



COPYRIGHT 2016  
LAWRENCE E. POWERS

TYPE OF SURVEY: AS-BUILT  
PREPARED FOR: SOBE USA LLC

CERTIFIED TO:  
A) SOBE USA LLC  
B)  
C)

PROJECT #: 9600CEAN

ORG.FIELD SURVEYED: NOV. 7, 2016  
DATE DRAWN: NOV. 28, 2016  
DATE SIGNED: NOV. 29, 2016

FLOOD ZONE: AE BASE FLOOD ELEV. 8'  
(NAVD 88)  
FEMA FIRM MAP # 12086C0319L  
DATED SEPT 11, 2009  
PANEL # 0319 SUFFIX L  
COMMUNITY #: 120651

MAP OF SURVEY

SUBJECT ADDRESS:  
960 OCEAN DR  
MIAMI BEACH, FL 33139

LEGAL DESCRIPTION SUPPLIED:  
LOTS 1 AND 2 BLOCK 14 OCEAN  
BEACH FLA. ADDITION No. 2 AS  
PER MAP OR PLAT THEREOF AS  
RECORDED IN PLAT BOOK 2 AT  
PAGE 56 OF THE PUBLIC RECORDS  
OF MIAMI-DADE COUNTY FLORIDA.

LAT: 25°46'49.0"N LONG: 80°07'51.4"W  
BEARING BASIS ASSUMED FOR ANGULAR DELINEATION ONLY  
FOLIO #: 02-3234-008-0010  
LOT SIZE: 13000 +/- SQFT  
LAND USE: MIXED USE ENTERTAINMENT 6501 COMMERICAL

GENERAL NOTES:  
ADDITIONS OR DELETIONS TO THIS SURVEY MAP OR REPORT OTHER THAN  
THE SIGNING PARTY IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE  
SIGNING PARTY.

RE-USE OF THIS SURVEY FOR PURPOSES OTHER THAN WHICH IT WAS INTENDED  
WITHOUT WRITTEN CONSENT FROM THE ENTITY IN WHICH IT WAS PREPARED  
FOR, WILL BE AT THE RE-USERS SOLE RISK AND WITHOUT LIABILITY TO  
THE SIGNING SURVEYORS OR ITS FIRM.

NOTHING HEREIN SHALL BE CONSTRUED TO GIVE ANY RIGHTS OR BENEFITS  
TO ANYONE OTHER THAN THOSE WHOM THE SURVEY WAS PREPARED FOR.

THIS MAP CONSIST OF 1 SHEET(S). WHEN MULTIPLE SHEETS COMPRISE THE  
PLAT OR MAP OF SURVEY NO SINGLE SHEET SHALL BE CONSIDERED FULL AND  
COMPLETE WITHOUT THE OTHER/S.

LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THIS SURVEYOR FOR  
EASEMENTS AND/OR RIGHTS OF WAY OF RECORD.

THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES  
NAMED HEREON, THE CERTIFICATION SHOWN HEREON DOES NOT EXTEND TO  
ANY UNNAMED PARTY.

THIS IS AN ABOVE GROUND SURVEY AND LOCATIONS ARE LIMITED TO VISIBLE  
IMPROVEMENTS ONLY. NO IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS  
SHOWN. THERE MAY BE ADDITIONAL ABOVE GROUND AND/OR UNDERGROUND  
UTILITIES / IMPROVEMENTS NOT SHOWN ON THIS SURVEY.

NO ABSTRACT OF TITLE, TITLE COMMITMENT, NOR RESULTS OF TITLE  
SEARCHES WERE FURNISHED TO THIS SURVEYOR. THERE MAY EXIST OTHER  
DOCUMENTS OF RECORD THAT WOULD AFFECT THIS PARCEL.

MEASUREMENTS SHOWN HEREON ARE IN U.S. SURVEY FEET AND DECIMALS  
THEREOF.

THE EXISTING MONUMENTATION AS SHOWN HEREON HAS BEEN HELD TO DEFINE  
THE PLAT AND RECORD BOUNDARY TITLE DESCRIPTIONS. SAID MONUMENTATION  
HAS BEEN DETERMINED TO BE THE BEST ACCEPTABLE EVIDENCE OF THE  
DEEDING INTENT OF THOSE AREAS INVOLVED. SAID EXISTING MONUMENTATION  
MAY OR MAY NOT HARMONIZE WITH STANDARD SECTIONALIZED LANDS LINES,  
OTHER RECORD PLAT BOUNDARIES OR LIMITS AND OTHER FEE TITLE  
DESCRIPTIONS ADJACENT TO THE AREA SHOWN HEREON.

