

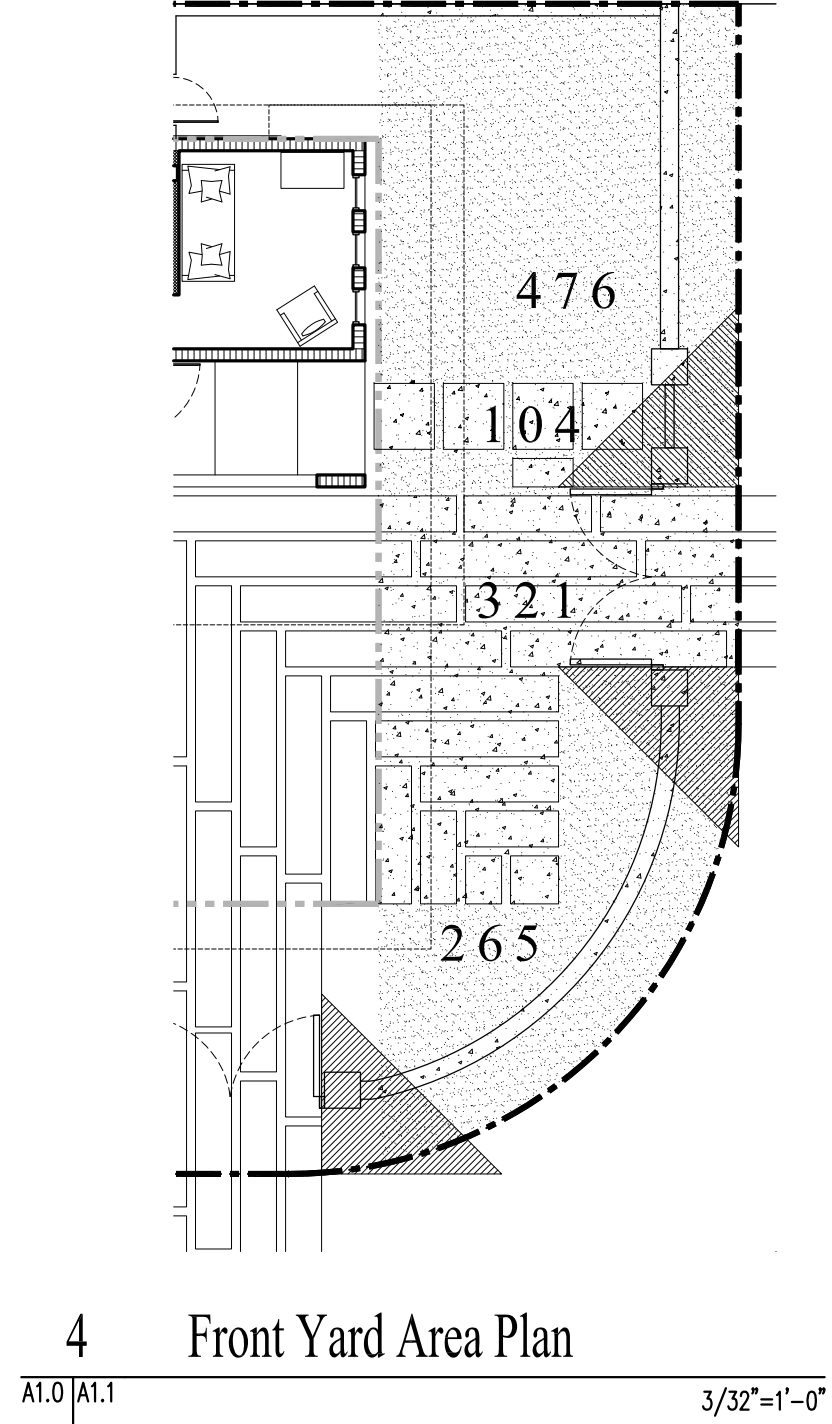
LOT COVERAGE:

TOTAL LOT AREA	8,641 SF
LOT COVERAGE PERMITTED (30%):	2,592.3 SF
LOT COVERAGE PROVIDED (24.9%)	2,160 SF

BUILDING HEIGHT:

	PERMITTED	PROVIDED
MAX. BLDG. HT. ABOVE GRADE (FLAT ROOF)	24'-0" MAX.	24'-0"
MAX. SINGLE GARAGE HEIGHT	18'-0" MAX.	N/A
MAX. ACC. STRUCTURE HT. ABOVE GRADE	25'-0" MAX.	N/A

	BUILDING AREA (A/C)
	ENCLOSED AREA (NON A/C)
	HARDSCAPE AREA
	OPEN AIR AREA
	LANDSCAPE OPEN SPACE
	WATER FEATURE / POOL AREA



SETBACK AREAS:

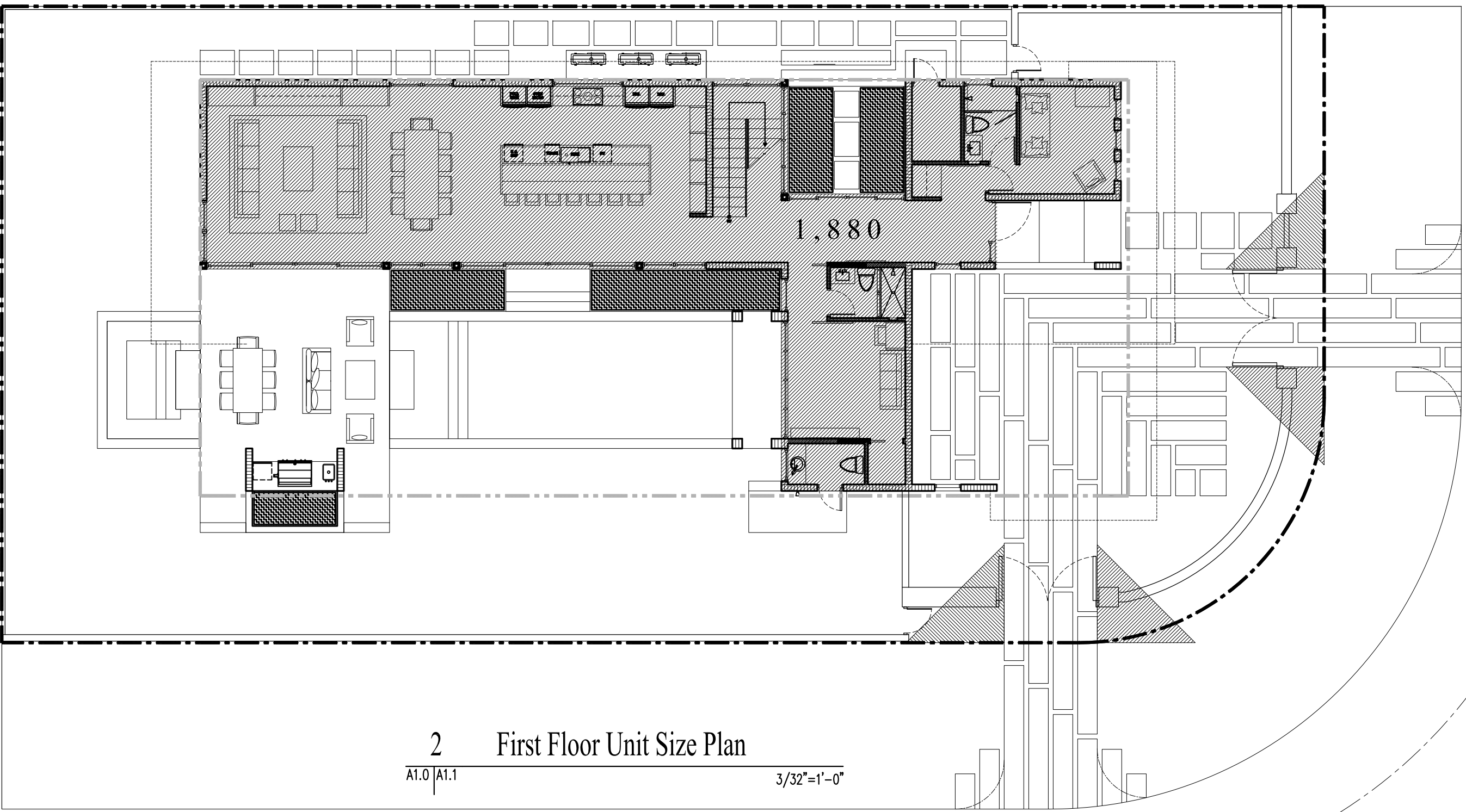
FRONT SETBACK AREA	1,166 SF	100%
LANDSCAPING / GRASS IMPERVIOUS	741 SF	64%
	425 SF	36%
REAR SETBACK AREA	1,316 SF	100%
LANDSCAPE / POOL DECK / ACCESSORY STRUCTURE	1,268 SF	96%
	48 SF	4%
ROOF OVERHANGS INTO REQUIRED YARD		
FRONT ALLOWED	5'-0" (25% OF 20')	
FRONT PROVIDED	4'-9" (23.75% OF 20')	
REAR ALLOWED	5'-0" (25% OF 20')	
REAR PROVIDED	5'-0" (25% OF 20')	

	ENCLOSED AREA (NON A/C)
	HARDSCAPE AREA
	LANDSCAPE OPEN SPACE

ROOF DECK:

MAX. DECK SIZE (25% OF FLOOR BELOW)	544 SF
PROVIDED DECK SIZE (22% OF FLOOR BELOW)	150 SF

	HARDSCAPE AREA
	LANDSCAPE OPEN SPACE



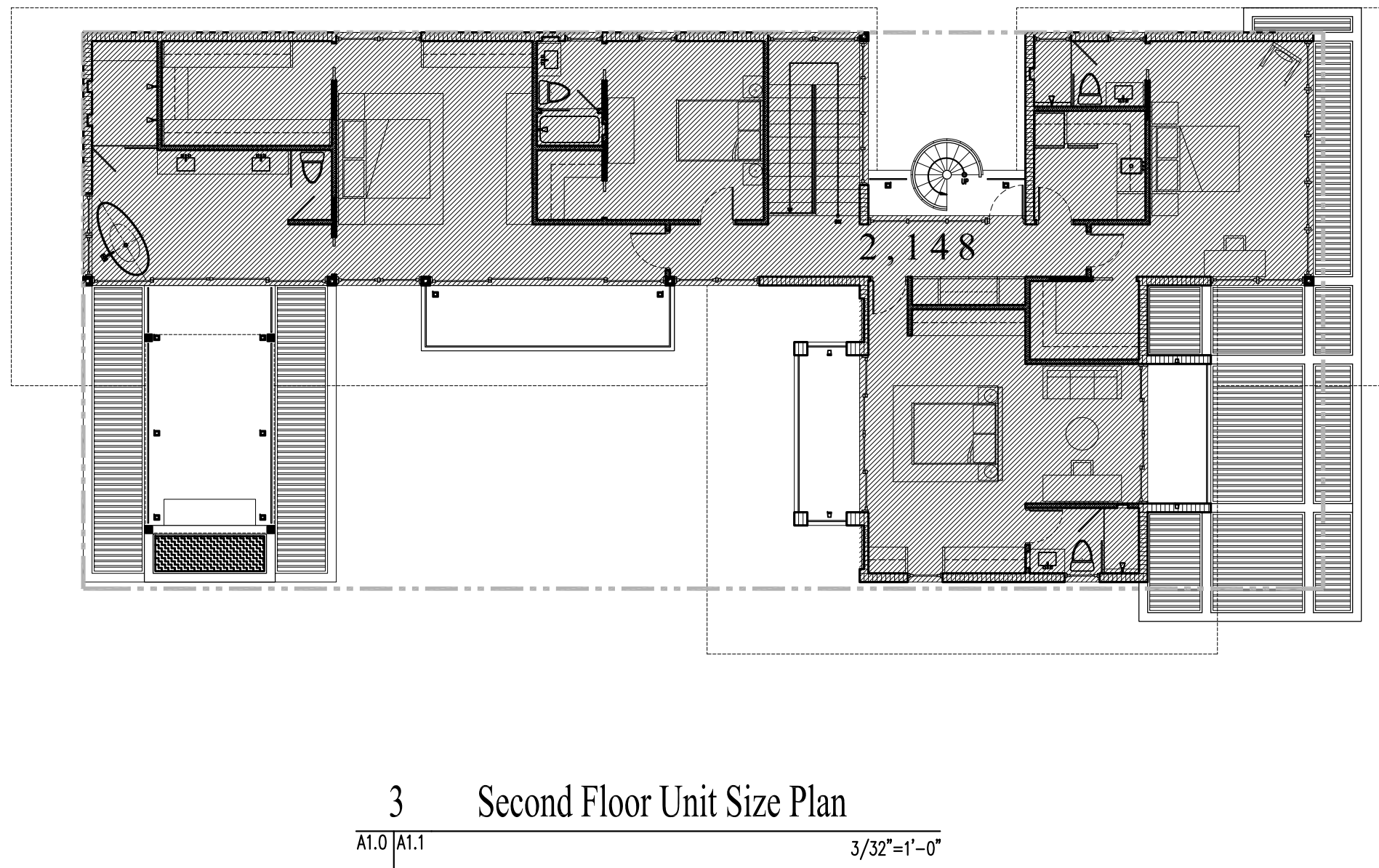
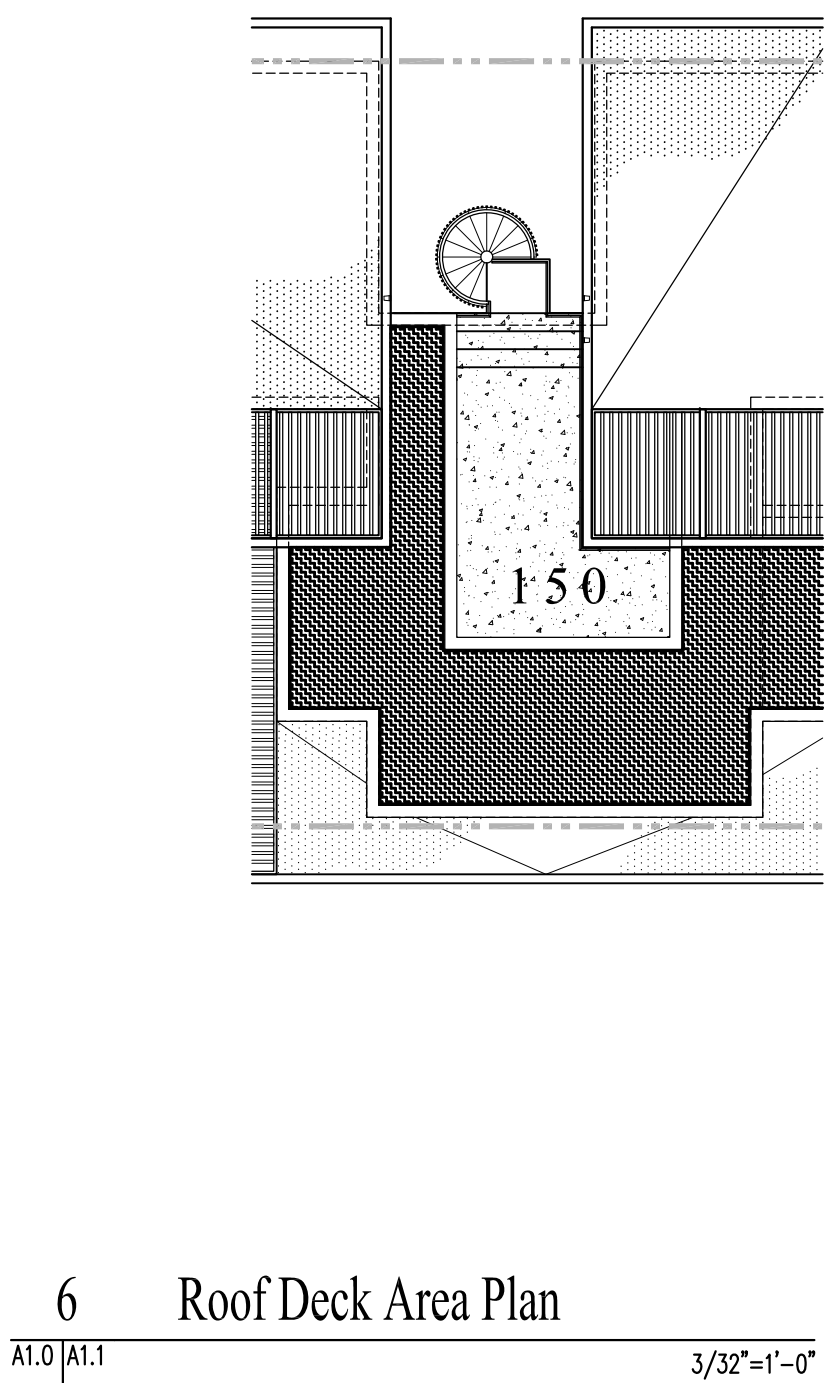
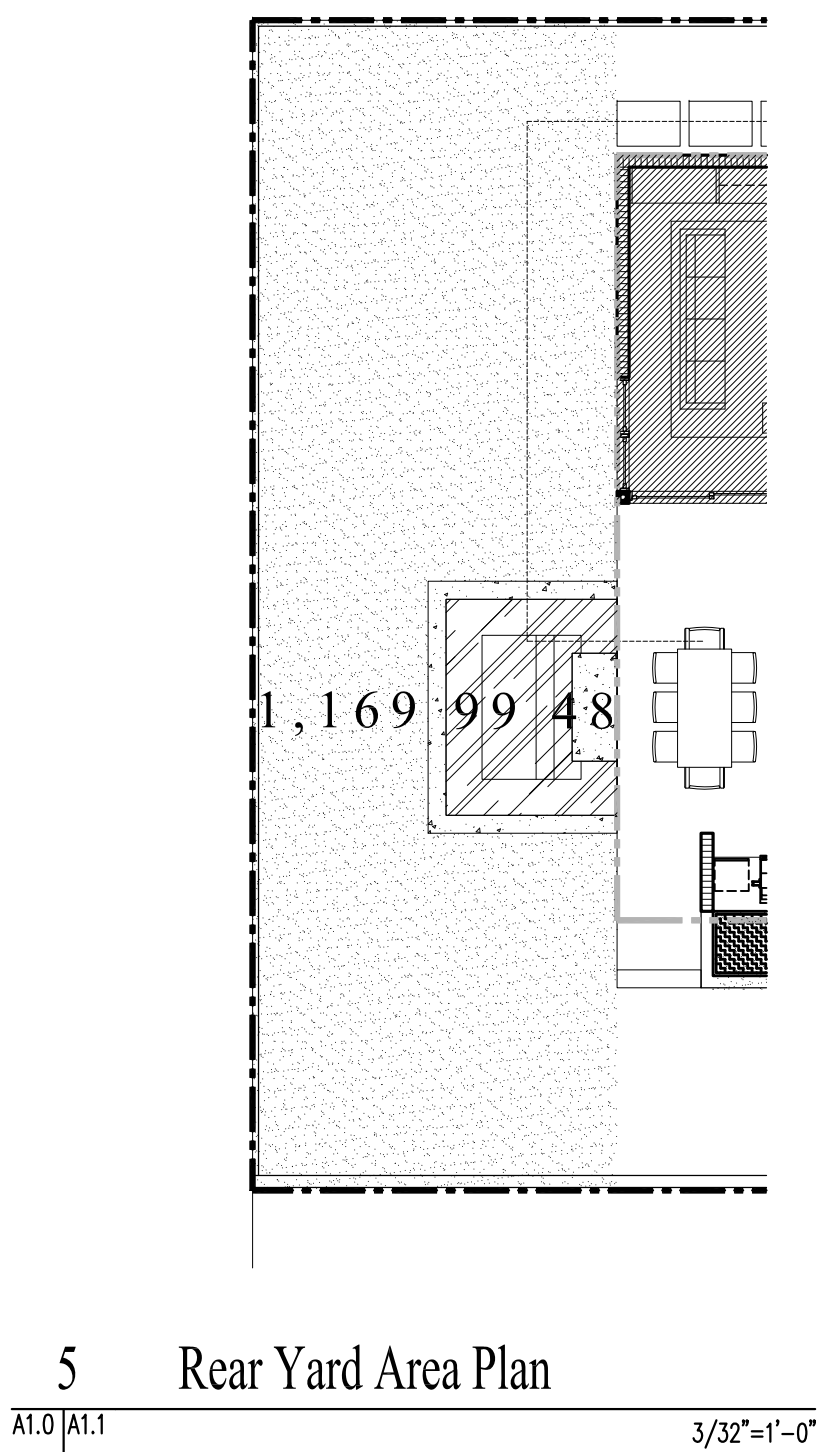
BUILDING AREAS:

FIRST FLOOR A/C AREA	1,880 SF
SECOND FLOOR A/C AREA	2,148 SF
TOTAL AREA A/C	4,028

UNIT SIZE:

TOTAL LOT AREA	8,641 SF
UNIT SIZE PERMITTED (.50%):	4,320.5 SF
UNIT SIZE PROVIDED (46.6%)	4,028 SF

	BUILDING AREA (A/C)
	ENCLOSED AREA (NON A/C)



DATE	REVISION	CITY COMMENTS
10/13/15		

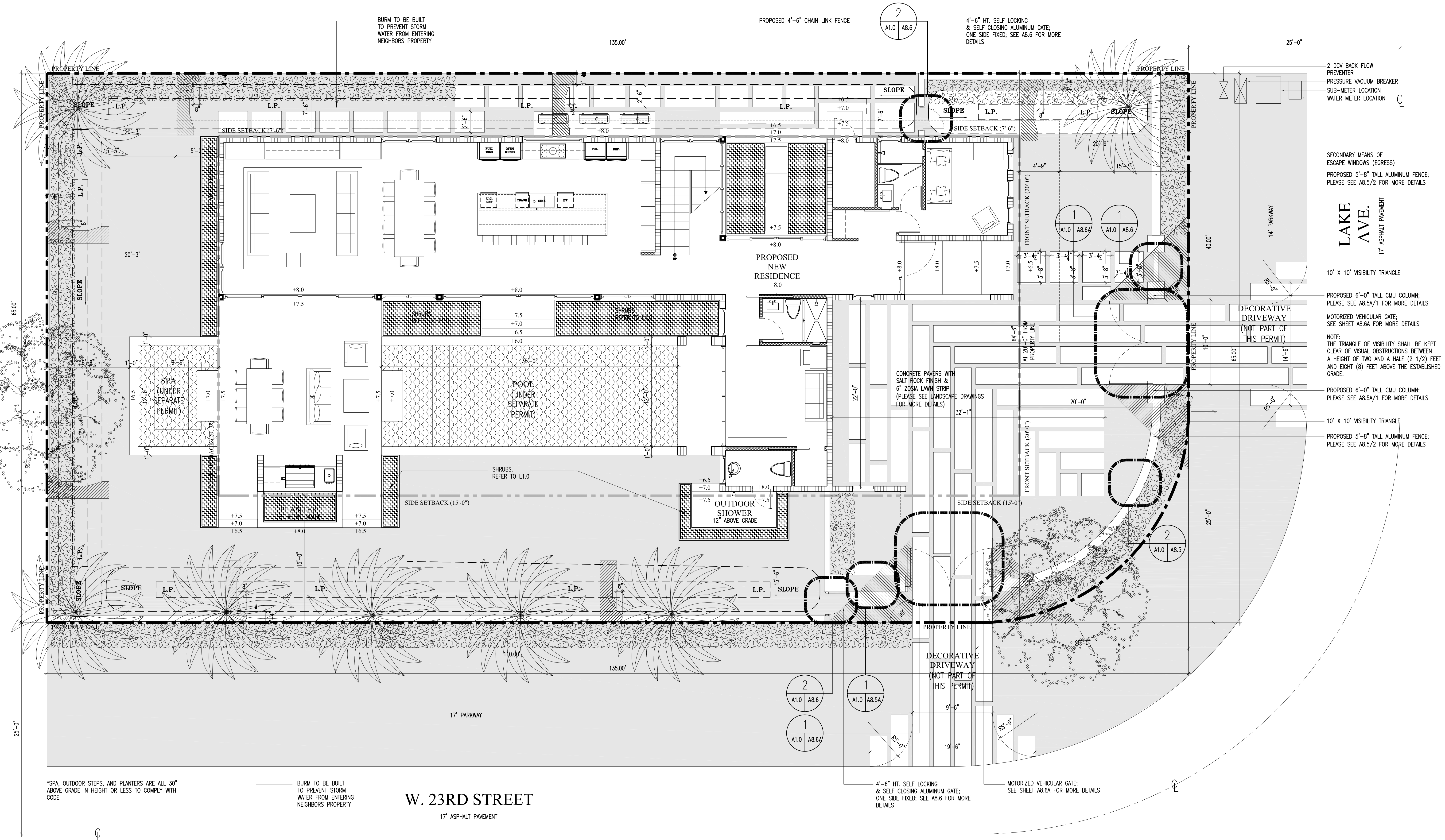
JOB NO.	1402
DRAWN BY	CM, TM, LC
DATE	09-16-15
CHECKED	CM

