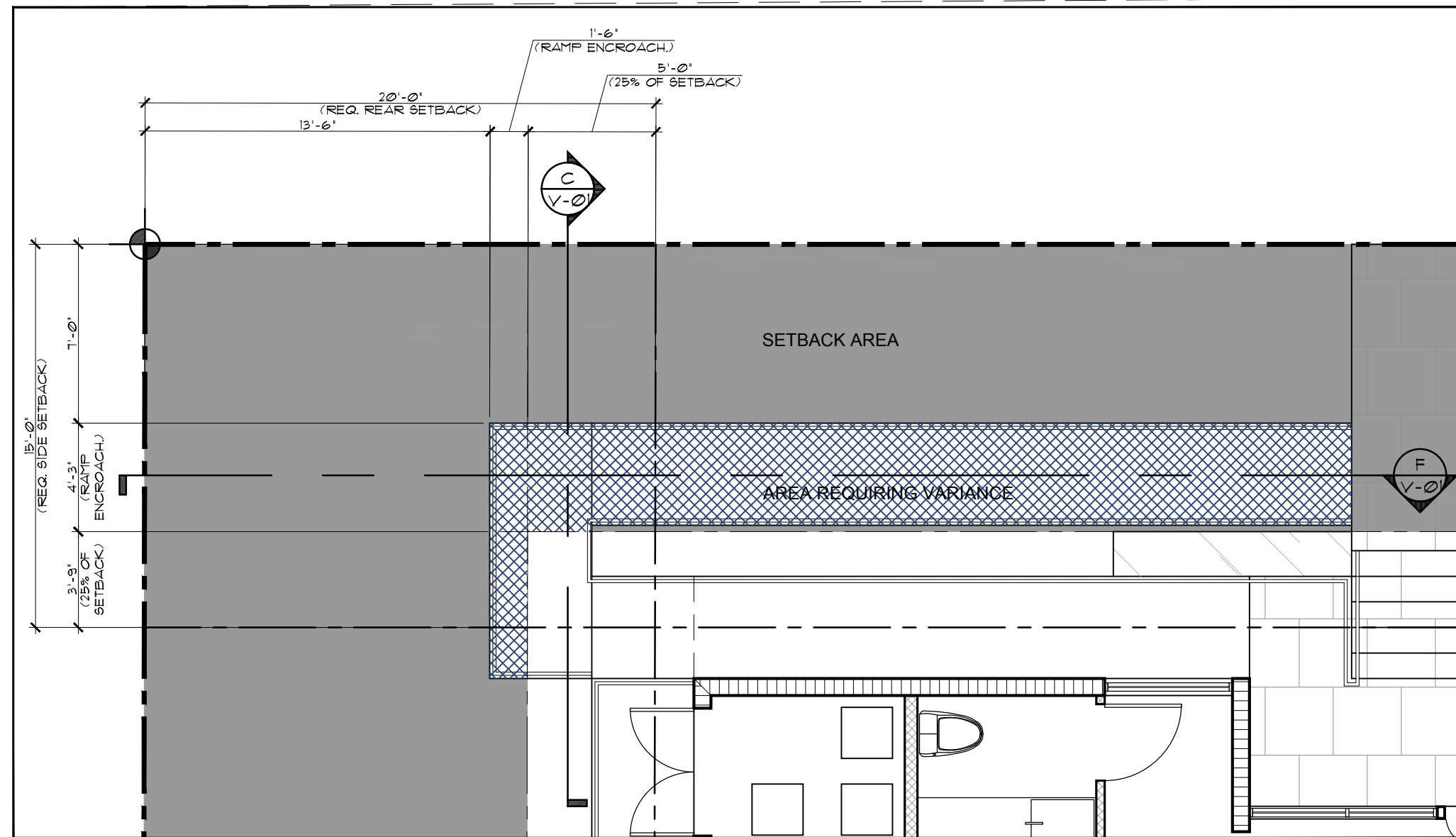


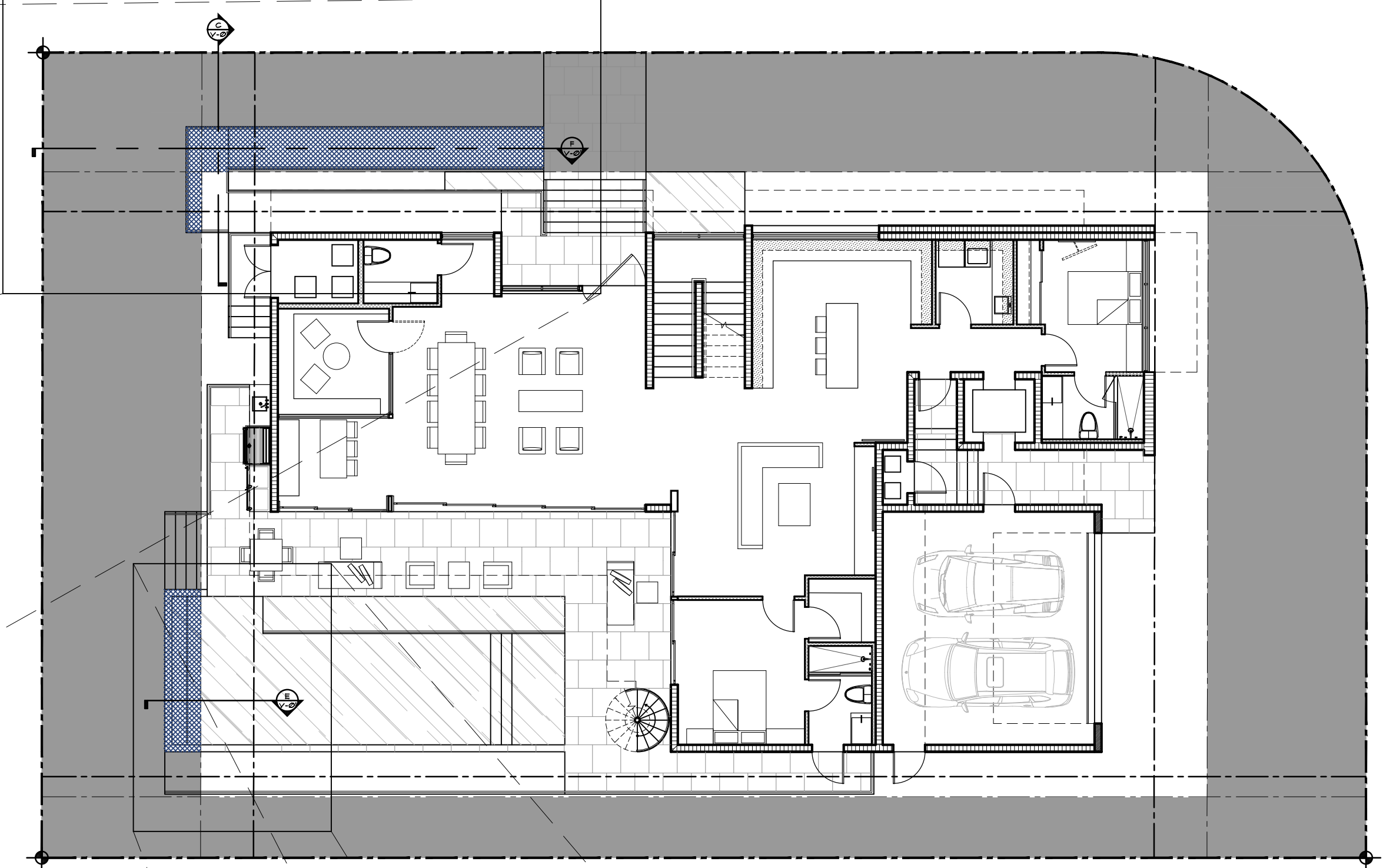
VARIANCE DIAGRAM
VARIANCE 01
SCALE 1/4" = 1'-0"
N



