



4000 COLLINS AVENUE MIAMI BEACH, FL. 33140

HPB22-0551
 HPB FINAL SUBMITTAL 12-12-22

4000 COLLINS AVENUE
 4000 COLLINS AVENUE
 MIAMI BEACH, FL 33140

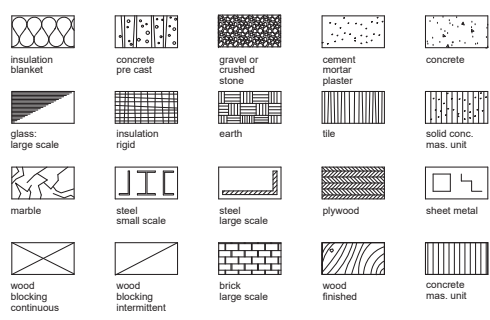
BELLINSON
 GOMEZ

ARCHITECTURE 8101 BISCAYNE BLVD. S 309, 310 MIAMI BEACH, FL 33133-4404
 AAC001062 T 305.559.1250 F 305.551.1740

NOSE J. GOMEZ
 ARCHITECT

	DWG. TITLE	COVER
	SCALE	N.T.S.
	PROJECT NO.	2022-22
	DATE	10-26-22
	SHEET NUMBER	A-000
△	DATE	REVISION

Table of abbreviations and materials. Columns include A through S, listing various building materials and components like ACOUS., A.C., A.D., etc., and their corresponding abbreviations.

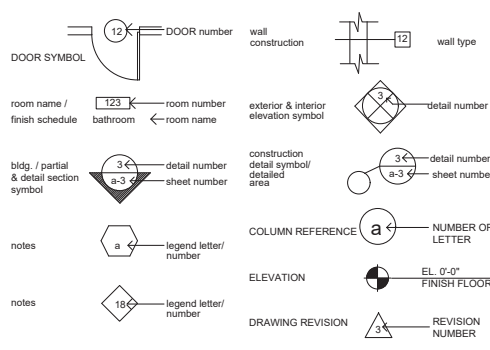


OWNER: SPOT ON VENTURES, LLC
250 SMOKE VALLEY ROAD
OSTERVILLE, MA 02655
DESIGN/PROJECT ARCHITECT: BEILINSON GOMEZ ARCHITECTS P.A.

ARCHITECTURAL drawing index table with columns for drawing number and title. Includes items like COVER, PROJECT INFORMATION & INDEX, RENDERINGS, etc.

SYMBOL LEGEND

APPLICABLE CODES



GOVERNING ZONING CODE: MIAMI BEACH, FLORIDA CODE OF ORDINANCE
BUILDING CODE: FLORIDA BUILDING CODE 2020, 7TH EDITION
EXISTING BUILDING: FLORIDA BUILDING CODE - EXISTING BUILDING CODE 2020

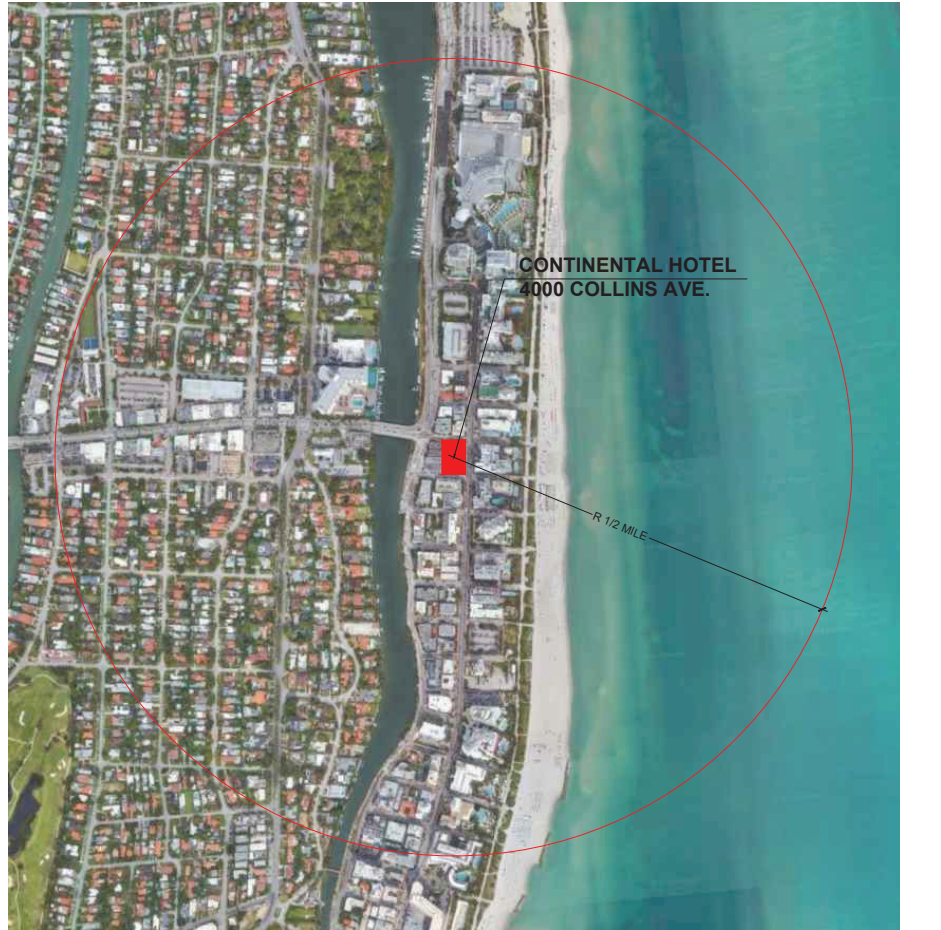
PROJECT INFORMATION

SCOPE OF WORK

THE PROJECT CONSISTS OF A PROPOSED ROOF TERRACE (ASSEMBLY USE) WITH AN ENCLOSED BAR. THIS WORK WILL ALSO INCLUDE THE EXTENSION OF AN EXISTING ELEVATOR FROM THE LAST HOTEL LEVEL TO THE PROPOSED ELEVATION OF ROOF TERRACE.

LEGAL DESCRIPTION

"HOTEL UNIT" OF 4000 COLLINS CONDOMINIUM. A CONDOMINIUM TOGETHER WITH AN UNDIVIDED INTEREST IN THE COMMON ELEMENTS APPURTENANT THERETO. ACCORDING TO THE DECLARATION OF CONDOMINIUM RECORDED IN OFFICIAL RECORDS BOOK 33153, PAGE 4459, AS AMENDED FROM TIME TO TIME. OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, SAID PARCEL OF LAND WHOLLY WITHIN.



4000 COLLINS AVENUE
4000 COLLINS AVENUE
MIAMI BEACH, FL 33140



DWG. TITLE: PROJECT INFORMATION & INDEX
SCALE: N.T.S.
PROJECT NO.: 2022-22
DATE: 10-26-22
SHEET NUMBER: A-001

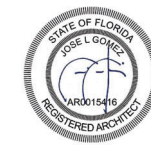


EXISTING
BLDG SIGN

EXISTING
BLDG SIGN

4000 COLLINS AVENUE
4000 COLLINS AVENUE
MIAMI BEACH, FL 33140

BEILINSON
GOMEZ



BEILINSON GOMEZ ARCHITECTURE
8101 BISCAYNE BLVD. # 309, 310
MIAMI BEACH, FL 33141
TEL: 305.559.1250 FAX: 305.551.1740

DWG. TITLE	RENDERINGS
SCALE	N.T.S.
PROJECT NO.	
DATE	2022-22
SHEET NUMBER	10-26-22
REVISION	R-001



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BLDG SIGN

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BLDG SIGN

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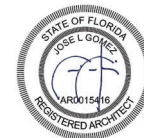