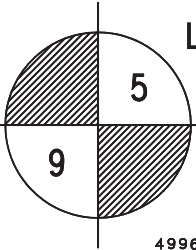
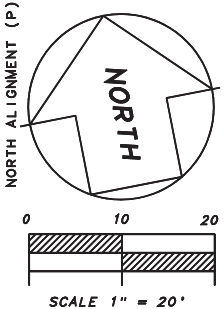
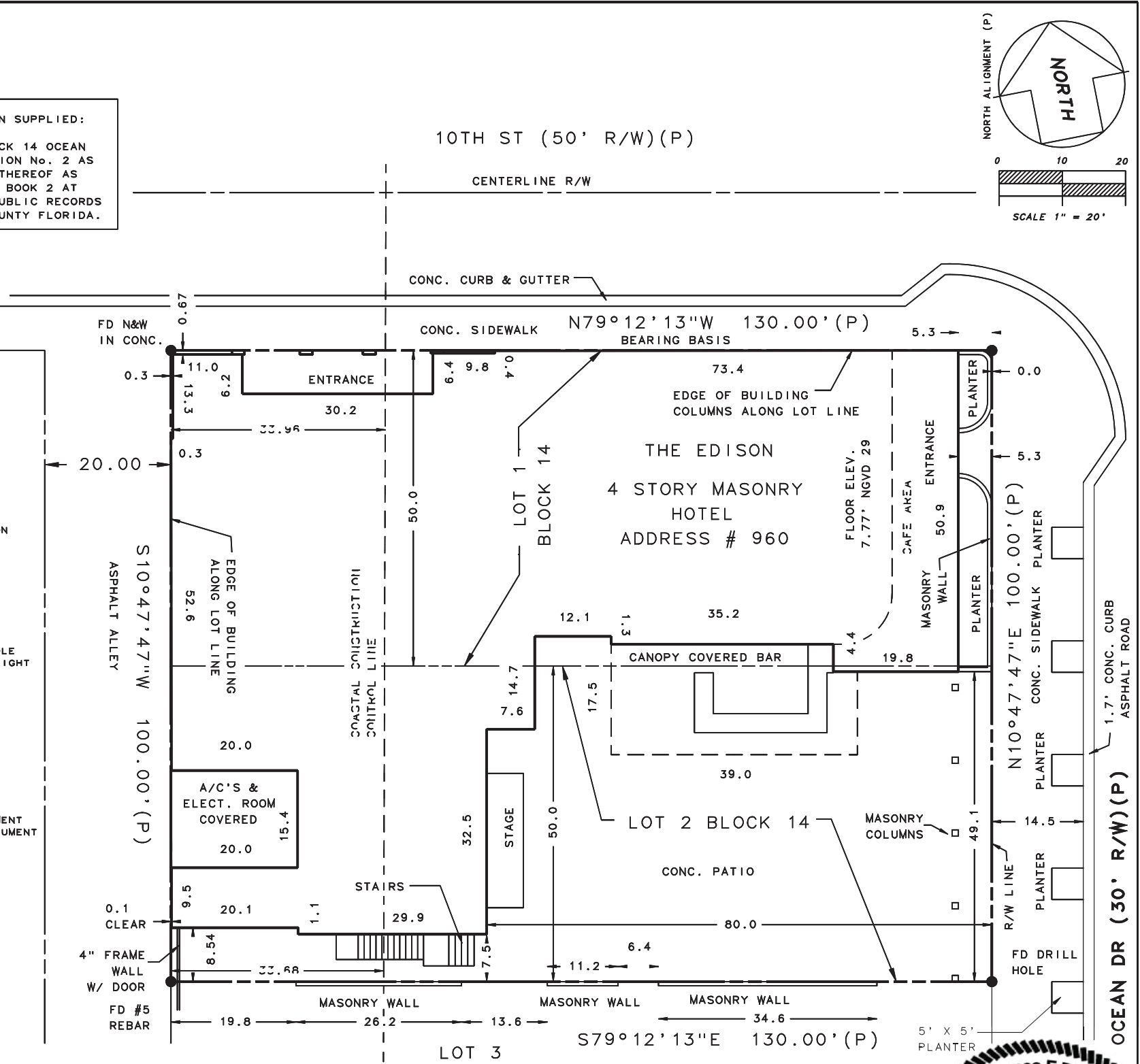
THERE MAY BE ADDITIONAL RESTRICTIONS AND/OR OTHER MATTERS THAT ARE  
NOT SHOWN ON THIS PLAT OF SURVEY THAT MAY BE FOUND IN THE PUBLIC  
RECORDS OF THIS COUNTY.

THE TERM CERTIFIED AS USED ON THIS PLAT, IS UNDERSTOOD TO BE THE  
PROFESSIONAL OPINION OF THIS SURVEYOR WHICH IS FORMULATED ON HIS  
BEST KNOWLEDGE AND INFORMATION, AND AS SUCH, IT DOES NOT CONSTITUTE  
A GUARANTEE OR WARRANTY, EITHER EXPRESSED OR IMPLIED. THE SURVEY  
DEPICTED HERE IS NOT COVERED BY PROFESSIONAL LIABILITY INSURANCE.