DETAIL PLAN
VARIANCE 01
SCALE 3/16" = 1'-0"
N

VARIANCE 01

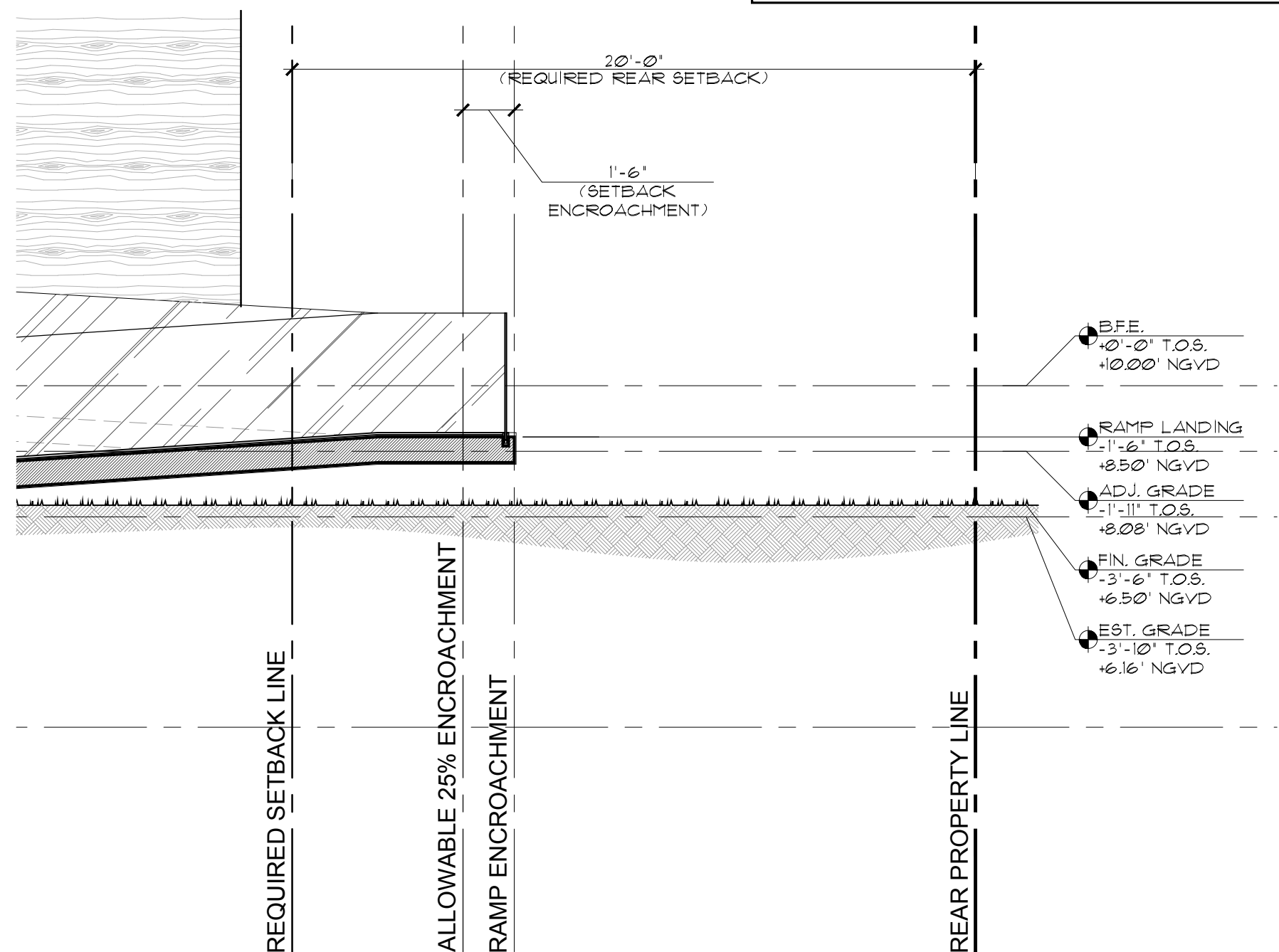
SEC. 142-106(2)b. SIDE, FACING A STREET. EACH REQUIRED SIDE YARD FACING A STREET SHALL BE NO LESS THAN TEN PERCENT OF THE LOT WIDTH OR 15 FEET, WHICHEVER IS GREATER. VARIANCE REQUESTS THAT THE ACCESSIBILITY RAMP SHOWN IN EXHIBIT B & C, BE ALLOWED TO ENCROACH PAST THE 25% ALLOWABLE SETBACK ENCROACHMENT. THE SIDE SETBACK FACING A STREET IS 15'-0" WITH AN ALLOWABLE ENCROACH OF 3'-9" (25%). THE VARIANCE REQUEST THAT THE ACCESSIBILITY RAMP BE ALLOWED TO ENCROACH 4'-3" PAST THE ALLOWABLE ENCROACHMENT LINE.



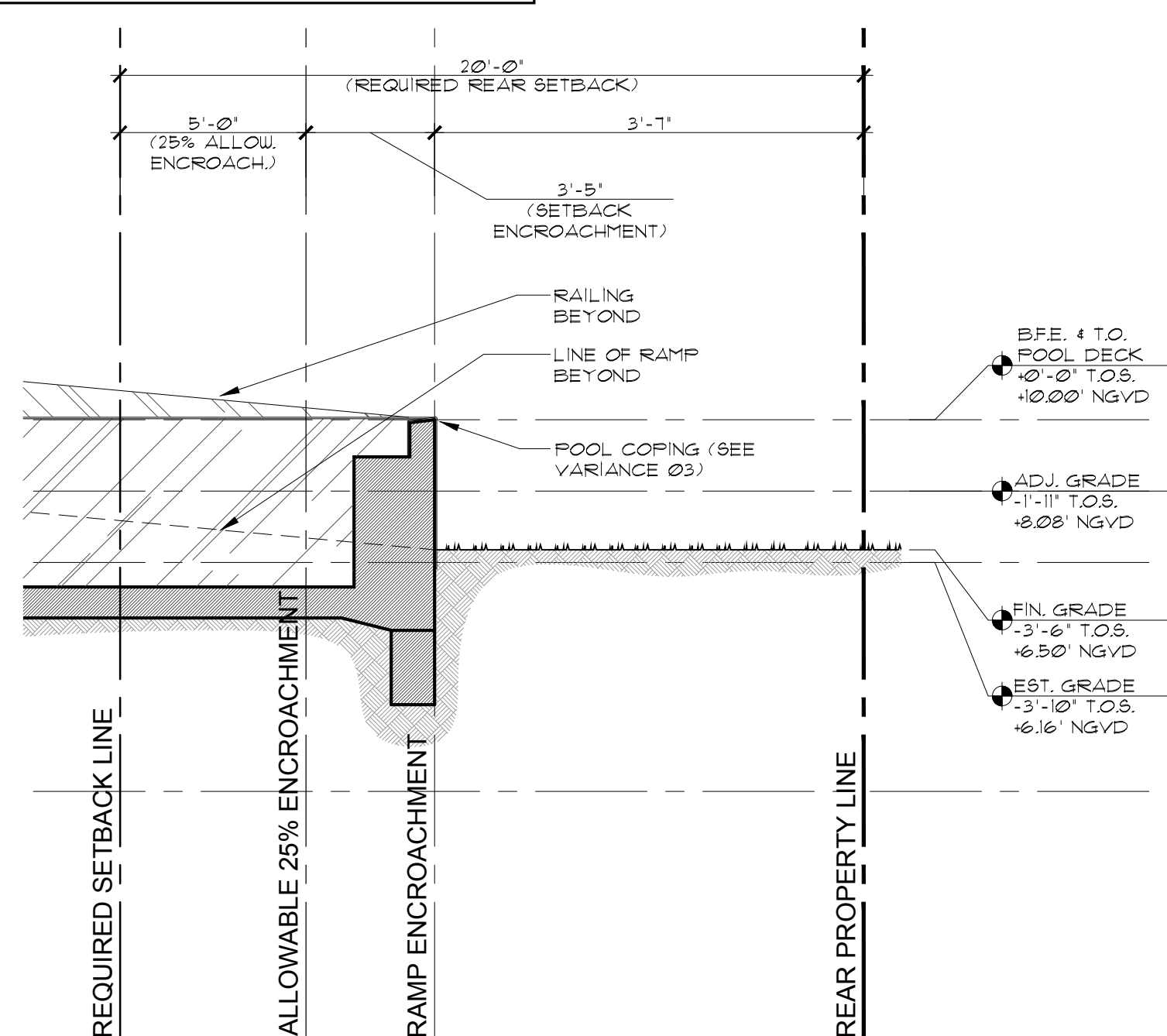
SITE KEY
VARIANCE DIAGRAM
SCALE 3/32" = 1'-0"
N

VARIANCE 02

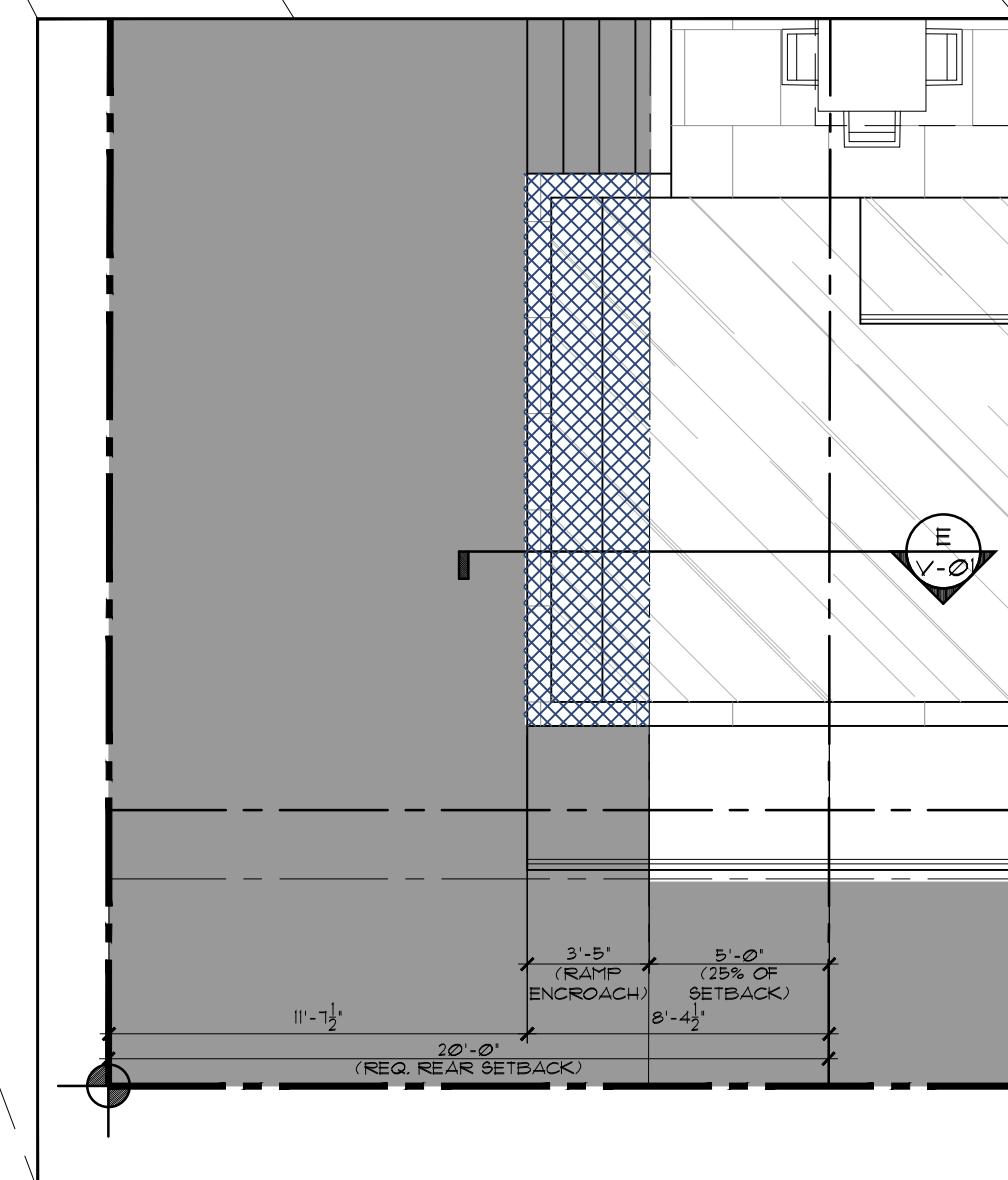
SEC. 142-106(3). REAR: THE REAR SETBACK REQUIREMENT SHALL BE 15 PERCENT OF THE LOT DEPTH, 20 FEET MINIMUM, 50 FEET MAXIMUM. VARIANCE REQUESTS THAT THE ACCESSIBILITY RAMP SHOWN IN EXHIBIT B & EXHIBIT D BE ALLOWED TO ENCROACH PAST THE 25% ALLOWABLE SETBACK ENCROACHMENT. THE REAR SETBACK IS 20'-0" WITH AN ALLOWABLE ENCROACH OF 5'-0" (25%). THE VARIANCE REQUEST THAT THE ACCESSIBILITY RAMP BE ALLOWED TO ENCROACH 3'-5" PAST THE ALLOWABLE ENCROACHMENT LINE AT THE POOL DECK (EXHIBIT D & E), AND THE ACCESSIBILITY RAMP LOCATED IN EXHIBIT B BE ALLOWED TO ENCROACH 1'-6" PAST THE ALLOWABLE ENCROACHMENT (SEE EXHIBIT F.)