	DWG. TITLE	RENDERINGS
	SCALE	VARIES
	PROJECT NO.	
	DATE	2022-22
	SHEET NUMBER	10-26-22
△ DATE	REVISION	R-002



4000 COLLINS AVENUE
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 MIAMI BEACH, FL 33140

**BELINSON
 GOMEZ**
 ARCHITECTURE
 AAC001062

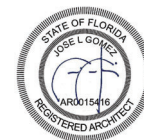


8101 BISCAYNE BLVD. S 309, 310
 MIAMI BEACH, FL 33138
 T 305.559.1250 F 305.551.1740
JOSE L. GOMEZ

DWG. TITLE	RENDERINGS
SCALE	N.T.S.
PROJECT NO.	2022-22
DATE	10-26-22
SHEET NUMBER	R-003
DATE	REVISION



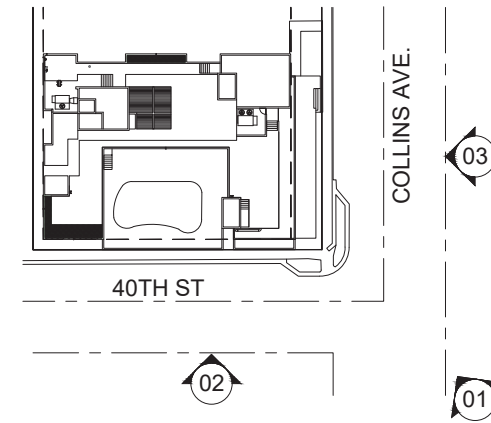
4000 COLLINS AVENUE
 4000 COLLINS AVENUE
 MIAMI BEACH, FL 33140



	DWG. TITLE	RENDERINGS
	SCALE	N.T.S.
	PROJECT NO.	
	DATE	2022-22
	SHEET NUMBER	10-26-22
△ DATE	REVISION	R-004



RENDERING 01



KEY PLAN



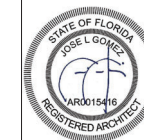
RENDERING 02



RENDERING 03

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 JOSE L. GOMEZ
 ARCHITECT

	DWG. TITLE	RENDERINGS
	SCALE	N.T.S.
	PROJECT NO.	2014-28
	DATE	12-06-22
	SHEET NUMBER	R-005
△	DATE	REVISION



01



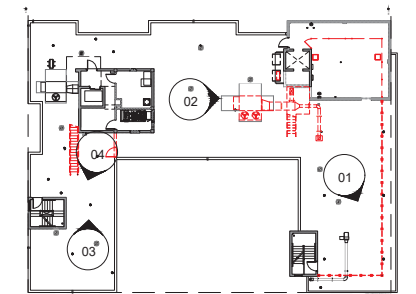
02



03



04

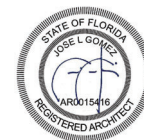


KEY PLAN

4000 COLLINS AVENUE

4000 COLLINS AVENUE
MIAMI BEACH, FL 33140

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BEILINSON GOMEZ ARCHITECTURE 8101 BISCAYNE BLVD. S 309, 310
MIAMI BEACH, FL 33138-4614
TEL: 305.559.1250 FAX: 305.551.1740

JOSE L. GOMEZ
REGISTERED ARCHITECT

DATE	REVISION	DWG. TITLE
		CURRENT ROOF PHOTOGRAPH
		SCALE N.T.S.
		PROJECT NO.
		DATE 2022-22
		10-26-22
		SHEET NUMBER
		A-002



01

SOUTH-EAST VIEW



02

SOUTH-WEST VIEW



03

NORTH-WEST VIEW



04

NORTH-EAST VIEW



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BEILINSON GOMEZ ARCHITECTURE 8101 BISCAYNE BLVD. # 309, 310 MIAMI, FL 33138 T 305.559.1250 F 305.551.1740 JOSE L. GOMEZ

DWG. TITLE	AERIAL PHOTOGRAPHS
SCALE	N.T.S.
PROJECT NO.	
DATE	2022-22
SHEET NUMBER	10-26-22
DATE	REVISION

A-003



01



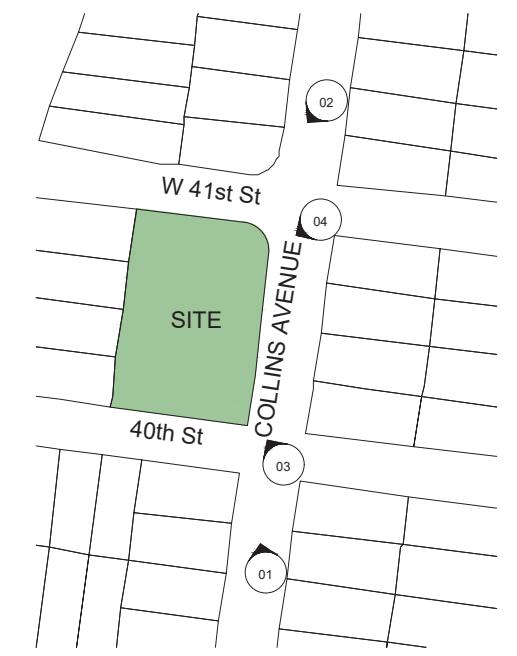
02



03



04



KEY PLAN

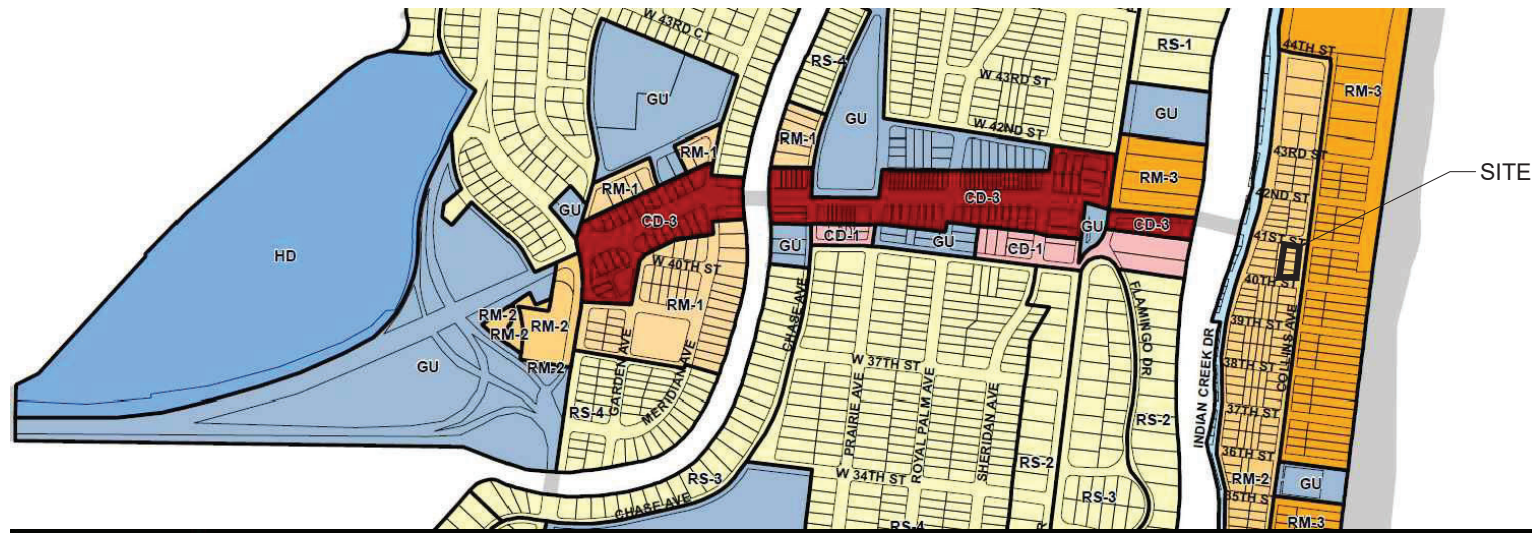
4000 COLLINS AVENUE
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BEILINSON GOMEZ ARCHITECTURE 8101 BISCAYNE BLVD. # 309 310 MIAMI BEACH, FL 33141
 TEL: 305.559.1250 FAX: 305.551.1740

DWG. TITLE	CONTEXT PHOTOGRAPHS
SCALE	N.T.S.
PROJECT NO.	2022-22
DATE	10-26-22
SHEET NUMBER	A-004
DATE	REVISION



ZONING DISTRICTS			
RS-1 Single family residential	CD-3 Commercial, high intensity	WD-2 Waterway district	CPS-4 Commercial performance standard, intensive phased bayside
RS-2 Single family residential	I-1 Urban light industrial	RO Residential office	RMPS-1 Residential mixed use performance standard
RS-3 Single family residential	MXE Mixed use entertainment	GC Golf course	SPE Special public facilities educational district
RS-4 Single family residential	HD Hospital district	RPS-1 Residential performance standard, medium-low density	TC-C North Beach Town Center central core
TH Townhome residential	MR Marine recreational	RPS-2 Residential performance standard, medium density	TC-1 North Beach Town Center core
RM-1 Residential multifamily, low intensity	GU Civic and government use	RPS-3 Residential performance standard, medium-high density	TC-2 North Beach Town Center mixed use
RM-2 Residential multifamily, medium intensity	CCC Convention center district	RPS-4 Residential performance standard, high density	TC-3 North Beach Town Center residential/office
RM-3 Residential multifamily, high intensity	RM-PRD Multifamily, planned residential development district	CPS-1 Commercial performance standard, limited mixed use	TC-3(c) North Beach Town Center residential/office with conditional neighborhood commercial
CD-1 Commercial, low intensity	RM-PRD-2 Multifamily, planned residential development district	CPS-2 Commercial performance standard, general mixed use	
CD-2 Commercial, medium intensity	WD-1 Waterway district	CPS-3 Commercial performance standard, intensive mixed use	

FOR AN OFFICIAL ZONING DETERMINATION PLEASE CONTACT THE PLANNING DEPARTMENT.



