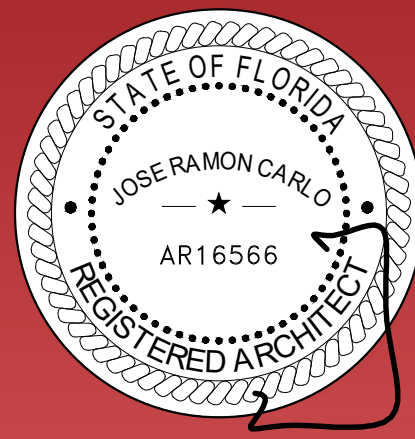
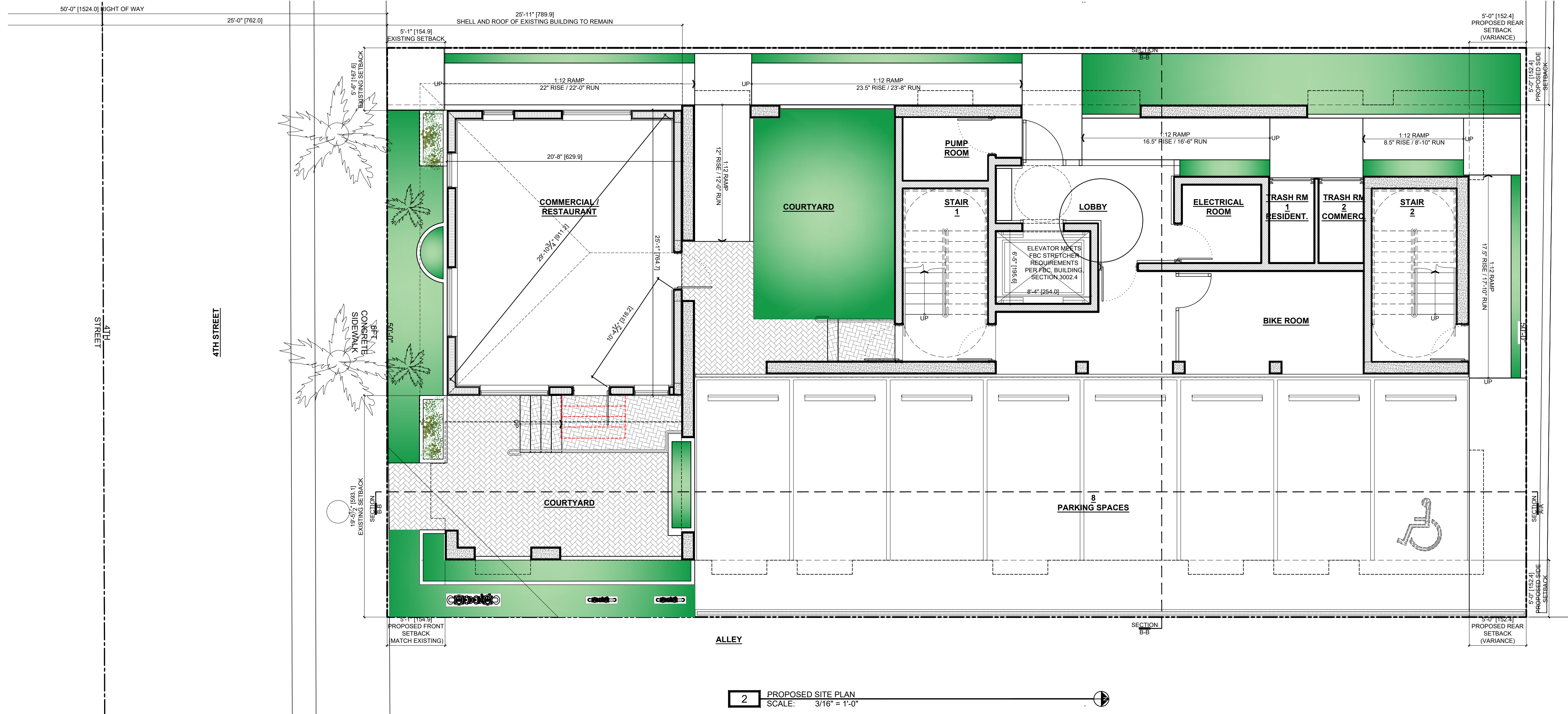
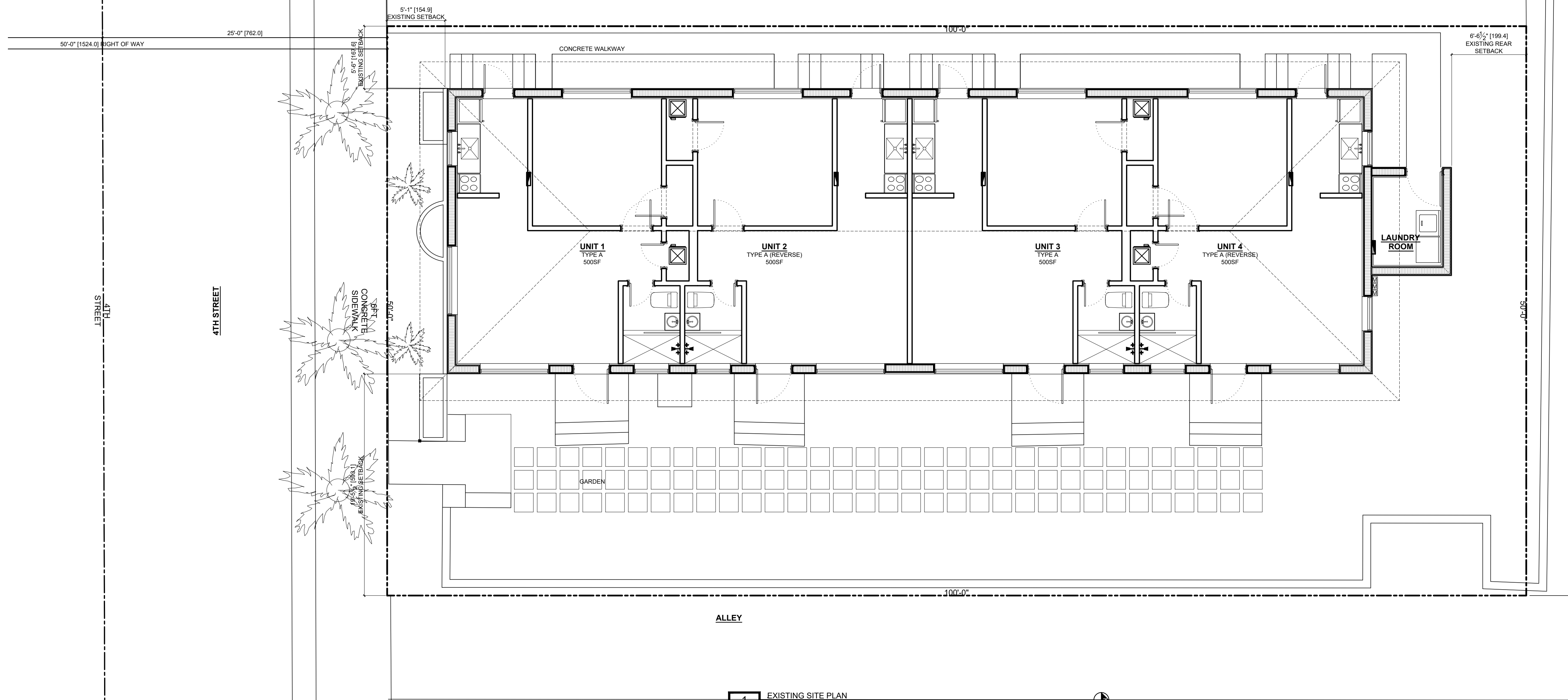


THESE IDEAS, PLANS, & DESIGNS MAY NOT BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE EXPRESS, WRITTEN CONSENT OF CIC. DIMENSIONS SHOWN ON THESE DRAWINGS SUPERCEDE SCALE DIMENSIONS.



ARCHITECTURE  
INTERIOR  
DESIGN  
REAL ESTATE  
ADVISORY

C I C  
JOSE R. CARLO  
FL LICENSE NO.: AR-16566  
11 ISLAND AVENUE, #2105  
MIAMI BEACH, FL 33139  
(305) 490-0493  
JCARLO@CIC-ARCHITECTURE.COM

ANNALISA MARZORATI  
BOUTIQUE ARCHITECT  
VIA AURELIO SAFFI, 28  
20123 MILANO, ITALY  
ANNALISA.MARZORATI@GMAIL.COM  
+39.342.7326451

**MIXED-USE PROJECT**  
OWNER: 13 JAN REAL ESTATE LLC  
829 4TH STREET  
MIAMI BEACH, FL 33139  
HISTORIC PRESERVATION BOARD  
JANUARY 17, 2023

PROJECT: 2203  
DATE: JANUARY 17, 2023  
FILE: HPB 230117

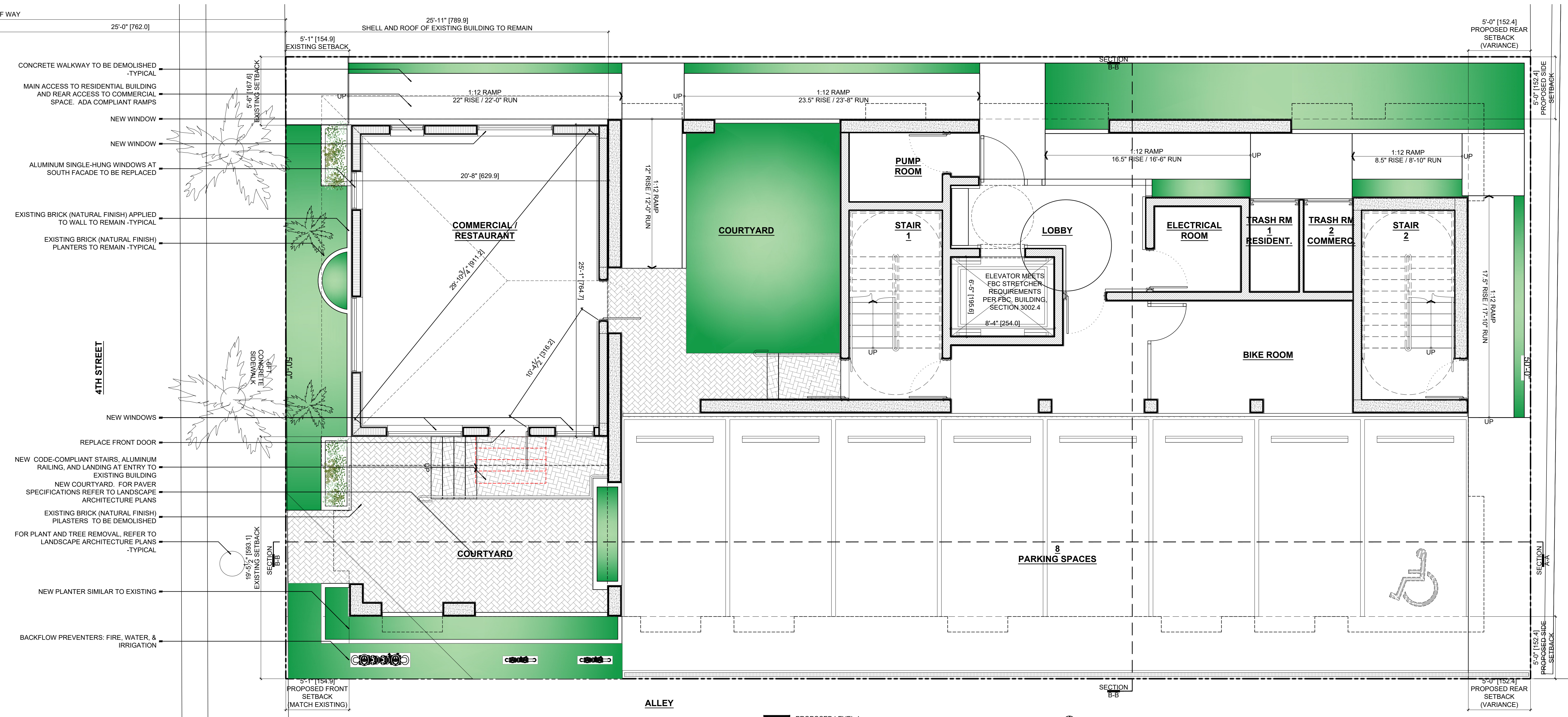
REV. DESCRIPTION DATE

SCALE: 3/16" = 1'-0"