VARIANCE DIAGRAM
VARIANCE 02
SCALE 1/4" = 1'-0"
N



VARIANCE DIAGRAM
VARIANCE 02
SCALE 1/4" = 1'-0"
N



DETAIL PLAN
VARIANCE 02
SCALE 3/16" = 1'-0"
N

HIBISCUS ISLAND RESIDENCE
110 N HIBISCUS DR.
MIAMI BEACH, FL 33139

seal

Ralph Choeff
registered architect
AR0009679

comm no.
1544

date:
02/12/2016

revised:

sheet no.

V-01

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VARIANCE 03

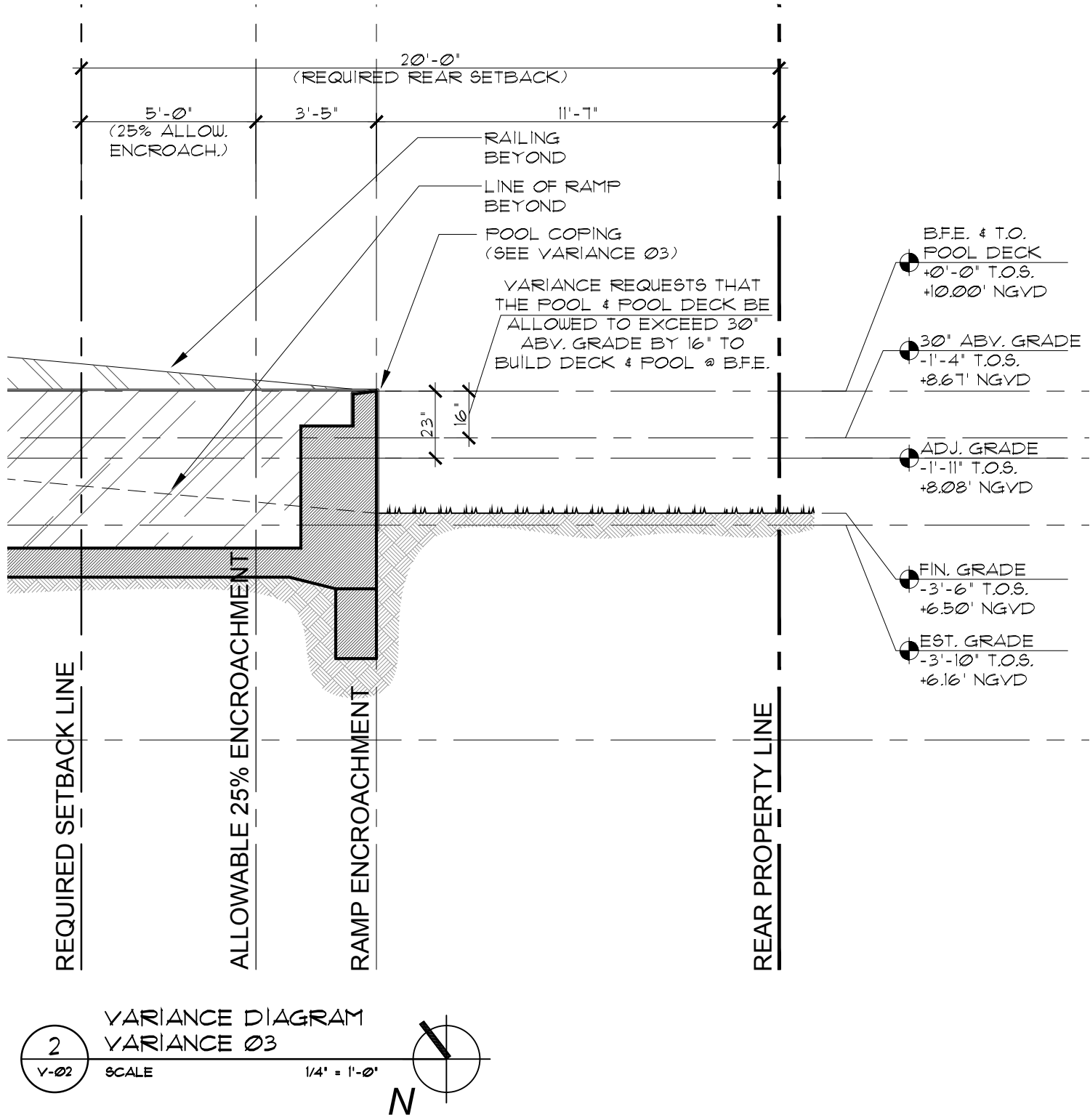
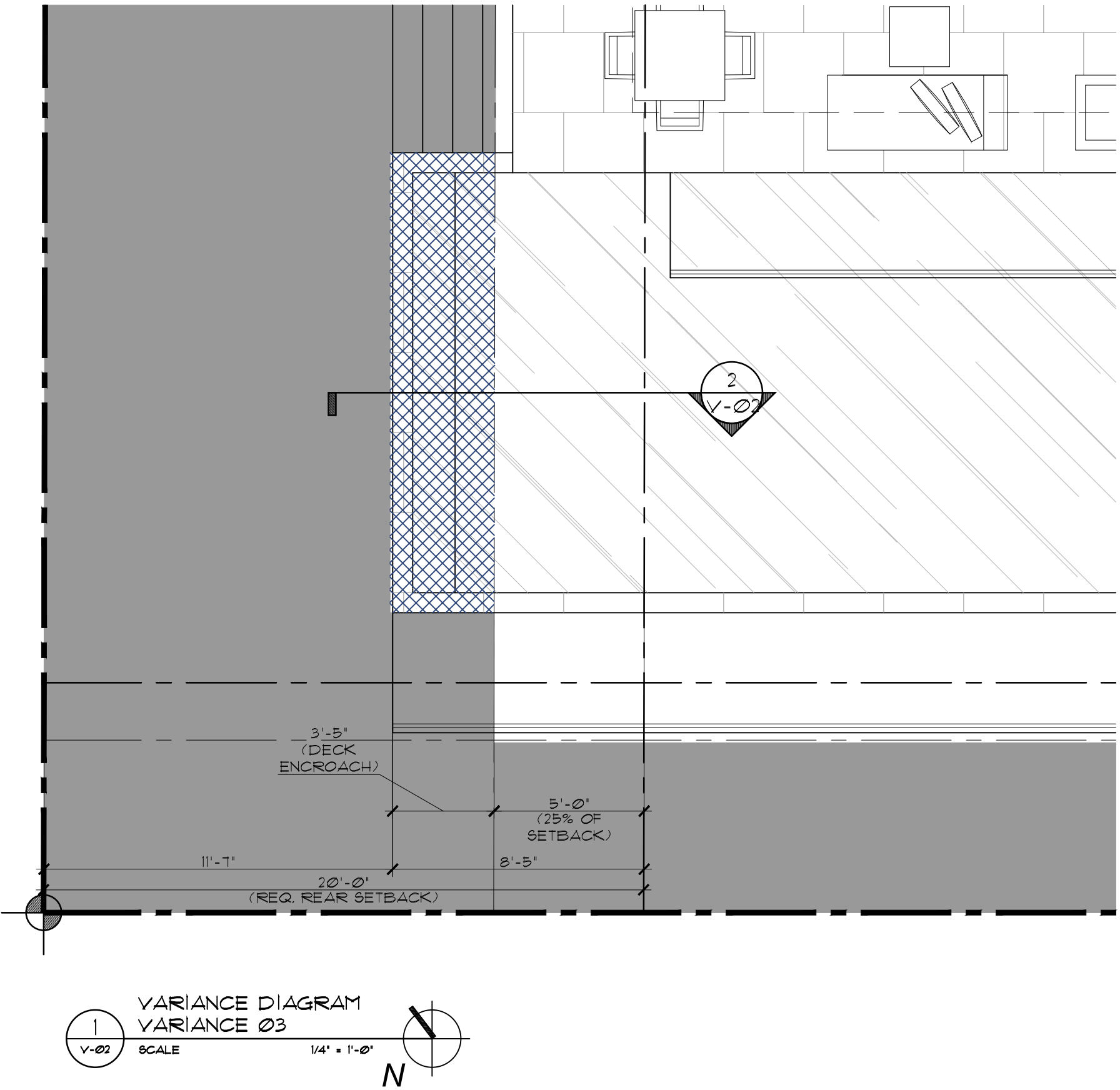
SEC. 142-105(a)(8)b(4)(B) NON-WATERFRONT, THE MAXIMUM ELEVATION SHALL NOT EXCEED ADJUSTED GRADE, OR 30 INCHES ABOVE GRADE, WHICHEVER IS GREATER, EXCEPT:

I. WHEN THE AVERAGE GRADE OF ADJACENT LOT ALONG THE ABUTTING REAR YARD IS EQUAL OR GREATER THAN ADJUSTED GRADE, THE MAXIMUM ELEVATION WITHIN THE REQUIRED REAR YARD SHALL NOT EXCEED 30 INCHES ABOVE ADJUSTED GRADE.

II. WHEN ABUTTING A VACANT PROPERTY, THE MAXIMUM ELEVATION WITHIN THE REQUIRED REAR YARD SHALL NOT EXCEED 30 INCHES ABOVE ADJUSTED GRADE.

III. NOTWITHSTANDING THE ABOVE, WHEN ABUTTING PROPERTY OWNERS HAVE JOINTLY AGREED TO A HIGHER ELEVATION, BOTH REAR YARDS MAY BE ELEVATED TO THE SAME HIGHER ELEVATION THROUGH THE SUBMISSION OF CONCURRENT BUILDING PERMITS, NOT TO EXCEED THE MINIMUM REQUIRED FLOOD ELEVATION. IN THIS INSTANCE THE MAXIMUM HEIGHT OF ANY FENCES OR WALLS ALONG THE ADJOINING PROPERTY LINES, CONSTRUCTED IN ACCORDANCE WITH SECTION 142-1132(4), ALLOWABLE ENCROACHMENTS WITHIN REQUIRED YARDS SHALL BE MEASURED FROM THE NEW AVERAGE GRADE OF THE REQUIRED REAR YARDS.

VARIANCE REQUESTS THAT THE POOL DECK, POOL, & POOL COPING SHOWN IN EXHIBIT 1 & 2, THIS SHEET, BE ALLOWED TO EXCEED 30" ABOVE GRADE BY 16" (OR 23" ABOVE ADJ. GRADE.)



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seal

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AR0009679

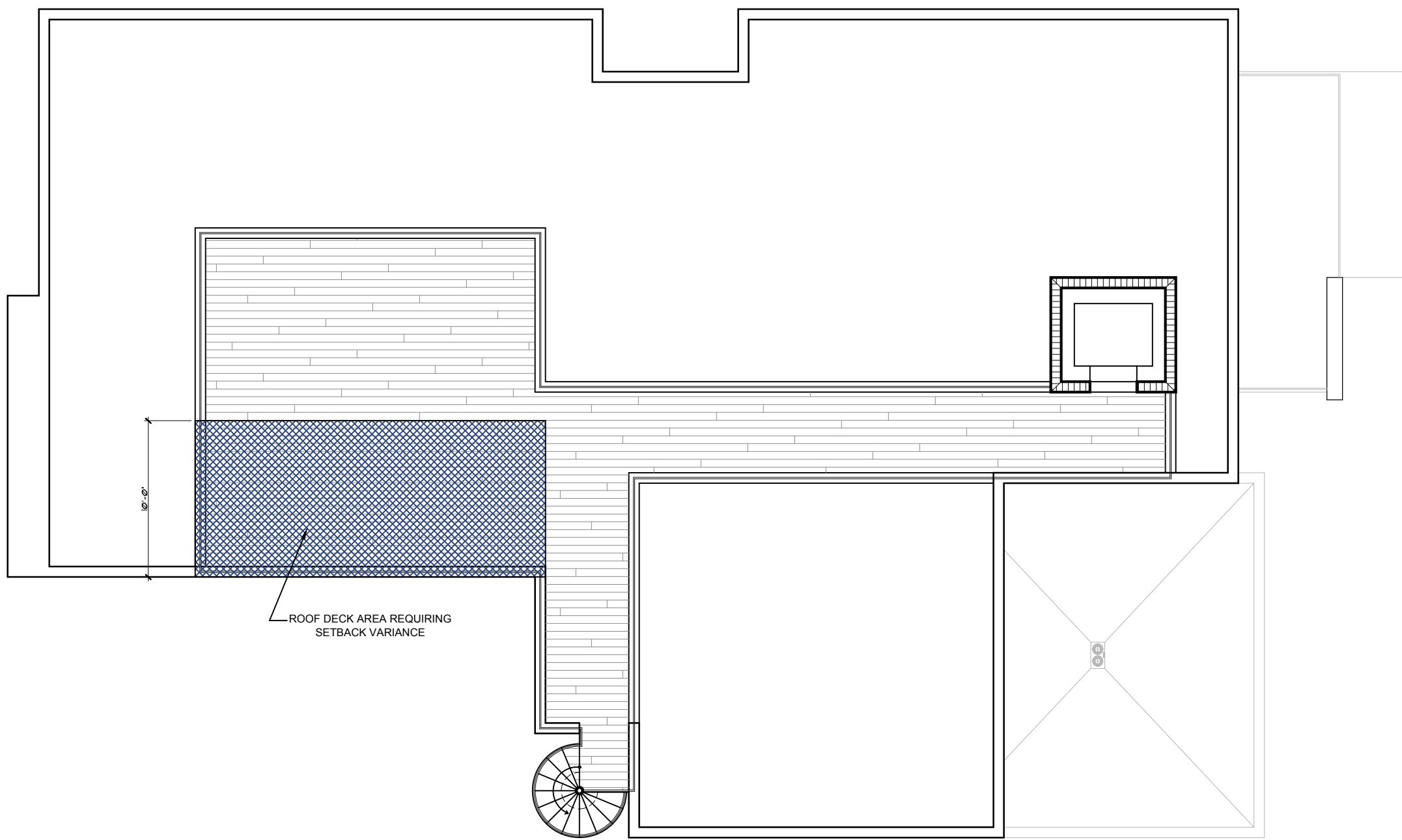
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date:
02/12/2016