LOCAL HISTORIC DISTRICTS	
Espanola Way Historic District	Palm View Historic District
Altos del Mar Historic District	Collins Waterfront Historic District
Flamingo Park Historic District	North Beach Resort Historic District
Ocean Drive/Collins Avenue Historic District	Flamingo Waterway Historic District
Museum Historic District	Morris Lapidus/Mid 20th Century Historic District
Ocean Beach Historic District	North Shore Historic District
Harding Townsite Historic District	Nomandy Isles Historic District

NATIONAL REGISTER HISTORIC DISTRICTS	
Miami Beach Architectural District	Collins Waterfront Architectural District
Nomandy Isles Historic District	
North Shore Historic District	

LOCAL HISTORIC SITES	
1 Old City Hall Historic Site	8 Dade Blvd Fire Station Historic Site
2 21st St Recreation Center Historic Site	9 PineTree Dr Historic Roadway
3 Congregation Beth Jacob Historic Site	10 Flagler Memorial and Monument Island Historic Site
4 Venetian Causeway Historic Site	11 69th St Fire Station Historic Site
5 Miami Beach Woman's Club Historic Site	12 28th St Obelisk and Pumping Station Historic Structure
6 Sunset Island Bridges Historic Structures	13 1600 Lenox Ave Historic Site
7 The Bath Club Historic Site	14 36 Ocean Dr Historic Site
	15 1700 Alton Rd Historic Site

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DATE	REVISION	DWG. TITLE
		ZONING MAPS
		SCALE N.T.S.
		PROJECT NO.
		DATE 2022-22
		SHEET NUMBER 10-26-22
		A-005

LOT SIZE 27,926 S.F.

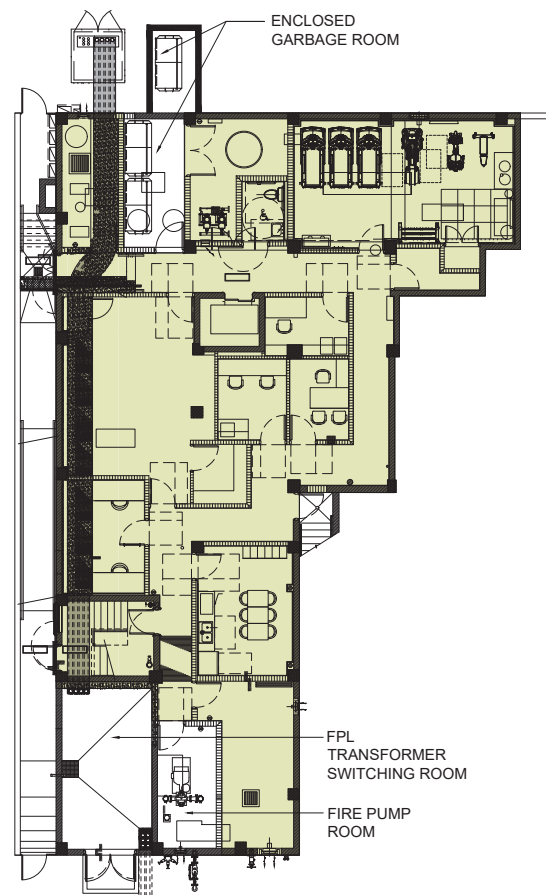
MAX ALLOWED
FAR 2.0 = 55,852 S.F.

EXISTING FLOOR AREA

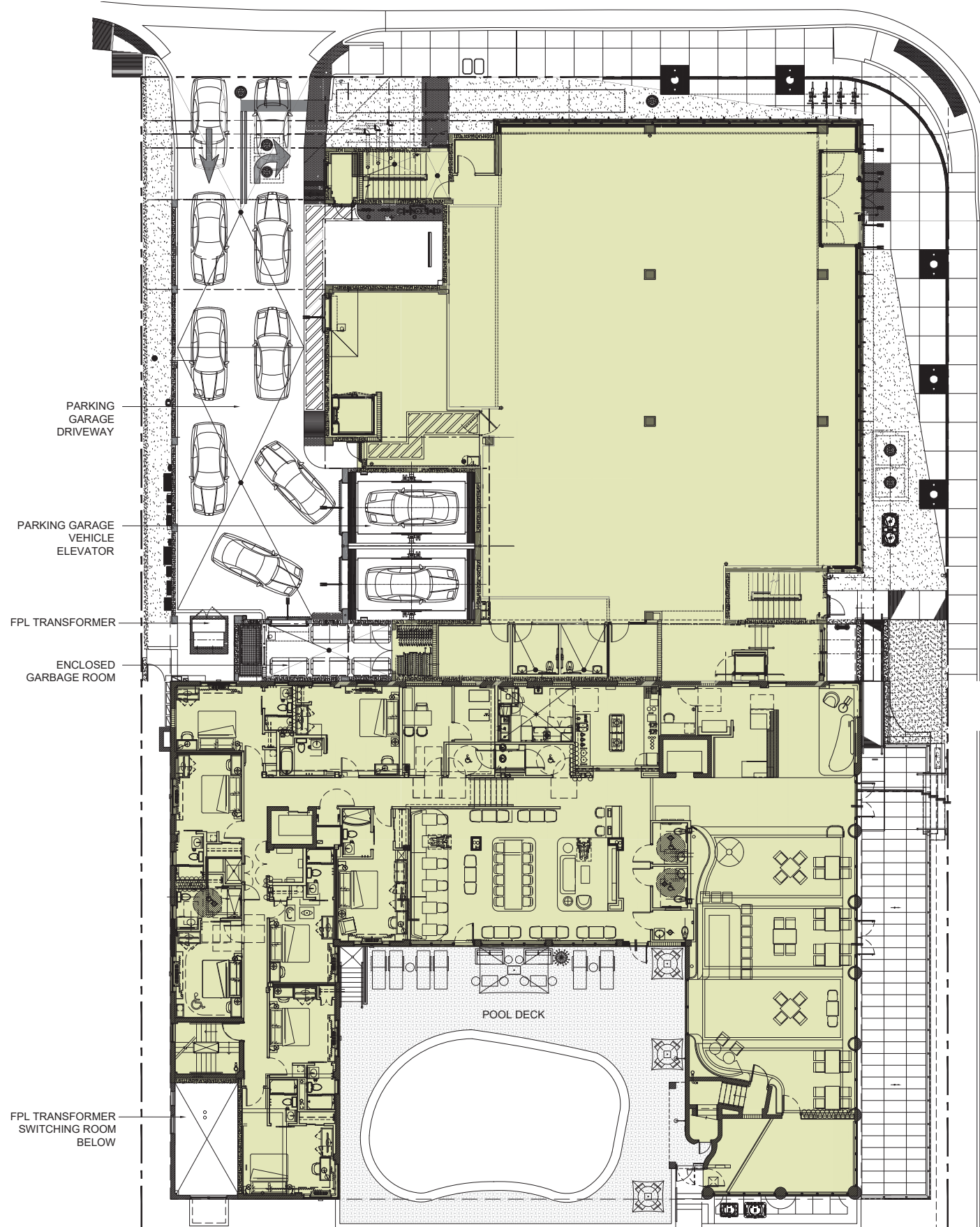
EXISTING HOTEL		EXISTING PARKING GARAGE BLDG	
BASEMENT (HALF)	1,503 S.F.		
GROUND	7,820 S.F.	GROUND	7,775 S.F.
SECOND	8,185 S.F.	SECOND	2,462 S.F.
THIRD	8,185 S.F.	THIRD	443 S.F.
FOURTH	7,962 S.F.	FOURTH	443 S.F.
FIFTH	7,962 S.F.	ROOF	N/A
ROOF	860 S.F.		
42,477 S.F.		11,125 S.F.	

TOTAL EXISTING FLOOR AREA 42,477+11,125 = 53,602 S.F.

NOTE: SEE A-006.3 FOR PROPOSED FLOOR AREA CALCULATIONS.



BASEMENT 1,503 S.F.



GROUND LEVEL 15,595 S.F.

