILATION AIR INTAKE DUCTS SHALL OPEN FULLY.
 4. UPON RECEIVING A SIGNAL FROM A SMOKE DETECTOR OR WATER FLOW SERVING THE FLOOR ABOVE OR BELOW, THE FIRE ALARM PANEL SHALL COMMENCE THE SEQUENCE OF OPERATIONS FOR THE BASE BUILDING SYSTEMS. THE FOLLOWING SHALL THEN OCCUR ON THIS FLOOR:
 1. ALL AC UNITS SHALL SHUT DOWN.
 2. 2-POSITION DAMPERS IN OUTSIDE AIR INTAKE DUCTS FOR AC-1,2 SHALL OPEN FULLY.
 3. 2-POSITION DAMPERS IN VENTILATION AIR INTAKE DUCTS SHALL CLOSE.
 4. ALL COMBINATION FIRE SMOKE DAMPERS SERVING AIR TRANSFER OPENINGS SHALL REMAIN CLOSED.

ALBERT SHAN
 PEI 004314 W.E.
 00000000
 FLORIDA ENGINEERING SERVICES
 MECHANICAL AND ELECTRICAL
 ENGINEERS

FES
 34 N.W. 16TH STREET
 NORTH MIAMI BEACH, FL 33169
 TELEPHONE: (305) 833-7777
 FAX: (305) 833-0232

PROJECT NO. 02106
 DRAWN BY: MEY
 DATE: 1/14/03
 SCALE:
 SHEET NO. AC-2

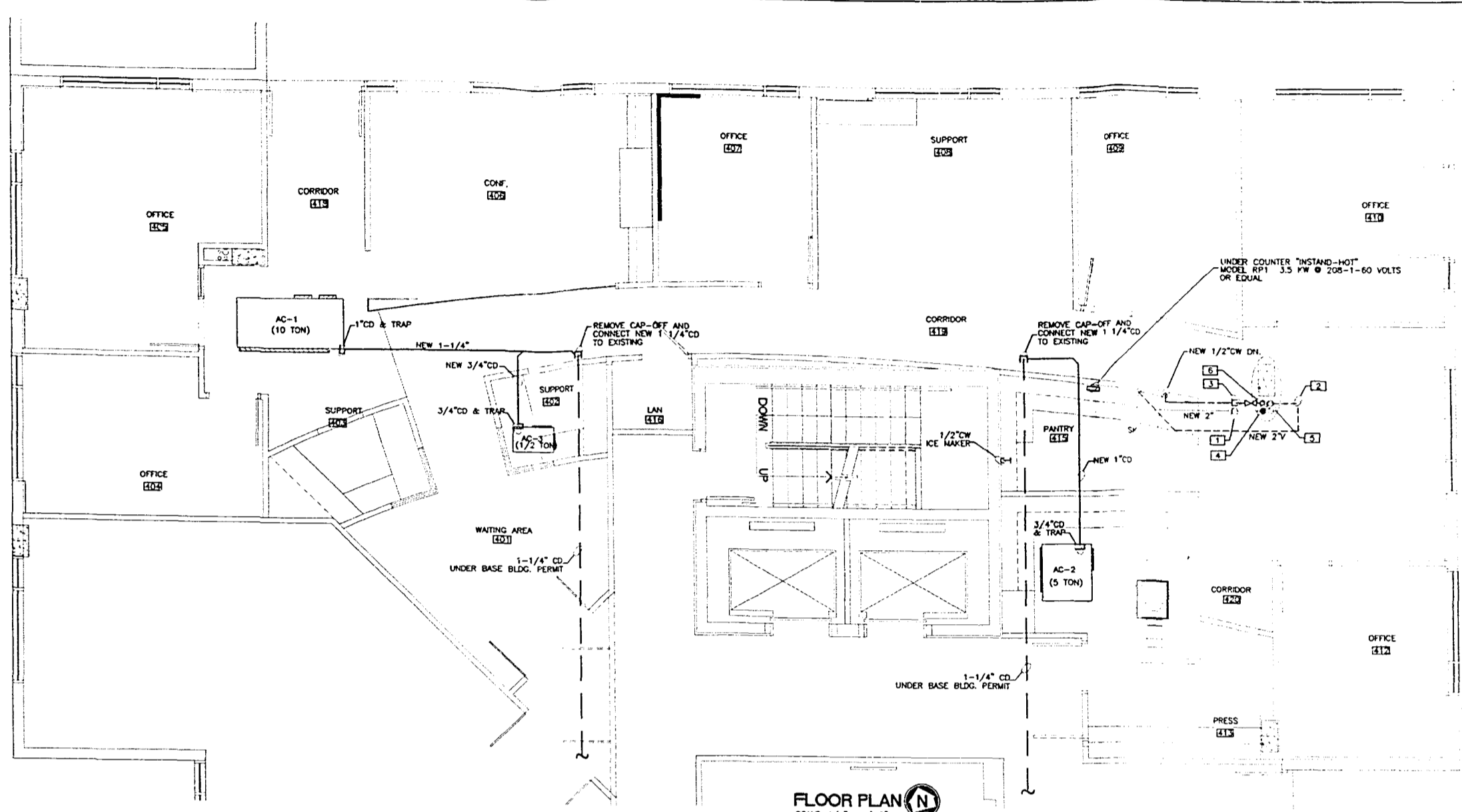
Work for
WILLIAM MORRIS AGENCY
 1210 Washington Avenue, Suite 220
 Miami Beach, Florida 33139
 Phone: 305-673-9900
 Fax: 305-673-9908

GENERAL PLUMBING NOTES

1. ALL WORK SHALL CONFORM WITH ALL LOCAL, STATE, FEDERAL, ORDINANCES AND REGULATIONS GOVERNING THE INSTALLATION OF THE PLUMBING SYSTEM. IF WORK IS TO BE DONE IN A JURISDICTION OTHER THAN THAT OF THE CONTRACTOR, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER BEFORE SUBMITTING TO THE ARCHITECT/ENGINEER THE WORK INSTRUCTIONS AS HOW TO PROCEED.
2. THE DRAWINGS ARE TO BE CONSIDERED SUPPLEMENTARY, NOT NECESSARILY SHOWING IN DETAIL OR TO CONFLICT WITH OTHER DRAWINGS. UNLESS SPECIFICALLY NOTED OTHERWISE, CONTRACTOR SHALL FOLLOW DIMENSIONS LARGEST. CONTRACTOR SHALL CHECK DIMENSIONS OF ALL TRACES TO VERIFY SPACES IN WHICH WORK WILL BE INSTALLED AND SUFFICIENT ROOM FOR HEAD ROOM, CLEARANCE, AND ACCESS TO ALL POINTS, WHERE HEAD ROOM OR SPACE CONDITIONS ARE INDICATED. CONTRACTOR SHALL BE NOTIFIED BEFORE PROCEEDING WITH INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS IN ALL AREAS TO BE INSTALLED TO PREVENT COLLISION WITH WORK OF ADJACENT TRADES OR FOR PROPER EXECUTION OF THE WORK.
3. EXAMINE ALL DRAWINGS CAREFULLY PRIOR TO SUBMITTING A BID. CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH INITIAL MAJOR OR CORRECT WITH APPROPRIATE SERVICES ALL PLUMBING, MECHANICAL, ELECTRICAL, AND OTHER TRADES. CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH INITIAL MAJOR OR CORRECT WITH APPROPRIATE SERVICES ALL PLUMBING, MECHANICAL, ELECTRICAL, AND OTHER TRADES. CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH INITIAL MAJOR OR CORRECT WITH APPROPRIATE SERVICES ALL PLUMBING, MECHANICAL, ELECTRICAL, AND OTHER TRADES.
4. INSTALL MATERIALS AND EQUIPMENT IN A NEAT AND FIRST CLASS WORKMANLIKE MANNER. ALL MATERIALS AND EQUIPMENT SHALL BE NEW UNLESS OTHERWISE SPECIFIED. REPLACEMENT OF ITEMS OF WHICH IS NOT TO BE DIRECT REMOVAL AND REINSTALLATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. REPAIRS TO BE DONE IMMEDIATELY WHEN DIRECTED BY THE OWNER IN WRITING. AT THE SOLE EXPENSE OF THE CONTRACTOR.
5. START OF WORK BY CONTRACTOR SHALL BE CONSIDERED AS ACCEPTANCE BY THE OWNER OF THE WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL OTHER TRADES OR OTHER CONTRACTORS TO REMAIN. NO WORK SHALL BE DONE WHICH MAY HARM TO BE REMOVED BECAUSE OF INTERFERENCES WITH OTHER TRADES.
6. THIS CONTRACTOR SHALL OBTAIN AND PAY ALL NECESSARY FEES, PERMITS, INSURANCE, BONDS, AND TAXES OF WHATEVER NATURE SHALL APPLY TO THIS WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY FEES, PERMITS, INSURANCE, BONDS, AND TAXES OF WHATEVER NATURE SHALL APPLY TO THIS WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY FEES, PERMITS, INSURANCE, BONDS, AND TAXES OF WHATEVER NATURE SHALL APPLY TO THIS WORK.
7. PROVIDE MEANS TURNISHED AND INSTALLED.
8. DO A COMPLETE JOB, EVERYTHING CONNECTED, READY FOR USE.
9. SCHED. CHANGES: THIS CONTRACTOR SHALL FURNISH THE ENGINEER WITH SHOP DRAWINGS OF EQUIPMENT PRIOR TO PURCHASE FOR APPROVAL.
10. AT COMPLETION OF JOB THE PLUMBING CONTRACTOR SHALL OBTAIN THE OWNER AN AS-BUILT SET OF REPRODUCTION SHOWING THE EXACT INSTALLATION.
11. PLUMBING CONTRACTOR SHALL PRESERVE TEST ALL PIPING AS REQUIRED BY CODE. TEST SHALL BE WITNESSED AND APPROVED BY PROJECT AUTHORITIES.
12. THE PLUMBING CONTRACTOR SHALL WARRANT ALL WORKMANSHIP AND MATERIALS FOR ONE YEAR FROM THE DATE OF FINAL WORK ACCEPTANCE BY OWNER. ANY REPAIRS OCCURRING IN FIRST YEAR SHALL BE REPAIRED AT NO EXPENSE TO THE OWNER.
13. PLUMBING FIXTURES SHALL BE PROVIDED BY THE OWNER AND SHALL BE UNVEILED BY THE PLUMBING CONTRACTOR. PLUMBING FIXTURE RELATED SUPPLIES (E.G. TRAPS, ETC.) ARE NOT PART OF THE FIXTURE. PLUMBING PACKAGE ALLOWANCE AND SHALL BE PROVIDED BY THE PLUMBING CONTRACTOR. WATER FIXTURES ARE NOT PART OF THE PLUMBING FIXTURE PACKAGE AND SHALL BE PROVIDED BY THE PLUMBING CONTRACTOR.
14. PROVIDE SHUT-OFF VALVE FOR EACH FIXTURE.
15. WHEREVER COPPER METALS ARE TO BE JOINED, A DIELECTRIC FITTING SHALL BE PROVIDED TO CONNECT BOTH TYPES OF PIPES.
16. PLUMBING CONTRACTOR SHALL PROVIDE AIR CONDITIONING CONDENSATE DRAIN AND TRAP. SEE AIR CONDITIONING PLANS FOR LOCATION OF UNITS AND DRAIN.
17. MATERIALS
 - A. DOMESTIC WATER PIPING
 1. DOMESTIC WATER PIPING INSIDE OF BUILDING SHALL BE TYPE "C" COPPER PIPE AND FITTING.
 - B. SANITARY PIPING
 1. SANITARY PIPING WITHIN THE BUILDING SHALL BE CENTRIFUGAL SPUN, HOLLOW, EVIDENT, RIGID CAST IRON PIPE.
 2. CONCEALED SANITARY PIPING ABOVE SLAB (SINK AND LAVATORY TRAPS, SINKS) SHALL BE DWV COPPER.
 - C. STORM WATER & SERVICE PIPING
 1. CONDENSATE DRAIN PIPING SHALL BE INSULATED DWV COPPER.

PLUMBING LEGEND	
SINK	SINK
AC	AIR CONDITIONING
CD	CONDENSATE DRAIN
GV	GATE VALVE
FV	FIXTURE VALVE
HW	HOT WATER
CW	COLD WATER
CD	CLEANOUT
V	VENT
SOIL OR WHITE LINE	SOIL OR WHITE LINE
VENT LINE	VENT LINE
COLD WATER LINE	COLD WATER LINE
HOT WATER LINE	HOT WATER LINE
CONDENSATE DRAIN LINE	CONDENSATE DRAIN LINE
GATE VALVE	GATE VALVE
STORM LINE	STORM LINE
WATER	WATER

FIXTURE CONNECTION SCHEDULE					
ITEM	C.W.	H.W.	TRAP	F.U.	REMARKS
KITCHEN SINK	1/2"	1/2"	1/2"	3"	

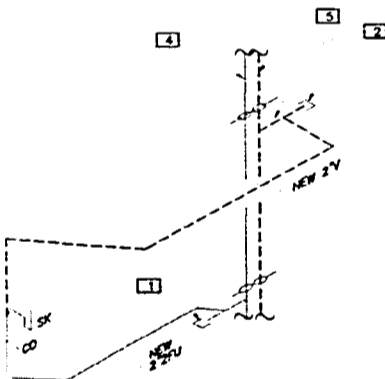


FLOOR PLAN
SCALE: 1/4" = 1'-0"

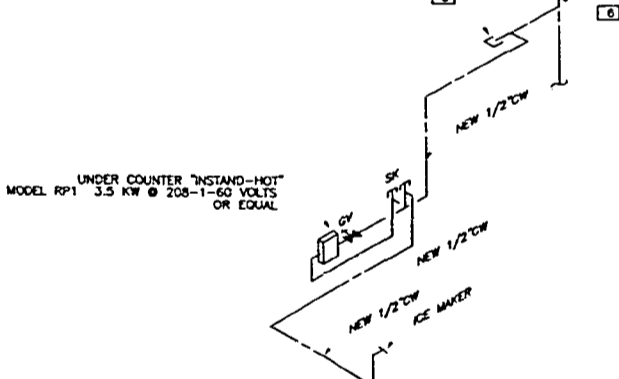
- [1] 4" SANITARY LINE W/CAP-OFF UNDER BASE BLDG. PERMIT
- [2] 3" VENT LINE W/CAP-OFF UNDER BASE BLDG. PERMIT
- [3] 1" SW SHUT-OFF VALVE W/CAP-OFF UNDER BASE BLDG. PERMIT
- [4] 4" S.S. RISER UNDER BASE BLDG. PERMIT
- [5] 3" V.S. RISER UNDER BASE BLDG. PERMIT
- [6] 2" CW RISER UNDER BASE BLDG. PERMIT

NOTE:
ALL CEILING SPACE TO BE RETURN AIR/SMOKE EXC. PRELIM.
NO CONSTRUCTIBLE MATERIALS ALLOWED.

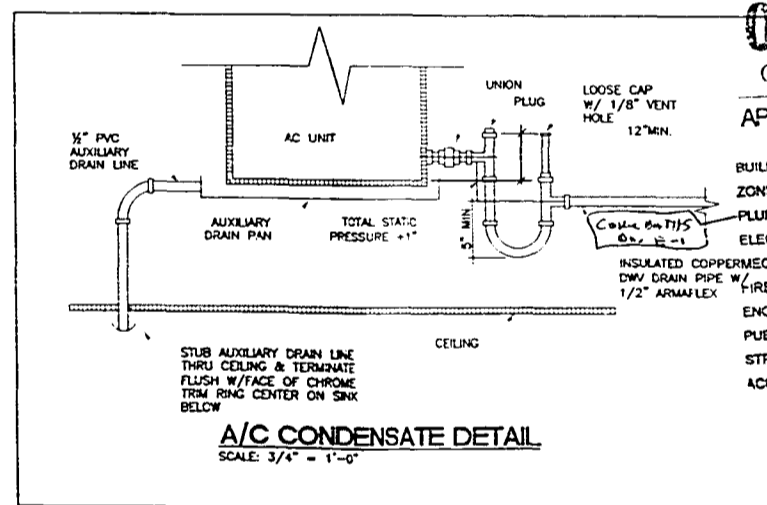
SUITES 500 AND 550 FLOOR PLAN
SCALE: 1/4" = 1'-0"



SANITARY RISER DIAGRAM
NTS



WATER RISER DIAGRAM
NTS



A/C CONDENSATE DETAIL
SCALE: 3/4" = 1'-0"

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CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:

As per Florida Building Code Subpart 04-5.3
REVIEWED FOR CODE COMPLIANCE
WILLIAM MORRIS AGENCY
110 Washington Avenue, Suite 225
Miami Beach, Florida 33139
AR0014262

ALBERT D'AR
P.E. 004114 M.E.
ENGINEERING SERVICES
MECHANICAL AND ELECTRICAL
ENGINEERING
24 N.W. 18TH STREET
NORTH BEACH, FL 33163
TELEPHONE: (305) 633-0212
FAX: (305) 633-0222

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NO.	DATE	DESCRIPTION

PROJECT NO: 02108
DRAWN BY: MDV
DATE: 1/14/03
SCALE:
SHEET NO: P-1

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NO.	DATE	REVISION

DATE PLOT

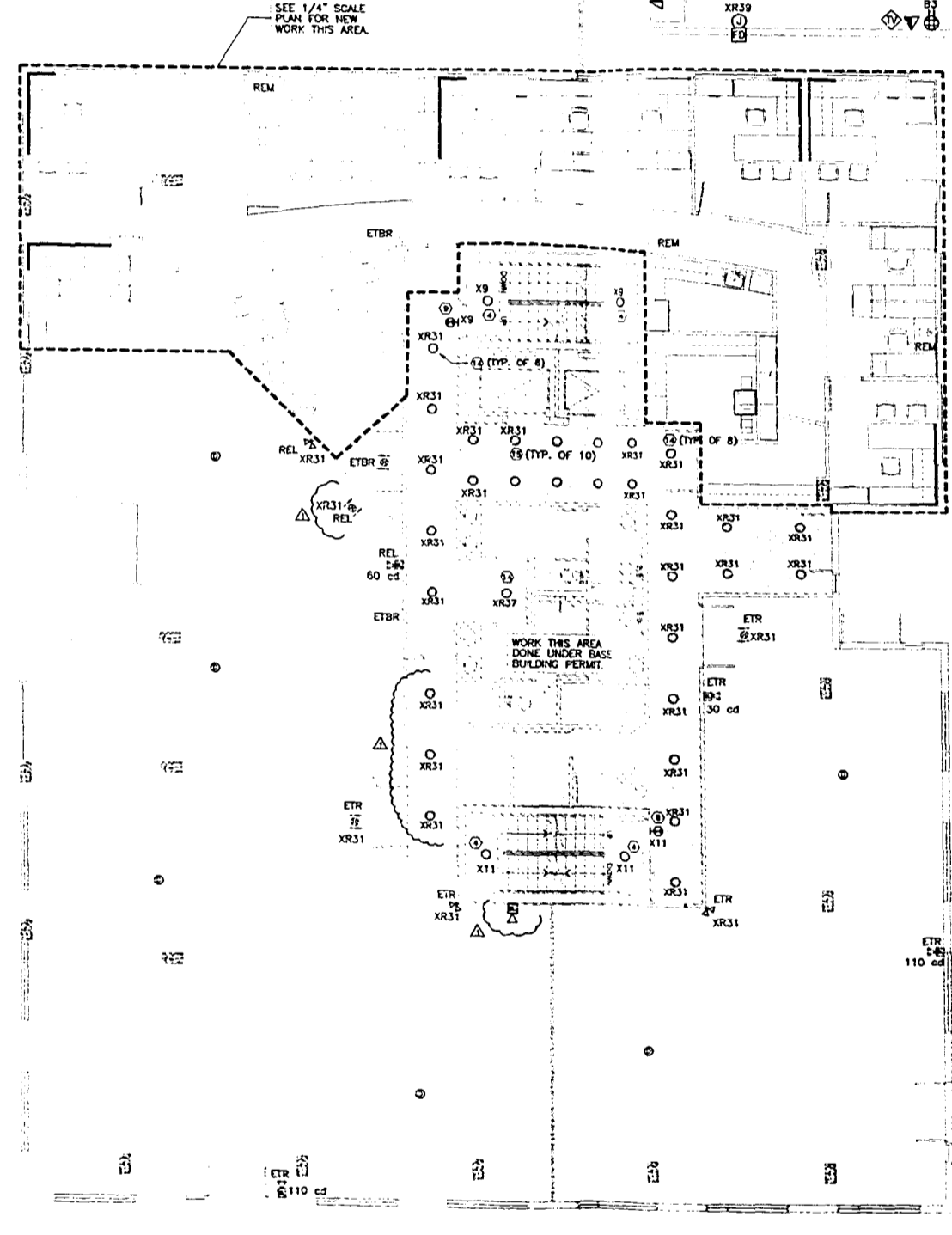
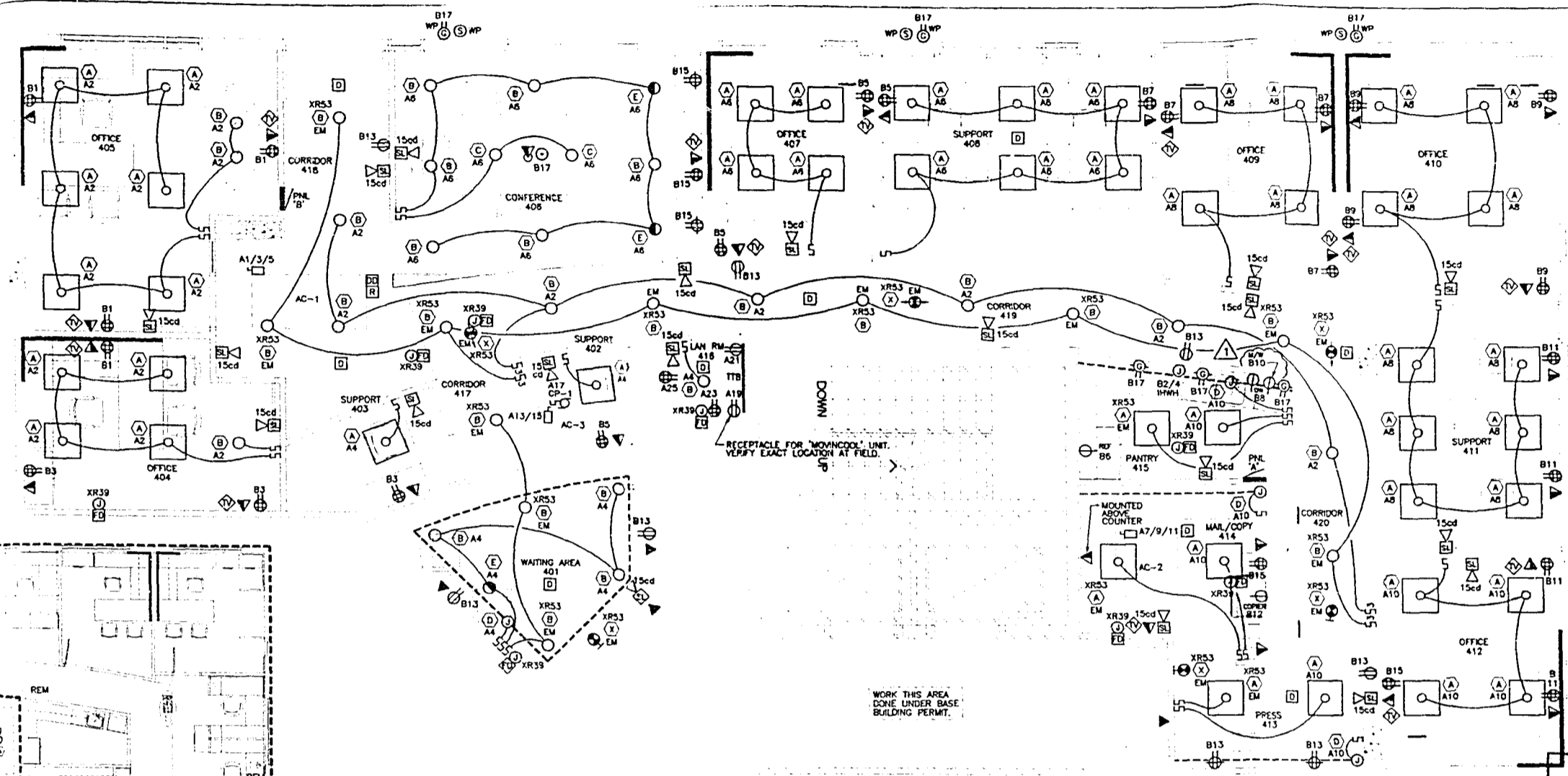
WORK FOR
MORRIS AGENCY
1210 Washington Avenue, Suite 200
Miami Beach, Florida

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

07 2 2 0 3 4

insight design
ARCHITECTURE & INTERIOR DESIGN
1210 Washington Avenue, Suite 200
Miami Beach, Florida 305 535 9500
AR0014302

PROJECT NO.	02108
DATE	1/14/03
SCALE	E-1



- FIRE ALARM DEVICE LEGEND**
- ETR EXISTING TO REMAIN
 - ETR EXISTING TO BE RELOCATED
 - REL RELOCATED EXISTING DEVICE - NEW LOCATION
 - DEL DELETE EXISTING DEVICE
 - ELF EXISTING FLOOD LIGHT FUTURE
 - ESL EXISTING STROGE/HORN UNIT
 - EXL EXISTING EXIT SIGN
 - NSD NEW SMOKE DETECTOR
 - DASHED LIGHT LINE WEIGHTS INDICATE EXISTING DEVICE IS REMOVED OR RELOCATED.
 - DASHED HEAVY LINE WEIGHTS INDICATE EXISTING DEVICE REMAINS OR IS RELOCATED.

SMOKE DETECTOR NOTE:
LOCATION OF NEW SMOKE DETECTORS TO EXISTING WPP SMOKE DETECTORS SHALL BE OF THE SAME MANUFACTURE AND MODEL AS THE EXISTING WPP SMOKE DETECTOR. THE EXISTING WPP SMOKE DETECTOR SHALL BE RELOCATED TO THE NEW LOCATION. LOCAL FIRE DEPARTMENT AUTHORITY HAVING JURISDICTION.

PARTIAL 4TH FLOOR PLAN - (FUTURE RETAIL SPACES) FIRE ALARM DEVICES
SCALE: 1/8" = 1'-0"

- 4TH FLOOR SUITES ELECTRICAL PLAN**
SCALE: 1/4" = 1'-0"
- ELECTRICAL LEGEND**
- 2'x4" RECESSED FLUORESCENT
 - EDW 4'x8" FLUORESCENT FIXTURES
 - CLD 1'x1' LIGHT FIXTURE
 - W-M 1'x1' LIGHT FIXTURE
 - WALL MOUNTED EXIT SIGN
 - CEILING MOUNTED DIRECTIONAL EXIT SIGN
 - INDICATES TYPE OF LIGHTING - SEE LIGHT FIXTURE SCHEDULE
 - 120V TOGGLE SWITCH
 - 120V 3-WAY TOGGLE SWITCH
 - TELEPHONE OUTLET
 - METER CENTER AND TAP BOX
 - DISCONNECT SWITCH
 - 120V PLAMP MOTOR W/DISCONNECT SWITCH
 - 120V QUADPLEX RECEPTACLE
 - 120V DUPLEX RECEPTACLE
 - 120V ABOVE COUNTER DUPLEX RECEPTACLE
 - 120V FLOOR MOUNTED DUPLEX RECEPTACLE
 - 120V 3-WAY TOGGLE SWITCH
 - 120V ABOVE COUNTER DUPLEX RECEPTACLE
 - 120V FLOOR MOUNTED DUPLEX RECEPTACLE
 - 120V 3-WAY TOGGLE SWITCH
 - TELEPHONE OUTLET
 - METER CENTER AND TAP BOX
 - DISCONNECT SWITCH
 - 120V PLAMP MOTOR W/DISCONNECT SWITCH
 - 120V QUADPLEX RECEPTACLE
 - 120V DUPLEX RECEPTACLE
 - 120V ABOVE COUNTER DUPLEX RECEPTACLE
 - 120V FLOOR MOUNTED DUPLEX RECEPTACLE

2003 IBC CODE COMPLIANCE

DRAWING NOTES:
1. ALL NEW FIRE ALARMS SHALL BE COMPATIBLE WITH EXISTING FIRE ALARM SYSTEMS.
2. EMERGENCY LIGHTS AND EXIT SIGNS SHALL BE INSTALLED AS INDICATED BY THE DRAWING.

CONCURRENCE:
ALL WORK SHALL BE COMPLETED BY THE DATE NOTED BELOW.
MECHANICAL: 02/15/03
ELECTRICAL: 02/15/03
PLUMBING: 02/15/03
HVAC: 02/15/03
PAINT: 02/15/03
GENERAL CONTRACTOR: 02/15/03

ENGINEER'S OFFICE
FES
34 N.W. 18TH STREET
NORTH MIAMI BEACH, FL 33169
TELEPHONE: (305) 853-0212
FAX: (305) 853-0232

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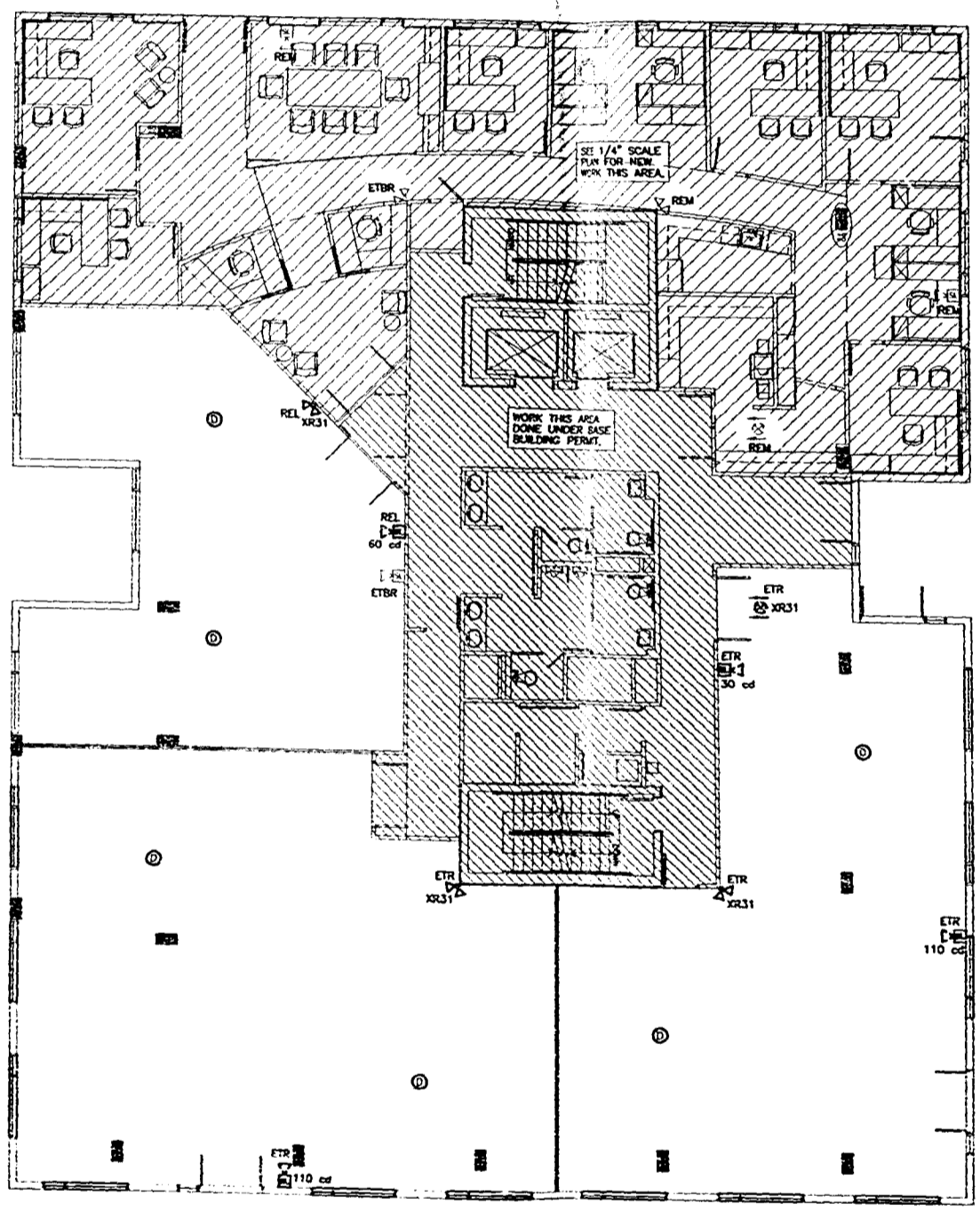
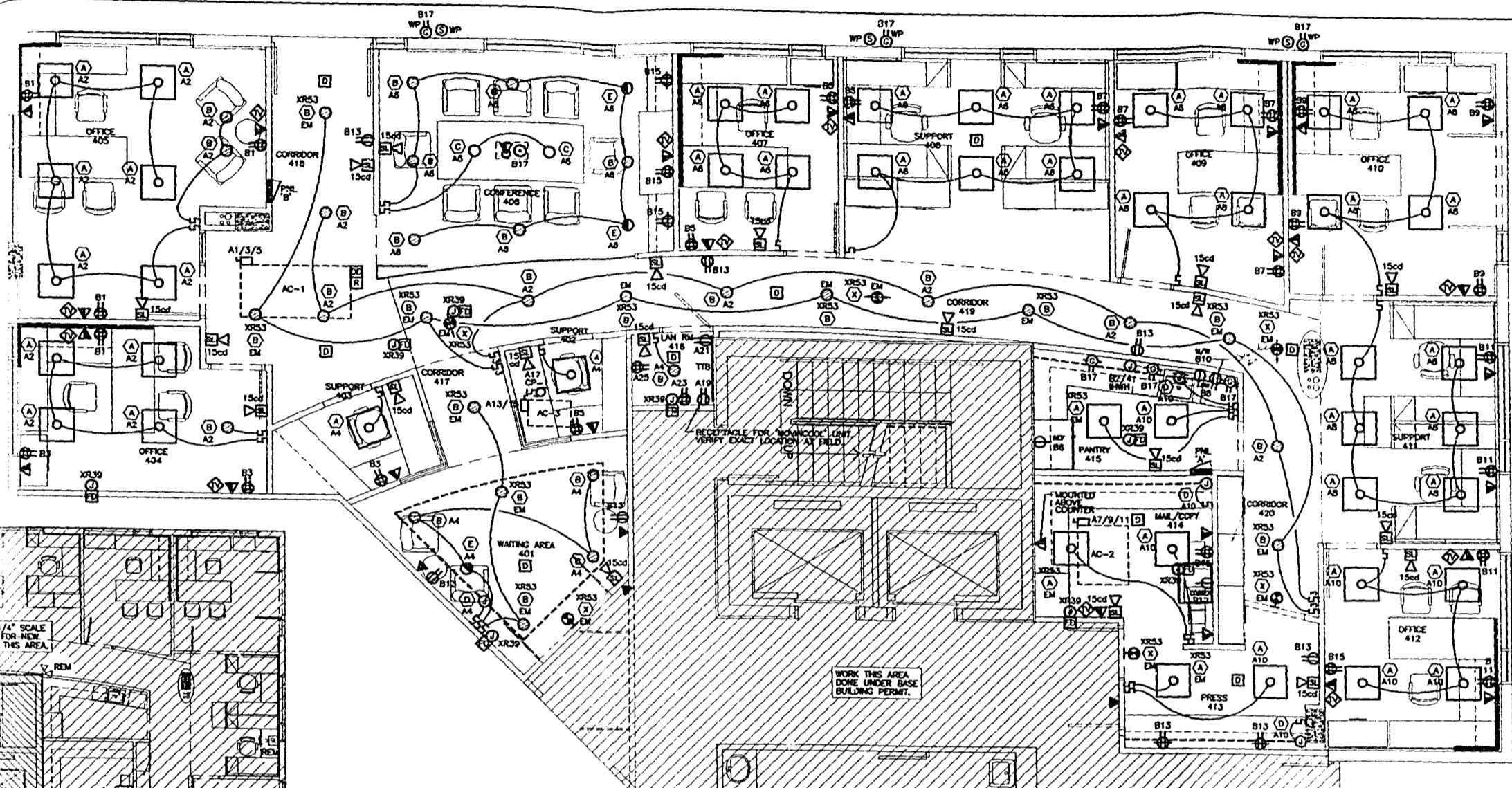
APPROVED FOR PERMIT BY THE FOLLOWING:

BUILDING: _____
ZONING: _____
PLUMBING: _____
ELECTRICAL: _____
MECHANICAL: _____
FIRE PREVENTION: _____
ENGINEERING: _____
PUBLIC WORKS: _____
STRUCTURAL: _____
ACCESSIBILITY: _____

WILLIAM MORRIS AGENCY
119 Washington Avenue, Florida
Miami Beach, Florida

insight design ARCHITECTURE & INTERIORS
1210 Washington Avenue Suite 223
Miami Beach, Florida 305 535 9909
AR0014302 ID0003864

PROJECT NO: 02108
DATE: 1/14/03
DRAWN BY: [Signature]



FIRE ALARM DEVICE LEGEND

- ETR EXISTING TO REMAIN
- ETR EXISTING TO BE RELOCATED
- REL RELOCATED EXISTING DEVICE - NEW LOCATION
- REM DELETE EXISTING DEVICE
- EL EXISTING FLOOD LIGHT FIXTURE
- ES EXISTING STROBE/HORN UNIT
- ES EXISTING EXIT SIGN
- NS NEW SMOKE DETECTOR
- DASHED LIGHT LINE WEIGHTS INDICATE EXISTING DEVICE IS REMOVED OR RELOCATED.
- DASHED HEAVY LINE WEIGHTS INDICATE EXISTING DEVICE REMAINS OR IS RELOCATED.

SMOKE DETECTOR NOTE:
EXISTING SMOKE DETECTORS TO EXISTING W/COMPATIBLE FIRE ALARM SYSTEM IN COMPLIANCE WITH LOCAL FIRE DEPARTMENT AUTHORITY HAVING JURISDICTION.

PARTIAL 4TH FLOOR PLAN - (FUTURE RETAIL SPACES) FIRE ALARM DEVICES
SCALE 1/8" = 1'-0"

4TH FLOOR SUITES ELECTRICAL PLAN
SCALE 1/4" = 1'-0"

- ELECTRICAL LEGEND
- 2'x2' RECESSED FLUORESCENT
 - 4'x4' RECESSED FLUORESCENT FIXTURES
 - 18"x18" LIGHT FIXTURE
 - 18"x18" LIGHT FIXTURE
 - WALL MOUNTED EXIT SIGN
 - CEILING MOUNTED DIRECTIONAL EXIT SIGN
 - INDICATES TYPE OF LIGHTING - SEE LIGHT FIXTURE SCHEDULE
 - 5 120V TOGGLE SWITCH
 - 5 120V 3-WAY TOGGLE SWITCH
 - TELEPHONE OUTLET
 - METER CENTER AND TAP BOX
 - ELECTRICAL PANEL
 - DISCONNECT SWITCH
 - 120V PUMP MOTOR W/DISCONNECT SWITCH
 - 120V QUADRAFLUX RECEPTACLE
 - 120V DUPLEX RECEPTACLE
 - 120V ABOVE COUNTER DUPLEX RECEPTACLE
 - 120V FLOOR MOUNTED DUPLEX RECEPTACLE
 - 120V SIMPLEX RECEPTACLE
 - 120V ABOVE COUNTER, GROUND FAULT DUPLEX RECEPTACLE
 - 120V GROUND FAULT DUPLEX RECEPTACLE
 - JUNCTION BOX
 - COMBINATION DATA/TELEPHONE OUTLET
 - FLOOR MOUNTED COMBINATION DATA/TELEPHONE OUTLET
 - TELEVISION OUTLET
 - COMBINATION SPEAKER/STROBE LIGHT (CANDOLIA NOTED) - FIRE ALARM
 - SPEAKER
 - SMOKE DETECTOR - FIRE ALARM
 - DUCT MOUNTED SMOKE DETECTOR
 - RELAY
 - FIRE DAMPER - FIRE ALARM
 - LIGHT FIXTURE CONNECTED TO BUILDING EMERG. SYSTEM (VIA EMERG. CONTROLLER)
 - WEATHERPROOF

FORSTER & TOPPER
FES
FLORIDA ENGINEERING SERVICES
MECHANICAL AND ELECTRICAL ENGINEERS
34 N.W. 18TH STREET
NORTH MIAMI BEACH, FL 33189
TELEPHONE: (305) 853-4322
FAX: (305) 853-4322

LIGHT FIXTURE SCHEDULE						
NO.	MANUFACTURER	CATALOG No.	BALL	TYPE	VOLTS	REMARKS
A	DAVIDE	SUPRESE-33A	2	T1818	120	RECESS PRISMIC
B	DAVIDE	CM-27R/27L/27	2	T1818	120	RECESS DOWNLIGHT
C	TO-BE-SELECTED-BY-OWNER	-	1	-	120	PODMAT (100W 800)
D	TO-BE-SELECTED-BY-OWNER	-	1	-	120	COBE (200W/77 800)
E	TO-BE-SELECTED-BY-OWNER	-	1	-	120	RECESS (77W 800) WALL MOUNT
F	DAVIDE	SONIC	-	LED	120	UNIVERSAL EXIT SIGN

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GENERAL ELECTRICAL NOTES

1. ALL WORK SHALL COMPLY WITH LOCAL, STATE, FEDERAL ORDINANCES AND READING. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR NOTIFYING ALL AFFECTED AGENCIES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR NOTIFYING ALL AFFECTED AGENCIES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR NOTIFYING ALL AFFECTED AGENCIES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR NOTIFYING ALL AFFECTED AGENCIES AND REGULATIONS.
2. THESE DRAWINGS ARE TO BE CONSIDERED DIAGNOSTIC, NOT NECESSARILY SHOWING THE EXACT LOCATION OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF THE WORK.
3. EXAMINE ALL WORK CAREFULLY PRIOR TO SUBMITTING A BID. CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF THE WORK.
4. VERIFY ALL CHARACTERISTICS, LOCATION & CONNECTION WITH TELEPHONE & CABLE COMPANIES. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF THE WORK.
5. NOTIFY ALL AGENCIES AND EQUIPMENT IN A HIGH & FIRST CLASS WORKMANSHIP MANNER. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL AFFECTED AGENCIES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL AFFECTED AGENCIES AND REGULATIONS.
6. STATEMENT OF CONTRACTOR SHALL BE CONSIDERED AS ACCEPTANCE BY THE OWNER OF ALL WORK AND QUESTIONS AS TO SUBMITTALS OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL AFFECTED AGENCIES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL AFFECTED AGENCIES AND REGULATIONS.
7. THE CONTRACTOR SHALL OBTAIN AND PAY ALL INSURANCE FEES, PERMITS, AND LICENSES. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL AFFECTED AGENCIES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL AFFECTED AGENCIES AND REGULATIONS.
8. ALL WIRE CANNOT BE RACEWAY, OR AS OTHERWISE SHOWN ON PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL AFFECTED AGENCIES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL AFFECTED AGENCIES AND REGULATIONS.
9. WIRE UP COMPLETE ALL HVAC EQUIPMENT & CONTROLS AS DIRECTED BY THE HVAC CONTRACTOR. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL AFFECTED AGENCIES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL AFFECTED AGENCIES AND REGULATIONS.
10. PROVIDE WORK TURKEY AND INSTALL.
11. COORDINATE WORK WITH OTHER TRADES TO AVOID PREVENTABLE CONFLICTS.
12. DO A COMPLETE JOB, EVERYTHING CONNECTED, READY FOR USE.
13. PROVIDE TEMPORARY WIRING SYSTEM FOR USE OF ALL TRADES, ADEQUATE TO THE CONSTRUCTION OF THE PROJECT.
14. CONNECT ALL MOTORS, STARTERS, CONTROLLERS, DISCONNECT SWITCHES, CIRCUIT BREAKERS, ETC., WHETHER FURNISHED UNDER THIS CONTRACT BY THE OWNER, CONTRACTOR, OTHER SUBCONTRACTORS, OR THE OWNER.
15. PROVIDE LIGHT FIXTURES AS PER LIGHTING FIXTURE SCHEDULE.
16. PROVIDE ALL WIRING DEVICES AS PER OWNER REQUIREMENTS.
17. IDENTIFY CABLES ON A TYPEWRITTEN FORM ALL CABLES & EQUIPMENT TO CORRESPOND WITH PANEL SCHEDULES. ATTACH FROM WIRING.
18. PROVIDE FIRE ALARM SYSTEM AS PER LOCAL AUTHORITY'S REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL AFFECTED AGENCIES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL AFFECTED AGENCIES AND REGULATIONS.
19. RACEWAYS: ALL RACEWAYS INSIDE PARTITIONS SHALL BE EMT OR EMT-L.
20. SHOP DRAWINGS: THE CONTRACTOR SHALL FURNISH THE ENGINEER WITH SHOP DRAWINGS OF EQUIPMENT FOR APPROVAL PRIOR TO PURCHASE.
21. TESTING: CONTRACTOR SHALL TEST ALL WORK & EQUIPMENT AS DIRECTED BY THE ARCHITECT & BY APPLICABLE NATIONAL ELECTRICAL FURNISHING ALL EQUIPMENT, NECESSARY PERSONNEL, AND ELECTRIC POWER. THE ENGINEER SHALL BE RESPONSIBLE FOR NOTIFYING ALL AFFECTED AGENCIES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL AFFECTED AGENCIES AND REGULATIONS.
22. SUBMITTALS: ALL EQUIPMENT AND MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM THE DATE OF ACCEPTANCE BY OWNER.
23. UPON COMPLETION OF PROJECT, ELECTRICAL CONTRACTOR SHALL GIVE THE OWNER AN AS-BUILT SET OF REPRODUCIBLE SETS SHOWING THE EXACT ELECTRICAL SYSTEM INSTALLATION.
24. BEFORE BEING THE JOB THE ELECTRICAL CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS.
25. EXTEND EXISTING AND WIRE TO MAKE ALL FINAL CONNECTIONS WITH AIR COND., LIGHTS, FIRE DAMPERS, WATER HEATERS, ETC. PROVIDE DISCONNECT SWITCHES AS REQUIRED.
26. CONTROL WIRING WHICH SHALL BE DONE BY THE ELECTRICAL CONTRACTOR:
 - a. AIR CONDITIONING THERMOSTATS
 - b. ALL SMOKE AND FIRE DAMPERS AS SHOWN ON HVAC DRAWINGS.