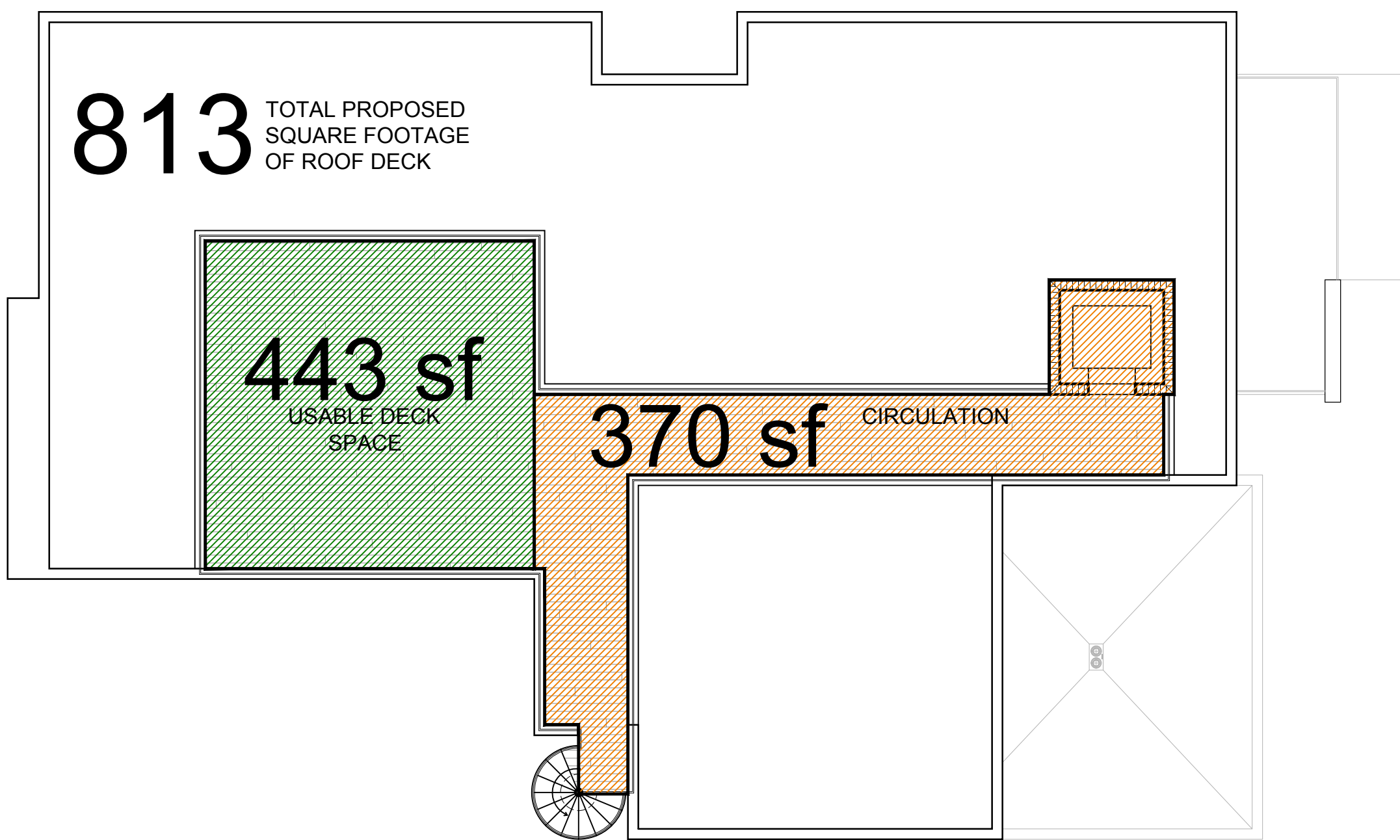
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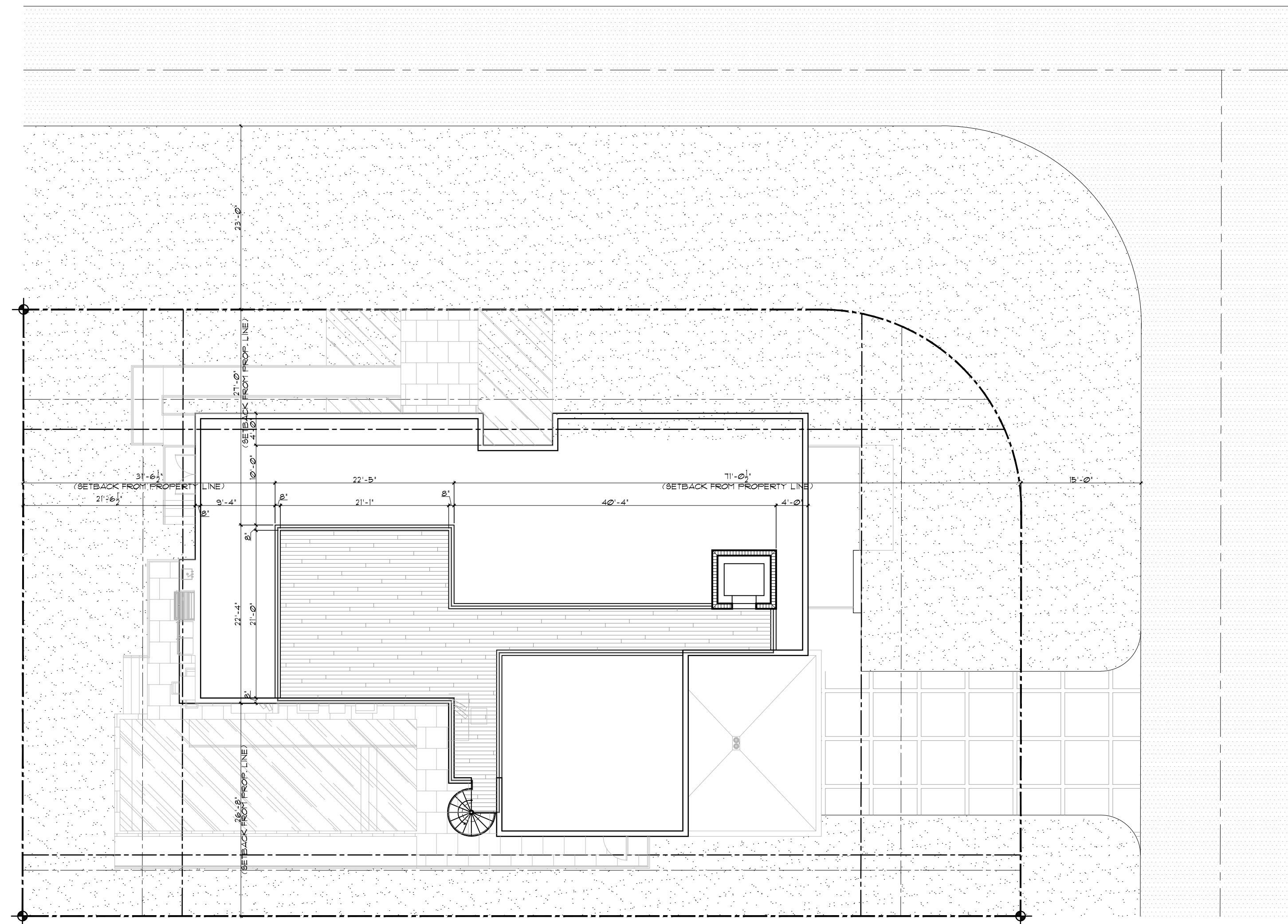
V-02



ROOF DECK
SETBACK VARIANCE 04
SCALE 1/8" = 1'-0"
N



ROOF DECK
AREA VARIANCE 05
SCALE 1/8" = 1'-0"
N



ROOF DECK
OVERALL PLAN
SCALE 3/32" = 1'-0"
N

VARIANCE 04

SEC. 142-105(b)(6): ROOF DECKS. ROOF DECKS SHALL NOT EXCEED SIX INCHES ABOVE THE MAIN ROOFLINE AND SHALL NOT EXCEED A COMBINED DECK AREA OF 25 PERCENT OF THE ENCLOSED FLOOR AREA IMMEDIATELY ONE FLOOR BELOW, REGARDLESS OF DECK HEIGHT. ROOF DECKS SHALL BE SETBACK A MINIMUM OF TEN FEET FROM EACH SIDE OF THE EXTERIOR OUTER WALLS, WHEN LOCATED ALONG A FRONT OR SIDE ELEVATION, AND FROM THE REAR ELEVATION FOR NON-WATERFRONT LOTS. THE DRB OR HPB MAY FOREGO THE REQUIRED REAR DECK SETBACK, IN ACCORDANCE WITH THE APPLICABLE DESIGN REVIEW OR APPROPRIATENESS CRITERIA.

VARIANCE REQUESTS THAT THE ROOF DECK BE ALLOWED TO ENCROACH PAST THE 10'-0" SETBACK LINE AS NOTED IN EXHIBIT A, THIS SHEET.

VARIANCE 05

SEC. 142-105(b)(6): ROOF DECKS. ROOF DECKS SHALL NOT EXCEED SIX INCHES ABOVE THE MAIN ROOFLINE AND SHALL NOT EXCEED A COMBINED DECK AREA OF 25 PERCENT OF THE ENCLOSED FLOOR AREA IMMEDIATELY ONE FLOOR BELOW, REGARDLESS OF DECK HEIGHT. ROOF DECKS SHALL BE SETBACK A MINIMUM OF TEN FEET FROM EACH SIDE OF THE EXTERIOR OUTER WALLS, WHEN LOCATED ALONG A FRONT OR SIDE ELEVATION, AND FROM THE REAR ELEVATION FOR NON-WATERFRONT LOTS. THE DRB OR HPB MAY FOREGO THE REQUIRED REAR DECK SETBACK, IN ACCORDANCE WITH THE APPLICABLE DESIGN REVIEW OR APPROPRIATENESS CRITERIA.

VARIANCE REQUESTS THAT THE ROOF DECK BE ALLOWED TO EXCEED THE 25% ALLOWABLE AREA OF THE FLOOR DIRECTLY BELOW. AS SHOWN IN EXHIBIT B, THIS SHEET, THE MAJORITY OF SQUARE FOOTAGE (370 SF, 41.9% OF TOTAL DECK AREA PROPOSED) IS USED FOR CIRCULATION FOR THE USERS, WHILE THE USABLE DECK SPACE IS QUITE SMALL (ONLY 19% OF THE FLOOR BELOW, AND 54.5% OF TOTAL PROPOSED DECK AREA.)

ROOF DECK CALCULATIONS

AREA OF FLR. BELOW:	2,309 S. F.	100%
ROOF DECK AREA (ALLOWABLE):	578 S. F.	25.0%
ROOF DECK AREA (PROPOSED):	813 S. F.	35.2%



Residence ①



Residence ②



Residence ③



Subject Property [110 N Hibiscus Dr.]