LEGEND:

- (FM) FIELD MEASURES
- (D) DEED
- (P) PLAT
- (R/W) RIGHT-OF-WAY
- (NR) NON RADIAL LINE
- (IP) IRON PIPE
- (I/R) IRON ROD
- (CM) CONCRETE MONUMENT
- E- ELECTRIC LINE
- (4.53) DENOTES ELEVATION
- T- TELEPHONE LINE
- X- FENCE
- (FH) FIRE HYDRANT
- ENC ENCROACHMENT
- (WV) WATER VAVLE
- (WM) WATER METER
- (CLF) CHAIN LINK FENCE
- " SECONDS SYMBOL
- (WPP) WOOD POWER POLE
- (CPP) CONCRETE POWER POLE
- FP&L FLORIDA POWER & LIGHT
- ESM'T EASEMENT
- " MINUTE SYMBOL
- " DEGREES SYMBOL
- W WEST
- E EAST
- S SOUTH
- N NORTH
- BLDG BUILDING
- FOUND FOUND
- (FD) SET IRON ROD
- FOUND IRON ROD
- SET CONCRETE MONUMENT
- FOUND CONCRETE MONUMENT
- (PC) POINT OF CURVATURE
- (PT) POINT OF TANGENCY

A 1 INCH IRON PIPE OR  
5/8 INCH REBAR WITH A  
PLASTIC CAP LABELED LS  
5505 IS SET WHERE SET IS  
INDICATED ON THIS PLAT.



LAWRENCE E. POWERS

P. O. BOX 48026  
ST. PETERSBURG, FL 33743-8026  
P: 727-537-9895  
E: SURVEYINGSTPETE@GMAIL.COM  
WWW.SURVEYINGSTPETE.COM  
4996 MIRAMAR DR UNIT 6207 ST PETERSBURG, FL 33708

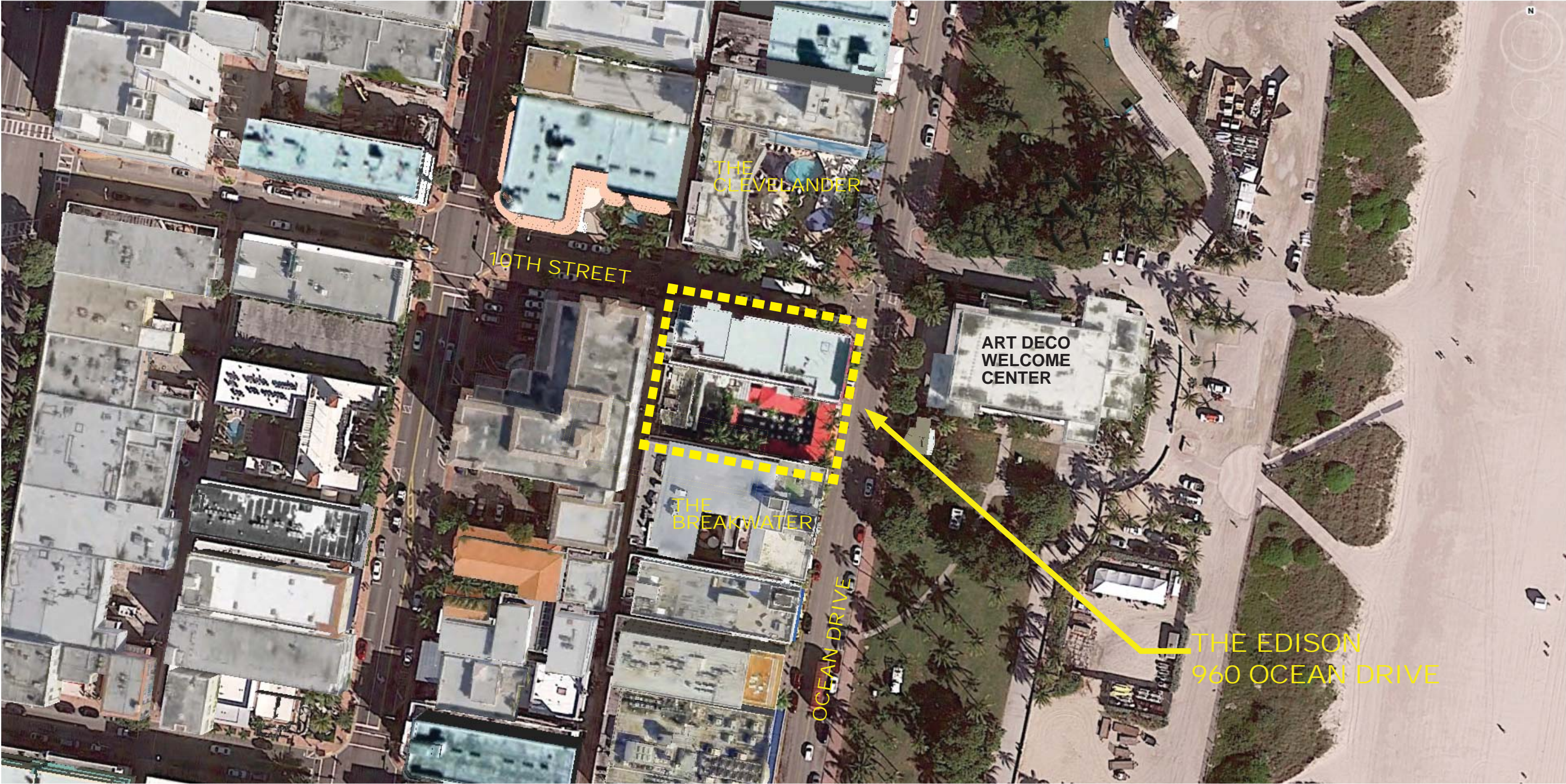
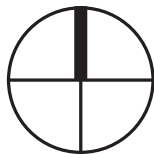
AS-BUILT SURVEY