PANEL	AMPS	VOLTAGE	CIRCUITS	WIRE PHASE	MAN	MOUNTING	LOCATION	CATALOG NUMBER					
A	200	120/208	30	4	3	LUIS ONLY	RECESS/CEILING	CORRIDOR 418	CU LOAD CENTER				
CKT. NO.	COND. WIRE	WIRE SIZE	CKT. BKR.	SERVING	WATTS	CKT. NO.	COND. WIRE	WIRE SIZE	CKT. BKR.	SERVING	WATTS		
1		12	1	20	RECS - 404 & 405	1440	2	10	1/2	2	25	INSTANT WATER HEATER	3500
3		12	1	20	RECS - 403 & 404	1440	4	10	1/2	1	20	REC - REFRIGERATOR	700
5		12	1	20	RECS - 402, 407 & 408	1440	6	12	1/2	1	20	REC - DISHWASHER	1200
7		12	1	20	RECS - 408 & 409	1440	8	12	1/2	1	20	REC - MICROWAVE	800
9		12	1	20	RECS - 410	1440	10	12	1/2	1	20	REC - COPY MACHINE	600
11		12	1	20	RECS - 411 & 412	1440	12	12	1/2	1	20	REC - SPACE	
13		12	1/2	2	20	RECS - 401, 413, 418 & 420	1440	14				SPACE	
15		12	1/2	1	20	RECS - 406, 412 & 414	1440	16				SPACE	
17		12	1/2	1	20	RECS - 415, EXTERIOR	1200	18				SPACE	
19					SPACE		20					SPACE	
21					SPACE		22					SPACE	
23					SPACE		24					SPACE	
25					SPACE		26					SPACE	
27					SPACE		28					SPACE	
29					SPACE		30					SPACE	
TOTAL					25557		TOTAL				26994		
TOTAL AMPS LINE					145	TOTAL WATTS NEUTRAL				59			

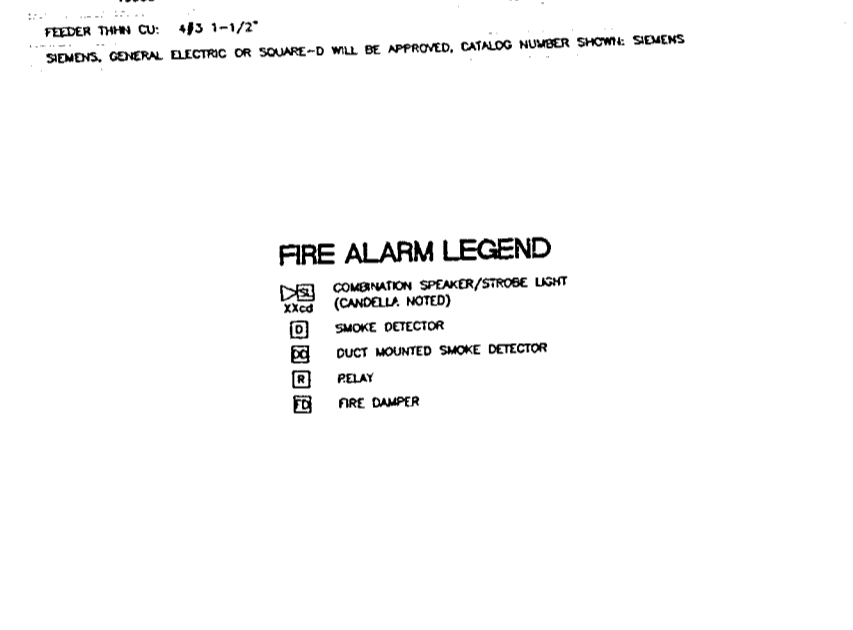
FEEDER THRU CU: 4#3/0 & 1#6 (C) 3"

SIEMENS, GENERAL ELECTRIC OR SQUARE-D WILL BE APPROVED, CATALOG NUMBER SHOWN. SIEMENS

ELECTRICAL CONTRACTOR SHALL VERIFY CIRCUIT BREAKER SIZE & EQUIPMENT NAMEPLATE RATING PRIOR TO INSTALLATION.

COMPRESSOR IS INSIDE HEAT PUMP A/C UNIT LOCATED AT CEILING SPACE.

PANEL	AMPS	VOLTAGE	CIRCUITS	WIRE PHASE	MAN	MOUNTING	LOCATION	CATALOG NUMBER						
B	100	120/208	30	4	3	LUIS ONLY	RECESS/CEILING	ROOM 415	CU LOAD CENTER					
CKT. NO.	COND. WIRE	WIRE SIZE	CKT. BKR.	SERVING	WATTS	CKT. NO.	COND. WIRE	WIRE SIZE	CKT. BKR.	SERVING	WATTS			
1		12	1/2	1	20	RECS - 404 & 405	1440	2	10	1/2	2	25	INSTANT WATER HEATER	3500
3		12	1/2	1	20	RECS - 403 & 404	1440	4	10	1/2	1	20	REC - REFRIGERATOR	700
5		12	1/2	1	20	RECS - 402, 407 & 408	1440	6	12	1/2	1	20	REC - DISHWASHER	1200
7		12	1/2	1	20	RECS - 408 & 409	1440	8	12	1/2	1	20	REC - MICROWAVE	800
9		12	1/2	1	20	RECS - 410	1440	10	12	1/2	1	20	REC - COPY MACHINE	600
11		12	1/2	1	20	RECS - 411 & 412	1440	12	12	1/2	1	20	REC - SPACE	
13		12	1/2	1	20	RECS - 401, 413, 418 & 420	1440	14				SPACE		
15		12	1/2	1	20	RECS - 406, 412 & 414	1440	16				SPACE		
17		12	1/2	1	20	RECS - 415, EXTERIOR	1200	18				SPACE		
19					SPACE		20					SPACE		
21					SPACE		22					SPACE		
23					SPACE		24					SPACE		
25					SPACE		26					SPACE		
27					SPACE		28					SPACE		
29					SPACE		30					SPACE		
TOTAL					12780	TOTAL				6800				
TOTAL AMPS LINE					54	TOTAL WATTS NEUTRAL				45				



FIRE ALARM LEGEND

- ☐ COMBINATION SPEAKER/STROBE LIGHT (CANNELLA NOTES)
- ☐ SMOKE DETECTOR
- ☐ DUCT MOUNTED SMOKE DETECTOR
- ☐ PELT
- ☐ FIRE DAMPER

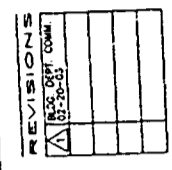
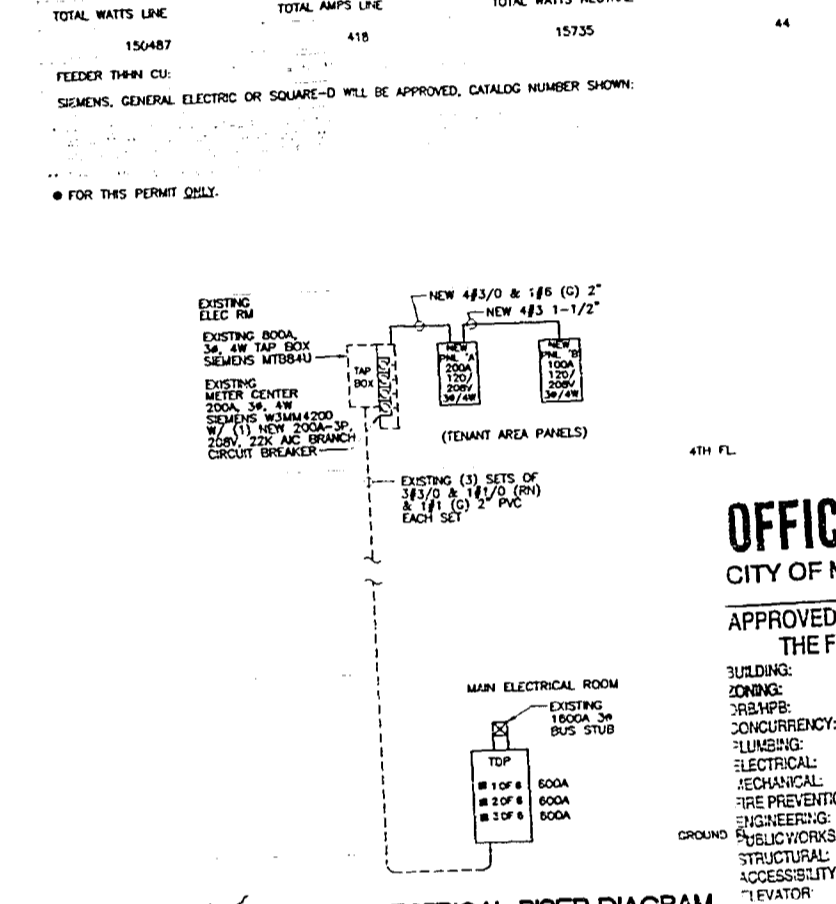
PARTIAL FIRE ALARM RISER DIAGRAM

SCALE: NTS

NOTE: ALL NEW FIRE ALARM DEVICES SHALL BE COMPATIBLE WITH EXISTING FIRE ALARM SYSTEM PANEL AND DEVICES.

(EXISTING WORK IS SHOWN LIGHTLY)

PANEL	AMPS	VOLTAGE	CIRCUITS	WIRE PHASE	MAN	MOUNTING	LOCATION	CATALOG NUMBER						
CKT. NO.	COND. WIRE	WIRE SIZE	CKT. BKR.	SERVING	WATTS	CKT. NO.	COND. WIRE	WIRE SIZE	CKT. BKR.	SERVING	WATTS			
1		12	1	20	LTS - 404, 405, 418-420	1260	2	10	1/2	1	20	LTS - 401, 402, 403, 418	1296	
3		12	1/2	1	20	LTS - 406, 407 & 408	1500	4	12	1/2	1	20	LTS - 409, 410 & 411	1400
5		12	1/2	1	20	LTS - 412, 413, 414, 415	1500	6				SPACE		
7					SPACE		8					SPACE		
9					SPACE		10					SPACE		
11					SPACE		12					SPACE		
13		12	1/2	2	20	AC-3 (HEAT PUMP)	1278	14				SPACE		
15		12	1/2	1	20	CIRCULATION PUMP P-1	85	16				SPACE		
17		12	1/2	1	20	MOVINGCOOL UNIT	300	18				SPACE		
19		12	1/2	1	20	TELEPHONE BOARD	180	20				SPACE		
21		12	1/2	1	20	LAN EQUIPMENT	360	22				SPACE		
23		12	1/2	1	20	LAN EQUIPMENT	360	24				SPACE		
25		12	1/2	1	20	LAN EQUIPMENT	360	26				SPACE		
27					SPACE		28	3	1-1/2	3	100	SIAD FEED TO PHL 'B'	19500	
TOTAL					25557	TOTAL				26994				
TOTAL AMPS LINE					145	TOTAL WATTS NEUTRAL				59				



insight design
ARCHITECTURE & INTERIORS
1145 Washington Avenue Suite 500
Miami Beach, Florida 33139
Tel: 305-358-8800
Fax: 305-358-8801

OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY THE FOLLOWING:

ENGINEER: *[Signature]*

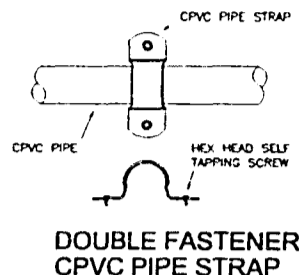
INSPECTOR: *[Signature]*

AS PER Florida Building Code Section 104.3.3
REVIEWED FOR CODE COMPLIANCE
WILLIAM MORRIS ARCHITECTURE & INTERIORS
1145 Washington Avenue, Suite 500
Miami Beach, Florida 33139
Tel: 305-358-8800

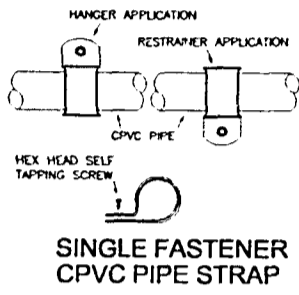


PROJECT NO: 02108
DATE: 1/14/03
SCALE: E-2

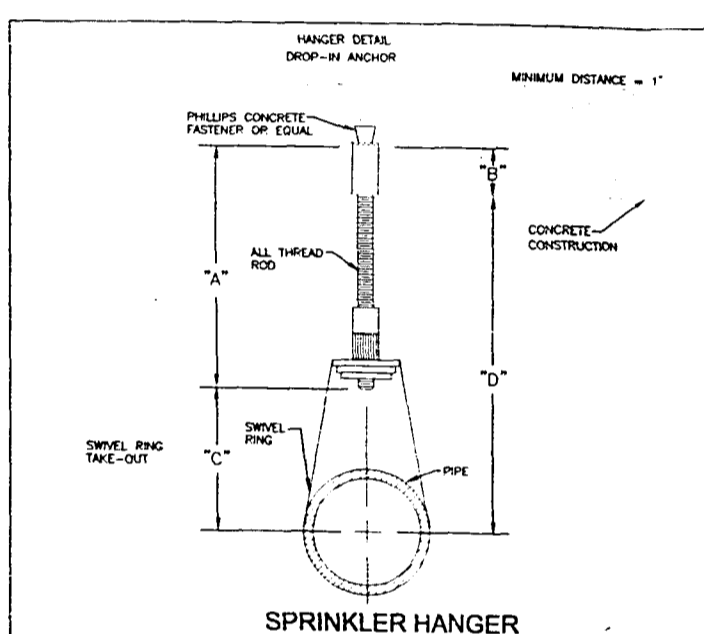
MIR. BEACH
4



DOUBLE FASTENER
CPVC PIPE STRAP



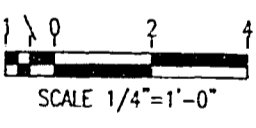
SINGLE FASTENER
CPVC PIPE STRAP



SPRINKLER HANGER
N.T.S.

PIPE SIZE	ROD SIZE	TYPE OF FASTENER	MIN. 1/2" DIM.	MAX. 1/2" DIM.
3/4"			1/2"	1-5/8"
1"			5/8"	1-3/4"
1-1/4"	3/8"	1-3/8" x 1-17/32"	13/16"	1-7/8"
1-1/2"		DROP-IN ANCHOR	15/16"	2"
2"			1-3/16"	2-2/8"
2-1/2"			1-7/16"	2-3/4"
3"	1/2"	1-1/2" x 2-1/32"	1-3/4"	3-1/4"
3-1/2"			2"	3-5/8"

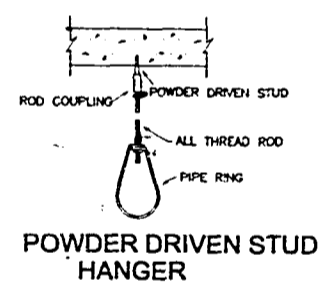
SPRINKLER LEGEND	
---	PIPING EXISTING TO REMAIN
---	NEW PIPING
---	EXISTING CONNECTION TO REMAIN SIZE BASE BUILDING FOR CONTRACTION



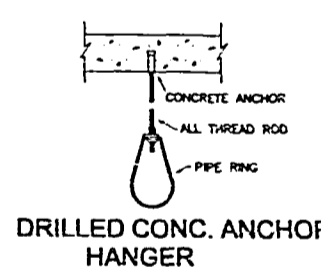
SCALE 1/4" = 1'-0"

MAXIMUM DISTANCE BETWEEN HANGERS (FT-IN)										
NOMINAL SIZE (IN)	1	1 1/4	1 1/2	2	2 1/2	3	3 1/2	4	5	6
CPVC	75-8	8	8-8	7-0	8-0	10-0	N/A	N/A	N/A	N/A
STEEL SCH.40	N/A	12-0	12-0	15-0	15-0	15-0	15-0	15-0	15-0	15-0

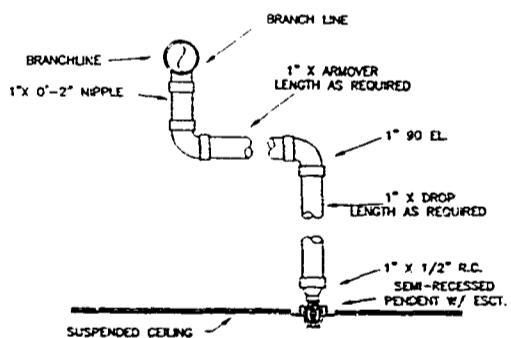
NOTE
THE EXACT LOCATION OF ALL PIPE HANGERS MAY VARY. IN NO CASE SHALL PIPE HANGERS BE SPACED AT DISTANCES LARGER THAN INDICATED IN THE SCHEDULE ABOVE. PROVIDE PIPE HANGERS IMMEDIATELY AFTER ALL ELBOWS OR TEES. EXACT LOCATION OF ALL PIPE HANGERS TO BE SHOWN ON AS-BUILT DRAWINGS.



POWDER DRIVEN STUD HANGER

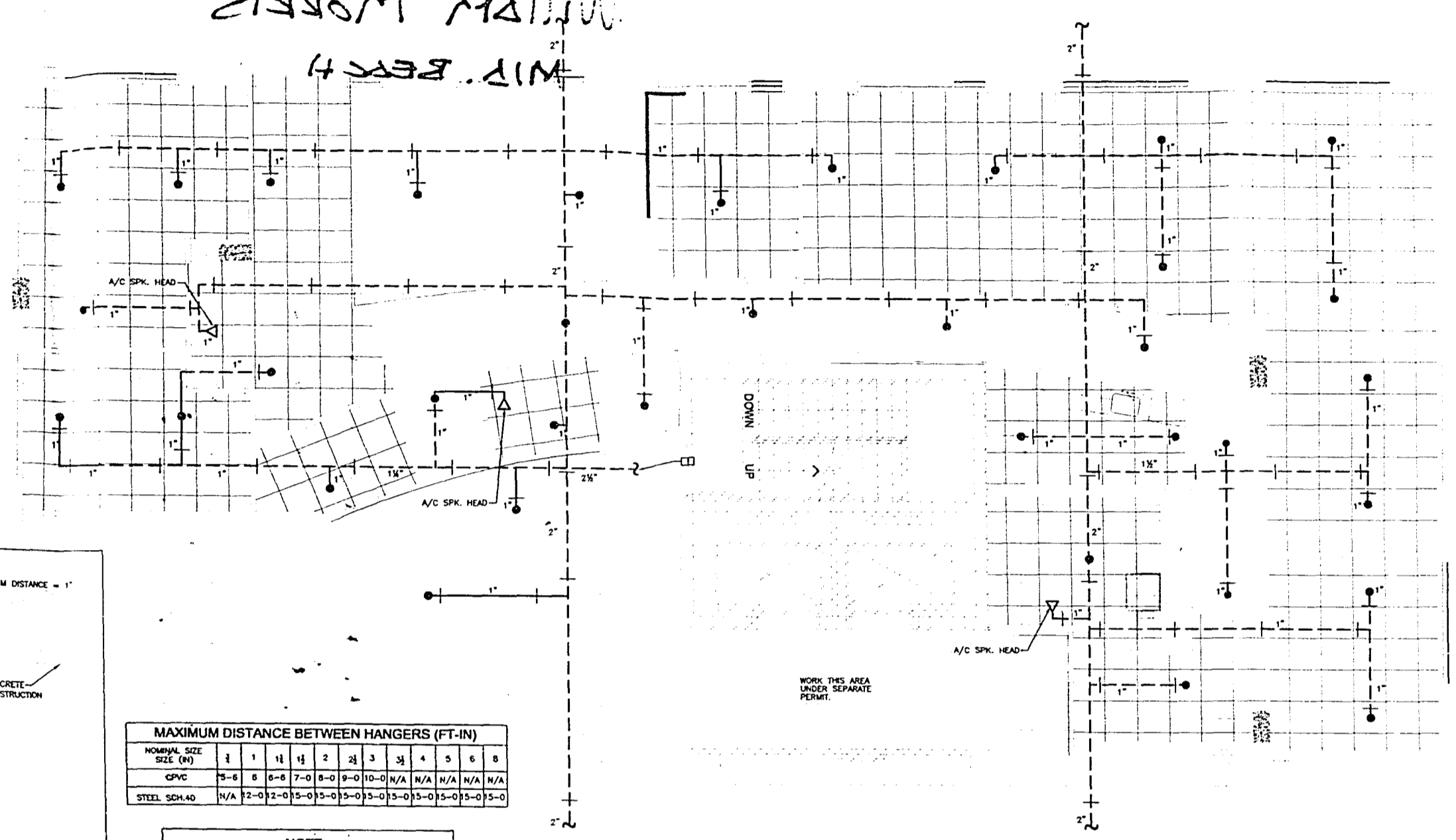


DRILLED CONC. ANCHOR HANGER



TYP. SWING AND DROP ASSEMBLY

SPRINKLER PLAN
SCALE: 1/4" = 1'-0"



WORK THIS AREA UNDER SEPARATE PERMIT.

- FIRE SPRINKLER NOTES:**
- ALL FIRE SPRINKLER WORK SHALL BE DONE ACCORDING TO LATEST M.F.P.A., I.S. STATE AND LOCAL CODES AND ORDINANCES.
 - CONTRACTOR SHALL PAY ALL FEES, INSPECTION AND CONNECTION CHARGES REQUIRED.
 - SPRINKLER CONTRACTOR SHALL VERIFY ALL SPACE CONDITIONS AND DIMENSIONS AT JOB SITE PRIOR TO FABRICATION AND INSTALLATION OF MATERIALS AND EQUIPMENT.
 - COORDINATE WORK WITH OTHER TRADES.
 - SUBMIT SHOP DRAWINGS TO ENGINEER FOR APPROVAL OF ALL EQUIPMENT, MATERIALS, LAYOUTS AND CALCULATIONS, PRIOR TO INSTALLATION.
 - SPRINKLER CONTRACTOR SHALL GUARANTEE ALL WORK FREE OF DEFECTS IN MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE.
 - ALL AUTOMATIC FIRE SPRINKLER PIPING SHALL BE INSTALLED BY A CERTIFIED CONTRACTOR AS PER FLORIDA ADMINISTRATIVE CODE.
 - SPRINKLER LEGEND:
 - PENDANT SPRINKLER HEAD
 - SIDEWALL SPRINKLER HEAD
 - SPK. SPRINKLER
 - FIRE LINES (INCLUDING FIRE SPRINKLER LINES)
 - ABOVE GROUND
 - SCHEDULE 10 ALLOY XL IN CONCEALED SPACE OR CPVC BLAZEMASTER USE SCH. 10 IN ATTIC SPACE
 - SPRINKLER HEADS

SYMBOL	SERVICE AREA	K FACTOR	TEMP. RATING	ORIFICE	MODEL	MFG.
●	COMMON AREA	3.6	155F	1/2"	BY-26	CENTRAL PENDANT
◁	ATTIC SPACE	5.6	200F	1/2"	BY-26	CENTRAL SIDEWALL
 - TESTS: WATER PIPING TEST 200 PSI

OFFICE COPY
OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:

DATE: 07/20/08
 ENGINEER: [Signature]
 MECHANICAL: [Signature]
 FIRE PREVENTION: [Signature]
 ELECTRICAL: [Signature]
 STRUCTURAL: [Signature]
 ACCESSIBILITY: [Signature]

id
insight
design

REVISIONS

FOR THE
WILLIAM MORRIS AGENCY
 119 Washington Avenue, Suite 225
 Miami Beach, Florida
 MIAMI BEACH, FLORIDA 33139

insight design
 ARCHITECTURE & INTERIORS
 1210 Washington Avenue, Suite 225
 Miami Beach, Florida 305 535 9009
 MIAMI BEACH, FLORIDA 33139

ALBERT SHARP
 P.E. 0004114 M.E.
 ERO003862
 FLORIDA ENGINEERING SERVICES
 MECHANICAL AND ELECTRICAL
 ENGINEERING
FES
 34 N.W. 18TH STREET
 NORTH MIAMI BEACH, FL 33169
 TELEPHONE: (305) 833-0212
 FAX: (305) 833-0232

[Signature]
 1/16/08

PROJECT	22108
DATE	REV
DATE	1/16/08
SCALE	
SHEET NO.	SP-1

04

WILLIAM MORRIS
MID. BEACH

BO3D1647
119 WARS HILLETOR ME

DADE COUNTY DEPT. OF ENVIRONMENTAL
RESOURCE MANAGEMENT
WASTEWATER DIVISION
SEWER CAPACITY ALLOCATION
DATE: 1/2/03
APPROVED BY: [Signature]
For John W. Morrison P.E.
Division Chief
Note: This approval is not a building permit.

ROAD PAVING PERMIT
APPROVED FEB 03 2003
MIAMI-DADE COUNTY

DEPARTMENT OF PUBLIC WORKS
Permit Number: 2003-0123-1248-0085
Contact Name: WM TRACY MORRISON
Contact Phone: (305) 375-1300
Project Name: WILLIAM MORRIS
Date Received: 01/23/2003
Reviewer Name: CRISTINA FERDINAND

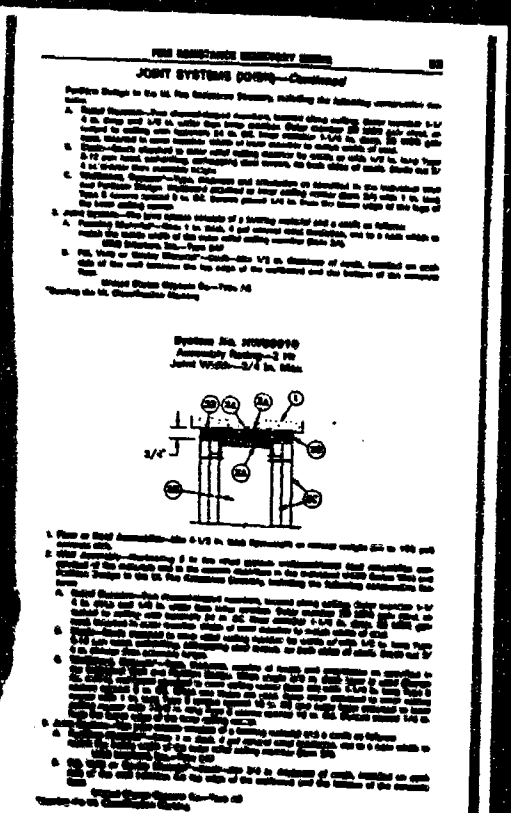
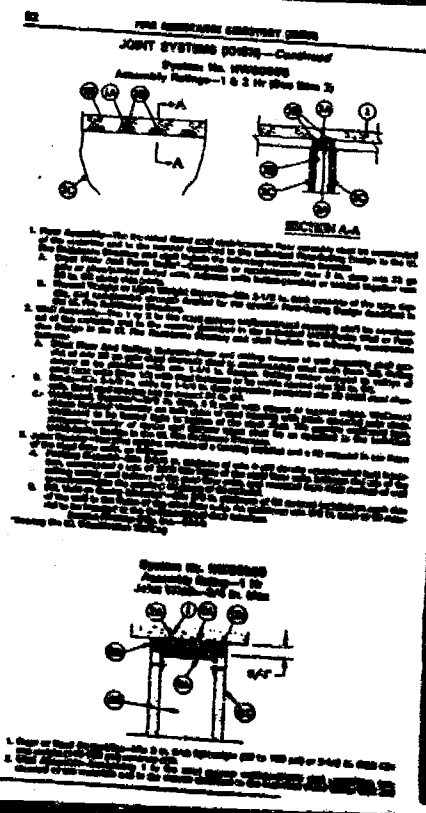
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04



PERMIT #

B0302545



System Checksums
 By DALLA RIZZA & ASSOCIATES

Variable Temperature Constant Volume

COOLING COIL PEAK				CLO SPACE PEAK				HEATING COIL PEAK				TEMPERATURES	
Month: 8/18 Day: 20				Month: 8/18 Day: 20				Month: 12/1 Day: 27					
Space	Flow	Temp	Wt	Space	Flow	Temp	Wt	Space	Flow	Temp	Wt	Room	Supply
Peak	Peak	Peak	Peak	Peak	Peak	Peak	Peak	Peak	Peak	Peak	Peak	Peak	Peak
Supply	14,820	0	0.00	Supply	14,820	0	0.00	Supply	14,820	0	0.00	Room	77.7
Room	0	0	0.00	Room	0	0	0.00	Room	0	0	0.00	Supply	77.7
Return	2,115	0	14,820	Return	2,115	0	14,820	Return	2,115	0	14,820	Room	78.1
Exhaust	0	0	0.00	Exhaust	0	0	0.00	Exhaust	0	0	0.00	Supply	81.0
Sub Total	15,935	0	14,820	Sub Total	15,935	0	14,820	Sub Total	15,935	0	14,820	Room	81.0

COOLING COIL SELECTION				HEATING COIL SELECTION			
Model No.	Capacity	Flow	Temp	Model No.	Capacity	Flow	Temp
06	15.0	15.0	15.0	06	15.0	15.0	15.0

Juan Della Rizza

EQUIPMENT SELECTED IS THE CLOSEST AVAILABLE SIZE.
 HP 5-1
 TRACER 780 v4.1 software at 04:08 PM on 03/29/2003
 Attachment - 1 System Checksums report Page 1 of 2

System Checksums
By DALLA RIZZA & ASSOCIATES

Variable Temperature Constant Volume

Room 6-3 south

COOLING COIL PEAK					CLG SPACE PEAK					HEATING COIL PEAK					TEMPERATURES		
Moht: 11/17 Date: 04/28/99 01/17/00					Moht: 12/17 Date: 79					Moht: 12/1 Date: 47					Cooling Heating		
Outdoor Air: 11.77					16.82					16.82					SABR 26.0 27.2		
0.00					0.00					0.00					P.S.WTD 26.2 27.7		
1.227					2.277					-1.487					76.0 86.2		
3.281					6.000					-1.487					0.1 0.0		
16.160					16.819					-4.439					0.4 0.0		

Room	Flow	Net Percent	Total CFM	Room Flow	CFM Peak Percent	Temp	Temp	Temp	Temp	Temp	Temp	Temp	Temp
Area	Area		(%)	Area	(%)	(F)	(F)	(F)	(F)	(F)	(F)	(F)	(F)
Room 6-3	100	100	11.77	11.77	100	64.0	64.0	64.0	64.0	64.0	64.0	64.0	64.0

Room	Flow	Net Percent	Total CFM	Room Flow	CFM Peak Percent	Temp	Temp	Temp	Temp	Temp	Temp	Temp	Temp
Area	Area		(%)	Area	(%)	(F)	(F)	(F)	(F)	(F)	(F)	(F)	(F)
Room 6-3	100	100	16.82	16.82	100	64.0	64.0	64.0	64.0	64.0	64.0	64.0	64.0

Room	Flow	Net Percent	Total CFM	Room Flow	CFM Peak Percent	Temp	Temp	Temp	Temp	Temp	Temp	Temp	Temp
Area	Area		(%)	Area	(%)	(F)	(F)	(F)	(F)	(F)	(F)	(F)	(F)
Room 6-3	100	100	16.82	16.82	100	64.0	64.0	64.0	64.0	64.0	64.0	64.0	64.0

Room	Flow	Net Percent	Total CFM	Room Flow	CFM Peak Percent	Temp	Temp	Temp	Temp	Temp	Temp	Temp	Temp
Area	Area		(%)	Area	(%)	(F)	(F)	(F)	(F)	(F)	(F)	(F)	(F)
Room 6-3	100	100	16.82	16.82	100	64.0	64.0	64.0	64.0	64.0	64.0	64.0	64.0

Room	Flow	Net Percent	Total CFM	Room Flow	CFM Peak Percent	Temp	Temp	Temp	Temp	Temp	Temp	Temp	Temp
Area	Area		(%)	Area	(%)	(F)	(F)	(F)	(F)	(F)	(F)	(F)	(F)
Room 6-3	100	100	16.82	16.82	100	64.0	64.0	64.0	64.0	64.0	64.0	64.0	64.0

Room	Flow	Net Percent	Total CFM	Room Flow	CFM Peak Percent	Temp	Temp	Temp	Temp	Temp	Temp	Temp	Temp
Area	Area		(%)	Area	(%)	(F)	(F)	(F)	(F)	(F)	(F)	(F)	(F)
Room 6-3	100	100	16.82	16.82	100	64.0	64.0	64.0	64.0	64.0	64.0	64.0	64.0

Room	Flow	Net Percent	Total CFM	Room Flow	CFM Peak Percent	Temp	Temp	Temp	Temp	Temp	Temp	Temp	Temp
Area	Area		(%)	Area	(%)	(F)	(F)	(F)	(F)	(F)	(F)	(F)	(F)
Room 6-3	100	100	16.82	16.82	100	64.0	64.0	64.0	64.0	64.0	64.0	64.0	64.0

Room	Flow	Net Percent	Total CFM	Room Flow	CFM Peak Percent	Temp	Temp	Temp	Temp	Temp	Temp	Temp	Temp
Area	Area		(%)	Area	(%)	(F)	(F)	(F)	(F)	(F)	(F)	(F)	(F)
Room 6-3	100	100	16.82	16.82	100	64.0	64.0	64.0	64.0	64.0	64.0	64.0	64.0

Room	Flow	Net Percent	Total CFM	Room Flow	CFM Peak Percent	Temp	Temp	Temp	Temp	Temp	Temp	Temp	Temp
Area	Area		(%)	Area	(%)	(F)	(F)	(F)	(F)	(F)	(F)	(F)	(F)
Room 6-3	100	100	16.82	16.82	100	64.0	64.0	64.0	64.0	64.0	64.0	64.0	64.0

EQUIPMENT SELECTED IS THE CLOSEST AVAILABLE SIZE.

HP 5-2

TRACED TO v1.1 Modified at 04:05 PM on 03/08/2003

Alternate - 1 System Checksums report Page 2 of 2

Plot Name: 110 WASHINGTON
Plot Path: C:\CD\TRACE7\CD\Plotout\110-WASH-04-17-99-NET.TPC

LATIN AMERICAN NETWORK

SUITE # , 5th FLOOR, ATLANTIC CENTER
119 WASHINGTON AVENUE
MIAMI BEACH, FLORIDA 33139

ARCHITECT
INTERNATIONAL DESIGN PARTNERSHIP, INC.

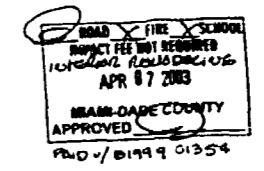
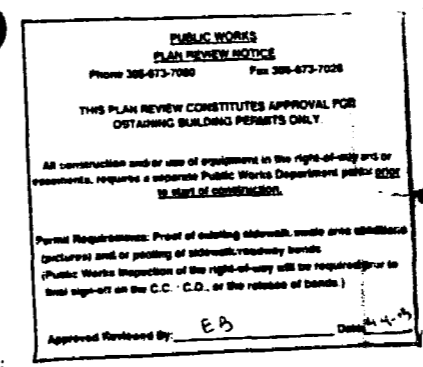
30 W. MASHTA DRIVE, SUITE #401
KEY BISCAVNE, FLORIDA 33149
(305)365-8338

ENGINEERS (M.E.P.)
DALLA RIZZA & ASSOCIATES

3011 S.W. 28 LANE
MIAMI, FLORIDA, 33133
(305) 445-5200

BUILDING OWNER
BLUE COMET LLC

407 LINCOLN ROAD 8 R
MIAMI BEACH, FLORIDA 33139



OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY THE FOLLOWING:

Interior only
**Interior only, no exterior alterations*

- BUILDING: [Signature]
- MECHANICAL: [Signature]
- ELECTRICAL: [Signature]
- PLUMBING: [Signature]
- FIRE PREVENTION: [Signature]
- ENGINEERING: [Signature]
- STRUCTURAL: [Signature]
- ACCESSIBILITY: [Signature]
- ELEVATOR: [Signature]

International Design Partnership Incorporated
30 W. Mashta Drive
Key Biscayne, FL 33149
Tel: 305.365.8338 Fax: 305.365.8339

No.	Issue	Date
BD SET		03 28 03

CLIENT APPROVAL
I have reviewed these plans and have been given the opportunity to ask questions about them prior to issue. These plans conform to our requirements. I understand the any modifications to these plans will be an additional service with potential impact on construction cost and scheduling.

