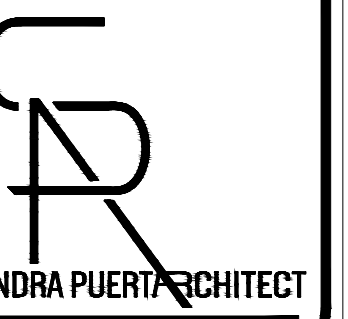


An addition and Interior Remodel For:
1745 LENOX AVE.

MIAMI BEACH, FL 33139



SANDRA PUERTA ARCHITECT

**THE CONSTRUCTION AND
ARCHITECTURE GROUP, INC.**

SANDRA PUERTA FL Lic. #: AA26002780 • AR 95385
6475 Kristen Way, Lake Worth, FL 33467
Phone | 561.246.5498 Fax | 561.561.8263,2645

DATE:
Feb., 2, 23

BLDG. DEPT.
PLAN
REVISIONS:

- ①
- ②
- ③
- ④

An addition and Interior Remodel For:
1745 LENOX AVE.

MIAMI BEACH, FL 33139
Parcel ID: 02-3234-004-0390

Cover and
Project
Information

MANAGED BY: SP
DRAWN BY: JB/CP
REVIEWED BY: SP

SHEET:
CVR

An addition and Interior Remodel For: 1745 LENOX AVE.

MIAMI BEACH, FL 33139

TERMS OF USE & LICENSE AGREEMENT

Building Codes And Zoning Requirements
At the time of creation, these plans were designed to meet the requirements of a nationally recognized model building code in effect where these plans were produced. Because of the great differences in geography and climate throughout the United States each state, county and municipality has its own building codes, zone requirements, ordinances and building regulations. These plans may need to be modified and additional drawings and details may need to be added to comply with your local conditions, requirements, and a wide range of other matters. All of our plans can be adapted to the local building codes and requirements. It is the responsibility of the purchaser and/or builder of each plan to see that the structure is built in strict compliance with the governing municipal codes (city, county, state and federal). In addition to the building plans that you order, you will also need a site plan that shows where the house is going to be located on the lot. There are some areas of the country that have very strict engineering codes. If you are building in this type of area, it is possible that you will need to hire a local engineer to analyze the house and provide additional drawings and calculations that may be required by your building department.

Notice Duty Of Cooperation
Our firm assumes no liability for any home constructed from these plans. Only qualified Designers, Architects, Contractors or Structural Engineers should attempt to modify any portion of these plans. It is the sole responsibility of the purchaser to obtain any and all structural analysis, engineering and specifications that are required where the structure is to be built. Written dimensions on these drawings should have precedence over scaled dimensions; the contractor shall verify and be responsible for all dimensions and conditions on the job.

Architectural And Engineering Seals
Some cities and states are now requiring that a licensed architect or engineer review and "seal" these plans, or officially approve them prior to construction. In addition, you may need to obtain permits or inspections from your local governments before and in the course of construction. Prior to using these plans, we strongly advise that you consult a licensed architect or engineer, as well as consult with your local building official before applying for any permit or before starting any construction related to these plans. We authorize the use of these plans on the express condition that you strictly comply with all local building codes, zoning requirements and other applicable laws, regulations, ordinances and requirements.

License Agreement
By the purchase of our plans, customers are granted a limited license to use the plans for the construction of only one home. It is strictly prohibited to reproduce, sell, modify, trace, redraw or reuse the plans or designs without the written permission from the copyright owner. This limited license also applies to all other reproducible media. All orders, once placed, are final. No refunds or exchanges will be granted.

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It is not permitted to copy any part of our original designs or reproduce them in any way or by any means, unless you have purchased reproducible plans, which clearly indicate your right to copy or duplicate these plans. We do not authorize them to be sold to another person or third party. We only authorize the use of your chosen design as an aid in the construction of one single-family home. You may not use this design or these plans to build a second or multiple dwellings without purchasing another set of plans or paying additional design fees.

Terms And Conditions - Ownership and Use of Documents
The Architect shall have the right to include representations of the Design of Project, including, but not limited to, photographs, plans, drawings, artistic renderings, digital images, and/or videotape, and/or such other similar demonstrative images of the exterior and interior of the subject project, among the Architect's promotional, marketing, advertising, and/or professional materials (collectively, "marketing materials"). The Architect's marketing materials shall not include any image and/or description of the Client's confidential or proprietary information and/or property.

The Architect shall be permitted to post an appropriate job site sign, which sign may include the Architect's name, business address, business telephone number, and/or such other similar business related information, within the boundary of the subject property, beginning with the issuance of the permit through the commencement date of issuance of a certificate of occupancy.

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Our architects have taken substantial care and effort to create these plans. However, because the architects cannot provide on-site consultation, supervision and control over actual construction, and because of the great variances in local building requirements, building practices and soil, seismic, weather and other conditions, we cannot assume any responsibility or liability or make any warranty, express or implied, with respect to the content or use of these plans.

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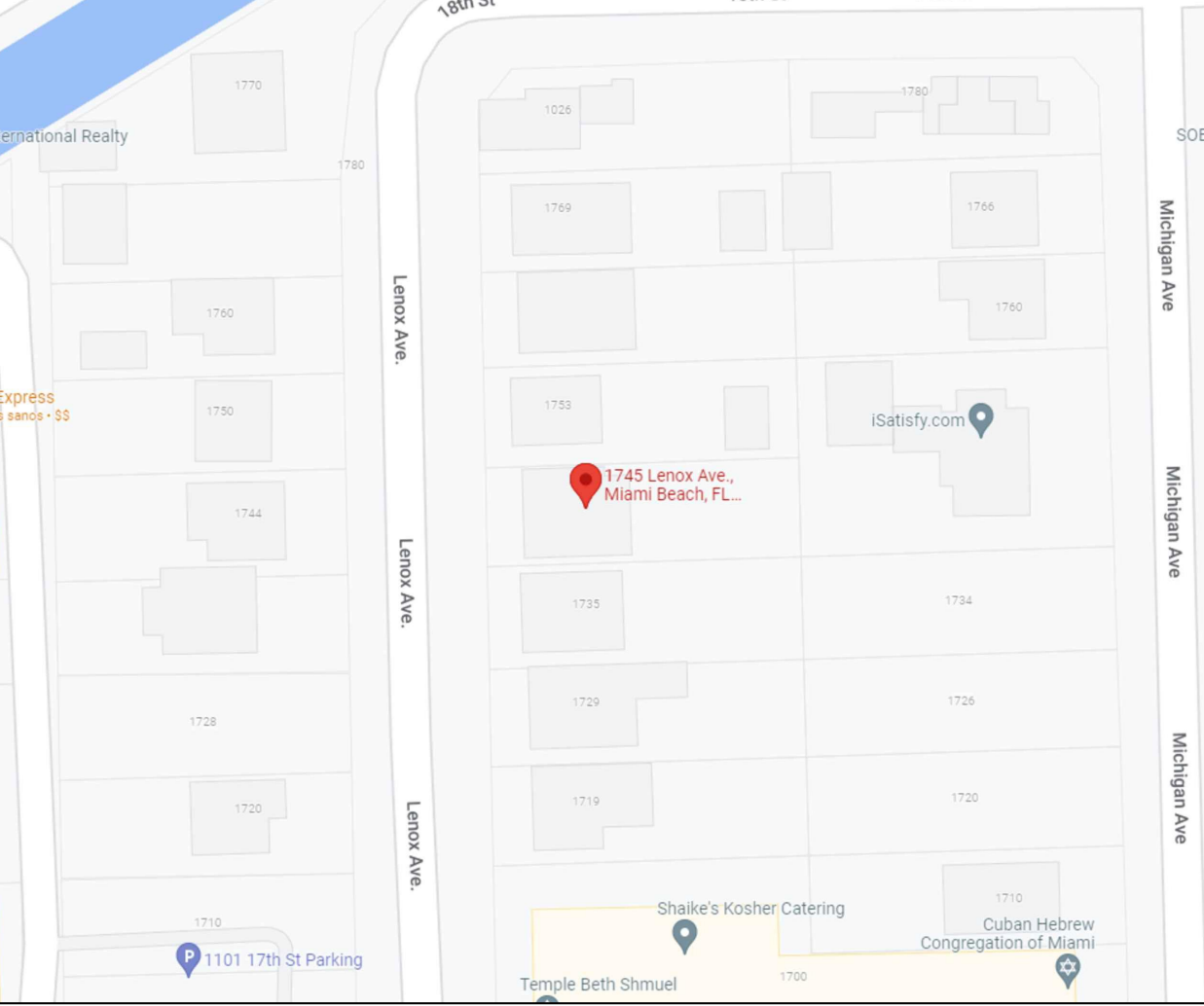
Limitation Of Liability
Under no circumstances shall Sandra Puerta Architecture, P.A., or its affiliates, officers, employees, agents, or licensors be liable to you or anyone else for any damages arising out of use of the services, including, without limitation, liability for consequential, special, incidental, indirect, or similar damages. You also agree that the liability of Sandra Puerta Architecture, P.A., its affiliates, officers, employees, agents and licensors, if any, arising out of any kind of legal claim in any way connected to the service shall not exceed the amount you paid for the service. Because some states do not allow the exclusion or limitation of certain categories of damages, the above limitation may not apply to you. In such states, the liability of Sandra Puerta Architecture, P.A., its affiliates, officers, employees, agents and licensors is limited to the fullest extent permitted by such state law.

Applicable Law
This site is created and controlled by Sandra Puerta Architecture, P.A., in the State of Florida. As such, the laws of the State of Florida will govern these disclaimers, terms and conditions, without giving effect to any principles of conflicts of laws. Sandra Puerta Architecture, P.A. reserves the right to make changes to its site and these disclaimers, terms and conditions at any time. You hereby irrevocably and unconditionally consent to submit to the exclusive jurisdiction of the courts of the State of Florida, and of the United States of America located in Broward County, Florida for any disputes arising out of or relating to use of or purchase made through Sandra Puerta Architecture, P.A., and agree not to commence any litigation relating thereto except in such courts, waive any objection to the laying of venue of any such litigation in the in Broward County, Florida courts and agree not to plead or claim in any court that such litigation brought therein has been brought in an inconvenient forum.

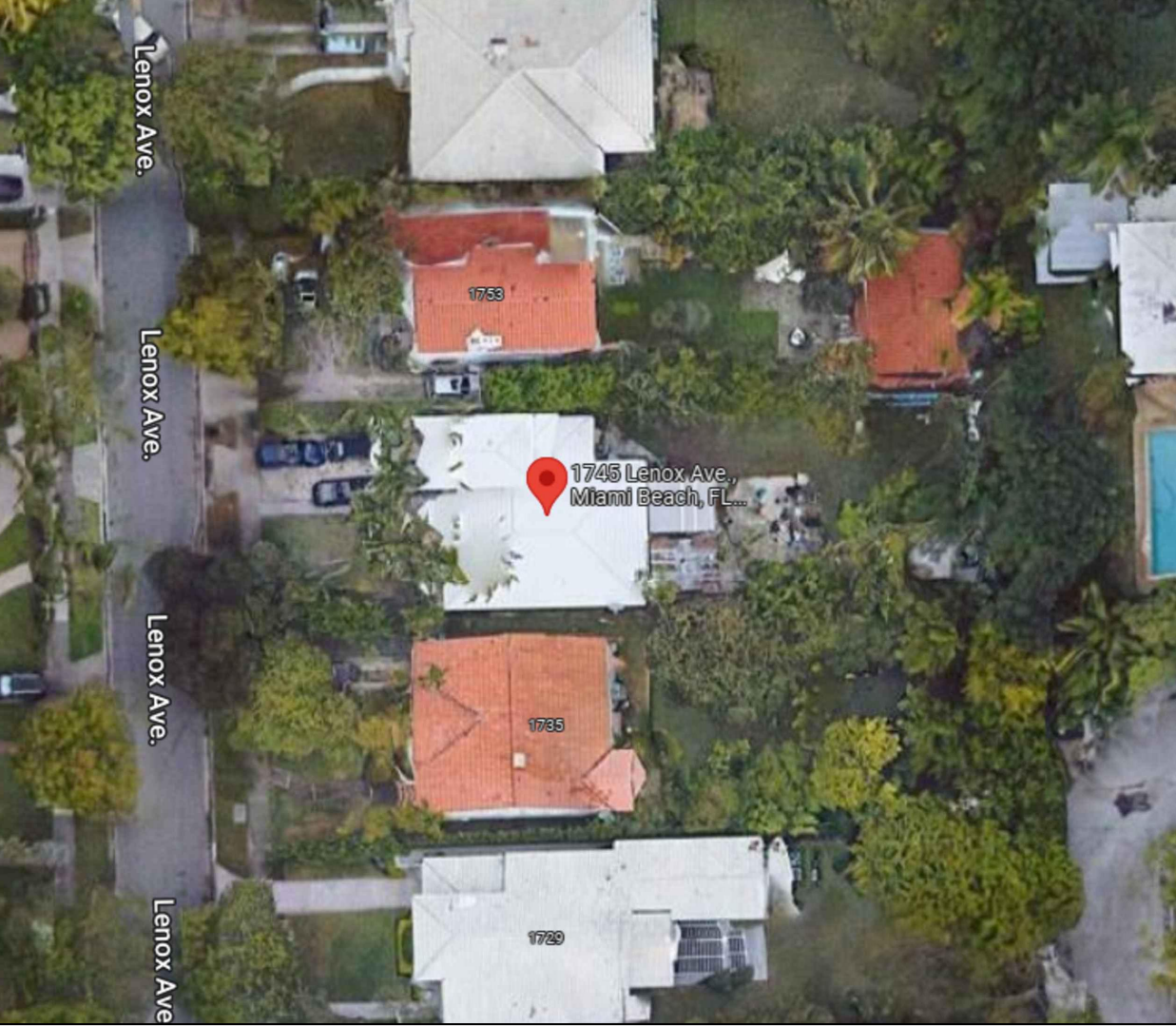
Dispute Resolution
In the unlikely event that any controversy or claim arising out of or relating to this User Agreement or our services shall be settled by binding arbitration in accordance with the commercial arbitration rules of the American Arbitration Association. Any such controversy or claim shall be arbitrated on an individual basis and shall not be consolidated in any arbitration with any claim or controversy of any other party. The arbitration shall be conducted in Broward County, Florida, and judgment on the arbitration award may be entered into any court having jurisdiction thereof. Either you or we may seek any interim or preliminary relief from a court of competent jurisdiction in Broward County, Florida, necessary to protect the rights or property of you or us pending the completion of arbitration.

Miscellaneous
In the event that any provision of the User Agreement conflicts with the law under which the User Agreement is to be construed or if any provision is held invalid by a court with jurisdiction over the parties to the User Agreement, such provision will be restated to reflect as nearly as possible the original intentions of the parties in accordance with applicable law, and the remainder of this User Agreement will remain in full force and effect. If either party fails to insist upon or enforce strict performance by the other party of any provision of the User Agreement, or to exercise any right under the User Agreement, such a failure will not be construed as a waiver or relinquishment to any extent of such party's right to assert or rely upon any such provision or right in that or any other instance. That is, all provisions and rights will remain in full force and effect.