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ARCHITECTURE PLANNING INTERIOR DESIGN
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PERISTERIS RESIDENCE
2300 Lake Ave.
Miami Beach, FL 33140
KEY AREA PLANS

SEAL
Michael Noll, AIA
FL Architect
LIC. AR0017758
AA26000730

SHEET NO.:
A1.1



NOTE:
ATTIC ACCESS OPENING SHALL BE 22" X 30" MIN. AS PER R807.1 FBC.
ONE FULL BATHROOM (W/PRIVACY) DOOR SHALL BE 20" CLEAR AS PER R302.1.1 FBC.
SHOWERS/TUBS SHALL HAVE FLOOR/WALLS TO 6" OF NON-HABITABLE FBC R302.1.1 FBC.
THERE SHALL BE A LANDING OR A FLOOR ON EITHER SIDE OF A DOOR AS PER R314.3 FBC.
STEEL STUDS SUPPORTING WALL HANG FIXTURES AND CABINETS SHALL BE DOUBLE OR 20 GAUGE AS PER R4411.4.5.1.1 FBC.
A HORIZONTAL MEMBER FASTENED TO NO LESS THAN 2 STUDS SHALL BE PROVIDED AT WALL HANG CABINETS AS PER R4411.4.5.1.1 FBC.
THERE SHALL BE A LANDING OR A FLOOR ON EITHER SIDE OF A DOOR AS PER R314.3 FBC.
BLDG. SHALL HAVE PRE-CONSTRUCTION TREATMENT FOR TERMITES AS PER R302 FBC & TERMITE PROTECTION UNDER THE CONCRETE SLAB AS PER FBC 4408.0.5.5.
ALL INTERIOR PARTITIONS:
3 1/2" SOUND ATTENUATION BLANKET
NO FILL WILL BE INTRODUCED TO THE SITE.
LANDSCAPING WILL COMPLY WITH DADE COUNTY LANDSCAPE REQUIREMENT ORL 10-15 CHAPTER 18A
10" X 6" S/A OR 10" X 6" S/A OR 10" X 6" S/A DUCT FOR ATTIC VENTILATION (SEE SHEET A10.0 & A10.0 FOR LOCATION)
ALL RAINWATER SHALL BE RETAINED WITHIN PROPERTY.
ALL WALL & CEILING FINISHES TO HAVE A FLAME-SPREAD CLASSIFICATION NO GREATER THAN 200 AND A SMOKE-DEVELOPED INDEX NO GREATER THAN 450 AS PER ASTM E-84 OR UL 253.
ALL INSULATION MATERIALS, FACINGS, VAPOR RETARDERS TO HAVE A FLAME-SPREAD CLASSIFICATION NO GREATER THAN 20 AND A SMOKE-DEVELOPED INDEX NO GREATER THAN 450 AS PER ASTM E-84, FBC R302.0.2 OR UL 253.
FIRESTOPS MUST BE INSTALLED IN CONCEALED SPACES CREATED BY ROOF TURNING STAIRS AT FLOOR AND CEILING LEVELS AND TO LIMIT THE MAXIMUM DIMENSION OF THE CONCEALED SPACE TO 8 FT AS PER FBC 4408.0.2.1.
ALL BATHROOMS AND SHOWER FLOORS, AND WALLS ABOVE BATHROOMS AND SHOWER COMPARTMENTS MUST BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH SURFACES MUST EXTEND TO A HEIGHT OF NOT LESS THAN 12" ABOVE THE FLOOR AS PER FBC 4408.0.2.2.
SHALL COMPLY WITH FBC 2014 - R401.0.1.1.9
ALL DOORS & WINDOWS PROVIDING DIRECT ACCESS FROM THE HOME TO THE POOL SHALL BE EQUIPPED WITH AN EXIT ALARM COMPLYING WITH UL 2017 THAT HAS A MIN. SOUND PRESSURE RATING OF 85 dB A AT 10 FEET. ANY DEACTIVATION SWITCH SHALL BE LOCATED AT LEAST 54 INCHES ABOVE THE THRESHOLD OF THE ACCESS.
COMPLIANCE WITH THE FOLLOWING GLAZING REQUIREMENTS:
A-GLASS DOORS MUST BE INDICATED TO BE OF CATEGORY II
B-GLASS PANELS ADJACENT TO DOORS (WITHIN 48") MUST BE INDICATED TO BE OF CATEGORY II SAFETY GLAZING-FBC R4410.2.3.2
C-GLASS IN WINDOWS ADJACENT TO TUBS AND SHOWER COMPARTMENTS MUST BE CATEGORY II SAFETY GLAZING-FBC R4410.2.3.2 & R4410.2.3.2
D-GLASS IN BATH AND SHOWER ENCLOSURES MUST BE OF CATEGORY II SAFETY GLAZING-FBC 4410.2.3.2.2