ACCEPTED AS IS
 ACCEPTED AS NOTED

Signature: _____ Date: _____

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Architect of Record:
Charles Myers

State of Florida
Registration #
AR0014546

LATIN AMERICAN NETWORK
5th FLOOR ATLANTIC CENTER
119 WASHINGTON AVENUE
MIAMI BEACH, FL 33139

Owner: BLUE COMET LLC
407 LINCOLN ROAD 8 R
MIAMI BEACH, FL 33139
Contact: ROSA DIAZ Tel: 305 873 1636

Date: February 17, 2003
Project No: 2335
Drawn By: LAR
Checked By: [Signature]
CDD No: CDD-10-119-03-001

Title: COVER

Scale: 1/4" = 1'-0" PER
Sheet Number: A2-1

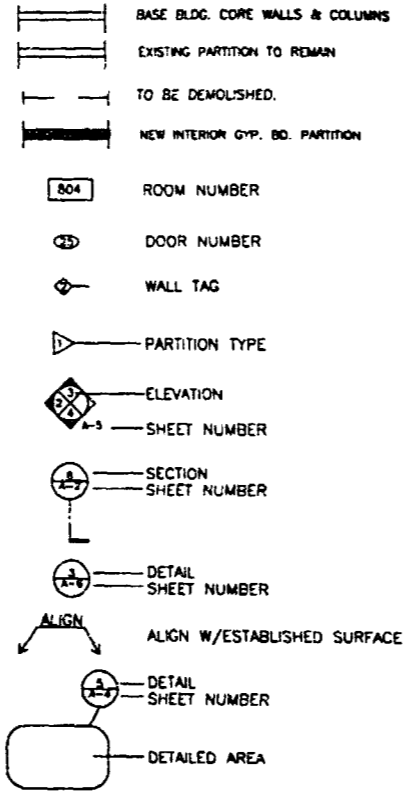
BO302545
119 WASHINGTON AVE

APR 24 2003

ARCHITECTURAL ABBREVIATIONS

ABV	ABOVE	ACH	ACHIEVED
A/C	AIR CONDITIONING	ACI	ACRYLIC
ACCUS	ACOUSTICAL	ACT	ACTUATOR
ADD	ADDITUM	ADH	ADHESIVE
ADJ	ADJACENT	ADJT	ADJUSTABLE
ALT	ALTERNATE	ALUM	ALUMINUM
ANOD	ANODIZED	AP	ACCESS PANEL
APPROX	APPROXIMATE	ARCH	ARCHITECTURAL
AVG	AVERAGE	BO	BOARD
BLDG	BUILDING	BLDG	BLOCKING
CR	CARD READER	CAB	CABINET
CC	CORNER GUARD	C.C.G.	C.E.L.G. (CLEARANCE)
C.C.	CLOSET	COL	COLUMN
CONC	CONCRETE	CONF	CONFERENCE
CONSTR	CONSTRUCTION	CONT	CONTINUOUS, CONTINUE
COOR	CORRIDOR	CCTR	COUNTER
COT	CARPET	C.T.	C.E.T. TILE CENTER
DBL	DOUBLE	DEMO	DEMOLITION
DEPT	DEPARTMENT	DET	DETAIL
DF	DRINKING FOUNTAIN	DIA	DIAMETER
DM	DIMENSION	DISP	DISPOSAL
DN	DOWN	DR	DOOR
DW	DISHWASHER	DWR	DRAWER
E	EACH	EL	ELEVATION
ELEC	ELECTRICAL	ELEV	ELEVATOR
ELEV	ELECTRIC STRIKE	ES	EQUAL
EQ	EQUIPMENT	EW	ELECTRIC WATER COOLER
EWC	ELECTRIC WATER HEATER	EXST	EXISTING
EXT	EXTERIOR	F	FIRE ALARM
F	FIRE ALARM PULL	FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER	FEC	FIRE EXTINGUISHER CABINET
FF	FINISHED FLOOR	FN	FIRE NOSE CABINET
FFC	FINISHED (ED) FURNITURE	FL	FLOORING
FR	FIRE RATED	FS	FIRE STROBE
FT	FOOT, FEET	FLR	FLOORING
FWC	FABRIC WALLCOVERING	GA	GAGE, GAUGE
GC	GENERAL CONTRACTOR	GL	GLASS, GLAZING
GRB	GYP-SUM WALLBOARD	GYP.BD.	GYP-SUM BOARD
HC	HOLLOW CORE	HM	HOLLOW METAL
HR	HOUR	HT	HEIGHT
HVC	HEATING, VENTILATING, AIR COND.		
		MAX	MAXIMUM
		MECH	MECHANICAL
		MFR	MANUFACTURER
		MAN	MANUFACTURE
		MISC	MISCELLANEOUS
		MTD	MOUNTED
		NA	NOT APPLICABLE
		N.C.	NOT IN CONTRACT
		NO	NUMBER
		NOM	NOMINAL
		NTS	NOT TO SCALE
		OC	ON CENTER
		OPNC	OPENING
		OPP	OPPOSITE
		P.LAM	PLASTIC LAMINATE
		PAN	PANEL
		PTD	PART (ED)
		PAR	PART
		PSP	POUNDS PER SQUARE FOOT
		PSI	POUNDS PER SQUARE INCH
		PT	PRESSURE TREATED
		PTN	PARTITION
		PLYWD	PLYWOOD
		QTY	QUANTITY
		RAD	RADIUS
		RA	RETURN AIR
		REC	RECESSED
		REFR	REFRIGERATOR
		REQ'D	REQUIRED
		REV	REVISION(S)
		RH	RIGHT HAND
		RM	ROOM
		RTE	RELEASE TO E
		SC	SOLID CORE
		SCN	SCHEDULE NUMBER
		SHT	SHEET
		SM	SWEAT
		SPEC	SPECIFICATION
		SQ	SQUARE
		SS	STAINLESS STEEL
		STD	STANDARD
		STL	STEEL
		STO	STORAGE
		SUSP	SUSPENDED
		SYM	SYMMETRICAL
		T	THERMOSTAT
		TEL	TELEPHONE
		TEMP	TEMPERATURE
		TR	THERMOSTAT (RECESS)
		TV	TELEVISION
		TYP	TYPICAL
		TZ	TERRAZO
		U	UNDERWIRE WOODWORK
		UO	UNLESS NOTED OTHERWISE
		V	VAN
		VNT	VENT
		VST	VESSEL
		VSC	VENEER
		WC	WATER CLOSURE
		WO	WOOD
		W/O	WITHOUT

ARCHITECTURAL SYMBOLS



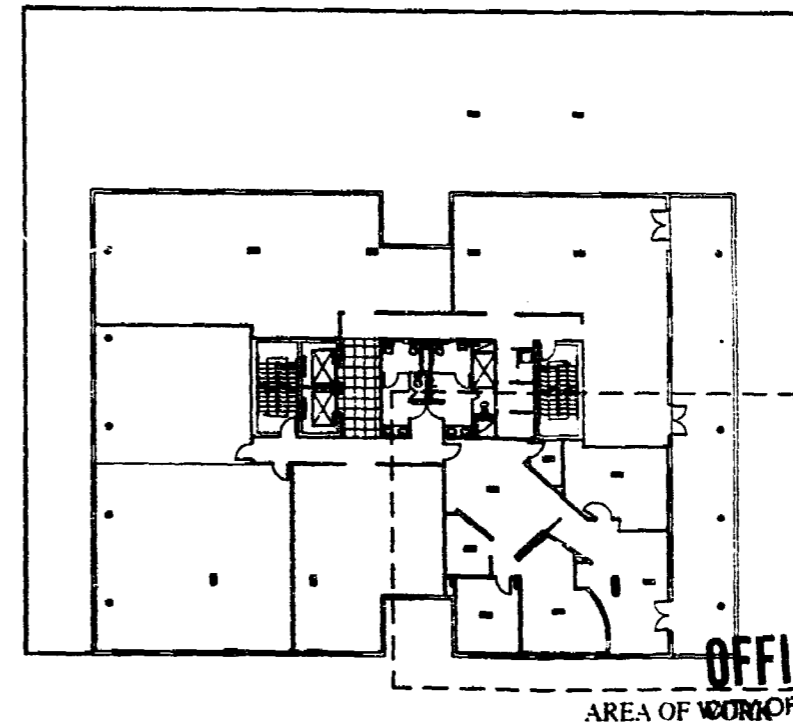
CEILING PLAN SYMBOLS (SEE REFLECTED CEILING PLAN)

MASTER LEGEND POWER & COMMUNICATION SYMBOLS

- AN "E" INDICATES EXISTING TO REMAIN
- MKI TEL/DATA OUTLET
- KI DATA OUTLET
- M PHONE OUTLET
- MW WALL PHONE OUTLET (WTD. @ 48" AFF)
- PO POWER OUTLET (DUPLX)
- POD DEDICATED POWER OUTLET
- IGPO ISOLATED GROUND POWER OUTLET
- QPO QUADRUPLX POWER OUTLET
- WJ WALL WTD. JUNCTION BOX
- CO CABLE TV OUTLET
- FLQ FLUSH WTD. QUADRUPLX/TELEPHONE & DATA COMBO. WITH ONE DUPLX ISOLATED GROUND SW. TO WIREMOLD RC-4 (SEE ENGINEERING DRAWINGS).
- J-BOX W/WHIPS FOR ELECTRIFIED FURNITURE PANELS. (SEE ENGINEERING DRAWINGS).
- J-BOX FOR PHONE & DATA
- ES ELECTRIC STRIKE
- AK ALARM KEYPAD
- CR CARD READER
- T THERMOSTAT

INDEX OF DRAWINGS

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A2-2	INDEX, SYMBOLS, LEGEND, ABBREVIATIONS & KEY PLAN
A2-3	PARTITION PLAN
A2-4	POWER & COMMUNICATION PLAN
A2-5	REFLECTED CEILING PLAN
A2-6	PARTITION DETAILS
A2-7	ELEVATIONS & DETAILS
A2-8	ELEVATIONS & DETAILS
A2-9.1	DOOR SCHEDULE & HARDWARE
A2-9.2	FINISH PLAN, SCHEDULE & SPECIFICATIONS
A2-10.1	SPECIFICATIONS
A2-10.2	SPECIFICATIONS
A2-10.3	SPECIFICATIONS
A2-10.4	SPECIFICATIONS
A2-10.5	SPECIFICATIONS
A2-10.6	SPECIFICATIONS
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SFP-1	FIRE PROTECTION PLAN
SM-1	MECHANICAL PLAN
SE-1	LIGHTING & FIRE ALARM PLAN
SE-2	POWER & COMMUNICATION PLAN
GENERAL NOTES, SCHEDULES, LEGEND & RISERS	



International Design Partnership Incorporated
 30 W. Mashua Drive
 Key Biscayne, FL 33149
 Tel: 305.365.9276 Fax: 305.365.9279

No.	Issue	Date
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ACCEPTED AS IS
 ACCEPTED AS NOTED

Signature: _____ Date: _____

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Architect of Record:
Charles Myers
 State of Florida
 Registration #
 ARD0014546

LATIN AMERICAN NETWORK
 5th FLOOR
 ATLANTIC CENTER
 119 WASHINGTON AVENUE
 MIAMI BEACH, FL 33139

Owner: BLUE COMET LLC
 407 LINCOLN ROAD # 2
 MIAMI BEACH, FL 33538
 Contact: MONA DIAZ Tel: 305 473 1838

KEY PLAN

5th FLOOR

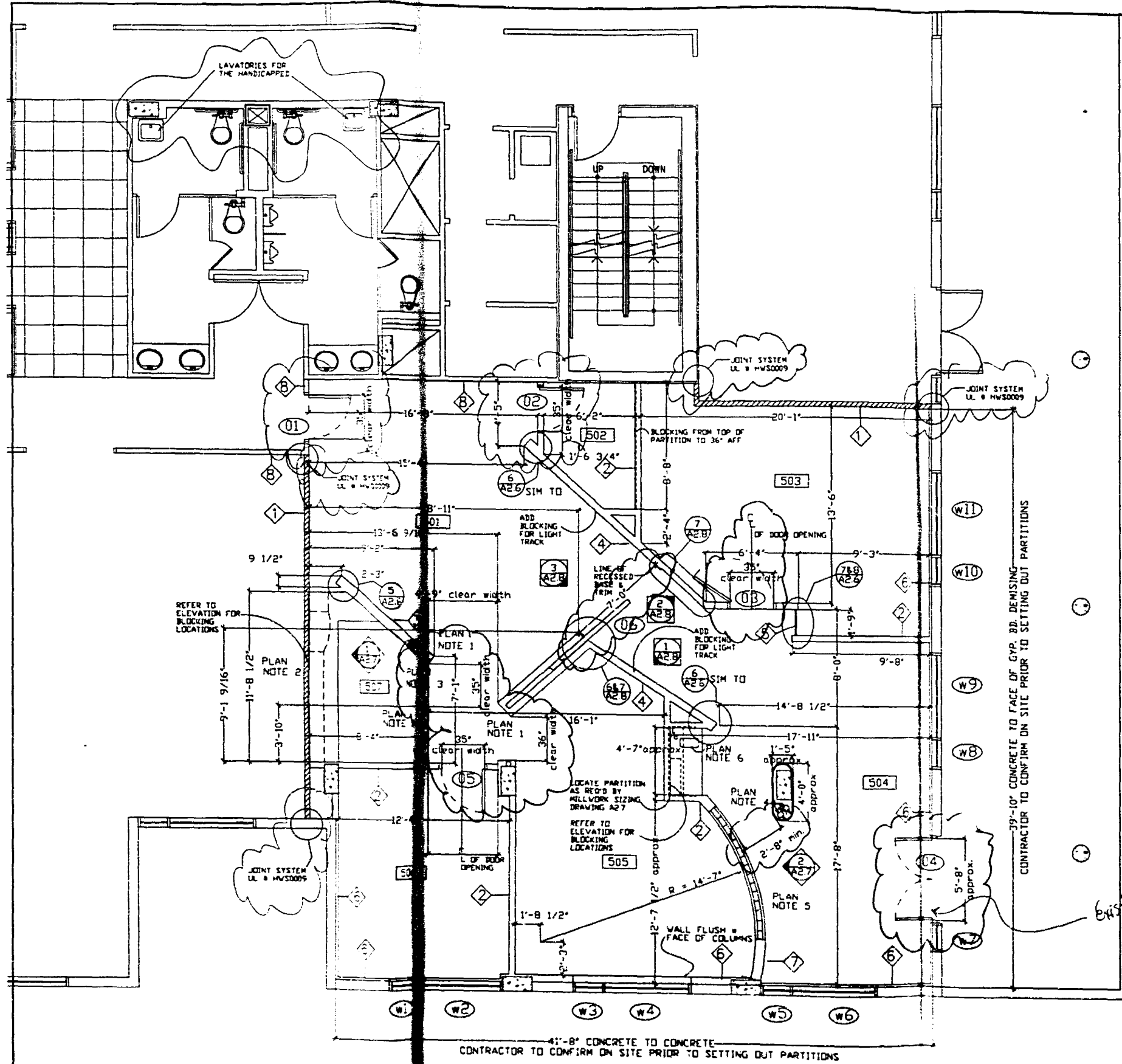
- NOTES:
- TENANT AREA IS ±1,761 U.S.F. APPROX.
 - REFER TO LARGER SCALE DRAWINGS FOR EXACT LOCATION OF DEMISING PARTITIONS

THIS DRAWING IS NOT TO SCALE

APPROVED FOR PERMIT BY THE FOLLOWING:
 BUILDING: _____
 ZONING: _____
 CRTHPS: _____
 CONCUSSENCY: _____

PLUMBING: _____
 ELECTRICAL: _____
 MECHANICAL: _____
 NECESSARY SECTION ENGINEERS: _____
 PUBLIC WORKS: _____
 STRUCTURAL: _____

Date: February 17, 2003
 Project No: 2156
 Drawn By: LAW
 Checked By: sr, cm
 CSDP File: C:\p\l\latam\john.cmyers\5thfl.dwg
 Scale: 1/8" = 1'-0" S.S.D.
 Sheet Number: A2-2



PARTITION PLAN

SCALE: 1/4" = 1'-0"



GENERAL NOTES

1. ALL NEW PARTITIONS ARE PARTITION TYPE 12 UNDO ON PLANS.
2. ALL NEW DOORS & HARDWARE ARE TO COMPLY WITH SECTION 5-213 OF THE NFPA 101 LIFE SAFETY CODE HANDBOOK.
3. ALL FINISHES ARE TO COMPLY WITH SECTION 26-33 OF THE NFPA LIFE SAFETY CODE HANDBOOK.
4. CONTRACTOR TO ENSURE THAT THE INTEGRITY OF THE FIRE ENVELOPE BE MAINTAINED DURING DEMOLITION AND CONSTRUCTION.
5. USE 20 GA STUDS R 1/2" OC AT ALL BEARING WALLS & WHERE MILLWORK IS ATTACHED TO PARTITIONS.
6. GC IS TO FULLY CLEAN ENTIRE CONSTRUCTION WORK AREA AS REQUIRED UPON COMPLETION OF WORK. WORK MAY INCLUDE: SHAMPING OF CARPET, TOUCHUP PAINTING, REPLACEMENT OF DAMAGED CEILING TILES, CLEANING OF WINDOW BLINDS, REPLACEMENT AND/OR CLEANING OF VINYL BASE, ETC. GC IS RESPONSIBLE FOR A CLEAN AND CONTIGUOUS SPACE.
7. PROVIDE BLOCKING IN VALENCES FOR SUPPORT OF WINDOW BLINDS.
8. PROVIDE ADEQUATE SUPPORT FOR FIXING OF DOOR HINGES AND CONCEALED CLOSERS.
9. CONTRACTOR SHALL SITE VERIFY EXTENT OF EXISTING DEMISING CONSTRUCTION.
10. ALL DIMENSIONS ARE OUTSIDE FINISHED DIMENSIONS UNDO.

PLAN NOTES

1. PROVIDE CROSS BRACING IN CEILING PLENUM SECURED TO STRUCTURE ABOVE, TO BRACE PARTITIONS AND DOOR FRAMES AS NEEDED.
2. ALL MILLWORK SUPPORT IN WALLS TYPE 1 TO BE HAVE UL FIRE RATING SUITABLE FOR PARTITION CONSTRUCTION.
3. FIRE EXTINGUISHER CABINET TO BE LARSENS #2409-R2 FULLY RECESSED CABINET WITH SOLID DOOR WITH DIE CUT TYPE A LETTERS FINISH CABINET WITH ALKYD ENAMEL HIGH GLOSS PAINT TO MATCH ADJACENT WALL. PROVIDE LARSENS MULTI PURPOSE DRY CHEMICAL EXTINGUISHER #2410 LARSENS TEL: 954 486 3325.
4. COLUMN COVER TO BE PITCON INDUSTRIES, SERIES 1500 METAL COLUMN COVER, INCLUDE THE CEILING TRIM RING FOR ACoustICAL TILE INSTALLATIONS. COLOR TO BE SELECTED FROM MANUFACTURER'S STANDARDS. PITCON TEL: 800 637 7638.
5. GLASS BLOCKS PITCON HIGH CORNING PATTERN ARGUS PARALLEL FLUTED SIZE: NOMINAL 8" X 8" THICKNESS 3/8" CLEAR FLUTES TO BE INSTALLED IN A HORIZONTAL DIRECTION.
6. SINK & FAUCET - REFER TO MECHANICAL DRAWINGS FOR PLUMBING INFORMATION. SINK SHALL BE ELKAY RELU-715 FAUCET SHALL BE JOHN BRANCH #1210000 WHITE PLATINUM FINISH, RIGHT HAND OPERATION. SUPPLIER: FARRETS TEL: 305 445 2244 CONTACT: PETE FERNANDEZ DECK MOUNT BY RIGHT BACK CORNER OF SINK.
7. FIRE ALARM HORNS, STROBES AND PULLS COVER PLATES TO BE WHITE.
8. WINDOW COVERINGS: ALL WINDOWS EXCEPT V-7 SHALL HAVE BUILDING STANDARD MESH SHADES EUROVELL STYLE #3000, MESH COLOR #531 GRAPHITE, SUPPLY ONE SHADE PER WINDOW. CEILING MOUNTED IN VALENCE POCKET DETAILED ON DRAWING A25.
9. THE CONTRACTOR SHALL SUPPLY AND INSTALL SHALL APPLIANCES AS FOLLOWS:
 ROOM 504: REFRIGERATOR-CHEESEMAKER COMBO U-LINE #2098F WATER LINE, NO DRAIN FEED.
 ROOM 507: REFRIGERATOR U-LINE 75R WHITE, NO ICEMAKER OR DRAIN FEED, AND MICROWAVE WHIRLPOOL. INSTALLATION ON WHITE. SUPPLIER: FLORIDA BUILDER APPLIANCES, GRISEL FERNANDEZ TEL: 3056693110 Fax: 3056614322.

ROOM LEGEND:

- 501 RECEPTION AND HALLWAY
- 502 TELEPHONE EQUIPMENT ROOM
- 503 OFFICE
- 504 OFFICE AREA
- 505 OFFICE AREA
- 506 OFFICE
- 507 COPIER ROOM

PARTITION TYPE

- 1' DEMISING WALL - ONE HOUR FIRE RATED
- 2' TYPICAL INTERIOR WALL - NO INSULATION ALL WALLS UNDO
- 3' INTERIOR WALL
- 4' INTERIOR WALL
- 5' INTERIOR GLAZING
- 6' PERIMETER FLOORING - INSULATED
- 7' INTERIOR PARTITION - GLASS BLOCK
- 8' EXISTING SHEETROCK FINISH

OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY THE FOLLOWING:

- BUILDING: [Signature]
- MECHANICAL: [Signature]
- ELECTRICAL: [Signature]
- PLUMBING: [Signature]
- STRUCTURAL: [Signature]
- ACCESSIBILITY: [Signature]
- ELEVATOR: [Signature]

International Design Partnership Incorporated
 30 W. Mashta Drive
 Key Biscayne, FL 33149
 Tel: 305 365 8338 Fax: 305 365 8339

No.	Issue	Date
BD SET		03 28 03
PERMIT REV 04 08 03		

CLIENT APPROVAL
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ACCEPTED AS IS
 ACCEPTED AS NOTED

Signature: _____ Date: _____

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Architect of Record:
 Charles Myers
 State of Florida
 Registration #
 AR0014548

LATIN AMERICAN NETWORK
 5th FLOOR
 ATLANTIC CENTER
 119 WASHINGTON AVENUE
 MIAMI BEACH, FL 33139

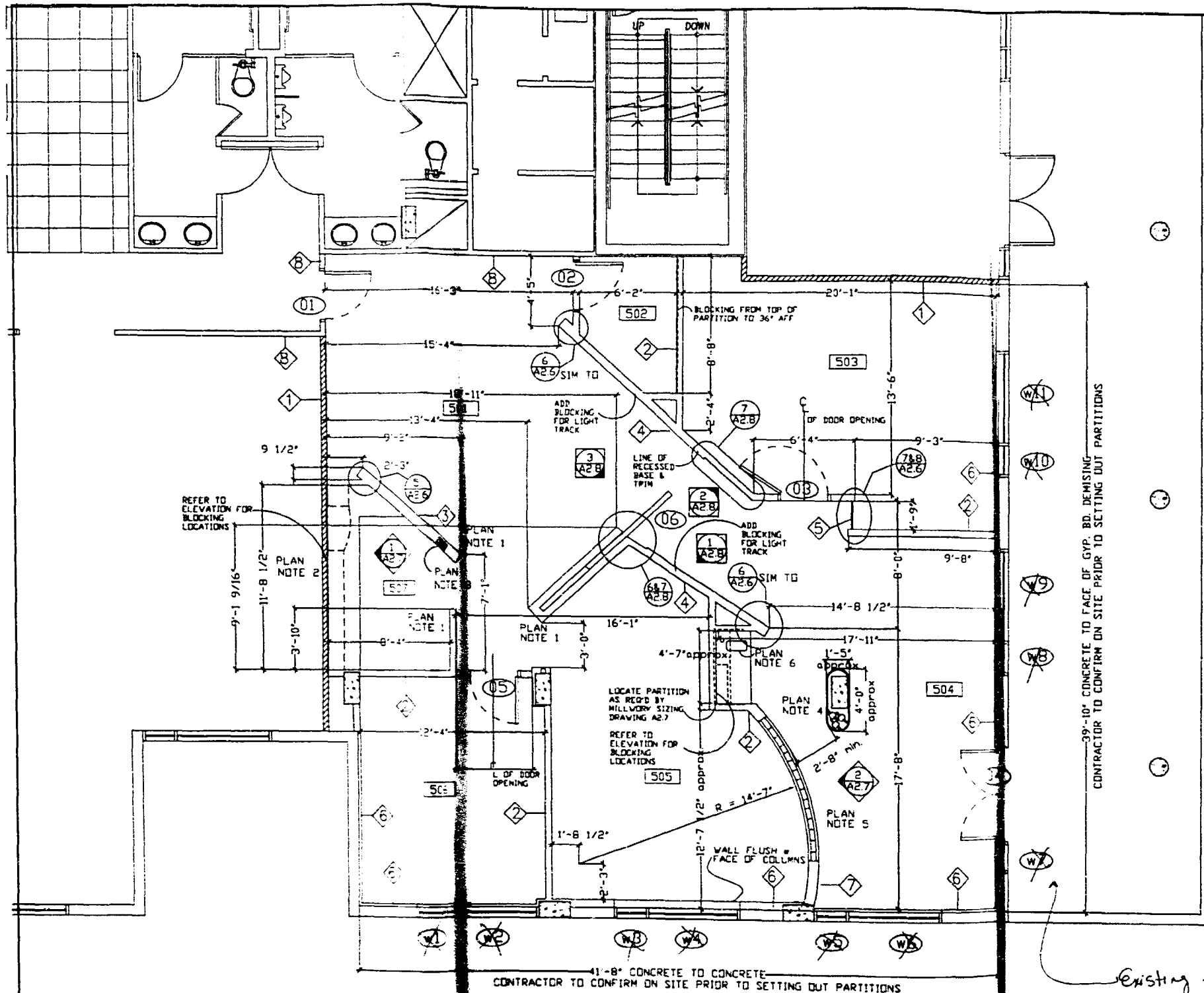
Owner: BLUE CORNET LLC
 407 LINCOLN ROAD S R
 MIAMI BEACH, FL 33139
 Contact: NORA DIAZ Tel: 305 673 1838

Date: February 17, 2003
 Project No: 2155
 Drawn By: LAF
 Checked By: br. cm
 Call For: C:\p\dl\latin\latin american network\drawing\af\af

FILE: **PARTITION PLAN**

Scale: 1/4" = 1'-0" USG

Sheet Number: **A 2-3**



PARTITION PLAN
SCALE: 1/4" = 1'-0"



- GENERAL NOTES**
1. ALL NEW PARTITIONS ARE PARTITION TYPE 2' UNO ON PLANS.
 2. ALL NEW DOORS & HARDWARE ARE TO COMPLY WITH SECTION 5-21.0 OF THE NFPA 101 LIFE SAFETY CODE HANDBOOK.
 3. ALL FINISHES ARE TO COMPLY WITH SECTION 25-33 OF THE NFPA LIFE SAFETY CODE HANDBOOK.
 4. CONTRACTOR TO ENSURE THAT THE INTEGRITY OF THE FIRE ENVELOPE BE MAINTAINED DURING DEMOLITION AND CONSTRUCTION.
 5. USE 20 GA STUDS @ 16" OC AT ALL BEARING WALLS & WHERE MILLWORK IS ATTACHED TO PARTITIONS.
 6. GC IS TO FULLY CLEAR ENTIRE CONSTRUCTION WORK AREA AS REQUIRED UPON COMPLETION OF WORK. WORK MAY INCLUDE: CHECKING OF CARPET, TOUCHUP PAINTING, REPLACEMENT OF DAMAGED CEILING TILES, CLEANING OF WINDOW BLINDS, REPLACEMENT AND/OR CLEANING OF VINYL BASE, ETC. GC IS RESPONSIBLE FOR A CLEAN AND CONTINUOUS SPACE.
 7. PROVIDE BLOCKING IN VALENCES FOR SUPPORT OF WINDOW BLINDS.
 8. PROVIDE ADEQUATE SUPPORT FOR FIXING OF DOOR HINGES AND CONCEALED CLOSERS.
 9. CONTRACTOR SHALL VERIFY EXTENT OF EXISTING DEMISING CONSTRUCTION.
 10. ALL DIMENSIONS ARE OUTSIDE FINISHED DIMENSIONS UNO.

- PLAN NOTES**
1. PROVIDE CROSS BRACING IN CEILING PLENUM, SECURED TO STRUCTURE ABOVE, TO FACE PARTITIONS AND DOOR FRAMES AS NEEDED.
 2. ALL MILLWORK SUPPORT IN WALLS TYPE 1 TO BE HAVE UL FIRE RATING SUITABLE FOR PARTITION CONSTRUCTION.
 3. FIRE EXTINGUISHER CABINET TO BE LARSEN'S #2409-R2 FULLY RECESSED CABINET WITH SOLID DOOR WITH DIE CUT TYPE A LETTERS FINISH CABINET WITH ALKID ENAMEL HIGH GLOSS PAINT TO MATCH ADJACENT WALL. PROVIDE LARSEN'S MULTI PURPOSE DRY CHEMICAL EXTINGUISHER #MPIO LARSEN'S TM 304 486 3325.
 4. COLUMN COVER TO BE PLYCON INDUSTRIES, SERIES 1500 METAL COLUMN COVER INCLUDE THE CEILING TRIM RING FOR ACUSTICAL TILE INSTALLATION. COLOR TO BE SELECTED FROM MANUFACTURER'S STANDARDS PLYCON TEL 800 637 7638.
 5. GLASS BLOCKS FITS: RGH CORNING PATTERN ARGUS PARALLEL FLUTED SIZE: 8" X 8" THICKNESS 3 7/8" CLEAR. FLUTES TO BE INSTALLED IN A HORIZONTAL DIRECTION.
 6. SINK & FAUCET - REFER TO MECHANICAL DRAWINGS FOR PLUMBING INFORMATION. SINK SHALL BE ELKAY WELU-715 FAUCET SHALL BE DEIN SACH #17510880 MATTE PLATINUM FINISH. RIGHT HAND DRAIN. SUPPLIER: FARMETS TEL 305 445 2244 CONTACT PET FERNANDEZ DECK MOUNT BY RIGHT BACK CORNER OF SINK.
 7. FIRE ALARM HORNS, STRIPES AND PULLS COVER PLATES TO BE WHITE.
 8. WINDOW COVERINGS: A. WINDOWS EXCEPT W-7 SHALL HAVE BUILDING STANDARD MESH SHADES EUROVELL STYLE #5300 MESH COLOR #801 (DARK). SUPPLY ONE SHADE PER WINDOW. CEILING MOUNTED IN VALENCE POCKET DETAILED ON DRAWING A2-7.
 9. THE CONTRACTOR SHALL SUPPLY AND INSTALL SMALL APPLIANCES AS FOLLOWS:
ROOM 504: REFRIGERATOR ICEMAKER COMBO U-LINE #297FD BLACK. CONNECT ICEMAKER TO SINK PLUMBING WITH 1/4" dia WATER LINE. NO DRAIN HOOD.
ROOM 507: REFRIGERATOR U-LINE 75R WHITE. NO ICEMAKER OR DRAIN HOOD. AND MIDDLE WAVE UNDER POOL #TA110500 WHITE IN WHITE. SUPPLIER: FERRARA BUILDER APPLIANCES. CRISSEL FERNANDEZ TM 305669210 FAX 3056614222.

- ROOM LEGEND:**
- 501 RECEPTION AND HALLWAY
 - 502 TELEPHONE EQUIPMENT ROOM
 - 503 OFFICE
 - 504 OFFICE AREA
 - 505 OFFICE AREA
 - 506 OFFICE
 - 507 COPIER ROOM

- PARTITION TYPE**
- 1' DEMISING WALL ONE HOUR FIRE RATING (A2-0)
 - 2' TYPICAL INTERIOR WALL - NO INSULATION ALL WALLS UNO (A2-1)
 - 3' INTERIOR WALL (A2-2)
 - 4' INTERIOR WALL (A2-3)
 - 5' INTERIOR GLAZING (A2-4)
 - 6' PERIMETER FLOORING - INSULATION (A2-5)
 - 7' INTERIOR PARTITION - GLASS BLOCK (A2-6)
 - 8' EXISTING DEMISING FINISH (A2-7)

International Design Partnership Incorporated
30 W. Mashta Drive
Key Biscayne, FL 33149
Tel. 305.455.8228 Fax 305.265.6329

No.	Issue	Date
BD SET		03 28 03

CLIENT APPROVAL
I have reviewed these plans and have been given the opportunity to ask questions about them prior to issue. These plans conform to our requirements. I understand that any modifications to these plans will be an additional service with potential impact on construction cost and scheduling.

ACCEPTED AS IS
 ACCEPTED AS NOTED

Signature: _____ Date: _____

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Architect of Record
Charles Myers
State of Florida
Registration #
AR0014546

LATIN AMERICAN NETWORK
5th FLOOR
ATLANTIC CENTER
119 WASHINGTON AVENUE
MIAMI BEACH, FL 33139

Order: BLUE COMET LLC
307 LINCOLN ROAD S W
MIAMI BEACH, FL 33139
Contact: NOBA DIAZ 141 305 873 1838

Date: February 17, 2003
Project No: 2155
Drawn By: LAB
Checked By: W. CM
Date Plt: C:\w\p\latin\latin american network\drawing\2155.dwg

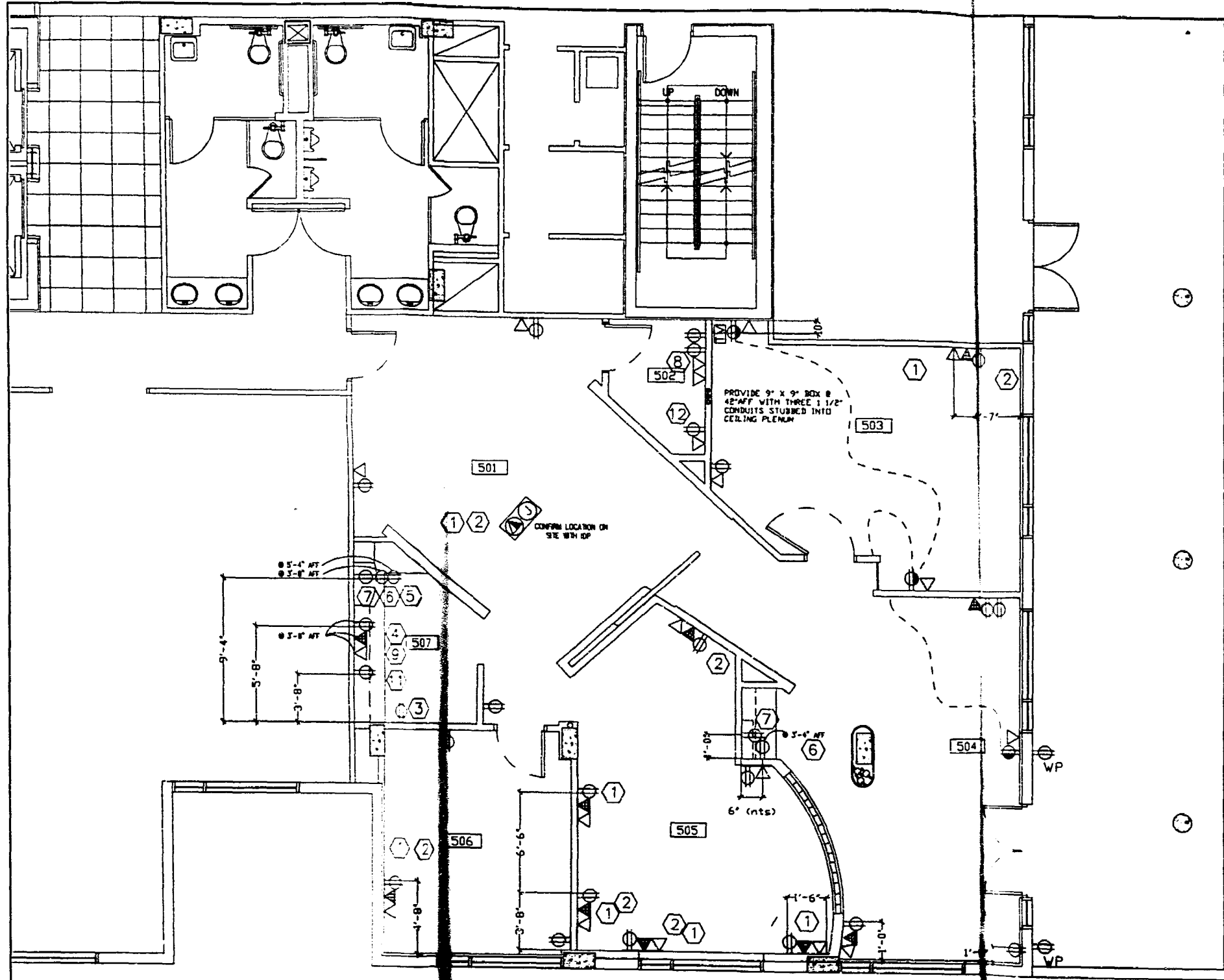
Title: **PARTITION PLAN**
Scale: 1/4" = 1'-0" CMO
Sheet Number:

A 2-3

OFFICE COPY

APPROVED FOR PERMIT BY THE FOLLOWING:
DATE: 2-17-03
CONCURRENCE:
PLUMBING
ELECTRICAL
MECHANICAL
FIRE PREVENTION
ENGINEERING
STRUCTURAL
ACCESSIBILITY
ELECTRICAL

*Existing windows & partitions to remain **



POWER & COMMUNICATION NOTES

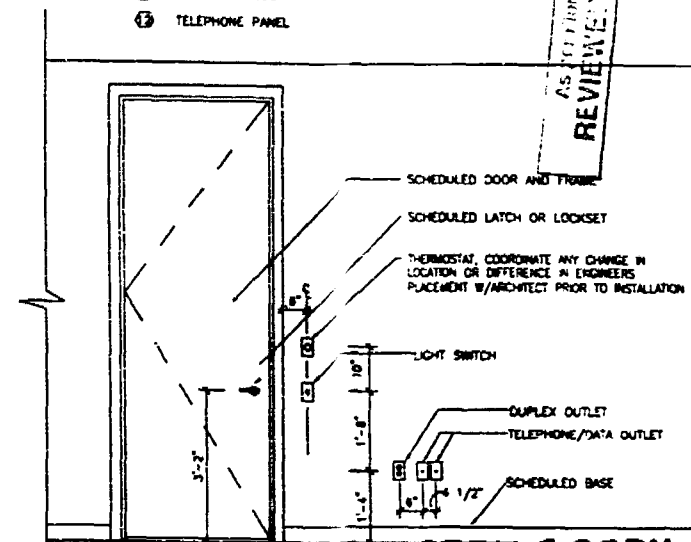
1. ALL OFFICES AND WORKSTATIONS ARE TO BE EQUIPPED FOR A MINIMUM OF ONE COMPUTER EACH.
2. DATA CONDUIT IS TO BE STRIPPED UP ABOVE CEILING. PROVIDE PULL STRIPS (2"x4" J-BOX @ WALL SURFACE, STANDARD).
3. ELECTRICAL CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS & NOTIFY THE ARCHITECT & BUILDING MANAGEMENT OF ANY DISCREPANCIES PRIOR TO FINAL PRICING SUBMITTAL AND COMMENCEMENT OF THE WORK.
4. ALL OUTLETS AND SWITCHES TO BE DECORA STYLE COLOR: WHITE.

POWER & COMMUNICATION SYMBOLS

- Ⓜ FLUSH MTD QUADRUPLX/TELEPHONE & DATA CONDUIT (SEE ENGINEERING DRAWINGS).
- Ⓜ TELEPHONE OUTLET
- Ⓜ DATA OUTLET
- Ⓜ FLUSH MOUNTED FLOOR POWER/TEL/DATA OUTLET
- Ⓜ FLOOR DUPLEX RECEPTACLE OUTLET
- Ⓜ POWER OUTLET, (DUPLEX)
- Ⓜ POWER OUTLET, (DUPLEX) 200% WIRED FOR SWITCH CONTROL OF ONE RECEPTACLE PER OUTLET
- Ⓜ TELEVISION CABLE OUTLET
- Ⓜ SWITCH
- Ⓜ DIMMER SWITCH - SLIDE TYPE WITH PRESET BUTTON REFER TO A25 FOR SWITCH LOCATIONS
- Ⓜ THERMOSTAT (SEE ENGINEERING DRAWINGS).
- Ⓜ FIRE ALARM (SEE ENGINEERING DRAWINGS).

EQUIPMENT LEGEND

- ① COMPUTER
- ② PRINTER
- ③ COPIER
- ④ FAX
- ⑤ MICROWAVE
- ⑥ COFFEE MAKER
- ⑦ REFRIGERATOR
- ⑧ SERVERS
- ⑨ MAIL MACHINE
- ⑩ WATER COOLER - FREE STANDING, NO DRAIN REQ'D
- ⑪ PAPER SHREDDER
- ⑫ TELEPHONE PANEL



TYP. P&C DIMENSIONS - O.N.

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CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY
THE FOLLOWING:

- BUILDING: [Signature]
- ZONING: [Signature]
- CONCURRENCY: [Signature]
- PLUMBING: [Signature]
- ELECTRICAL: [Signature]
- MECHANICAL: [Signature]
- FIRE PREVENTION: [Signature]
- ENGINEERING: [Signature]
- BLDG WORKS: [Signature]
- STRUCTURAL: [Signature]
- ACCESSIBILITY: [Signature]
- ENVIRONMENTAL: [Signature]

POWER & COMMUNICATION PLAN

SCALE: 1/4" = 1'-0"



International Design Partnership Incorporated

30 W. Mashua Drive
Key Biscayne, FL 33149
Tel. 305.365.8318, Fax: 305.365.8319

No.	Issue	Date
BD SET		03 28 03

CLIENT APPROVAL
I have reviewed these plans and have been given the opportunity to ask questions about them prior to issue. These plans conform to our requirements. I understand that any modifications to these plans will be an additional service with potential impact on construction cost and scheduling.

ACCEPTED AS IS
 ACCEPTED AS NOTED

Signature: _____ Date: _____

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Architect of Record:
Charles Myers
State of Florida
Registration #
AR0014546

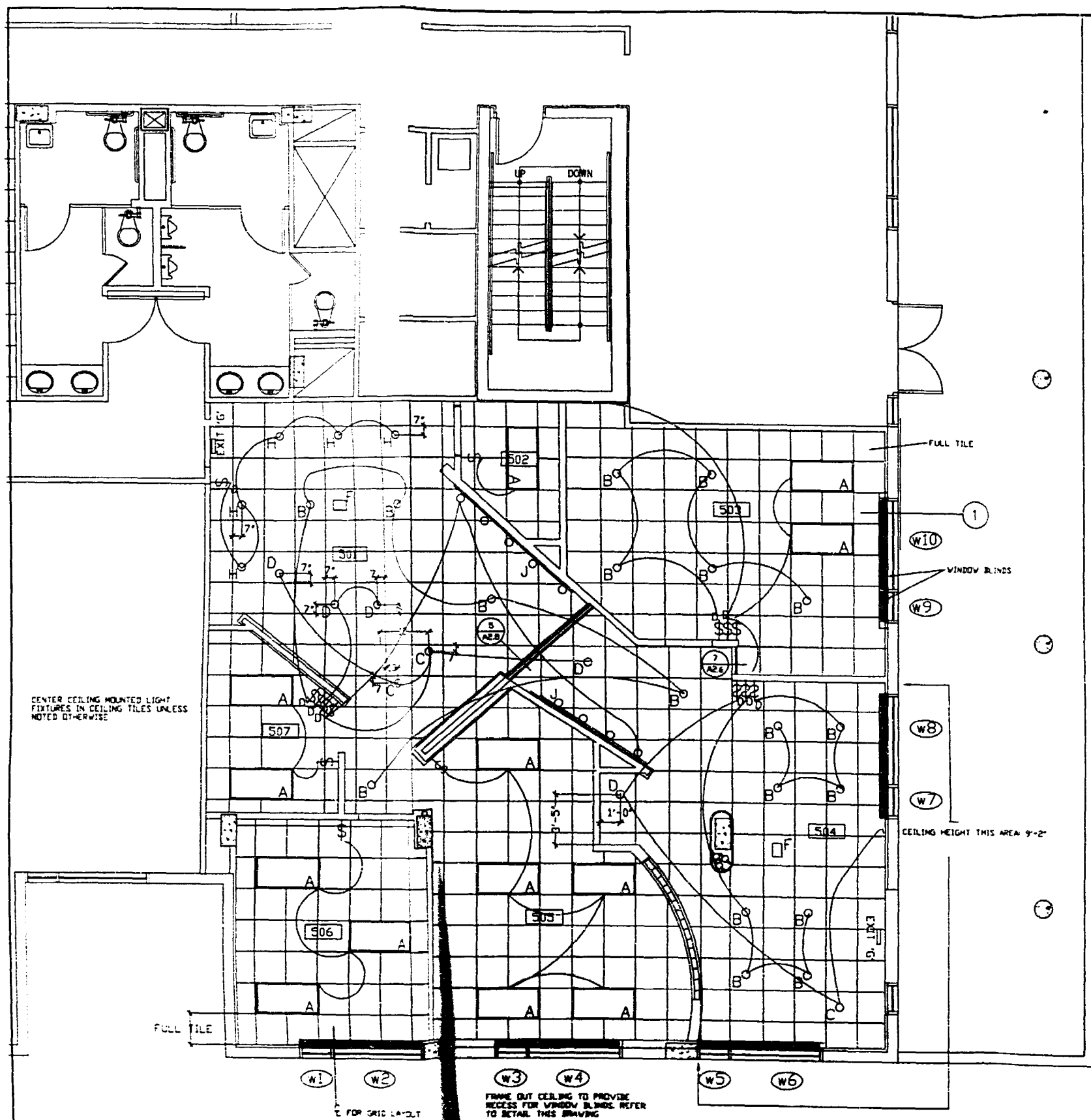
LATIN AMERICAN NETWORK
5th FLOOR
ATLANTIC CENTER
119 WASHINGTON AVENUE
MIAMI BEACH, FL 33139

Owner: **BLAKE CONLEY LLC**
477 LINCOLN ROAD, S.E.
MIAMI BEACH, FL 33139
Contact: NORA DIAZ Tel: 305 875 1638

Date: February 17, 2003
Project No: 2155
Drawn By: LMB
Checked By: lr, cm
CAD File: C:\p\my\latin\latin network\latin network.dwg

Title: **POWER & COMMUNICATION PLAN**
Scale: 1/4" = 1'-0" V.S.B.