DATE: NOV. 29, 2016 PROJECT #: 9600CEAN

PREPARED FOR THE SOLE AND EXCLUSIVE  
USE FOR CONOPY PERMIT

I THE UNDERSIGNED HEREBY CERTIFY THAT THIS IS A TRUE REPRESENTATION OF A FIELD SURVEY MADE UNDER MY DIRECTION AND SUPERVISION AND MEETS OR EXCEEDS THE STANDARDS OF PRACTICE FOR RECORD SURVEYS IN THE STATE OF FLORIDA AS PER 5J-17.051, FLORIDA ADMINISTRATIVE CODE. SUBJECT TO ALL NOTES SHOWN HEREON. NOT VALID WITHOUT SIGNATURE OF SURVEYOR  
LAWRENCE E. POWERS LS # 5505  
Professional Surveyor and Mapper  
STATE OF FLORIDA











**ADJACENT SITE - SOUTH SIDE:  
THE BREAKWATER**

**ADJACENT AREA PHOTOGRAPHS**

14

Date of Photo: November 2016  
940 Ocean Dr, Miami Beach, FL 33139







**ADJACENT SITE - NORTH SIDE:  
THE CLEVELANDER**

Date of Photo: (Top) November 2016  
(Right) January 2017  
1020 Ocean Dr, Miami Beach, FL 33139





**STREET ELEVATIONS**

Date of Photo: January 2017  
(Top) Looking East from the Edison  
(Right) Looking South from The Clevelander





