

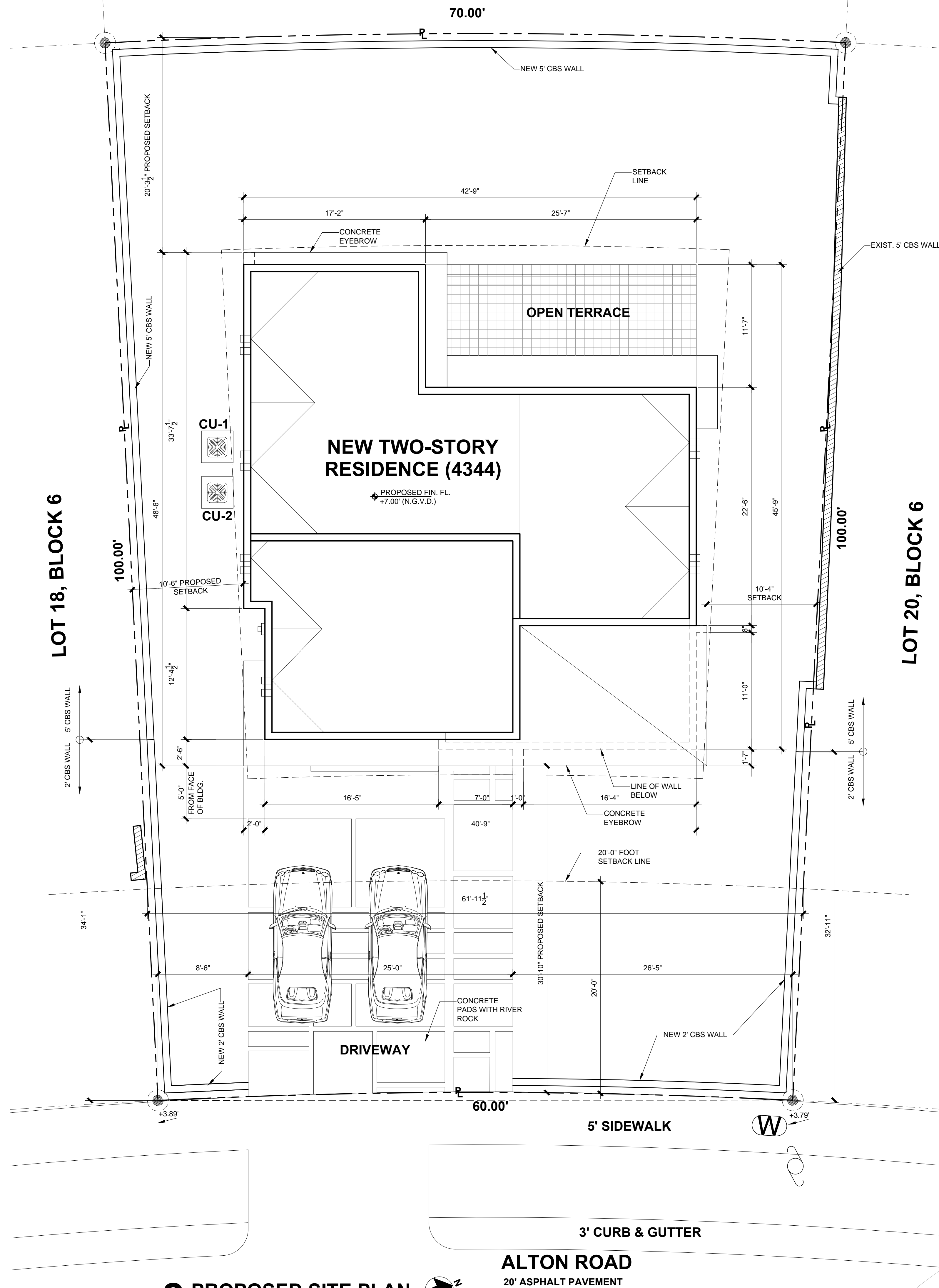
1 PROPOSED SITE PLAN
SCALE: 1/32" = 1'-0"