Sheet Number: **A2-4**



REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

CEILING NOTES:

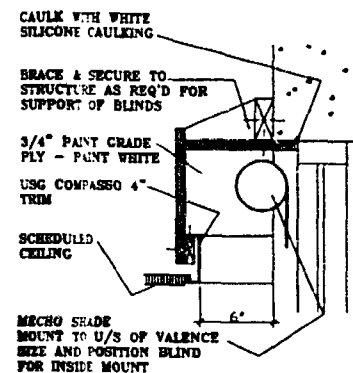
1. SUB-CONTRACTORS TO FIELD VERIFY CEILING CONDITIONS AS REQUIRED PRIOR TO FINAL PRICING SUBMITTALS AND NOTIFY THE ARCHITECT & ENGINEERS OF ANY DISCREPANCIES.
2. ELECTRICAL & LIFE SAFETY CONTRACTORS TO COORDINATE AND PROVIDE EMERGENCY LIGHTING, EXIT LIGHTING, NIGHT LIGHTING & STROBES AS REQUIRED TO MEET ALL APPLICABLE CODES. VERIFY PLACEMENT WITH ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
3. SPRINKLER & LIFE SAFETY CONTRACTOR TO LOCATE ALL SPRINKLER HEADS AS REQUIRED TO CONFORM TO ALL NEW LIGHT FIXTURE/HVAC & PARTITION LAYOUTS AND TO MEET ALL APPLICABLE CODES. FIELD VERIFY PRIOR TO COMMENCEMENT OF WORK. (SUBMIT SHOP DRAWINGS TO ARCHITECT)
4. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND THE TENANT IMMEDIATELY SHOULD UNUSUAL CONDITIONS BE ENCOUNTERED, WHICH PREVENT CEILING AND CEILING FIXTURE INSTALLATION AS CALLED FOR ON THE DRAWINGS.
5. VERIFY ALL EMERGENCY LIGHTING LOCATIONS WITH CITY CODE OFFICIALS.
6. CEILING HEIGHT IS 9'-0" UNLESS NOTED OTHERWISE ON THE DRAWINGS. CONFIRM ON SITE THAT THIS WILL PROVIDE ADEQUATE CLEARANCE FOR LIGHT FIXTURE AND HVAC EQUIPMENT.

CEILING PLAN SYMBOLS & FIXTURE SCHEDULE

ACT 1 2x2 ACOUSTICAL TILE/GRID
TILE: USG MILLENNIA 2' X 2' X 3/4" - FLB EDGE
GRID: USG CENTRICITY 2' X 2' X 9/16" - FLAT WHITE
TRIM: USG COMPASSO 4" FLAT WHITE

CEILING PLAN SYMBOLS & FIXTURE SCHEDULE

- A BUILDING STANDARD FLUORESCENT FIXTURE
- B RECESSED INCANDESCENT DOWN LIGHT
- C RECESSED HALOGEN ACCENT LIGHT
- D RECESSED HALOGEN ACCENT LIGHT
- F HALOGEN EMERGENCY LIGHT
- H RECESSED HALOGEN ACCENT LIGHT
- W WALL MOUNTED HALOGEN TRACK LIGHT
- S SWITCH
- D DIMMER SWITCH



SECTION THRU VALENCE
Scale: 1 1/2" = 1'-0"

LIGHTING FIXTURE SCHEDULE

ENG. TYPE	ARCH. TYPE	MANUFACTURER	FIXTURE DESCRIPTION	CATALOG NUMBER	VOLT	LAMPS	REMARKS
A	LITHONIA	2x4 FLUORESCENT 3-LAMP PARALLEL LEVER IN CELL, ELECTRONIC BALLAST			277	3x 32 W 10 SP300 FLUORESCENT	RECEIVED - NOTE 4
B	LITON	4" LOW VOLTAGE RECESSED INCANDESCENT DOWN LIGHT, 7 1/4" HOUSING HEIGHT, 150 W MAX.	HOUSING LH 307 TRIM LR 307	120	120	75W PAR LAMP	RECEIVED - NOTE 4
C	LITON	4" LOW VOLTAGE HALOGEN ACCENT LIGHT, 3 1/2" HOUSING HEIGHT, 50W MAX.	HOUSING LH 1499 TRIM LR 1497	120	120	50W MR16 FL	RECEIVED - NOTE 1 & 2
D	LITON	4" LOW VOLTAGE HALOGEN ACCENT LIGHT, 5 1/2" HOUSING HEIGHT, 50W MAX.	HOUSING LH 1499 TRIM LR 1497	120	120	50W MR16 RSP	RECEIVED - NOTE 1 & 2
F	EMER-LITE	RECESSED EMERGENCY LIGHT	EVR-20-13-C	120	120	2x 50 W MR16 WFL	RECEIVED
G	EMER-LITE	EXIT LIGHT	V-LS-1-10C BLANK-C-1	120	120	RECESSED NORMAL	RECEIVED
H	LITON	2" LOW VOLTAGE HALOGEN ACCENT LIGHT, 4 3/4" HOUSING HEIGHT, 50W MAX.	HOUSING LH 1399 TRIM LR 1399V	120	120	50W MR16 WFL	RECEIVED - NOTE 1 & 2
J	LINE CABLE	LOW VOLTAGE HALOGEN TRACK LITE ON WALL MOUNTED TRACK	ARMON SYSTEM - REFER TO NOTE 6 FOR DETAILED SPEC.	120	120	50W MR16 WFL	RECEIVED - NOTE 2 & 3

OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY
THE FOLLOWING:

DATE: February 17, 2003
PROJECT NO: 05-703
DRAWN BY: [Signature]
CHECKED BY: [Signature]
DATE: [Signature]
DATE: [Signature]

International Design Partnership Incorporated
30 W. Mashla Drive
Key Biscayne, FL 33149
Tel: 305.265.8378 Fax: 305.265.8379

No.	Issue	Date
01	SET	03 28 03

CLIENT APPROVAL
I have reviewed these plans and have been given the opportunity to ask questions about them prior to issue. These plans conform to our requirements. I understand that any modifications to these plans will be an additional service with potential impact on construction cost and scheduling.

ACCEPTED AS IS
 ACCEPTED AS NOTED

Signature: _____ Date: _____

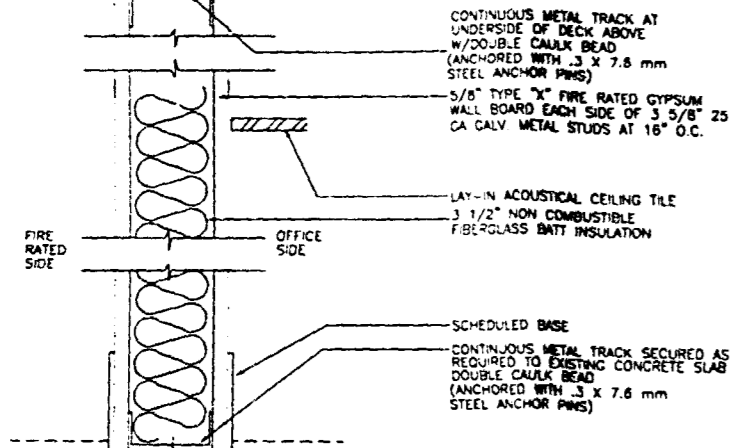
Architect of Record:
Charles Myers
State of Florida
Registration #
AR0014548

LATIN AMERICAN NETWORK
5th FLOOR
ATLANTIC CENTER
119 WASHINGTON AVENUE
MIAMI BEACH, FL 33139

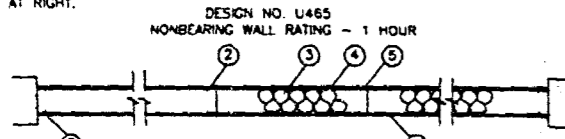
Owner: BLUE CORP. LLC
1077 LINCOLN ROAD S.W.
MIAMI BEACH, FL 33136
Contact: NORA DIAZ tel: 305 673 1636

REFLECTED CEILING PLAN
Scale: 1/4" = 1'-0"

Sheet Number:
A2-5



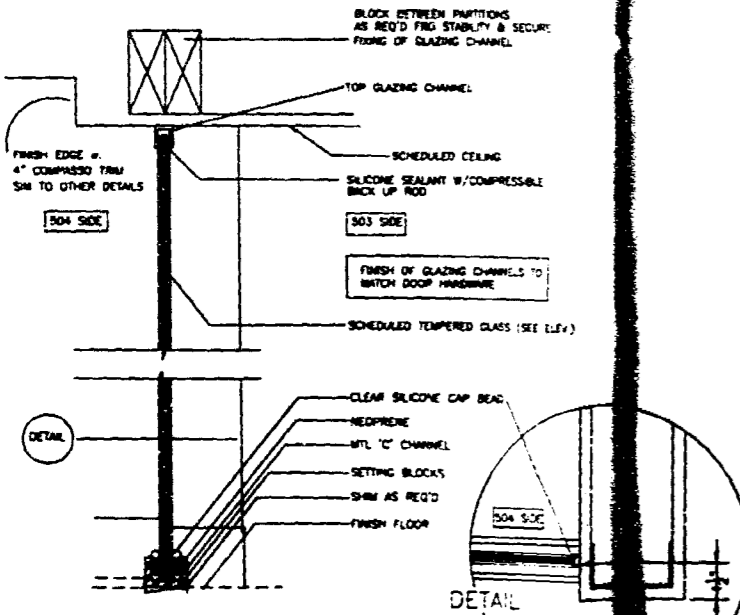
MATERIALS AND INSTALLATION OF ONE HOUR PARTITION (S) TO SATISFY ALL REQUIREMENTS OF UNDERWRITER'S LABORATORY DESIGN NO. U465 INCLUDED AT RIGHT.



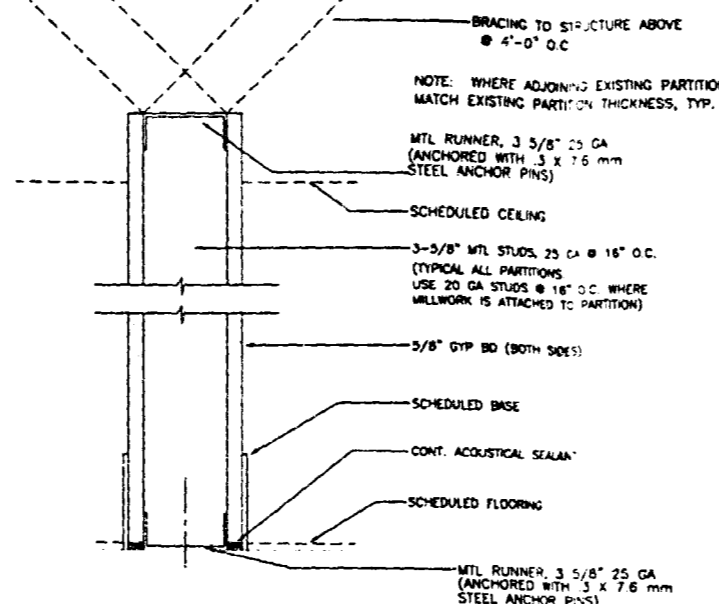
- FLOOR & CEILING RUNNER - (NOT SHOWN) - 25 MSG (MIN) GALV STEEL 1 IN. HIGH RETURN LEGS 3-5/8 IN. WIDE (MIN), ATTACHED TO FLOOR AND CEILING WITH FASTENERS 24 IN. O.C.
- STEEL STUDS - 3-5/8 IN. WIDE (MIN), 1-1/4 IN. LEGS, 3/8 IN. RETURN, FORMED OF 25 MSG (MIN) GALV STEEL MAX STUD SPACING 24 IN. O.C.
- BATTS AND BLANKETS - MINERAL WOOL OR GLASS FIBER BATTS OR COMPLETELY FILLING STUD CAVITY. SEE BATTS AND BLANKETS (BZJZ) CATEGORY FOR NAMES OF CLASSIFIED COMPANIES.
- WALLBOARD, GYPSUM - 5/8 IN. THICK, 4 FT. WIDE, ATTACHED TO STEEL STUDS AND FLOOR AND CEILING TRACK WITH 1 IN. LONG, TYPE 'S' SELF-TAPPING STEEL SCREWS SPACED 8 IN. O.C. ALONG EDGES OF BOARD AND 12 IN. O.C. IN THE FIELD OF THE BOARD. JOINTS ORIENTED VERTICALLY AND STAGGERED ON OPPOSITE SIDE OF THE ASSEMBLY. CANADIAN GYPSUM CO., LTD. - TYPES C, SCX, SHX, WRX. GEORGIA - PACIFIC CORP. - GYPSUM DIV. - TYPE GYPS-C. PASCO GYPSUM CO. - TYPE PG-C. U.S. GYPSUM CO. - TYPES C, FCV, PX2, SCX, SHX, WRC OR WRX.
- JOINT TAPE AND COMPOUND - VINYL DRY OR PREMIXED JOINT COMPOUND, APPLIED IN TWO COATS TO JOINTS AND SCREW HEADS; PAPER TAPE, 2 IN. WIDE, EMBEDDED IN FIRST LAYER OF COMPOUND OVER ALL JOINTS. AS AN ALTERNATE, NOMINAL 1/2 IN. THICK GYPSUM VENEER PLASTER MAY BE APPLIED TO THE ENTIRE SURFACE OF CLASSIFIED VENEER BASEBOARD. JOINTS REINFORCED.

1 PARTITION TYPE '1' FULL HT. DEMISING WALL
Scale: 3/4"=1'-0"

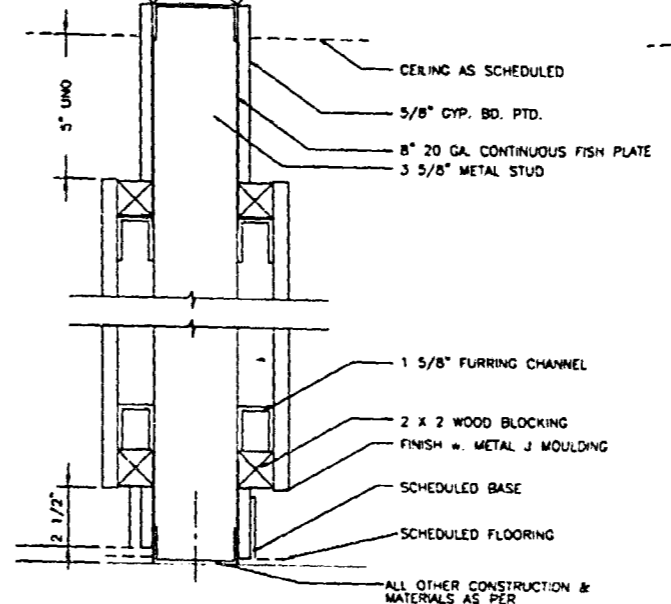
JOINT SYSTEM TO BE UL #HWS0009 FOR 1 HOUR RATED WALLS



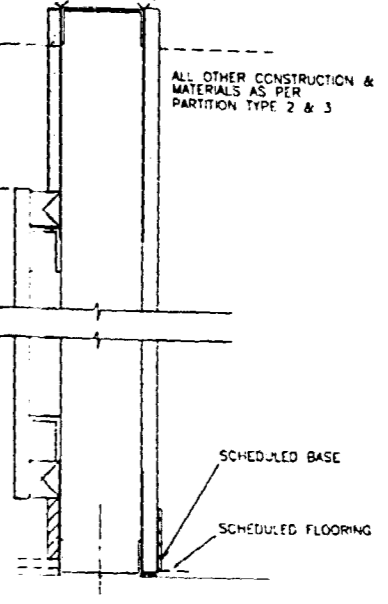
7 PARTITION TYPE 5 INTERIOR GLAZING
Scale: 3/4"=1'-0"



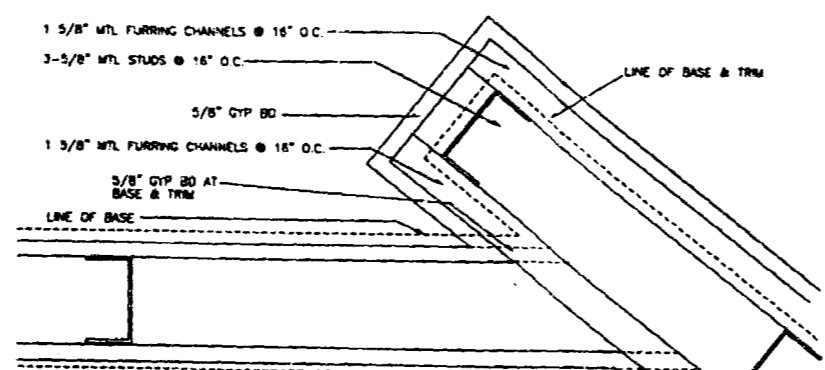
2 PARTITION TYPE '2' TYPICAL INTERIOR PARTITION
Scale: 3/4"=1'-0"



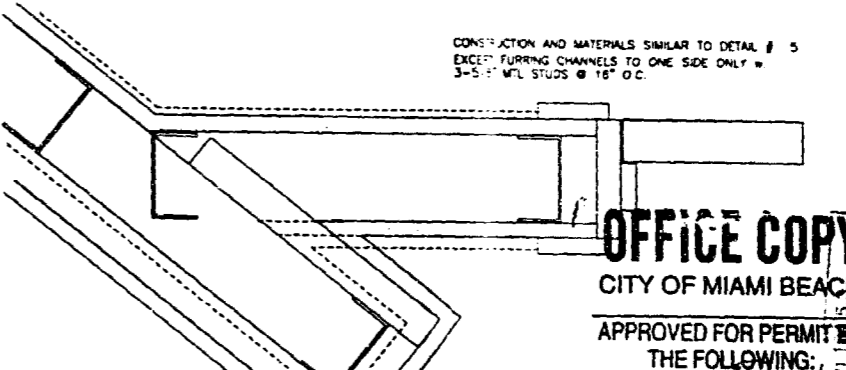
3 PARTITION TYPE '3'
Scale: 3/4"=1'-0"



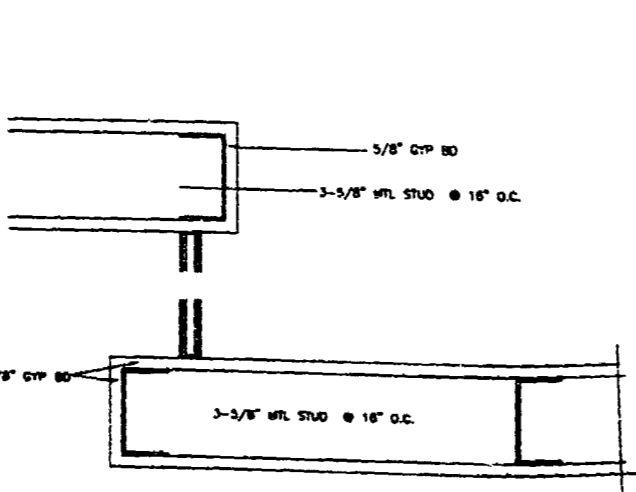
4 PARTITION TYPE '4'
Scale: 3/4"=1'-0"



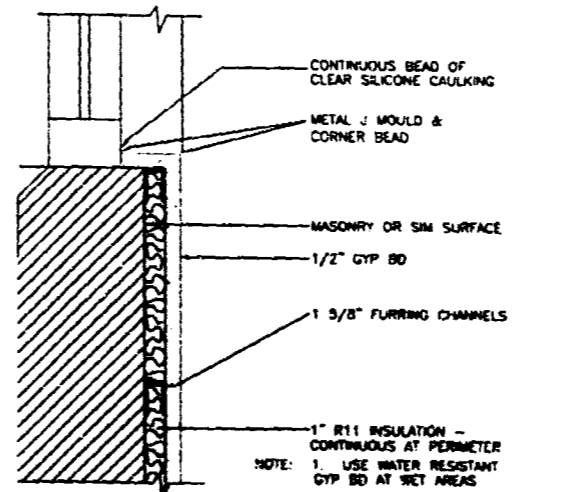
5 HORIZONTAL SECTION
Scale: 3/4"=1'-0"



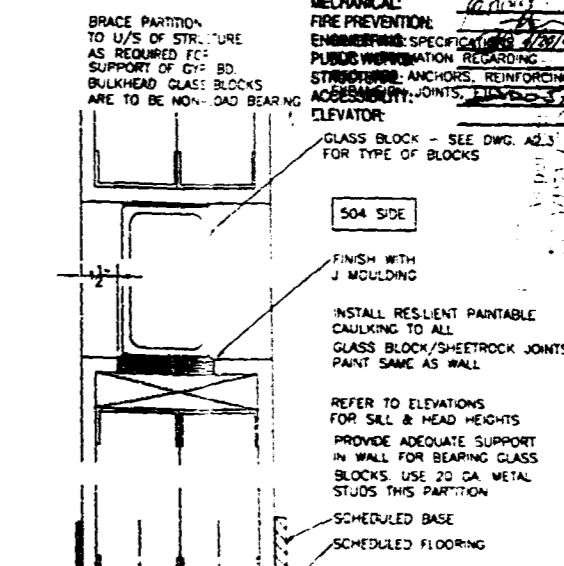
6 HORIZONTAL SECTION
Scale: 3/4"=1'-0"



8 HORIZONTAL SECTION THRU WALLS AT GLAZING
Scale: 3/4"=1'-0"



9 PARTITION TYPE '6' TYPICAL AT PERIMETER
Scale: 3/4"=1'-0"



10 PARTITION TYPE '7' - w. GLASS BLOCK
Scale: 3/4"=1'-0"

International Design Partnership Incorporated
30 W. Mashta Drive
Key Biscayne, FL 33149
Tel: 305.365.8758; Fax: 305.365.9339

No.	Issue	Date
BD SET		03 28 03
PERMIT SET	04 08 03	

CLIENT APPROVAL
I have reviewed these plans and have been given the opportunity to ask questions about them prior to issue. These plans conform to our requirements. I understand that any modifications to these plans will be an additional service with potential impact on construction cost and scheduling.

ACCEPTED AS IS
 ACCEPTED AS NOTED

Signature: _____ Date: _____

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CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY THE FOLLOWING:
BUILDING: _____
PLUMBING: _____
ELECTRICAL: _____
MECHANICAL: _____
FIRE PREVENTION: _____
ENGINEERING: SPECIFICALLY _____
PUBLIC INFORMATION REGARDING: _____
STRUCTURAL: ANCHORS, REINFORCING ACCESSIBILITY, JOINTS, _____
ELEVATOR: _____

Architect of Record:
Charles Myers
State of Florida
Registration # AR0014546

LATIN AMERICAN NETWORK
5th FLOOR
ATLANTIC CENTER
119 WASHINGTON AVENUE
MIAMI BEACH, FL 33139

Owner: **SLAVE CONCEPTS**
477 LINCOLN ROAD S.E.
MIAMI BEACH, FL 33136

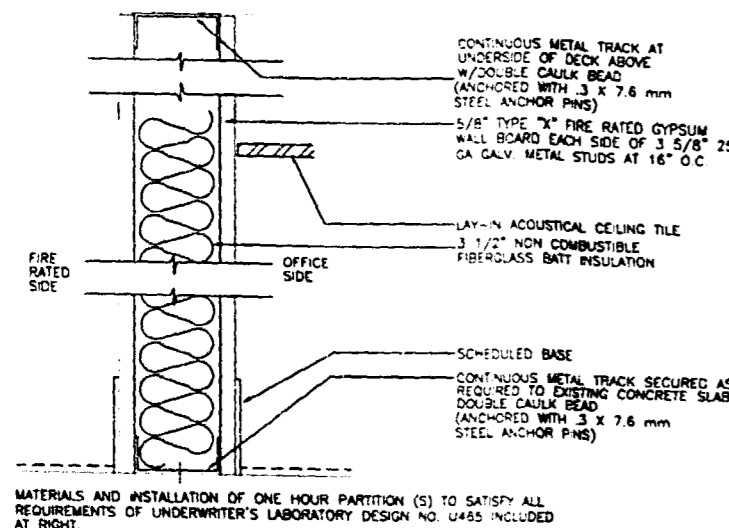
Contact: **MORA DIAZ** tel: 305 873 1636

Date: February 17, 2003
Project No: 2156
Drawn By: LAY
Checked By: M. COO
CAD File: C:\p\lay\latin\latin network\latin network.dwg

PARTITION DETAILS

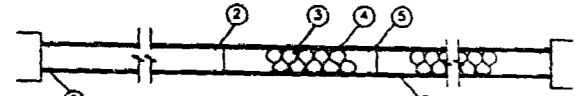
Scale: 1/4" = 1'-0" UNO
Sheet Number:

A2-6



MATERIALS AND INSTALLATION OF ONE HOUR PARTITION (5) TO SATISFY ALL REQUIREMENTS OF UNDERWRITER'S LABORATORY DESIGN NO. U465 INCLUDED AT RIGHT.

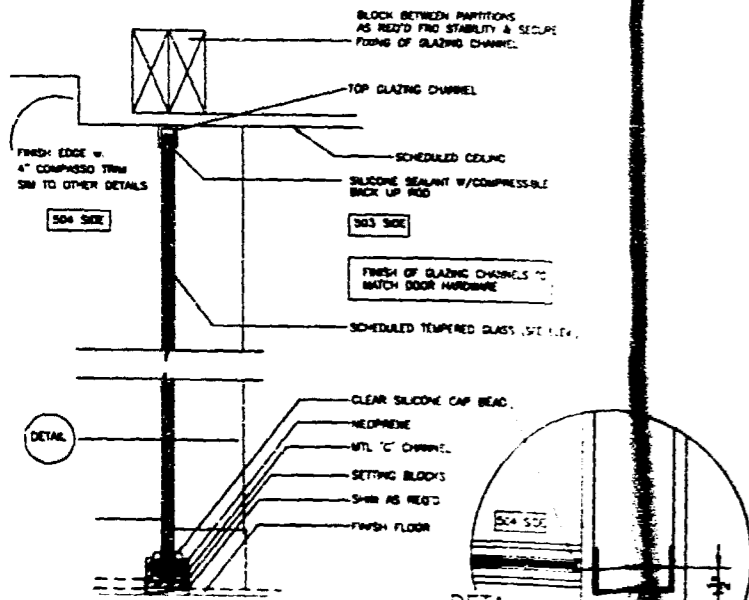
DESIGN NO. U465 NONBEARING WALL RATING - 1 HOUR



- FLOOR & CEILING RUNNER - (NOT SHOWN) - 25 MSG (MIN) GALV STEEL 1 IN. HIGH RETURN LEGS 3-5/8 IN. WIDE (MIN), ATTACHED TO FLOOR AND CEILING WITH FASTENERS 24 IN. O.C.
- STEEL STUDS - 3-5/8 IN. WIDE (MIN), 1-1/4 IN. LEGS, 3/8 IN. RETURN, FORMED OF 25 MSG (MIN) GALV STEEL MAX STUD SPACING 24 IN. O.C.
- BATTS AND BLANKETS - MINERAL WOOL OR GLASS FIBER BATTS OR COMPLETELY FILLING STUD CAVITY. SEE BATTS AND BLANKETS (S242) CATEGORY FOR NAMES OF CLASSIFIED COMPANIES.
- WALLBOARD, GYPSUM - 5/8 IN. THICK, 4 FT. WIDE, ATTACHED TO STEEL STUDS AND FLOOR AND CEILING TRACK WITH 1 IN. LONG, TYPE "S" SELF-TAPPING STEEL SCREWS SPACED 8 IN. O.C. ALONG EDGES OF BOARD AND 12 IN. O.C. IN THE FIELD OF THE BOARD. JOINTS ORIENTED VERTICALLY AND STAGGERED ON OPPOSITE SIDE OF THE ASSEMBLY. CANADIAN GYPSUM CO. LTD. - TYPES C, SC, SH, WRX. GEORGIA - PACIFIC CORP., GYPSUM DIV. - TYPE GFS-C. PACIFIC GYPSUM CO. - TYPE PG-C. U.S. GYPSUM CO. - TYPES C, FCV, PK2, SCX, SHX, WRC OR WRX
- JOINT TAPE AND COMPOUND - VINYL DRY OR PREMIXED JOINT COMPOUND, APPLIED IN TWO COATS TO JOINTS AND SCREW HEADS; PAPER TAPE, 2 IN. WIDE EMBEDDED IN FIRST LAYER OF COMPOUND OVER ALL JOINTS AS AN ALTERNATE. NOMINALLY 1/32 IN. THICK GYPSUM VENEER PLASTER MAY BE APPLIED TO THE ENTIRE SURFACE OF VENEER BASEBOARD. JOINTS REINFORCED.

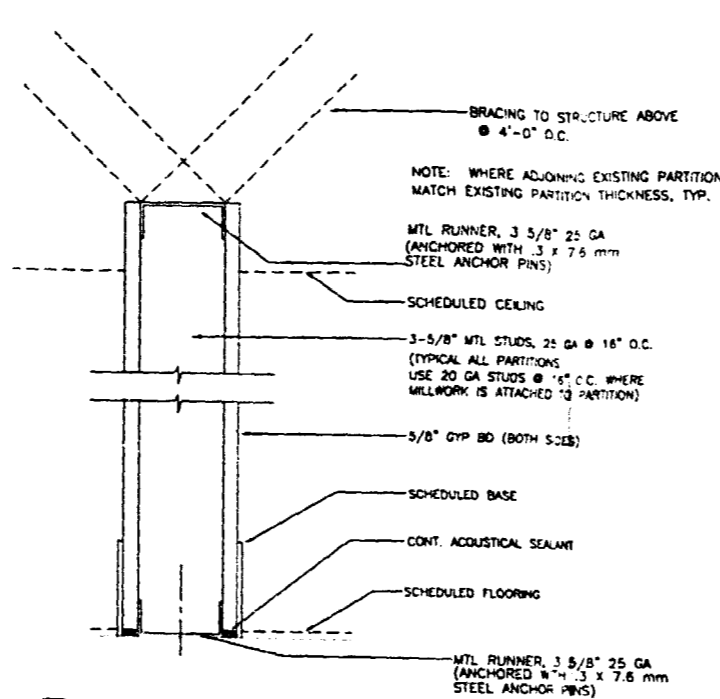
1 PARTITION TYPE '1' FULL HT. DEMISING WALL

scale: 3/8"=1'-0"



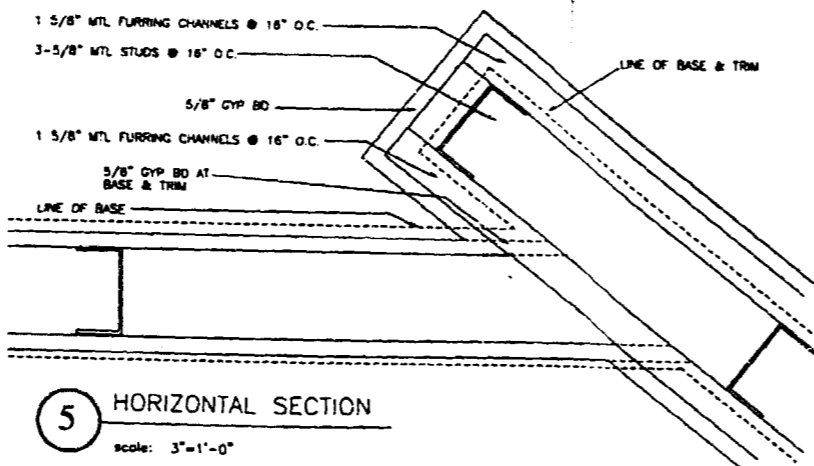
7 PARTITION TYPE 5 INTERIOR GLAZING

scale: 3/8"=1'-0"



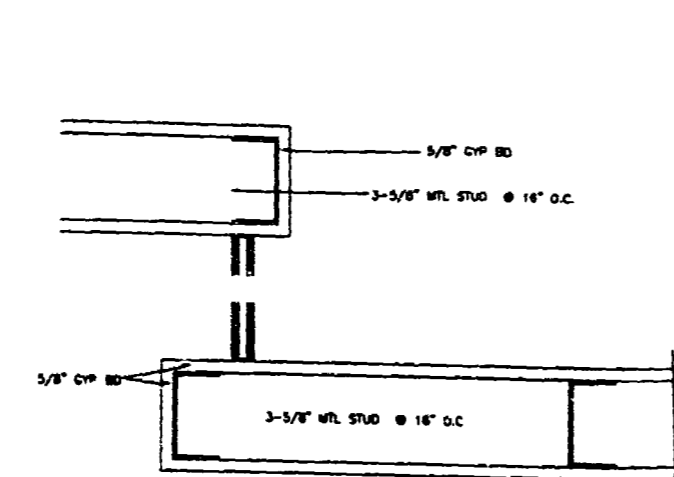
2 PARTITION TYPE '2' TYPICAL INTERIOR PARTITION

scale: 3/8"=1'-0"



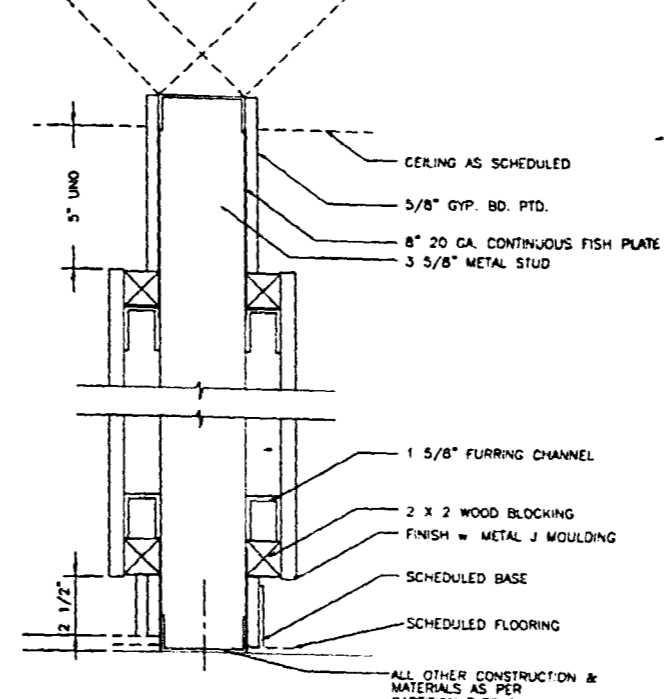
5 HORIZONTAL SECTION

scale: 3/8"=1'-0"



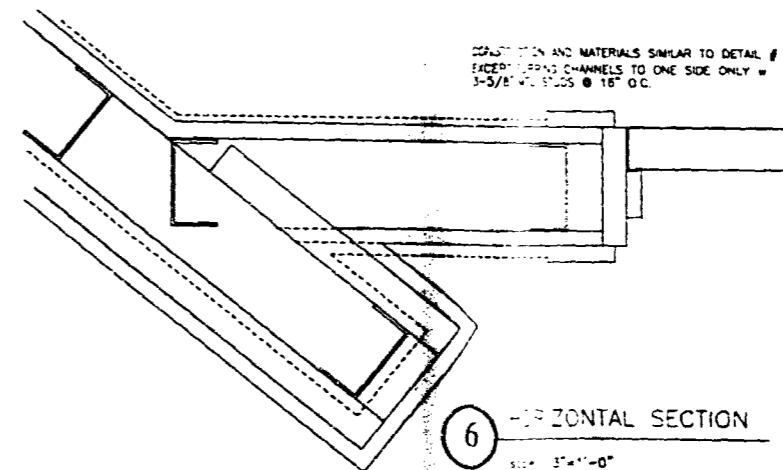
8 HORIZONTAL SECTION THRU WALLS AT GLAZING

scale: 3/8"=1'-0"



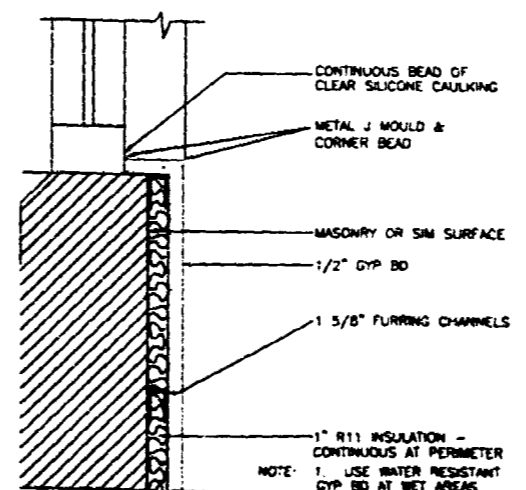
3 PARTITION TYPE '3'

scale: 3/8"=1'-0"



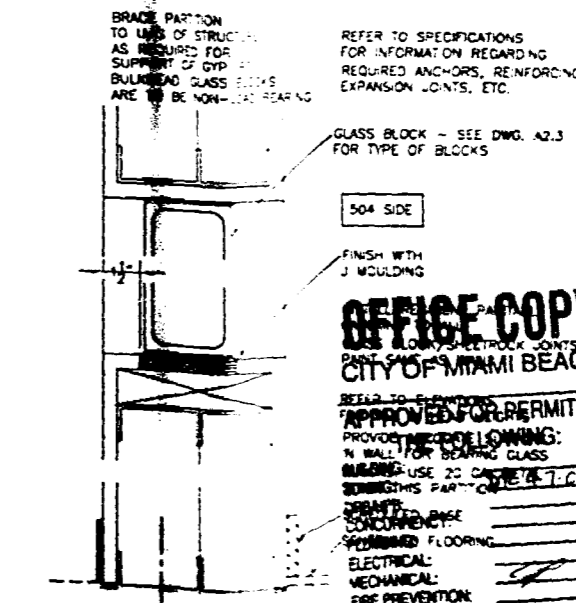
6 HORIZONTAL SECTION

scale: 3/8"=1'-0"



9 PARTITION TYPE '6' TYPICAL AT PERIMETER

scale: 3/8"=1'-0"



10 PARTITION TYPE '6'

scale: 3/8"=1'-0"

International Design Partnership Incorporated

30 W. Main Drive
Key Biscayne, FL 33149
Tel: 305 253 8333 Fax: 305 253 8339

No.	Date	By
BD SET	03 28 03	

CLIENT APPROVAL

I have reviewed these plans and have been given the opportunity to ask questions about them prior to issue. These plans conform to our requirements. I understand that any modifications to these plans will be an additional service with potential impact on construction cost and scheduling.

ACCEPTED AS IS
ACCEPTED AS NOTED

Signature _____ Date _____

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Architect of Record
Charles Myers

State of Florida
Registration #
AR0014546

LATIN AMERICAN NETWORK

5th FLOOR
ATLANTIC CENTER
119 WASHINGTON AVENUE
MIAMI BEACH, FL 33139

Owner: BLAZE CONCRETE LLC
407 LINCOLN ROAD # 2
MIAMI BEACH, FL 33139

Contact: MORA DIAZ Tel: 305 673 1636

Date: February 17, 2003
Project No: 2156
Drawn By: LAW
Checked By: W. CM
CAD File: C:\p\2156\1\mora diaz\internat\mora diaz.dwg

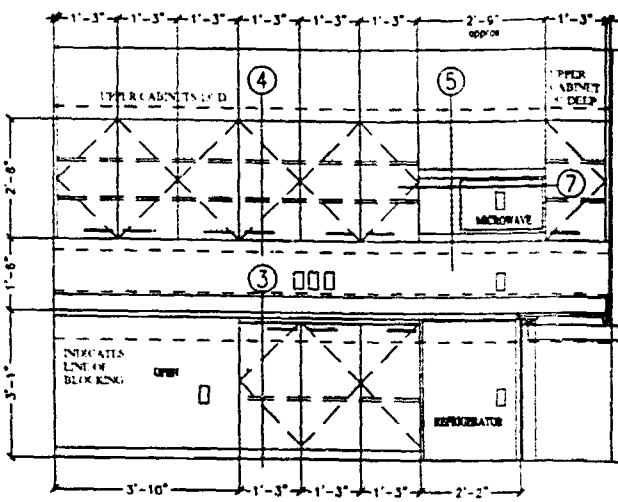
PARTITION DETAILS

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Sheet Number
A2-6

OFFICE COPY
CITY OF MIAMI BEACH

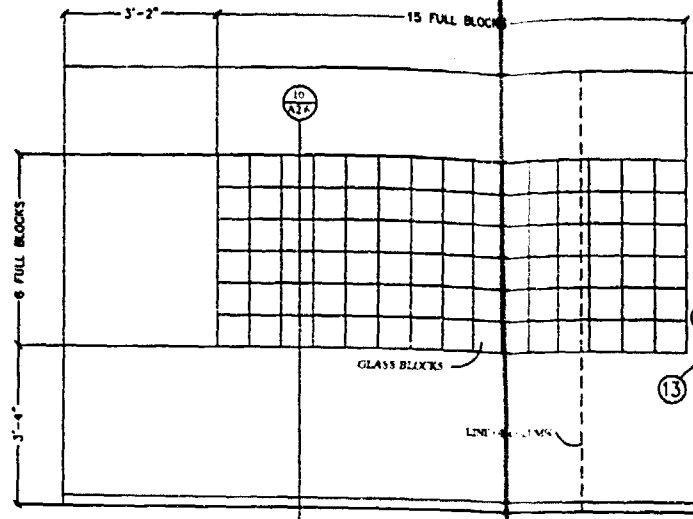
APPROVED FOR PERMIT BY:
PROVIDE FOLLOWING:
1. WALL FOR SETTING GLASS
2. USE 20 GA. STUDS @ 14" O.C.
3. SUBMITTALS PER PLAN SHEET 47-033

PERMIT TO BASE CONCRETE FLOORING
ELECTRICAL
MECHANICAL
FIRE PREVENTION
ENGINEERING
PUBLIC WORKS
STRUCTURAL BLOCK
ACCESSIBILITY
ELEVATOR

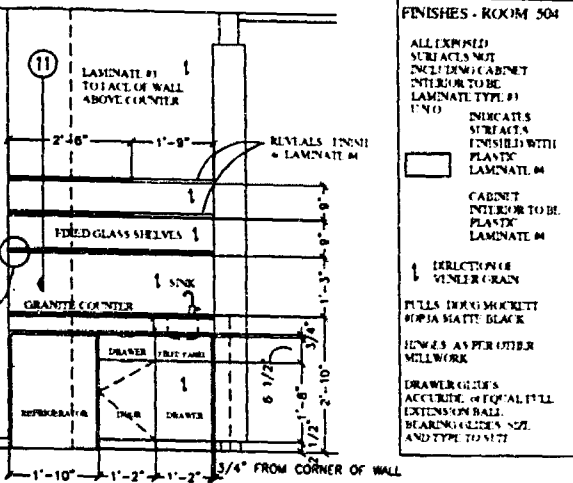


FINISHES - ROOM 507
 ALL SURFACES INCLUDING CABINET INTERIOR TO BE FINISHED WITH PLASTIC LAMINATE TYPE #1 UNO.
 INDICATES SURFACES FINISHED WITH PLASTIC LAMINATE #2.
 DOOR PULLS BY DOWNS MCKEITT ROPS 318 FINISH #3.
 DOOR HINGES BLUM OF EQUAL CONCEALED HINGES FOR OVERLAY DOORS. 135 lb gross max. OPERING ONE HINGE SPRING LOADED PER DOOR.
 ALL SHELF STANDARDS 1/2" x 3/4" x 24" WHITE. MOUNT WITH #255 8 1/2" W/1. SUPPORTS 256 ALNAT.