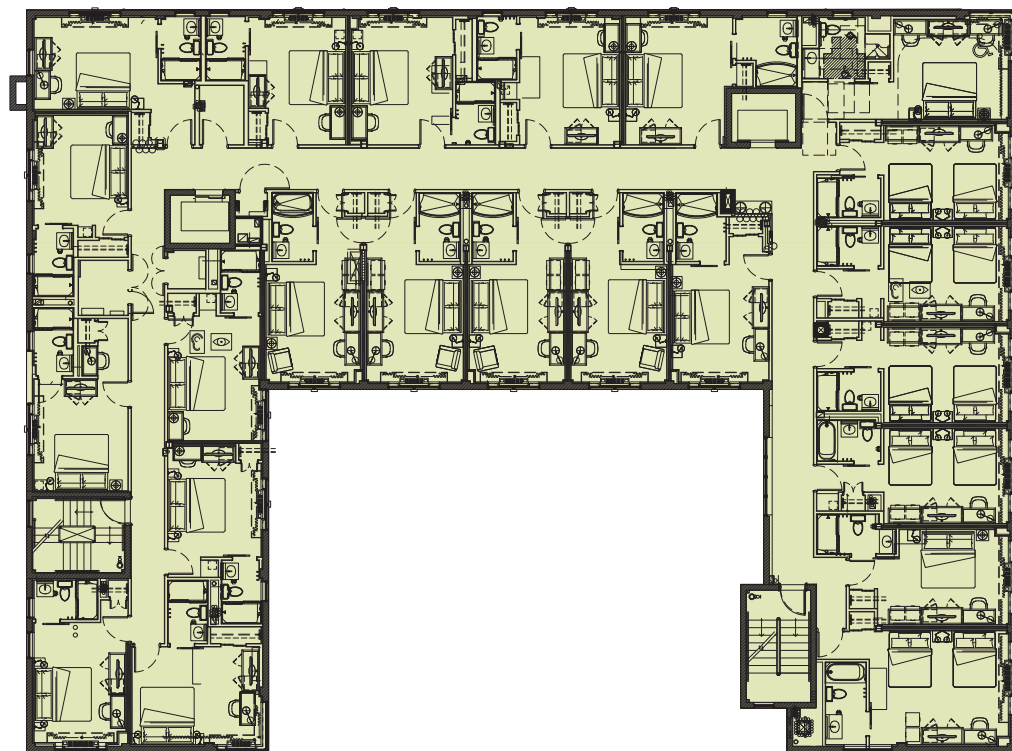
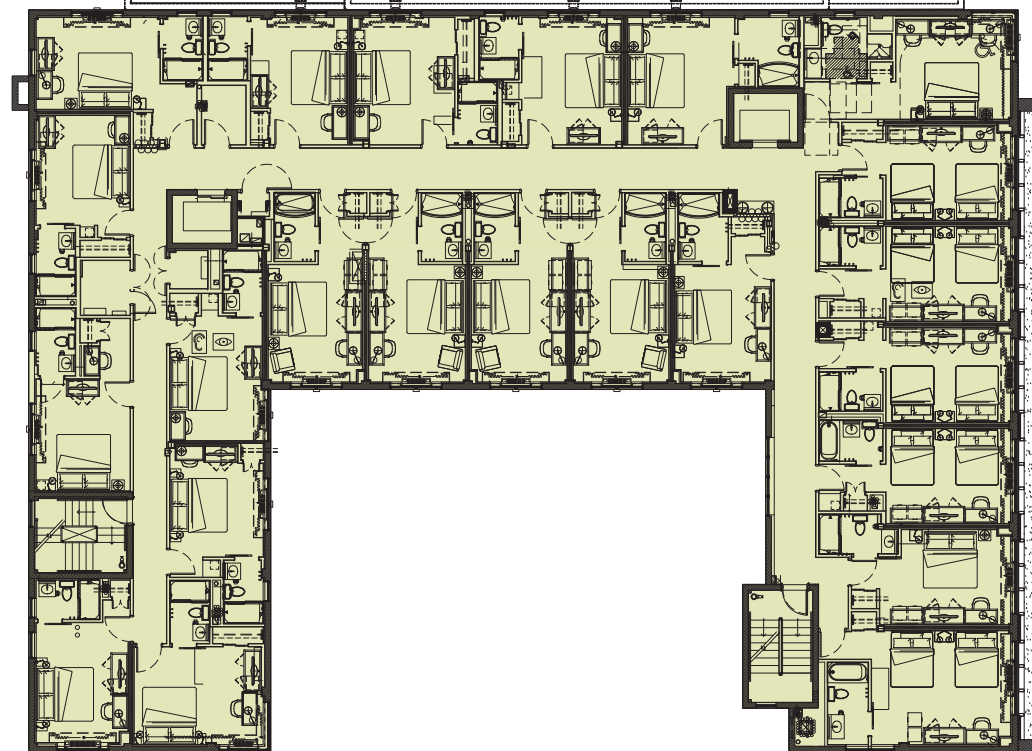
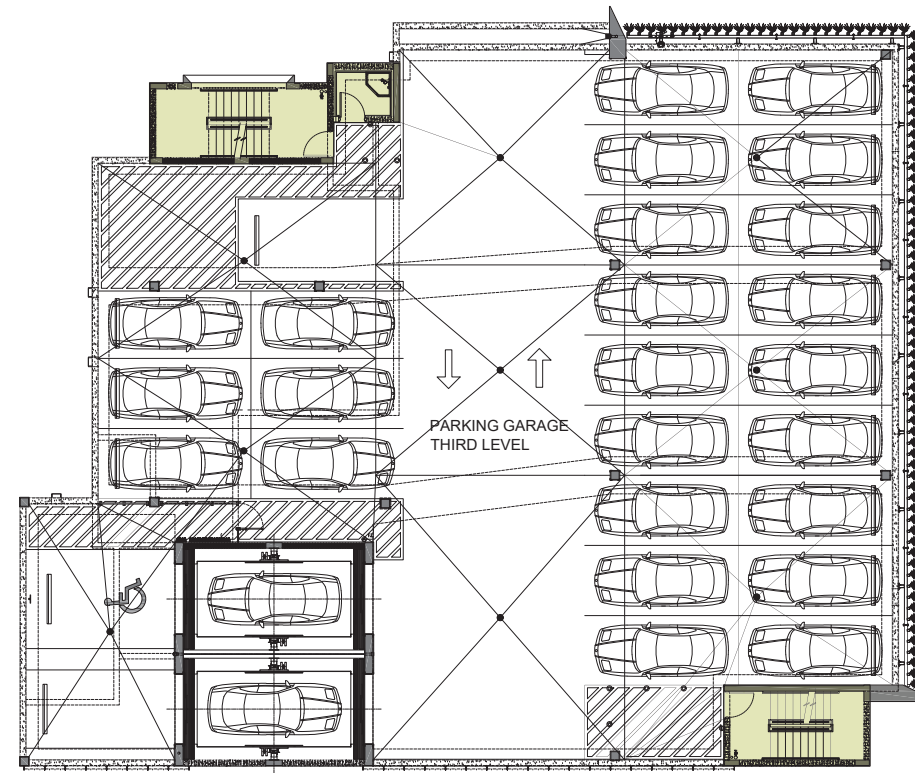
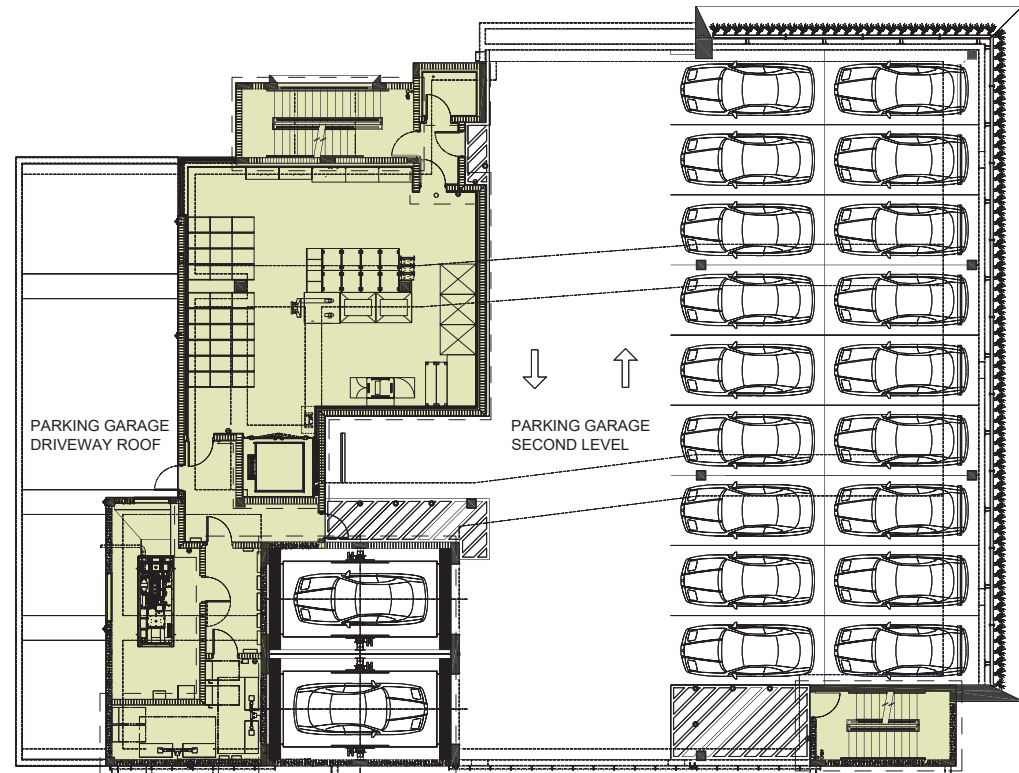
4000 COLLINS AVENUE
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MIAMI BEACH, FL 33140

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ARCHITECTURE 8101 BISCAYNE BLVD. S 309, 310
A A C 0 0 1 0 6 2 T 305.559.1250 F 305.551.1740 JOSE L. GOMEZ

DWG. TITLE	FLOOR AREA DIAGRAMS
SCALE	N.T.S.
PROJECT NO.	2022-22
DATE	10-26-22
SHEET NUMBER	A-006
DATE	REVISION



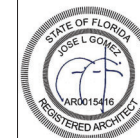
2TH LEVEL 8,405 S.F.