ITEM #	Zoning Information				
1	Address:	4344 ALTON ROAD, MIAMI BEACH, FL. 33140			
2	Folio number(s):	02-3222-011-1420			
3	Board and file numbers:				
4	Year built:	1925 Zoning District: RS 4- SINGLE FAMILY RESIDENTIAL			
5	Based Flood Elevation:	7.0' Grade value in NGVD: 3.84'			
6	Adjusted grade (Flood+Grade/2):	5.42' Free board:			
7	Lot Area:	6500 Sq. Ft.			
8	Lot width:	60.0' Lot Depth: 100.0'			
9	Max Lot Coverage SF and %:	1,950 Sq. Ft. (30%) Proposed Lot Coverage SF and %: 1,622 SF (24.9%)			
10	Existing Lot Coverage SF and %:	1,867.45 Sq. Ft. (28.72%) Lot coverage deducted (garage-storage) SF: N/A			
11	Front Yard Open Space SF and %:	623 Sq. Ft. (51.1%) Rear Yard Open Space SF and %: 1,325 SF (75.8%)			
12	Max Unit Size SF and %:	3,250 Sq. Ft. (50%) Proposed Unit Size SF and %: 2,834 SF (43.6%)			
13	Existing First Floor Unit Size:	1,664.54 Sq. Ft. Proposed First Floor Unit Size: 1,568 SF			
14	Existing Second Floor Unit Size:	1,076.51 Sq. Ft. Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home require DRB Approval): N/A			
15		Proposed Second Floor Unit Size SF and %: 1,266 SF			
16		Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below): N/A			
17					
17	Required	Existing	Proposed	Deficiencies	
18	Height:	24'/F.L.S.T.	N/A	24'/F.L.S.T.	
18	Setbacks:				
19	Front First level:	20.0'	23.2'	30.8'	
20	Front Second level:	30.0'	23.2'	30.8'	
21	Side 1:	7.5'	18.1'	10.5'	
22	Side 2 or (facing street):	7.5'	3.7'	10.3'	
23	Rear:	20.0'	16.7'	20.3'	
24	Accessory Structure Side 1:				
24	Accessory Structure Side 2 or (facing street):				
25	Accessory Structure Rear:				
26	Sum of Side yard:	15.0'	21.8'	20.8'	
27	Located within a Local Historic District?			no	
28	Designated as an Individual Historic Single Family Residence?			no	
29	Determined to be Architecturally Significant?			no	

Notes:
If not applicable write N/A
All other data information should be presented like the above format

FLOOD LEGEND:

- FLOOD ZONE: "AE"
- ADDRESS: 4344 ALTON ROAD, MIAMI BEACH, FL. 33140
- LOT: 19 BLOCK: 6
- PLAT BOOK: 8 PAGE: 95
- OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
- HIGHEST CROWN OF ROAD ELEV.: 4.88' _F.L.N.G.V.D.
- HIGHEST CROWN OF ROAD ELEV WAS TAKEN FROM THE ATTACHED CERTIFIED SURVEY
- PREPARED BY: PABLO J. ALFONSO PLS LIC. # 5880 SURVEYORS NAME
- LOWEST FLOOR ELEVATION: PROPOSED: 7.00'
- GARAGE FLOOR ELEVATION: PROPOSED: N/A'
- ADJUSTED GRADE ELEVATION: PROPOSED: 5.42'
- ALL ELECTRICAL, MECHANICAL AND PLUMBING WILL BE PLACED AT OR ABOVE THE BASE FLOOD ELEVATION (B.F.E.)
- ALL AREAS BELOW B.F.E. SHALL BE PROVIDED WITH A MINIMUM OF TWO (2) OPENINGS HAVING A TOTAL NET AREA OF LESS THAN ONE SQUARE INCH OF OPENING FOR EVERY SQUARE FOOT OF ENCLOSED AREA SUBJECT TO FLOODING. THE BOTTOM OF THE OPENING WILL BE NO HIGHER THAN ONE (1) FOOT ABOVE GRADE AND LOCATED ON DIFFERENT SIDES OF THE ENCLOSED AREA. OPENINGS WILL BE EQUIPPED WITH SCREENS OR LOUVERS. FLOOD RESISTANT MATERIALS WILL BE USED BELOW B.F.E.
- ALTERNATIVELY A CERTIFICATION BY: _____ P.E. ON THE PLAN NOTES INDICATING THAT THE DESIGN WILL ALLOWED FOR THE AUTOMATIC EQUALIZATION OF HYDROSTATIC FLOOD FORCES ON EXTERIOR WALLS.
- THE SITE WILL BE GRADE IN A MANNER TO PREVENT THE FLOODING OF ADJACENT PROPERTIES. WHERE NECESSARY INTERCEPTOR SWELLS WILL BE CONSTRUCTED ON-SITE WITH NO ENCROACHMENT OVER ADJACENT PROPERTIES.
- 0'-0" = 7.00' _N.G.V.D.



2 PROPOSED SITE PLAN
SCALE: 3/16" = 1'-0"

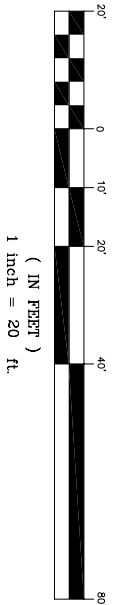
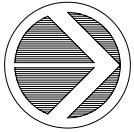
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4344 ALTON ROAD
MIAMI BEACH, FLORIDA 33140