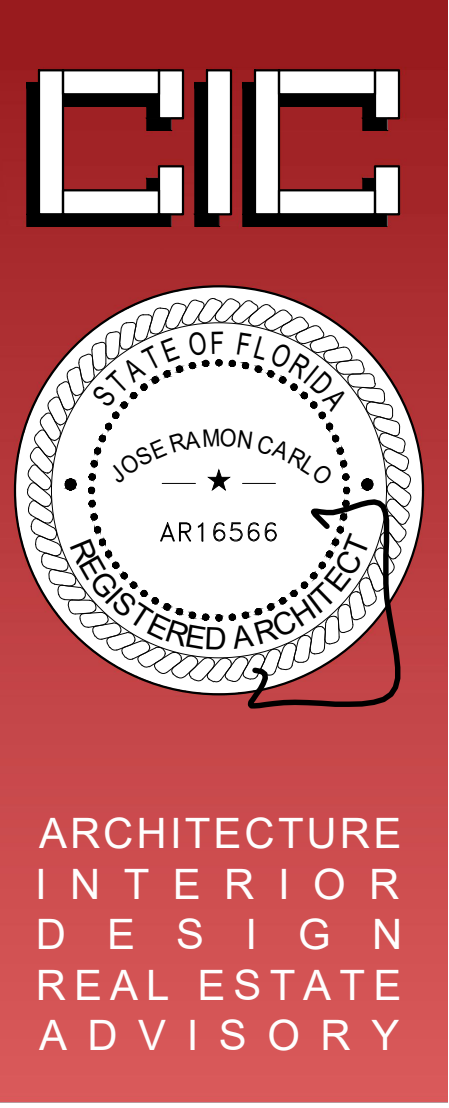
EXISTING &  
PROPOSED  
SITE PLAN  
**A2.0**



THESE IDEAS, PLANS, & DESIGNS MAY NOT BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE EXPRESS, WRITTEN CONSENT OF CIC. DIMENSIONS SHOWN ON THESE DRAWINGS SUPERCEDE SCALE DIMENSIONS.



1 PROPOSED LEVEL 1  
 SCALE: 1/4" = 1'-0"



**C I C**  
 JOSE R. CARLO  
 FL LICENSE NO.: AR-16566  
 11 ISLAND AVENUE, #2105  
 MIAMI BEACH, FL 33139  
 (305) 490-0493  
 JCARLO@CIC-ARCHITECTURE.COM

ANNALISA MARZORATI  
 BOUTIQUE ARCHITECT  
 VIA AURELIO SAFFI, 28  
 20123 MILANO, ITALY  
 ANNALISA.MARZORATI@GMAIL.COM  
 +39.342.7326451

**MIXED-USE PROJECT**  
 OWNER: 13 JAN REAL ESTATE LLC  
 829 4TH STREET  
 MIAMI BEACH, FL 33139  
 HISTORIC PRESERVATION BOARD  
 JANUARY 17, 2023

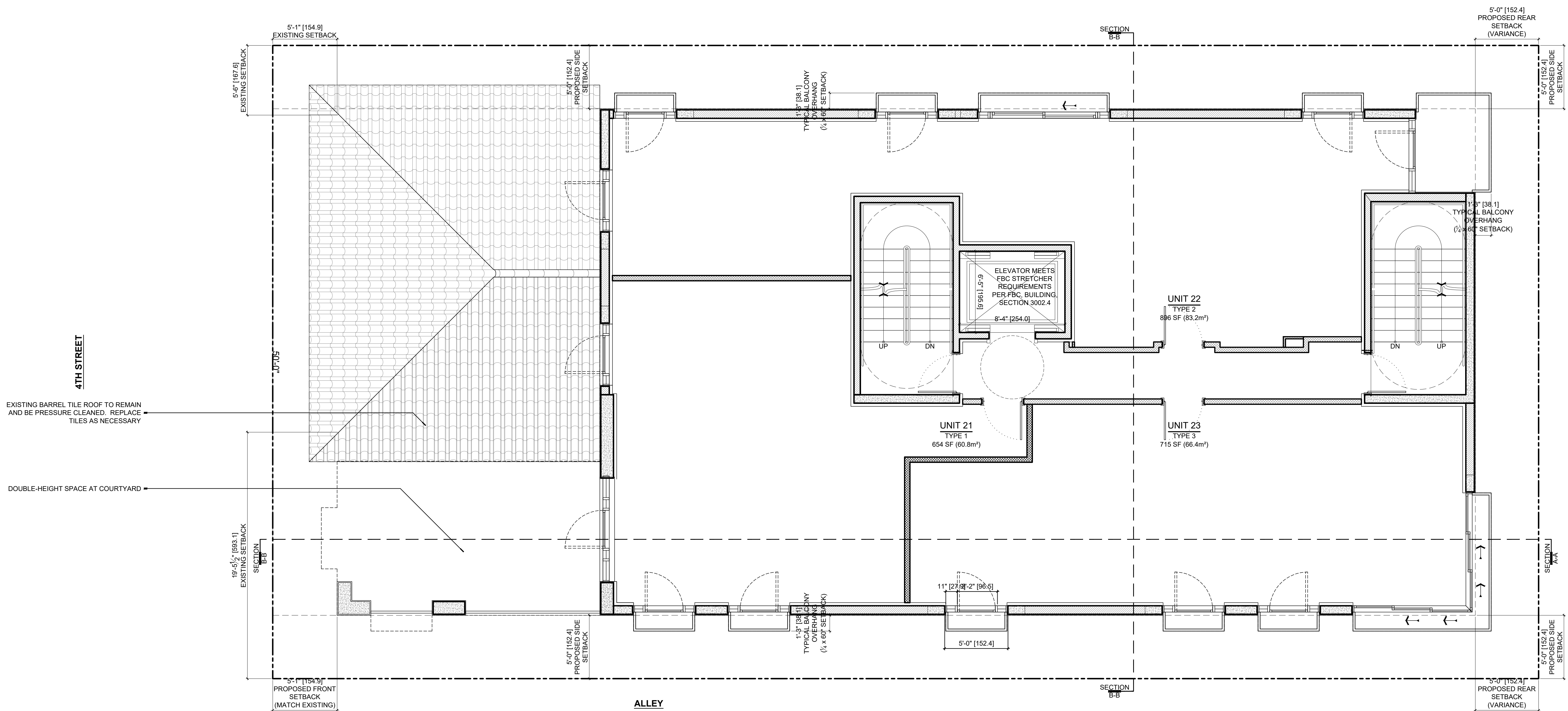
PROJECT: 2203  
 DATE: JANUARY 17, 2023  
 FILE: HPB 230117  
 REV. DESCRIPTION DATE

SCALE: 1/4" = 1'-0"

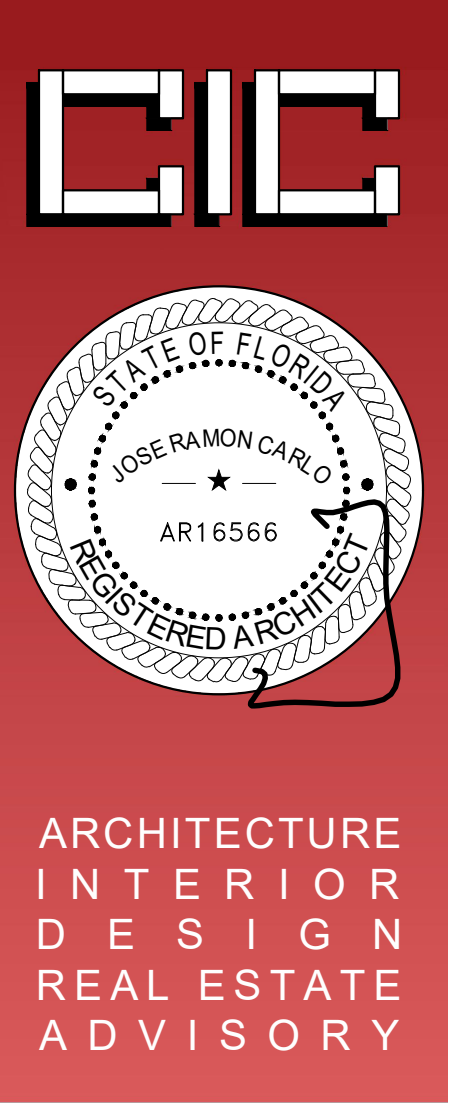
PROPOSED  
 LEVEL 1  
**A2.1**



C THESE IDEAS, PLANS, & DESIGNS MAY NOT BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE EXPRESS, WRITTEN CONSENT OF CIC. DIMENSIONS SHOWN ON THESE DRAWINGS SUPERCEDE SCALE DIMENSIONS



**1** PROPOSED LEVEL 2  
 SCALE: 1/4" = 1'-0"



**C I C**  
 JOSE R. CARLO  
 FL LICENSE NO.: AR-16566  
 11 ISLAND AVENUE, #2105  
 MIAMI BEACH, FL 33139  
 (305) 490-0493  
 JCARLO@CIC-ARCHITECTURE.COM

ANNALISA MARZORATI  
 BOUTIQUE ARCHITECT  
 VIA AURELIO SAFFI, 28  
 20123 MILANO, ITALY  
 ANNALISA.MARZORATI@GMAIL.COM  
 +39.342.7326451