3TH LEVEL 7,962 S.F.

4000 COLLINS AVENUE

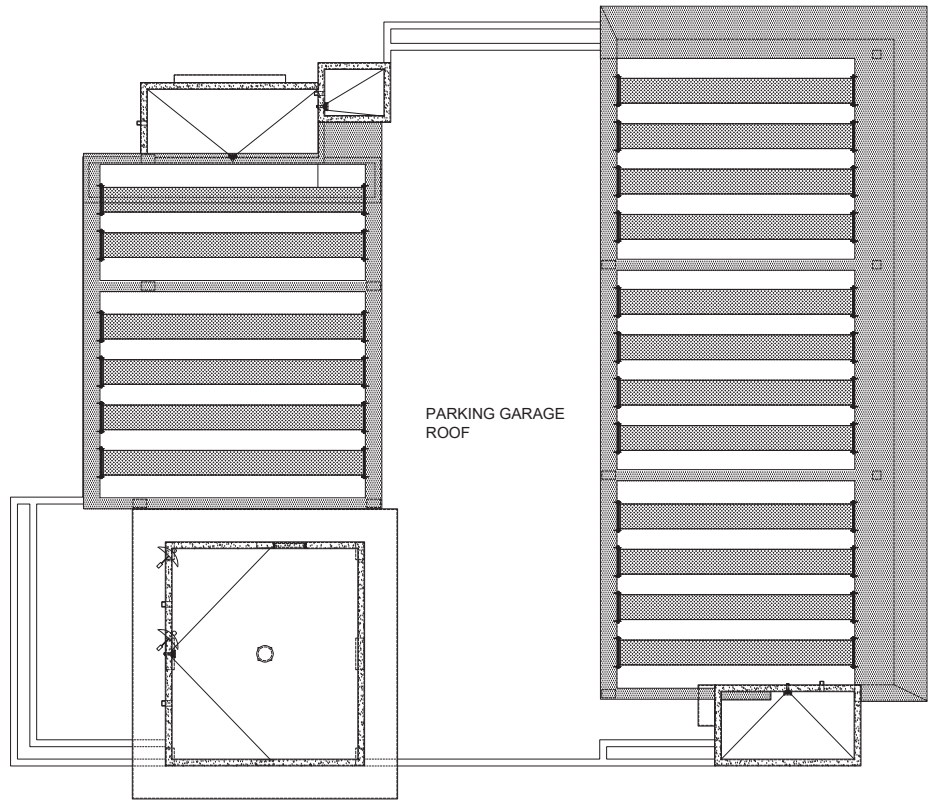
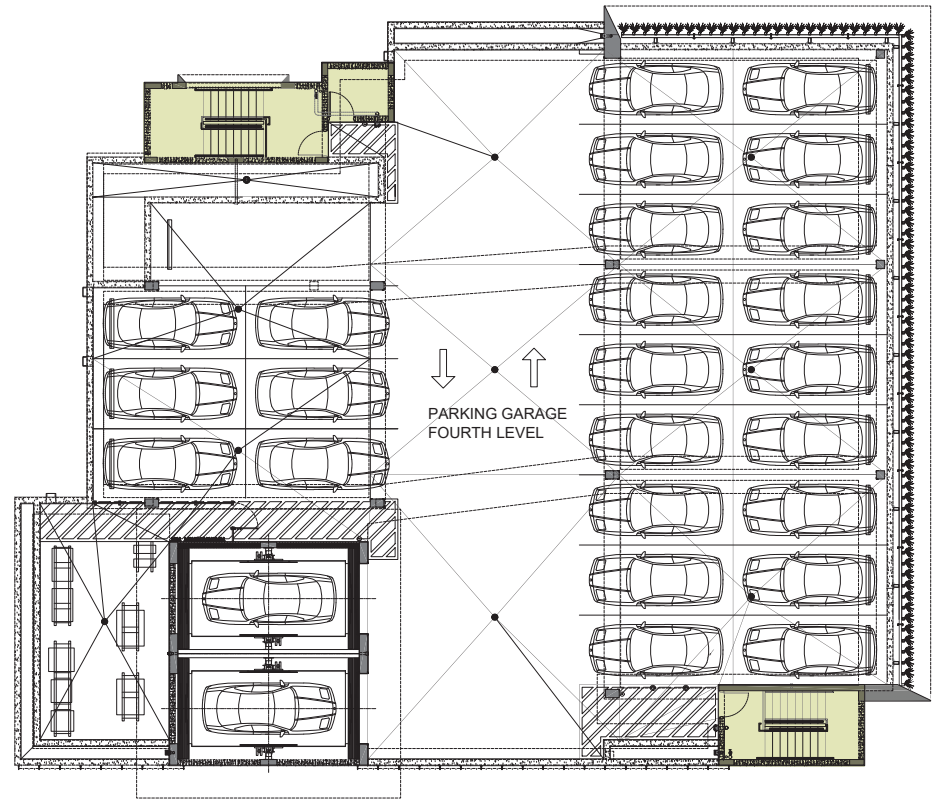
4000 COLLINS AVENUE
MIAMI BEACH, FL 33140

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BEILINSON GOMEZ ARCHITECTURE 8101 BISCAYNE BLVD. # 309, 310 MIAMI BEACH, FL 33141
A A C 0 0 1 0 6 2 T 305.559.1250 F 305.551.1740 J O S E L . G O M E Z

DWG. TITLE	FLOOR AREA DIAGRAMS
SCALE	N.T.S.
PROJECT NO.	2022-22
DATE	10-26-22
SHEET NUMBER	A-006.1
DATE	REVISION

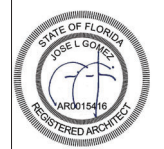


4TH LEVEL 8,405 S.F.

5TH LEVEL 7,962 S.F.

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 MIAMI BEACH, FL 33140

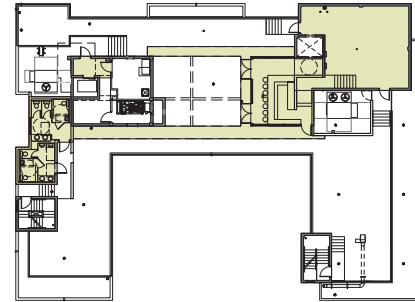
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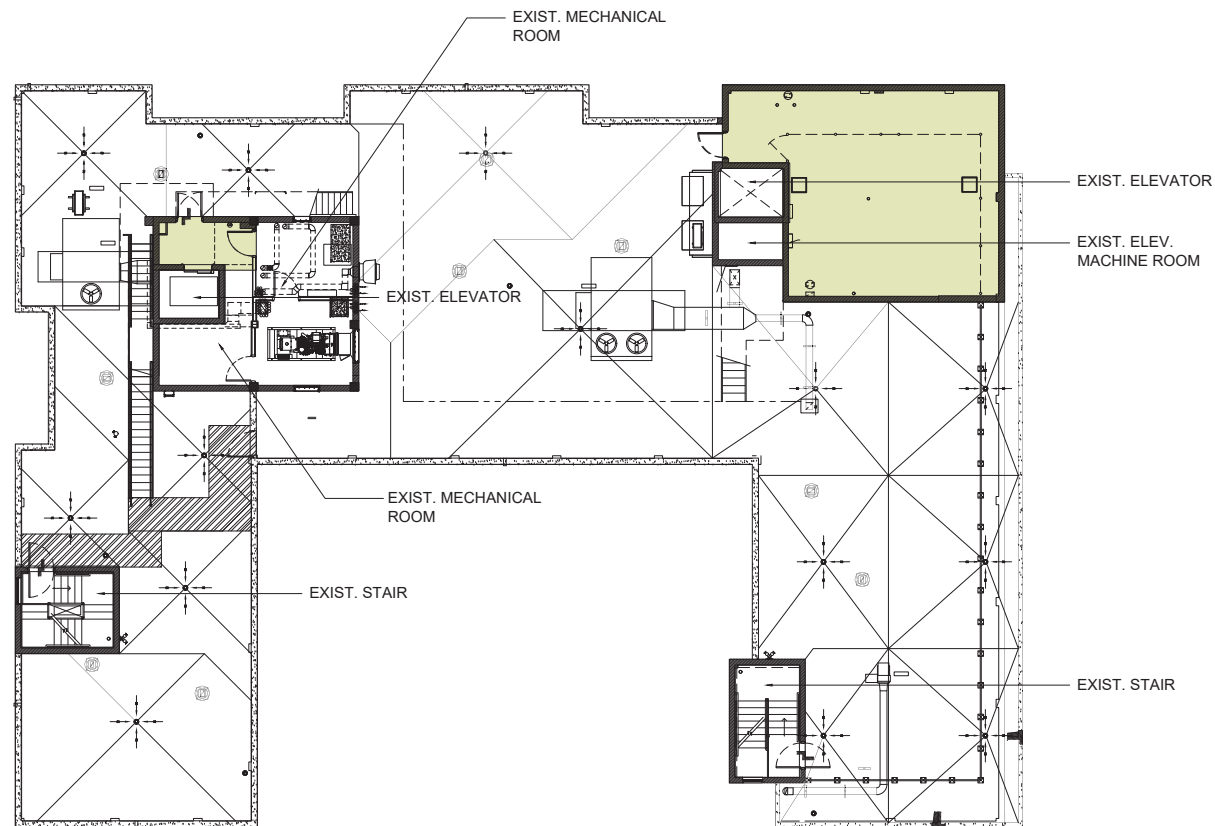
ARCHITECTURE 8101 BISCAYNE BLVD. S 309, 310
 AAC001062 T 305.559.1250 F 305.551.1740 JOSE L. GOMEZ