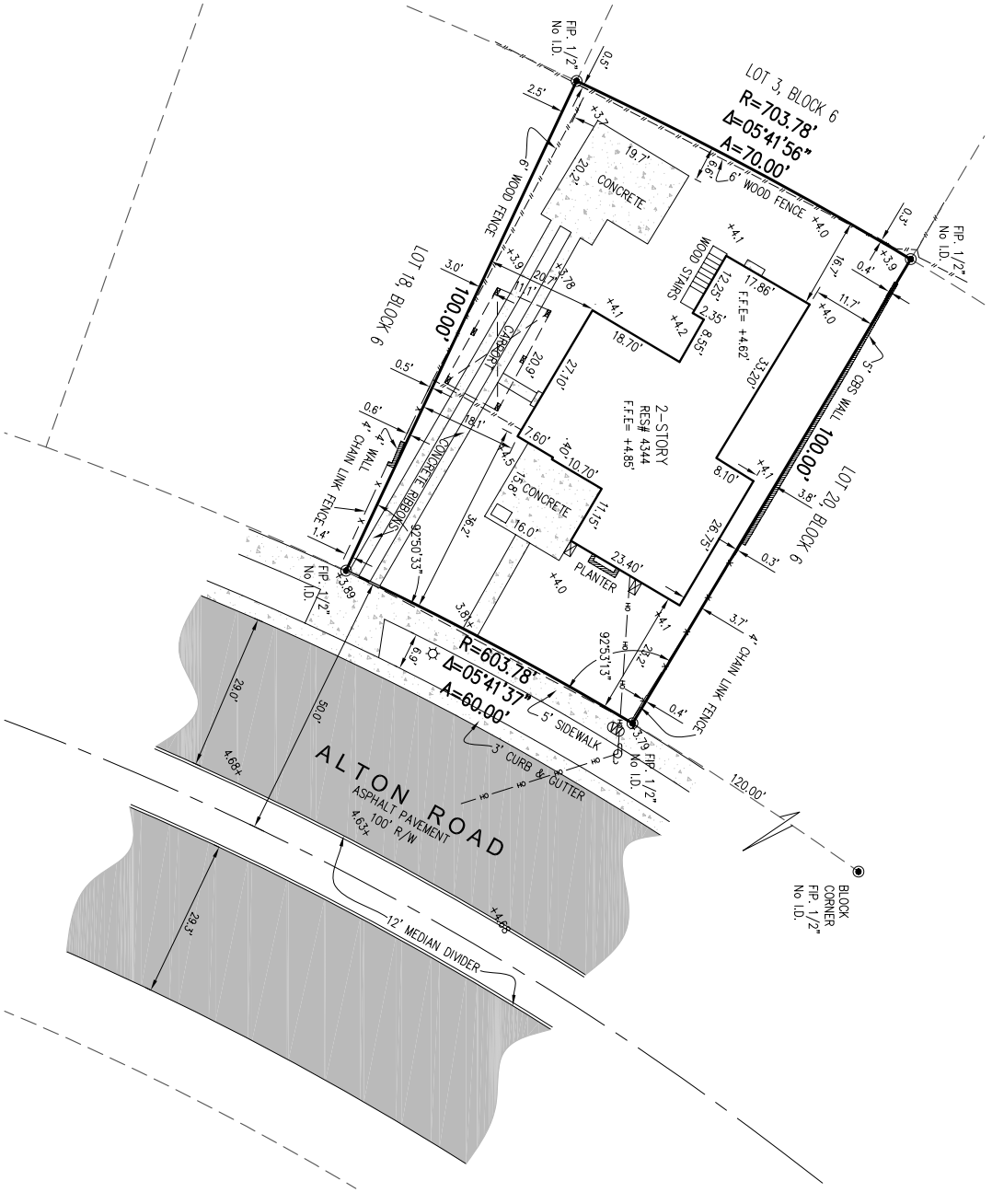
DATE: 2.12.16
DESIGNED BY: JAV
DRAWN BY: JAG
REVIEWED BY: MDF
PROJECT NO. 16-0005

REVISIONS

JOSE A. VIDAL IAR94535
MANUEL D. FERNANDEZ IAR95601
SEAL
PROPOSED SITE PLAN
A1.0
DRB-FINAL SUBMITTAL

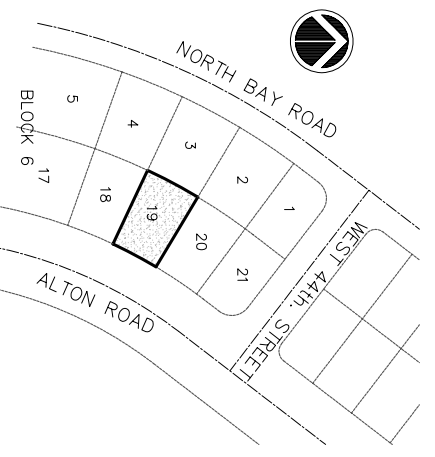


GRAPHIC SCALE



LEGEND

- Existing Elevation
- Catch Basin
- Electric Meter
- Electric Box
- Sprinkler Manhole
- Sprinkler Pump
- Wood Pole
- Electric Box
- Light Pole
- Fire Hydrant
- Water Valve
- Inlet
- Cable TV Box
- Electric Meter Box
- Traffic Signal Box
- Gas Valve
- Monitoring Valve
- Manhole
- Monitor Well
- A/C-Heat Conditioner
- Concrete Block & Stucco
- Concrete
- Drip Irrigation
- Drip Irrigation Maintenance Easement
- Drip Irrigation
- Found Drill Hole
- Finish Floor Elevation
- Found Iron Pipe/Pin
- Found Iron Rebar
- Found Nail
- Found Nail & Disc
- Height
- Lake Maintenance Easement
- Measured
- Point of Beginning
- Point of Commencement
- Record
- Residence
- Set Iron Pin/Rebar
- Spread
- Diameter



LOCATION MAP
NOT TO SCALE

PROPERTY ADDRESS:
4344 ALTON ROAD, MIAMI BEACH, FLORIDA 33140
Folio# 02-3222-011-1420

LEGAL DESCRIPTION

Lot 19, Block 6, of "PLAT OF NAUTILUS SUBDIVISION" according to the plat thereof as recorded in Plat Book 8, at Page 95, of the Public Records of Miami-Dade County, Florida.