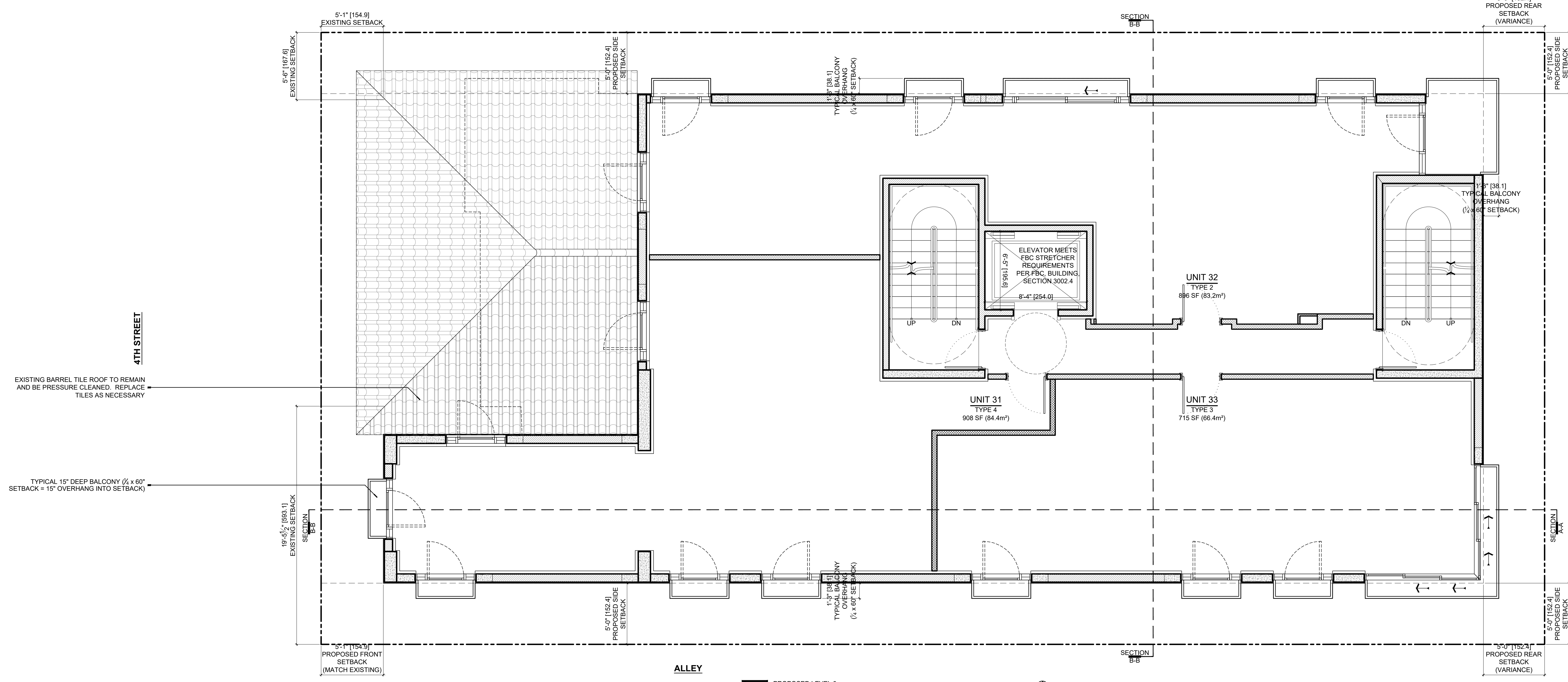
**MIXED-USE PROJECT**  
 OWNER: 13 JAN REAL ESTATE LLC  
 829 4TH STREET  
 MIAMI BEACH, FL 33139  
 HISTORIC PRESERVATION BOARD  
 JANUARY 17, 2023

PROJECT: 2203  
 DATE: JANUARY 17, 2023  
 FILE: HPB 230117  
 REV. DESCRIPTION DATE

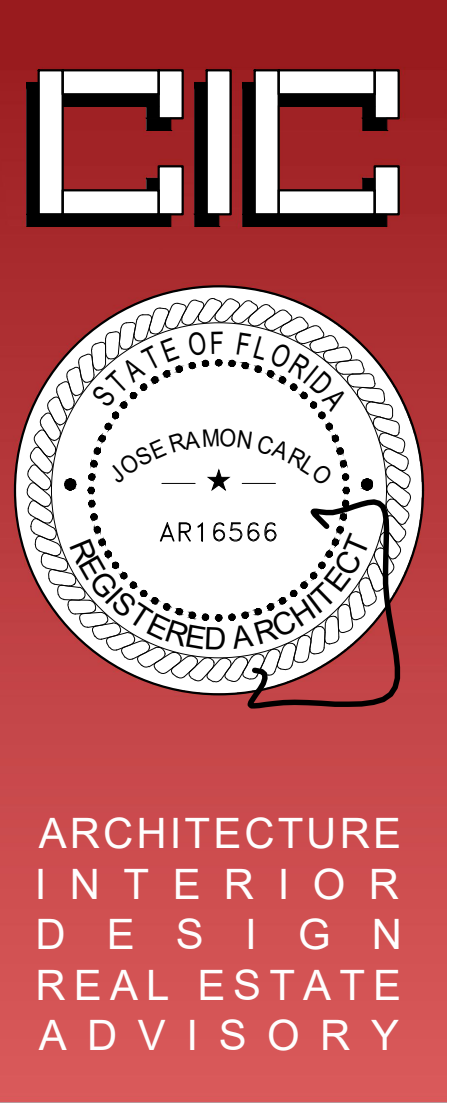
SCALE: 1/4" = 1'-0"

PROPOSED  
 LEVEL 2  
**A2.2**

C THESE IDEAS, PLANS, & DESIGNS MAY NOT BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE EXPRESS, WRITTEN CONSENT OF CIC. DIMENSIONS SHOWN ON THESE DRAWINGS SUPERCEDE SCALE DIMENSIONS



1 PROPOSED LEVEL 3  
SCALE: 1/4" = 1'-0"



**C I C**  
 JOSE R. CARLO  
 FL LICENSE NO.: AR-16566  
 11 ISLAND AVENUE, #2105  
 MIAMI BEACH, FL 33139  
 (305) 490-0493  
 JCARLO@CIC-ARCHITECTURE.COM

ANNALISA MARZORATI  
 BOUTIQUE ARCHITECT  
 VIA AURELIO SAFFI, 28  
 20123 MILANO, ITALY  
 ANNALISA.MARZORATI@GMAIL.COM  
 +39.342.7326451

**MIXED-USE PROJECT**  
 OWNER: 13 JAN REAL ESTATE LLC  
 829 4TH STREET  
 MIAMI BEACH, FL 33139  
 HISTORIC PRESERVATION BOARD  
 JANUARY 17, 2023

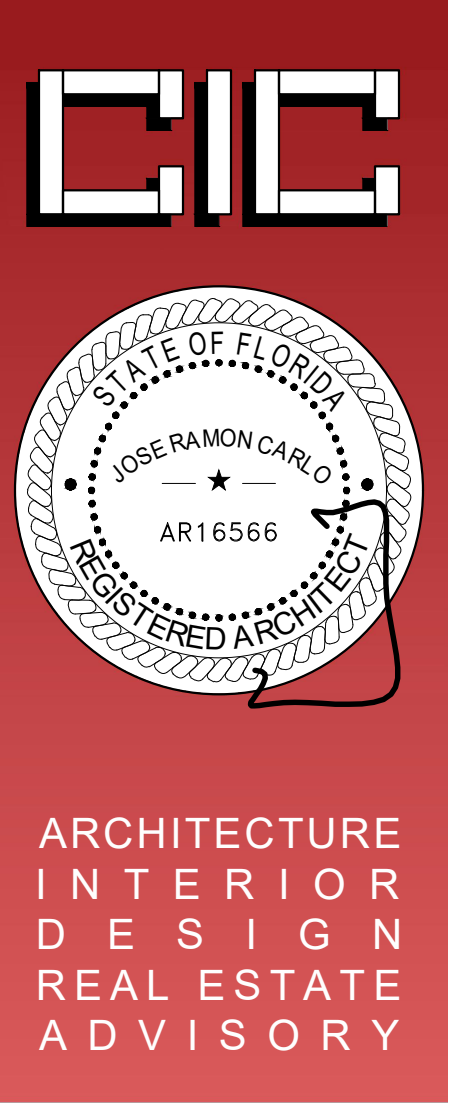
PROJECT: 2203  
 DATE: JANUARY 17, 2023  
 FILE: HPB 230117  
 REV. DESCRIPTION DATE

SCALE: 1/4" = 1'-0"

PROPOSED  
 LEVEL 3  
**A2.3**



C THESE IDEAS, PLANS, & DESIGNS MAY NOT BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE EXPRESS, WRITTEN CONSENT OF CIC. DIMENSIONS SHOWN ON THESE DRAWINGS SUPERCEDE SCALE DIMENSIONS.



**C I C**  
 JOSE R. CARLO  
 FL LICENSE NO.: AR-16566  
 11 ISLAND AVENUE, #2105  
 MIAMI BEACH, FL 33139  
 (305) 490-0493  
 JCARLO@CIC-ARCHITECTURE.COM

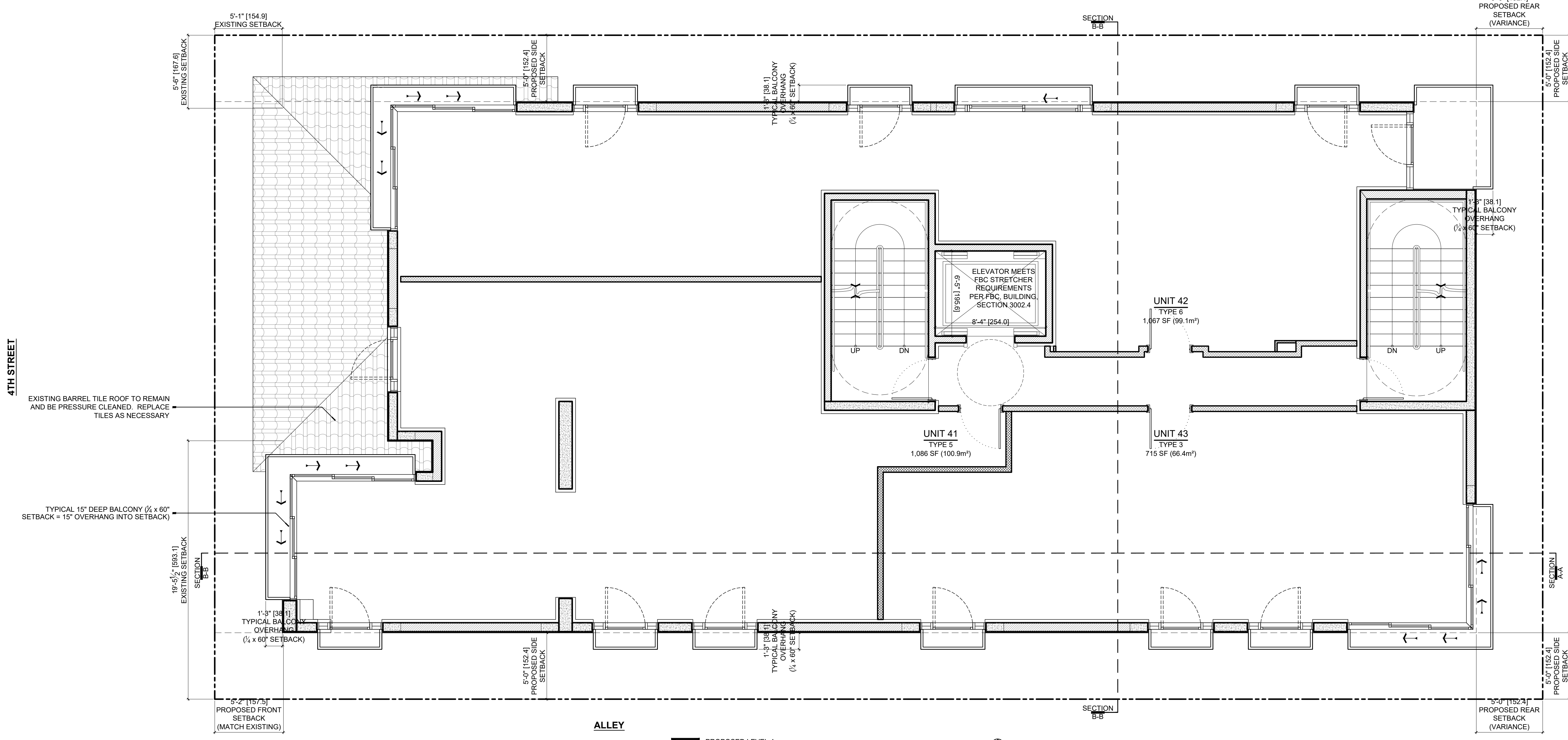
ANNALISA MARZORATI  
 BOUTIQUE ARCHITECT  
 VIA AURELIO SAFFI, 28  
 20123 MILANO, ITALY  
 ANNALISA.MARZORATI@GMAIL.COM  
 +39.342.7326451