DWG. TITLE	FLOOR AREA DIAGRAMS
SCALE	N.T.S.
PROJECT NO.	
DATE	2022-22
SHEET NUMBER	10-26-22
DATE	REVISION
	A-006.2

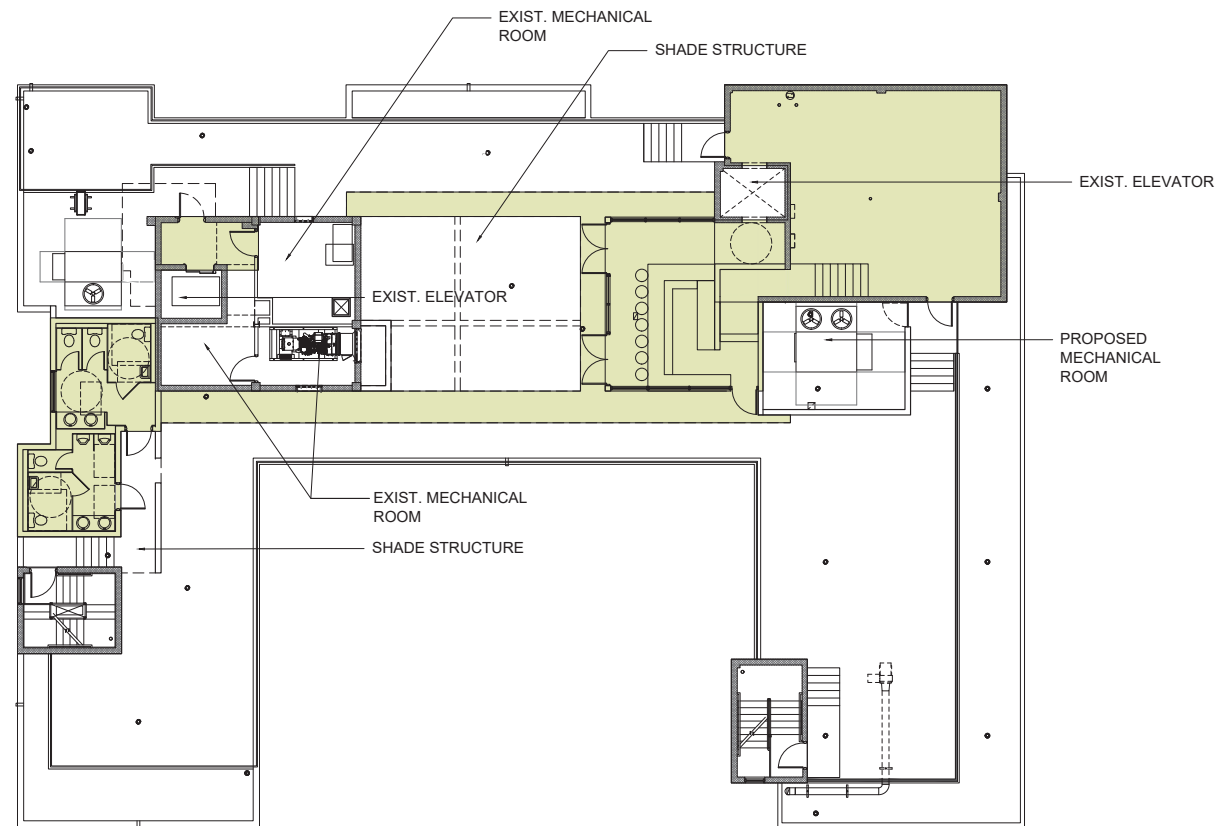
PROPOSED FLOOR AREA		EXISTING	FAR PROPOSED 1.96
EXISTING HOTEL			
BASEMENT (HALF)	1,503 S.F.		
GROUND	7,820 S.F.		
SECOND	8,185 S.F.		
THIRD	8,185 S.F.		
FOURTH	7,962 S.F.		
FIFTH	7,962 S.F.		
PROPOSED ROOF	2,080 S.F.		
TOTAL	43,697 S.F.		
TOTAL PROPOSED FLOOR AREA 43,697 + 11,125 = 54,822 S.F.			



PROPOSED ROOF LEVEL 2,080 S.F.



EXISTING ROOF LEVEL 860 S.F.

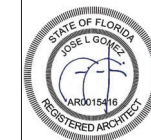


PROPOSED ROOF LEVEL 2,080 S.F.

4000 COLLINS AVENUE

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BEILINSON GOMEZ ARCHITECTURE 8101 BISCAYNE BLVD. # 309, 3110 MIAMI, FL 33148
TEL: 305.551.1740 FAX: 305.551.1749

DATE	REVISION	DWG. TITLE
		FLOOR AREA DIAGRAMS
		SCALE N.T.S.
		PROJECT NO. 2022-22
		DATE 10-26-22
		SHEET NUMBER A-006.3

ITEM #	Zoning Information			
1	Address:	4000 COLLINS AVENUE		
2	Board and file numbers :	HPB22-0551		
3	Folio number(s):	02-3226-001-1930		
4	Year constructed:	1948	Zoning District:	RM-2
5	Based Flood Elevation:	7.0 NGVD	Grade value in NGVD:	3.5' NGVD
6	Adjusted grade (Flood+Grade/2):	5.25' NGVD	Lot Area:	27,926 S.F.
7	Lot width:	200'-0"	Lot Depth:	140'-0"
8	Minimum Unit Size	N/A	Average Unit Size	N/A
9	Existing use:	HOTEL	Proposed use:	HOTEL

	Maximum	Existing	Proposed	Deficiencies
10	Height	75'-0"	EXISTING	EXISTING
11	Number of Stories	8	5	6
12	FAR	2.00	1.93	1.96
13	Gross square footage	55,852 S.F.	53,602 S.F.	54,822 S.F.
14	Square Footage by use	N/A	N/A	N/A
15	Number of units Residential	N/A	N/A	N/A
16	Number of units Hotel	N/A	N/A	N/A
17	Number of seats	N/A	N/A	N/A
18	Occupancy load	N/A	N/A	N/A

	Setbacks	Required	Existing	Proposed	Deficiencies
Subterranean:					
19	Front Setback:	20'-0"	N/A	N/A	N/A
20	Side Setback:	16'-0" (8%)	EXISTING	EXISTING TO REMAIN	
21	Side Setback:	N/A	N/A	N/A	N/A
22	Side Setback facing street:	40TH ST 16'-0" (8%)	5'-0" PER HPB 21-0480	EXISTING TO REMAIN	
23	Rear Setback:	14'-0"	5'-0" PER HPB 21-0481	EXISTING TO REMAIN	
At Grade Parking:					
24	Front Setback:	N/A	N/A	N/A	N/A
25	Side Setback:	N/A	N/A	N/A	N/A
26	Side Setback:	N/A	N/A	N/A	N/A
27	Side Setback facing street:	N/A	N/A	N/A	N/A
28	Rear Setback:	N/A	N/A	N/A	N/A
Pedestal:					
29	Front Setback:	20'-0"	15'-0" PER HPB 21-0480	EXISTING TO REMAIN	
30	Side Setback:	16'-0" (8%)	EXISTING	EXISTING TO REMAIN	
31	Side Setback:	N/A	N/A	N/A	N/A
32	Side Setback facing street:	40TH ST 16'-0" (8%)	5'-0" PER HPB 21-0480	EXISTING TO REMAIN	
33	Rear Setback:	14'-0"	5'-0" PER HPB 21-0480	EXISTING TO REMAIN	
Tower:					
34	Front Setback:	N/A	N/A	N/A	N/A
35	Side Setback:	N/A	N/A	N/A	N/A
36	Side Setback:	N/A	N/A	N/A	N/A
37	Side Setback facing street:	N/A	N/A	N/A	N/A
38	Rear Setback:	N/A	N/A	N/A	N/A