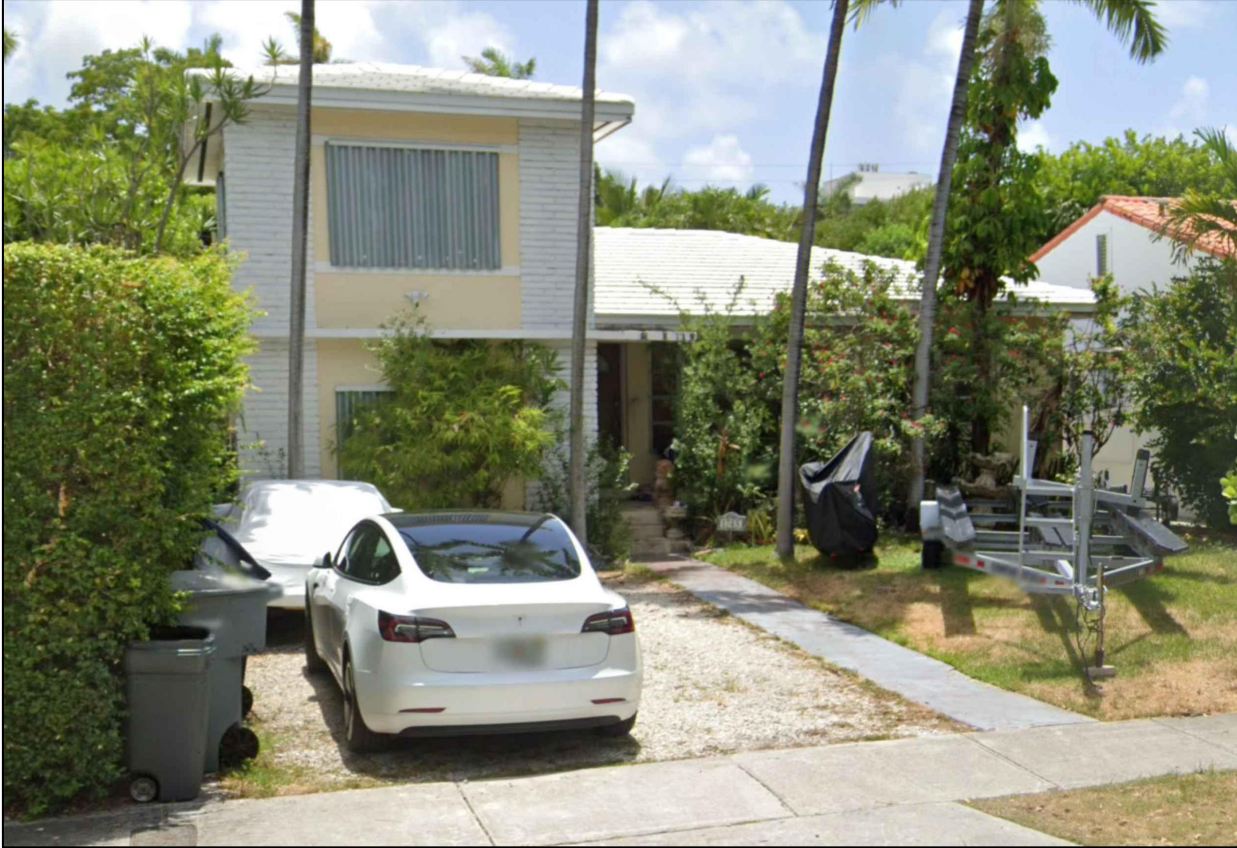
VICINITY MAP



SATELLITE AERIAL



FRONTAGE



SCOPE OF WORK

1. NEW RESIDENTIAL ADDITION.
2. NEW EXTERIOR WALL AS PER PLANS.
3. NEW WINDOWS AND DOORS AS PER PLANS

(F.B.C. 2020 ASCE-7-16 EXP. 'C')

ENCLOSED	175 MPH (3 SEC. GUST)
HEIGHT	19'-9" FEET
IMPORTANCE FACTOR	1.0
q = 36.3 PSF VELOCITY PRESSURE	
BUILDING CLASSIFICATION	VB
OCCUPANCY CLASSIFICATION	RS SINGLE FAMILY
BUILDING CODES	2020F.B.C.
BUILDING CONSTRUCTION TYPE	CBS

DESIGN WIND PRESSURES

WINDOWS & DOORS	POS +42.9 P.S.F.	
	NEG -57.3 P.S.F.	
	WORST CASE ALL OPENINGS	
ROOF	FIELD ZONE	① -42.8 PSF
	3' EDGE ZONE	② -71.9 PSF
	3' x 3' CORNERS	③ -108.2 PSF

AREA CALCULATIONS

Existing Base Area	1,722 s.f.
New resid. addition	857 s.f.
New Outdoor deck	456 s.f.
New Total Square Footage :	3,035 s.f.
New Total Area Under Air :	2,579 s.f.

SHEET INDEX

CVR	COVER SHEET
SP-1	EXISTING SITE PLAN & NOTES
SP-2	PROPOSED SITE PLAN & NOTES

PROPERTY INFORMATION

ALL WORK TO BE PERFORMED IN ACCORDANCE WITH THE F.B.C. 2020, 7TH EDITION WITH ALL AMENDMENTS, THE 2017 N.E.C., THE ZONING ORDINANCES IN THE CITY OF JURISDICTION AND ALL APPLICABLE CODES AND STANDARDS.

LEGAL DESCRIPTION

34 53 42
PALM VIEW SUB PB 6-29
LOT 15 BLK 19
LOT SIZE 50.000 X 160
OR 16194-4261 1293 1

MUNICIPALITY
UNINCORPORATED

FOLIO
02-3234-004-0390

SUBDIVISION

PALM VIEW SUB
LAND USE CODE
0101 RESIDENTIAL - SINGLE FAMILY : 1 UNIT

ZONING CODE
0100 SINGLE FAMILY - GENERAL

LOCATION ADDRESS
1745 LENOX AVE

CLASSIFICATION OF WORK
ADDITION AND INTERIOR REMODEL

PROJECT TEAM

OWNER

DAVID M ROTH
ISABEL ROTH
1745 LENOX AVE
MIAMI BEACH, FL 33139

BUILDING DEPARTMENT

MIAMI BEACH
BUILDING DEPARTMENT
1700 Convention Center Drive,
Miami Beach, FL 33139
Voice | 305.673.7610

ARCHITECT

SANDRA PUERTA, AR 95385
2224 S JOG RD
Greenacres, fl 33315
Voice | 561.712.8898
Fax | 561.712.8895
Email | sandra@thearchitecturegroup.com

ZONING DEPARTMENT

MIAMI BEACH
ZONING DEPARTMENT
1700 Convention Center Drive,
Miami Beach, FL 33139
Voice | 305.673.7610

SP-3	SETBACKS
SP-4	FAR SHADED DIAGRAM
D-1	DEMOLITION PLAN & NOTES
A-1	CONSTRUCTION PLANS & NOTES
A-2	ELEVATIONS & NOTES
A-2.1	ELEVATIONS EXISTING
A-2.2	ELEVATIONS PROPOSED
A-2.3	ELEVATIONS PROPOSED
A-2.4	ELEVATIONS PROPOSED
A-2.5	ELEVATIONS PROPOSED
A-2.6	CONCEPTUAL ELEVATIONS
A-2.7	RENDERS
A-2.8	NEIGHBORS

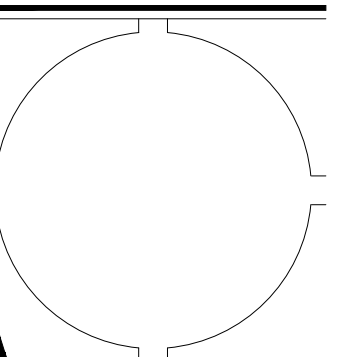
CONTRACTOR TO VERIFY ANY CONDITION AND NOTIFY ALL RESPONSIBLE PARTIES IF THERE ARE ANY DISCREPANCIES. THE ARCHITECT ASSUMES NO RESPONSIBILITY.

ALL WORK TO BE PERFORMED IN ACCORDANCE WITH THE F.B.C. 2020 7TH EDITION WITH ALL AMENDMENTS, THE N.E.C. 2017, THE ZONING ORDINANCES IN THE CITY OF JURISDICTION AND ALL APPLICABLE CODES AND STANDARDS.



THE CONSTRUCTION AND ARCHITECTURE GROUP, INC.

SANDRA PUERTA FL Lic. # - AA26002780 - AR 95385
6476 Kristen Way, Lake Worth, FL 33467
Phone | 561.246.5498 Fax | 561.561.8263.2645



DATE:
Feb., 2, 23

BLDG. DEPT.
PLAN REVISIONS:

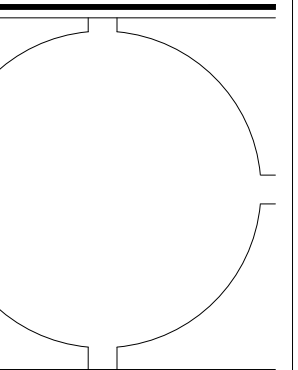
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- 2
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- 4

An addition and Interior Remodel For:
1745 LENOX AVE.
MIAMI BEACH, FL 33139
Parcel ID: 02-3234-004-0390

Cover and Project Information

MANAGED BY: SP
DRAWN BY: JB/GP
REVIEWED BY: SP

SHEET:
CVR



DATE: Feb., 2, 23

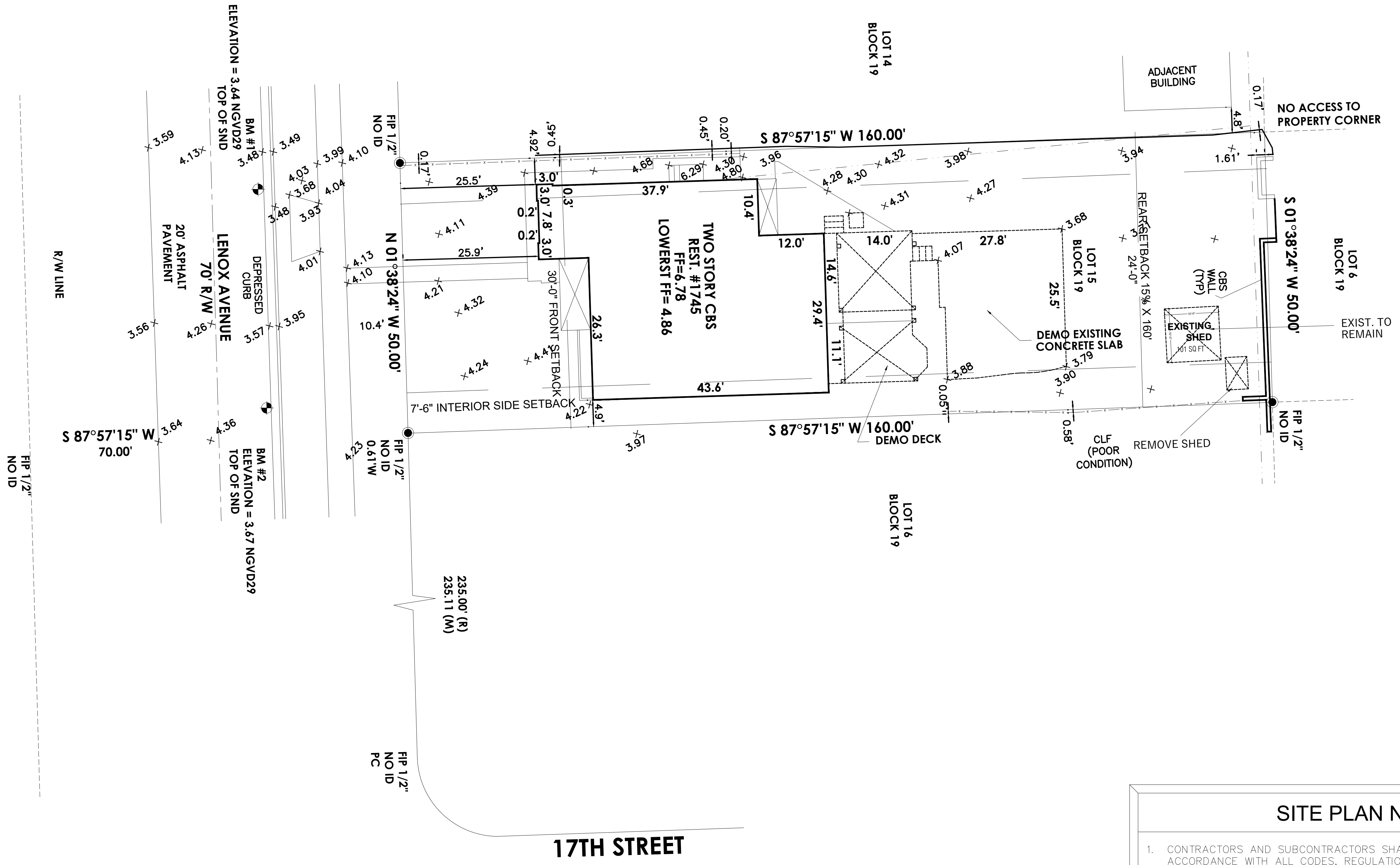
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- 2
- 3
- 4

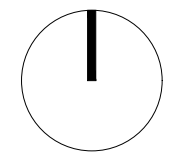
An addition and Interior Remodel For:
1745 LENOX AVE.
 MIAMI BEACH, FL 33139
 Parcel ID: 02-3234-004-0390

Site Plan and Notes
 MANAGED BY: SP
 DRAWN BY: JB/GP
 REVIEWED BY: SP

SHEET:
SP-1



EXISTING SITE PLAN
 SCALE: 3/32" = 1'-0"