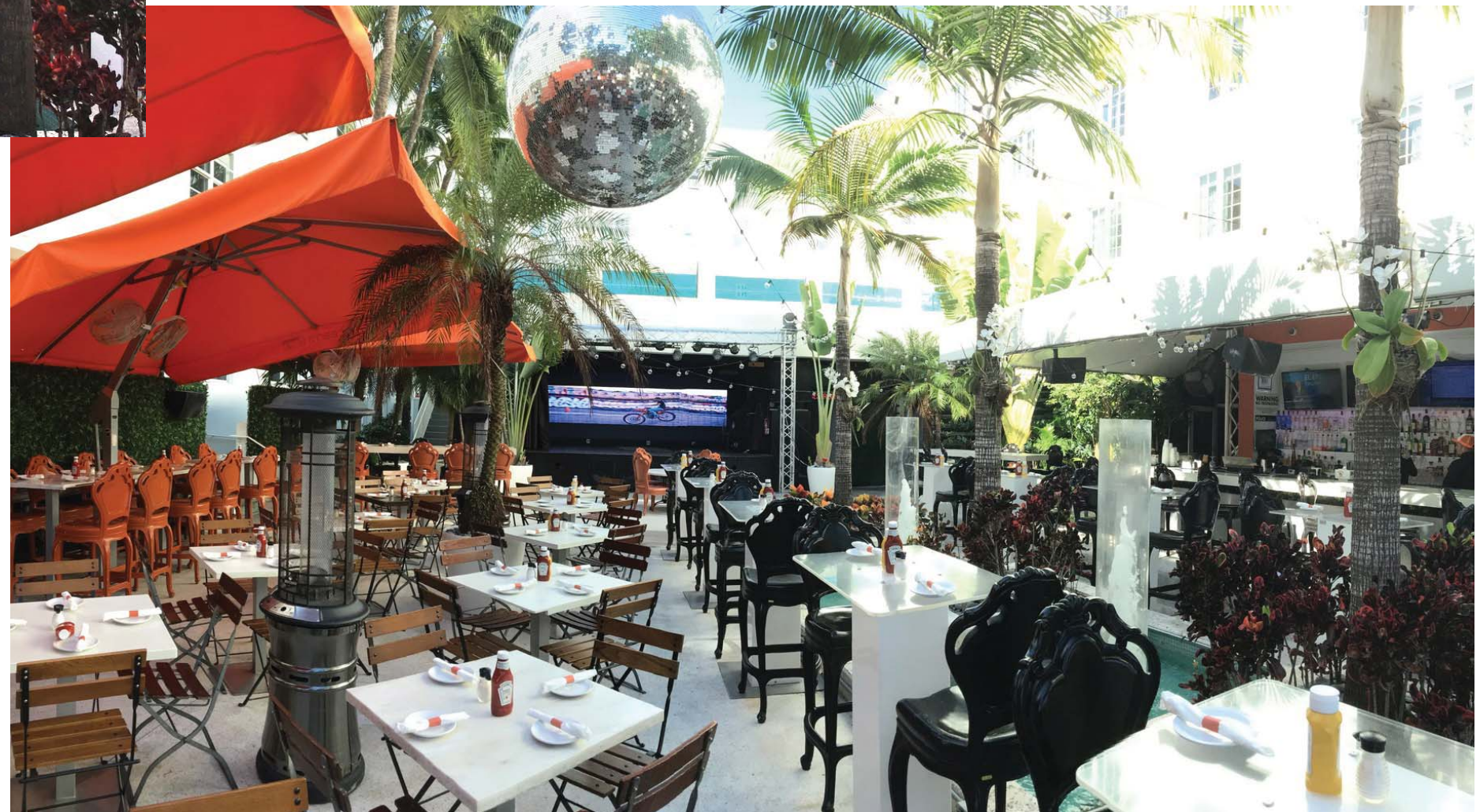
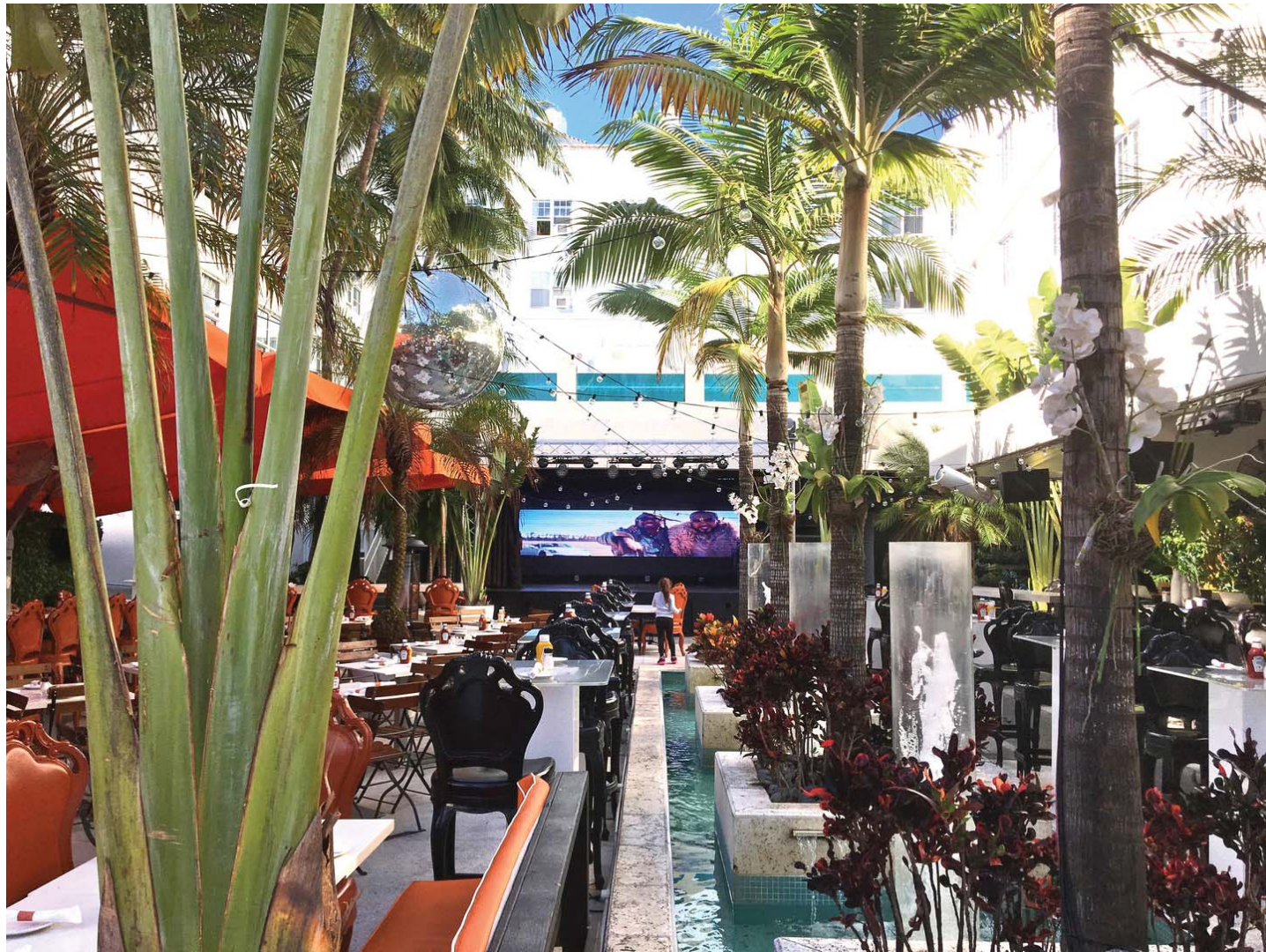
**THE EDISON  
EAST ELEVATION PHOTOS**