SURVEYOR'S NOTES:

- 1- The above captioned Property was surveyed and described based on the above Legal Description. Provided by Client.
- 2- This Certification is only for the lands as described. It is not a certification of Title, Zoning Easements, or Freedom of Encumbrances. ABSTRACT NOT REVIEWED.
- 3- There may be additional Restrictions not shown on this survey that may be found in the Public Records of this County. Examination of ABSTRACT OF TITLE will have to be made to determine recorded instruments, if any affecting this property.
- 4- Accuracy: The expected use of the land as classified in the Minimum Technical Standards (SU-17 FAC), is "Residential High Risk". The minimum relative distance accuracy for this type of boundary survey is 1 foot in 10,000 feet. The accuracy obtained by measurement and calculation of a closed geometric figure was found to exceed this requirement.
- 5- Foundations and/or footings that may cross beyond the boundary of the subject lot were observed and the original raised seal of a Florida Licensed Surveyor and Mapper Additions or deletions to survey maps or reports by other than the signing party or parties are prohibited without written consent of the signing party or parties.
- 7- Contact the appropriate authority prior to any design work on the herein-described parcel for Building and Zoning information.
- 8- Underground utilities are not depicted hereon, contact the appropriate authority prior to any design work or construction on the property herein described. Surveyor shall be notified as to any deviation from utilities shown hereon.
- 9- The surveyor does not determine fence and/or wall ownership.
- 10- Ownership subjects to OPINION OF TITLE.
- 11- Type of Survey: BOUNDARY SURVEY.
- 12- The North arrow shown hereon are based on recorded plat of PLAT OF NAUTILUS SUBDIVISION, according to the plat thereof as recorded in Plat Book 8, at Page 95, of the Public Records of Miami-Dade County, Florida.
- 13- All measurements shown hereon are made in accordance with the Florida State Standard Feet.
- 14- Flood Zone Data: Community / Parcel #120651/0309/L Dated: 9/11/09
- 15- Elevation Zone: AC Base Flood Elevation = +7.0
- 16- Datum (1929 Mean Sea Level) based on National Geodetic Vertical Datum +5.4' Miami-Dade County Benchmark #D-157.
- 17- This BOUNDARY SURVEY has been prepared for the exclusive use of the entities named hereon. The Certificate does not extend to any unnamed party.

MIKE O. ERICE & ALFRED BILLINGS

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT, in the professional opinion of the undersigned Professional Surveyor and Mapper in the State of Florida, the following Boundary Survey meets the requirements of the Standards of Practice as set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes. Further, this certificate is based on observations of field measurements performed on 01/08/2016 and other information available to the undersigned at the time the services were rendered.

Copies of this Boundary Survey are not valid without the seal and the original raised seal of a Florida licensed surveyor and mapper, said embossed copies are for the specific use of those entities that the Boundary Survey have been certified to.

Pablo J. Alfonso P.S.M.
Professional Surveyor & Mapper
State of Florida Reg. No.5850