SETBACK

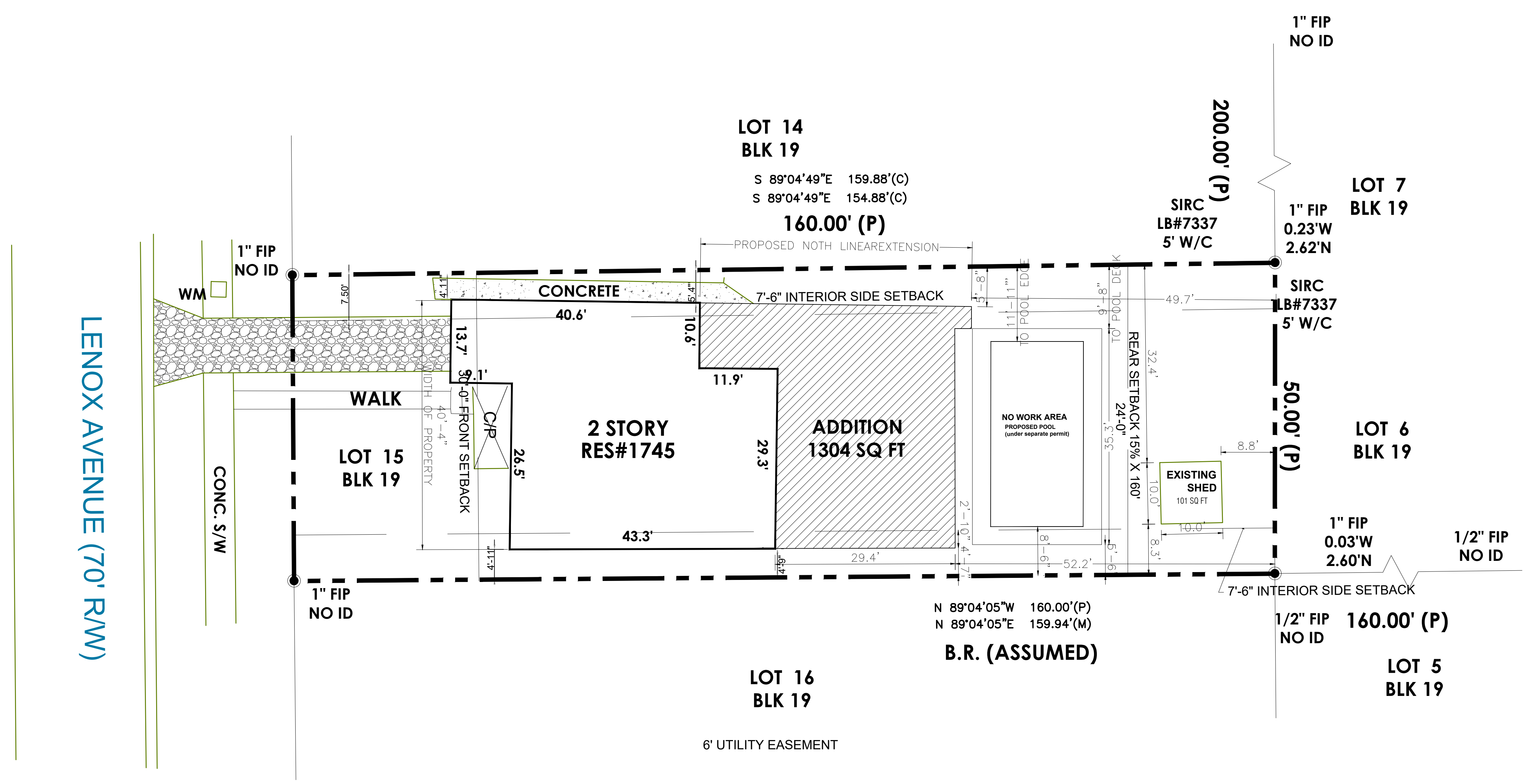
- 30'-0" FRONT SETBACK
- 7'-6" INTERIOR SIDE SETBACK EAST
- REAR SETBACK 15% X 160' 24'-0"
- 7'-6" INTERIOR SIDE SETBACK WEST

- SITE PLAN NOTES**
1. CONTRACTORS AND SUBCONTRACTORS SHALL PERFORM ALL CONSTRUCTION IN ACCORDANCE WITH ALL CODES, REGULATIONS HAVING JURISDICTION AND RESTRICTIONS AND SHALL BE RESPONSIBLE FOR THE SAME.
 2. ALL DIMENSIONS SHALL BE VERIFIED PRIOR TO ANY CONSTRUCTION BY THE CONTRACTOR AND/OR SUB-CONTRACTOR. CONTRACTOR AND/OR SUBCONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.
 3. SURVEYORS SHALL VERIFY ALL SITE DIMENSIONS PRIOR TO THE CONSTRUCTION AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCY TO THE CONSTRUCTION DOCUMENTS
 4. CONTRACTOR TO VERIFY ALL SETBACKS, EASEMENTS, R.O.W. SIZE AND LOCATIONS AND BE RESPONSIBLE FOR THE SAME
 5. THE DRAINAGE SWALE WILL BE A MINIMUM OF 2 INCHES LOWER THAN THE EDGE OF THE STREET IN THE DRIVEWAY AND A MINIMUM OF 6 INCHES LOWER IN THE GRASS.
 6. OWNER SHALL SUBMIT A FINAL SURVEY TO CITY ENGINEER OFFICE PRIOR TO THE FINAL INSPECTION. SURVEY MUST INCLUDE SUFFICIENT TOPOGRAPHY TO VERIFY CONFORMANCE TO THE DESIGN, APPROXIMATE LOCATIONS OF THE SEPTIC TANK, DRAINFIELD, WELLS AND SERVICE LINES TO THE BUILDING.
 7. PLEASE SEE CIVIL PLANS FOR GRADES AND DIMENSIONS
 8. FINISH FLOOR ELEVATION SHALL NOT BE LESS THAN 18" ABOVE THE CROWN OF THE ROAD
 9. MAXIMUM SLOPE SHALL NOT EXCEED 4(H):1(V)

AREA CALCULATIONS	
BAS Base Area	1,722 s.f.
Rear Shed	100 s.f.
New resid. addition covered patio	857 s.f. 456 s.f.
Total Square Footage :	3,135 s.f.
Total Area Under Air :	2,579 s.f.

ZONING & COVERAGE PERCENTAGES: PROVIDED REQUIRED	
NET LAND AREA :	8000.00 SQ. FT.
EXIST. HOUSE:	1722 SQ. FT.
NEW ADDITION:	857 SQ. FT.
REAR SHED:	100 SQ. FT.
COVERED PATIO:	456 SQ. FT.
	3,135 SQ. FT.
	TOTAL IMPERVIOUS AREA
TOTAL PERVIOUS AREA (GREEN AREA):	8000.00 SQ. FT.-3,135 SQ. FT.=4,865.00
EXISTING LOT COVERAGE:	22.8%
PROPOSED LOT COVERAGE:	36.4%
TOTAL PERVIOUS AREA %:	$\frac{4,865.00 \text{ SQ. FT. (TOT. PERVIOUS AREA)}}{8000.00 \text{ SQ. FT. (NET LAND AREA)}} \times 100 = 60.8\%$
TOTAL IMPERVIOUS AREA %:	$\frac{3,135 \text{ SQ. FT. (TOT. IMPERVIOUS AREA)}}{8000.00 \text{ SQ. FT. (NET LAND AREA)}} \times 100 = 39.1\%$

- ### SITE PLAN NOTES
- CONTRACTORS AND SUBCONTRACTORS SHALL PERFORM ALL CONSTRUCTION IN ACCORDANCE WITH ALL CODES, REGULATIONS HAVING JURISDICTION AND RESTRICTIONS AND SHALL BE RESPONSIBLE FOR THE SAME.
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 - MAXIMUM SLOPE SHALL NOT EXCEED 4(H):1(V)



PROPOSED SITE PLAN
SCALE: 3/32" = 1'-0"

EXISTING SET BACKS

FRONT: 30'-0" FT
 REAR: 24'-0" FT
 SIDES: 7'-6" FT

PROPOSED VARIANCE ON LINEAR EXTENSION

***IN ACCORDANCE WITH SECTION 142-106 (a)(2)e.3.**
 PROPOSED 21'-7" LINEAR EXTENSION ON NORTH SIDE OF BOUNDARY SITE

VARIANCE FOR SETBACK INTERFERENCE

***IN ACCORDANCE WITH SECTION 142-106 (a)(2)c.2.**

NW CORNER: N/A

NE CORNER: N/A

SW CORNER: EXISTING SETBACK OF LESS THAN 5'-0". VARIANCE IS REQUESTED FOR ORIGINAL CONSTRUCTION SINCE IT IS NOT PARALLEL TO PROPERTY LINE. THE SW CORNER CURRENTLY EXTENDS 4'-11" FROM SOUTH PROPERTY LINE

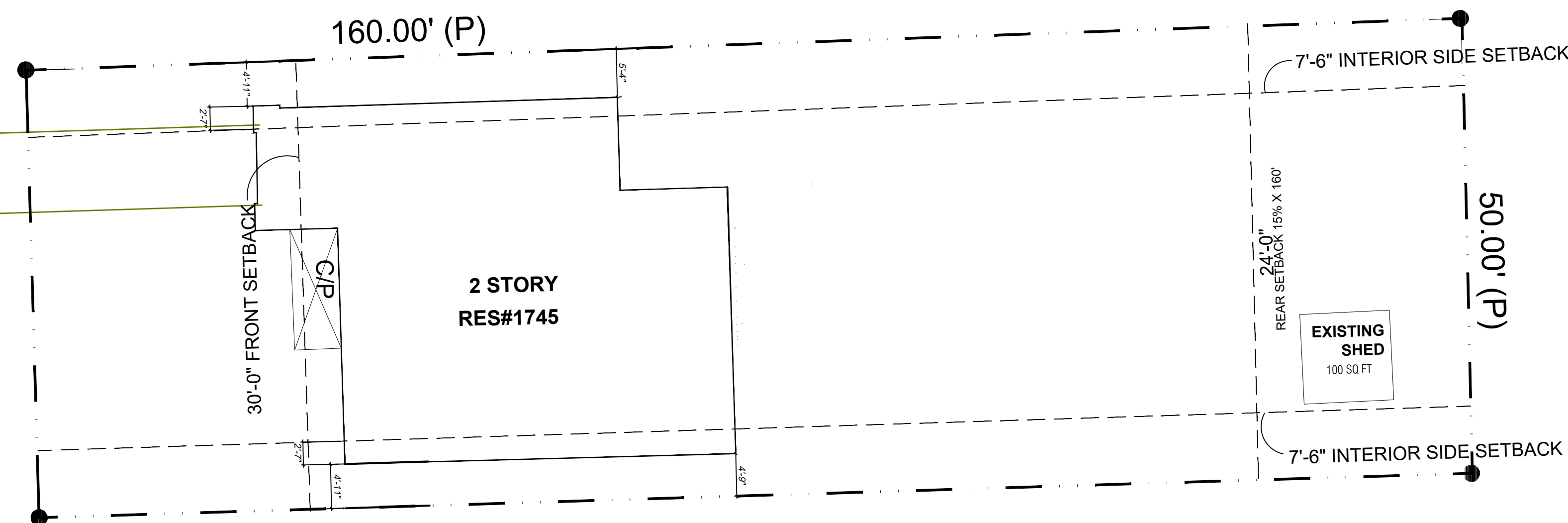
SE CORNER: EXISTING SETBACK OF LESS THAN 5'-0". A VARIANCE IS REQUESTED FOR PROPOSED EXTENSION SINCE THE ADDITION EXTENDS 4'-7" FROM PROPERTY LINE

REQUEST FOR VARIANCE

LENOX AVENUE (70' R/W)

LENOX AVENUE (70' R/W)

ADJACENT PROPERTY

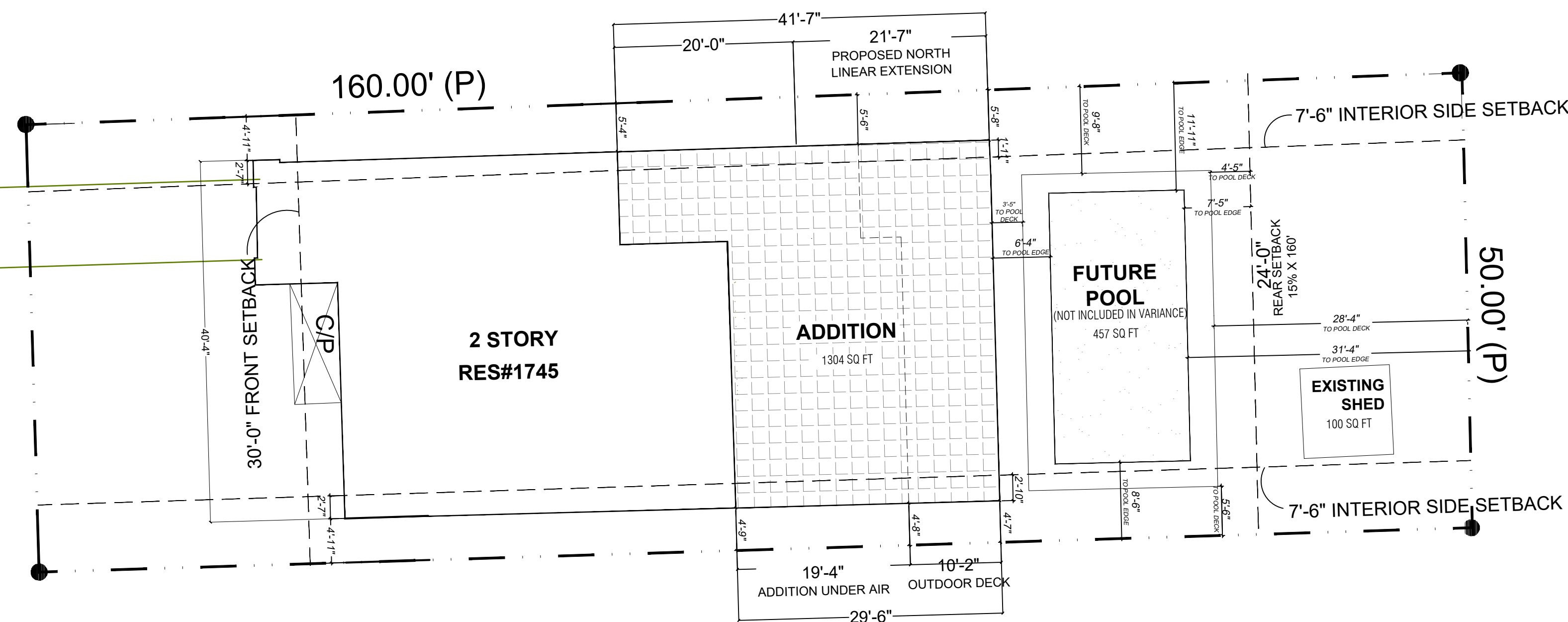


ADJACENT PROPERTY

EXISTING SETBACKS

SCALE: 3/32"

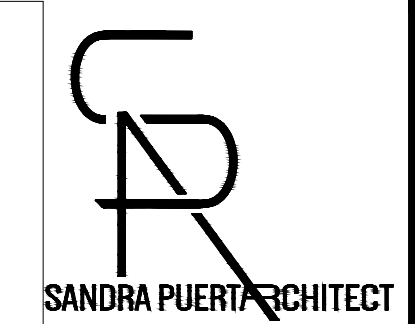
ADJACENT PROPERTY



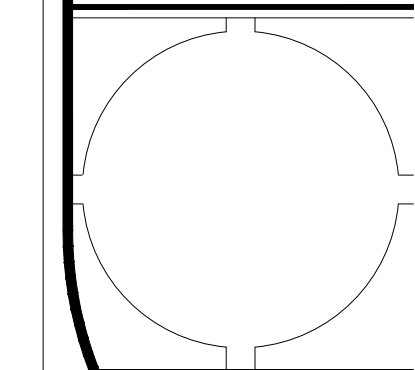
ADJACENT PROPERTY

PROPOSED ADDITION IN RELATION TO SETBACKS

SCALE: 3/32"



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 6476 Kristen Way, Lake Worth, FL 33467
 Phone | 561.246.5498 Fax | 561.561.8263.2645



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BLDG. DEPT. PLAN REVISIONS:

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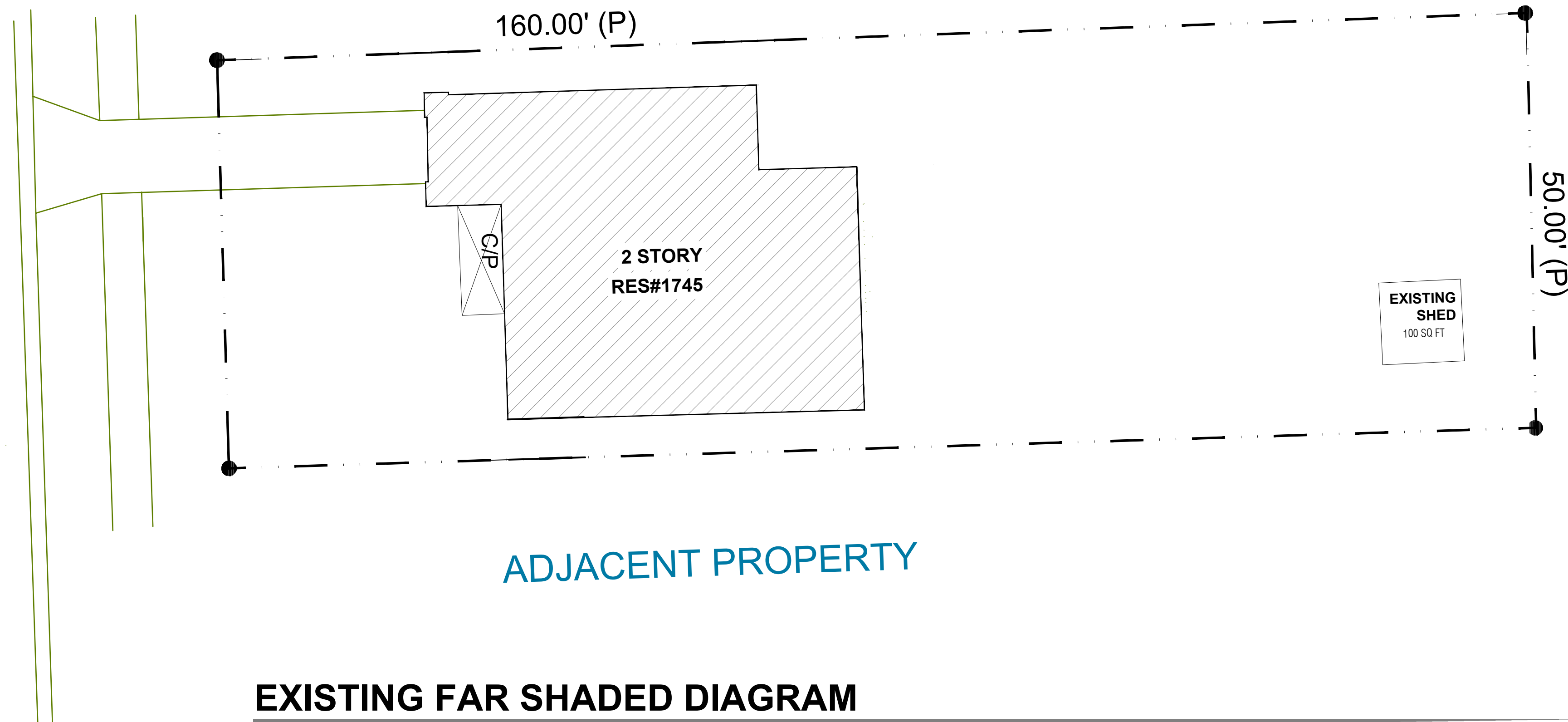
FAR SHADED DIAGRAM
 MANAGED BY: SP
 DRAWN BY: JB/GP
 REVIEWED BY: SP

SHEET:
SP-3

EXISTING LOT COVERAGE DIAGRAM

ZONING DISTRICTS:	RS4 SINGLE FAMILY RESIDENTIAL
LOT SIZE :	8,000 SQ FT
EXISTING PROPERTY:	1722 SQ FT
EXISTING REAR SHED:	100 SQ FT
EXISTING LOT COVERAGE:	22.8%

LENOX AVENUE (70' R/W)



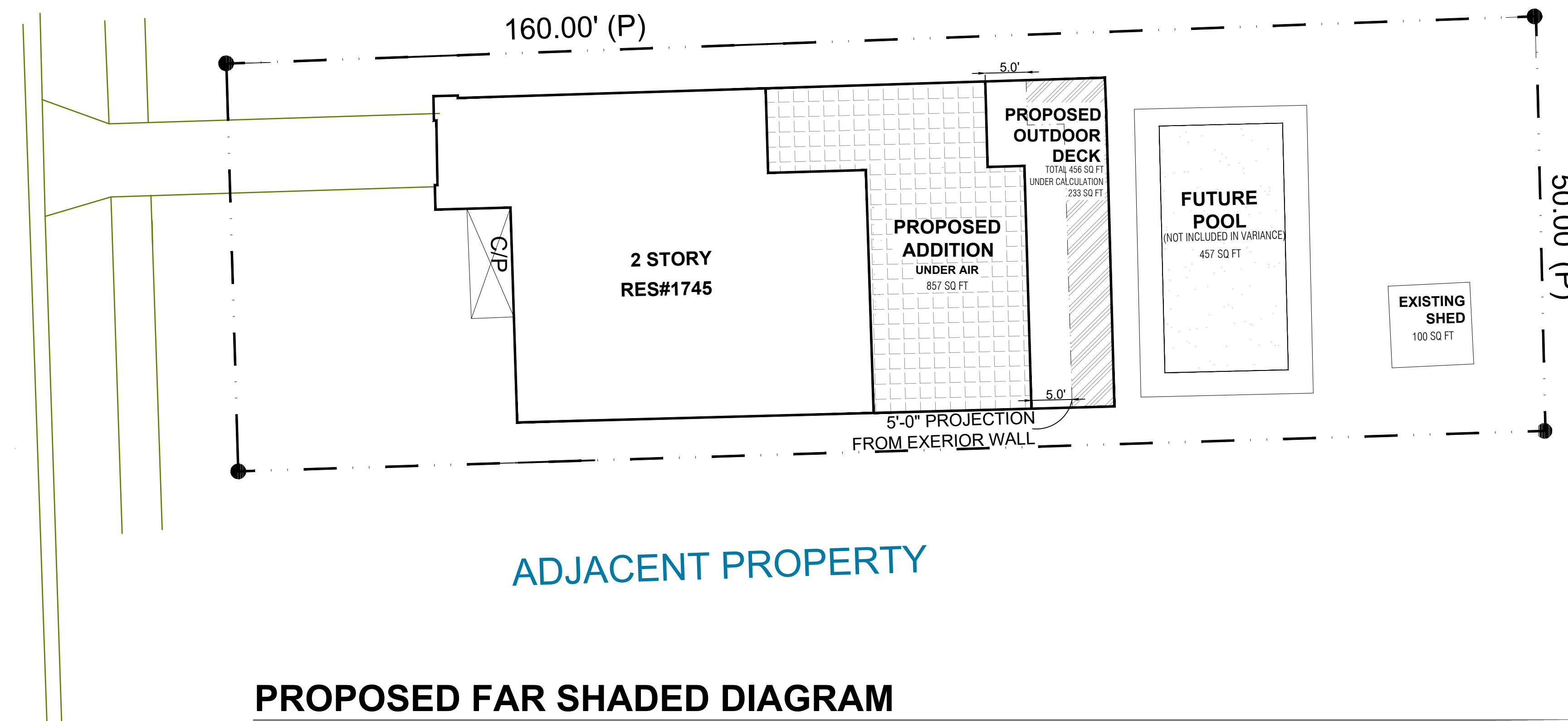
EXISTING FAR SHADED DIAGRAM

SCALE: 3/32"

PROPOSED LOT COVERAGE DIAGRAM

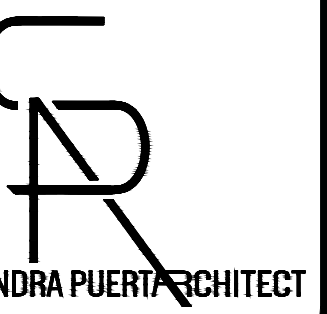
EXISTING	ZONING DISTRICTS:	RS4 SINGLE FAMILY RESIDENTIAL
	LOT SIZE :	8000 SQ FT
	EXISTING PROPERTY:	1722 SQ FT
	EXISTING REAR SHED:	100 SQ FT
TOTAL EXISTING:		1822 SQ FT
PROPOSED	PROPOSED TOTAL ADDITION:	1313 SQ FT
	PROPOSED INTERIOR ADDITION:	857 SQ FT
	PROPOSED OUTDOOR DECK:	456 SQ FT
	EXCLUDED (5'-0" FROM EXT WALL):	224 SQ FT
	TO BE INCLUDED:	233 SQ FT
LOT COVERAGE	PROPOSED LOT COVERAGE CALC:	$(1,822 + 857 + 233) / 8,000$
	PROPOSED LOT COVERAGE:	36.4%
	REQUIRED LOT COVERAGE:	30%
	VARIANCE REQUEST:	6.4% ADDITIONAL LOT COVERAGE

LENOX AVENUE (70' R/W)



PROPOSED FAR SHADED DIAGRAM

SCALE: 3/32"



SANDRA PUERTA ARCHITECT

THE CONSTRUCTION AND ARCHITECTURE GROUP, INC.

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6476 Kristen Way, Lake Worth, FL 33467
Phone | 561.246.5498 Fax | 561.561.8282.2645

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An addition and Interior Remodel For:
1745 LENOX AVE.
MIAMI BEACH, FL 33139
Parcel ID: 02-3234-004-0390

FAR SHADED
DIAGRAM
MANAGED BY: SP
DRAWN BY: JB/GP
REVIEWED BY: SP

SHEET:
SP-4

DEMOLITION PLAN GENERAL NOTES

- DEMOLITION SHALL NOT BE LIMITED TO WORK ON THESE DRAWINGS BUT SHALL INCLUDE ALL DEMOLITION NECESSARY TO ACCOMMODATE THE NEW WORK. THE DEMOLITION DRAWINGS ARE COMPLEMENTARY AND THE GC AND SUBCONTRACTORS SHALL VISIT THE SITE PRIOR TO BIDDING AND FAMILIARIZE WITH THE WORK REQUIRED FOR DEMOLITION.
- THE CONTRACTOR SHALL COORDINATE THE DEMOLITION WITH THE LANDLORD, OWNER, LEASING AGENT AND OR TENANT AND SHALL MEET THE RULES AND REGULATIONS SET FORTH BY THE LANDLORD, OWNER AND/OR LEASING AGENT.
- THE CONTRACTOR SHALL OBTAIN A DEMOLITION PERMIT AND ANY OTHER REQUIRED APPROVALS PRIOR TO THE EXECUTION OF ANY DEMOLITION AND FURNISH ALL LABOR AND MATERIALS REQUIRED TO COMPLETE THE DEMOLITION, SELECTIVE REMOVAL AND SUBSEQUENT OFF SITE DISPOSAL OR STORAGE OF ALL ITEMS WITHIN THE PROJECT AREA.
- THE CONTRACTOR SHALL COORDINATE WITH OWNER THE USE OF A CONSTRUCTION DUMPSTER FOR PLACEMENT UNLESS A DUMP TRUCK IS USED. THE CONTRACTOR SHALL PROTECT ALL EXTERIOR OF BUILDING AND ADJACENT AREAS AS WELL AS ALL ROADWAYS AND LANDSCAPE FROM DAMAGE DURING DEMOLITION.
- THE CONTRACTOR SHALL KEEP ALL AREAS IN A SAFE AND CLEAN CONDITION AT ALL TIMES.
- THE CONTRACTOR SHALL MAINTAIN LIFE SAFETY STANDARDS AT ALL TIMES.
- THE CONTRACTOR SHALL STRIP PARTITIONS THAT ARE PART OF THE SCOPE OF WORK TO DETERMINE IF IT CAN BE DEMOLISHED OR TO DETERMINE IF THEY ARE ANY ADDITIONAL ELEMENTS THAT MAY NEED TO BE REMOVED OR CAP PRIOR TO DEMOLITION.
- THE CONTRACTOR SHALL FULLY ACQUAINT HIMSELF WITH THE EXISTING CONDITIONS OF THE SITE AND BE FULLY INFORMED HIMSELF AS TO THE NATURE OF THE EQUIPMENT AND MATERIALS NEEDED FOR THE PROPER EXECUTION OF THE WORK.
- IF THE CONTRACTOR ENCOUNTERS ANY HAZARDOUS MATERIALS DURING DEMOLITION, THE CONTRACTOR MUST COMPLY WITH ALL APPLICABLE REGULATIONS, LAWS AND ORDINANCES RELATIVE TO THE REMOVAL, HANDLING AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION. NOTIFY LANDLORD AND OWNER IMMEDIATELY.
- THE CONTRACTOR SHALL MAINTAIN PREMISES FREE FROM ACCUMULATION OF WASTE, DEBRIS AND RUBBISH CAUSED BY WORK. AT THE COMPLETION OF A DAY WORK LEAVE PREMISES AND PUBLIC AREAS BROOM CLEAN ON A DAILY BASIS.
- ALL ITEMS DEMOLISHED ARE TO BE DISPOSED BY CONTRACTOR UNLESS IT IS INDICATED OTHERWISE BY OWNER.
- COORDINATE WITH CONSTRUCTION DRAWINGS AND ANY OTHER TRADE AS REQUIRED PRIOR TO START OF DEMOLITION.
- ELECTRICAL POWER SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. COORDINATE WITH ALL TRADES AND OWNER AT LEAST 48 HOURS PRIOR TO PROPOSED INTERRUPTION.
- WATER SERVICE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. COORDINATE WITH ALL TRADES AND OWNER AT LEAST 48 HOURS PRIOR TO PROPOSED INTERRUPTION.
- REMOVE ALL WIRING FROM ALL DEMOLISHED RECEPTACLES AND WALLS TO SOURCE PANEL. REMOVE ALL ABANDONED WIRING AND DISPOSE.
- PATCH ALL HOLES AND SURFACES IN ALL AREAS AFFECTED BY THE DEMOLITION WORK. ALL PATCHING SHALL INCLUDE BUT IS NOT LIMITED TO DUCTWORK, PIPING, PLUMBING, CONDUITS, SWITCHES, RECEPTACLES, CONTROLS, JUNCTION, FLOORING, CEILING AND SHALL MATCH EXISTING FINISHES.