Date of Photo: January 2017









**THE EDISON  
COURTYARD - WEST ELEVATION PHOTOS**

Date of Photo: January 2017



Date of Photo: January 2017





Date of Photo: January 2017





Date of Photo: January 2017







**THE EDISON - EXISTING SOUTHEAST CORNER  
AWNING / UMBRELLA CONDITION AT BUILDING**

Date of Photo: January 2017



**THE EDISON - EXISTING NORTHEAST CORNER  
AWNING / UMBRELLA CONDITION AT BUILDING**

Date of Photo: January 2017

**\*\* NOTE: THE NON-STRUCTURAL COLUMNS AND FAUX-GREEN COLUMN CLADDING AT ENTRY, ALONG WITH SIDEWALK HEATERS ARE CURRENTLY BEING REMOVED IN RESPONSE TO CERTIFICATE OF APPROPRIATENESS VIOLATIONS NOTED ON JANUARY 5TH, 2017. THESE PICTURES SHOWN HERE WERE TAKEN BEFORE THE REMOVAL.**

**\*\*NOTE: THE NEW AWNING SYSTEM THAT IS BEING PROPOSED WILL SOLELY REPLACE ALL EXISTING AWNINGS AND UMBRELLAS ON THE EAST ELEVATION, IN ORDER TO REMOVE VISUAL CLUTTER FROM THE SIDEWALK AND BUILDING FACADE.**