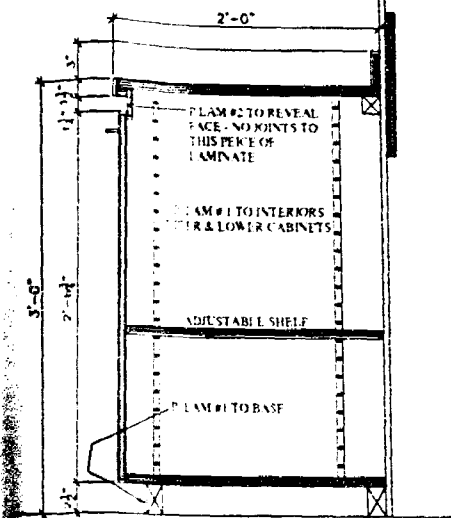
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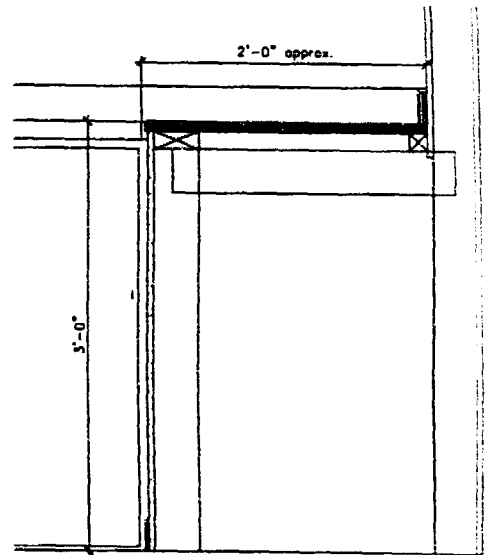
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 Scale: 1/2" = 1'-0"



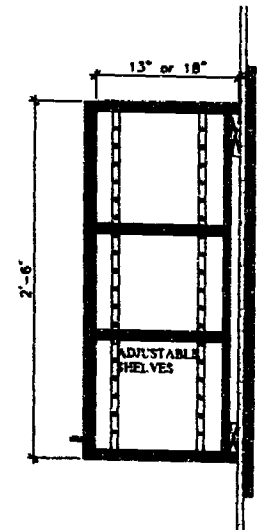
FINISHES - ROOM 504
 ALL EXPOSED SURFACES INCLUDING CABINET INTERIOR TO BE FINISHED WITH PLASTIC LAMINATE TYPE #1 UNO.
 INDICATES SURFACES FINISHED WITH PLASTIC LAMINATE #2.
 CABINET INTERIOR TO BE FINISHED WITH PLASTIC LAMINATE #2.
 DIRECTION OF VENEER GRAIN.
 PULLS DOWNS MCKEITT ROPS 318 MATTE BLACK.
 HINGES AS PER OTHER MILLWORK.
 DRAWER GLIDES ACCURATE OF EQUAL STEEL EXTENDING BALL BEARINGS 4 1/2" x 1/2" x 3/4" AND TYPE TO FIT.



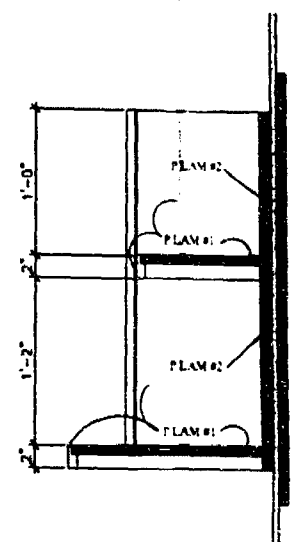
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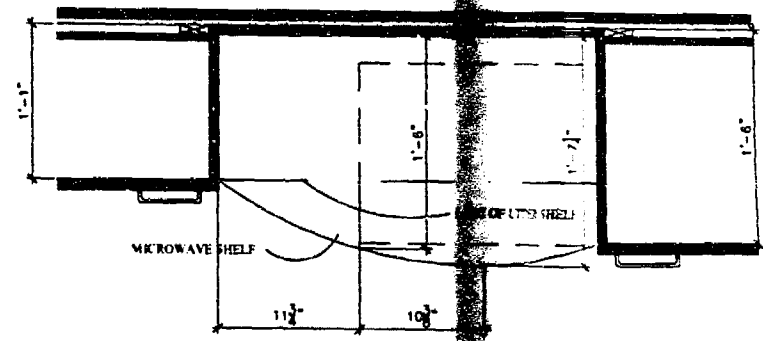
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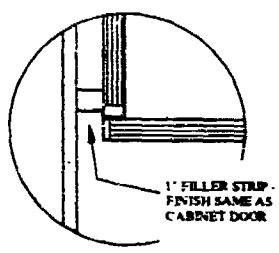
5 SECTION
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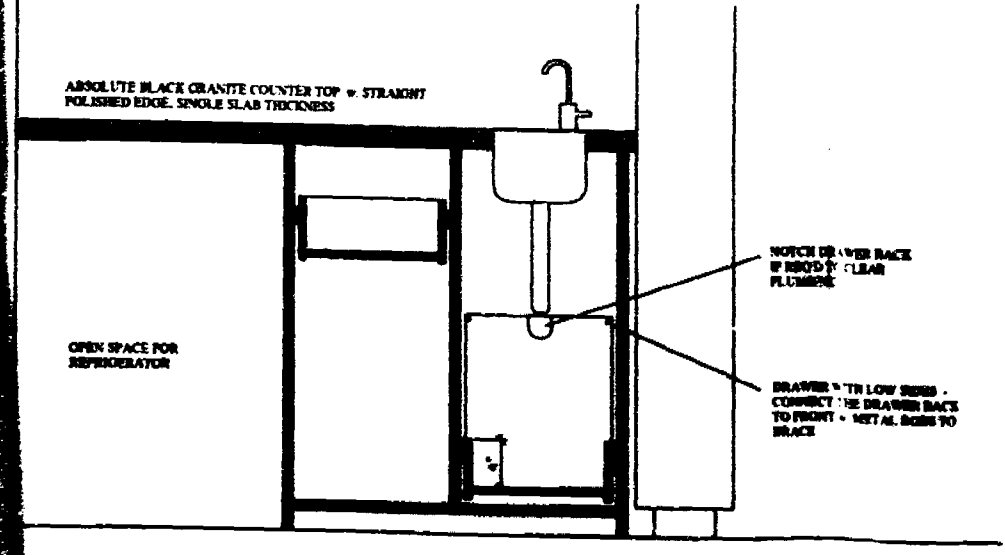
6 SECTION
 Scale: 1 1/2" = 1'-0"



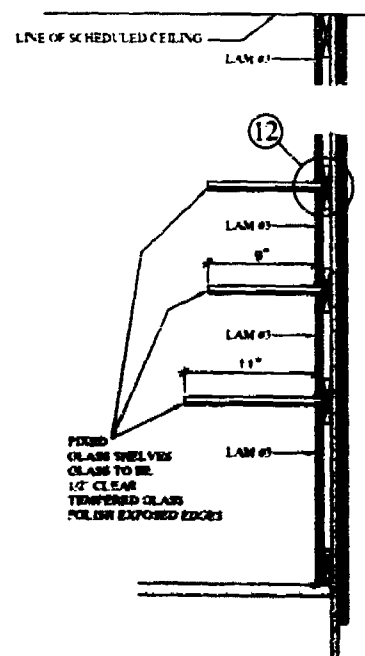
7 SECTION
 Scale: 1 1/2" = 1'-0"



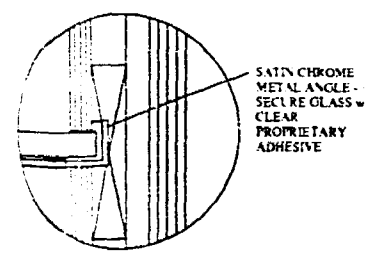
8 SECTION
 Scale: NTS



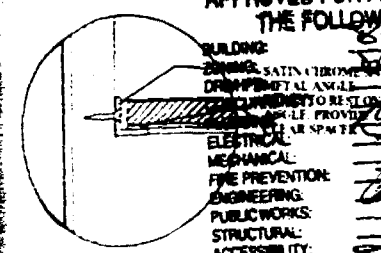
9 SECTION
 Scale: 1 1/2" = 1'-0"



11 SECTION
 Scale: 1 1/2" = 1'-0"



12 DETAIL
 Scale: NTS



13 DETAIL
 Scale: NTS

International Design Partnership Incorporated
 30 W. Masdra Drive
 Key Biscayne, FL 33149
 Tel: 305.365.8338 Fax: 305.365.8339

No.	Issue	Date
BD SET		03 28 03

CLIENT APPROVAL
 I have reviewed these plans and have been given the opportunity to ask questions about them prior to issue. These plans conform to our requirements. I understand that any modifications to these plans will be an additional service with potential impact on construction cost and scheduling.

ACCEPTED AS IS
 ACCEPTED AS NOTED

Signature: _____ Date: _____

Architect of Record
Charles Myers
 State of Florida
 Registration #
 AR0014546

LATIN AMERICAN NETWORK
 5th FLOOR
 ATLANTIC CENTER
 119 WASHINGTON AVENUE
 MIAMI BEACH, FL 33139

OFFICE COPY
 CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY THE FOLLOWING:
6/2/03

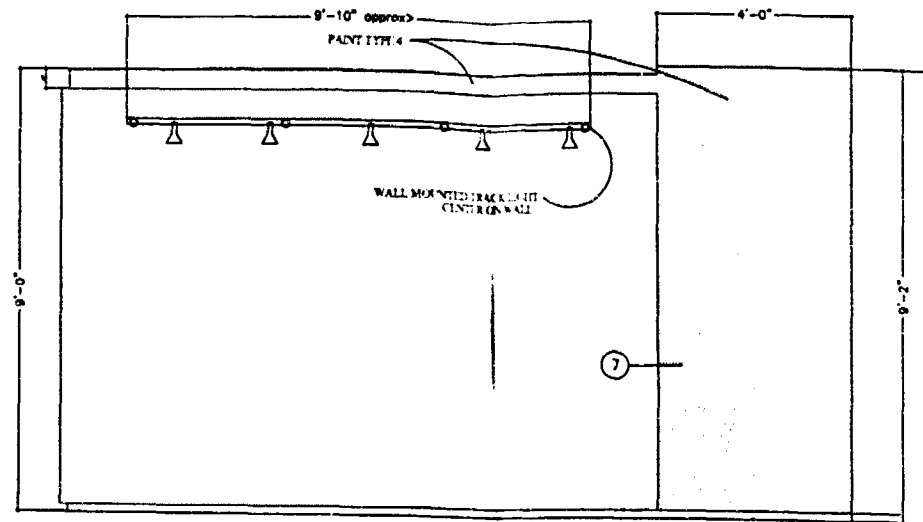
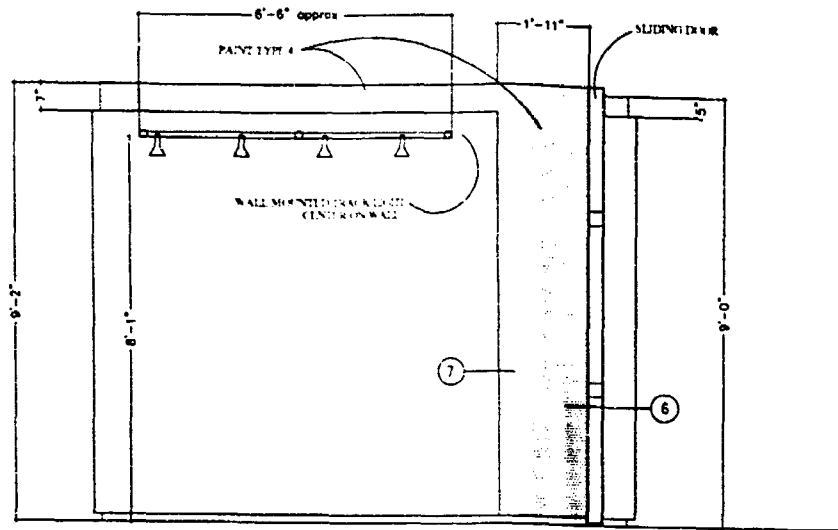
ELECTRICAL
MECHANICAL
FIRE PREVENTION
ENGINEERING
PUBLIC WORKS
STRUCTURAL
ACCESSIBILITY
ELEVATOR

Owner: BLUE CONYER LLC
 407 LINCOLN ROAD S W
 MIAMI BEACH, FL 33139
 Contact: MORA DIAZ tel: 305 673 1838

Date: February 17, 2003
 Project No: 2155
 Drawn By: LAW
 Checked By: M. CH
 Scale: 1/4" = 1'-0" UNO

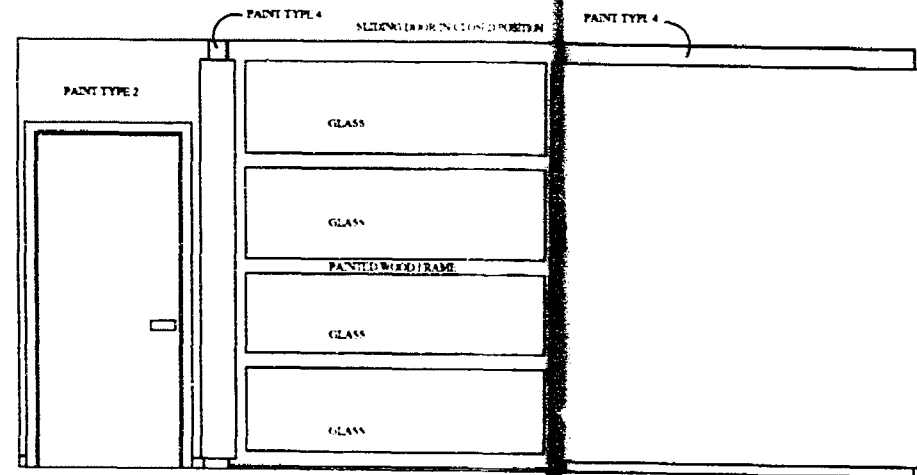
ELEVATIONS & DETAILS

Sheet Number:
A2-7

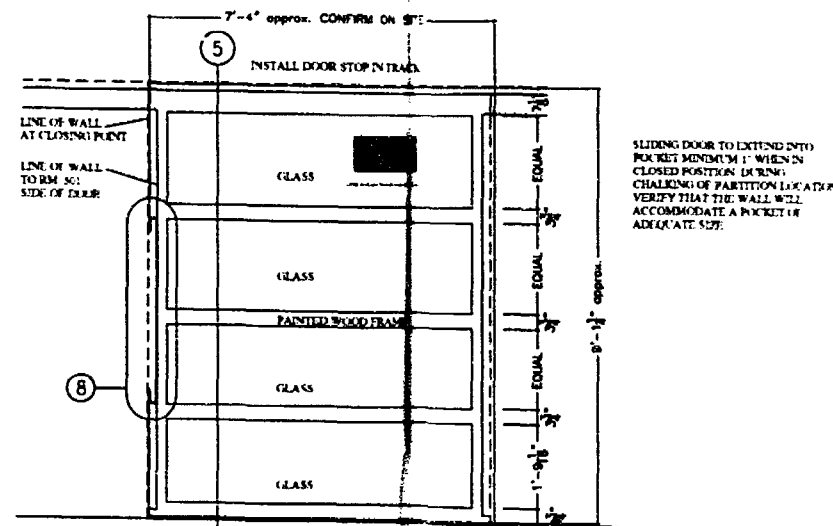


1 ELEVATION
Scale: 1/2" = 1'-0"

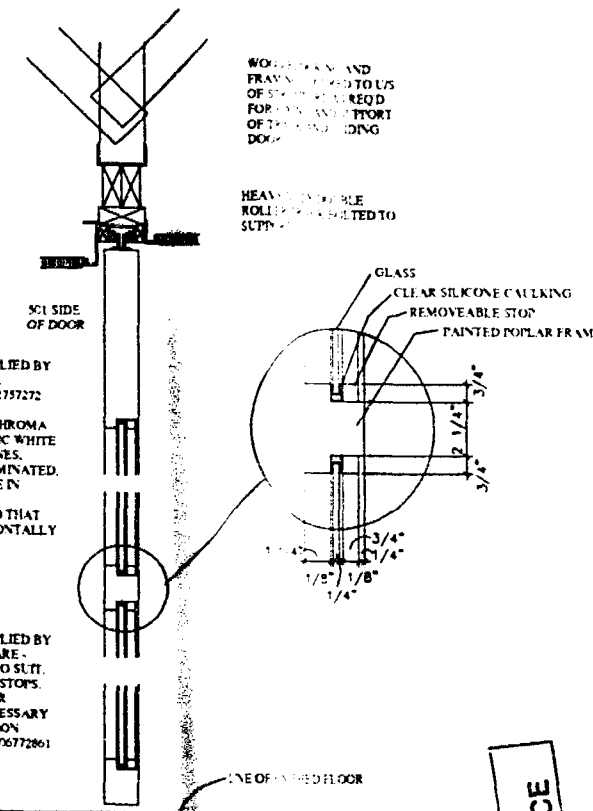
2 ELEVATION
Scale: 1/2" = 1'-0"



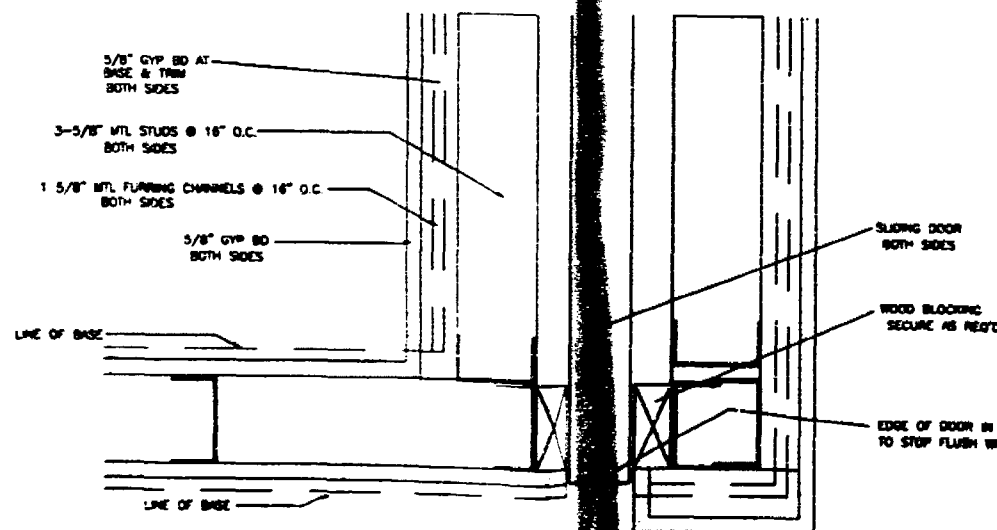
3 ELEVATION
Scale: 1/2" = 1'-0"



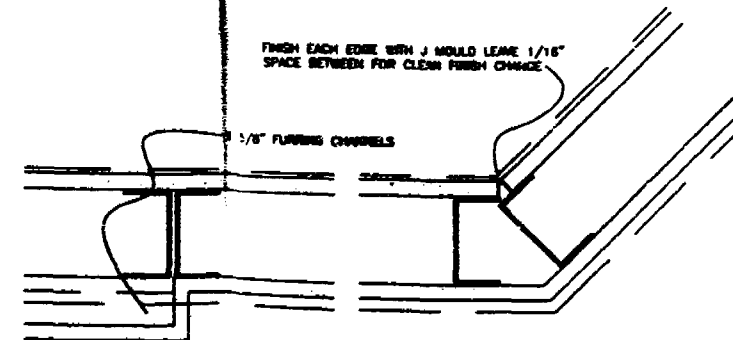
4 ELEVATION OF SLIDING DOOR
Scale: 1/2" = 1'-0"



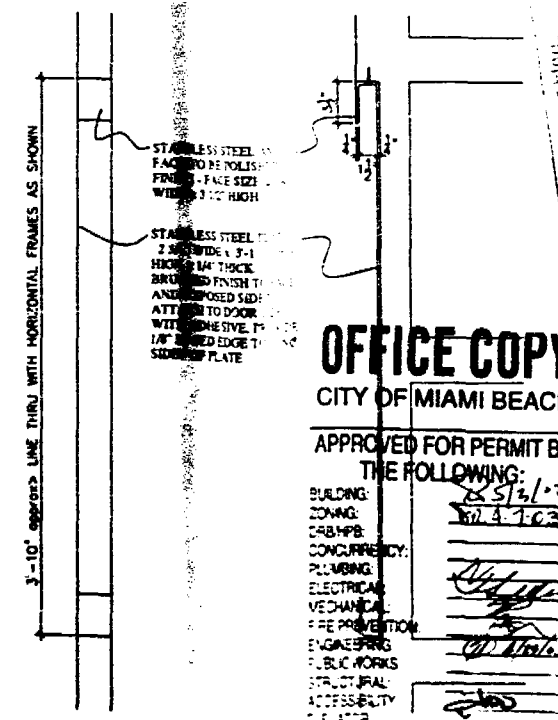
5 SECTION THRU SLIDING DOOR
Scale: 1/2" = 1'-0"



6 HORIZONTAL SECTION
Scale: 3" = 1'-0"



7 HORIZONTAL SECTION
Scale: 3" = 1'-0"



8 DETAIL
Scale: 1 1/2" = 1'-0"

International Design Partnership Incorporated
30 W. Masha Drive
Key Biscayne, FL 33149
Tel: 305.555.8325, Fax: 305.555.8339

No.	Issue	Date
BD SET		03 28 03

CLIENT APPROVAL
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 ACCEPTED AS IS
 ACCEPTED AS NOTED
Signature: _____ Date: _____

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Architect of Record:
Charles Myers
State of Florida
Registration # AR0014546

LATIN AMERICAN NETWORK
5th FLOOR
ATLANTIC CENTER
119 WASHINGTON AVENUE
MIAMI BEACH, FL 33139

Owner: BLUE COMET LLC
607 LINDALEY ROAD # 8
MIAMI BEACH, FL 33139
Contact: ROSA DIAZ tel: 305 873 1638

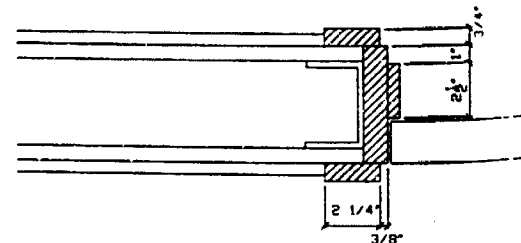
Date: February 17, 2003
Project No: 2155
Drawn By: LAM
Checked By: br, cm
CBD No: C:\cmy\latin\latin network\drawing\A2-8.dwg

ELEVATIONS & DETAILS
Scale: 1/4" = 1'-0" U.S.G.

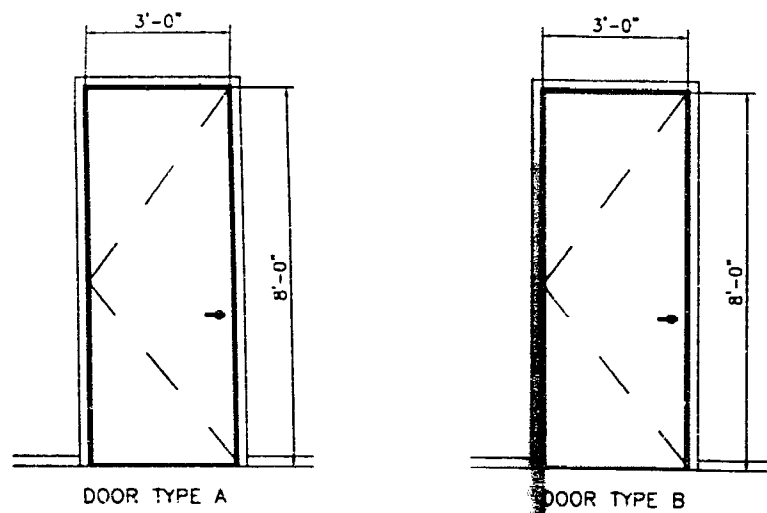
Sheet Number:
A2-8

SECTION 10453
AS PER CODE COMPLY
REVIEWED

DOOR SCHEDULE													
DOOR NO	ROOM NO	LOCATION	LABEL	DOOR				FRAME		HOURS SET	REMARKS		
				TYPE	MATERIAL	FINISH	WIDTH	HEIGHT	THICK			MATERIAL	FINISH
01	501	RECEPTION/ENTRY	MINUTE	B	WD		3'-0"	8'-0"	1 3/4"	MTL	PT 2	2	EXISTING DOOR AND HARDWARE TO REMAIN, REFINISH FRAME TO TENANT SIDE ONLY
02	502	EQUIPMENT ROOM		A	WD	PT	3'-0"	8'-0"	1 3/4"	WD	PT	1	
03	503	OFFICE		A	WD	PT	3'-0"	8'-0"	1 3/4"	WD	PT	1	
04	505A	SO-BACKERY	EXISTING DOOR TO REMAIN										EXISTING DOOR AND HARDWARE TO REMAIN, KEY ALIKE WITH ENTRY DOOR.
05	508	OFFICE		A	WD	PT	3'-0"	8'-0"	1 3/4"	WD	PT	1	
06	501	RECEPTION/HALLWAY			WD	PT	*	*	*			*	REFER TO DRAWING DETAILS FOR CONSTRUCTION AND HARDWARE INFORMATION



1 TYPICAL INTERIOR DOOR & FRAME
Scale: 3" = 1'-0"



DOOR SCHEDULE NOTES:

- ALL NEW DOORS & HARDWARE ARE TO COMPLY WITH SECTION 5-2.1.3 OF THE N.F.P.A. 101 LIFE SAFETY CODE HANDBOOK.
- KEYING FOR HARDWARE IS TO BE COORDINATED WITH BUILDING OWNER AND ENGINEER FOR COMPLIANCE AND ACCESS BY ENGINEERING SECURITY AND FIRE DEPARTMENT.
- FINISH OF ANY NEW HARDWARE USED TO BE SATIN CHROME OR BRUSHED STAINLESS STEEL OR NATURAL ALUMINUM AS INDICATED IN SETS - UNO.
- ANY DOORS WITH CARD READERS SHALL UNLOCK AUTOMATICALLY WHEN FIRE ALARM IS ACTIVATED (FAIL SAFE).
- DOOR AND FRAME TYPE 'A', TYPICAL INTERIOR DOOR - WOOD FRAME AND SOLID CORE PAINT GRADE ARCHITECTURAL DOOR.
- DOOR AND FRAME 'B' BUILDING STANDARD ENTRANCE DOOR CURRENTLY IN PLACE TO REMAIN AS EXISTING TOUCH UP WITH CLEAR COAT AND PAINT IF REQUIRED.

HARDWARE

NO.	QTY	DESCRIPTION	FINISH	MANUFACTURER
(1)	2 PR	BUTT HINGES	BRUSHED STAINLESS	HAGER BB1191
	1	FLOOR STOP	SATIN STAINLESS	DOUG MOCKETT #053
	1 SET	SET SILENCERS FOUR PER DOOR	WHITE	GLYNN JOHNSON GJ-86
	1	PASSAGE SET	SATIN CHROME	OMMA #368 COMMERCIAL GRADE LEVER PASSAGE
(2)		EXISTING BUILDING STANDARD HARDWARE TO REMAIN		
		INCLUDES: 2 PR. HINGES, SURFACE MOUNTED DOOR CLOSURE, MORTISE LEVER LOCKSET		
	1	FLOOR STOP	SATIN STAINLESS	DOUG MOCKETT #053
	1 SET	SET SILENCERS FOUR PER DOOR	WHITE	GLYNN JOHNSON GJ-86

International Design Partnership Incorporated
30 W. Mashra Drive
Key Biscayne, FL 33149
Tel. 305.365.8338 Fax 305.365.8339

No.	Issue	Date
BD SET		03 28 03
PERMIT SET		04 08 03

CLIENT APPROVAL
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ACCEPTED AS IS
 ACCEPTED AS NOTED

Signature: _____ Date: _____

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Architect of Record:
Charles Myers
State of Florida
Registration #
AR0014548

LATIN AMERICAN NETWORK
5th FLOOR
ATLANTIC CENTER
119 WASHINGTON AVENUE
MIAMI BEACH, FL 33139

Owner: BLUE CONYER LLC
3677 LINCOLN ROAD S.E.
MIAMI BEACH, FL 33138
Contact: NORMA BRAZ Tel: 305 873 1058

Date: February 17, 2003
Project No: 2156
Drawn By: LAF
Checked By: tr, cm
Title Block: CIVIL ENGINEERING (Professional Seal)

DOOR SCHEDULE SPECIFICATIONS & DETAILS
Scale: 1/4" = 1'-0" B.S.D.

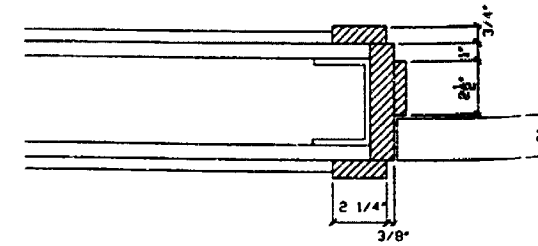
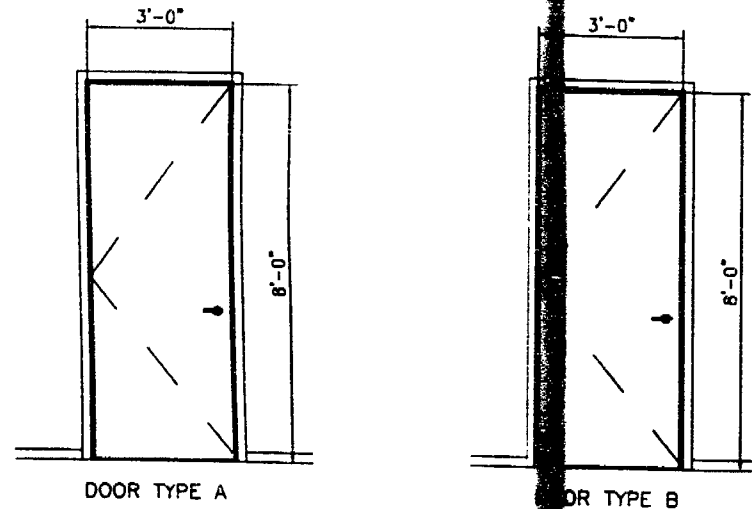
Sheet Number: A2-9.1

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:
BUILDING DEPARTMENT
CONSTRUCTION
PLUMBING
ELECTRICAL
MECHANICAL
FIRE PREVENTION
INSULATION
MATERIALS
LABORATORY

2/17/03
2/17/03
2/17/03
2/17/03
2/17/03
2/17/03
2/17/03
2/17/03
2/17/03
2/17/03

AS BUILT FOR COMPLIANCE REVIEW

DOOR SCHEDULE													
DOOR NO.	ROOM NO.	LOCATION	LABEL	DOOR						FRAME		H.WARE. SET	REMARKS
				TYPE	MATERIAL	FINISH	WIDTH	HEIGHT	THICK.	MATERIAL	FINISH		
D1	501	RECEPTION/ENTRY		B	WD		3'-0"	8'-0"	1 3/4"	MTL	PT 2	2	EXISTING DOOR AND HARDWARE TO REMAIN, REFRESH FRAME TO TENANT SIDE ONLY
D2	502	EQUIPMENT ROOM		A	WD	PT	3'-0"	8'-0"	1 3/4"	WD	PT	1	
D3	503	OFFICE		A	WD	PT 1	3'-0"	8'-0"	1 3/4"	WD	PT	1	
D4	504	TO BALCONY											EXISTING DOOR AND HARDWARE TO REMAIN, KEY ALIKE WITH ENTRY DOOR.
D5	506	OFFICE		A	WD	PT 1	3'-0"	8'-0"	1 3/4"	WD	PT	1	
D6	501	RECEPTION/HALLWAY			WD	PT 1	*	*	*			*	REFER TO DRAWING DETAILS FOR CONSTRUCTION AND HARDWARE INFORMATION



1 TYPICAL INTERIOR DOOR & FRAME
Scale: 3" = 1'-0"

DOOR SCHEDULE NOTES:

- ALL NEW DOORS & HARDWARE ARE TO COMPLY WITH SECTION 5-2.1.5 OF THE I.F.P.A. 101 LIFE SAFETY CODE HANDBOOK.
- KEYING FOR HARDWARE IS TO BE COORDINATED WITH BUILDING OWNER AND ENGINEER FOR COMPLIANCE AND ACCESS BY ENGINEERING SECURITY AND FIRE DEPARTMENT.
- FINISH OF ANY NEW HARDWARE USED TO BE SATIN CHROME OR BRUSHED STAINLESS STEEL OR NATURAL ALUMINUM AS INDICATED IN SETS - UNO
- ANY DOORS WITH CARD READERS SHALL UNLOCK AUTOMATICALLY WHEN FIRE ALARM IS ACTIVATED (FAS SAFE.)
- DOOR AND FRAME TYPE 'A': TYPICAL INTERIOR DOOR - WOOD FRAME AND SOLID CORE PAN' ORICE ARCHITECTURAL DOOR.
- DOOR AND FRAME 'B': BUILDING STANDARD ENTRANCE DOOR CURRENTLY IN PLACE TO REMAIN AS EXISTING TOUCH UP WITH CLEAR COAT AND PAINT IF REQUIRED.

HARDWARE

NO.	QTY	DESCRIPTION	FINISH	MANUFACTURER
(1)	2 PR	BUTT HINGES	BRUSHED STAINLESS	HAGER BB1191
	1	FLOOR STOP	SATIN STAINLESS	DOUG MOCKETT #053
	1 SET	SET SILENCERS FOUR PER DOOR	WHITE	GLYNN JOHNSON GJ-66
	1	PASSAGE SET	SATIN CHROME	DAWBA #368 COMMERCIAL GRADE LEVER PASSAGE
(2)		EXISTING BUILDING STANDARD HARDWARE TO REMAIN		
		INCLUDES: 2 PR. HINGES, SURFACE MOUNTED DOOR CLOSURE, MORTISE LEVER LOCKSET		
	1	FLOOR STOP	SATIN STAINLESS	DOUG MOCKETT #053
	1 SET	SET SILENCERS FOUR PER DOOR	WHITE	GLYNN JOHNSON GJ-66

OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY
THE FOLLOWING:

- BUILDING: _____
- ZONING: _____
- DOB/DP: _____
- CONCURRENCY: _____
- PLUMBING: _____
- ELECTRICAL: _____
- MECHANICAL: _____
- FIRE PREVENTION: _____
- ENGINEERING: _____
- PUBLIC WORKS: _____
- STRUCTURAL: _____
- ACCESSIBILITY: _____
- ELEVATOR: _____

**International
Design Partnership
Incorporated**

30 W. Mastra Drive
Key Biscayne, FL 33149
Tel: 305.545.8339 Fax: 305.545.4339

No.	Issue	Date
BD SET		03 28 03

CLIENT APPROVAL
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ACCEPTED AS IS
 ACCEPTED AS NOTED

Signature: _____ Date: _____

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Charles Myers
State of Florida
Registration #
AR0014548

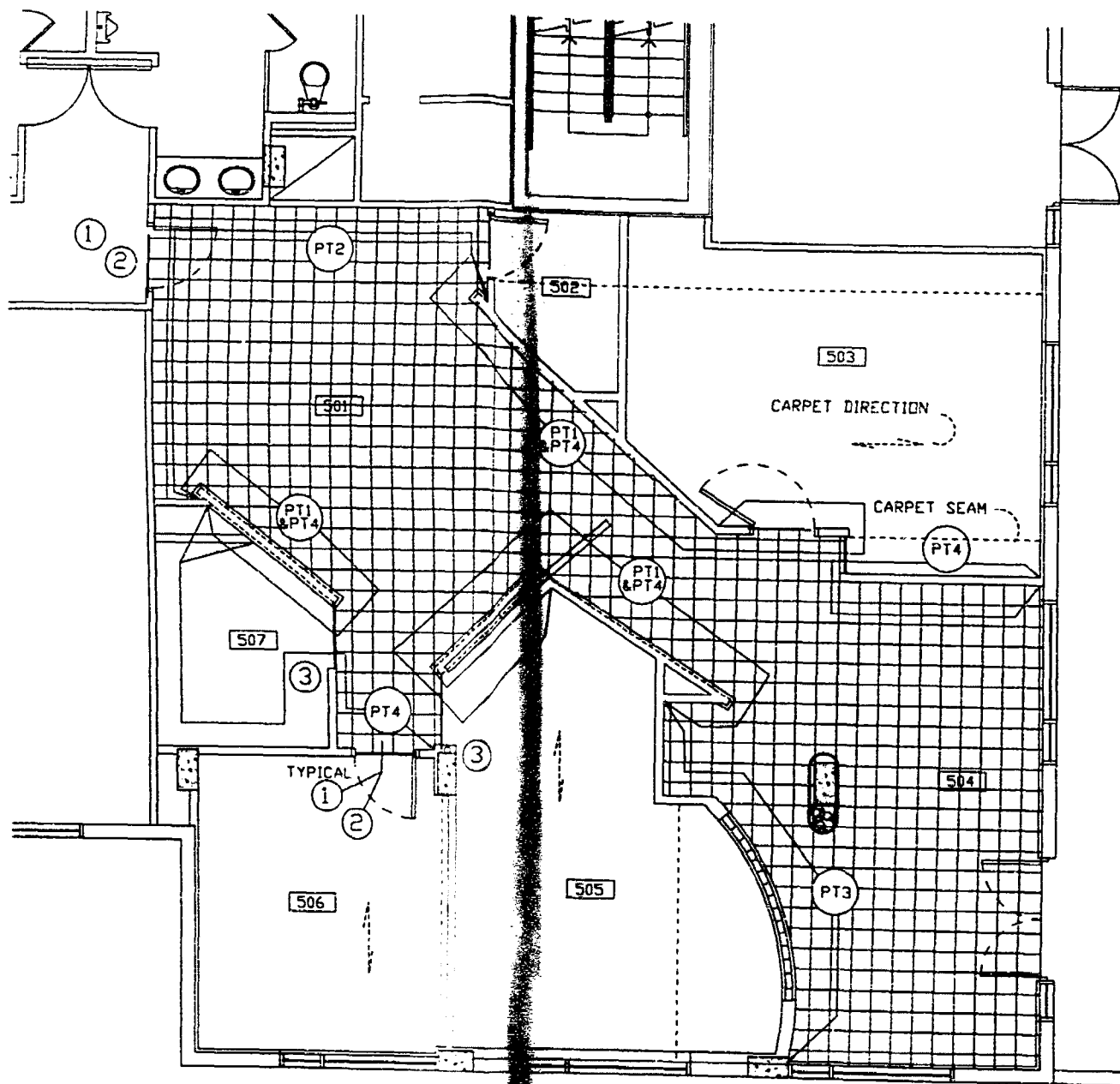
**LATIN
AMERICAN
NETWORK**
5th FLOOR
ATLANTIC CENTER
119 WASHINGTON AVENUE
MIAMI BEACH, FL 33139

Owner: BLUE COMET LLC
427 LINCOLN ROAD S B
MIAMI BEACH, FL 33139
Contact: NORA FINE Tel: 305.873.1838

Date: _____
Project No: _____
Drawn By: LAF
Checked By: br. cm
Cell No: _____

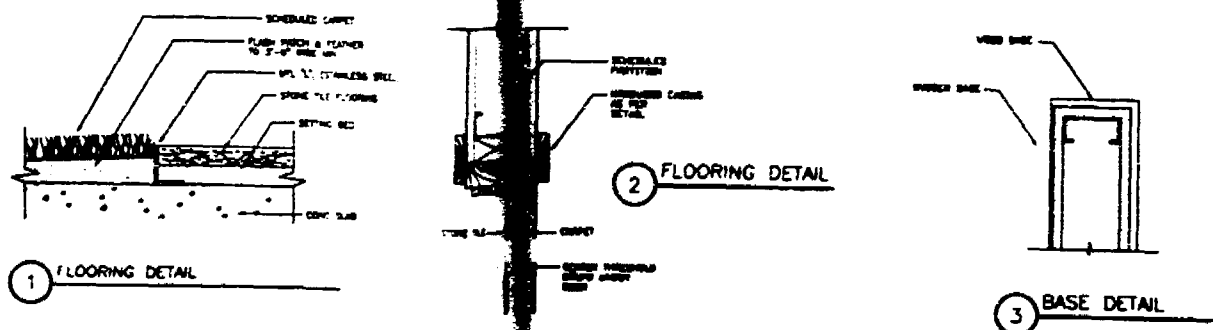
Title: **DOOR SCHEDULE
SPECIFICATIONS &
DETAILS**
Scale: 1/4" = 1'-0" UNO

Sheet Number:
A2-91



FINISHES PLAN - 2ND FLOOR

SCALE: 1/4" = 1'-0"



FINISH NOTES:

1. ALL FINISHES ARE TO COMPLY WITH SECTION 28-3.1 OF THE M.F.P.A. 101 LIVE SAFETY CODE HANDBOOK, 2001 EDITION.
2. SUBMIT SAMPLES OF ALL FINISHES TO ARCHITECT FOR REVIEW.
3. PROVIDE A RUBBER REDUCER STRIP AT ALL LOCATIONS WHERE STONE OR CARPET MEETS RESILIENT FLOORING. STONE TO VCT: MERCER #140 BLACK. CARPET TO VCT: MERCER #710 BLACK.
4. G.C. TO SUBMIT CARPET SEAMING DIAGRAM TO ARCHITECT PRIOR TO ORDERING AND INSTALLATION. FOLLOW BASIC LOCATIONS AND DIRECTION SHOWN ON THIS PLAN. NO END TO END SEAMS.
5. INSTALL CARPET BY DIRECT GLUE DOWN METHOD. AVOID SEQUENTIAL DYE LOTS FROM MANUFACTURER.
6. JOIN PUBLIC CORRIDOR CARPET AND TENANT CARPET AT CENTER LINE OF ENTRY DOOR. APPLY EXTRA ADHESIVE TO ENSURE A STRONG JOINT.
7. INSTALL STONE TILE BY THIN SET METHOD. GROUT SHOULD BE 1/16" COLOR TO BE SELECTED.
8. INSTALL PAINTED WOOD BASE TO ALL WALLS ABUTTING STONE TILE FLOORING. BASE TO BE PAINTED TO MATCH WALL L.C.
9. ALL DOORS, FRAMES & CASINGS TO BE PAINTED ARE TO BE PAINTED BY THE PAINTER IS TO REVIEW LOCATIONS OF ALL PAINT AREAS WITH G.P. PRIOR TO COMMENCEMENT OF WORK.