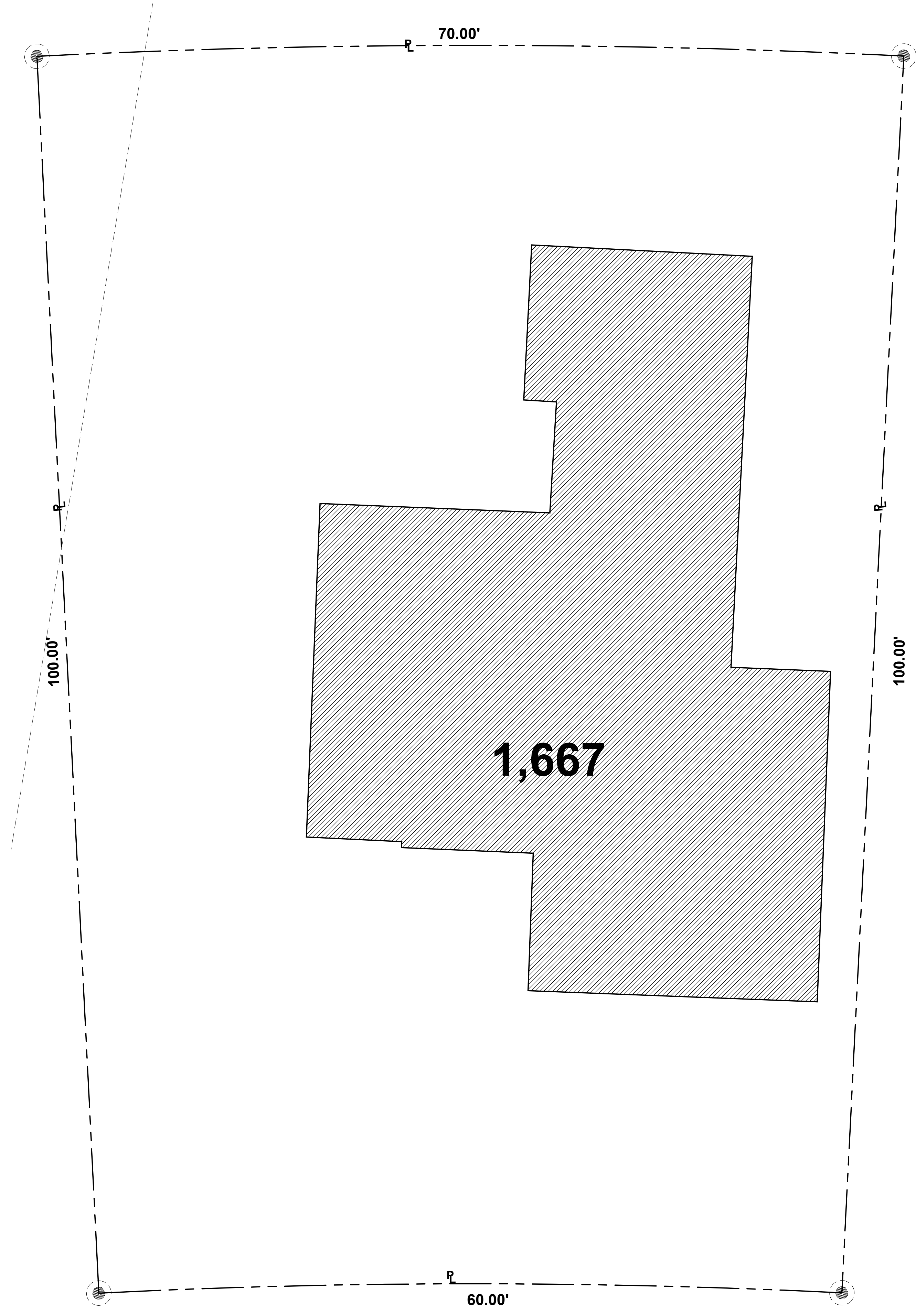
6175 NW 153 ST., SUITE 321, MIAMI LAKES, FL. 33014 ** TEL.305-822-6062 ** 305-698-9468 FAX.305-827-9669