**MIXED-USE PROJECT**  
 OWNER: 13 JAN REAL ESTATE LLC  
 829 4TH STREET  
 MIAMI BEACH, FL 33139  
 HISTORIC PRESERVATION BOARD  
 JANUARY 17, 2023

PROJECT:	2203
DATE:	JANUARY 17, 2023
FILE:	HPB 230117
REV.	DESCRIPTION DATE

SCALE: 1/4" = 1'-0"

PROPOSED  
 LEVEL 4  
**A2.4**



1 PROPOSED LEVEL 4  
 SCALE: 1/4" = 1'-0"



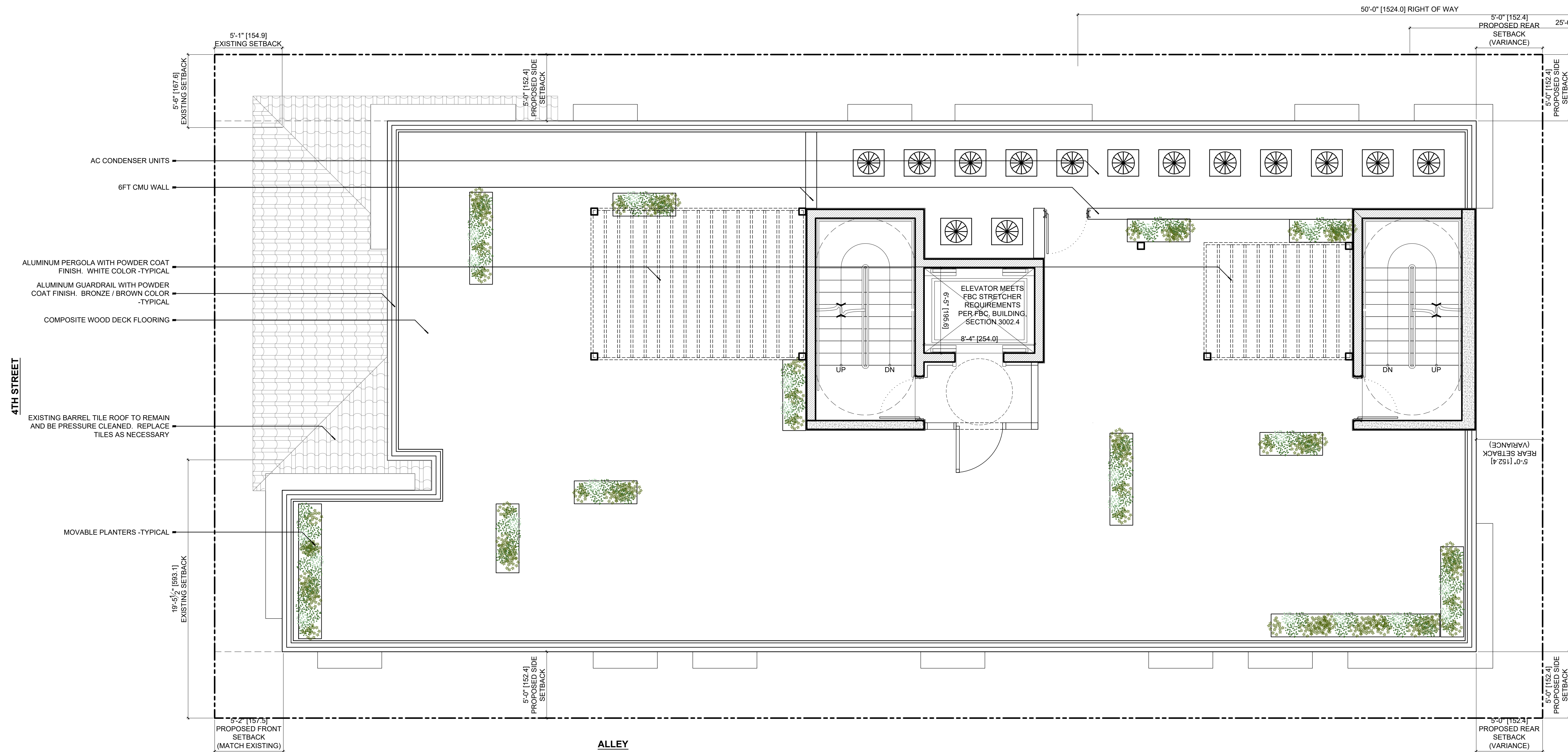
C THESE IDEAS, PLANS, & DESIGNS MAY NOT BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE EXPRESS, WRITTEN CONSENT OF CIC. DIMENSIONS SHOWN ON THESE DRAWINGS SUPERCEDE SCALE DIMENSIONS.



**CIC**

JOSE RAMON CARLO  
REGISTERED ARCHITECT  
AR16566

ARCHITECTURE  
 INTERIOR  
 DESIGN  
 REAL ESTATE  
 ADVISORY



JOSE R. CARLO  
 FL LICENSE NO.: AR-16566  
 11 ISLAND AVENUE, #2105  
 MIAMI BEACH, FL 33139  
 (305) 490-0493  
 JCARLO@CIC-ARCHITECTURE.COM

ANNALISA MARZORATI  
 BOUTIQUE ARCHITECT  
 VIA AURELIO SAFFI, 28  
 20123 MILANO, ITALY  
 ANNALISA.MARZORATI@GMAIL.COM  
 +39.342.7326451

**MIXED-USE PROJECT**  
 OWNER: 13 JAN REAL ESTATE LLC  
 829 4TH STREET  
 MIAMI BEACH, FL 33139  
 HISTORIC PRESERVATION BOARD  
 JANUARY 17, 2023

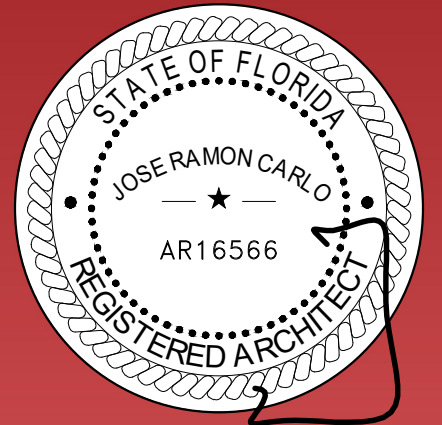
PROJECT: 2203  
 DATE: JANUARY 17, 2023  
 FILE: HPB 230117  
 REV. DESCRIPTION DATE

SCALE: 1/4" = 1'-0"

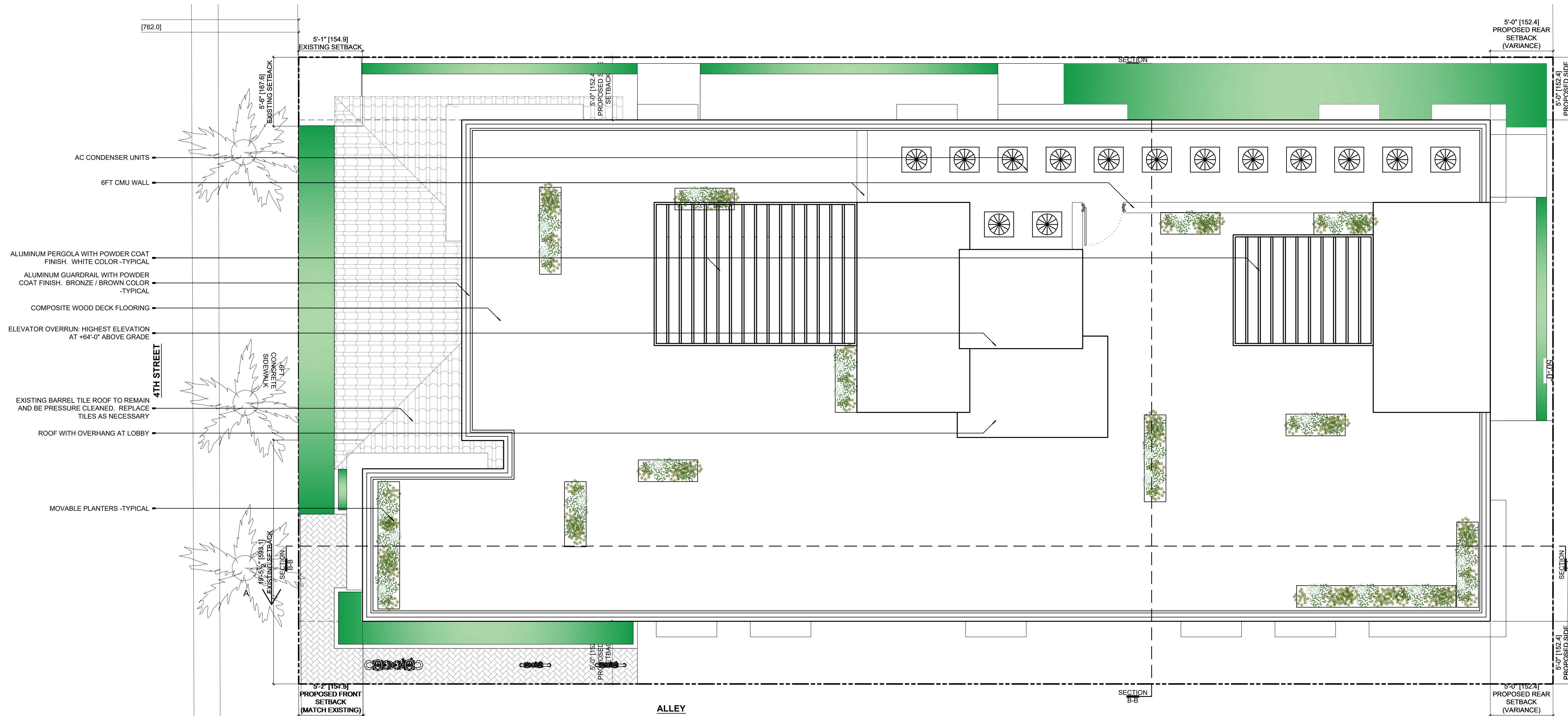
PROPOSED  
 LEVEL 5  
 ROOF DECK  
**A2.5**



C THESE IDEAS, PLANS, & DESIGNS MAY NOT BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE EXPRESS, WRITTEN CONSENT OF CIC. DIMENSIONS SHOWN ON THESE DRAWINGS SUPERCEDE SCALE DIMENSIONS



ARCHITECTURE  
INTERIOR  
DESIGN  
REAL ESTATE  
ADVISORY



C I C  
JOSE R. CARLO  
FL LICENSE NO.: AR-16566  
11 ISLAND AVENUE, #2105  
MIAMI BEACH, FL 33139  
(305) 490-0493  
JCARLO@CIC-ARCHITECTURE.COM

ANNALISA MARZORATI  
BOUQUIE ARCHITECT  
VIA AURELIO SAFFI, 28  
20123 MILANO, ITALY  
ANNALISA.MARZORATI@GMAIL.COM  
+39.342.7326451

**MIXED-USE PROJECT**  
OWNER: 13 JAN REAL ESTATE LLC  
829 4TH STREET  
MIAMI BEACH, FL 33139  
HISTORIC PRESERVATION BOARD  
JANUARY 17, 2023

PROJECT: 2203  
DATE: JANUARY 17, 2023  
FILE: HPB 230117

REV.	DESCRIPTION	DATE

SCALE: 1/4" = 1'-0"