Residence ④



Residence ⑤

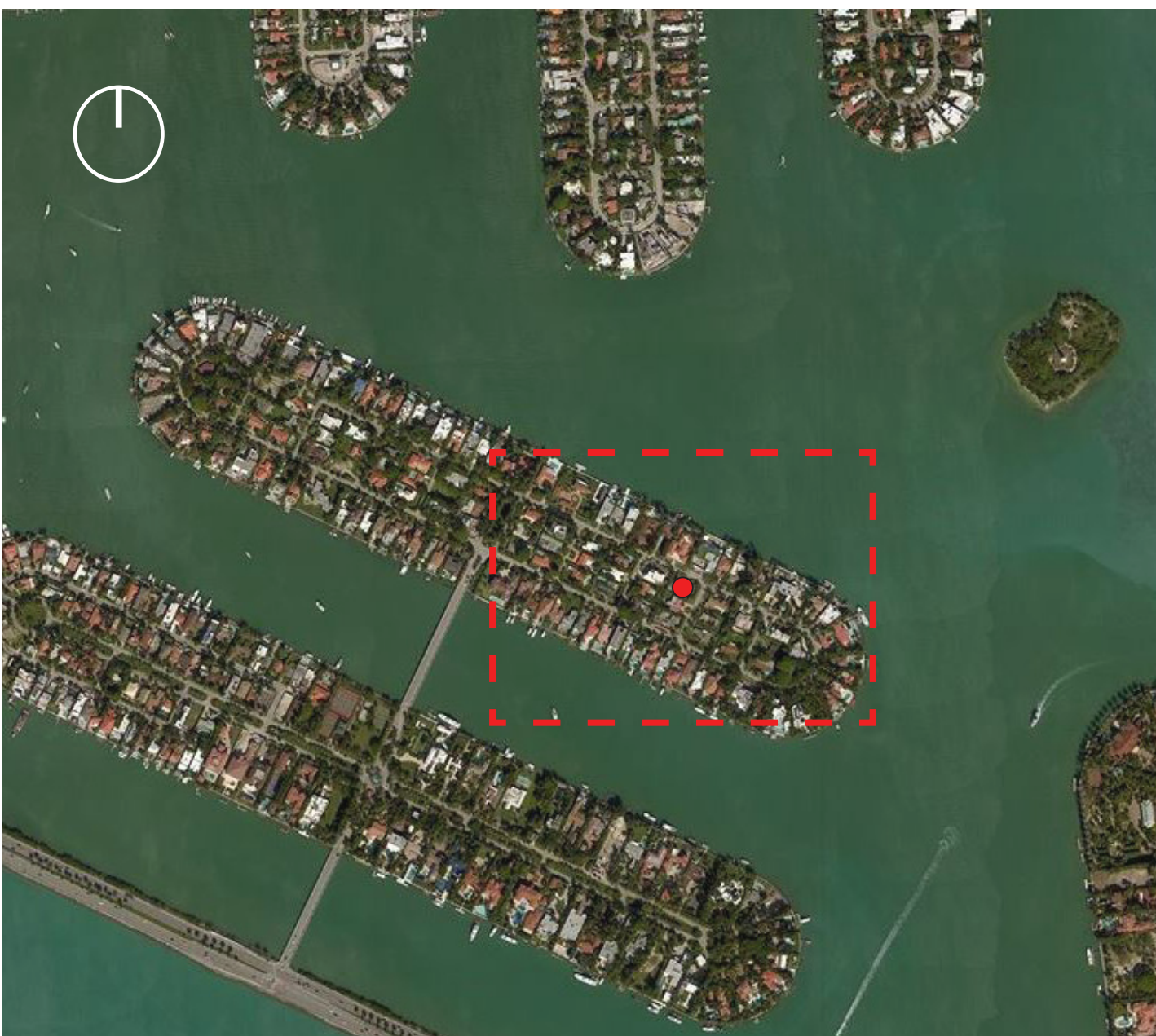
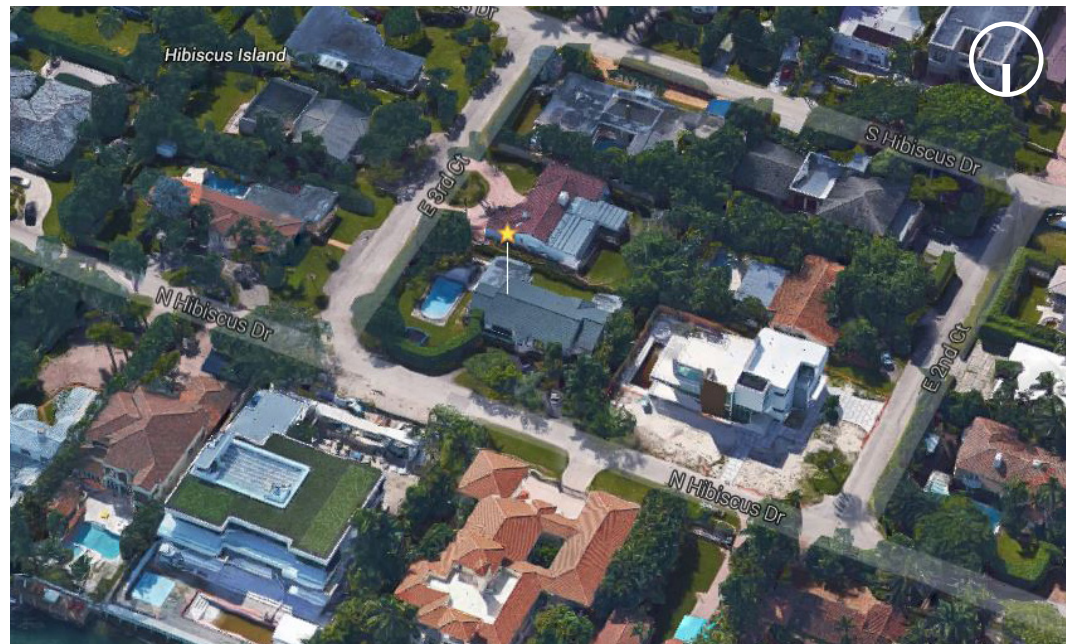
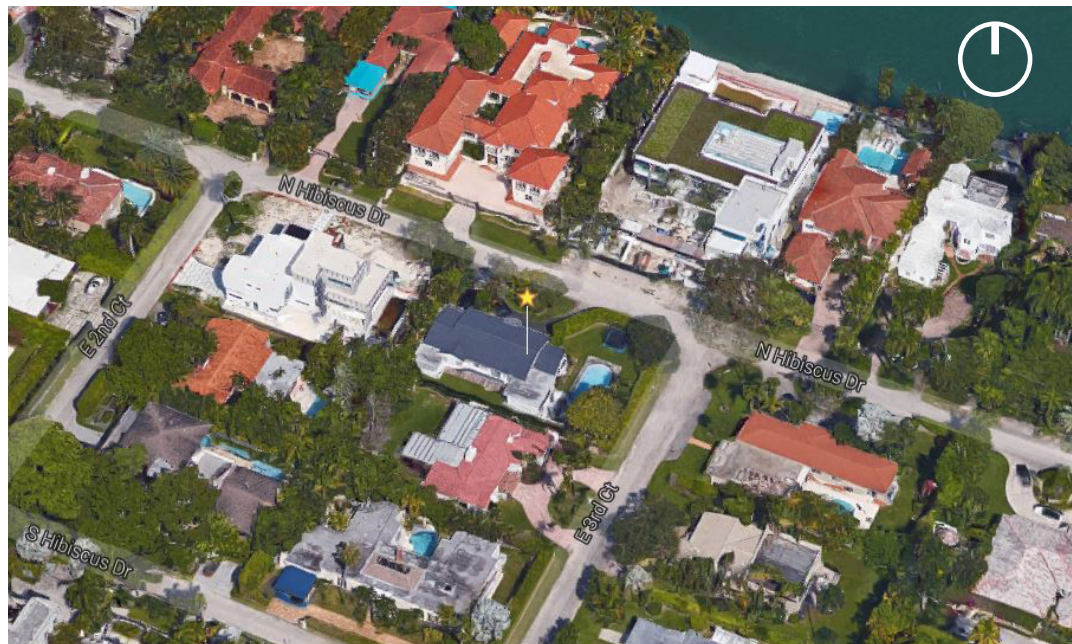


Residence ⑥



Residence ⑦

Aerial Photographs





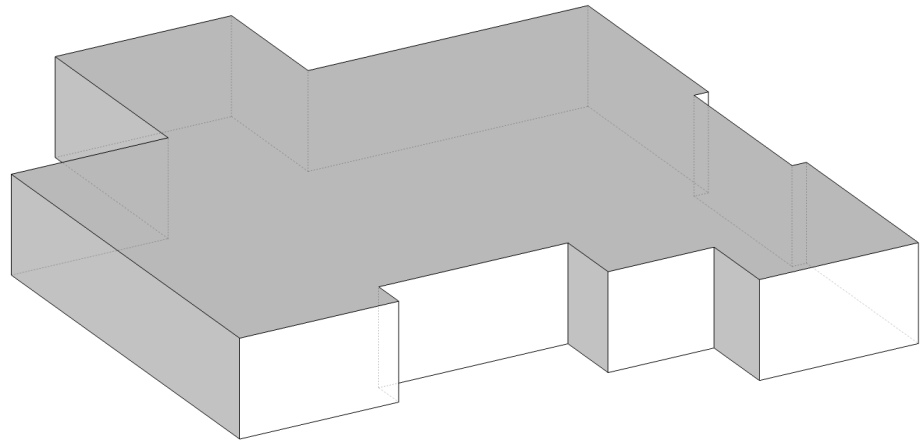
Front Context - E. 3rd Ct.



Side Context - N. Hibiscus Dr.