PREPARED FOR: MIKE O. ERICE & ALFRED BILLINGS
4344 ALTON ROAD, MIAMI BEACH, FLORIDA 33140

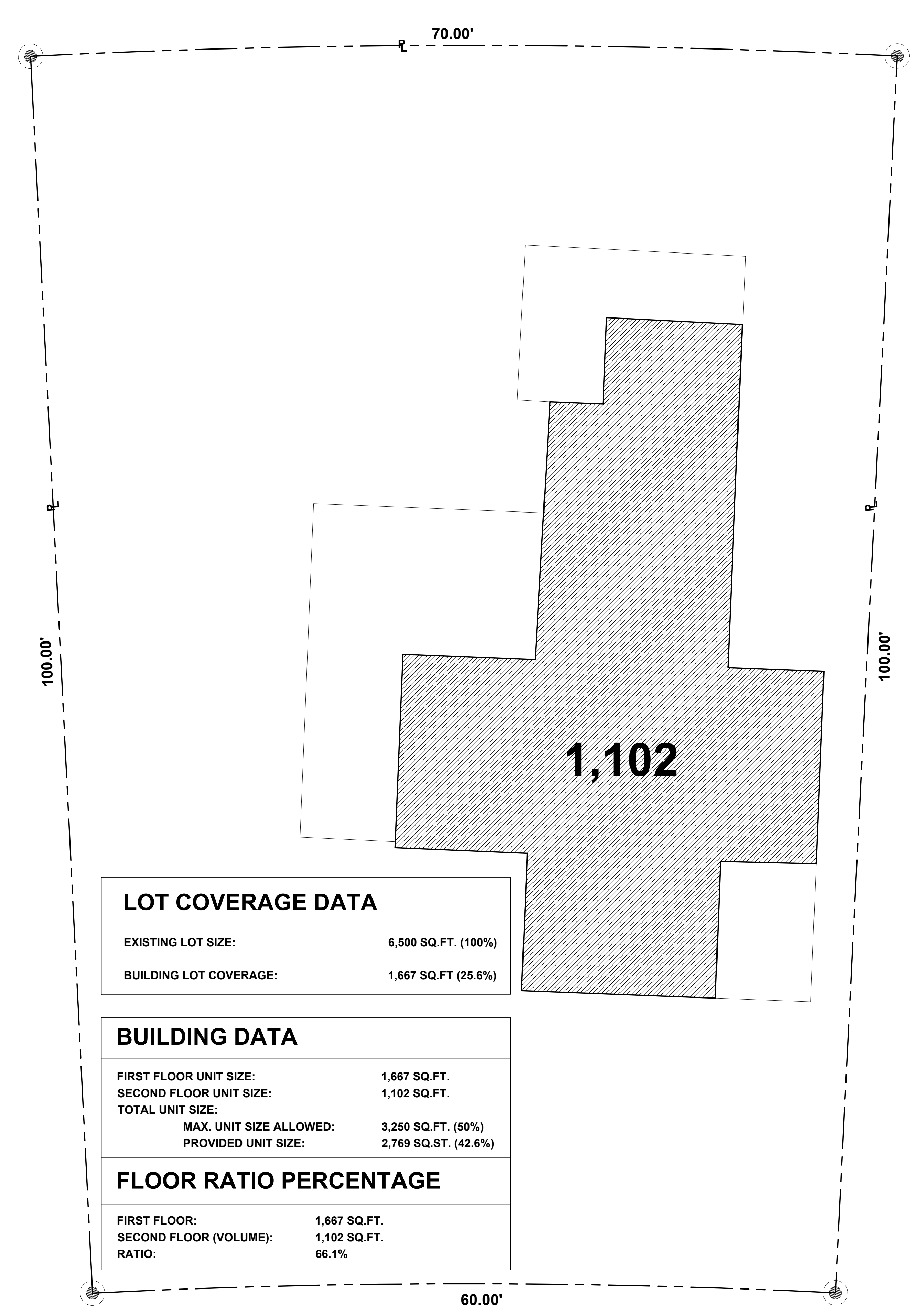
TYPE OF PROJECT: BOUNDARY SURVEY

RECORD OF REVISIONS				RECORD OF REVISIONS					
NO.	DATE	DESCRIPTION	BY	APP.	NO.	DATE	DESCRIPTION	BY	APP.

DRAWN: J.G.
CHECKED: P.J.A.
SCALE: 1" = 20'
FIELD DATE: 01/08/2016
JOB No.: RP16-00117
SHEET: 1
OF 1 SHEET



1 UNIT SIZE DIAGRAM - FIRST FLOOR
 SCALE: 3/16" = 1'-0"
 0 4' 8' 16'



2 UNIT SIZE DIAGRAM - SECOND FLOOR
 SCALE: 3/16" = 1'-0"
 0 4' 8' 16'

LOT COVERAGE DATA	
EXISTING LOT SIZE:	6,500 SQ.FT. (100%)
BUILDING LOT COVERAGE:	1,667 SQ.FT (25.6%)

BUILDING DATA	
FIRST FLOOR UNIT SIZE:	1,667 SQ.FT.
SECOND FLOOR UNIT SIZE:	1,102 SQ.FT.
TOTAL UNIT SIZE:	
MAX. UNIT SIZE ALLOWED:	3,250 SQ.FT. (50%)
PROVIDED UNIT SIZE:	2,769 SQ.ST. (42.6%)

FLOOR RATIO PERCENTAGE	
FIRST FLOOR:	1,667 SQ.FT.
SECOND FLOOR (VOLUME):	1,102 SQ.FT.
RATIO:	66.1%

4344 ALTON ROAD
 MIAMI BEACH, FLORIDA 33140

DATE:	2.12.16
DESIGNED BY:	JAV
DRAWN BY:	JAG
REVIEWED BY:	MDF
PROJECT NO.:	16-0005

REVISIONS	

JOSE A. VIDAL AR94535
 MANUEL D. FERNANDEZ AR95601
 SEAL

EXISTING UNIT SIZE DIAGRAM

A1.6
 DRB-FINAL SUBMITTAL

- KEY NOTES:**
- 1 EXIST RESIDENCE TO BE COMPLETELY DEMOLISHED.
 - 2 CONCRETE SLAB TO BE REMOVED.
 - 3 CONCRETE RIBBONS TO BE REMOVED.
 - 4 CARPORT TO BE COMPLETELY DEMOLISHED.
 - 5 WOOD FENCE TO BE REMOVED.
 - 6 OVERHEAD POWER LINES TO BE REMOVED. NEW POWER WILL BE PROVIDED UNDERGROUND.