DRAWINGS SHALL MATCH ENERGY CALCULATIONS:
ATTIC INSULATION: R-50
WALL INSULATION: R-11
FLOORED FLOOR INSULATION: R-10
ALL EXTERIOR WINDOWS WITH SILL HEIGHT LESS THAN 36" AND WITH A DROP MORE THAN 4" ON THE FAR SIDE SHALL BE CATEGORY II TYPE GLASS
CONTENT BOARD OR EQUIVALENT FOR WET AREAS FBC 2014 R702.4.2
PROVIDE WATERMARKER MATERIAL IN BATHROOM WET AREAS TO 2" MIN. ABOVE FLOOR IN COMPLIANCE W/ FBC 2014 R507
OUTDOOR APPLIANCES (FRIEDGE, ICE, SINK, BBQ) SHALL BE ELEVATED AT OR ABOVE BFE, +8.0 FT MIN
ELEVATOR SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH ASCE 24-10 SECTION 7.5 AND FEMA TECHNICAL BULLETIN 4-2010
WALL AND CEILING FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION NO GREATER THAN 200 AND A SMOKE-DEVELOPED INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 253 FBC 2014 R302.0.8
ALL ELECTRICAL, HEATING, VENTILATION, PLUMBING, AIR CONDITIONING, ELEVATOR AND POOL EQUIPMENT, AND OTHER SERVICE FACILITIES, INCLUDING DUCT WORK, GENERATOR AND ELECTRICAL PANELS SHALL BE ELEVATED AT OR ABOVE BFE, +8.0 FT MIN
ALL CONSTRUCTION MATERIALS, FINISHES, AND DOORS BELOW BFE, +8.0 FT MIN, SHALL BE FLOOD RESISTANT TO PER ASCE 24 SECTION 5.2 AND FEMA TECHNICAL BULLETIN 2-2006
ENCLOSED AREAS BELOW THE BFE SHALL BE USED SOLELY FOR PARKING, BUILDING ACCESS OR STORAGE, (PAGE 4.0.2)
FEMA OPENINGS SHALL NOT BE LESS THAN 17" IN ANY DIRECTION IN THE PLANE OF THE WALL. THE BOTTOM OF EACH OPENING SHALL BE LOCATED WITHIN 17" OR LESS ABOVE ADJACENT GROUND LEVEL. LOWERS AND JOISTING FOR FLOOD OPENING COVERS SHALL ALLOW THE AUTOMATIC FLOW OF FLOOD WATERS INTO AND OUT OF THE ENCLOSED AREA AS SPECIFIED IN FBC R302.2.2 & ASCE 24
CONTRACTOR OR OWNER SHALL SUBMIT UNDER CONSTRUCTION ELEVATION CERTIFICATE UPON PLACEMENT OF THE LOWEST FLOOR AND PRIOR TO FURTHER VERTICAL CONSTRUCTION TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL (FBC 2014, BUILDING SECTION 110.3)
CONTRACTOR OR OWNER SHALL SUBMIT FINISHED CONSTRUCTION ELEVATION CERTIFICATE PRIOR TO FINAL BUILDING INSPECTION APPROVAL OR CO.
CONTRACTOR OR OWNER SHALL SUBMIT SHOP DRAWINGS OF ELEVATOR FOR INSPECTOR'S APPROVAL. LIFT SHALL COMPLY WITH 2017 ASCE AS PER ASCE A17.1
A) CLEARANCE BETWEEN HOSTWAY DOORS OR GATES (S) OR LANDING SILL(S) & CAR DOOR(S) OR GATE(S) SHALL NOT EXCEED 2"
B) CLEARANCE BETWEEN HOSTWAY FACE OF LANDING DOOR(S) OR GATE (S) & CAR DOOR(S) OR GATE(S) SHALL NOT EXCEED 5" SECTION 5.3.1.2.2
ALL ELECTRICAL, HEATING, VENTILATION, PLUMBING, AIR CONDITIONING, ELEVATOR AND POOL EQUIPMENT, AND OTHER SERVICE FACILITIES, INCLUDING DUCT WORK, GENERATOR AND ELECTRICAL PANELS SHALL BE ELEVATED AT OR ABOVE BFE, +8.0 FT MIN
CONTRACTOR OR OWNER SHALL SUBMIT UNDER CONSTRUCTION ELEVATION CERTIFICATE UPON PLACEMENT OF THE LOWEST FLOOR AND PRIOR TO FURTHER VERTICAL CONSTRUCTION TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL (FBC 2014, BUILDING SECTION 110.3)
CONTRACTOR OR OWNER SHALL SUBMIT FINISHED CONSTRUCTION ELEVATION CERTIFICATE PRIOR TO FINAL BUILDING INSPECTION APPROVAL OR CO.