118 E. 3rd Ct.

Adjacent Property
 Approx. Lot Coverage: 34.2%
 Approx. First-Second Ratio: N/A

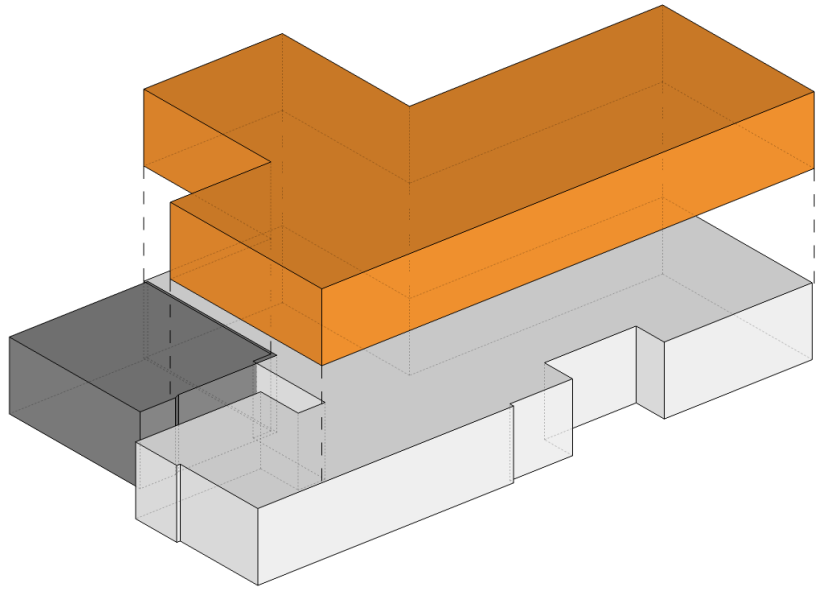


3



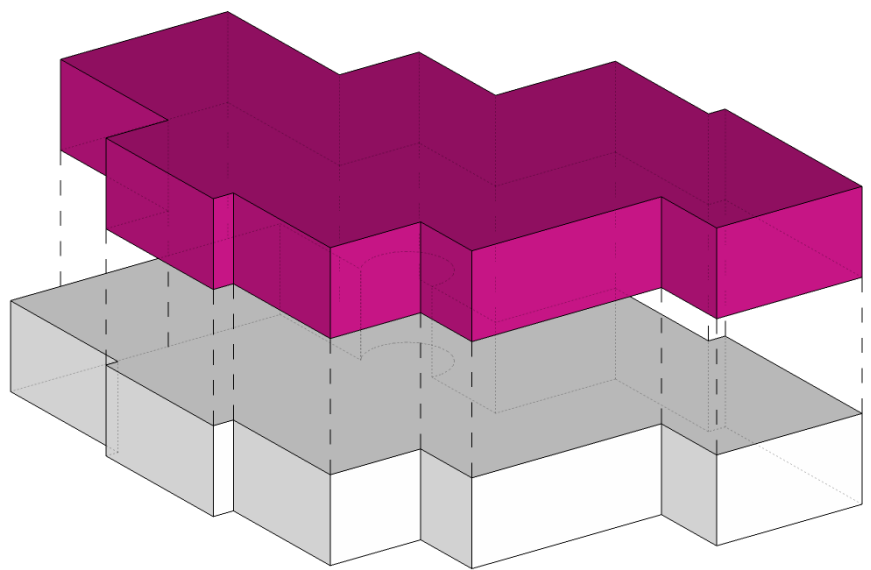
110 N. Hibiscus

Proposed Property
 Lot Coverage: 28.0%
 First-Second Ratio: 80.6%

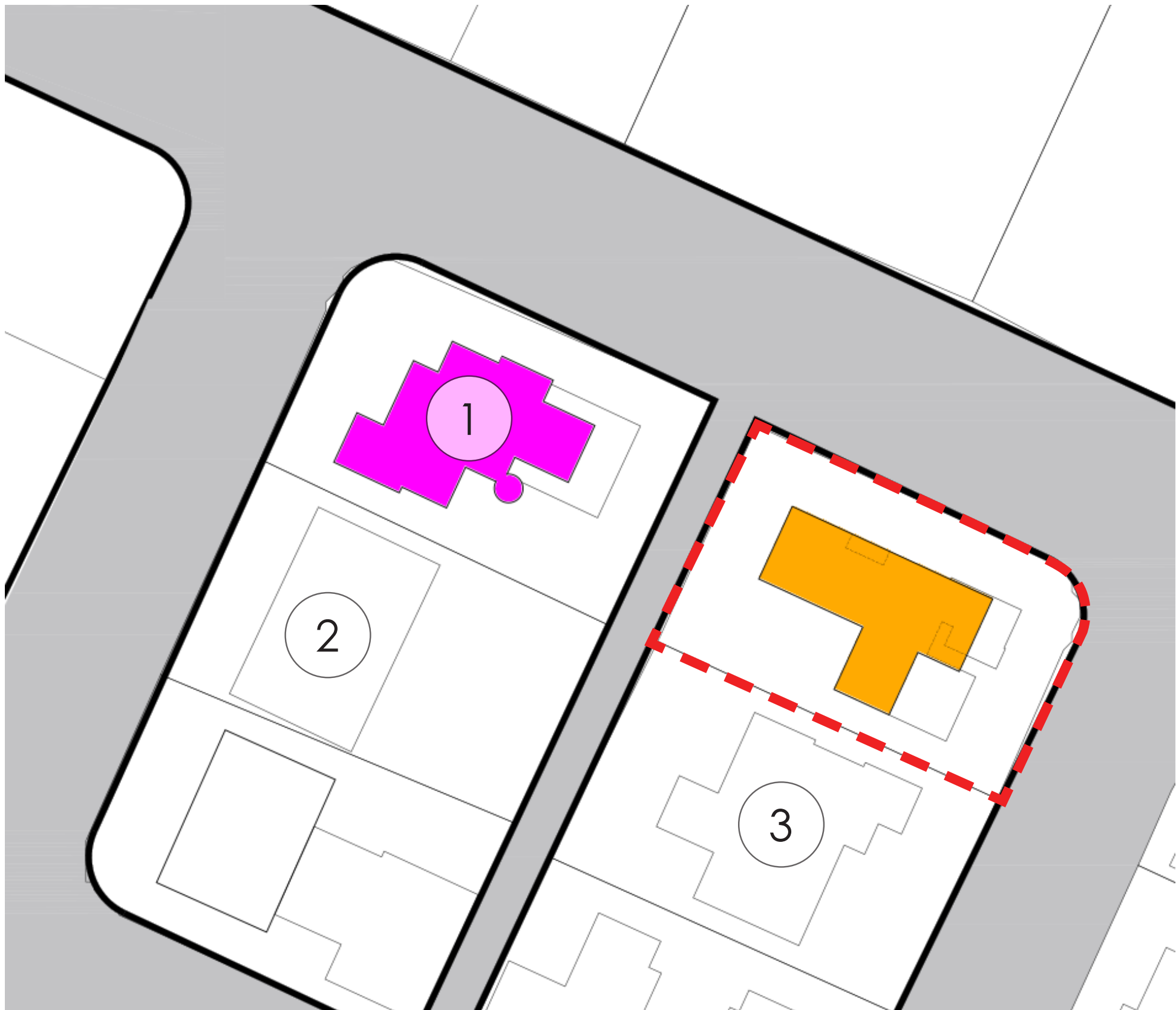


120 N. Hibiscus

Adjacent Property
 Approx. Lot Coverage: 30%
 Approx. First-Second Ratio: 89.5%

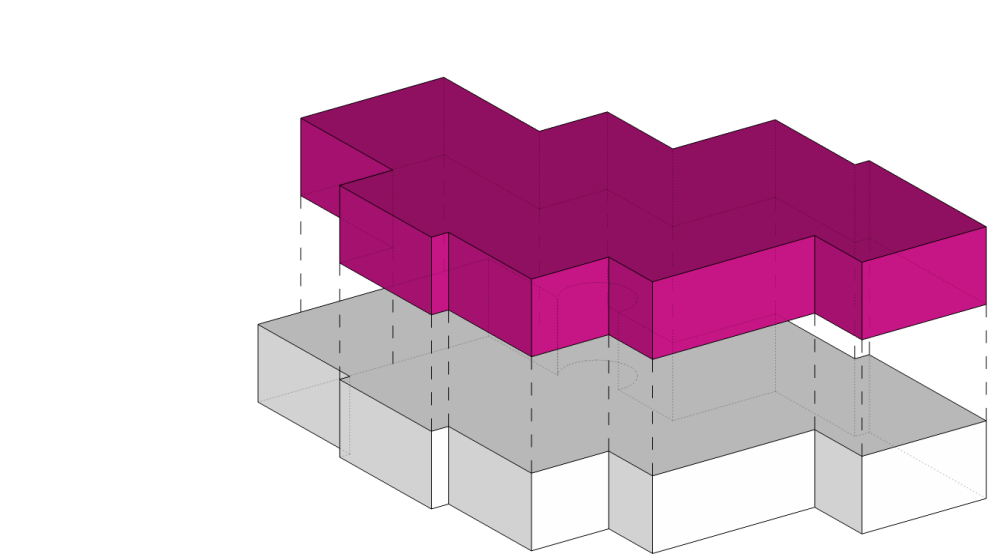