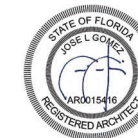
	Parking	Required	Existing	Proposed	Deficiencies
39	Parking district	PARKING DISTRICT 1			
40	Total # of parking spaces	N/A	N/A	N/A	
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	N/A
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	N/A
43	Parking Space Dimensions	N/A	N/A	N/A	N/A
44	Parking Space configuration (45o,60o,90o,Parallel)	N/A	N/A	N/A	N/A
45	ADA Spaces	N/A	N/A	N/A	N/A
46	Tandem Spaces	N/A	N/A	N/A	N/A
47	Drive aisle width	N/A	N/A	N/A	N/A
48	Valet drop off and pick up	N/A	N/A	N/A	N/A
49	Loading zones and Trash collection	N/A	N/A	N/A	N/A
50	racks	N/A	N/A	N/A	N/A

	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51	Type of use	ROOF LEVEL	NONE	RESTAURANT/ ROOF TERRACE	
52	Number of seats located outside on private property		NONE	NONE	
53	Number of seats inside		NONE	7	
54	Total number of seats		NONE		
55	Total number of seats per venue (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	N/A
56	Total occupant content	ROOF LEVEL	NONE	258 OCCUPANTS AS PER FBC B. TABLE 1004.5	
57	Occupant content per venue (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	N/A

58	Proposed hours of operation				
59	Is this an NIE? (Neighborhood Impact Establishment, see CMB 141-1361)	NO			
60	Is dancing and/or entertainment proposed	NO			
61	Is this a contributing building?		Yes or No		
62	Located within a Local Historic District?		Yes or No		

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4000 COLLINS AVENUE
MIAMI BEACH, FL 33140

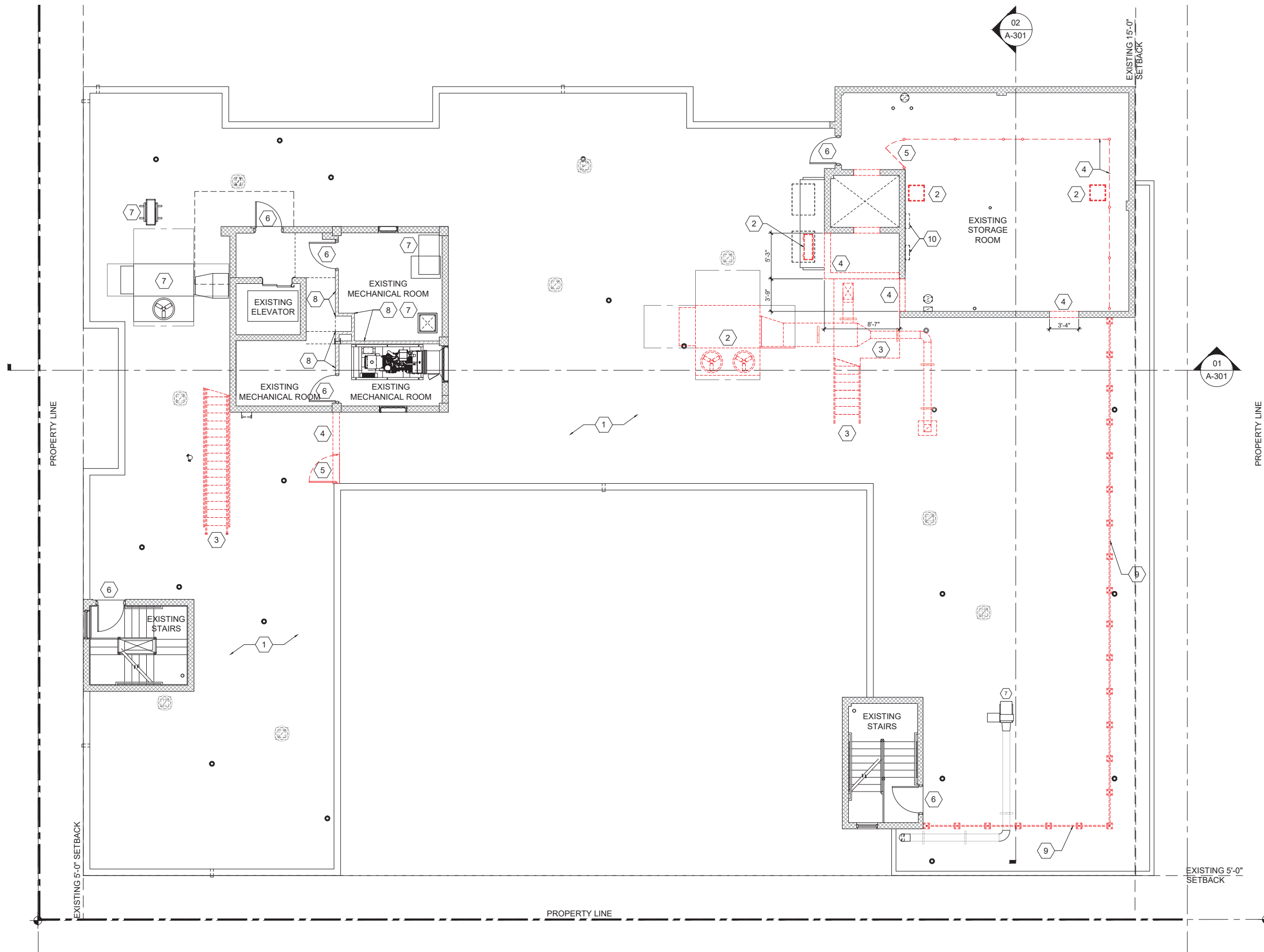
BEILINSON
GOMEZ



DWG. TITLE	ZONING CHART
SCALE	N.T.S.
PROJECT NO.	
DATE	2022-22
SHEET NUMBER	10-26-22

DATE REVISION

A-007



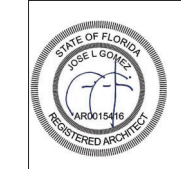
- LEGENDS:**
- EXISTING WALL / PARTITION TO BE DEMOLISHED
 - EXISTING INTERIOR PARTITION TO REMAIN
 - EXISTING CMU / CONCRETE WALL TO REMAIN
 - EXISTING DOOR AND FRAME TO REMAIN
 - EXISTING STRUCTURAL COLUMNS TO REMAIN
 - EXISTING DOOR AND FRAME TO BE REMOVED

- DEMOLITION KEY NOTES:**
- 1 EXISTING ROOF TO BE PATCH & REPAIR AS REQUIRED
 - 2 EXISTING MECHANICAL EQUIPMENT TO BE RELOCATED
 - 3 EXISTING SERVICE STAIR/METAL PLATFORM TO BE REMOVED
 - 4 EXISTING CMU/CONCRETE WALL TO BE DEMOLISHED
 - 5 EXISTING DOOR TO BE REMOVED
 - 6 EXISTING DOOR TO REMAIN
 - 7 EXISTING MECHANICAL EQUIPMENT TO REMAIN
 - 8 EXISTING INTERIOR PARTITION TO REMAIN
 - 9 EXISTING RAILING TO BE REMOVED
 - 10 EXISTING ELECTRICAL PANELS TO REMAIN