LEGAL DESCRIPTION:

SUNSET ISLANDS - ISLAND NO 3,
PB 40-8, S65FT OF LOT 4 BLK 3C
LOT SIZE: 65,000 X 135, OR 19937-2993 08 2001 1,
COC 21656-3642 09 2003 1

SCOPE OF WORK:

NEW 2 STORY CMU SINGLE FAMILY RESIDENCE + LANCAPE

PROPERTY ADDRESS:

2300 LAKE AVENUE
MIAMI BEACH, FL 33140

ZONE DISTRICTS

SINGLE FAMILY RESIDENCE (SFR)
BUILDING TYPE (ASCE TABLE 1-1)

RS-3
CATEGORY II

GROSS LOT AREA:

8,641 SF
64'-6" LOT WIDTH @ 20'-0"
FRONT SETBACK

FEMA FIRM ZONE:

FIRM MAP NUMBER
BASE FLOOD ELEVATION (LOWEST FFE)
ESTABLISHED GRADE
ADJUSTED GRADE ELEVATION
EQUIPMENT ELEVATION

AE
12086C0317L
8.00' N.G.V.D.
5.78' N.G.V.D. (4.22' N.A.V.D.)
6.89' N.G.V.D.
8'-0" N.G.V.D.

SETBACKS:

FRONT (EAST)
SIDES (N & S)
REAR (WEST)
MIN. 15% LOT DEPTH
(135 X 15%)
SECOND FLOOR FRONT SETBACK

REQUIRED
20'-0"
7'-6"
15'-0"
20'-3"
20'-0"

PROVIDED
20'-9"
7'-6"
15'-6"
20'-3"
20'-9"

F.A.R. PERMITTED:

MAX. UNIT SIZE (50% LOT AREA)
LOT COVERAGE PERMITTED (30%):

REQUIRED
4,320.5 SF
2,592.3 SF

PROVIDED
4,028 SF (46.6%)
2,160 SF (24.9%)

MAX. BUILDING HEIGHT (FLAT ROOF)
MAX. GARAGE HEIGHT
MAX. ACCESSORY STRUCTURE HEIGHT

24'-0" MAX.
18'-0" MAX.
18'-0" MAX.

24'-0"
N/A
N/A

SETBACK AREAS:

FRONT SETBACK AREA
LANDSCAPE
IMPERVIOUS

1,166 SF
408 MIN. SF (35%)
758 MAX. SF (65%)

1,166 SF
741 SF (64%)
425 SF (36%)

REAR SETBACK AREA
LANDSCAPE / POOL
DECK / ACCESSORY STRUCTURE

1,316 SF
987 MIN. SF (75%)
329 MAX. SF (25%)

1,316 SF
1,268 SF (96%)
48 SF (4%)

ROOF OVERHANGS INTO REQUIRED YARD

FRONT (20'-0")
REAR (20'-3")
NORTH (7'-6")
SOUTH (15'-0")

5'-0" (25%)
5'-0" (25%)
1'-10.5" (25%)
3'-9" (25%)

4'-9" (23.75%)
5'-0" (25%)
1'-10" (24%)
3'-2" (21%)

BUILDING AREAS:

FIRST FLOOR A/C AREA
FIRST FLOOR NON A/C AREA*

1,880 SF
381 SF

FIRST FLOOR TOTAL

2,455 SF
2,148 SF
183 SF

SECOND FLOOR TOTAL

2,331 SF
TOTAL AREA A/C
TOTAL NON A/C AREA

4,028
758
4,786

TOTAL AREAS
TOTAL ADJUSTED AREA

4,407

NOTES:

FINAL GRADING TO PROVIDE DRAINAGE OR RUN-OFF WATER WITHIN PROPERTY LINE (REFER TO LANDSCAPE FOR GRADING)

THE BUILDING SHALL RECEIVE A COMPLETE TREATMENT FOR PREVENTION OF SUBTERRANEAN TERMITES IN ACCORDANCE WITH SECTION 104.2.5 OF THE F.B.C.

BLDG. SHALL HAVE PRE-CONSTRUCTION TREATMENT FOR TERMITES AS PER R320 FBC.

REFER TO LANDSCAPE DRAWINGS FOR TREE, SHRUB, GROUND COVER, AND HARDSCAPE LOCATION AND SPECIFICATIONS.

REFER TO LANDSCAPE LIGHTING PLANS FOR SITE LIGHTING INFORMATION.

LANDSCAPING WILL ADHERE TO DADE COUNTY CHAPTER 15A ORDINANCE #96-13.

MUST MEET SECTION R1001.5 FBC.
RECONSTRUCT SWALE/SOD ALONG THE ENTIRE PROPERTY.
RECONSTRUCT SWALE/SOD ALONG THE ENTIRE PROPERTY.

MILL AND RESURFACE 2 INCHES AVERAGE USING TYPE S-HII ASPHALT MIX DESIGN ON THE DRIVING LANE (10 FOOT WIDE) ALONG THE ENTIRE PROPERTY.

ANY WORK AND/OR IMPROVEMENTS FROM/TO THE RIGHT-OF-WAY INCLUDING LANDSCAPING AND IRRIGATION REQUIRE A SEPARATE CMB PUBLIC WORKS DEPARTMENT RIGHT-OF-WAY CONSTRUCTION PERMIT.

ALL CONSTRUCTION AND/OR USE OF EQUIPMENT IN THE RIGHT-OF-WAY WILL REQUIRE A SEPARATE CITY OF MIAMI BEACH PUBLIC WORKS DEPARTMENT RIGHT-OF-WAY CONSTRUCTION PERMIT PRIOR TO START OF CONSTRUCTION.