1





Residence ①



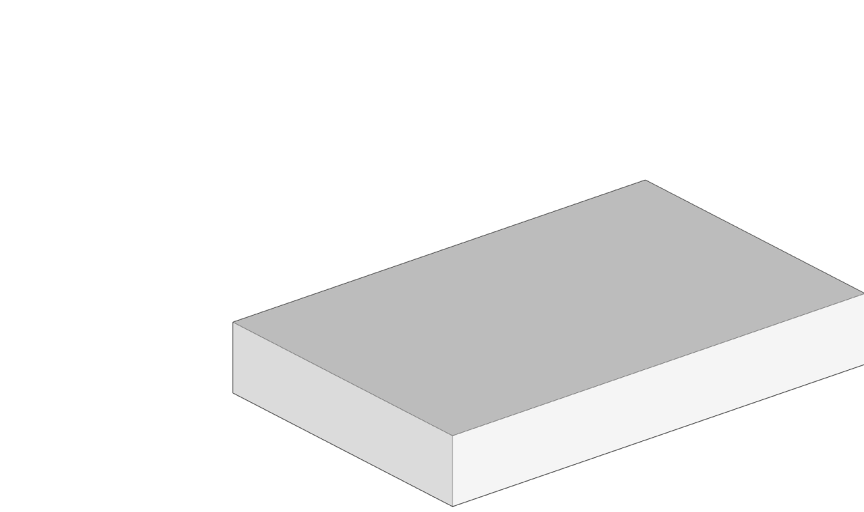
89.5%
Massing Diagram



Aerial View



Residence ②



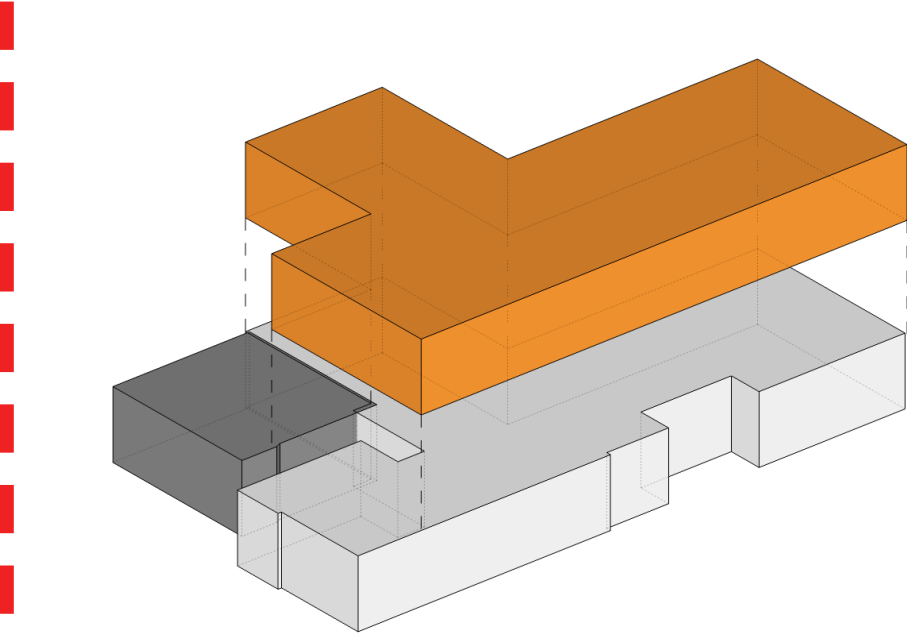
N/A%
Massing Diagram



Aerial View



Proposed Residence



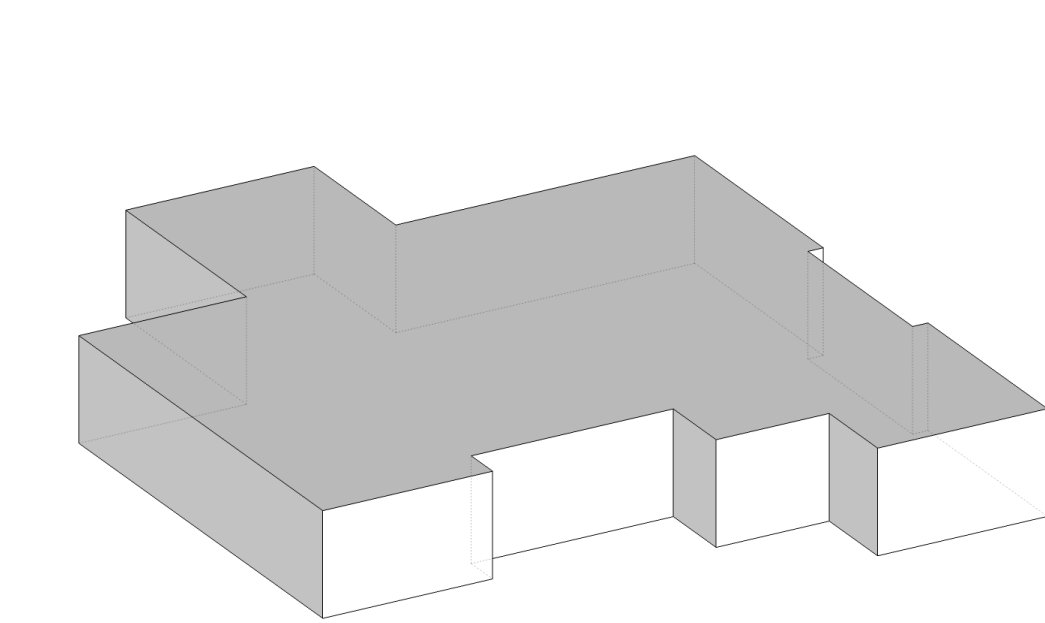
80.6%
Massing Diagram



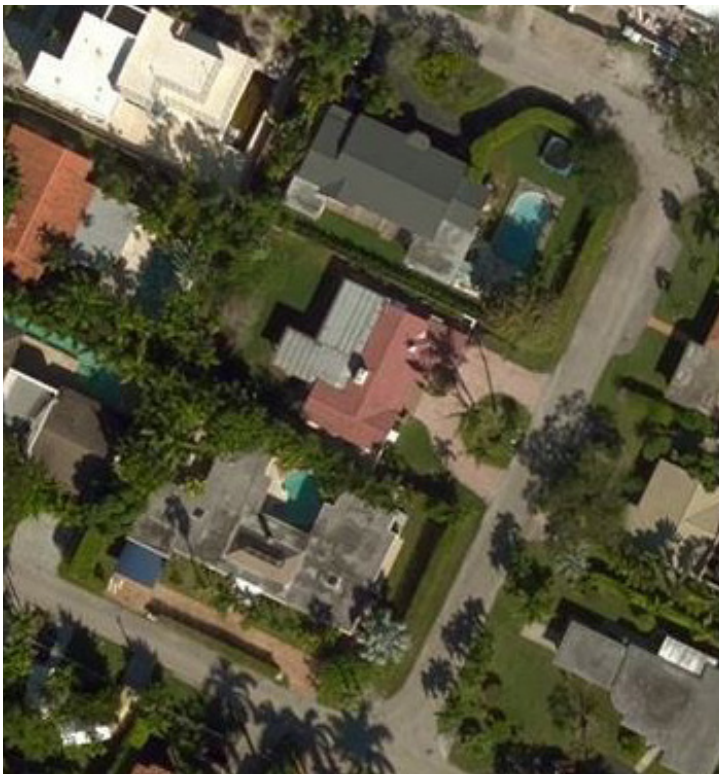
Aerial View



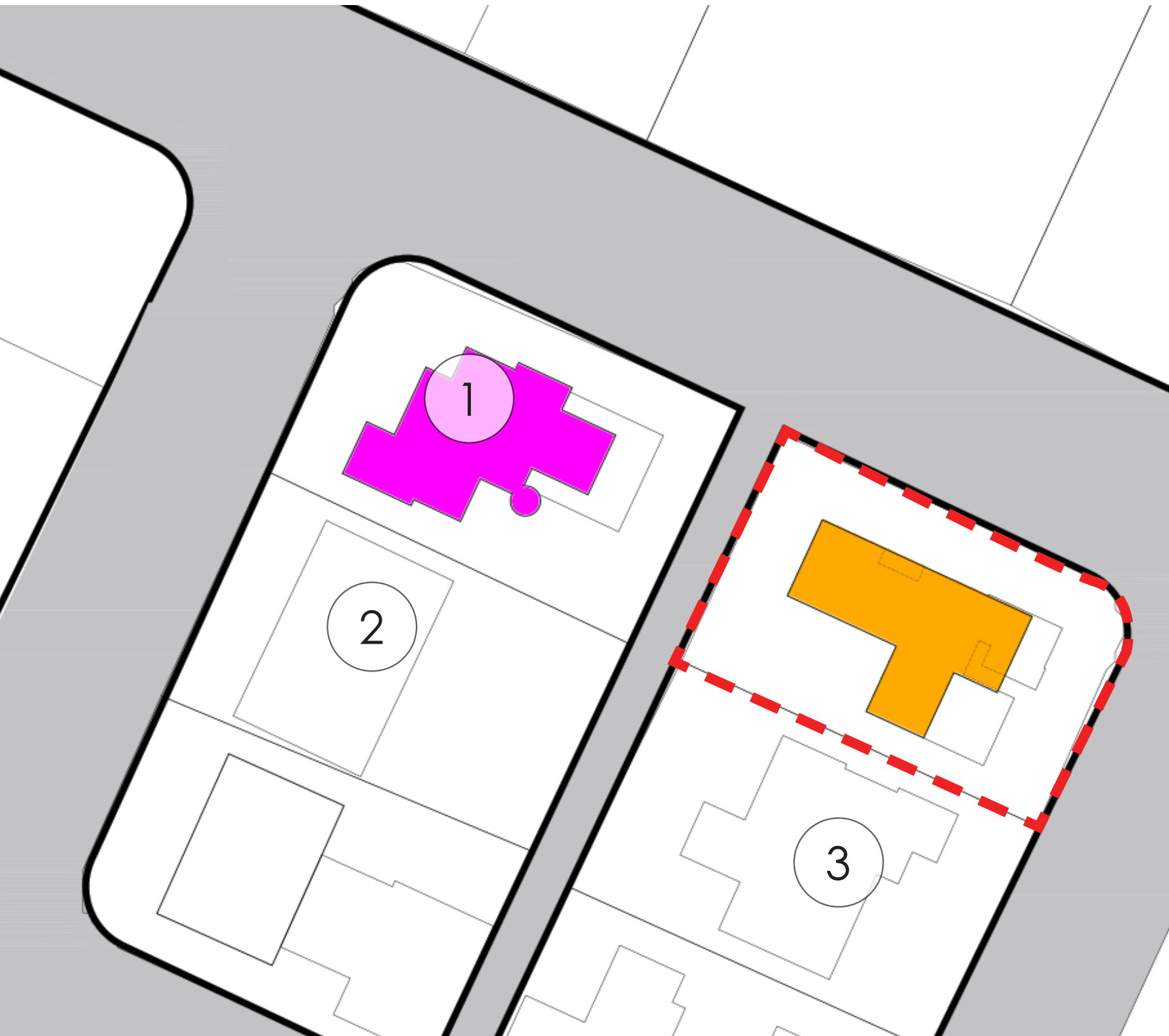
Residence ③



N/A%
Massing Diagram



Aerial View



Location Map