DATE:
Feb. 2, 23

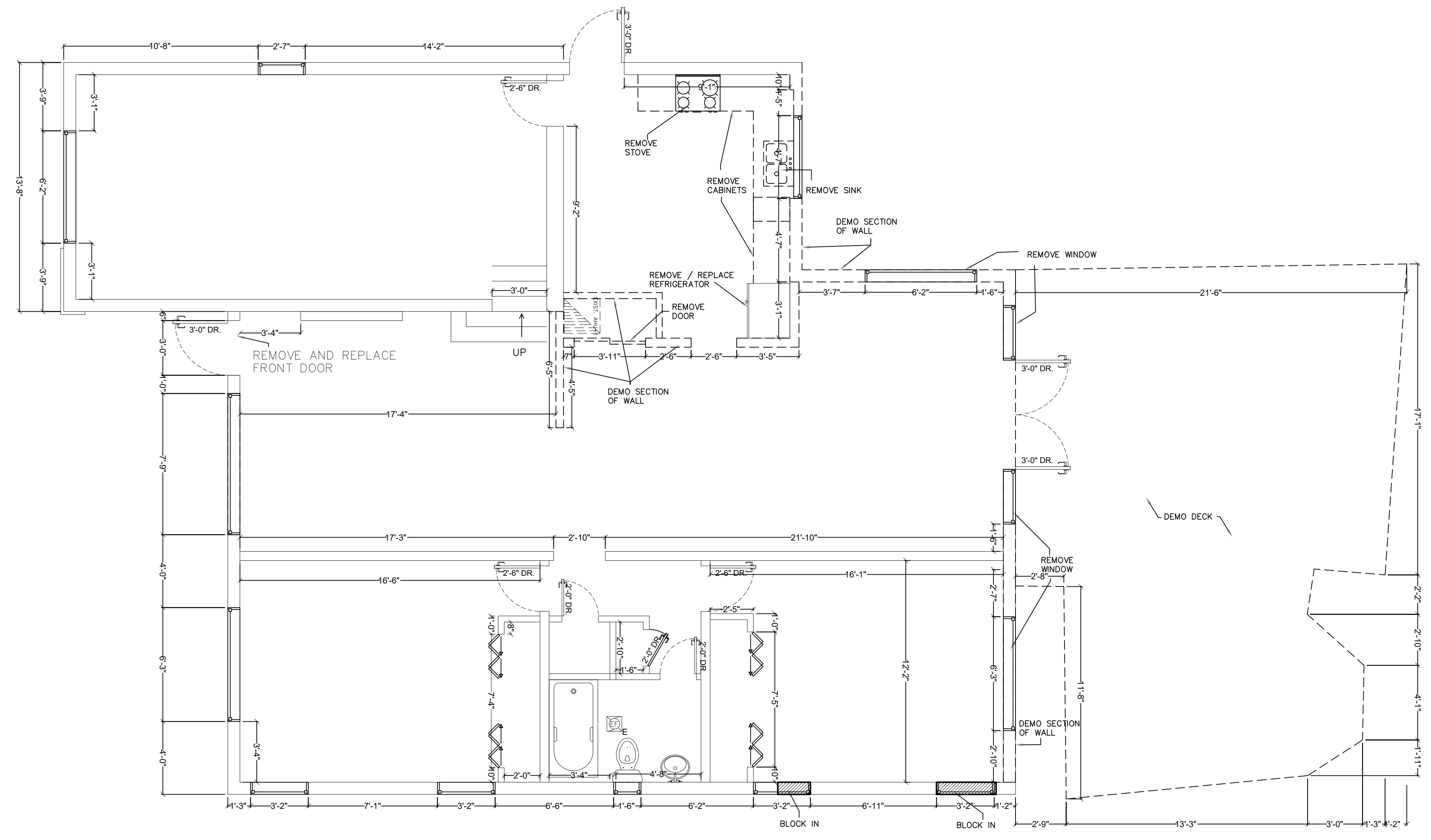
BLDG. DEPT.
PLAN REVISIONS:

- 1
- 2
- 3
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An addition and interior remodel For:
1745 LENOX AVE.
MIAMI BEACH, FL 33139
Parcel ID: 02-3234-004-0390

Demo Floor Plan and Notes
MANAGED BY: SP
DRAWN BY: JB/GP
REVIEWED BY: SP

SHEET:
D-1



EXISTING/DEMO PLAN
SCALE: 1/4" = 1'-0"

WALL PLAN LEGEND		
WALL TYPE		WALL DESCRIPTION
EXISTING EXTERIOR WALL		EXISTING - NO CHANGE
EXISTING INT WALLS		EXISTING - NO CHANGE
IN FILL EXTERIOR WALL		IN FILL OPENING
NEW INT WALLS		NEW WALLS AS PER DETAIL
NEW EXT WALLS		NEW WALLS AS PER DETAIL
NEW INT WALLS		NEW WOOD IN-FILLED INTERIOR WALLS
DEMO EXTERIOR WALL		REMOVE WALLS
DEMO INT WALLS		REMOVE WALLS

DOOR SCHEDULE

MARK	SIZE (R.O.)			MATERIAL		QTY		OPERATION				FRAME				NOTES				
	W	H	TH	WOOD	METAL	SINGLE	DOUBLE	HINGED	SLIDING	BI-FOLD	POCKET	BARN	WOOD	METAL	ALUMINUM		EXTG	IRON	THRESHOLD	HW SET
1	9'-3"	6'-8"	1 3/4"																	
2	5'-1"	6'-8"	1 3/4"																	
3	3'-0"	6'-8"	1 3/4"																	
4	2'-6"	6'-8"	1 3/4"																	
5	2'-4"	6'-8"	1 3/4"																	
6	4'-6"	6'-8"	1 3/4"																	
7	2'-6"	6'-8"	1 3/4"																	
8	4'-0"	6'-8"	1 3/4"																	
9	3'-0"	6'-8"	1 3/4"																	
10	3'-0"	6'-8"	1 3/4"																	
E	EXISTING																			

WINDOW NOTES:

- PROVIDE SCREEN, HARDWARE & ACCESSORIES AS REQUIRED FOR OPERABLE WINDOWS.
- ALL EXTERIOR WINDOWS SHALL BE HURRICANE IMPACT RATED OR HAVE HURRICANE PANELS WHICH SHALL COMPLY W/ FBC 2017
- AT LEAST ONE WINDOW IN EACH BEDROOM SHALL HAVE A CLEAR OPENING OF 5.7 SQ.FT.
- CONTRACTOR SHALL VERIFY ALL WINDOW & DOOR R.O. PRIOR TO ORDERING WINDOWS
- TEMPERED GLASS SHALL BE PROVIDED IN ALL WINDOWS WHICH ARE THREE FEET HORIZONTALLY FROM A TUB OR SHOWER & ADJACENT TO DOORS

DESIGN WIND PRESSURES

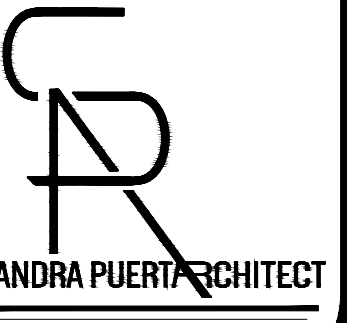
WINDOWS & DOORS POS +42.9 P.S.F. NEG -57.3 P.S.F.

WALL PLAN LEGEND

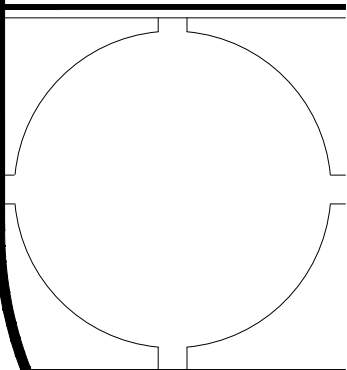
WALL TYPE	WALL DESCRIPTION
EXISTING EXTERIOR WALL	EXISTING - NO CHANGE
EXISTING INT WALLS	EXISTING - NO CHANGE
IN FILL EXTERIOR WALL	IN FILL OPENING
NEW INT WALLS	NEW WALLS AS PER DETAIL
NEW EXT WALLS	NEW WALLS AS PER DETAIL
NEW EXT WALLS	NEW WOOD FRAMED WALLS AS PER DETAIL

GENERAL CONSTRUCTION NOTES

- ALL WORK BY ALL TRADES TO BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE LOCAL & GOVERNMENTAL CODES, ORDINANCES, STANDARDS AND RESTRICTIONS.
- ALL TRADES TO COORDINATE THEIR WORK WITH ALL OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
- CONTRACTOR TO VERIFY ALL DIMENSIONS ON THE JOB PRIOR TO COMMENCING CONSTRUCTION AND NOTIFY ARCHITECT OF ALL DISCREPANCIES. DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DRAWINGS.
- ALL DIMENSIONS ARE NOMINAL TO THE FACE OF STUDS, CONC. BLK. OR EDGE OF MONOLITHIC SLAB FOOTING UNLESS NOTED OTHERWISE. DOOR AND WINDOW SIZE OPENINGS TO BE VERIFIED WITH THE MANUFACTURER.
- IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO FURNISH & INSTALL ALL ITEMS FOR COMPLETE FULLY OPERATIVE SYSTEMS IN FIRST CLASS WORKMANLIKE MANNER.
- INSULATE EXTERIOR MASONRY WALL WITH MIN. R-5.0 INSUL., EXTERIOR WD. FRAMED WALLS WITH R-19 INSUL. AND ATTIC SPACES WITH MIN. R-30 INSUL.
- COMPACT ALL FILL TO A MIN. OF 95% DENSITY AND POISON SOIL FOR TERMITES. MIN. SOIL BRG.: 2500 P.S.F.
- MIN. CONC. STRENGTH: 3000 P.S.I. @ 28 DAYS. MIN. CONCRETE COVERAGE FOR REINF. BARS. SLAB: 3/4"; BEAMS & COLS: 1 1/2"; TIE COLS: 3/4"; FORMED CONC. BELOW GRADE: 2" & UNFORMED CONC.: 3".
- REINFORCING STEEL TO BE GRADE 60.
- DETAILS OF CONCRETE REINF. SHALL BE IN ACCORDANCE WITH "THE MANUAL OF STD. PRACTICE FOR REINFORCED CONCRETE CONSTRUCTION". TRAP.
- TIE COLUMNS TO HAVE DOWELS INTO CONCRETE FIG. WITH THE SAME SIZE AND NUMBER OF DOWELS AS VERTICAL REINF. BARS.; REINF. STL. TO BE LAPPED 30 BAR DIAM. MIN. @ SPLICES.
- ALL WOOD IN CONTACT WITH CONC., MASONRY OR STL. SHALL BE PRESS. TRTD. WD. STRUCTURAL LUMBER TO BE A STRESS GRADE OF MIN. F = 1200 PSI (BENDING).
- MIN. ELECTRICAL WIRE SIZE SHALL BE #14 A.W.G. (EXCLUDING THE CONTROL WIRING). ALL CONDUCTORS SHALL BE "COPPER" WITH "THIN" INSULATION.
- ALL RACEWAYS UNDERGROUND OR LARGER THAN 2" IN DIAM. SHALL BE GALVANIZED RIGID STL. CONDUIT OR SCHED. 40 PVC.; OTHER RACEWAYS AS PER CODE REGRMS.
- PROVIDE "GFI" RECEPTACLES IN BATHROOMS, AT KITCHEN COUNTERS, IN GARAGE AND OUTSIDE LOCATIONS.
- SANITARY PLBG. PIPING TO HAVE MIN. 1/8" PER FT. PITCH AT ALL HORIZ. RUNS. PROVIDE CLEANOUTS AT THE BASE OF WASTE STACKS.
- ALL UNDERGRD. WATER PIPING SHALL BE COPPER TYPE "K"; ALL OTHER WATER PIPING SHALL BE COPPER TYPE "L".
- PROVIDE AIR CHAMBERS AND SHUT OFF VALVES FOR ALL WATER SUPPLY PIPING AT FIXTURES; PROVIDE VACUUM BREAKER AND SHUTOFF VALVE ON ALL HOSE BIBBS.
- A/C AIR HANDLING UNITS TO HAVE CONDENSATE SAFE WASTE WITH TRAP.



THE CONSTRUCTION AND ARCHITECTURE GROUP, INC.
SANDRA PUERTA FL Lic. #: AA24002780 - AR 95385
6475 Kristen Way, Lake Worth, FL 33467
Phone | 561.246.5498 Fax | 561.561.8265.2645



DATE: Feb. 2, 23

- BLDG. DEPT. PLAN REVISIONS:
- 1
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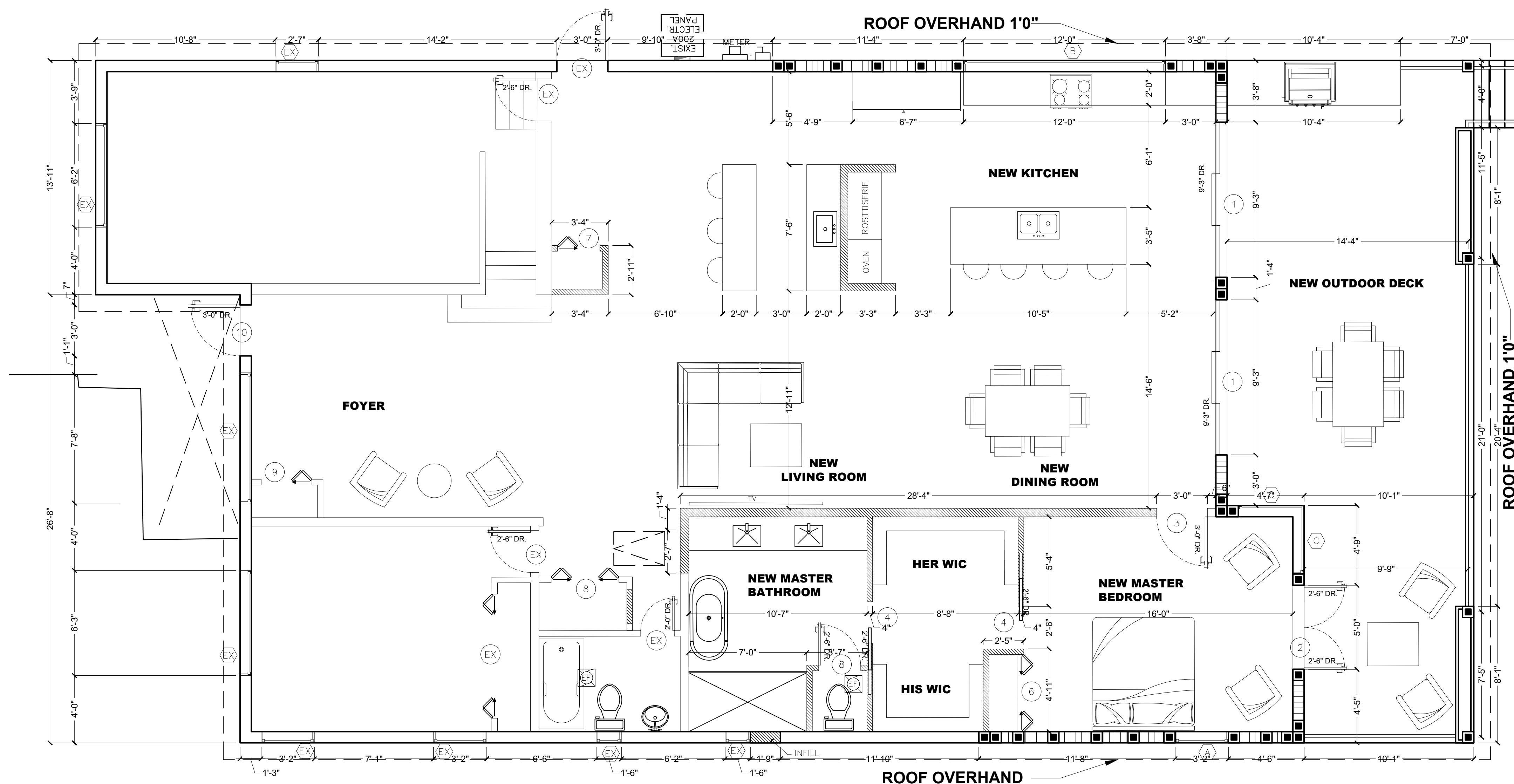
An addition and interior remodel For:
1745 LENOX AVE.
MIAMI BEACH, FL 33139
Parcel ID: 02-3234-004-0390