PROPOSED  
ROOF PLAN /  
SITE PLAN  
**A2.6**





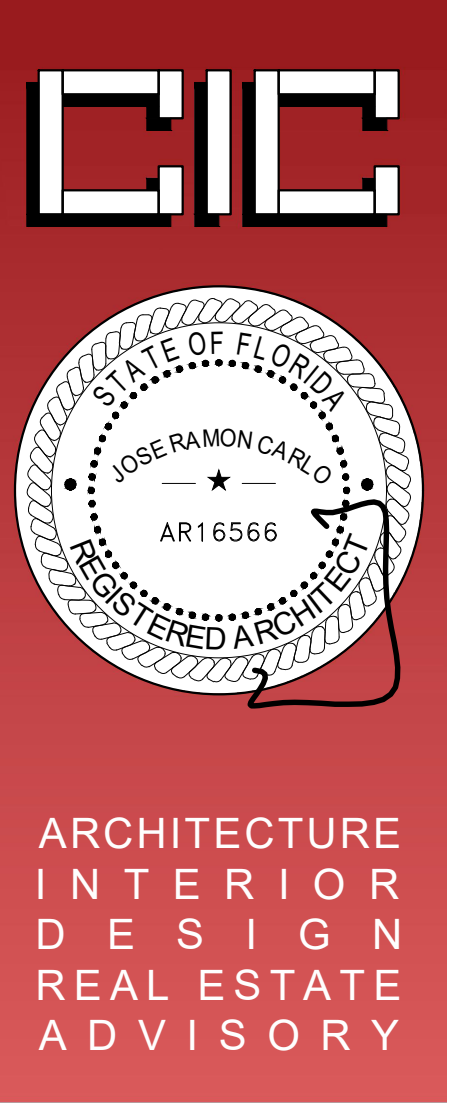
THESE IDEAS, PLANS, & DESIGNS MAY NOT BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE EXPRESS, WRITTEN CONSENT OF CIC. DIMENSIONS SHOWN ON THESE DRAWINGS SUPERCEDE SCALE DIMENSIONS.



1 PROPOSED SOUTH ELEVATION @ 4TH STREET  
SCALE: 1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



**C I C**  
 JOSE R. CARLO  
 FL LICENSE NO.: AR-16566  
 11 ISLAND AVENUE, #2105  
 MIAMI BEACH, FL 33139  
 (305) 490-0493  
 JCARLO@CIC-ARCHITECTURE.COM

ANNALISA MARZORATI  
 BOUTIQUE ARCHITECT  
 VIA AURELIO SAFFI, 28  
 20123 MILANO, ITALY  
 ANNALISA.MARZORATI@GMAIL.COM  
 +39.342.7326451

**MIXED-USE PROJECT**  
 OWNER: 13 JAN REAL ESTATE LLC  
 829 4TH STREET  
 MIAMI BEACH, FL 33139  
 HISTORIC PRESERVATION BOARD  
 JANUARY 17, 2023

PROJECT: 2203  
 DATE: JANUARY 17, 2023  
 FILE: HPB 230117  
 REV. DESCRIPTION DATE

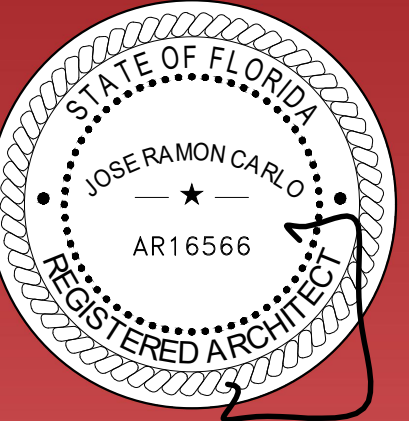
SCALE: 1/4" = 1'-0"

PROPOSED  
 SOUTH ELEV  
 NORTH ELEV.  
**A3.1**





**CIC**



ARCHITECTURE  
INTERIOR  
DESIGN  
REAL ESTATE  
ADVISORY

**C I C**  
JOSE R. CARLO  
FL LICENSE NO.: AR-16566  
11 ISLAND AVENUE, #2105  
MIAMI BEACH, FL 33139  
(305) 490-0493  
JCARLO@CIC-ARCHITECTURE.COM

ANNALISA MARZORATI  
BOUTIQUE ARCHITECT  
VIA AURELIO SAFFI, 28  
20123 MILANO, ITALY  
ANNALISA.MARZORATI@GMAIL.COM  
+39.342.7326451

**MIXED-USE PROJECT**  
OWNER: 13 JAN REAL ESTATE LLC  
829 4TH STREET  
MIAMI BEACH, FL 33139  
HISTORIC PRESERVATION BOARD  
JANUARY 17, 2023

PROJECT: 2203  
DATE: JANUARY 17, 2023  
FILE: HPB 230117

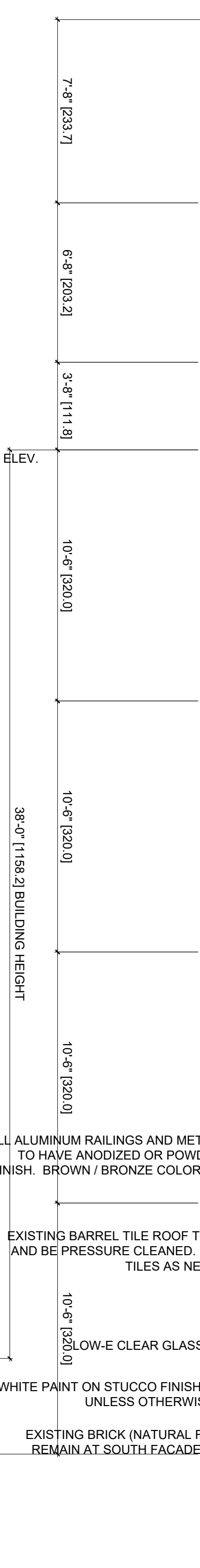
REV. DESCRIPTION DATE

SCALE: 1/4" = 1'-0"

PROPOSED  
EAST (ALLEY)  
ELEVATION  
**A3.2**

C THESE IDEAS, PLANS, & DESIGNS MAY NOT BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE EXPRESS, WRITTEN CONSENT OF CIC. DIMENSIONS SHOWN ON THESE DRAWINGS SUPERCEDE SCALE DIMENSIONS

- +64'-0" = +69'-0" NGVD  
TOP OF ELEVATOR OVERRUN
- +56'-4" = +61'-4" NGVD  
TOP OF STAIRWELL
- +49'-8" = +54'-8" NGVD  
TOP OF GUARDRAIL
- +46'-0" = +51'-0" NGVD  
LEVEL 5 ROOF DECK FIN. FLR. ELEV.
- +35'-6" = +40'-6" NGVD  
LEVEL 4 FIN. FLR. ELEV.
- +25'-0" = +30'-0" NGVD  
LEVEL 3 FIN. FLR. ELEV.
- +14'-6" = +19'-6" NGVD  
LEVEL 2 FIN. FLR. ELEV.
- +13'-0" NGVD  
B.F.E. + FREEBOARD
- +4'-0" = +9'-0" NGVD  
LEVEL 1 FIN. FLR. ELEV.
- +3'-0" = +8'-0" NGVD  
EXIST. FIN. FLR. ELEV.
- +0'-0" = +5'-0" NGVD  
EXISTING GRADE



- WHITE PAINT ON STUCCO FINISH - TYPICAL UNLESS OTHERWISE NOTED
- ALUMINUM PERGOLA WITH POWDER COAT FINISH. WHITE COLOR - TYPICAL
- ALL ALUMINUM RAILINGS AND METAL WORK TO HAVE ANODIZED OR POWDER COAT FINISH. BROWN / BRONZE COLOR - TYPICAL UNLESS OTHERWISE NOTED
- WHITE PAINT ON STUCCO FINISH - TYPICAL UNLESS OTHERWISE NOTED
- LOW-E CLEAR GLASS, NO TINT
- ALL ALUMINUM RAILINGS AND METAL WORK TO HAVE ANODIZED OR POWDER COAT FINISH. BROWN / BRONZE COLOR - TYPICAL
- ALL ALUMINUM RAILINGS AND METAL WORK TO HAVE ANODIZED OR POWDER COAT FINISH. BROWN / BRONZE COLOR - TYPICAL UNLESS OTHERWISE NOTED
- LOW-E CLEAR GLASS, NO TINT
- ALL ALUMINUM RAILINGS AND METAL WORK TO HAVE ANODIZED OR POWDER COAT FINISH. BROWN / BRONZE COLOR - TYPICAL
- PORCELAIN TILES WITH CONCRETE APPEARANCE
- ALL ALUMINUM RAILINGS AND METAL WORK TO HAVE ANODIZED OR POWDER COAT FINISH. BROWN / BRONZE COLOR - TYPICAL
- ALL ALUMINUM RAILINGS AND METAL WORK TO HAVE ANODIZED OR POWDER COAT FINISH. BROWN / BRONZE COLOR - TYPICAL
- EXISTING BRICK (NATURAL FINISH) TO REMAIN AT SOUTH FACADE - TYPICAL
- EXISTING BARREL TILE ROOF TO REMAIN AND BE PRESSURE CLEANED. REPLACE TILES AS NECESSARY
- LOW-E CLEAR GLASS, NO TINT
- WHITE PAINT ON STUCCO FINISH - TYPICAL UNLESS OTHERWISE NOTED

1 PROPOSED EAST ELEVATION @ ALLEY  
SCALE: 1/4" = 1'-0"



THESE IDEAS, PLANS, & DESIGNS MAY NOT BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE EXPRESS, WRITTEN CONSENT OF CIC. DIMENSIONS SHOWN ON THESE DRAWINGS SUPERCEDE SCALE DIMENSIONS

- +64'-0" = +69'-0" NGVD  
TOP OF ELEVATOR OVERRUN
- +56'-4" = +61'-4" NGVD  
TOP OF STAIRWELL
- +49'-8" = +54'-8" NGVD  
TOP OF GUARDRAIL
- +46'-0" = +51'-0" NGVD  
LEVEL 5 ROOF DECK FIN. FLR. ELEV.
- +35'-6" = +40'-6" NGVD  
LEVEL 4 FIN. FLR. ELEV.
- +25'-0" = +30'-0" NGVD  
LEVEL 3 FIN. FLR. ELEV.
- +14'-6" = +19'-6" NGVD  
LEVEL 2 FIN. FLR. ELEV.
- +13'-0" NGVD  
B.F.E. + FREEBOARD
- +4'-0" = +9'-0" NGVD  
LEVEL 1 FIN. FLR. ELEV.
- +3'-0" = +8'-0" NGVD  
EXIST. FIN. FLR. ELEV.
- +0'-0" = +5'-0" NGVD  
EXISTING GRADE



- 7'-8" (239.7)
- 6'-8" (203.2)
- 3'-8" (111.8)
- 10'-6" (320.0)
- 38'-0" (1158.0)
- 10'-6" (320.0)
- 10'-6" (320.0)
- 10'-0" (304.8)

- WHITE PAINT ON STUCCO FINISH -TYPICAL UNLESS OTHERWISE NOTED
- ALUMINUM PERGOLA WITH POWDER COAT FINISH. WHITE COLOR -TYPICAL
- WHITE PAINT ON STUCCO FINISH -TYPICAL UNLESS OTHERWISE NOTED
- LOW-E CLEAR GLASS, NO TINT
- ALL ALUMINUM RAILINGS AND METAL WORK TO HAVE ANODIZED OR POWDER COAT FINISH. BROWN / BRONZE COLOR -TYPICAL
- PORCELAIN TILES WITH CONCRETE APPEARANCE
- ALL ALUMINUM RAILINGS AND METAL WORK TO HAVE ANODIZED OR POWDER COAT FINISH. BROWN / BRONZE COLOR -TYPICAL
- ALL ALUMINUM RAILINGS AND METAL WORK TO HAVE ANODIZED OR POWDER COAT FINISH. BROWN / BRONZE COLOR -TYPICAL