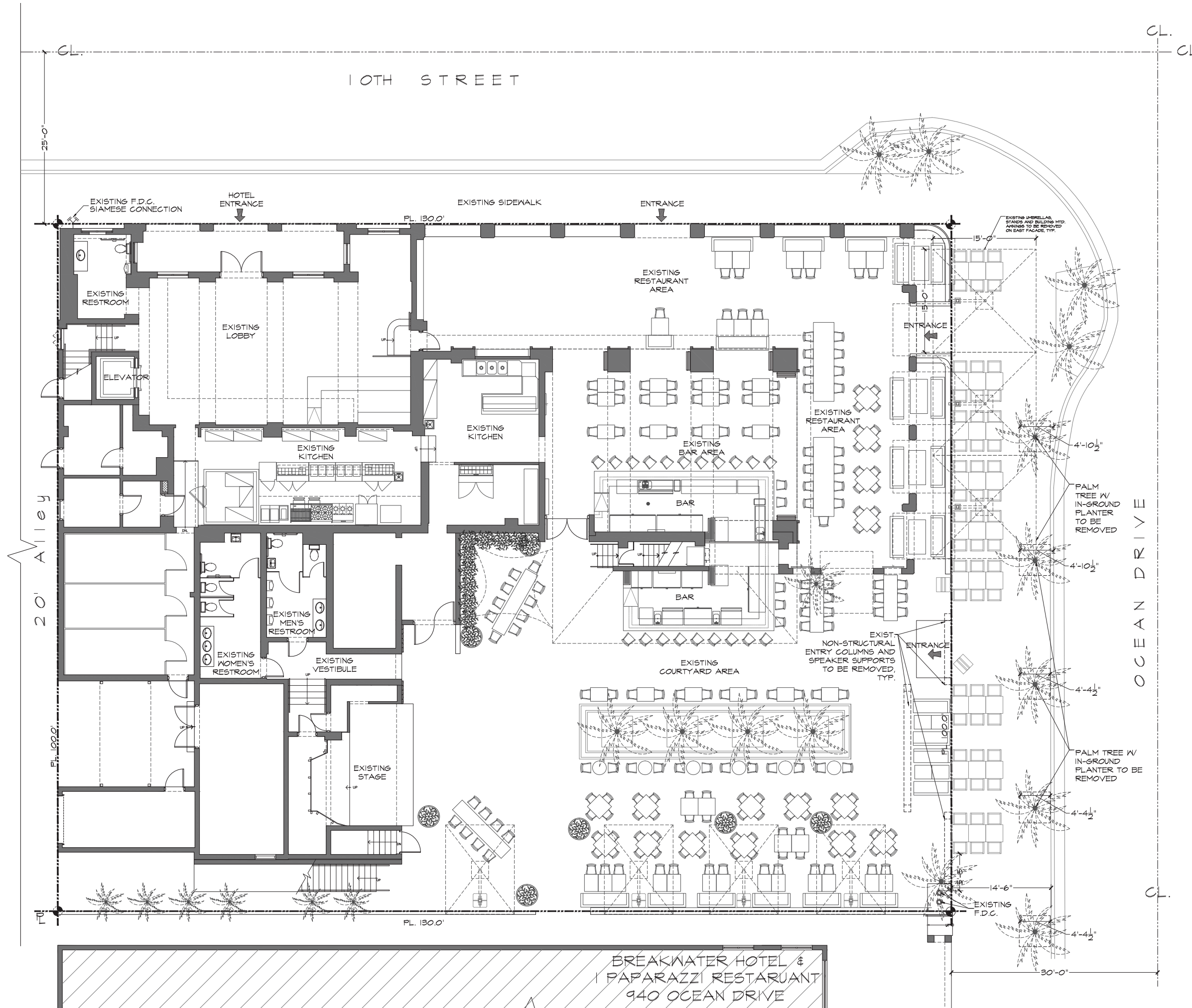


**THE EDISON - EXISTING NORTHEAST CORNER  
CONDITION UNDER EXISTING UMBRELLAS/AWNING**

Date of Photo: January 2017

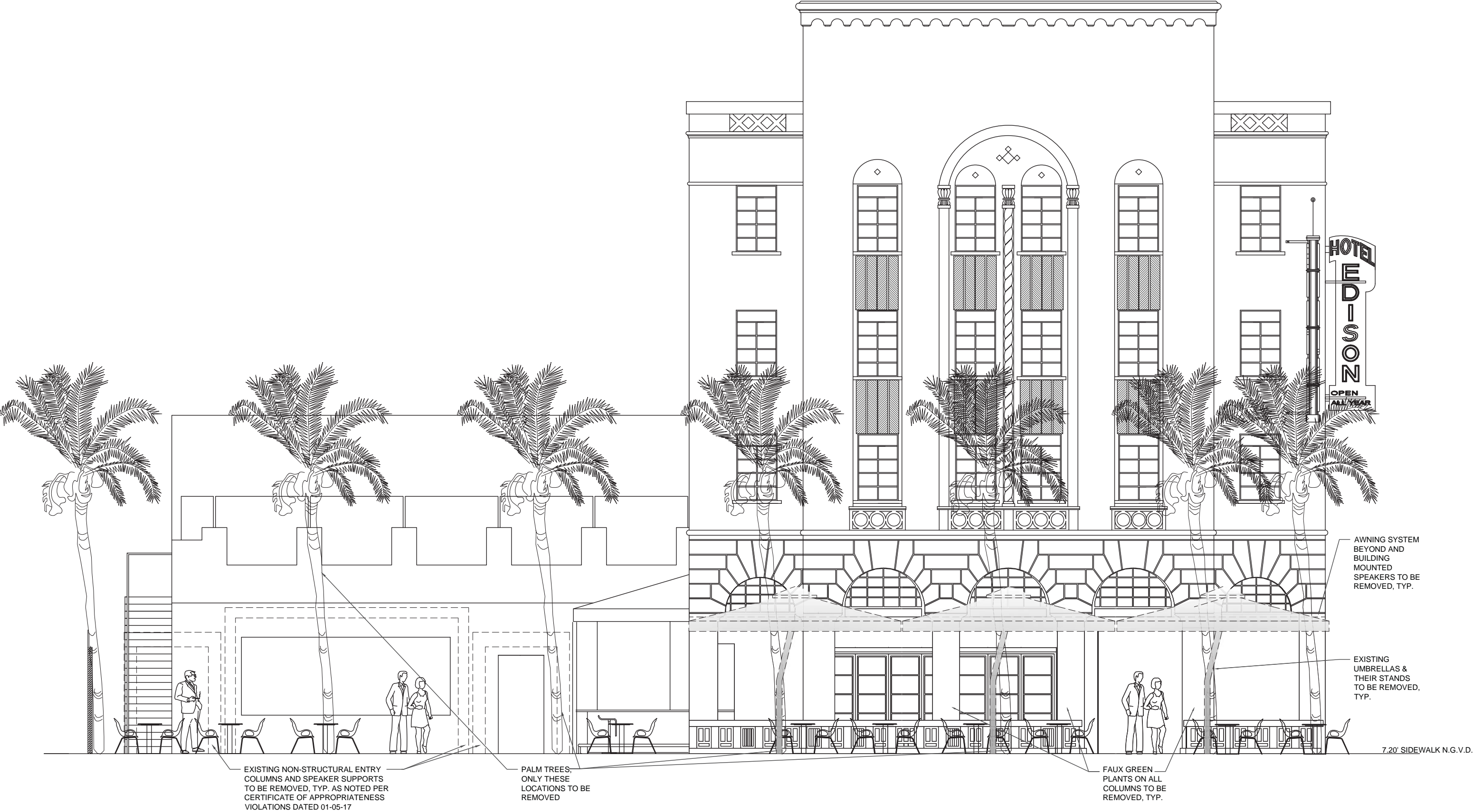
**\*\* NOTE: THE NON-STRUCTURAL COLUMNS AND FAUX-GREEN COLUMN CLADDING AT ENTRY, ALONG WITH SIDEWALK HEATERS ARE CURRENTLY BEING REMOVED IN RESPONSE TO CERTIFICATE OF APPROPRIATENESS VIOLATIONS NOTED ON JANUARY 5TH, 2017. THESE PICTURES SHOWN HERE WERE TAKEN BEFORE THE REMOVAL.**  
**\*\*NOTE: THE NEW AWNING SYSTEM THAT IS BEING PROPOSED WILL SOLELY REPLACE ALL EXISTING AWNINGS AND UMBRELLAS ON THE EAST ELEVATION, IN ORDER TO REMOVE VISUAL CLUTTER FROM THE SIDEWALK AND BUILDING FACADE.**