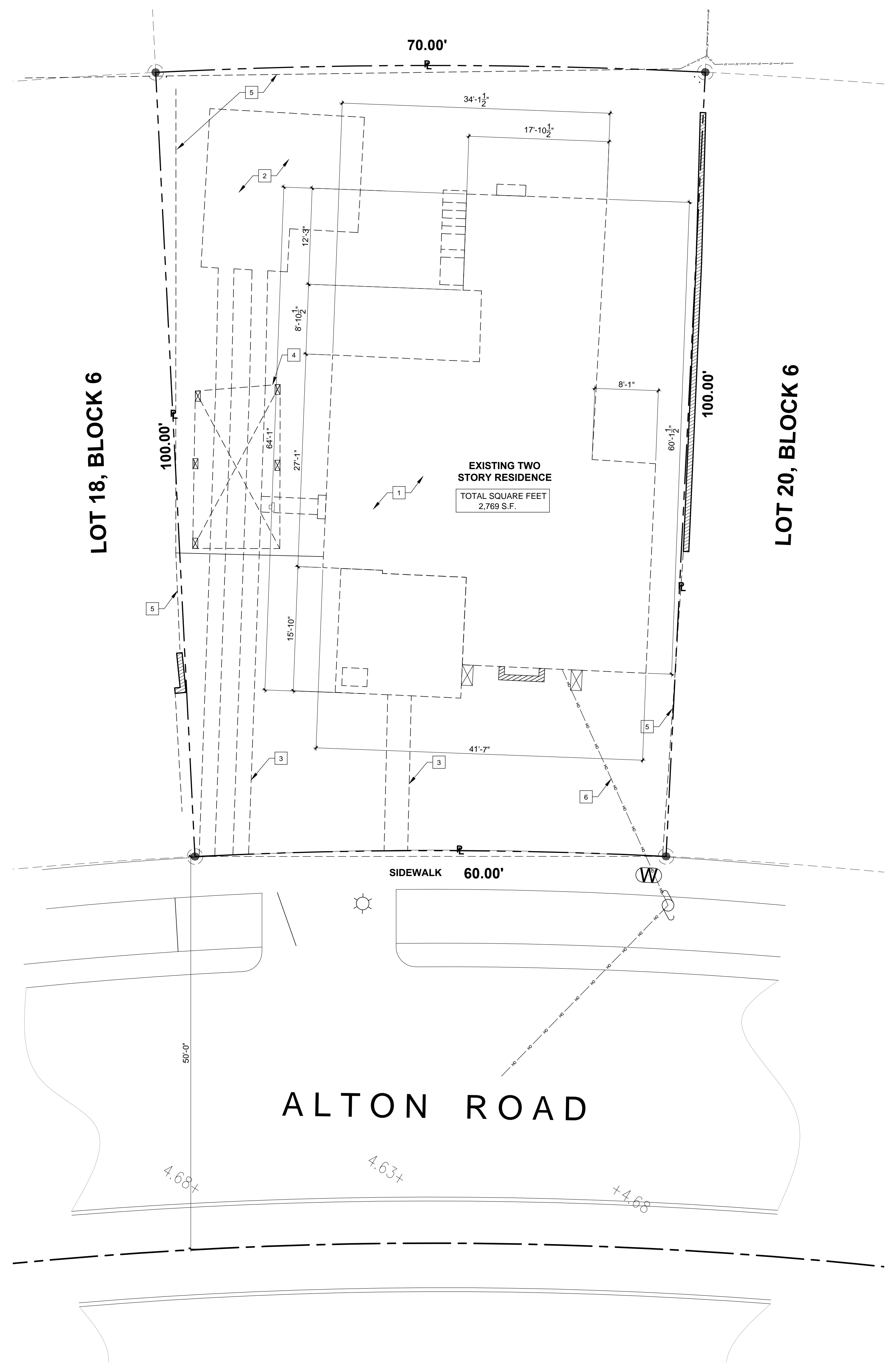
NOTE:
 UTILITIES SERVICING BUILDING BEING DEMOLISHED SHALL BE REMOVED & CAPPED AS REQUIRED. UNDERGROUND UTILITY DEMOLITION AND BUILDING DEMOLITION IS TO INCLUDE UNDERGROUND INFRASTRUCTURE. ALL PLUMBING LINES, ELECTRICAL CONDUITS, GAS LINES, AND ANY OTHER SUBSURFACE STRUCTURES ARE TO BE REMOVED. PRIOR TO DEMOLITION OF UTILITIES, G.C. IS TO COORDINATE WITH UTILITY COMPANIES TO ASSESS IMPACT OF UTILITIES BEING DEMOLISHED ON OTHER PROPERTIES THEY MAY SERVE.



2 EXISTING RESIDENCE
 SCALE: N.T.S.



3 EXISTING RESIDENCE
 SCALE: N.T.S.



1 DEMOLITION SITE PLAN
 SCALE: 1/8" = 1'-0"

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**4344
 ALTON ROAD
 MIAMI BEACH, FLORIDA 33140**