FINISH LEGEND:

- FLOORING:
- CPT1: MOHAWK COMMERCIAL CARPET PATTERN: CALLANCA COLOR: 898 AGOUTI UMBER
 - VCT: ARMSTRONG EXCELON COMPANION SQUARE COLOR: 31970 MONO BLACK SIZE: 12" x 12" GAUGE: 1/8" INSTALL: TILE WITH ALTERNATE GRADING AS PER MANUFACTURER'S RECOMMENDATION.
 - STONE: INTERCONTINENTAL MARBLE, BAY TYPE: 12" x 12" MARBLE TILE COLOR: CALCATTA GOLD
- WALLS:
- PT 1: BENJAMIN MOORE/SHERWIN WILLIAMS COLOR TO BE SELECTED PT 1 TYPICAL TO WALLS BILD
 - PT 2: BENJAMIN MOORE/SHERWIN WILLIAMS COLOR TO BE SELECTED
 - PT 3: BENJAMIN MOORE/SHERWIN WILLIAMS COLOR TO BE SELECTED
 - PT 4: BENJAMIN MOORE/SHERWIN WILLIAMS COLOR TO BE SELECTED
- WALL BASES:
- RB 1: RESILIENT BASE, MERCER OF JOHNSONITE 1/2" STRAIGHT RUBBER BASE, 1/8" THICK, ROLLED GOODS ONLY COLOR TO BE SELECTED TYPICAL TO ALL WALLS ABUTTING PT 1 L.C.
 - RB 2: RESILIENT BASE, MERCER OF JOHNSONITE 1/2" STRAIGHT RUBBER BASE, 1/8" THICK, ROLLED GOODS ONLY COLOR TO BE SELECTED TYPICAL TO ALL WALLS ABUTTING PT 4 L.C.
 - RB 3: RESILIENT BASE, MERCER OF JOHNSONITE 1/2" COVERED RUBBER BASE, 1/8" THICK, ROLLED GOODS ONLY COLOR TO BE SELECTED TYPICAL TO ALL WALLS ABUTTING VINYL L.C.
 - WB 1: WOOD BASE, 2 1/2" x 1/2" STRAIGHT PAINT TO MATCH WALL L.C.
- PLASTIC LAMINATES:
- PL 1: TO BE SELECTED
 - PL 2: TO BE SELECTED
 - PL 3: FORMICA "LIGNA" SERIES #268 WENGE
 - PL 4: TO BE SELECTED
- STONE COUNTER:
- GRANITE ABSOLUTE BLACK POLISHED ALL EXPOSED EDGES TO BE POLISHED
- CEILING:
- ACT 1: REFER TO REFLECTED CEILING PLAN FOR PRODUCT SPECIFICATIONS

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CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY THE FOLLOWING:

Building Zoning
CDB/HFB
CONCURRENCY:
PLUMBING
ELECTRICAL
MECHANICAL
FIRE PREVENTION
ENGINEERING
PULC/CORP/S
STRUCTURAL
ACCESSIBILITY
ELEVATOR

AS PER FINISH SCHEDULE SECTION 103.5.3
REVIEW FOR COMPLIANCE

FINISH SCHEDULE

SE ROOM	ROOM NAME	FLOOR	BASE	WALLS				CEILING	REMARKS
				NO. 1	NO. 2	NO. 3	NO. 4		
501	RECEPTION	STONE	RB	PT	PT	PT	PT	ACT1	
502	EQUIPMENT ROOM	VCT	RB1	PT	PT	PT	PT	ACT1	
503	OFFICE	CPT1	RB1/RB2	PT	PT	PT	PT	ACT1	
504	OFFICE AREA	STONE	RB1/RB2	PT	PT	PT	PT	ACT1	
505	OFFICE AREA	CPT1	RB1/RB2	PT	PT	PT	PT	ACT1	
506	OFFICE	CPT1	RB1	PT	PT	PT	PT	ACT1	
507	COPPER ROOM	VCT	RB2	PT	PT	PT	PT	ACT1	

International Design Partnership Incorporated
30 W. Alhambra Drive
Key Biscayne, FL 33149
Tel: 305.365.8375 Fax: 305.365.8379

No.	Issue	Date
00	SET	03/26/03

CLIENT APPROVAL
I have reviewed these plans and have been given the opportunity to ask questions about them prior to issue. These plans conform to our requirements. I understand that any modifications to these plans will be an additional service with potential impact on construction cost and scheduling.

ACCEPTED AS IS
 ACCEPTED AS NOTED

Signature: _____ Date: _____

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Architect of Record
Charles Myers
State of Florida
Registration #
AR0014546

LATIN AMERICAN NETWORK
5th FLOOR
ATLANTIC CENTER
119 WASHINGTON AVENUE
MIAMI BEACH, FL 33139

Dwgs: BLUE COAST LLC
407 LINCOLN ROAD S E
MIAMI BEACH, FL 33139
Contact: NORA DIAZ Tel: 305.873.1636

Date: February 17, 2003
Project No: 2003
Drawn By: LAF
Checked By: br, cm
CDB No: CDB-01/02/03/04/05/06/07/08/09/10/11/12/13/14/15/16/17/18/19/20/21/22/23/24/25/26/27/28/29/30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/49/50/51/52/53/54/55/56/57/58/59/60/61/62/63/64/65/66/67/68/69/70/71/72/73/74/75/76/77/78/79/80/81/82/83/84/85/86/87/88/89/90/91/92/93/94/95/96/97/98/99/100

Title: **FINISH PLAN, SCHEDULE & SPECIFICATIONS**
Scale: 1/4" = 1'-0" F.S.S.

Sheet Number: **A2-9.2**



No. Issue Date
BD SET 03 28 03

3. WHEN INSTALLING BACKSLASH SECTIONS, USE A CLEAR SILICONE SEALANT. IF THE BACKSLASH IS LESS THAN 8" HIGH, IT MAY BE BOUNDED TO THE COUNTERTOP USING SEAMING COMPOUND OR SEAMING CARTOON.

- ASSEMBLY
WHEN VANITIES AND COUNTERTOPS ARE PLACED BETWEEN WALLS, ALLOW 1/8" SPACE PER 10' LENGTH TO ALLOW FOR DIMENSIONAL MOVEMENT.
ALL INSIDE CORNERS OF CUTOUTS MUST BE RADIUS AS LARGE AS POSSIBLE (MINIMUM) TO AVOID STRESS CRACKING. THE EDGES AND CORNERS SHOULD BE FILED SMOOTH AND FREE OF CHIPS OR NICKS.

- PRODUCT
SEE DRAWINGS/FINISH SCHEDULE AND LEGENDS FOR TYPES OF MATERIALS USED.
SUBMITTALS: SUBMIT SHOP DRAWINGS AND SAMPLES FOR ARCHITECT'S REVIEW AND ACCEPTANCE PRIOR TO FABRICATION.

- THERMAL AND MOISTURE PROTECTION
BUILDING INSULATION (07210)
GENERAL
WHERE ORIGINAL BUILDING INSULATION IS DISTURBED RESTORE TO ORIGINAL CONDITION.
WHERE ORIGINAL BUILDING INSULATION IS DAMAGED REPLACE WITH IDENTICAL MATERIALS.

- JOINT SEALANTS AND CAULKING (07900)
GENERAL
PROVIDE SEALANT AND CAULKING MATERIALS AS INDICATED OR REQUIRED.
PROVIDE ONLY MATERIALS WHICH ARE SUITABLE FOR THE INTENDED APPLICATION.

- DOORS AND WINDOWS
STEEL FRAMES (08100)
GENERAL
PROVIDE NEW AND/OR REFINISHED BUILDING STANDARD H.M. FRAMES OPENINGS AS INDICATED ON THE DOOR SCHEDULE.

- DOORS - WOOD, WOOD AND GLASS & METAL AND GLASS DOORS (08210)
GENERAL
PROVIDE NEW DOORS AS INDICATED ON DRAWINGS/DOOR SCHEDULE AND DETAILS.

- EXECUTION
INSTALL DOORS PLUMB AND LEVEL.
CHECK DOOR OPERATION AND REMEDY ANY BINDING SAGGING OR OTHER IMPROPER OPERATION.

- SAFETY GLASS DOORS (0835) (NOT USED)
GENERAL
PROVIDE GLASS DOORS AS INDICATED ON DRAWINGS.
SUBMITTALS (FOR NON-BUILDING STANDARD DOORS)
SUBMIT PROPERLY IDENTIFIED PRODUCT DATA AND SPECIFICATIONS.

- FRESH HARDWARE (08710)
GENERAL
PROVIDE ALL FRESH HARDWARE AS REQUIRED, OR AS INDICATED ON DRAWINGS.
SEE DOOR SCHEDULE AND HARDWARE SCHEDULE FOR ALL HARDWARE SPECIFICATIONS.

- INSTALLATION
INSTALL DOOR PLUMB AND LEVEL, SECURING ALL COMPONENTS PER MANUFACTURER'S RECOMMENDATIONS. COMPLETE INSTALLATION WITH SPECIFIED HARDWARE AND COORDINATE WITH TENANT'S SECURITY VENDOR.
DOORS TO BE LUBRICATED AND ADJUSTED TO PROVIDE EASY OPERATION.

- GLAZING (08800)
GENERAL
PROVIDE TEMPLERED GLASS VISION PANELS W/ SIZES AS INDICATED ON ARCHITECTURAL DRAWINGS.
SUBMITTALS
SUBMIT THE FOLLOWING IN ACCORDANCE WITH DIVISION 1, SECTION 01340.

- DIVISION 9: FINISHES
GYPSUM WALLBOARD SYSTEMS (09250)
GENERAL
THE OTHER CONTRACT DOCUMENTS COMPLEMENT THE REQUIREMENTS OF THIS SECTION.
SUBMITTALS
SUBMIT PRODUCT DATA INCLUDING MATERIAL SPECIFICATIONS AND PRINTED INSTALLATION INSTRUCTIONS.

- QUALITY ASSURANCE
COMPLY WITH APPLICABLE REQUIREMENTS OF GOVERNING CODES AND AUTHORITIES AND ASTM C840-98 AND C754-98.
COMPLY WITH FIRE-RESISTANCE RATINGS AS REQUIRED BY GOVERNING AUTHORITIES AND CODES. MATERIALS MUST BE LISTED BY UNDERWRITERS LABORATORIES OR TESTED IN ACCORD WITH ASTM E119-99.

- MANUFACTURERS
GEORGIA PACIFIC BESTWALL
NATIONAL GYPSUM COMPANY
UNITED STATES GYPSUM COMPANY
DIETRICH INDUSTRIES, INC.
DALE INDUSTRIES INC.
THE CELOTEX CORP.
OR EQUAL.
STEEL FRAMING MEMBERS
METAL STUDS: ASTM C845-98; 20 AND 25 GAUGE SCREW TYPE, ROLL-FORMED GALVANIZED STEEL.

- MANUFACTURERS
HANGER DEVICES FOR CONCRETE: NO. 75 HANGER INSERTS MANUFACTURED BY ADVANCE METAL PRODUCTS, INC.
HANGER DEVICES FOR EXISTING CONCRETE TO BE USED ONLY IN PRE STRESSED CABLE-FREE AREAS AND WITH PRIOR APPROVAL NO. 3801 POWER DRIVEN EYE PINS MANUFACTURED BY HANNEY; NO. SA-1005 SLEEVE TYPE CONCRETE EXPANSION ANCHORS WITH WIRE EYES, MANUFACTURED BY PHILLIPS DRILL CO.; SELF-DRILLING CONCRETE EXPANSION ANCHOR WITH WIRE EYES IN ACCORD WITH FED. SPEC. FF-S-325(S), GROUP H, FIGURE 13 (D).

- MANUFACTURERS
PLUM BOARD ACCESSORIES:
CORNERS BEARING: "DUR-A-BEAD NO. 101" MANUFACTURED BY UNITED STATES GYPSUM; HEAVY DUTY, ELECTRO-GALVANIZED STEEL; 1 INCH X 1 INCH.
CASSIE BEADS: "NO. 200 SERIES" MANUFACTURED BY UNITED STATES GYPSUM; ROLL FORMED ELECTRO-GALVANIZED STEEL.

- MANUFACTURERS
CONTROL JOINTS: "NO. 903" OF ROLL FORMED ZINC, MANUFACTURED BY UNITED STATES GYPSUM, WITH TAPE PROTECTED 1/2" WIDE, 1/2" DEEP OPENING.

- MANUFACTURERS
GYPSUM BOARD SCREWS: NO. 8 SELF-DRILLING, CROSS SLOT COUNTERSINK, BANGLE HEAD, ZINC PLATED, 1 INCH LONG FOR SINGLE GYPSUM BOARD LAYER APPLIED TO METAL STUDS, AND METAL FRAMES AND NOT LESS THAN 1/2" LONG FOR DOUBLE LAYER GYPSUM BOARD APPLIED TO METAL STUDS. PROVIDE 1/2" SCREWS FOR GYPSUM BOARD APPLIED TO WOOD FRAMING OR BLOCKING.

- EXECUTION
GENERAL: INSTALL GYPSUM BOARD SYSTEM IN ACCORD WITH MANUFACTURER'S PUBLISHED INSTALLATION INSTRUCTIONS, AND AS SPECIFIED HEREIN.
INSTALLATION OF STEEL FRAMING FOR GYPSUM BOARD FRAMING:
INSTALL FLOOR AND CEILING RUNNERS AS REQUIRED; DO NOT NUT AT CORNERS.

- TERMINATE PARTITIONS AT HEIGHTS INDICATED ON THE DRAWINGS.
WHERE PARTITIONS TERMINATE AT UNDERLIE OF STRUCTURAL DECK:
SECURE CEILING RUNNERS TO CONCRETE STRUCTURE WITH HARDENED STUD NAILS OR POWER DRIVEN FASTENERS AT 24" O.C.

- WHERE PARTITIONS TERMINATE AT SUSPENDED ACoustICAL CEILING, ATTACH CEILING RUNNER TO SUSPENDED TEE WITH 1/4" SELF-DRILLING, CROSS SLOT COUNTERSINK BANGLE HEAD SCREWS AT 18 INCHES O.C. ATTACH CEILING BEADS TO CEILING RUNNER BEFORE ATTACHMENT. SEAL GAP BETWEEN PARTITION TOP AND ACoustICAL CEILING WITH TWO CONTINUOUS STRIPS OF FORM TAP APPLIED TO TOP OF CEILING RUNNERS.

- PROVIDE ADDITIONAL STUDS TO SUPPORT 4500 CORNERS AT PARTITION INTERSECTIONS AND CORNERS AND TO SUPPORT OUTSIDE CORNER TERMINATIONS OF PARTITIONS AND BOTH SIDES OF CONTROL JOINTS. PROVIDE NOT LESS THAN 3 STUDS AT PARTITION EXTERNAL CORNERS AND INTERSECTIONS.
PROVIDE 20 GAUGE METAL STUD AT DOOR LINES AND AT PARTITIONS SUPPORTING HEAVY LOADS SUCH AS BATHROOM WALL CABINETS AND PLUMBING FIXTURES. PROVIDE STUDS OF GAUGE INDICATED AT OTHER LOCATIONS EXCEPT WHERE PARTITIONS EXCEED 10 FEET IN HEIGHT IN WHICH CASE STUD DEPTH AND GAUGE SHALL MEET U.S. GYPSUM SYSTEM FLOOR BARRIERS THREE TO REQUIREMENT. PROVIDE 20 GAUGE METAL STUDS BOUND BUILDING EXPANSION JOINT COVERS.

- COORDINATE FRAME OPENINGS WITH HOLLOW METAL FRAMES. PROVIDE 20 GAUGE METAL STUDS ON EACH SIDE OF DOOR FRAME OPENING EXTENDED TO OVERHEAD STRUCTURE. FRAMING ACCESS TOP BY DOOR FRAMES SHALL BE MADE OF STANDARD FLOOR AND CEILING JOISTS WITH FLANGES CUT AND BEAT 90 DEGREES AT EACH END. INSTALL SHORT LEVERING OF STUDS VERTICALLY; 1/8 INCH O.C. ABOVE DOOR FRAMES. WITH EACH FLANGE BEHIND STUD SECURE TO TOP AND BOTTOM RUNNERS. PROVIDE DIAGONAL STUD BRACE BETWEEN TOP AND BOTTOM RUNNERS AND SECURE EACH FLANGE AT EACH END TO RUNNER.

- PROVIDE HOLES, CUT OUTS AND NOTCHES IN FRAMING MEMBERS FOR PROPER INSTALLATION OF ELECTRICAL AND PLUMBING FIXTURES. PROVIDE STUDS AND OTHER ACCESSORIES AS REQUIRED FOR SUPPORT OF ELECTRICAL BOXES, TELEPHONE BOXES, LIGHTS AND OTHER ATTACHED OR RECESSED EQUIPMENT. PROVIDE STUD AND CEILING RUNNER REINFORCING OR ADDITIONAL STUDS AS REQUIRED TO PROVIDE TRACT, FORM, AND SAFE PARTITIONS, FREE FROM WEARNESS. WHERE STUDS ARE CUT IN PIPE, CONDUIT, AND OTHER WORK, REINFORCE PARTITIONS IN ACCORD WITH MANUFACTURER'S DIRECTIONS AND DETAILS.

- WHERE CHASE WALLS ARE INDICATED THICKER THAN NOMINAL STUD DEPTH, PROVIDE TWO ROWS OF METAL STUDS. STUDS TO BE SPACED 18" O.C. TO PROVIDE CHASE WALL WITH DESIGN OR AS REQUIRED TO ACCOMMODATE PIPES AND RECESSED ACCESSORIES INDICATED. BRACE EACH ROW OF STUDS TOGETHER WITH HORIZONTAL METAL STUD SECTIONS SPACED 24" O.C. MAXIMUM, ATTACHED TO EACH VERTICAL STUD FROM METAL STUD FLANGED PLASTERS AS REQUIRED TO CONCRETE BLOCKS, PIPES, AND CONDUITS IN FINISHED AREAS.

- MAXIMUM ALLOWABLE PLASTER DEFLECTION PER WITH A HORIZONTAL LOAD OF 5 POUNDS PER SQ. FT. OF PARTITION SURFACE.
INSTALLATION OF STEEL FRAMING FOR FIXED PART WALLS:
INSTALL 1/2" SHAPED CHANNELS KEYPICALLY ON WALLS AT 18 INCHES O.C. MAXIMUM. INSTALL HORIZONTAL FRAMING AT TOP AND ABOVE AND BELOW OPENINGS. MAIN FRAMING PLUMB AND LEVEL AS THE PLUMB FACE. SECURE FRAMING WITH HARDENED STUD NAILS AT 18" O.C. OR ALTERNATE MEMBER. COMPLETE FRAMING INSTALLATION WITH INSTALLATION OF WALL INSULATION.

- INSTALL SCREW STUD FRAMING CHANNELS KEYPICALLY WHERE INDICATED AT 18 INCHES O.C. MAXIMUM, AS SPECIFIED ON DRAWINGS FOR STEEL STUD FRAMING. PROVIDE FLOOR AND CEILING RUNNERS.
WHERE TOP RUNNER IS NOT ATTACHED TO OVERHEAD SLAB, PROVIDE SUITABLE ADJUSTABLE CLIPS TO SECURE TOP RUNNERS TO WALLS AND COLUMNS AT NOT OVER 4 FEET O.C.

- INSTALLATION OF SUSPENDED PARTITION COMPONENTS FOR CEILING:
TABLE 1: SPACING AND SPECIFICATION OF MAIN RUNNERS

- TABLE 2: SPACING AND SPECIFICATION OF FLOOR MEMBERS

- MANUFACTURERS
SECURE HANGERS TO CONCRETE CONSTRUCTION BY ATTACHING TO INSERTS. SECURE TOP CHASE OF HANGERS TO CONCRETE BY INSERTING THROUGH ANCHOR EYE AND TWISTING FREE.
LOCATION AND SPACING: LOCATE HANGERS PLUMB IN RELATION TO MAIN RUNNERS AND AVOID CONTACT WITH INSULATION COVERING DUCTS AND PIPES. DO NOT PASS HANGERS THROUGH DUCTS OR SPACE HANGERS IN ACCORD WITH TABLE 1. ALTER SPACING OF HANGERS OR PROVIDE BRACKET HANGERS PLATED TO AVOID DUCTS AND OTHER OBSTRUCTIONS BUT DO NOT EXCEED HANGERS ALLOWABLE CEILING AREA TO BE SUPPORTED BY EACH HANGER. OFFSET HORIZONTAL SERIES OF SPLATE HANGERS BY COUNTER-SPLATING BRACING OR OTHER SUITABLE MEANS.

CLIENT APPROVAL
I have reviewed these plans and have been given the opportunity to ask questions about them prior to issue. These plans conform to our requirements. I understand that any modifications to these plans will be an additional service with potential impact on construction cost and scheduling.

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Architect of Record: Charles Myers
State of Florida Registration # AR0014548

LATIN AMERICAN NETWORK
5th FLOOR ATLANTIC CENTER
119 WASHINGTON AVENUE MIAMI BEACH, FL 33139

OFFICE COPY
CITY OF MIAMI BEACH, FL 33139

APPROVED FOR PERMIT BY THE FOLLOWING:
February 17, 2003
BUILDING DEPARTMENT
ZONING DEPARTMENT
CHIEF ENGINEER
CONCRETE CONCURRENCY:
ELECTRICAL
MECHANICAL
SPECIFICATIONS

A2-10.3

AS PERMITTED BY THE CITY OF MIAMI BEACH, FL 33139

- M. CUTOUTS
- ALLOW FOR (5) CUTOUTS IN PANEL EDGES FOR SERVICES PENETRATING PANELS
 - SEAL EDGES WITH GROMMETS, PLASTIC TRIM MOLDING, AND/OR GASKETS AS REQUIRED.
- N. ACCEPTANCE: GENERAL CONTRACTOR SHALL ACCEPT FLOOR IN WHOLE OR IN PART PRIOR TO ALLOWING USE BY OTHER TRADES.
- 3.02 CLEANING, PROTECTION AND GROUNDING AFTER COMPLETION OF INSTALLATION - BY OWNERS
- VACUUM CLEAN THE ENTIRE SYSTEM
 - BEFORE ANY EQUIPMENT IS MOVED ACROSS THE ACCESS FLOOR, THE FLOOR SHALL BE PROTECTED BY 1/4" PLYWOOD
 - ELECTRICAL CONTRACTOR SHALL CONNECT THE ACCESS FLOOR TO BUILDING GROUND AS FOLLOWS: A #12 AWG GROUNDING WIRE SHALL BE ATTACHED TO ONE PEDestal EVERY 3,000 SF AND RUN THE BUILDING GROUND.
- CONTACT: AS SPECIFIED ON DRAWINGS
- FIRE EXTINGUISHERS (10522)
- PROVIDE AND INSTALL FIRE EXTINGUISHERS IN ACCORDANCE WITH LOCAL CODES AND AS SPECIFIED ON DRAWINGS. USE FULLY RECESSED EXTINGUISHERS EVERYWHERE POSSIBLE, AND SEMI-RECESSED OTHERWISE.
 - EXTINGUISHERS TO BE PLACED IN OR NEAR ACCESS WAYS AT A MAXIMUM TRAVEL DISTANCE OF 75' TO A FIRE EXTINGUISHER.
 - FIRE EXTINGUISHERS TO BE PLACED AT A RATIO OF 1 EVERY 2500 U.S.F. FURNISH AND INSTALL EXTINGUISHERS AS INDICATED ON DRAWINGS.
4. SUBMITTALS:
- SUBMIT THE FOLLOWING IN ACCORDANCE WITH SECTION 01340
 - PRODUCT DATA: MANUFACTURER'S TECHNICAL DATA AND INSTALLATION INSTRUCTIONS
 - INSTALL TAG INDICATING DATE AND NAME OF COMPANY PLACING CHARGE IN CANISTER
 - EXTINGUISHER CABINETS TO BE PAINTED TO MATCH ADJACENT WALL UNLESS OTHERWISE NOTED.
 - AFTER INSTALLATION AND FINISHING IS COMPLETE, APPLY SILK SCREENED INTERNATIONAL FIRE EXTINGUISHER SYMBOL ON CABINET DOOR IN COLOR SELECTED BY ARCHITECT.

- OPERABLE PANEL PARTITION (10650) (NOT USED)
1. PRODUCTS
- OPERABLE WALLS SHALL BE MANUFACTURED BY MOOREFOLD OR EQUAL AND INSTALLED BY AN AUTHORIZED REPRESENTATIVE OF THE MANUFACTURER IN OPENINGS PREPARED BY OTHER TRADES.
 - OPERATION SHALL CONSIST OF MANUALLY OPERATED FLAT PANELS, TOP SUPPORTED, TOP AND BOTTOM SEALS SHALL BE AS SPECIFIED.
 - PANEL CONFIGURATION SHALL BE AS FOLLOWS FOR AREAS INDICATED:
 - PRODUCT: SPACESETTER 201/202 OPERABLE WALL
 - PANELS SHALL BE 2.75" THICK AND NOT MORE THAN 48" WIDE. PANEL FACES SHALL BE ASSEMBLED TO METAL FRAMES. PANELS SHALL HAVE APPROPRIATE INTERNAL REINFORCEMENT TO ACHIEVE SPECIFIED STC. THE TOPS OF THE PANELS SHALL BE REINFORCED TO SUPPORT SUSPENSION COMPONENTS. THE VERTICAL EDGES OF THE PANELS SHALL REQUIRE TRIM THUS MINIMIZING THE APPEARANCE OF THE VERTICAL JOINTS OF THE PANELS.
 - PANELS SHALL BE FACTORY SURFACED WITH CUSTOMER'S OWN MATERIAL (POLYESTER PANEL FABRIC) TO BE SELECTED BY THE ARCHITECT.
 - HANGING WEIGHT OF PANELS SHALL BE NO MORE THAN 9 POUNDS PER SQUARE FOOT.
 - ACOUSTICAL RATING AS TESTED BY AN INDEPENDENT ACOUSTICAL LABORATORY IN ACCORDANCE WITH ASTM E80-81 TEST PROCEDURES IN A FULL SCALE, 140 X 8'0" OPENING SHALL BE STC 48.
 - SOUND SEALS SHALL BE AS FOLLOWS:
 - VERTICAL SEALS BETWEEN PANELS SHALL CONSIST OF DEEP MENDING, UNIVERSAL INTERLOCKING ZIP BRIDGE STEEL STRINGS INCORPORATING COMPATIBLE INDUSTRIAL SEALS SHALL BE INSTALLED ON THE OUTBOARD EDGES OF THE PANELS WITH ADJUSTABLE RODS WITH AN ACOUSTICAL LABYRINTH.
 - HORIZONTAL TOP SEALS SHALL BE CONTINUOUS CONTACT MULTI-FINGER WITH TOP SEALS.
 - HORIZONTAL BOTTOM SEALS SHALL BE 1" MINIMUM OPERATING CLEARANCE TYPE MECHANICALLY ACTIVATED BY THE MOVEMENT OF ONE PANEL AGAINST THE OTHER. DOWNWARD CURVE OF ALL CLEARANCE TYPE SEAL MECHANISMS SHALL ASSURE AN ACOUSTICAL SEAL IN ALL PANEL MOVEMENTS.
 - SUSPENSION SYSTEM SHALL BE HEAVY DUTY ALUMINUM TRACK SUPPORTED BY ADJUSTABLE STEEL HANGER RODS. PANELS SHALL BE SUPPORTED BY RADIAL TYPE STEEL BALL-BEARING ROLLER TROLLEYS SHALL BE ATTACHED TO PANELS WITH ADJUSTABLE STEEL PENDANT BOLTS.
 - PANELS THAT ARE HINGED TOGETHER SHALL BE HINGED WITH MANUFACTURER'S STANDARD BUTT-TYPE HINGES.
 - ADDITIONAL FEATURES AS FOLLOWS:
 - PANELS SHALL BE PIN TACKABLE, BOTH SIDES, FULL HEIGHT.
 - PASS DOOR SHALL BE STANDARD 3'-0" X 7'-0" (2134) FLUSH-HOLLOW METAL PASS DOOR WITH FIRE-RATED IN A STANDARD STEEL DOOR FRAME. DOOR SHALL BE ACOUSTICALLY RATED. DOOR AND DOOR SHALL BE FACTORY PRIME PAINTED TO RECEIVE FIELD APPLIED PAINT. PAINT TO BE SELECTED BY ARCHITECT. HANGING SHALL INCLUDE STANDARD BUTT-HINGES AND FLUSH CUP HINGE.
 - SUSPENSION SYSTEM SHALL BE #14 SUSPENSION SYSTEM MUST BE ALL STEEL WITH HANGER RODS (20A) X 3" X 3" ROLL FORMED STEEL TRACK.
2. SUBMITTALS
- SUBMIT PRODUCT DATA, SHOP DRAWINGS, SAMPLES AND MANUFACTURER'S CERTIFICATE FOR SECTION 01340.

- TOILET AND BATH ACCESSORIES (10800) (NOT USED)
1. GENERAL
- 1.01 SUBMITTALS
- PRODUCT DATA INCLUDING MANUFACTURER'S LITERATURE AND PRINTED INSTALLATION INSTRUCTIONS.
 - SHOP DRAWINGS SHOWING DETAILS, ROUGH OPENING REQUIREMENT FOR RECESSED ACCESSORIES, GAUGES AND DESCRIPTION OF SHEET METAL, FINISHES, DIMENSIONS AND ANCHORING AND FASTENING METHODS. INDICATE LOCATION OF ACCESSORIES BY DIMENSIONING.
 - SAMPLE OF EACH ITEM SPECIFIED IF REQUESTED. APPROVED SAMPLES MAY BE USED IN THE WORK.
 - MANUFACTURERS 15 YEAR GUARANTEE AGAINST MIRROR SILVER SPOILAGE.
- 1.02. QUALITY ASSURANCE
- PROVIDE UL LABEL ON ALL ELECTRICAL ITEMS.
 - INSTALL ALL ACCESSORIES AT HEIGHT TO MEETING "THE AMERICANS WITH DISABILITIES ACT" (ADA) REQUIREMENTS.
2. PRODUCTS
- MANUFACTURERS: AS NOTED ON DRAWINGS
 - FASTENERS
 - FINISH OR EXPOSED MOUNTED DEVICES AND FASTENERS SHALL MATCH ARCHITECT'S.
 - ALL FASTENERS SHALL BE THEFT RESISTANT TYPE.
3. EXECUTION
- INSTALLATION
 - INSTALL ACCESSORIES IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS
 - INSTALL ACCESSORIES PLUMB AND TRUE WITH HORIZONTAL LINES LEVEL CONCEALED JOINTS OF DRILLING AND FITTING IN ADJACENT SURFACES.
 - INSTALLATION OF RECESSED ACCESSORIES SHALL NOT VIOLATE FIRE RATINGS ON WALLS WHERE ACCESSORIES ARE TO BE INSTALLED.
 - KEYS
 - PROVIDE THREE KEYS FOR EACH KEYED ACCESSORY.
 - CLEANING
 - AFTER INSTALLATION, CLEAN ACCESSORIES IN MANNER NOT TO DAMAGE FINISH.

- DIVISION 11- EQUIPMENT
- PROJECTION SCREENS / AUDIO VISUAL EQUIPMENT (11152) (NOT USED)
- AS INDICATED ON DRAWINGS AND PER MANUFACTURERS SPECIFICATIONS AND INSTALLATION METHODS.
- APPLIANCES (11900)
- PROVIDE MISCELLANEOUS APPLIANCES AND EQUIPMENT, INCLUDING RELATED ACCESSORIES, AS SHOWN ON THE DRAWINGS OR INDICATED BELOW.
 - QUALITY ASSURANCE:
 - CERTIFICATION LABELS: PROVIDE APPLIANCES WHICH COMPLY WITH STANDARDS, BEARING APPROPRIATE LABELS AS FOLLOWS:
 - UL STANDARDS: UL LABELS REQUIRED.
3. SUBMITTALS:
- SUBMIT THE FOLLOWING IN ACCORDANCE WITH SECTION 01340.
 - PRODUCT DATA: SUBMIT MANUFACTURER'S SPECIFICATIONS AND INSTALLATION FOR EACH ITEM, INCLUDING DATA INDICATING COMPLIANCE WITH REQUIREMENTS. INCLUDE OPERATING AND MAINTENANCE INSTRUCTIONS WITH EACH ITEM.
 - DELIVERY, HANDLING, AND STORAGE
 - ORDER PRODUCTS IN SUFFICIENT TIME TO MEET REQUIREMENTS OF CONSTRUCTION SCHEDULE.
 - DELIVER PRODUCTS TO PROJECT SITE IN MANUFACTURER'S UNDAMAGED PROTECTIVE CONTAINERS.
 - HANDLE AND STORE IN ACCORDANCE WITH REQUIREMENTS OF SECTION 01300.
 - WARRANTY
 - INCLUDE MANUFACTURER'S WARRANTY DATA.
 - COORDINATION:
 - PROVIDE SUBMITTAL DATA TO OTHER CONTRACTORS WHOSE WORK IS REQUIRED TO ACCOMMODATE OR RECEIVE APPLIANCES. COORDINATE ROOM AND FINAL OPENING REQUIREMENTS.
 - PROVIDE SUBMITTAL DATA TO MECHANICAL, ELECTRICAL AND PLUMBING SUBCONTRACTORS AND COORDINATE SERVICE HOLES-IN WALLS, TYPES, LOCATIONS AND OTHER ASPECTS BEFORE SERVICES ARE CONCEALED OR COVERED BY SUBSEQUENT WORK.
 - ACCEPTABLE MANUFACTURERS:
 - PROVIDE APPLIANCES OF MANUFACTURERS AS SHOWN ON THE DRAWINGS, WITHOUT SUBSTITUTIONS.
 - MATERIAL AND FABRICATION:
 - COLORS: PROVIDE MANUFACTURER'S STANDARD COLORS AS SHOWN ON SCHEDULES. IF NO COLOR SPECIFIED, INCLUDE COMPREHENSIVE COLOR SAMPLES IN PRODUCT DATA SUBMITTAL.
 - INSTALLATION:
 - INSTALL UNITS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

10. ADJUSTING AND CLEANING:
- ENSURE THAT OPERATING PARTS WORK FREELY AND FIT NEATLY. ADJUST HARDWARE AND MOVING PARTS AS NECESSARY.
 - REPAIR OR REPLACE DAMAGED PARTS, DENTS, BUCKLES, ABRASIONS OR OTHER DEFECTS AFFECTING APPEARANCE OR SERVICEABILITY, SO THAT UNITS ARE IN UNDAAGED CONDITION AT TIME OF FINAL ACCEPTANCE.
 - CLEAN AND WAX SURFACES PRIOR TO FINAL COMPLETION.

- DIVISION 12: FURNISHINGS
- WINDOW TREATMENT (12300)
- PROVIDE BUILDING STANDARD WINDOW TREATMENT AT ENTIRE OUTSIDE PERIMETER OF SPACE AS NOTED ON THE DRAWINGS V-7 DOES NOT REQUIRE BLINDS.
 - REPLACE ANY DAMAGED WINDOW TREATMENT AS REQUIRED.
 - REFER TO DRAWINGS FOR SPECIFICATIONS AND LOCATION
4. SUBMITTALS
- MANUFACTURER'S PRODUCT DATA: SUBMIT MANUFACTURER'S DESCRIPTIVE PRODUCT DATA AND INSTALLATION INSTRUCTIONS FOR EACH TYPE OF BLIND SPECIFIED.
 - SHOP DRAWINGS: SUBMIT SHOP DRAWINGS INDICATING THE FOLLOWING:
 - FIELD-MEASURED DIMENSIONS OF OPENING SCHEDULED TO RECEIVE BLINDS.
 - ILLUSTRATIONS OF SPECIAL ACCESSORY COMPONENTS NOT INCLUDED IN MANUFACTURER'S PRODUCT DATA.
 - DETAILS OF HEAD AND SILL CONDITIONS, CORNER CONDITIONS AND CONDITIONS BETWEEN ADJACENT BLIND UNITS.
 - COLOR SAMPLE: SUBMIT TWO 8-INCH (0.15M) SAMPLE OF MATERIAL IN SPECIFIED COLOR(S)
 - PRODUCT SAMPLE: SUBMIT ONE 16-INCH WIDE FULLY FUNCTIONAL SAMPLE BLIND.

DIVISION 13: SPECIAL CONSTRUCTION

NOT USED

DIVISION 14: CONVEYING SYSTEMS

SECTION (14240) HYDRAULIC ELEVATORS

NOT USED

DIVISION 15: MECHANICAL, ELECTRICAL & PLUMBING

REFER TO MEP DOCUMENTS PREPARED BY THE ENGINEERING FIRM INDICATED IN SECTION 00800 FOR SPECIFICATIONS AND SCHEDULES.

DIVISION 16: FIRE & LIFE SAFETY

REFER TO MEP DOCUMENTS PREPARED BY THE ENGINEERING FIRM INDICATED IN SECTION 00800 FOR SPECIFICATIONS AND SCHEDULES.

DIVISION 17: FIRE & LIFE SAFETY

REFER TO MEP DOCUMENTS PREPARED BY THE ENGINEERING FIRM INDICATED IN SECTION 00800 FOR SPECIFICATIONS AND SCHEDULES.

AS PER Florida Building Code Section 104.5.3
 REVIEWED FOR CODE COMPLIANCE



International Design Partnership Incorporated
 30 W. Mascha Drive
 Key Biscayne, FL 33149
 Tel 305.365.8325 Fax 305.365.9379

No.	Issue	Date
BD SET		03.28.03

CLIENT APPROVAL

I have reviewed these plans and have been given the opportunity to ask questions about them prior to issue. These plans conform to our requirements. I understand that any modifications to these plans will be an additional service with potential impact on construction cost and scheduling.

ACCEPTED AS IS
 ACCEPTED AS NOTED

Signature: _____ Date: _____

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Architect of Record:
 Charles Myers
 State of Florida
 Registration #
 AR0014546

LATIN AMERICAN NETWORK
 5th FLOOR
 ATLANTIC CENTER
 119 WASHINGTON AVENUE
 MIAMI BEACH, FL 33139

Owner: BLSR COUNTY LLC
 407 LINCOLN ROAD # 2
 MIAMI BEACH, FL 33139
 Contact: NORA DIAZ Tel: 305 673 1838

Date: February 17, 2003
 Project No: 2156
 Drawn By: LAF
 Checked By: br. cm
 Call No: C:\c-ly\links\links\internat\internat\...