- ALL ALUMINUM RAILINGS AND METAL WORK TO HAVE ANODIZED OR POWDER COAT FINISH. BROWN / BRONZE COLOR -TYPICAL
- WHITE PAINT ON STUCCO FINISH -TYPICAL UNLESS OTHERWISE NOTED
- LOW-E CLEAR GLASS, NO TINT
- ALL ALUMINUM RAILINGS AND METAL WORK TO HAVE ANODIZED OR POWDER COAT FINISH. BROWN / BRONZE COLOR -TYPICAL
- ALL ALUMINUM RAILINGS AND METAL WORK TO HAVE ANODIZED OR POWDER COAT FINISH. BROWN / BRONZE COLOR -TYPICAL
- ALL ALUMINUM RAILINGS AND METAL WORK TO HAVE ANODIZED OR POWDER COAT FINISH. BROWN / BRONZE COLOR -TYPICAL
- EXISTING BARREL TILE ROOF TO REMAIN AND BE PRESSURE CLEANED. REPLACE TILES AS NECESSARY
- LOW-E CLEAR GLASS, NO TINT
- WHITE PAINT ON STUCCO FINISH -TYPICAL UNLESS OTHERWISE NOTED
- EXISTING BRICK (NATURAL FINISH) TO REMAIN AT SOUTH FACADE -TYPICAL

1 PROPOSED WEST ELEVATION  
SCALE: 1/4" = 1'-0"



**C I C**  
 JOSE R. CARLO  
 FL LICENSE NO.: AR-16566  
 11 ISLAND AVENUE, #2105  
 MIAMI BEACH, FL 33139  
 (305) 490-0493  
 JCARLO@CIC-ARCHITECTURE.COM

ANNALISA MARZORATI  
 BOUTIQUE ARCHITECT  
 VIA AURELIO SAFFI, 28  
 20123 MILANO, ITALY  
 ANNALISA.MARZORATI@GMAIL.COM  
 +39.342.7326451

**MIXED-USE PROJECT**  
 OWNER: 13 JAN REAL ESTATE LLC  
 829 4TH STREET  
 MIAMI BEACH, FL 33139  
 HISTORIC PRESERVATION BOARD  
 JANUARY 17, 2023

REV.	DESCRIPTION	DATE
PROJECT :		2203
DATE :		JANUARY 17, 2023
FILE :		HPB 230117

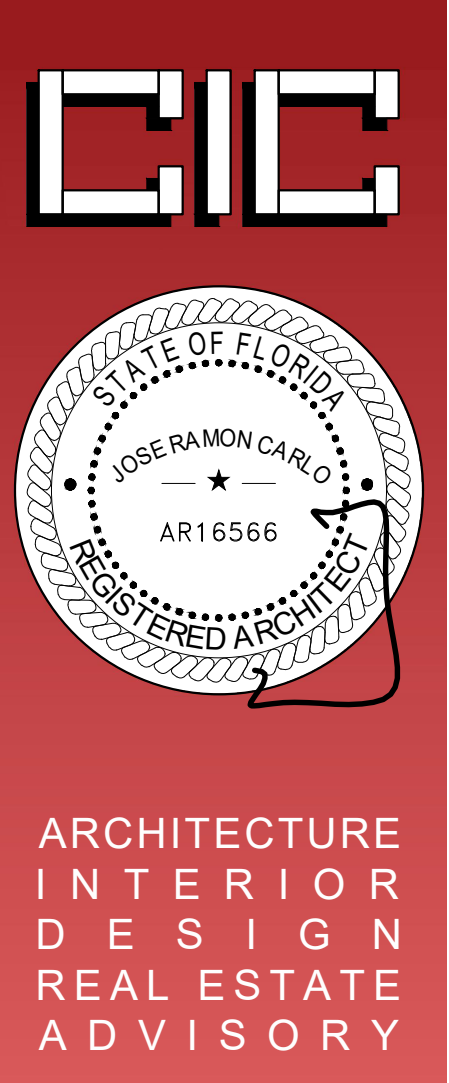
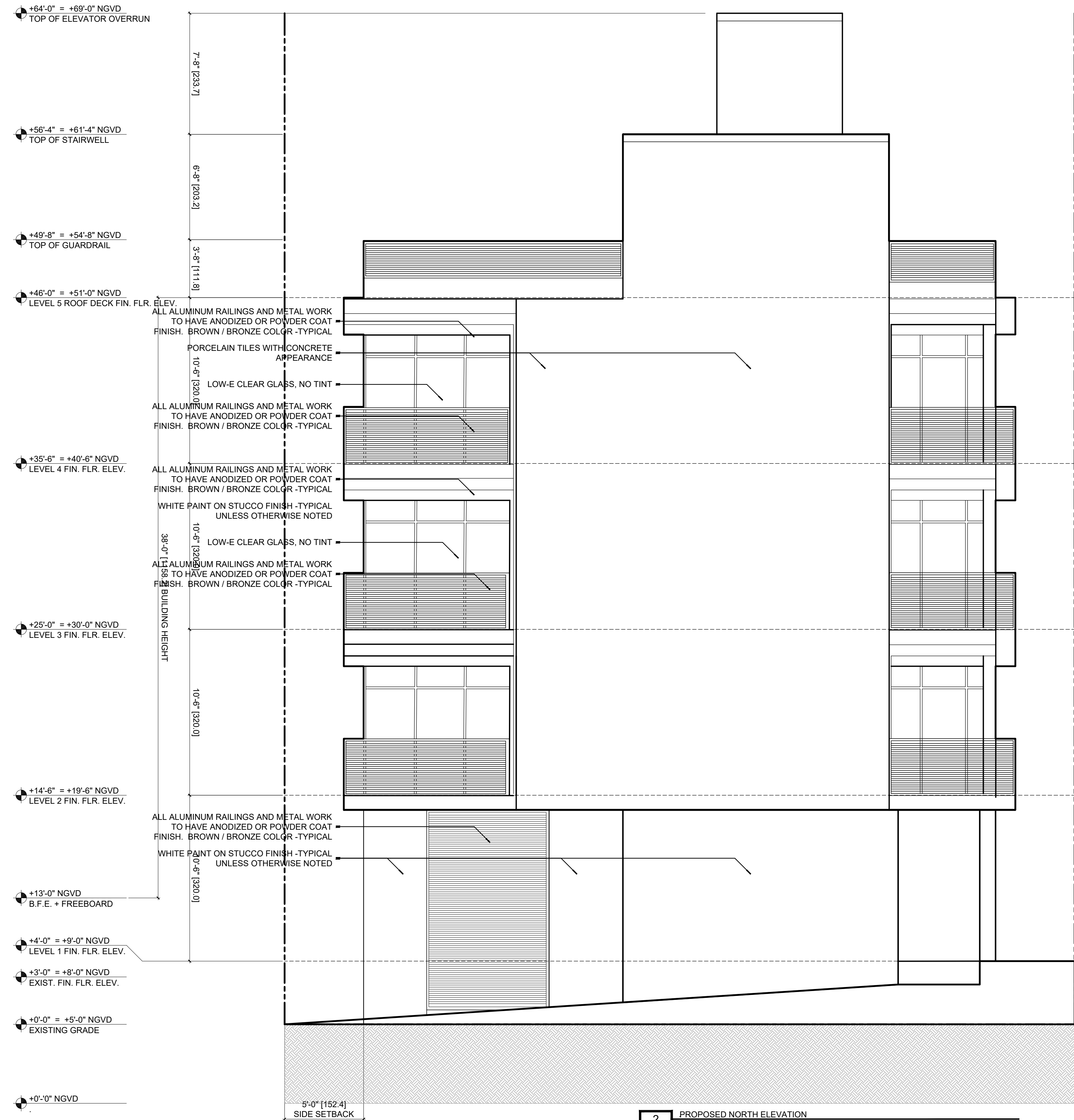
SCALE: 1/4" = 1'-0"

PROPOSED  
 WEST  
 ELEVATION  
**A3.3**





THESE IDEAS, PLANS, & DESIGNS MAY NOT BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE EXPRESS, WRITTEN CONSENT OF CIC. DIMENSIONS SHOWN ON THESE DRAWINGS SUPERCEDE SCALE DIMENSIONS.



**C I C**  
 JOSE R. CARLO  
 FL LICENSE NO.: AR-16566  
 11 ISLAND AVENUE, #2105  
 MIAMI BEACH, FL 33139  
 (305) 490-0493  
 JCARLO@CIC-ARCHITECTURE.COM

ANNALISA MARZORATI  
 BOUTIQUE ARCHITECT  
 VIA AURELIO SAFFI, 28  
 20123 MILANO, ITALY  
 ANNALISA.MARZORATI@GMAIL.COM  
 +39.342.7326451

**MIXED-USE PROJECT**  
 OWNER: 13 JAN REAL ESTATE LLC  
 829 4TH STREET  
 MIAMI BEACH, FL 33139  
 HISTORIC PRESERVATION BOARD  
 JANUARY 17, 2023

PROJECT: 2203  
 DATE: JANUARY 17, 2023  
 FILE: HPB 230117  
 REV. DESCRIPTION DATE

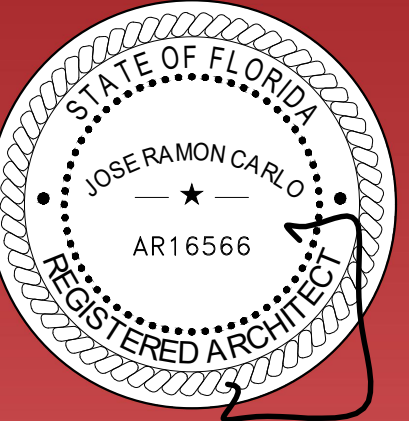
SCALE: 1/4" = 1'-0"

PROPOSED  
 SOUTH ELEV  
 NORTH ELEV.  
**A3.4**





**CIC**



ARCHITECTURE  
INTERIOR  
DESIGN  
REAL ESTATE  
ADVISORY

**C I C**  
JOSE R. CARLO  
FL LICENSE NO.: AR-16566  
11 ISLAND AVENUE, #2105  
MIAMI BEACH, FL 33139  
(305) 490-0493  
JCARLO@CIC-ARCHITECTURE.COM

ANNALISA MARZORATI  
BOUTIQUE ARCHITECT  
VIA AURELIO SAFFI, 28  
20123 MILANO, ITALY  
ANNALISA.MARZORATI@GMAIL.COM  
+39.342.7326451

**MIXED-USE PROJECT**  
OWNER: 13 JAN REAL ESTATE LLC  
829 4TH STREET  
MIAMI BEACH, FL 33139  
HISTORIC PRESERVATION BOARD  
JANUARY 17, 2023

PROJECT: 2203  
DATE: JANUARY 17, 2023  
FILE: HPB 230117

REV.	DESCRIPTION	DATE

SCALE: 1/4" = 1'-0"

PROPOSED  
EAST (ALLEY)  
ELEVATION  
**A3.5**

+64'-0" = +69'-0" NGVD  
TOP OF ELEVATOR OVERRUN  
 +56'-4" = +61'-4" NGVD  
TOP OF STAIRWELL  
 +49'-8" = +54'-8" NGVD  
TOP OF GUARDRAIL  
 +46'-0" = +51'-0" NGVD  
LEVEL 5 ROOF DECK FIN. FLR. ELEV.  
 +35'-6" = +40'-6" NGVD  
LEVEL 4 FIN. FLR. ELEV.  
 +25'-0" = +30'-0" NGVD  
LEVEL 3 FIN. FLR. ELEV.  
 +14'-6" = +19'-6" NGVD  
LEVEL 2 FIN. FLR. ELEV.  
 +13'-0" NGVD  
B.F.E. + FREEBOARD  
 +4'-0" = +9'-0" NGVD  
LEVEL 1 FIN. FLR. ELEV.  
 +3'-0" = +8'-0" NGVD  
EXIST. FIN. FLR. ELEV.  
 +0'-0" = +5'-0" NGVD  
EXISTING GRADE  
 +0'-0" NGVD