Construction Plan and Notes
MANAGED BY: SP
DRAWN BY: JB/GP
REVIEWED BY: SP

SHEET:
A-1

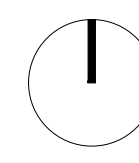
WINDOW SCHEDULE

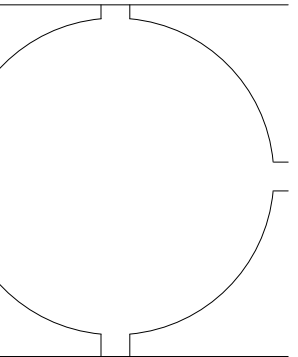
MARK	SIZE (R.O.)		TYPE	MATERIAL			OPERATION				NOTES	REMARKS
	W	H		WOOD	ALUM.	WD/CLAD	CUSTOM	H. ROLL	S. HUNG	FIXED		
A	3'-2"	3'-10"										IMPACT WINDOW
B	12'-0"	0'-18"										IMPACT WINDOW
C	4'-1"	3'-0"										IMPACT WINDOW
D	11'-1"	4'-3"										IMPACT WINDOW
E	EXISTING											



NO WORK AREA
Future Pool.
No variance required.
Pool under different permit set

PROPOSED CONSTRUCTION PLAN
SCALE: 1/4"=1'-0"





DATE:
Feb., 2, 23

BLDG. DEPT.
PLAN
REVISIONS:

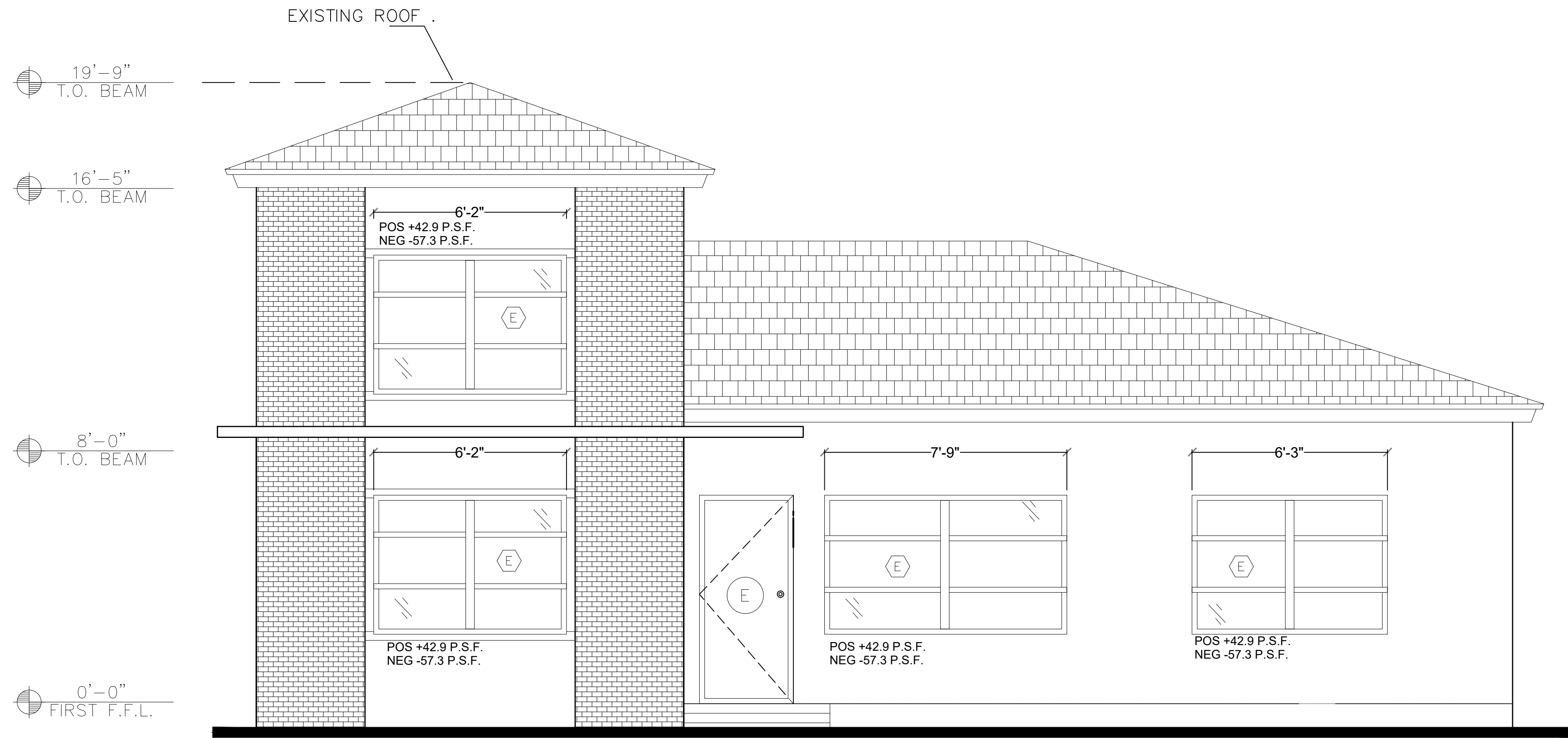
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An addition and Interior Remodel For:
1745 LENOX AVE.
MIAMI BEACH, FL 33139
Parcel ID: 02-3234-004-0390

Building Elevation and Notes

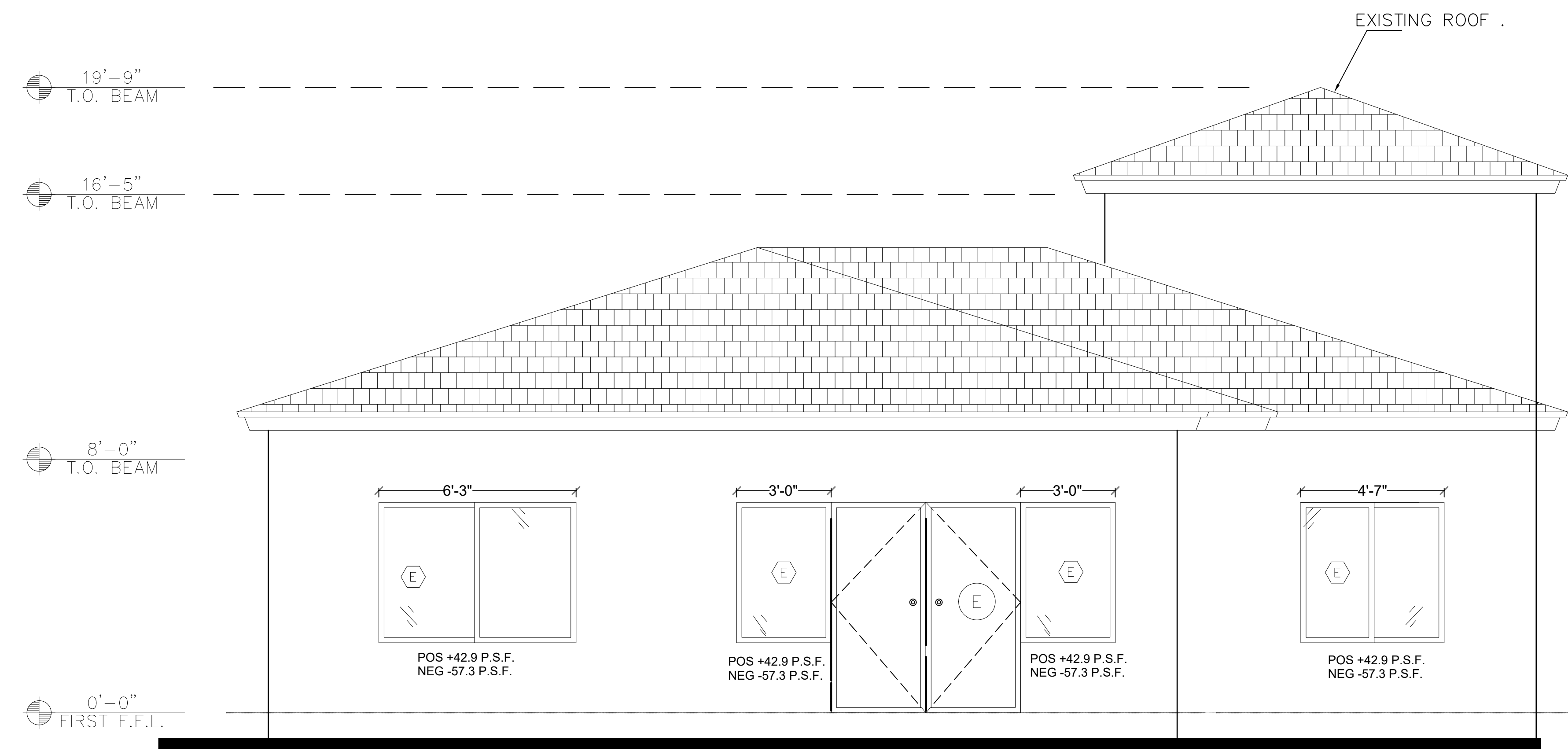
MANAGED BY: SP
DRAWN BY: JB/GP
REVIEWED BY: SP

SHEET:
A-2



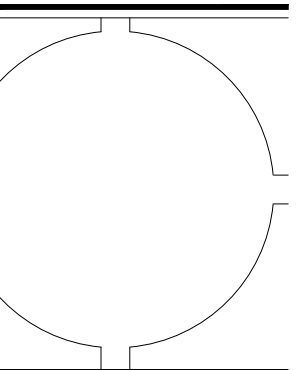
EXISTING EAST ELEVATION

SCALE: 3/8"=1'-0"



EXISTING WEST ELEVATION

SCALE: 3/8"=1'-0"



DATE:
Feb., 2, 23

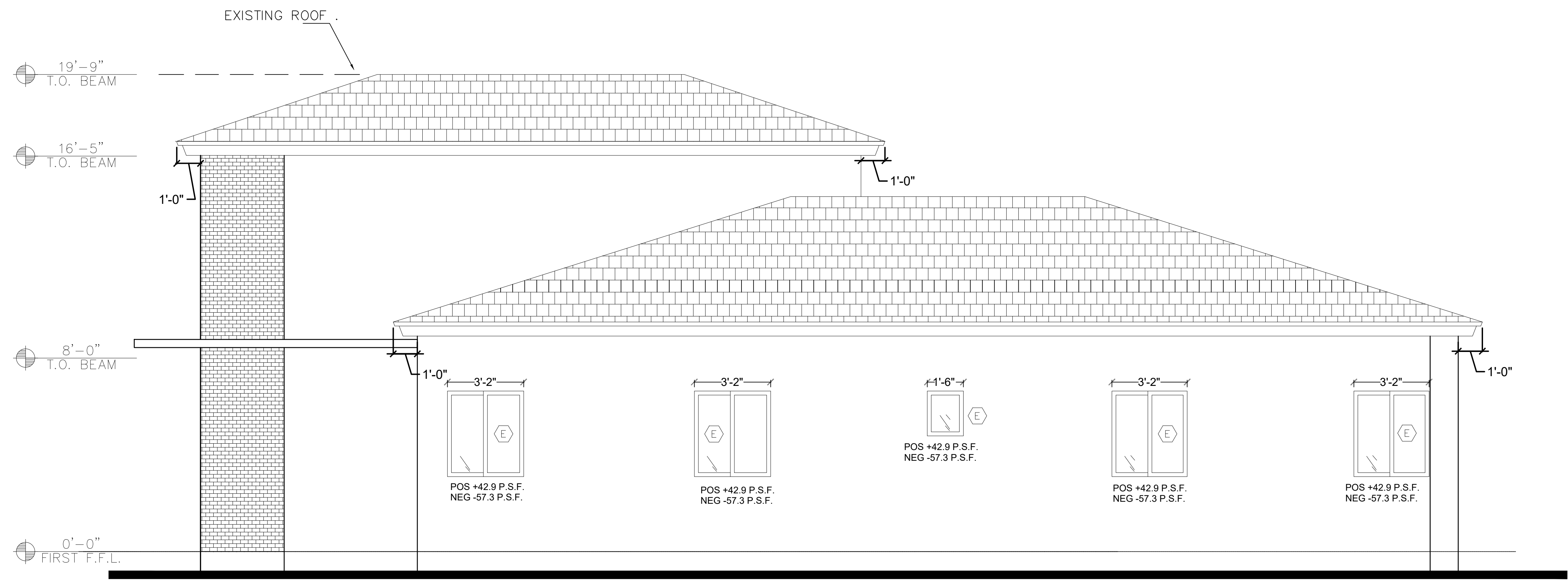
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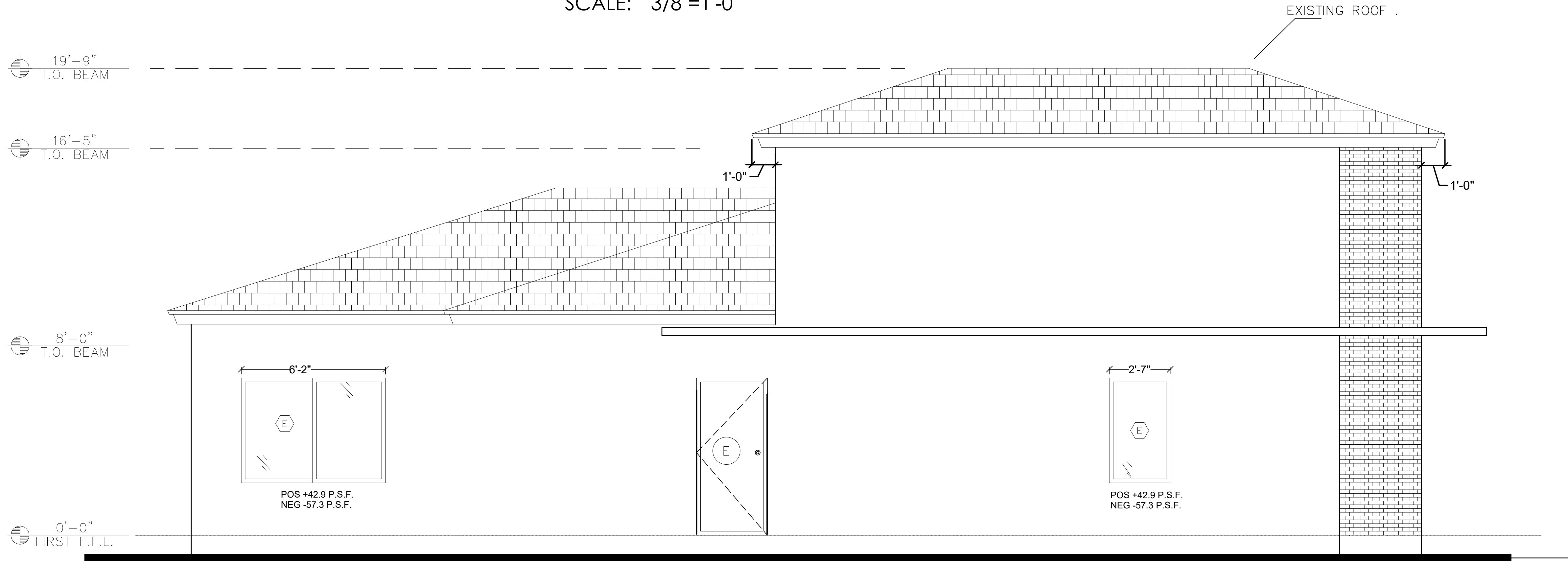
An addition and Interior Remodel For:
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 MIAMI BEACH, FL 33139
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Building Elevation and Notes
 MANAGED BY: SP
 DRAWN BY: JB/GP
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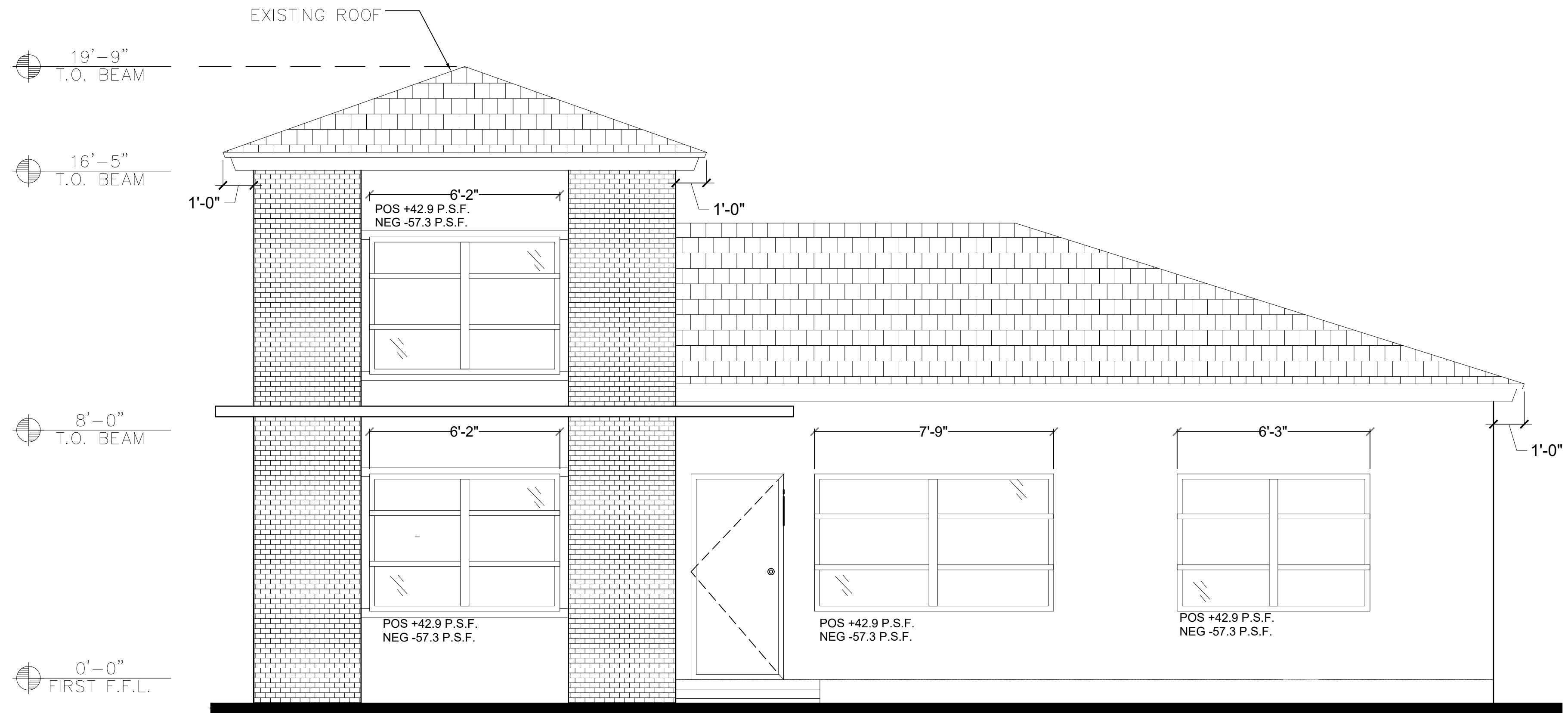
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EXISTING NORTH ELEVATION
 SCALE: 3/8"=1'-0"