Title: SPECIFICATIONS
 Scale: 1/4" = 1'-0" U.S.C.
 Sheet Number:

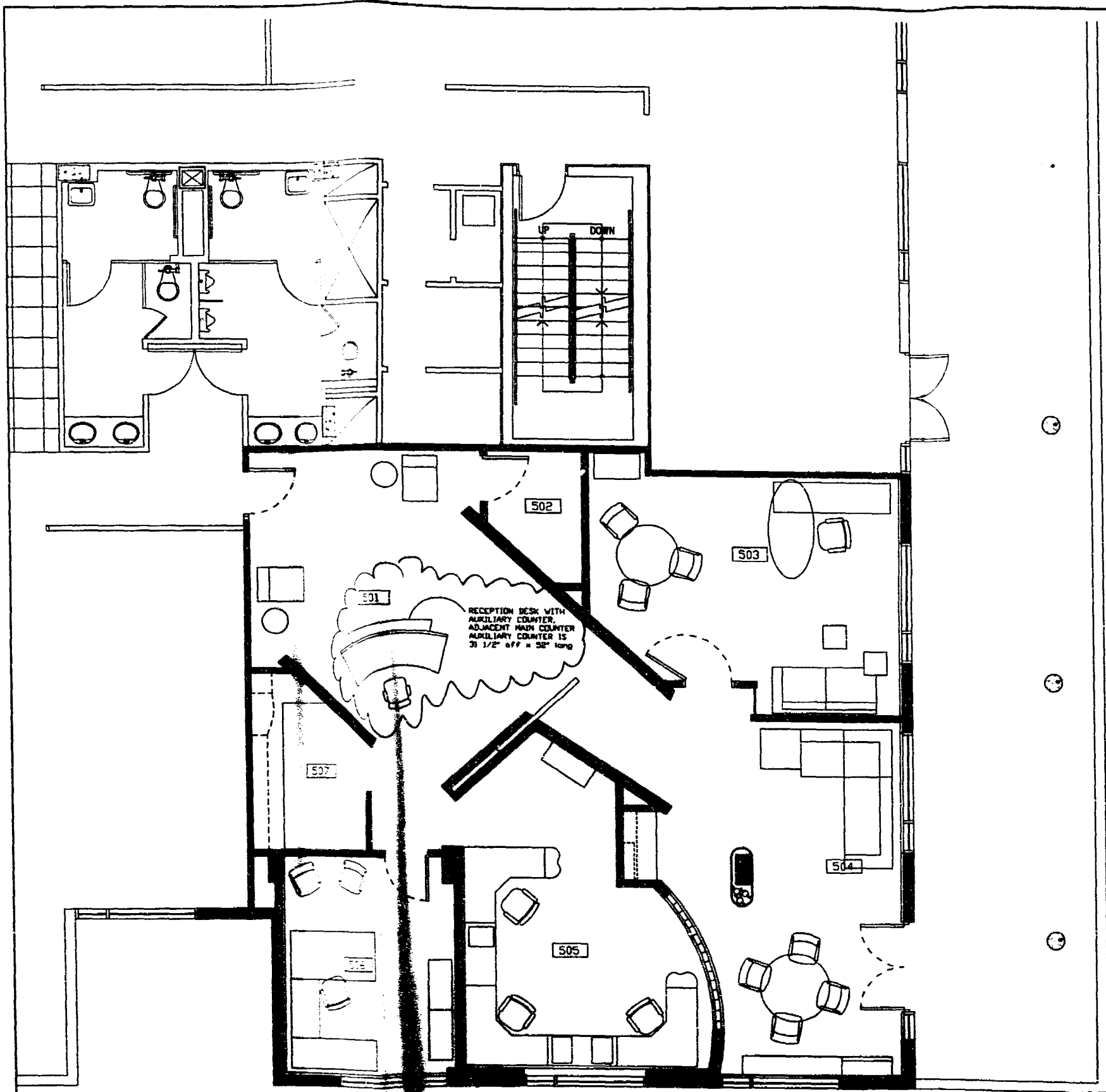
A2-10.6

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BUILDING
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 EMBROIDERED
 CONCRETE
 MECHANICAL
 ELECTRICAL
 PAVEMENT
 ENGINEERING
 PUBLIC WORKS
 STRUCTURAL
 ACCESSIBILITY
 PLUMBING

02-17-03



FURNITURE PLAN - 5 FLOOR
 SCALE = 1'-0"



International Design Partnership Incorporated
 30 W. Main St.
 Key Biscayne, FL 33149
 Tel: 305.361.1111

No. 1000 Date: 03/28/03
 PD SET
 PERMIT SET 04/01/03

CLIENT APPROVAL
 I have reviewed these plans and have been given the opportunity to ask questions about them prior to issue. These plans conform to all requirements and I understand that any modifications to these plans will be in accordance with potential impact on construction and scheduling.
 ACCEPTED AS IS
 ACCEPTED AS NOTED
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Architect of record:
 Charles Myers
 State of Florida
 Registration #
 AR0014548

LATIN AMERICAN NETWORK
 5th FLOOR
 ATLANTIC CENTER
 120 WASHINGTON AVENUE
 MIAMI BEACH, FL 33139

Owner: H&B CORP. LLC
 407 LINCOLN ROAD, S.W.
 MIAMI BEACH, FL 33139
 Contact: VERA DEAL Tel: 305.474.1000

Date: February 17, 2003
 Project No: 1155
 Drawn by: JAB
 Checked by: JAB
 Scale: 1/8" = 1'-0"

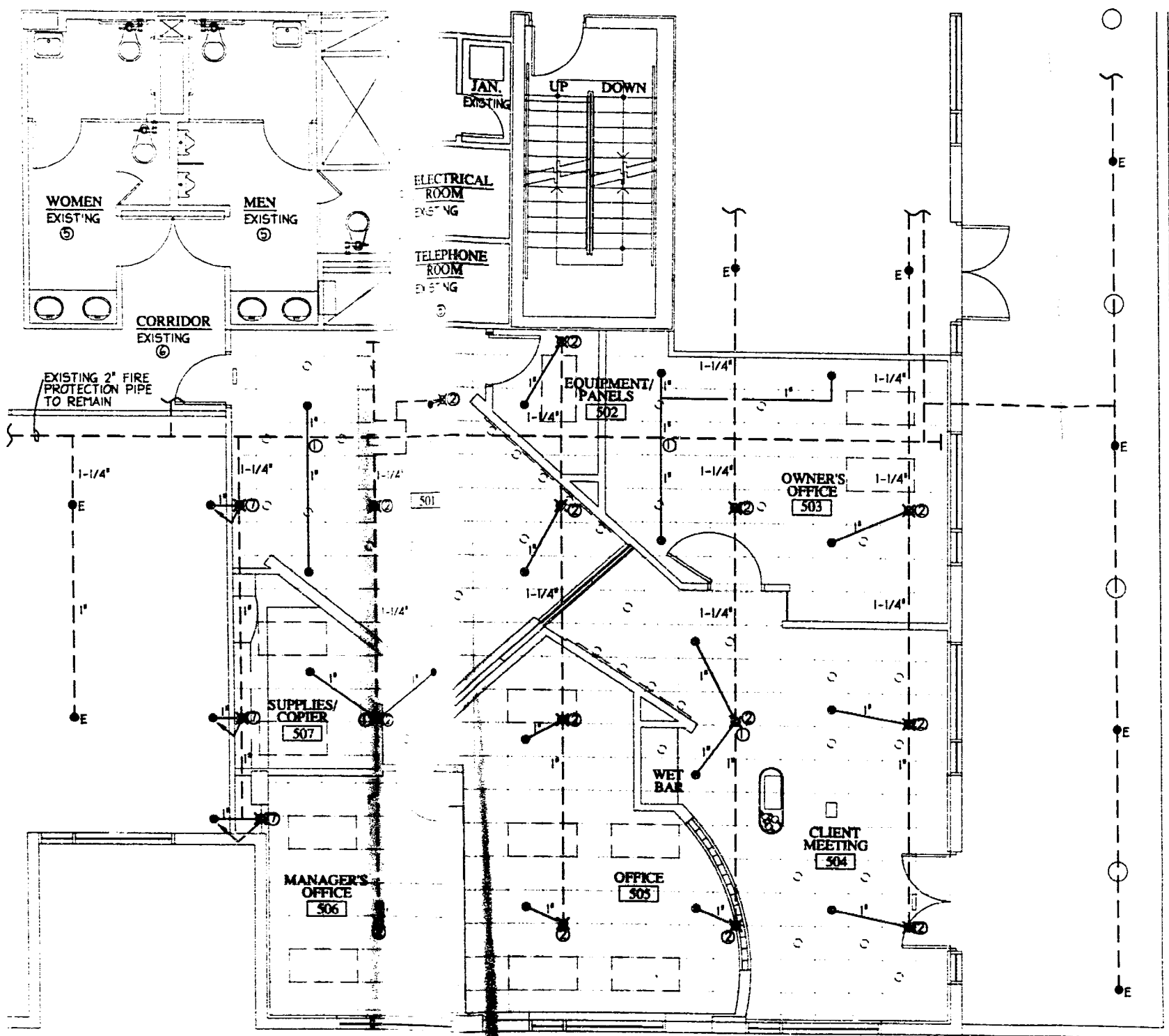
Title: FURNITURE PLAN

Sheet Number: A2-11

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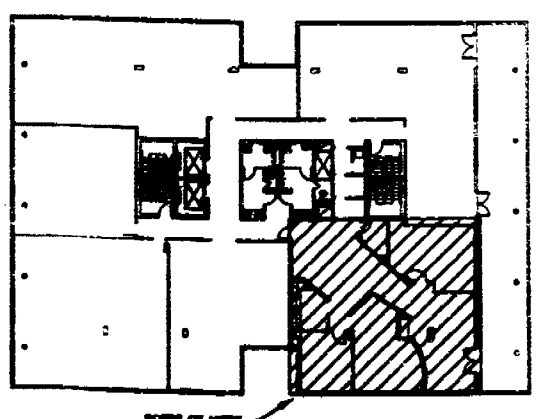
APPROVED FOR PERMIT BY
 THE FOLLOWING:

BUILDING: _____
 ZONING: _____
 CONFORMANCE: _____
 PLANNING: _____
 ELECTRICAL: _____
 MECHANICAL: _____
 FIRE PREVENTION: _____
 ENGINEERING: _____
 PUBLIC WORKS: _____
 STRUCTURAL: _____
 AQUARIUM: _____
 CIVIL: _____

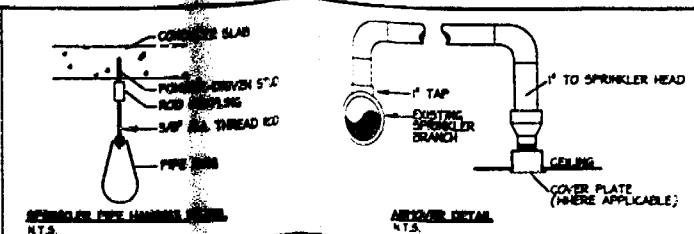


5th Floor Plan - Fire Protection
 1/4" = 1'-0"

CONSTRUCTION NOTES:
 1. REMOVE SPRINKLER HEAD TO BE REMOVED. EXTEND PIPE TO LOCATION INDICATED AND PROVIDE NEW SPRINKLER HEAD AS SHOWN.
 2. REMOVE SPRINKLER HEAD OR PIPE TO BE REMOVED. EXTEND PIPE TO LOCATION INDICATED AND PROVIDE NEW SPRINKLER HEAD AS SHOWN.
 3. REMOVE SPRINKLER PIPE TO BE REMOVED. EXTEND PIPE TO LOCATION INDICATED AND PROVIDE NEW SPRINKLER HEAD AS SHOWN.
 4. REMOVE SPRINKLER PIPE TO BE REMOVED. EXTEND PIPE TO LOCATION INDICATED AND PROVIDE NEW SPRINKLER HEAD AS SHOWN.
 5. REMOVE SPRINKLER PIPE TO BE REMOVED. EXTEND PIPE TO LOCATION INDICATED AND PROVIDE NEW SPRINKLER HEAD AS SHOWN.
 6. REMOVE SPRINKLER PIPE TO BE REMOVED. EXTEND PIPE TO LOCATION INDICATED AND PROVIDE NEW SPRINKLER HEAD AS SHOWN.
 7. REMOVE SPRINKLER PIPE TO BE REMOVED. EXTEND PIPE TO LOCATION INDICATED AND PROVIDE NEW SPRINKLER HEAD AS SHOWN.
 8. REMOVE SPRINKLER PIPE TO BE REMOVED. EXTEND PIPE TO LOCATION INDICATED AND PROVIDE NEW SPRINKLER HEAD AS SHOWN.
 9. REMOVE SPRINKLER PIPE TO BE REMOVED. EXTEND PIPE TO LOCATION INDICATED AND PROVIDE NEW SPRINKLER HEAD AS SHOWN.
 10. REMOVE SPRINKLER PIPE TO BE REMOVED. EXTEND PIPE TO LOCATION INDICATED AND PROVIDE NEW SPRINKLER HEAD AS SHOWN.



5th Floor - Key Plan
 1/4" = 1'-0"



SIZE OF BRANCH LINES SHALL BE PER NFPA 8 TABLE 8-4.2.2, AS FOLLOWS:	HEADS	PIPE SIZE
1	1-2"	7/8"
2	3"	1-1/8"
3	4"	1-1/4"
4	5"	1-3/4"

- REVISIONS:**
- CONTRACTOR SHALL REMOVE FROM THIS SPACE ALL EXISTING FIRE PROTECTION PIPE THAT IS NOT TO BE UTILIZED DURING THE TENANT IMPROVEMENT WORK. CONTRACTOR SHALL NOT ABANDON ANY EXISTING MECHANICAL WORK.
 - ALL DEMOLITION WORK SHALL BE PERFORMED DURING THE TIME SCHEDULED BY THE LANDLORD.
 - ALL DEMOLITION WORK SHALL BE PERFORMED AS PART OF THE DEMOLITION WORK IS THE PROPERTY OF THE LANDLORD. CONTRACTOR SHALL REMOVE TO AREA DESIGNATED BY LANDLORD. IN THE EVENT LANDLORD DECIDES NOT TO ACCEPT ANY DEMOLITION EQUIPMENT, THEN THE REMOVED EQUIPMENT BELONGS TO THE CONTRACTOR, AND SHALL BE REMOVED FROM THE PROJECT.
 - CONTRACTOR SHALL PERFORM THE WORK AS DIRECTED BY LANDLORD, BUT IN NO EVENT SHALL THE WORK PERFORMED UNDER CONTRACT AFFECT THE SCHEDULE OF THE EXISTING TENANT ADJACENT TO THIS SPACE.

- FIRE ALARM SYSTEM NOTES:**
- CONTRACTOR PERFORMING MODIFICATIONS TO THE FIRE ALARM SYSTEM SHALL:
 - KEEP FIRE ALARM SYSTEM OPERATIONAL AT ALL TIMES DURING THE CONSTRUCTION PERIOD.
 - NOTIFY FIRE DETECTOR DEVICES BY COVERING DURING PERIOD OF CONSTRUCTION. ALL DEVICES SHALL BE UNCOVERED DURING UNCONSTRUCTION PERIODS.
 - CONTRACTOR REPORTING MODIFICATIONS TO THE FIRE SPRINKLER SYSTEM SHALL:
 - KEEP FIRE SPRINKLER SYSTEM OPERATIONAL AT ALL TIMES DURING THE CONSTRUCTION PERIOD.
 - COORDINATE ALL MODIFICATIONS TO THE SYSTEM, INCLUDING DRAINAGE OF PIPES WITH BUILDING ENGINEER.
 - SYSTEM SHALL BE SHUT DOWN DURING CONSTRUCTION:
 - CONTRACTOR SHALL NOTIFY LANDLORD IF ANY PORTION OF THE FIRE/ALIVE SAFETY SYSTEM REQUIRES DRAINING DURING CONSTRUCTION AND PROVIDE WRITTEN NOTICE 72 HOURS PRIOR TO DEACTIVATION OR DISABLING OF ANY PART OF THE SYSTEM.
 - CONTRACTOR SHALL COORDINATE FIRE/ALIVE SAFETY SYSTEM SHUT-DOWNS WITH BUILDING ENGINEER AND REPAIR SHUT-DOWN WITH SECURITY.
 - FIRE/ALIVE SAFETY SYSTEM SHALL BE ACTIVATED AND BROUGHT BACK TO FULL OPERATION AT THE END OF EVERY CONSTRUCTION DAY.

- GENERAL INSTALLATION NOTES:**
- PIPE SHALL BE PROTECTED:
 - PIPE 2" AND SMALLER XL PIPE
 - PIPE 2" AND LARGER BLACK STEEL, SCHEDULE 40
 - SPRINKLER HEAD SHALL BE INSTALLED WITH LISTED STEEL FLOOR FINISH ON TOP OF CEILING. CEILING PLATE SHALL BE WHITE.
 - ALL FITTINGS SHALL BE INSTALLED AS NOTED AND BEAR THE UNDERWRITERS LABORERS LABEL.
 - PERIODS OF CONSTRUCTION AND WORKSHIP - FIRE PROTECTION:
 - SPRINKLER HEADS IN CEILING SHALL BE ALIGNED WITH LIGHT FIXTURES.
 - HEADS SHALL BE INSTALLED WITH LISTED STEEL FLOOR FINISH ON TOP OF CEILING. CEILING PLATE SHALL BE WHITE.
 - ALL HANGERS SHALL BE INSTALLED AS PER NFPA 13.
 - ALL PIPES SHALL BE HUNG WITH 3/8" ALL THREAD ROD.
 - SYSTEM SHALL BE DESIGNED AS PER NFPA 13. NO LIGHT HAZARD OCCUPANCY SECTION TIED PIPE SCHEDULES REQUIRED.
 - ALL HEADS SHALL BE INSTALLED CENTER IN TILE IN BOTH DIRECTIONS.
 - PROVIDE FIRE PROTECTION SPRINKLER COVERAGE AS PER BLDG. CONTRACT SPECIFICATIONS. DRAWINGS SPRINKLER HEADS MUST BE ON CENTER OF TILE IN BOTH DIRECTIONS. VERIFY WITH ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
 - DRAWINGS SHOW THE GENERAL ARRANGEMENT OF THE SPRINKLER HEADS FOR COORDINATION OF MECHANICAL AND ELECTRICAL WORK, BUT DOES NOT INCLUDE DETAILED DESIGN OF THE FIRE PROTECTION SYSTEM. CONTRACTOR SHALL PREPARE AND SUBMIT A SEALED FIRE SPRINKLER DRAWING FOR PERMIT.

- LABOR NOTES:**
- ALL DEMOLITION AND NEW CONSTRUCTION WORK, WITHOUT EXCEPTION, SHALL COMPLY WITH THE BUILDING CODE AND REGULATIONS FOR CONTRACTORS. ALL WORKING BUILDING SYSTEMS SHALL BE COORDINATED BY THE BUILDING DEPARTMENT AND APPROVED BY BUILDING'S CHIEF ENGINEER.
 - NON PERMITTED UNDER THIS PROJECT WILL NOT BE CONSIDERED AS COMPLETE. THE FINAL ACCEPTANCE OF THE WORK BY THE LANDLORD ENGINEERS, REPRESENTING THE FOLLOWING OCCUPANTS ARE RECEIVED AND FOUND ACCEPTABLE BY THE LANDLORD:
 - IS-BUILD DRAWINGS
 - WELDING CERTIFICATES, TYPED AND ATTACHED TO PANELS
 - QUALITY CONTROL ON-SITE ENGINEER TO DEMONSTRATE OPERATION OF MECHANICAL AND ELECTRICAL SYSTEMS
 - PERMIT OR MAINTENANCE PERMITS FOR ANY ADDED MECHANICAL/ELECTRICAL SYSTEMS
 - REPLACEMENT AND REMOVAL OF TEMPORARY CONSTRUCTION AND FILTERS
 - PROPER INSTALLATION OF VALVES, EQUIPMENT, PANELBOARDS, ETC.
 - DETAILS OF WORK FOUND ACCEPTABLE.

International Design Partnership Incorporated
 30 W. Mashta Drive
 Key Biscayne, FL 33149
 Tel: 305.365.8338/Fax: 305.365.8339

No.	Issue	Date

CLIENT APPROVAL
 I have reviewed these plans and have been given the opportunity to ask questions about them prior to issue. These plans conform to our requirements. I understand that any modifications to these plans will be an additional service with potential impact on construction cost and scheduling.

ACCEPTED AS IS
 ACCEPTED AS NOTED

Signature: _____ Date: _____

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DALLA-RIZZA & ASSOCIATES
 Consulting Engineers, Inc.
 200 S.W. 3rd Ave., Suite 2000, Miami, FL 33130
 Telephone: 305.577.8888
 Fax: 305.577.8889
 E-Mail: dallas@idp.com

LATIN AMERICAN NETWORK
 5th FLOOR
 ATLANTIC CENTER
 119 WASHINGTON AVENUE
 MIAMI BEACH, FL 33139

Owner: BLAKE COUNTY LLC
 3077 LINCOLN ROAD # 2
 MIAMI BEACH, FL 33139

Contact: NORA DIAZ Tel: 305 673 1000

Date: March 20, 2003
 Project No: 20045
 Drawn By: MCF/BC
 Checked By: JEM
 CAD File: C:\Users\nora\public\miami\miami\5FP-1.dwg

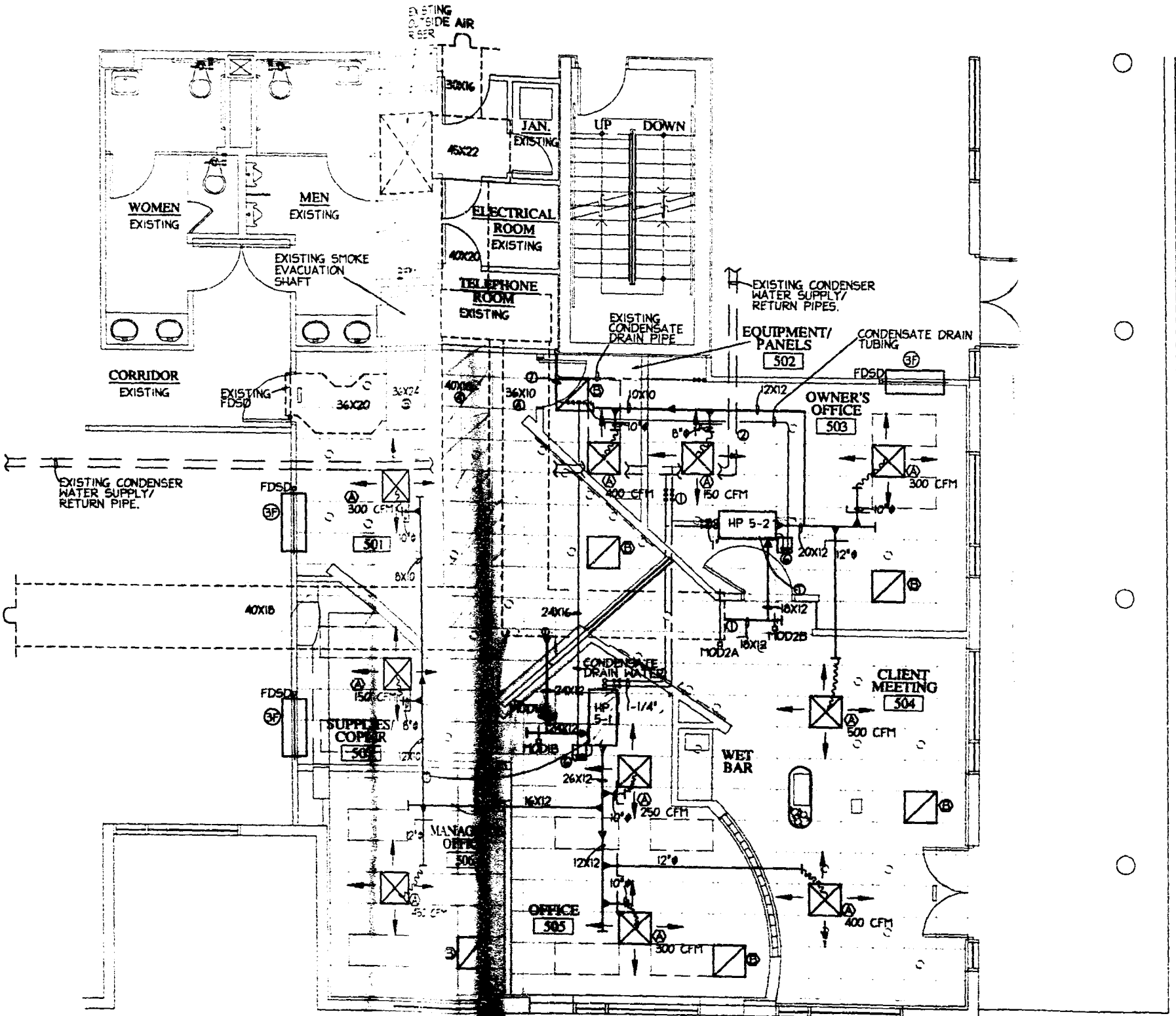
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 CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY THE FOLLOWING:

BUILDING: _____
 ZONING: _____
 CONSTRUCTION: _____
 PLUMBING: _____
 ELECTRICAL: _____
 MECHANICAL: _____
 FIRE PROTECTION: _____
 ENGINEERING: _____
 PUBLIC WORKS: _____
 STRUCTURAL: _____
 ACCREDITED: _____
 CLEANING: _____

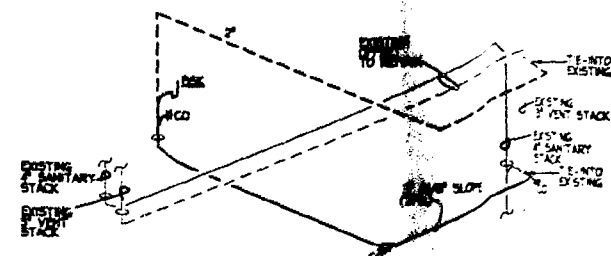
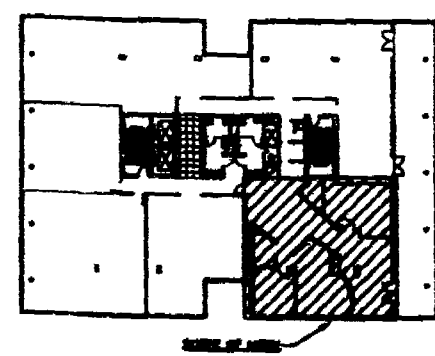
FIRE PROTECTION PLAN
 5FP-1

Sheet Number: **5FP-1**

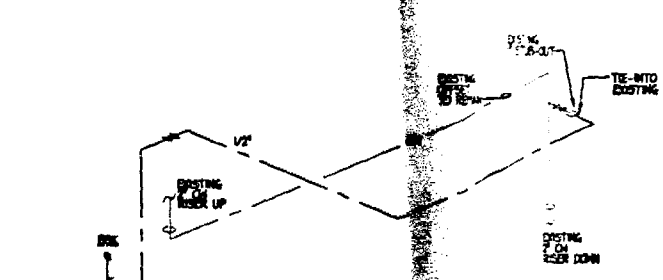


5th Floor Plan - Mechanical
Scale: 1/4" = 1'-0"

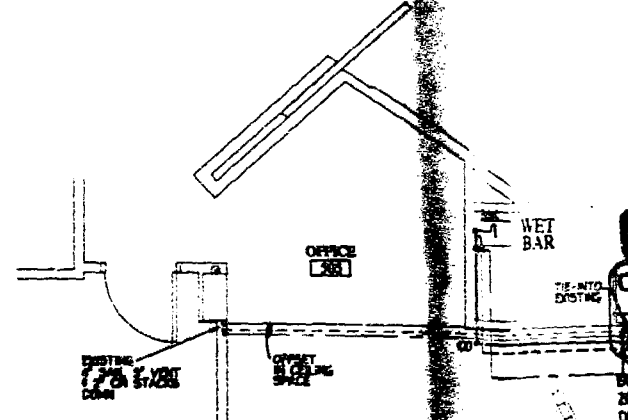
CONSTRUCTION NOTES:
 1. THE #1 TO EXISTING
 2. DISTINGUISH EXISTING
 3. CONTRACTOR SHALL REMOVE FROM THIS SPACE ALL PIPE, DUCTWORK AND AIR DISTRIBUTION DEVICES THAT WILL NOT BE UTILIZED DURING THE TENANT RENOVATION WORK. CONTRACTOR SHALL NOT ABANDON ANY EXISTING EQUIPMENT WORK.
 4. ALL DEMO WORK SHALL BE PERFORMED DURING THE TENANT RENOVATION PERIOD. CONTRACTOR SHALL MOVE TO AREA RESERVED AS PART OF THE DEMOLITION WORK IS THE PROPERTY OF THE LANDLORD. IN THE EVENT LANDLORD CHOOSES NOT TO REMOVE ANY OF THE EQUIPMENT, THEN THE REMOVED EQUIPMENT BECOMES THE PROPERTY OF THE CONTRACTOR, AND SHALL BE REMOVED FROM THE PREMISES.
 5. CONTRACTOR SHALL PERFORM THE WORK AS DIRECTED BY LANDLORD, AND IN NO CASE SHALL THE WORK PERFORMED UNDER CONTRACT AFFECT THE OPERATING SCHEDULE OF THE EXISTING TENANT ADJACENT TO THIS SPACE.



Sanitary Isometric
Not to Scale



Water Isometric
Not to Scale



Partial Plan - Plumbing
Scale: 1/4" = 1'-0"

CONSTRUCTION NOTES:
 1. CONTRACTOR SHALL REMOVE FROM THIS SPACE ALL PIPE, DUCTWORK AND AIR DISTRIBUTION DEVICES THAT WILL NOT BE UTILIZED DURING THE TENANT RENOVATION WORK. CONTRACTOR SHALL NOT ABANDON ANY EXISTING EQUIPMENT WORK.
 2. ALL DEMO WORK SHALL BE PERFORMED DURING THE TENANT RENOVATION PERIOD. CONTRACTOR SHALL MOVE TO AREA RESERVED AS PART OF THE DEMOLITION WORK IS THE PROPERTY OF THE LANDLORD. IN THE EVENT LANDLORD CHOOSES NOT TO REMOVE ANY OF THE EQUIPMENT, THEN THE REMOVED EQUIPMENT BECOMES THE PROPERTY OF THE CONTRACTOR, AND SHALL BE REMOVED FROM THE PREMISES.
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CONSTRUCTION NOTES:
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 2. CONTRACTOR SHALL PERFORM THE WORK AS DIRECTED BY LANDLORD, AND IN NO CASE SHALL THE WORK PERFORMED UNDER CONTRACT AFFECT THE OPERATING SCHEDULE OF THE EXISTING TENANT ADJACENT TO THIS SPACE.

International Design Partnership Incorporated
 30 W. Maasht Drive
 Key Biscayne, FL 33149
 Tel: 305.365.8338/Fax: 305.365.8339

No.	Issue	Date

CLIENT APPROVAL
 I have reviewed these plans and have been given the opportunity to ask questions about them prior to issue. These plans conform to our requirements. I understand that any modifications to these plans will be an additional service with potential impact on construction cost and scheduling.

ACCEPTED AS IS
 ACCEPTED AS NOTED

Signature: _____ Date: _____

AS THE REVIEWER

No.	Issue	Date

CLIENT APPROVAL
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DALLA-RIZZA & ASSOCIATES
 Consulting Engineers, Inc.
 1701 N.W. 12th Avenue, Suite 200, Ft. Lauderdale, FL 33304
 Tel: 305.461.1111 Fax: 305.461.1112
 1701 N.W. 12th Avenue, Suite 200, Ft. Lauderdale, FL 33304
 Tel: 305.461.1111 Fax: 305.461.1112

LATIN AMERICAN NETWORK
 5th FLOOR ATLANTIC CENTER
 119 WASHINGTON AVENUE
 MIAMI BEACH, FL 33139

Owner: BLUE COAST LLC
 677 LINCOLN ROAD S.E.
 MIAMI BEACH, FL 33136

Contact: NOBA DEAZ 305 308 973 1888

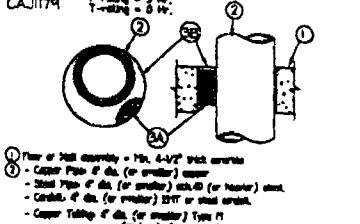
Date: March 25 2003
 Project No: 22045
 Drawn By: JC
 Checked By: JSE
 CAD File: C:\Users\jse\My Documents\22045\5M-1.dwg

Title: MECHANICAL PLAN
 Scale: 1/4" = 1'-0"

Sheet Number: 5M-1

John Della Rizza
 3/24/03

3 Hour Fire Rated Through Penetration Through Fire-Resistive Floor or Wall
TRENCO
 Details to be used

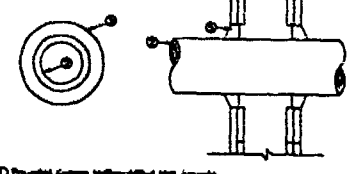


- 1) Top of slab opening - 3/4" x 4-1/2" steel angle
- 2) Collar Flange of slab (or smaller) anchor
- 3) 3/4" x 4-1/2" steel angle (or smaller) anchor
- 4) Collar of slab (or smaller) collar
- 5) Collar Flange of slab (or smaller) anchor
- 6) Collar Flange of slab (or smaller) anchor

Applied with a 1/4" x 1/2" anchor screw. The 3-3/4" x 3/4" x 1/2" (min.) steel angle must be installed. Review published code books.

Apply with a 1/4" x 1/2" anchor screw. The 3-3/4" x 3/4" x 1/2" (min.) steel angle must be installed. Review published code books.

1 - 2 Hour Fire Rated Through Penetration Through Fire-Resistive Floor or Wall
TRENCO
 Details to be used

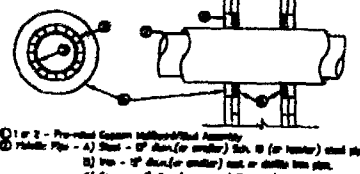


- 1) Top of slab opening - 3/4" x 4-1/2" steel angle
- 2) Collar Flange of slab (or smaller) anchor
- 3) 3/4" x 4-1/2" steel angle (or smaller) anchor
- 4) Collar of slab (or smaller) collar
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1 - 2 Hour Fire Rated Through Penetration Through Fire-Resistive Floor or Wall
TRENCO
 Details to be used



- 1) Top of slab opening - 3/4" x 4-1/2" steel angle
- 2) Collar Flange of slab (or smaller) anchor
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1 - 2 Hour Fire Rated Through Penetration Through Fire-Resistive Floor or Wall
TRENCO
 Details to be used



- 1) Top of slab opening - 3/4" x 4-1/2" steel angle
- 2) Collar Flange of slab (or smaller) anchor
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- 5) Collar Flange of slab (or smaller) anchor
- 6) Collar Flange of slab (or smaller) anchor

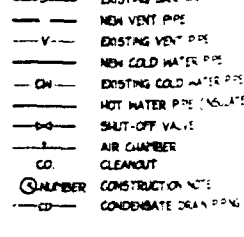
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Apply with a 1/4" x 1/2" anchor screw. The 3-3/4" x 3/4" x 1/2" (min.) steel angle must be installed. Review published code books.

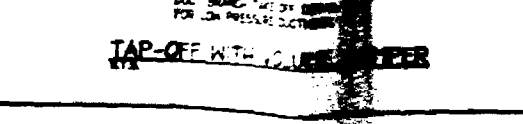
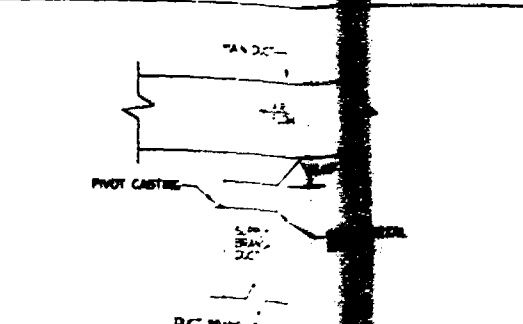
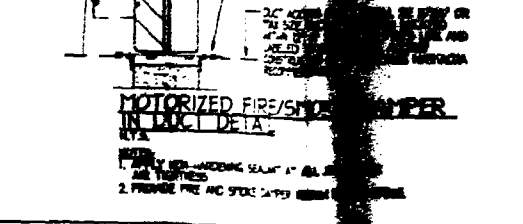
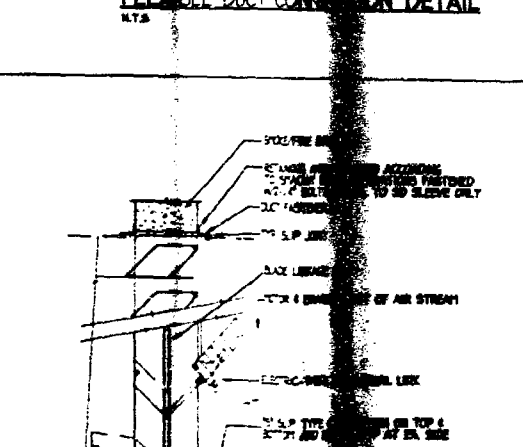
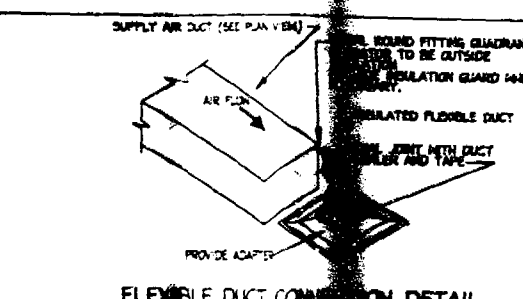
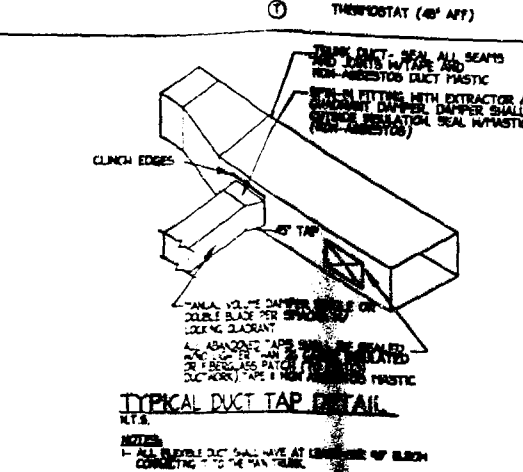
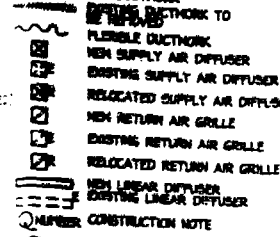
1 - 2 Hour Fire Rated Through Penetration Through Fire-Resistive Floor or Wall
TRENCO
 Details to be used



LEGEND (PLUMBING)



LEGEND (HVAC)

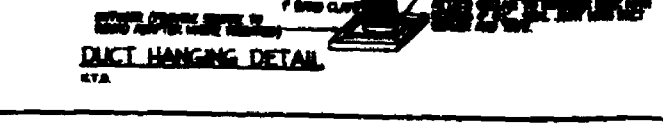
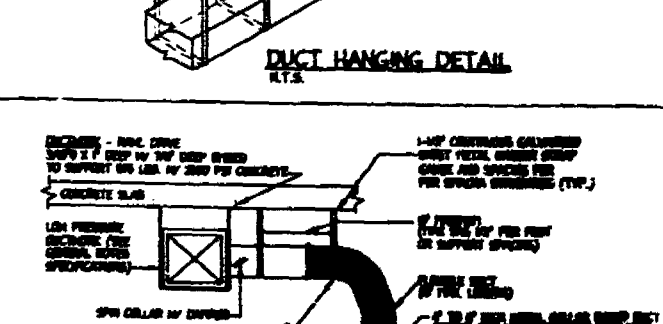
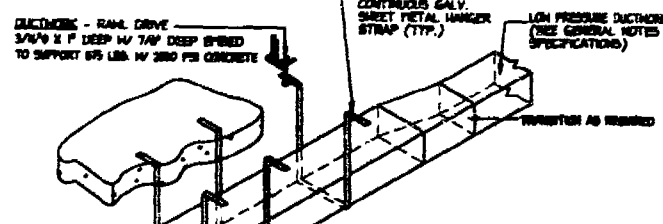
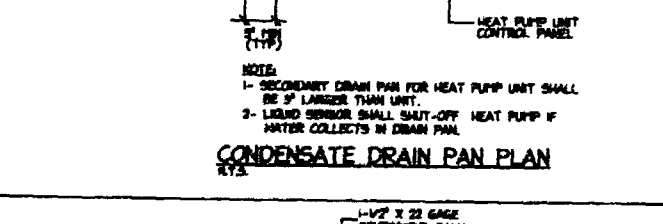
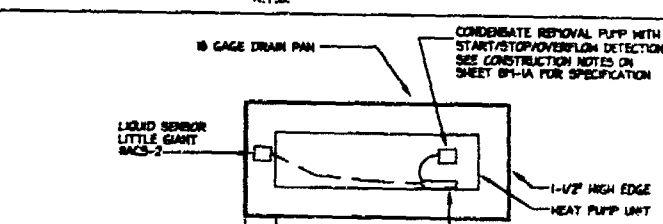
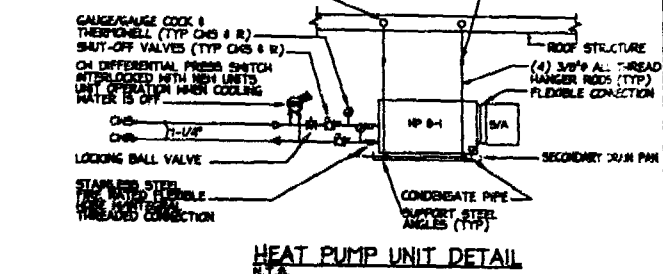
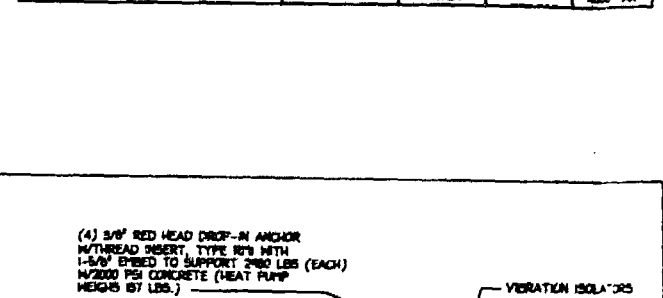


PLUMBING FIXTURE SCHEDULE

SYMBOL	DESCRIPTION	SIZE	QTY	REMARKS
...

AIR DISTRIBUTION SCHEDULE

SYMBOL	USE	TYPE	MODEL NO.	NECK SIZE	FLEX. SIZE	CFM RANGE
...

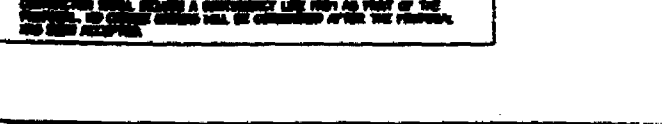
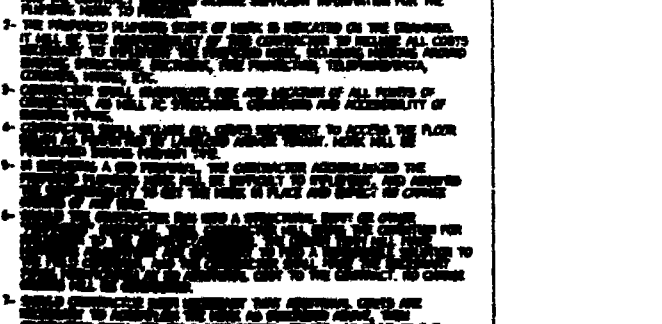
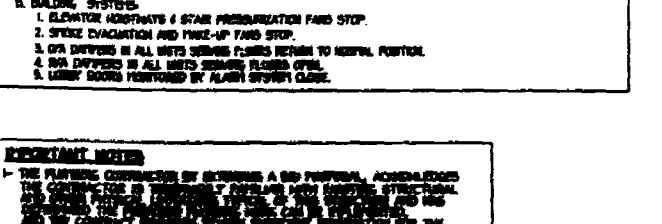
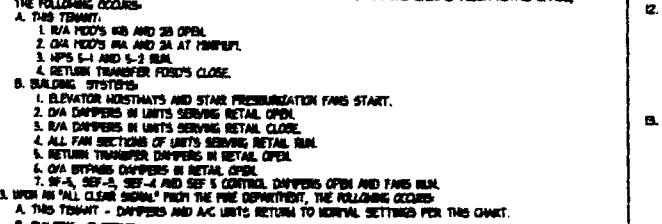
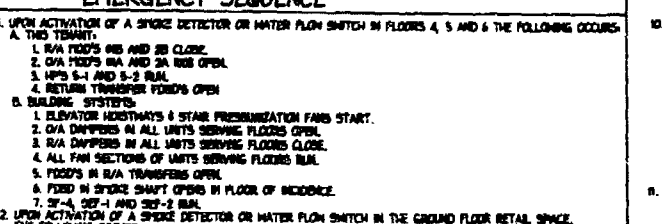
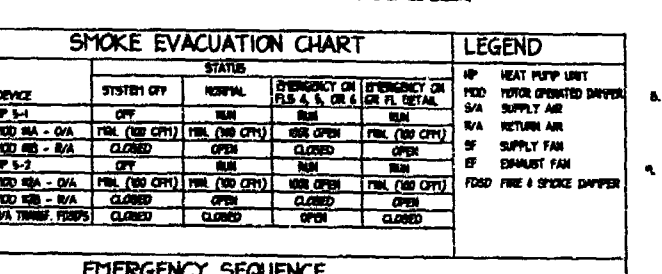
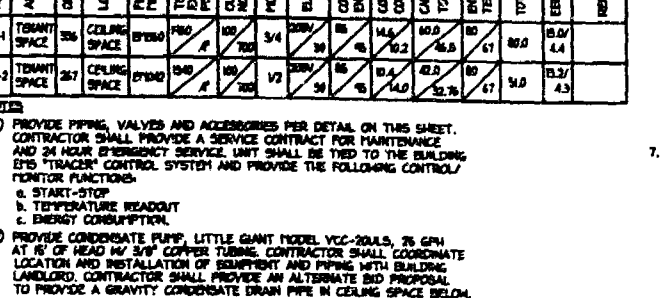


OUTSIDE AIR SCHEDULE

A/C UNIT NUMBER	AREA SERVED	FLOOR AREA OR # OF PEOPLE	FSC TABLE 6.5.1 OUTSIDE AIR CRITERIA	OUTSIDE AIR (CFM)
...

HEAT PUMP SCHEDULE

HEAT PUMP NO.	AREA SERVED	FAN		COOLING		HEATING		REMARKS
		LOCATION	TYPE	TYPE	TYPE	TYPE	TYPE	
...



GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK PRIOR TO THE START OF WORK. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE COVERAGE.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL CODE (IMC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 90A.
4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT AREAS AT ALL TIMES.
5. ALL MATERIALS AND EQUIPMENT SHALL BE STORED AND HANDLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
6. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND FINISHES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL WASTE AND DEBRIS IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS.
8. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL WORK PERFORMED AND MATERIALS USED.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE AND CERTIFICATES OF LIABILITY.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE COVERAGE.

International Design Partnership Incorporated

30 W. Mashta Drive
Key Biscayne, FL 33149
Tel: 305.365.8338/Fax: 305.365.8339

No.	Issue	Date

CLIENT APPROVAL

I have reviewed these plans and have been given the opportunity to ask questions about them prior to issue. These plans conform to all applicable codes and regulations. I understand that any modifications to these plans will be an additional service with potential impact on construction cost and scheduling.