7'-8" (233.7)  
 6'-8" (203.2)  
 3'-8" (111.8)  
 10'-6" (320.0)  
 38'-0" (1158.2) BUILDING HEIGHT  
 10'-6" (320.0)  
 10'-6" (320.0)  
 10'-0" (304.8)  
 5'-0" (152.4) REAR BACK SIDE WALK

WHITE PAINT ON STUCCO FINISH - TYPICAL UNLESS OTHERWISE NOTED  
 ALUMINUM PERGOLA WITH POWDER COAT FINISH. WHITE COLOR - TYPICAL  
 ALL ALUMINUM RAILINGS AND METAL WORK TO HAVE ANODIZED OR POWDER COAT FINISH. BROWN / BRONZE COLOR - TYPICAL UNLESS OTHERWISE NOTED  
 WHITE PAINT ON STUCCO FINISH - TYPICAL UNLESS OTHERWISE NOTED  
 ALL ALUMINUM RAILINGS AND METAL WORK TO HAVE ANODIZED OR POWDER COAT FINISH. BROWN / BRONZE COLOR - TYPICAL  
 LOW-E CLEAR GLASS, NO TINT  
 ALL ALUMINUM RAILINGS AND METAL WORK TO HAVE ANODIZED OR POWDER COAT FINISH. BROWN / BRONZE COLOR - TYPICAL UNLESS OTHERWISE NOTED  
 WHITE PAINT ON STUCCO FINISH - TYPICAL UNLESS OTHERWISE NOTED  
 ALL ALUMINUM RAILINGS AND METAL WORK TO HAVE ANODIZED OR POWDER COAT FINISH. BROWN / BRONZE COLOR - TYPICAL  
 PORCELAIN TILES WITH CONCRETE APPEARANCE  
 ALL ALUMINUM RAILINGS AND METAL WORK TO HAVE ANODIZED OR POWDER COAT FINISH. BROWN / BRONZE COLOR - TYPICAL

1 PROPOSED EAST ELEVATION @ ALLEY  
SCALE: 1/4" = 1'-0"

THESE IDEAS, PLANS, & DESIGNS MAY NOT BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE EXPRESS, WRITTEN CONSENT OF CIC. DIMENSIONS SHOWN ON THESE DRAWINGS SUPERCEDE SCALE DIMENSIONS



THESE IDEAS, PLANS, & DESIGNS MAY NOT BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE EXPRESS, WRITTEN CONSENT OF CIC. DIMENSIONS SHOWN ON THESE DRAWINGS SUPERCEDE SCALE DIMENSIONS



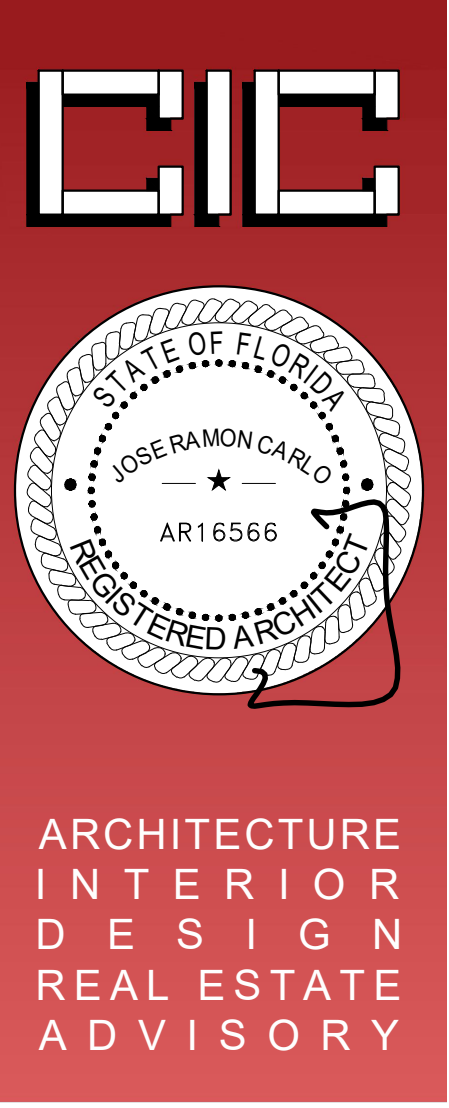
+64'-0" = +69'-0" NGVD  
TOP OF ELEVATOR OVERRUN  
 7'-6" (233.7)  
 +56'-4" = +61'-4" NGVD  
TOP OF STAIRWELL  
 WHITE PAINT ON STUCCO FINISH - TYPICAL UNLESS OTHERWISE NOTED  
 ALUMINUM PERGOLA WITH POWDER COAT FINISH. WHITE COLOR - TYPICAL  
 5'-8" (203.2)  
 +49'-8" = +54'-8" NGVD  
TOP OF GUARDRAIL  
 3'-8" (111.8)  
 +46'-0" = +51'-0" NGVD  
LEVEL 5 ROOF DECK FIN. FLR. ELEV.  
 16'-0" (520.0)  
 +35'-6" = +40'-6" NGVD  
LEVEL 4 FIN. FLR. ELEV.  
 16'-0" (520.0)  
 +25'-0" = +30'-0" NGVD  
LEVEL 3 FIN. FLR. ELEV.  
 16'-0" (520.0)  
 +14'-6" = +19'-6" NGVD  
LEVEL 2 FIN. FLR. ELEV.  
 16'-0" (520.0)  
 +13'-0" NGVD  
B.F.E. + FREEBOARD  
 +4'-0" = +9'-0" NGVD  
LEVEL 1 FIN. FLR. ELEV.  
 +3'-0" = +8'-0" NGVD  
EXIST. FIN. FLR. ELEV.  
 +0'-0" = +5'-0" NGVD  
EXISTING GRADE  
 +0'-0" NGVD

5'-0" (152.4)  
 REAR BACK  
 5'-0" (152.4)  
 PORCELAIN TILES WITH CONCRETE APPEARANCE  
 ALL ALUMINUM RAILINGS AND METAL WORK TO HAVE ANODIZED OR POWDER COAT FINISH. BROWN / BRONZE COLOR - TYPICAL  
 16'-0" (520.0)  
 WHITE PAINT ON STUCCO FINISH - TYPICAL UNLESS OTHERWISE NOTED  
 16'-0" (520.0)  
 LOW-E CLEAR GLASS, NO TINT  
 ALL ALUMINUM RAILINGS AND METAL WORK TO HAVE ANODIZED OR POWDER COAT FINISH. BROWN / BRONZE COLOR - TYPICAL  
 16'-0" (520.0)

ALL ALUMINUM RAILINGS AND METAL WORK TO HAVE ANODIZED OR POWDER COAT FINISH. BROWN / BRONZE COLOR - TYPICAL  
 WHITE PAINT ON STUCCO FINISH - TYPICAL UNLESS OTHERWISE NOTED  
 LOW-E CLEAR GLASS, NO TINT  
 ALL ALUMINUM RAILINGS AND METAL WORK TO HAVE ANODIZED OR POWDER COAT FINISH. BROWN / BRONZE COLOR - TYPICAL  
 ALL ALUMINUM RAILINGS AND METAL WORK TO HAVE ANODIZED OR POWDER COAT FINISH. BROWN / BRONZE COLOR - TYPICAL

ALL ALUMINUM RAILINGS AND METAL WORK TO HAVE ANODIZED OR POWDER COAT FINISH. BROWN / BRONZE COLOR - TYPICAL  
 EXISTING BARREL TILE ROOF TO REMAIN AND BE PRESSURE CLEANED. REPLACE TILES AS NECESSARY  
 LOW-E CLEAR GLASS, NO TINT  
 WHITE PAINT ON STUCCO FINISH - TYPICAL UNLESS OTHERWISE NOTED  
 EXISTING BRICK (NATURAL FINISH) TO REMAIN AT SOUTH FACADE - TYPICAL

**1** PROPOSED WEST ELEVATION  
 SCALE: 1/4" = 1'-0"



**C I C**  
 JOSE R. CARLO  
 FL LICENSE NO.: AR-16566  
 11 ISLAND AVENUE, #2105  
 MIAMI BEACH, FL 33139  
 (305) 490-0493  
 JCARLO@CIC-ARCHITECTURE.COM

ANNALISA MARZORATI  
 BOUTIQUE ARCHITECT  
 VIA AURELIO SAFFI, 28  
 20123 MILANO, ITALY  
 ANNALISA.MARZORATI@GMAIL.COM  
 +39.342.7326451

**MIXED-USE PROJECT**  
 OWNER: 13 JAN REAL ESTATE LLC  
 829 4TH STREET  
 MIAMI BEACH, FL 33139  
 HISTORIC PRESERVATION BOARD  
 JANUARY 17, 2023

PROJECT: 2203  
 DATE: JANUARY 17, 2023  
 FILE: HPB 230117

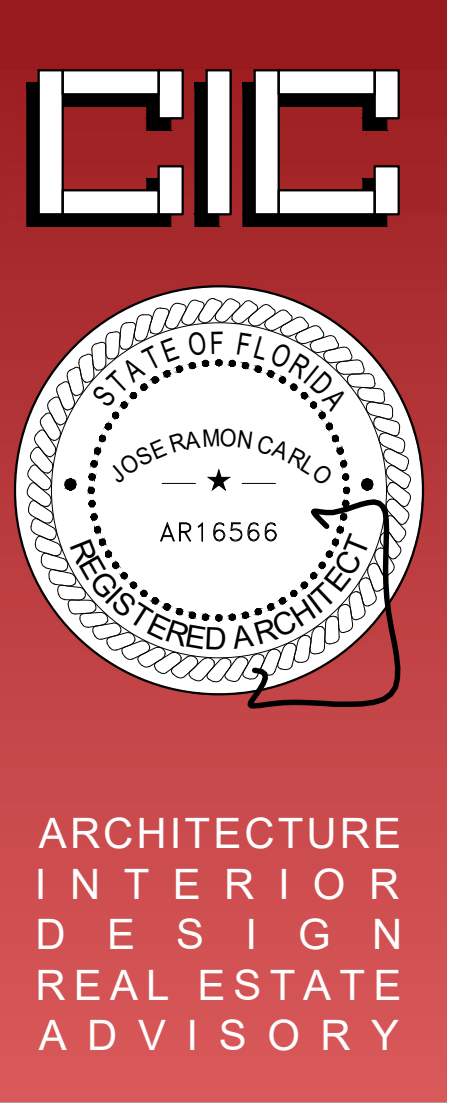
REV.	DESCRIPTION	DATE

SCALE: 1/4" = 1'-0"

PROPOSED  
 WEST  
 ELEVATION  
**A3.3**



THESE IDEAS, PLANS, & DESIGNS MAY NOT BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE EXPRESS, WRITTEN CONSENT OF CIC. DIMENSIONS SHOWN ON THESE DRAWINGS SUPERCEDE SCALE DIMENSIONS



**C I C**  
 JOSE R. CARLO  
 FL LICENSE NO.: AR-16566  
 11 ISLAND AVENUE, #2105  
 MIAMI BEACH, FL 33139  
 (305) 490-0493  
 JCARLO@CIC-ARCHITECTURE.COM