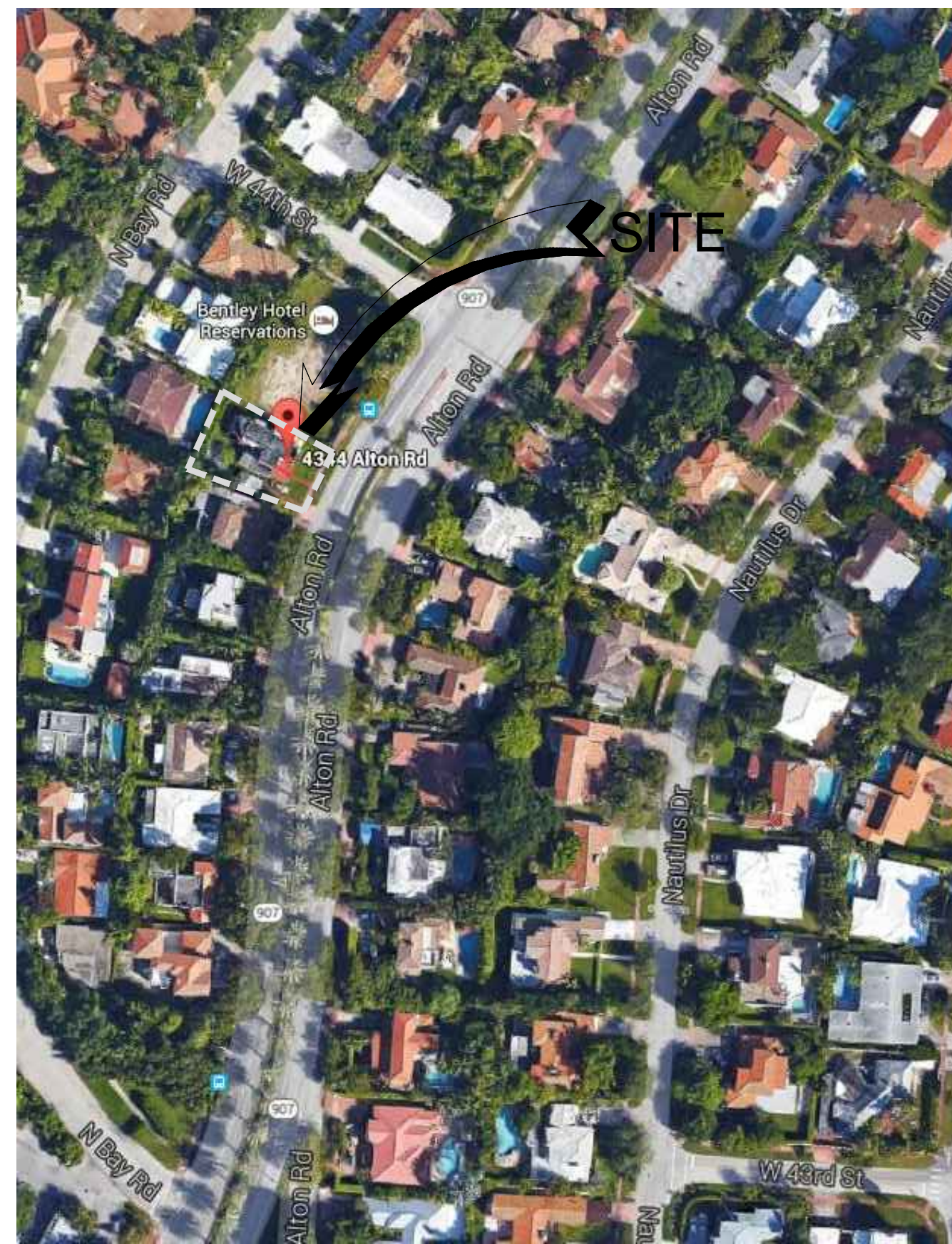
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REVISIONS

JOSE A. VIDAL AR94535
 MANUEL D. FERNANDEZ
 AR95601

SEAL
 DEMO. SITE

D1.0
 DRB-FINAL SUBMITTAL



1 LOCATION SKETCH
Scale: Not to Scale



Submittal Graphic Symbols Definitions	
NEW / REVISED	
RE-ISSUED WITHOUT REVISION	
PREVIOUSLY SUBMITTED	

INDEX OF DRAWINGS	
LANDSCAPE	
TD-1.0	TREE DISPOSITION PLAN
L-1.0	LANDSCAPE PLAN
L-2.0	LANDSCAPE DETAILS, SPECIFICATIONS, ETC.
ARCHITECTURAL	
COVER	COVER SHEET / INDEX OF DRAWINGS
RENDERING	RENDERING
RENDERING	RENDERING
SURVEY	
D-1.0	DEMOLITION SITE PLAN
A-1.0	PROPOSED SITE PLAN
A-1.1	LOT COVERAGE DIAGRAMS
A-1.2	UNIT SIZE DIAGRAM
A-1.3	REQUIRED YARDS DIAGRAM
A-1.4	GRADING PLAN
A-1.5	VOLUMETRIC STUDY
A-1.6	EXISTING UNIT SIZE DIAGRAM
A-1.7	ALTON ROAD BLOCK DIAGRAM
A-1.8	CONTEXT PHOTOGRAPHS
A-2.0	GROUND FLOOR PLAN & SECOND FLOOR PLAN
A-2.1	ROOF PLAN
A-3.0	EAST & WEST ELEVATIONS
A-3.1	NORTH & SOUTH ELEVATIONS
A-4.0	PROPOSED BUILDING SECTIONS
A-4.1	PROPOSED BUILDING SECTIONS

FINAL SUBMITTAL-2.12.16

PROJECT GENERAL DATA & CODE SUMMARY

LOCATION: 4344 ALTON ROAD, MIAMI BEACH, FLORIDA 33140

PROPOSED USE: RESIDENCE

PROJECT SUMMARY: SCOPE OF WORK OF WORK INCLUDES THE DEMOLITION OF A TWO STORY RESIDENCE. INCLUSIVE OF DRIVEWAYS AND CARPORT. THE PROPOSED SCOPE INCLUDES A NEW TWO STORY RESIDENCE

CODE ENFORCEMENT JURISDICTION: 5TH EDITION (2014) OF THE FLORIDA BUILDING CODE (INCLUSIVE OF ALL APPLICABLE CODES)
2015 NFPA 101
FLORIDA FIRE PREVENTION CODE, 5TH EDITION (2014).
CITY OF MIAMI BEACH PLANNING & ZONING CODE

FOLIO NUMBER: 02-3222-011-1420

OWNER OF THE PROPERTY: 4344 ALTON ROAD LLC

LANDSCAPE ARCHITECT:
JFS DESIGN, INC.
1833 N.W. 140 TERRACE
PEMBROKE PINES, FLORIDA 33028
T: 954.447.1852 F: 954.442.8225

13944 SW 8 STREET
SUITE 206
MIAMI, FL. 33184
O: 305.559.1496

ARCHITECTURAL GROUP