EXISTING SOUTH ELEVATION
 SCALE: 3/8"=1'-0"



PROPOSED EAST ELEVATION
SCALE: 3/8"=1'-0"



DATE:
Feb.. 2, 23

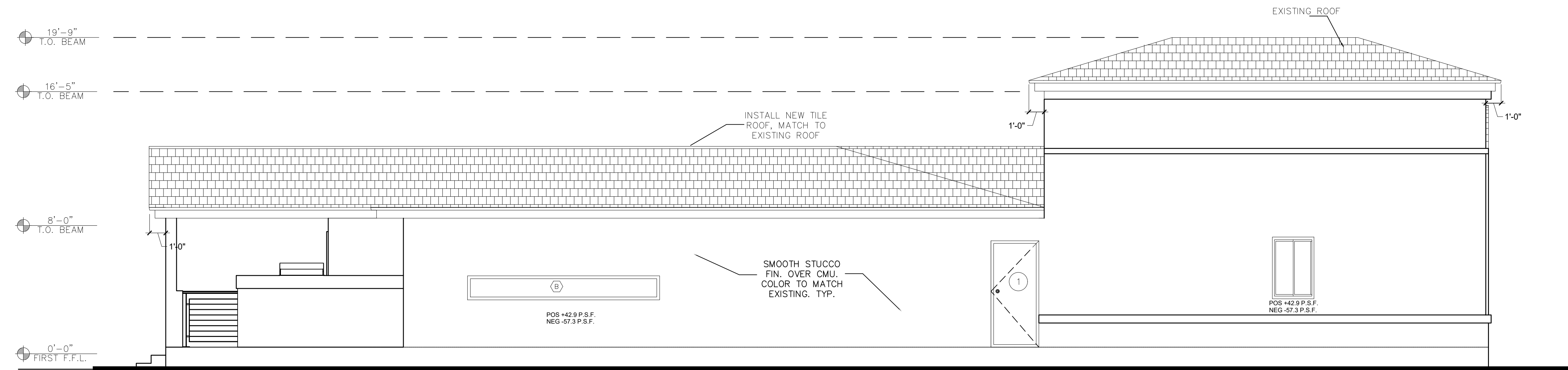
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An addition and Interior Remodel For:
1745 LENOX AVE.
MIAMI BEACH, FL 33139
Parcel ID: 02-3234-004-0390

Building Elevation and Notes
MANAGED BY: SP
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REVIEWED BY: SP

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PROPOSED SOUTH ELEVATION
SCALE: 3/8"=1'-0"



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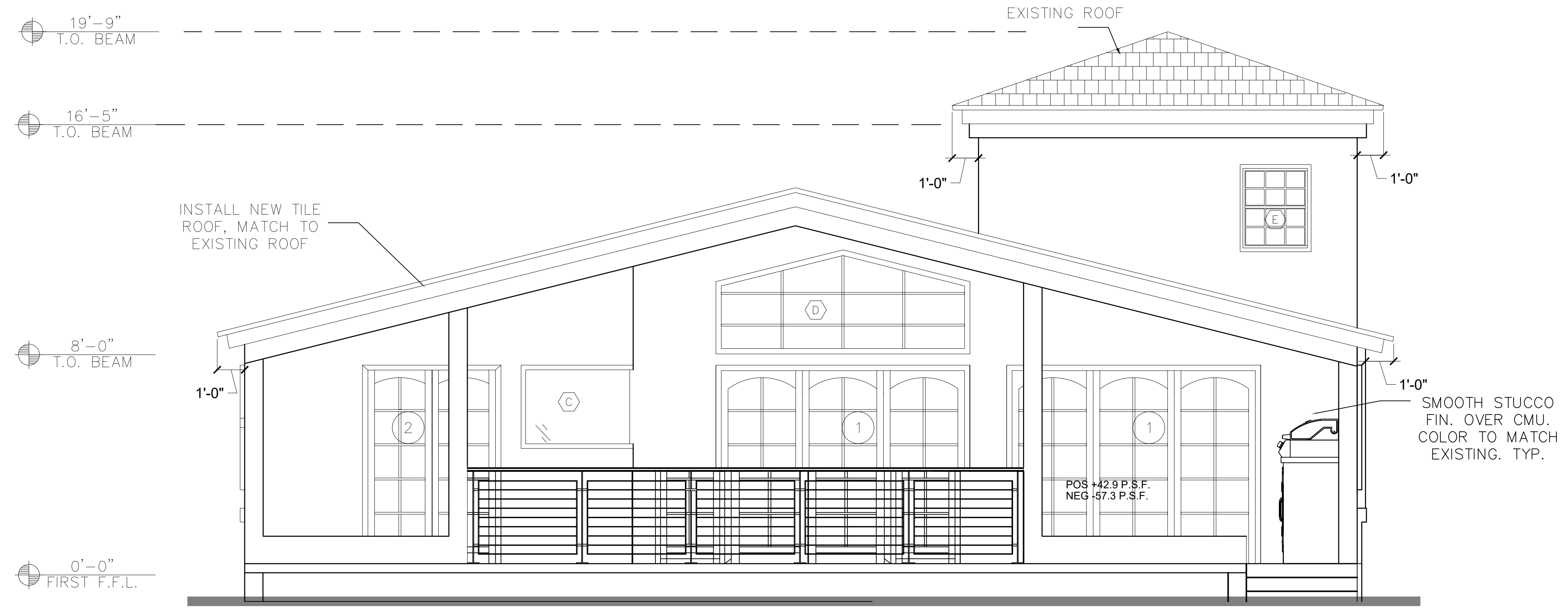
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An addition and Interior Remodel For:
1745 LENOX AVE.
MIAMI BEACH, FL 33139
Parcel ID: 02-3234-004-0390

Building Elevation and Notes
MANAGED BY: SP
DRAWN BY: JB/GP
REVIEWED BY: SP

SHEET:
A-2.3



PROPOSED WEST ELEVATION
 SCALE: 3/8"=1'-0"



FUTURE POOL. NO VARIANCE REQUIRED. IT WILL BE INCLUDED IN A SEPARATE PERMIT SET

DATE:
Feb., 2, 23

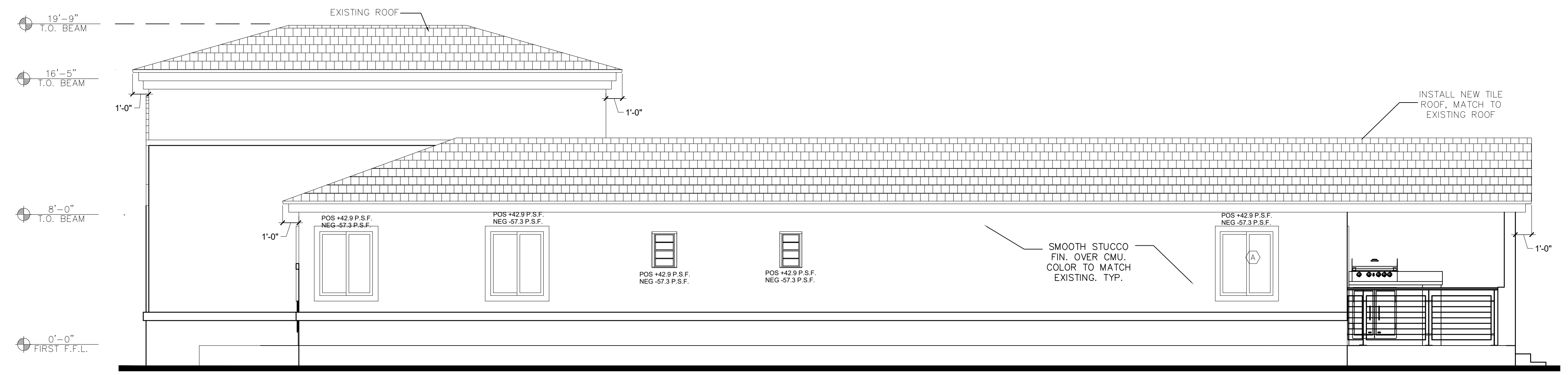
BLDG. DEPT.
PLAN
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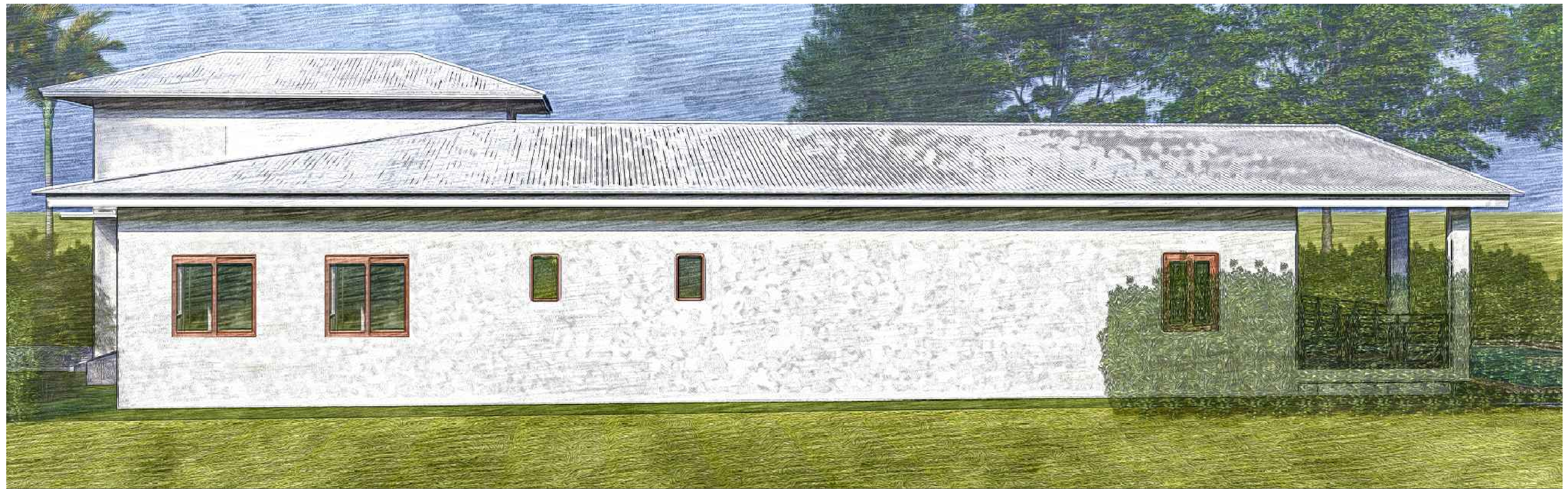
An addition and Interior Remodel For:
1745 LENOX AVE.
 MIAMI BEACH, FL 33139
 Parcel ID: 02-3234-004-0390

Building Elevation and Notes
 MANAGED BY: SP
 DRAWN BY: JB/GP
 REVIEWED BY: SP

SHEET:
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PROPOSED NORTH ELEVATION
SCALE: 1/4"=1'-0"