ANNALISA MARZORATI  
 BOUTIQUE ARCHITECT  
 VIA AURELIO SAFFI, 28  
 20123 MILANO, ITALY  
 ANNALISA.MARZORATI@GMAIL.COM  
 +39.342.7326451

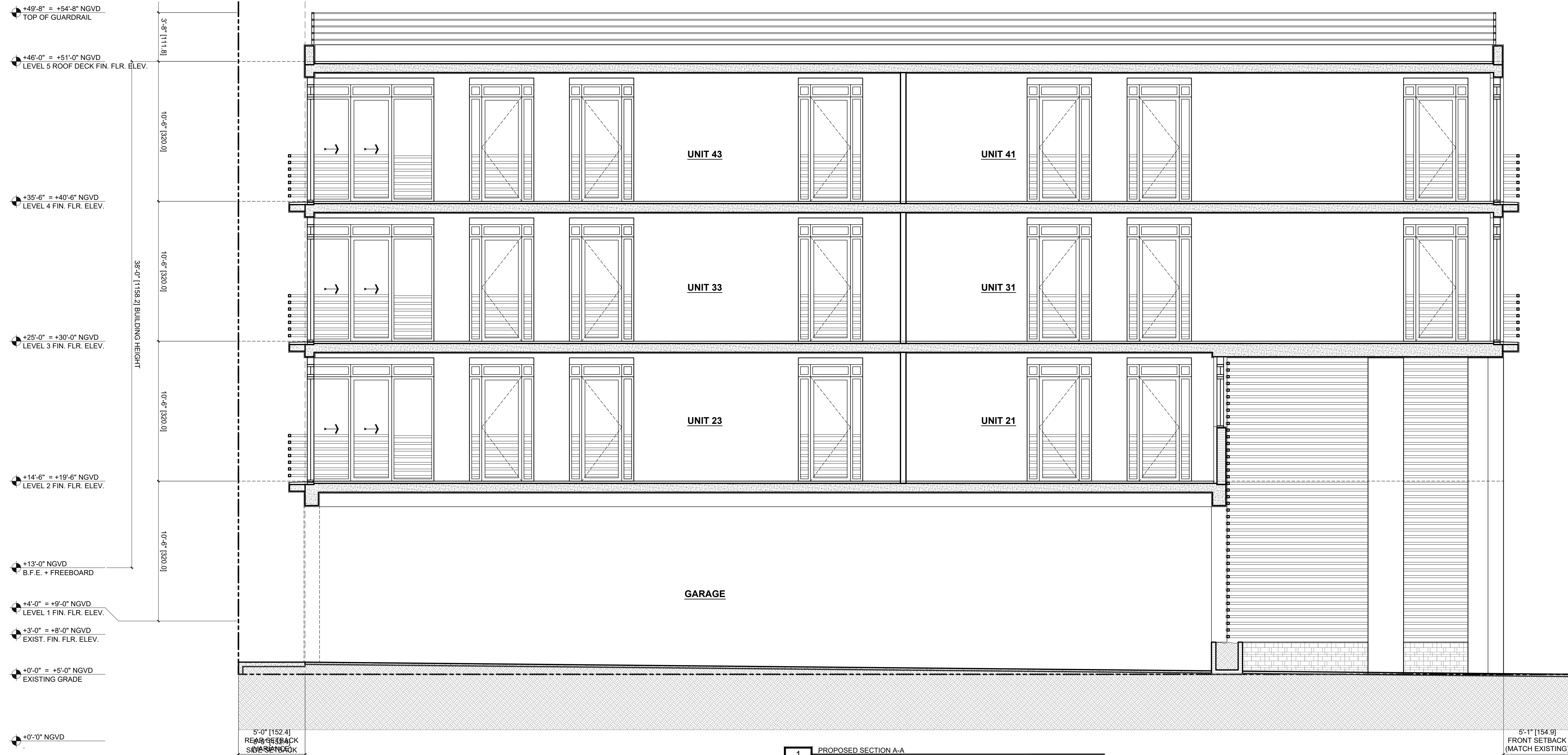
**MIXED-USE PROJECT**  
 OWNER: 13 JAN REAL ESTATE LLC  
 829 4TH STREET  
 MIAMI BEACH, FL 33139  
 HISTORIC PRESERVATION BOARD  
 JANUARY 17, 2023

PROJECT: 2203  
 DATE: JANUARY 17, 2023  
 FILE: HPB 230117  
 REV. DESCRIPTION DATE

SCALE: 1/4" = 1'-0"

PROPOSED  
 SECTION A-A

A4.1

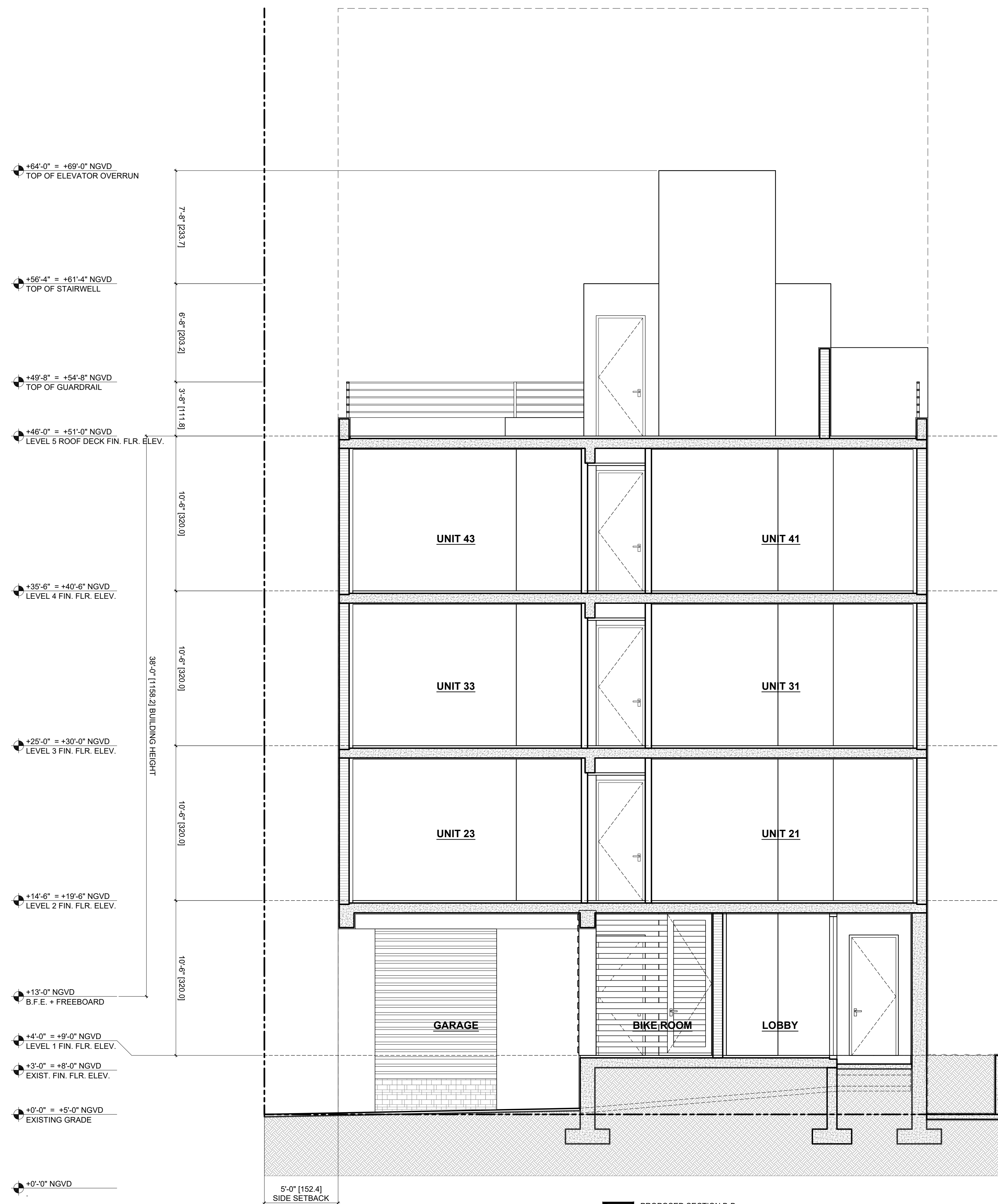


1 PROPOSED SECTION A-A  
 SCALE: 1/4" = 1'-0"

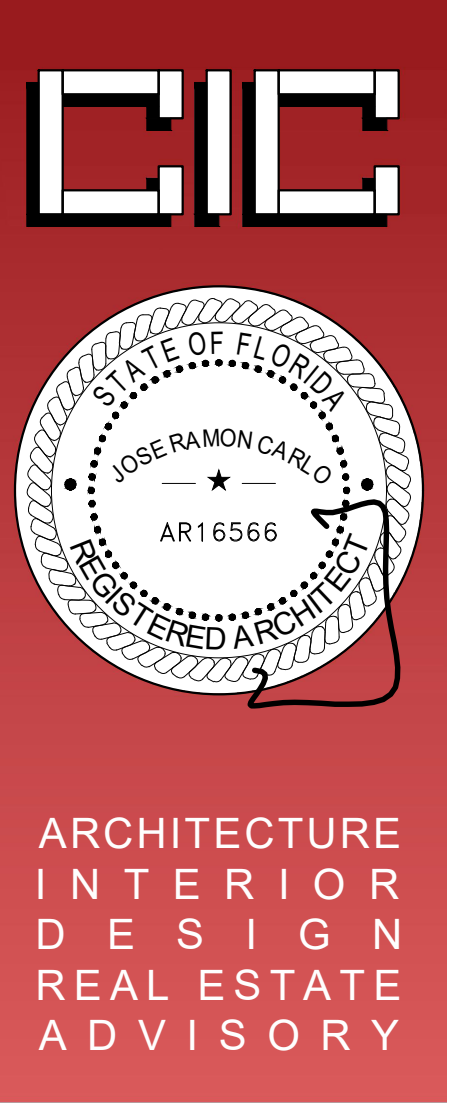
5'-1" [1549] FRONT SETBACK (MATCH EXISTING)



THESE IDEAS, PLANS, & DESIGNS MAY NOT BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE EXPRESS, WRITTEN CONSENT OF CIC. DIMENSIONS SHOWN ON THESE DRAWINGS SUPERCEDE SCALE DIMENSIONS



**1** PROPOSED SECTION B-B  
 SCALE: 1/4" = 1'-0"



**C I C**  
 JOSE R. CARLO  
 FL LICENSE NO.: AR-16566  
 11 ISLAND AVENUE, #2105  
 MIAMI BEACH, FL 33139  
 (305) 490-0493  
 JCARLO@CIC-ARCHITECTURE.COM

ANNALISA MARZORATI  
 BOUTIQUE ARCHITECT  
 VIA AURELIO SAFFI, 28  
 20123 MILANO, ITALY  
 ANNALISA.MARZORATI@GMAIL.COM  
 +39.342.7326451

**MIXED-USE PROJECT**  
 OWNER: 13 JAN REAL ESTATE LLC  
 829 4TH STREET  
 MIAMI BEACH, FL 33139  
 HISTORIC PRESERVATION BOARD  
 JANUARY 17, 2023

PROJECT:	2203	
DATE:	JANUARY 17, 2023	
FILE:	HPB 230117	
REV.	DESCRIPTION	DATE

SCALE: 1/4" = 1'-0"

PROPOSED  
 SECTION B-B

**A4.2**