EXISTING FLOOR PLAN  
SCALE: N.T.S.





EXISTING EAST ELEVATION  
SCALE: N.T.S





EXISTING NORTH ELEVATION  
SCALE: N.T.S.

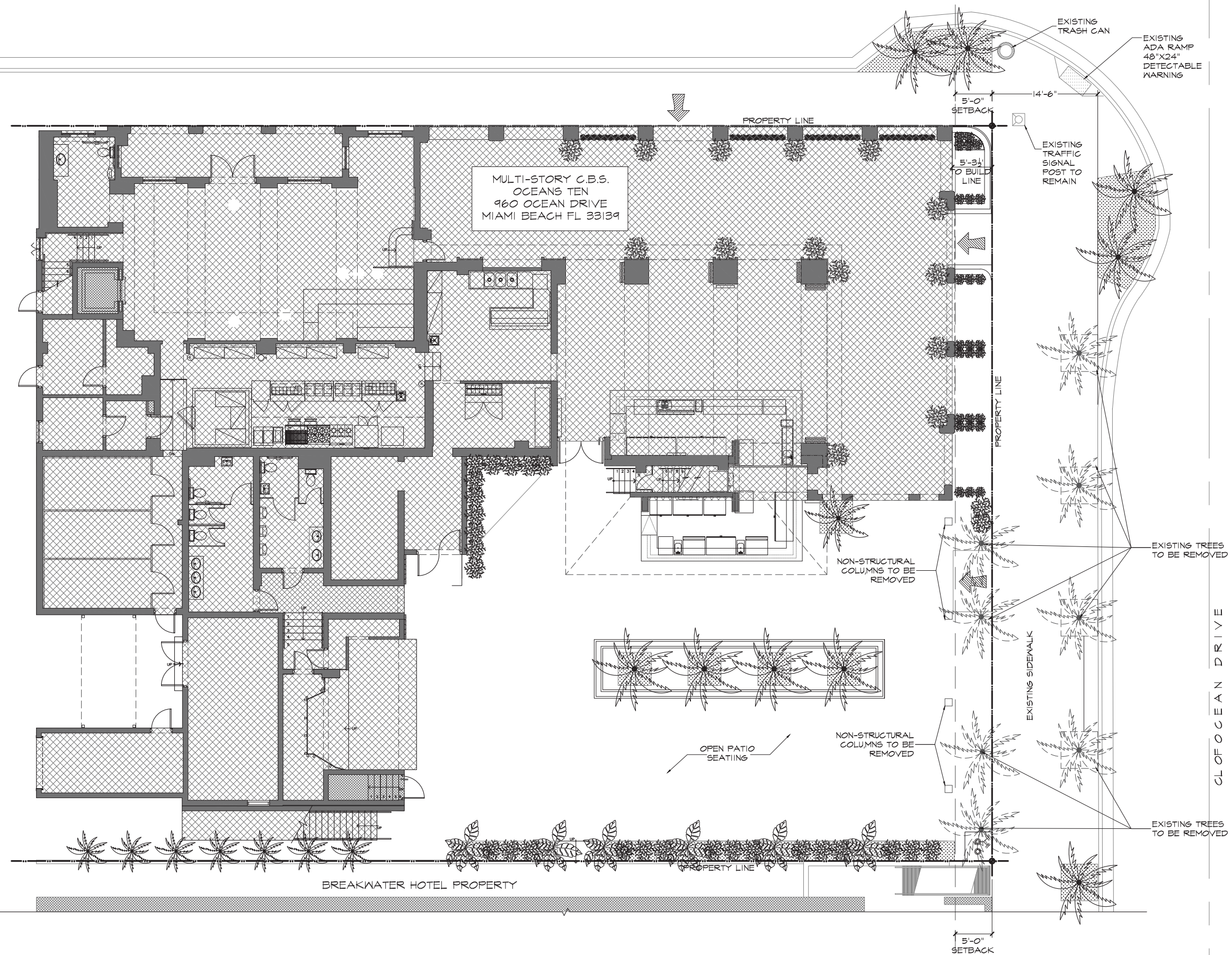




EXISTING SOUTH ELEVATION  
SCALE: N.T.S



CL OF 10TH STREET



EXISTING SITE PLAN  
SCALE: N.T.S