ACCEPTED AS IS
 ACCEPTED AS NOTED

Signature: _____ Date: _____

DALLA-RIZZA & ASSOCIATES

CONSULTING ENGINEERS, INC.
 1201 BAY LANE, SUITE 200, MIAMI BEACH, FL 33139
 TEL: (305) 674-2200 FAX: (305) 674-2201

LATIN AMERICAN NETWORK

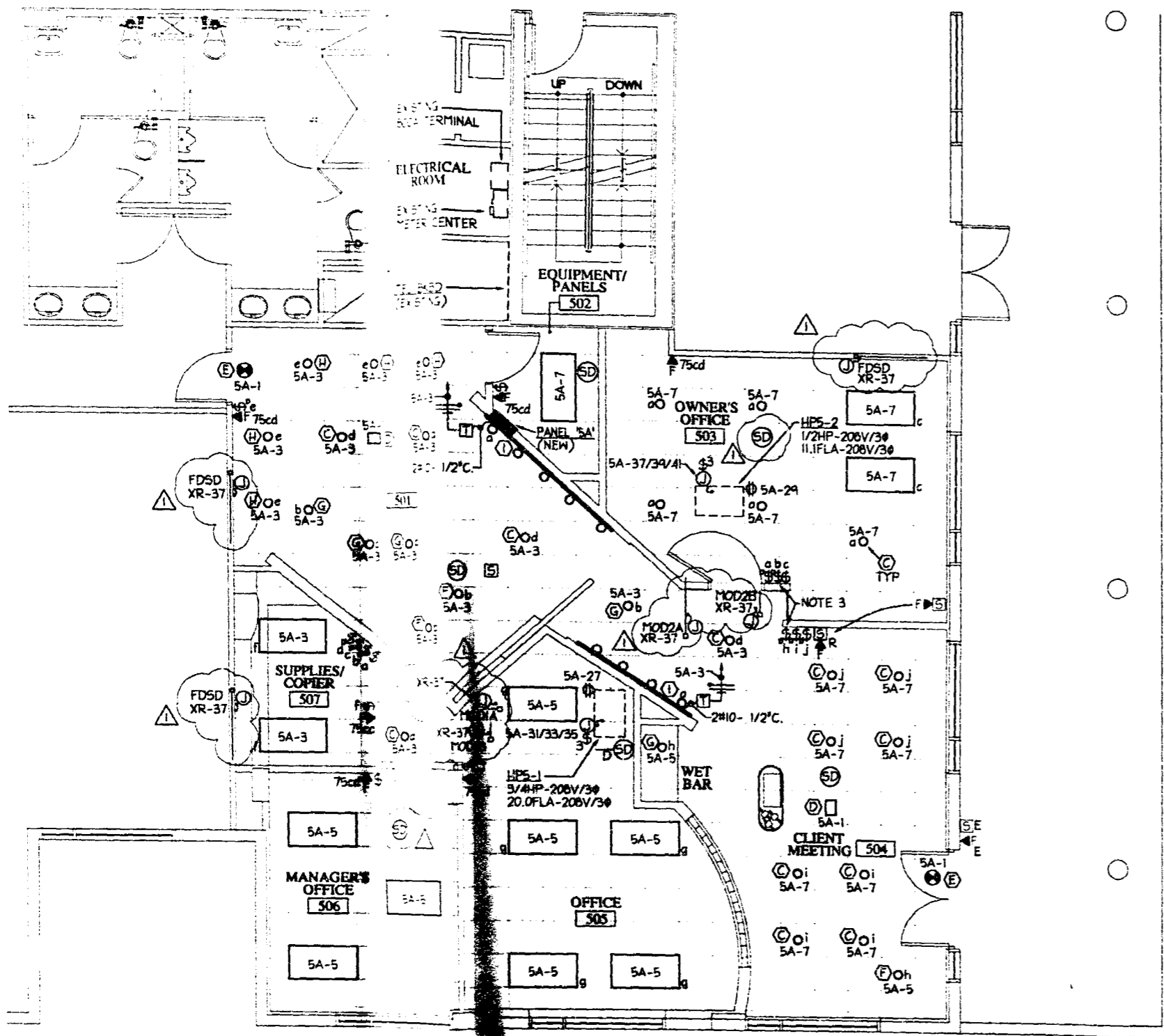
5th FLOOR ATLANTIC CENTER
119 WASHINGTON AVENUE
MIAMI BEACH, FL 33139

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:

DATE: March 25, 2003
 DRAWN BY: JRM
 CHECKED BY: JRM
 CADD FILE: C:\latam\5m-2\5m-2.dwg

5M-2

REVIEWED FOR CODE COMPLIANCE As Per Florida Building Code Section 504.5.3



5th Floor Plan - Lighting & Fire Alarm
SCALE: 1/8" = 1'-0"

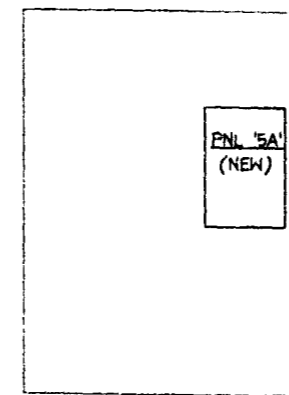
NOTES:
1- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LIGHTING FIXTURES AND CEILING GRID.
2- ALL LIGHT FIXTURES SHALL BE TYPE 4 ALUMINUM OR ANTI-CORROSIVE.
3- NEW SWITCH CONTROLS ELECTRICAL SYSTEMS SHALL BE 20 AMP.

FIRE / LIFE SAFETY SYSTEMS NOTES

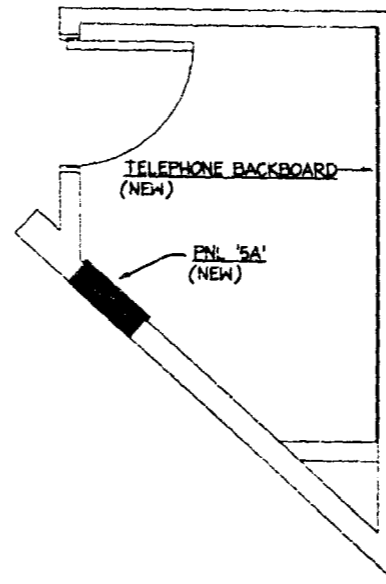
- CONTRACTOR PERFORMING MODIFICATIONS TO THE FIRE ALARM SYSTEM SHALL:
 - KEEP FIRE ALARM SYSTEM OPERATIONAL AT ALL TIMES DURING THE BUILDING CONSTRUCTION PERIOD.
 - PROTECT SMOKE DETECTOR DEVICES BY COVERING DURING PERIOD OF CONSTRUCTION. ALL DEVICES SHALL BE UNCOVERED DURING NON-CONSTRUCTION PERIODS.
- SYSTEM SHUT-DOWN DURING CONSTRUCTION:
 - CONTRACTOR SHALL NOTIFY LANDLORD IF ANY PORTION OF THE FIRE ALARM SYSTEM REQUIRES DISABLING DURING CONSTRUCTION AND PROVIDE WRITTEN NOTICE 72 HOURS PRIOR TO DEACTIVATION OR DISABLING OF ANY PART OF THE SYSTEM.
 - CONTRACTOR SHALL COORDINATE FIRE/LIFE SAFETY SYSTEM SHUT-DOWN WITH BUILDING ENGINEER AND RELOAD SHUT-DOWN WITH SECURITY.
 - FIRE/LIFE SAFETY SYSTEM SHALL BE ACTIVATED AND BROUGHT BACK TO FULL OPERATION AT THE END OF EVERY CONSTRUCTION DAY.

GENERAL NOTES

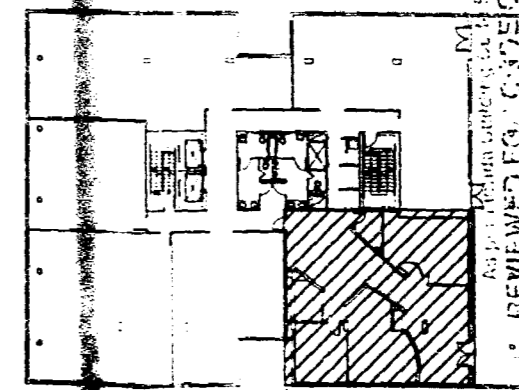
- CONTRACTOR SHALL REMOVE FROM THIS SPACE ALL EXISTING RECEPTACLES, LIGHT FIXTURES, SWITCHES, SMOKE DETECTORS, FIRE ALARM SPEAKERS, FLASHING STATIONS, JUNCTION BOXES, CONDUIT AND WIRING THAT WILL NOT BE UTILIZED DURING THE TENANT IMPROVEMENT WORK. CONTRACTOR SHALL NOT ABANDON ANY EXISTING ELECTRICAL WORK.
- CONTRACTOR SHALL RECORD ON AS-BUILT DRAWINGS ANY BUILDING WORK THAT WILL REMAIN IN THE TENANT IMPROVEMENT WORK, SPECIFICALLY JUNCTION BOXES FOR FIRE ALARM OR OTHER CONTROL WORK.
- CONTRACTOR SHALL INVESTIGATE AND NOTIFY ENGINEER OF ANY EXISTING JUNCTION BOXES THAT MAY OCCUR OVER ANY HANG TYPE CEILING AS SOON AS THE DEMOLITION WORK IS COMPLETED.
- CONTRACTOR SHALL INCLUDE ACCESS PANELS OR RELOCATE JUNCTION BOXES ABOVE HANG CEILING AS REQUIRED.
- ALL DEMOLITION WORK SHALL BE PERFORMED DURING THE TIME SCHEDULE PERMITTED BY THE LANDLORD.
- ALL EQUIPMENT REMOVED AS PART OF THE DEMOLITION WORK IS THE PROPERTY OF THE LANDLORD. CONTRACTOR SHALL MOVE TO AREA DESIGNATED BY LANDLORD. IN THE EVENT LANDLORD CHOOSES NOT TO ACCEPT ANY OR ALL EQUIPMENT, THEN THE REMOVED EQUIPMENT BECOMES THE PROPERTY OF THE CONTRACTOR, AND SHALL BE REMOVED FROM THE PREMISES.
- CONTRACTOR SHALL PERFORM THE WORK AS DIRECTED BY LANDLORD, BUT IN NO EVENT SHALL THE WORK PERFORMED UNDER CONTRACT APPLICABLE TO THE OPERATING SCHEDULE OF THE EXISTING TENANT ADJACENT TO THIS SPACE.



Equipment 502 - North Elevation
SCALE: 1/2" = 1'-0"



Partial Plan - Equipment 502
SCALE: 1/2" = 1'-0"



5th Floor - Key Plan
SCALE: 1/8" = 1'-0"

OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY THE FOLLOWING:

BUILDING: [Signature]
CONCRETE: [Signature]
CONCRETE: [Signature]
CONCRETE: [Signature]

ELECTRICAL:
ALL WORK TO BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE CITY OF MIAMI BEACH ELECTRICAL CODE. ALL WORK SHALL BE PERFORMED UNDER THE SUPERVISION OF A LICENSED ELECTRICIAN. ALL WORK SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. ALL WORK SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. ALL WORK SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

International Design Partnership Incorporated
30 W. Mainline Drive
Key Biscayne, FL 33149
Tel: 305.365.8338/Fax: 305.365.8339

No.	Issue	Date
1	BLDG. DEPT. COMMENTS	4-14-05

CLIENT APPROVAL
I have reviewed these plans and have been given the opportunity to ask questions about them, prior to issue. These plans conform to our requirements. I understand that any modifications to these plans will be an additional service with potential impact on construction cost and scheduling.

ACCEPTED AS IS
 ACCEPTED AS NOTED

Signature: _____ Date: _____

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DALLA-RIZZA & ASSOCIATES
CONSULTING ENGINEERS, INC.
300 S.W. 8th St., Suite 2000, Miami, FL 33135
TELEPHONE: 305.375.3333 FAX: 305.375.3333
E-MAIL: DALLA@IDP.COM

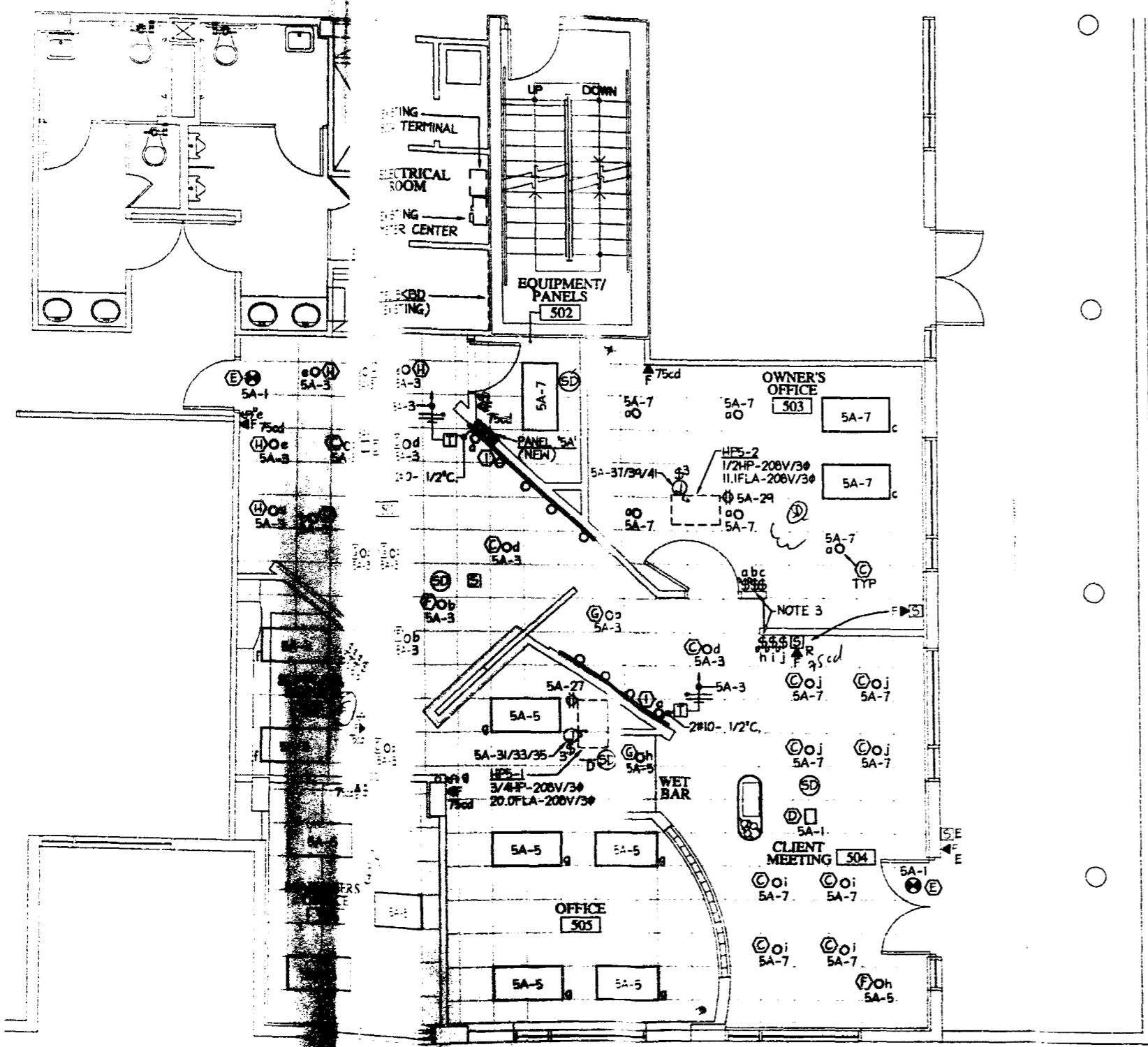
LATIN AMERICAN NETWORK
5th FLOOR
ATLANTIC CENTER
119 WASHINGTON AVENUE
MIAMI BEACH, FL 33139

Owner: MIAMI COUNTY LLC
119 WASHINGTON AVENUE
MIAMI BEACH, FL 33139

Contact: ROSA DIAZ Tel: 305 670 1639

Date: March 25, 2005
Project No: 22045
Drawn By: JC
Checked By: JR
CADD File: C:\dellem\latin american network

Title: **LIGHTING & FIRE ALARM PLAN**
Scale: 1/8" = 1'-0"
Sheet Number: **5E-1**

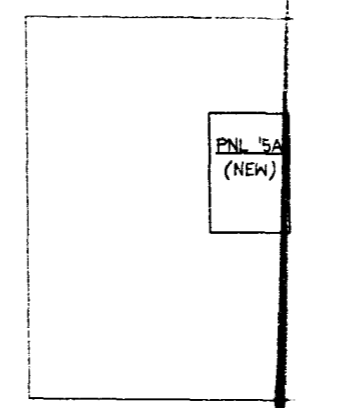


5th Floor - Lighting & Fire Alarm
 SCALE 1/8" = 1'-0"
 NOTES:
 1. REFER TO ELECTRICAL DRAWINGS FOR EXACT LOCATION OF LIGHTING FIXTURES AND CEILING GRID.
 2. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE 2001 NATIONAL ELECTRICAL CODE.
 3. NON-SPECIFIED LIGHTING FIXTURES SHALL BE OF THE TYPE AND FINISH AS SHOWN ON SHEET 5E-2.

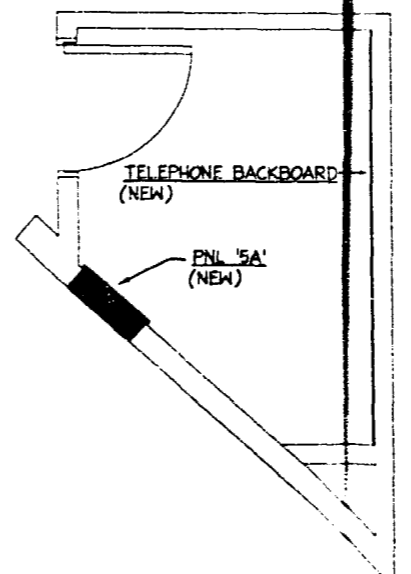
*30 second
B-6-b.*

FIRE / LIFE SAFETY SYSTEM NOTES
 1. CONTRACTOR PERFORMING MODIFICATIONS TO THE FIRE ALARM SYSTEM SHALL:
 A. KEEP FIRE ALARM SYSTEM OPERATIONAL AT ALL TIMES DURING THE ENTIRE CONSTRUCTION PERIOD.
 B. PROTECT SMOKE DETECTOR DEVICES BY COVERING DURING PERIOD OF CONSTRUCTION. ALL DEVICES SHALL BE UNCOVERED DURING NON-CONSTRUCTION PERIODS.
 2. SYSTEM SHUT-DOWNS DURING CONSTRUCTION:
 A. CONTRACTOR SHALL NOTIFY LANDLORD IF ANY PORTION OF THE FIRE/LIFE SAFETY SYSTEM REQUIRES DISABLED DURING CONSTRUCTION AND PROVIDE WRITTEN NOTICE 72 HOURS PRIOR TO DEACTIVATION OR DISABLED OF ANY PART OF THE SYSTEM.
 B. CONTRACTOR SHALL COORDINATE FIRE/LIFE SAFETY SYSTEM SHUT-DOWNS WITH BUILDING ENGINEER AND RECORD SHUT-DOWN WITH SECURITY.
 C. FIRE/LIFE SAFETY SYSTEM SHALL BE ACTIVATED AND BROUGHT BACK TO FULL OPERATION AT THE END OF EVERY CONSTRUCTION DAY.

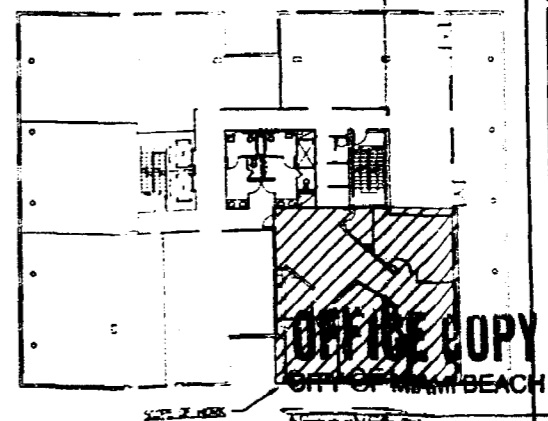
DEMOLITION NOTES
 1. CONTRACTOR SHALL REMOVE FROM THIS SPACE ALL EXISTING RECEPTACLES, SWITCHES, SMOKE DETECTORS, FIRE ALARM SPEAKERS, SOUND STATIONS, JUNCTION BOXES, CONDUIT AND WIRING THAT WILL NOT BE REUSED DURING THE TENANT IMPROVEMENT WORK. CONTRACTOR SHALL LABEL AND TAG ALL EXISTING ELECTRICAL WORK.
 2. CONTRACTOR SHALL RECORD ON AS-BUILT DRAWINGS ANY BUILDING WORK THAT WILL REMAIN IN THE TENANT IMPROVEMENT WORK SPECIFICALLY JUNCTION BOXES FOR FIRE ALARM OR OTHER CONTROL WORK.
 3. CONTRACTOR SHALL INVESTIGATE AND NOTIFY ENGINEER OF ANY EXISTING JUNCTION BOXES THAT MAY OCCUR OVER ANY HARD TYPE CEILING AS SOON AS DEMOLITION WORK IS COMPLETED.
 4. CONTRACTOR SHALL UNLACE, ACCESS PANELS OR RELOCATE JUNCTION BOXES ABOVE HANG CEILING AS REQUIRED.
 5. ALL DEMOLITION WORK SHALL BE PERFORMED DURING THE TIME SCHEDULED PERMITTED BY THE LANDLORD.
 6. ALL EQUIPMENT REMOVED AS PART OF THE DEMOLITION WORK IS THE PROPERTY OF THE LANDLORD. CONTRACTOR SHALL MOVE TO AREA DESIGNATED BY LANDLORD. BY THE EVENT LANDLORD ACCESSES NOT TO ACCEPT ANY OR ALL EQUIPMENT, THEN THE REMOVED EQUIPMENT BECOMES THE PROPERTY OF THE CONTRACTOR, AND SHALL BE REMOVED FROM THE SPACE.
 7. CONTRACTOR SHALL PERFORM THE WORK AS DIRECTED BY LANDLORD, AND ANY WORK SHALL BE PERFORMED UNDER CONTRACT WITHIN THE OPERATING SCHEDULE OF THE EXISTING TENANT ADJACENT TO THE SPACE.



Equipment 502 - North Elevation
 SCALE: 1/2" = 1'-0"



Partial Plan - Equipment 502
 SCALE: 1/2" = 1'-0"



5th Floor - Key Plan
 SCALE: 1/8" = 1'-0"

**International
 Design Partnership
 Incorporated**
 30 W. Mashta Drive
 Key Biscayne, FL 33149
 Tel: 305.365.8338/Fax: 305.365.8339

No.	Issue	Date

CLIENT APPROVAL
 I have reviewed these plans and have given the opportunity to ask questions about them prior to issue. These plans conform to our requirements. I understand that any modifications to these plans will be an additional service with potential impact on construction cost and scheduling.
 ACCEPTED AS IS
 ACCEPTED AS NOTED
 Signature: _____ Date: _____

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DALLA-PIZZA & ASSOCIATES
 CONSULTING ELECTRICAL ENGINEERS
 2801 N.W. 10TH AVENUE, SUITE 2000, MIAMI, FL 33150
 TEL: 305.555.1234 FAX: 305.555.5678
 REG. NO. 17961 MECHANICAL

LATIN AMERICAN NETWORK
 5th FLOOR
 ATLANTIC CENTER
 119 WASHINGTON AVENUE
 MIAMI BEACH, FL 33139

Owner: BLUE CORNET LLC
 407 LINCOLN ROAD # 3
 MIAMI BEACH, FL 33139
 Contact: MORA DIAZ Tel: 305.873.1836

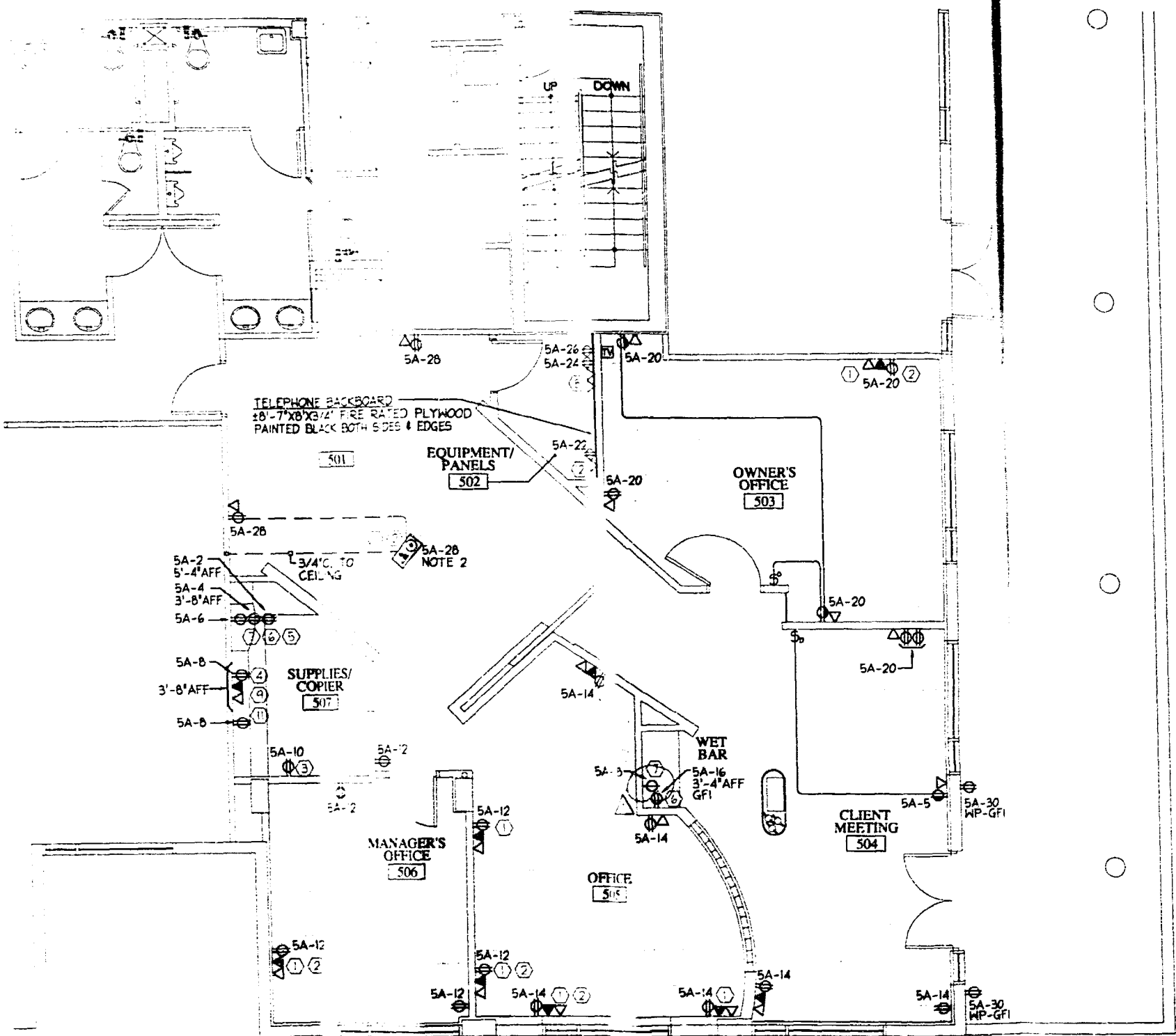
Date: March 25, 2003
 Project No: 22845
 Drawn By: SC
 Checked By: JSE
 CAISO File: C:\deliberate\latin american network

TITLE: LIGHTING & FIRE ALARM
 Scale: 1/8" = 1'-0"
 Sheet Number:

5E-1

APPROVED FOR PERMIT BY THE FOLLOWING:
 BUILDING: _____
 FIRE: _____
 ELECTRICAL: _____
 MECHANICAL: _____
 PLUMBING: _____
 HVAC: _____
 CONCRETE: _____
 STRUCTURAL: _____
 SIGNATURE: _____
 DATE: _____

REVISIONS:
 1. ALL DATA FOR NEW CONSTRUCTION SHALL BE PROVIDED TO THE CONTRACTOR.
 2. ALL WORK AFFECTING BUILDING SYSTEMS SHALL BE PERMITTED BY THE BUILDING DEPARTMENT.
 3. ALL WORK AFFECTING ELECTRICAL SYSTEMS SHALL BE PERMITTED BY THE ELECTRICAL BOARD.
 4. ALL WORK AFFECTING MECHANICAL SYSTEMS SHALL BE PERMITTED BY THE MECHANICAL BOARD.
 5. ALL WORK AFFECTING PLUMBING SHALL BE PERMITTED BY THE PLUMBING BOARD.
 6. ALL WORK AFFECTING CONCRETE SHALL BE PERMITTED BY THE CONCRETE BOARD.
 7. ALL WORK AFFECTING STRUCTURAL SHALL BE PERMITTED BY THE STRUCTURAL BOARD.
 8. ALL WORK AFFECTING SIGNATURE SHALL BE PERMITTED BY THE SIGNATURE BOARD.
 9. ALL WORK AFFECTING DATE SHALL BE PERMITTED BY THE DATE BOARD.
 10. ALL WORK AFFECTING CONCRETE SHALL BE PERMITTED BY THE CONCRETE BOARD.



5th Floor Plan- Power & Communication
 Scale: 1/4" = 1'-0"
 NOTES:
 1- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF MISSING DEVICES.
 2- COORDINATE ELECTRICAL AND COMMUNICATIONS WITH ARCHITECT/FURNITURE SUPPL. ETC.

DEMOLITION NOTES

- CONTRACTOR SHALL REMOVE FROM THIS SPACE ALL EXISTING RECEPTACLES, LIGHT FIXTURES, SWITCHES, SMOKE DETECTORS, FIRE ALARM SPEAKERS, FLASHING STATIONS, JUNCTION BOXES, CONDUIT AND WIRING THAT WILL NOT BE UTILIZED DURING THE TENANT IMPROVEMENT WORK. CONTRACTOR SHALL NOT ABANDON ANY EXISTING ELECTRICAL WORK.
- CONTRACTOR SHALL RECORD ON AS-BUILT DRAWINGS ANY BUILDING WORK THAT WILL REMAIN IN THE TENANT IMPROVEMENT WORK, SPECIFICALLY JUNCTION BOXES FOR FIRE ALARM OR OTHER CONTROL WORK.
- CONTRACTOR SHALL INVESTIGATE AND NOTIFY ENGINEER OF ANY EXISTING JUNCTION BOXES THAT MAY OCCUR OVER ANY HARD TYPE CEILING AS SOON AS THE DEMOLITION WORK IS COMPLETED.
- CONTRACTOR SHALL INCLUDE ACCESS PANELS OR RELOCATE JUNCTION BOXES ABOVE WARD CEILING AS REQUIRED.
- ALL DEMOLITION WORK SHALL BE PERFORMED DURING THE TIME PERMITTED BY THE LANDLORD.
- ALL EQUIPMENT REMOVED AS PART OF THE DEMOLITION WORK IS THE PROPERTY OF THE LANDLORD. CONTRACTOR SHALL MOVE TO AREA DESIGNATED BY LANDLORD. IN THE EVENT LANDLORD CHOOSES NOT TO ACCEPT ANY OR ALL EQUIPMENT, THEN THE REMOVED EQUIPMENT BECOMES THE PROPERTY OF THE CONTRACTOR, AND SHALL BE REMOVED FROM THE PREMISES.
- CONTRACTOR SHALL PERFORM THE WORK AS DIRECTED BY LANDLORD, BUT IN NO EVENT, SHALL THE WORK PERFORMED UNDER CONTRACT AFFECT THE OPERATING SCHEDULE OF THE EXISTING TENANT ADJACENT TO THIS SPACE.

EQUIPMENT LEGEND

① COMPUTER	⑦ REFRIGERATOR
② PRINTER	⑧ SERVERS
③ COPIER	⑨ MAIL MACHINE
④ FAX	⑩ WATER COOLER
⑤ MICROWAVE	⑪ PAPER SHREDDER
⑥ COFFEE MAKER	⑫ TELEPHONE PANEL

International Design Partnership Incorporated
 30 W. Mashita Drive
 Key Biscayne, FL 33149
 Tel: 305.365.8338 / Fax: 305.365.8339

No.	Issue	Date
1	BLDG. DEPT. COMMENTS	4-14-03

CLIENT APPROVAL
 I have reviewed these plans and have been given the opportunity to ask questions about them prior to issue. These plans conform to our requirements. I understand that any modifications to these plans will be an additional service with potential impact on construction cost and scheduling.

ACCEPTED AS IS
 ACCEPTED AS NOTED

Signature: _____ Date: _____

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DALLA-RIZZA & ASSOCIATES
 CONSULTING ENGINEERS, INC.
 302 S.W. 30TH LANE, COCONUT GROVE, FL 33065
 TELEPHONE: 305-444-8888 FAX: 305-444-8889
 E-MAIL: drizza@idp.com

REG. NO. 17811 MECHANICAL

LATIN AMERICAN NETWORK

5th FLOOR
 ATLANTIC CENTER
 119 WASHINGTON AVENUE
 MIAMI BEACH, FL 33139

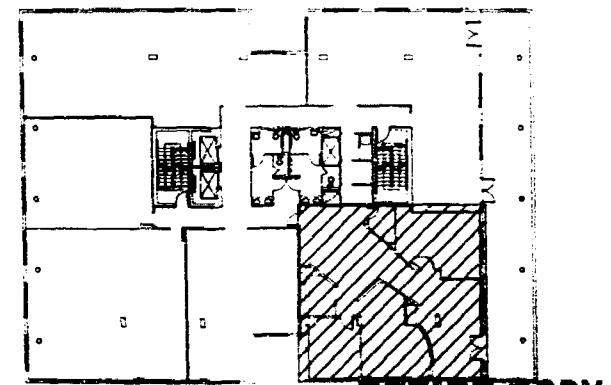
Owner: STATE COUNTY LLC
 807 LINCOLN ROAD S.E.
 MIAMI BEACH, FL 33138
 Contact: MORA DIAZ Tel: 305 872 1638

APPROVED FOR PERMIT BY THE FOLLOWING:

BUILDING: _____
 ZONING: _____
 DRAWING: 22045
 CONCURRENTLY: _____
 PLUMBING: _____
 ELECTRICAL: _____
 MECHANICAL: _____

Date: March 25, 2003
 Project No: 22045
 Drawn By: JC
 Checked By: JDR
 CADD File: C:\dallasrizza\latin american network

Title: **POWER & COMMUNICATION PLAN**
 Scale: 1/4" = 1'-0"
 Sheet Number: **5E-2**

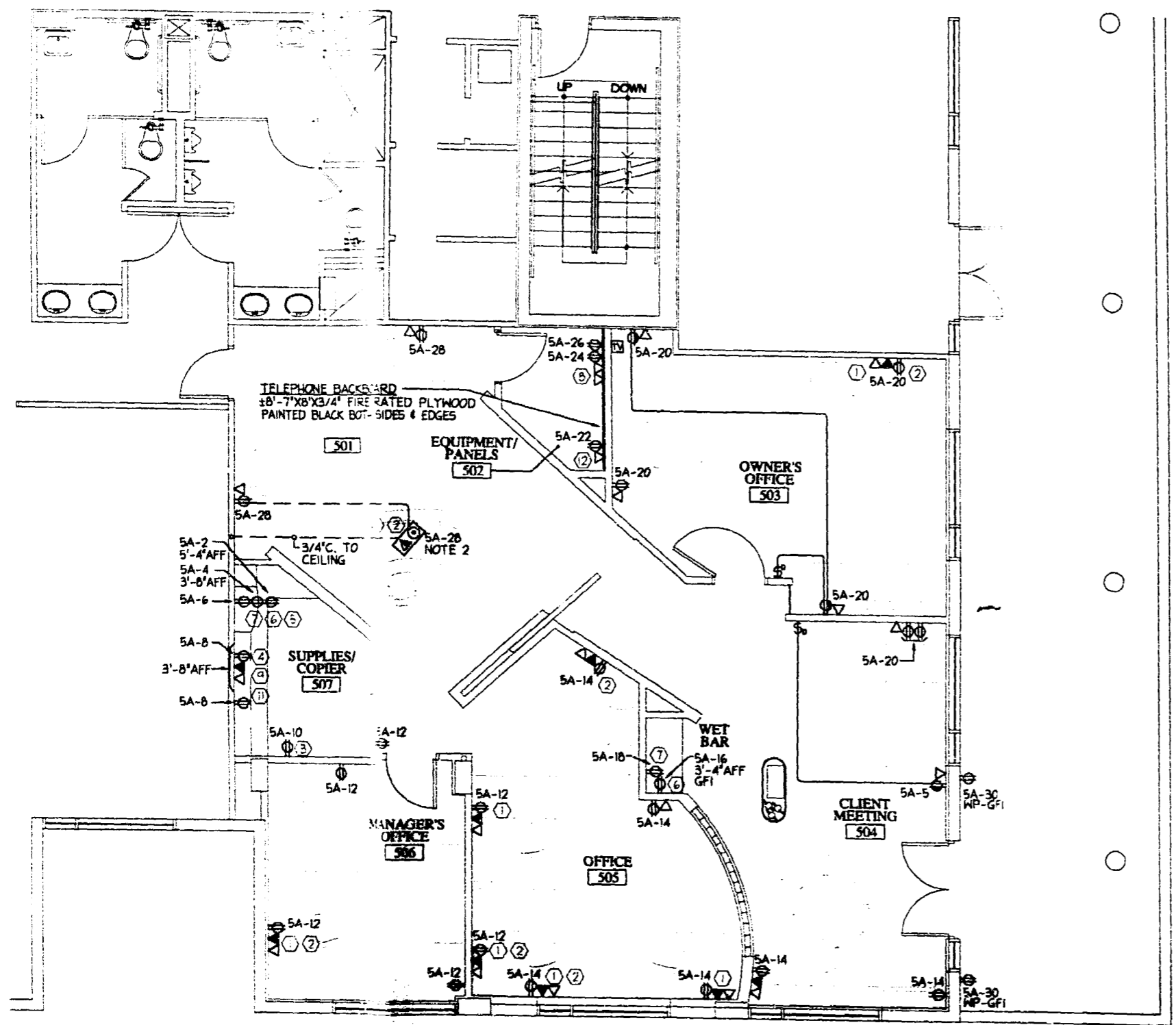


5th Floor- Key Plan
 Scale: N.T.S.
CITY OF MIAMI BEACH

LEGEND

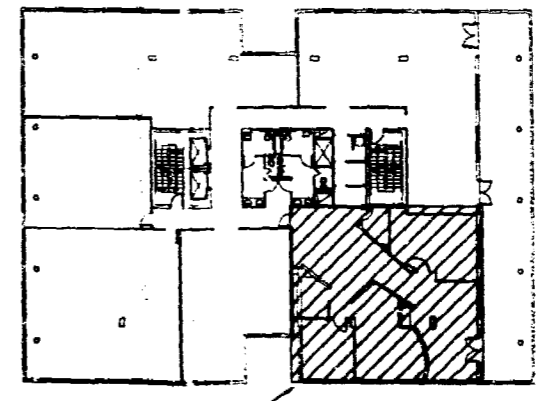
- ALL REVISIONS AND NEW CONDITIONS SHALL BE INDICATED BY A CIRCLED NUMBER TO THE DRAWING ELEMENTS. REVISIONS SHALL BE APPROVED BY THE CLIENT AND THE CONTRACTOR.
- WORK PERFORMED UNDER THIS PERMIT SHALL BE CONSIDERED AS THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PREMISES AT THE END OF THE PROJECT.

A- AS-BUILT DRAWINGS
 B- PERMISSIBLE REVISIONS, TYPED AND ATTACHED TO PERMIT
 C- REVISIONS BY THE CONTRACTOR TO REPERFORM WORK OF MECHANICAL AND ELECTRICAL SYSTEM
 D- OTHER OR "MAY BE" PERMITTED FOR ANY AS-BUILT PERMISSIBLE ELECTRICAL SYSTEM
 E- REVISIONS UNDER REMOVAL OF TYPED REVISIONS AND TYPED
 F- PERMIT CONDITION OF VALVES, EQUIPMENT, PANELS, ETC.
 G- OTHER OR WORK FOUND ACCEPTABLE



5th Floor Plan - Power & Communication
 Scale: 1/4" = 1'-0"

NOTES
 1- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF FINISH DEVICES.
 2- COORDINATE EXACT LOCATION OF POWER OUTLET WITH ARCHITECT/FURNITURE SUPPLIER.



OFFICE COPY
 CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY THE FOLLOWING:

BUILDING: _____

ZONING: 32-41-05

CONCURRENCY: _____

PLUMBING: _____

ELECTRICAL: _____

Mechanical: _____

Fire Prevention: _____

Engineering: _____

Structural: _____

Sanitary: _____

Insulation: _____

Other: _____

- RESOLUTION NOTES**
- CONTRACTOR SHALL REMOVE FROM THIS SPACE ALL EXISTING RECEPTACLES, LIGHT FIXTURES, SWITCHES, SMOKE DETECTORS, FIRE ALARM SPEAKERS, FLASHING STATORS, JUNCTION BOXES, CONDUIT AND WIRING THAT WILL NOT BE UTILIZED DURING THE TENANT IMPROVEMENT WORK. CONTRACTOR SHALL NOT REMOVE ANY EXISTING ELECTRICAL WORK.
 - CONTRACTOR SHALL RECORD ON AS-BUILT DRAWINGS ANY BUILDING WORK THAT WILL REMAIN IN THE TENANT IMPROVEMENT WORK, SPECIFICALLY JUNCTION BOXES FOR FIRE ALARM OR OTHER CONTROL WORK.
 - CONTRACTOR SHALL INVESTIGATE AND NOTIFY ENGINEER OF ANY EXISTING JUNCTION BOXES THAT MAY OCCUR OVER ANY HARD TYPE CEILING AS SOON AS THE DEMOLITION WORK IS COMPLETED.
 - CONTRACTOR SHALL INCLUDE ACCESS PANELS OR RELOCATE JUNCTION BOXES ABOVE HARD CEILING AS REQUIRED.
 - ALL DEMOLITION WORK SHALL BE PERFORMED DURING THE TIME SCHEDULED BY THE LANDLORD.
 - ALL EQUIPMENT REMOVED AS PART OF THE DEMOLITION WORK IS THE PROPERTY OF THE LANDLORD. CONTRACTOR SHALL MOVE TO AREA DESIGNATED BY LANDLORD. IN THE EVENT LANDLORD DOES NOT TO ACCEPT ANY OR ALL EQUIPMENT, THEN THE REMOVED EQUIPMENT BECOMES THE PROPERTY OF THE CONTRACTOR, AND SHALL BE REMOVED FROM THE PREMISES.
 - CONTRACTOR SHALL PERFORM THE WORK AS DIRECTED BY LANDLORD, BUT IN NO EVENT, SHALL THE WORK PERFORMED UNDER CONTRACT AFFECT THE OPERATING SCHEDULE OF THE EXISTING TENANT ADJACENT TO THIS SPACE.

EQUIPMENT LEGEND

① COMPUTER	⑦ REFRIGERATOR
② PRINTER	⑧ SERVERS
③ COPIER	⑨ MAIL MACHINE
④ FAX	⑩ WATER COOLER
⑤ MICROWAVE	⑪ PAPER SHREDDER
⑥ COFFEE MAKER	⑫ TELEPHONE PANEL


International Design Partnership Incorporated
 30 W. Mashta Drive
 Key Biscayne, FL 33149
 Tel: 305.365.8334/Fax: 305.365.8339

No.	Issue	Date


CLIENT APPROVAL

I have reviewed these plans and have been given the opportunity to ask questions about them prior to issue. These plans conform to our requirements. I understand that any modifications to these plans will be an additional service with potential impact on construction cost and scheduling.

ACCEPTED AS IS
 ACCEPTED AS NOTED

Signature: _____ Date: _____

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DALLA-RIZZA & ASSOCIATES
 Consulting Engineers, Inc.
 605 S.W. 14th Street, Suite 200
 Miami Beach, FL 33139
 Tel: 305.673.1636
 Fax: 305.673.1636

LATIN AMERICAN NETWORK
 5th FLOOR
 ATLANTIC CENTER
 119 WASHINGTON AVENUE
 MIAMI BEACH, FL 33139

Owner: BLUE COMET LLC
 607 LINCOLN ROAD # 8
 MIAMI BEACH, FL 33139

Contact: ROSA DEAZ Tel: 305 873 1636

Date: March 25, 2003
 Project No: 20046
 Drawn By: JC
 Checked By: JRM
 CAD File: C:\admin\info\miami\miami.rvt

Title: **POWER & COMMUNICATIONS PLAN**

Scale: 1/4" = 1'-0"

Sheet Number: _____

5E-2