DATE:
Feb., 2, 23

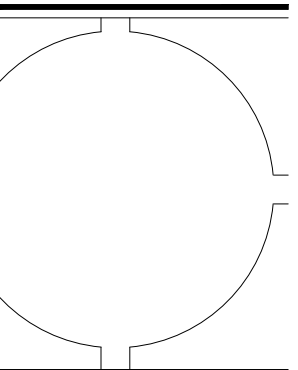
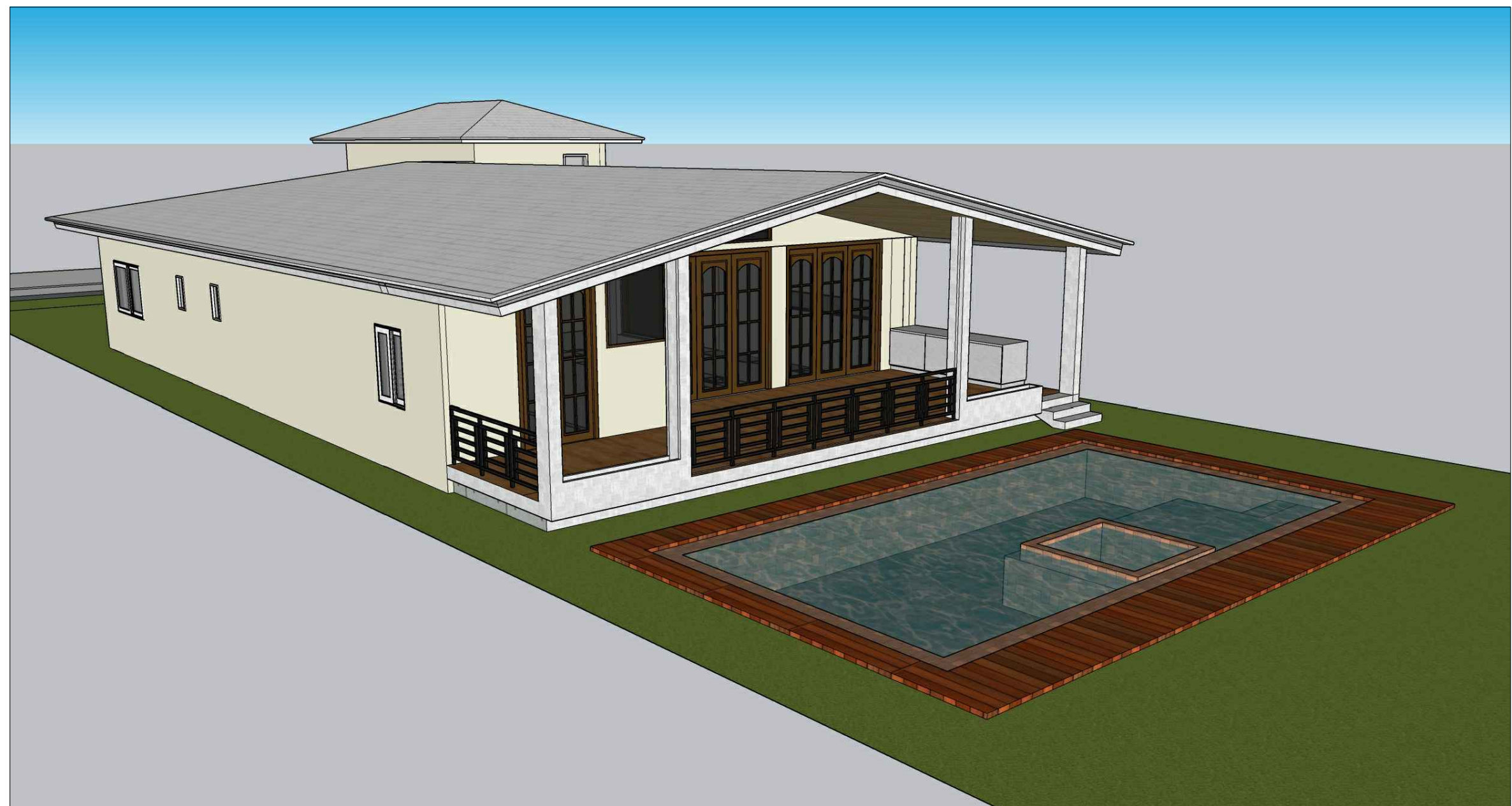
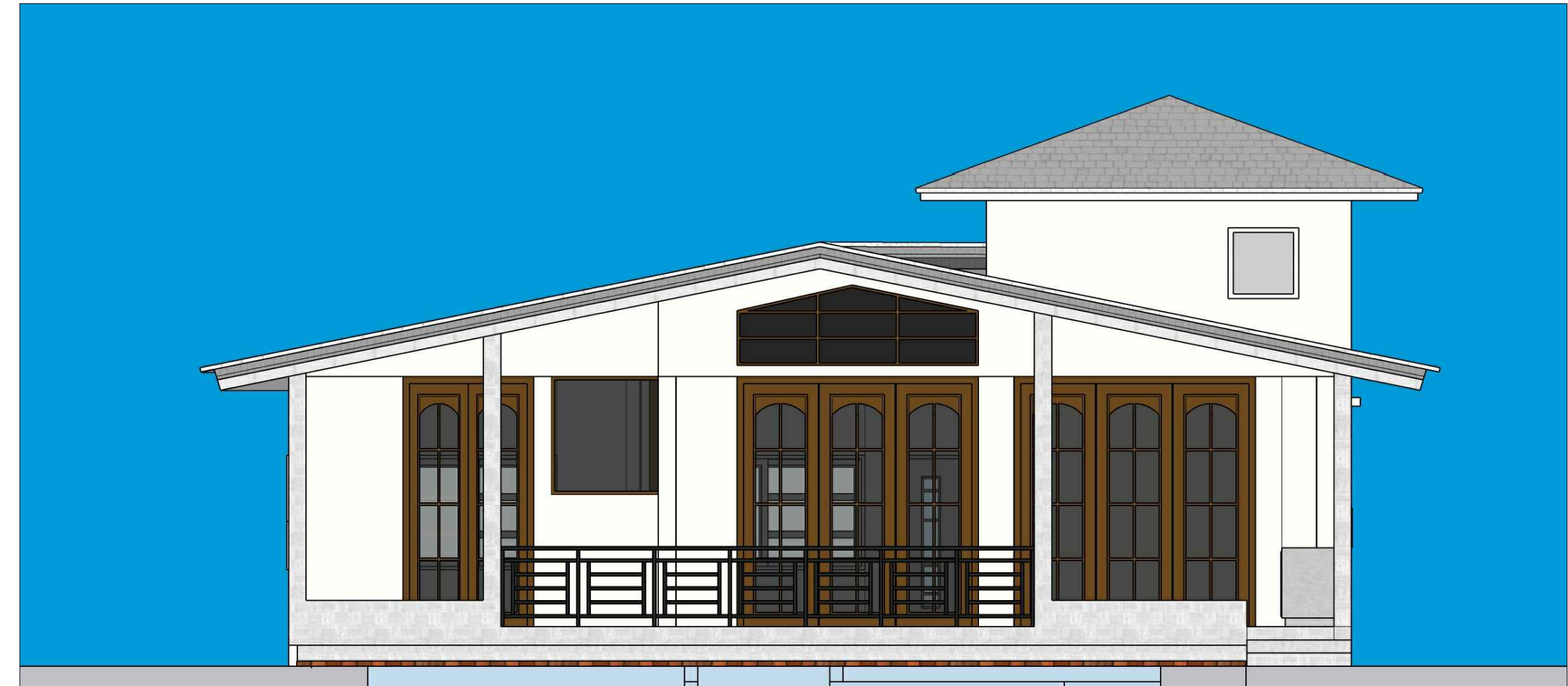
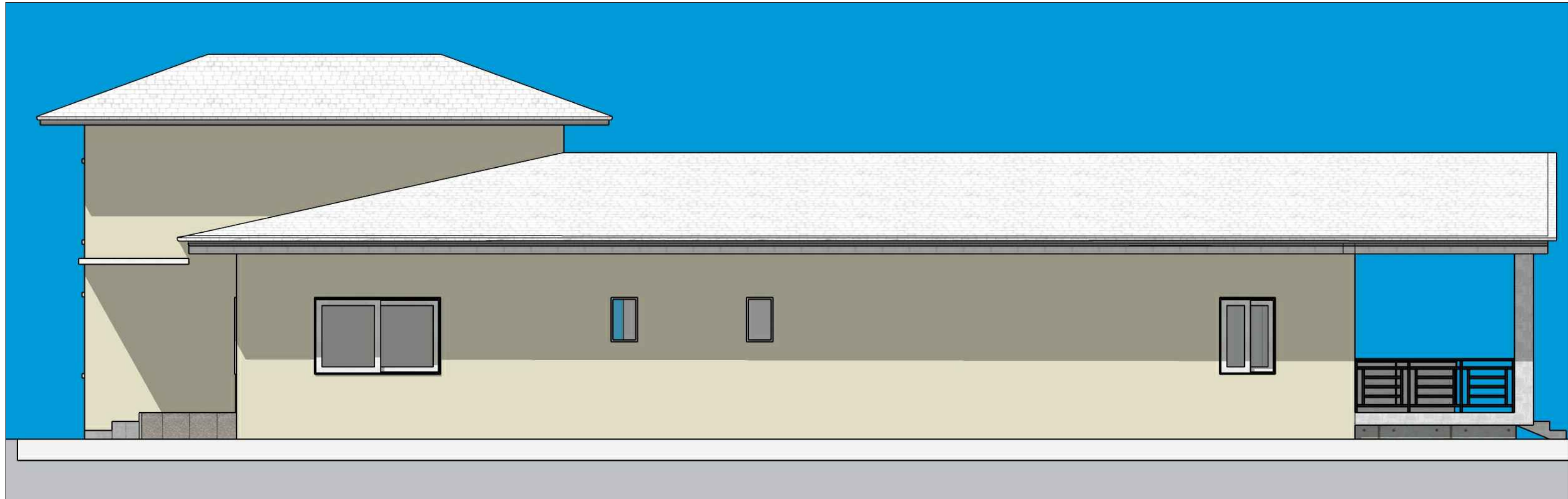
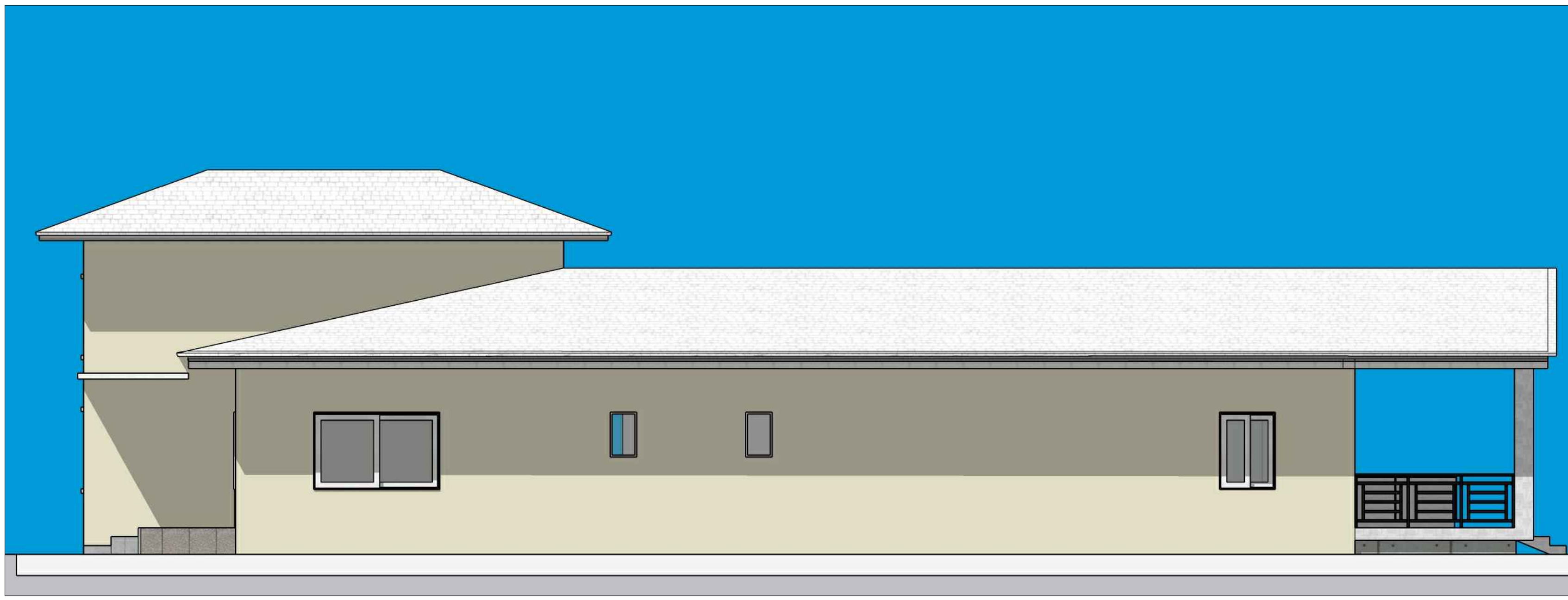
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REVISIONS:

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An addition and Interior Remodel For:
1745 LENOX AVE.
MIAMI BEACH, FL 33139
Parcel ID: 02-3234-004-0390

Building Elevation and Notes
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REVIEWED BY: SP

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DATE:
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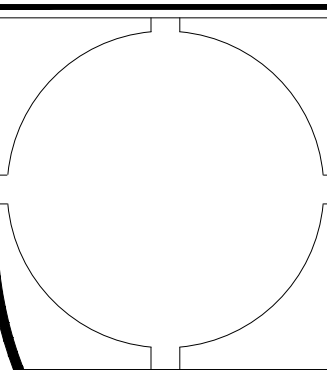
An addition and Interior Remodel For:
1745 LENOX AVE.
 MIAMI BEACH, FL 33139
 Parcel ID: 02-3234-004-0390

CONCEPTUAL
ELEVATIONS
 MANAGED BY: SP
 DRAWN BY: JB/GP
 REVIEWED BY: SP

SHEET:
A-2.6



FUTURE POOL. NO VARIANCE REQUIRED. IT WILL BE INCLUDED IN A SEPARATE PERMIT SET



DATE:
Feb., 2, 23

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REVISIONS:

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- 2
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An addition and Interior Remodel For:

1745 LENOX AVE.
 MIAMI BEACH, FL 33139
 Parcel ID: 02-3234-004-0390

RENDERS

MANAGED BY: SP
 DRAWN BY: JB/GP
 REVIEWED BY: SP

SHEET:
A-2.7

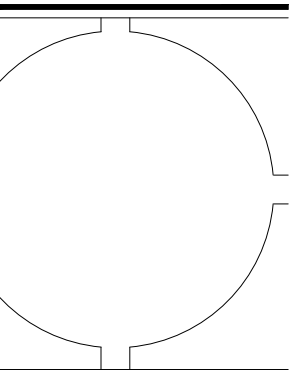
NEIGHBOURS



1735 Lenox Ave., Miami Beach, FL 33139, EE. UU.

1729 Lenox Ave., Miami Beach, FL 33139, EE. UU.

THE CONSTRUCTION AND ARCHITECTURE GROUP, INC.
SANDRA PUERTA FL Lic. #: A22002780 - AR 95585
6475 Kristen Way, Lake Worth, FL 33467
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DATE:
Feb., 2, 23

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1760 Lenox Ave., Miami Beach, FL 33139, EE. UU.



1750 Lenox Ave., Miami Beach, FL 33139, EE. UU.

An addition and Interior Remodel For:
1745 LENOX AVE.
MIAMI BEACH, FL 33139
Parcel ID: 02-3234-004-0390

NEIGHBOURS
MANAGED BY: SP
DRAWN BY: JB/GP
REVIEWED BY: SP

SHEET:
A-2.8