DEMOLITION ROOF PLAN

4000 COLLINS AVENUE
 4000 COLLINS AVENUE
 MIAMI BEACH, FL 33140

**BELLINSON
 GOMEZ**

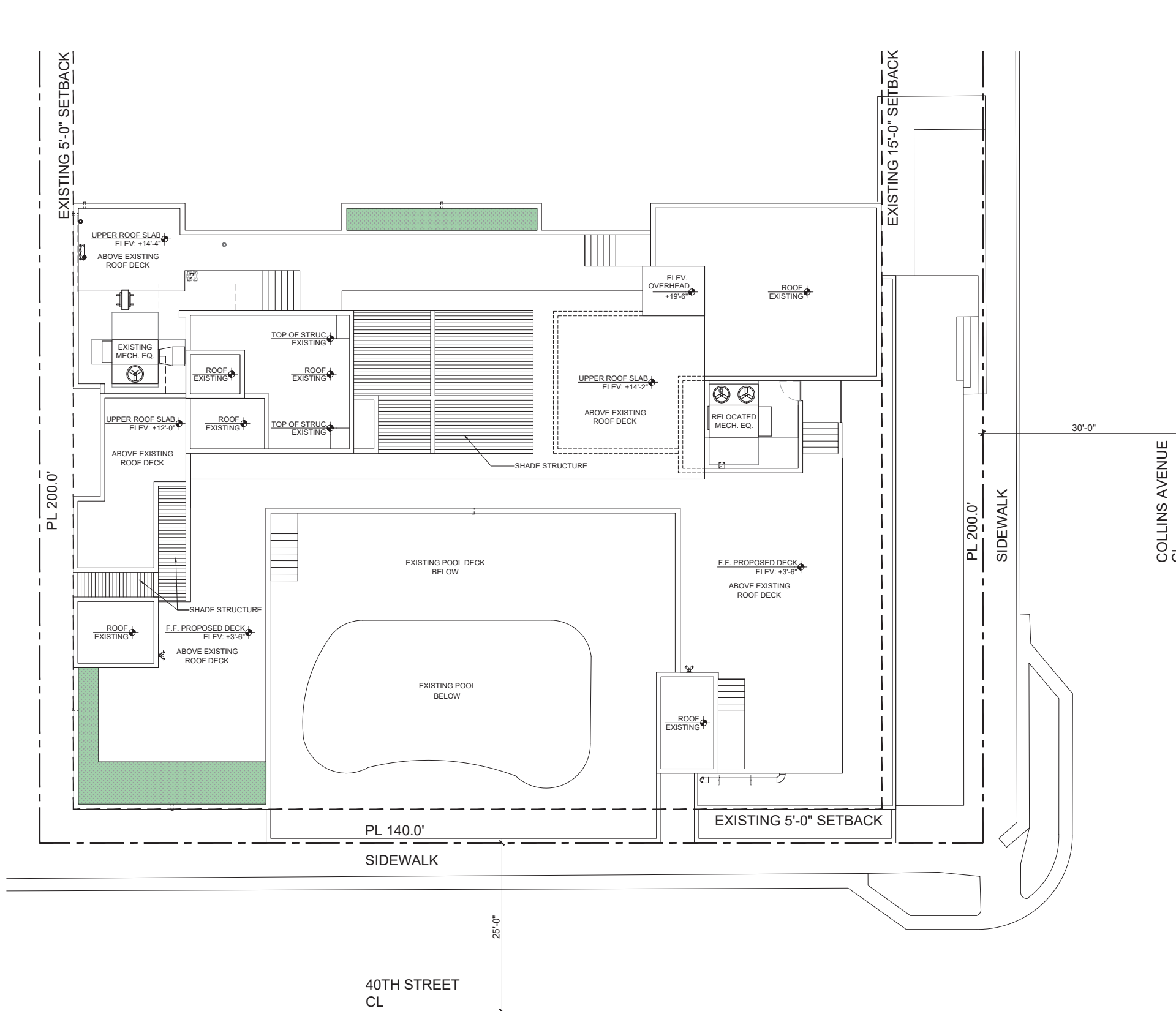


DWG. TITLE	EXISTING DEMO ROOF PLAN
SCALE	3/16"=1'-0"
PROJECT NO.	2022-22
DATE	10-26-22
SHEET NUMBER	ED-104
DATE	REVISION

CONSULTANT

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ARCHITECTURE 8101 BISCAYNE BLVD. S 309, 310
 AAC001062 T 305.559.1250 F 305.551.1740
 JOSE L. GOMEZ
 R 0 1 9 4 1 6



LEGAL DESCRIPTION

"HOTEL UNIT" OF 4000 COLLINS CONDOMINIUM , A CONDOMINIUM TOGETHER WITH AN UNDIVIDED INTEREST IN THE COMMON ELEMENTS APPURTENANT THERETO, ACCORDING TO THE DECLARATION OF CONDOMINIUM RECORDED IN OFFICIAL RECORDS BOOK 33153, PAGE 4459, AS AMENDED FROM TIME TO TIME, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA,

SAID PARCEL OF LAND WHOLLY WITHIN,

LOTS 10 THRU 15 INCLUSIVE ,BLOCK 34, LESS A PART OF LOT 13 AT THE NORTHEASTERLY CORNER THEREOF, BOUNDED BY THE TANGENTS TO AN ARC OF A CIRCULAR CURVE HAVING A CENTRAL ANGLE OF 90°00'00" ,A RADIUS OF 20.00 FEET, SAID EXCEPTED PART OF LOT 13 RECORDED IN DEED BOOK 2723, AT PAGE 294, DADE COUNTY, FLORIDA, ALL SHOWN ON THE AMENDED MAP OF THE OCEAN FRONT PROPERTY OF THE MIAMI BEACH IMPROVEMENT CO., PLAT BOOK 5, AT PAGE 7 AND 8 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA.

TOGETHER WITH:

ANY AND ALL REAL PROPERTY INTERESTS PURSUANT TO THAT CERTAIN PARKING LICENSE AGREEMENT , AS EVIDENCED BY THAT CERTAIN MEMORANDUM OF PARKING LICENSE AGREEMENT DATED ____, 2022, AND RECORDED IN BOOK ____, PAGE ____, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

NOTE:

ALL ELEVATIONS ARE SHOWN ABOVE EXISTING ROOF (EXISTING ROOF 0'-0")

SITE PLAN WITH PROPOSED ROOF DECK
SCALE 1/8"=1'-0"

4000 COLLINS AVENUE

4000 COLLINS AVENUE
MIAMI BEACH, FL 33140

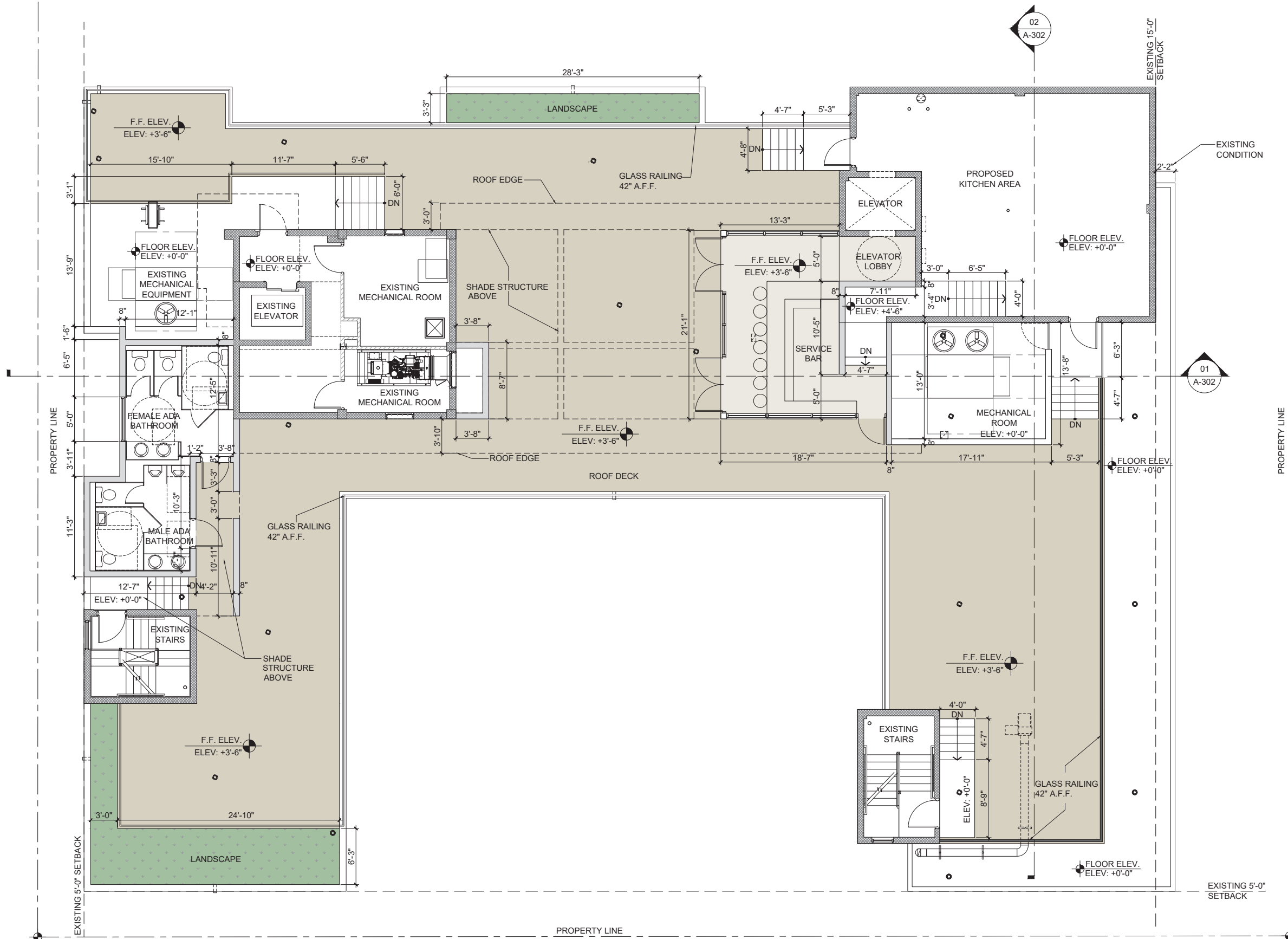
BELINSON GOMEZ ARCHITECTURE



8101 BISCAYNE BLVD. # 309, 310
MIAMI BEACH, FL 33141
TEL: 305.559.1250 FAX: 305.551.1740

DWG. TITLE	SITE PLAN
SCALE	1/8"=1'-0"
PROJECT NO.	
DATE	2022-22
SHEET NUMBER	10-26-22
DATE	REVISION

SP-100



LEGENDS:

- NEW INTERIOR PARTITION
- EXISTING PARTITION/STRUCTURE TO REMAIN
- NEW 8" CMU WALL
- STAIR DIRECTION

NOTE:
ALL ELEVATIONS ARE SHOWN ABOVE EXISTING ROOF (EXISTING ROOF 0'-0")

PROPOSED ROOF PLAN

4000 COLLINS AVENUE
4000 COLLINS AVENUE
MIAMI BEACH, FL 33140

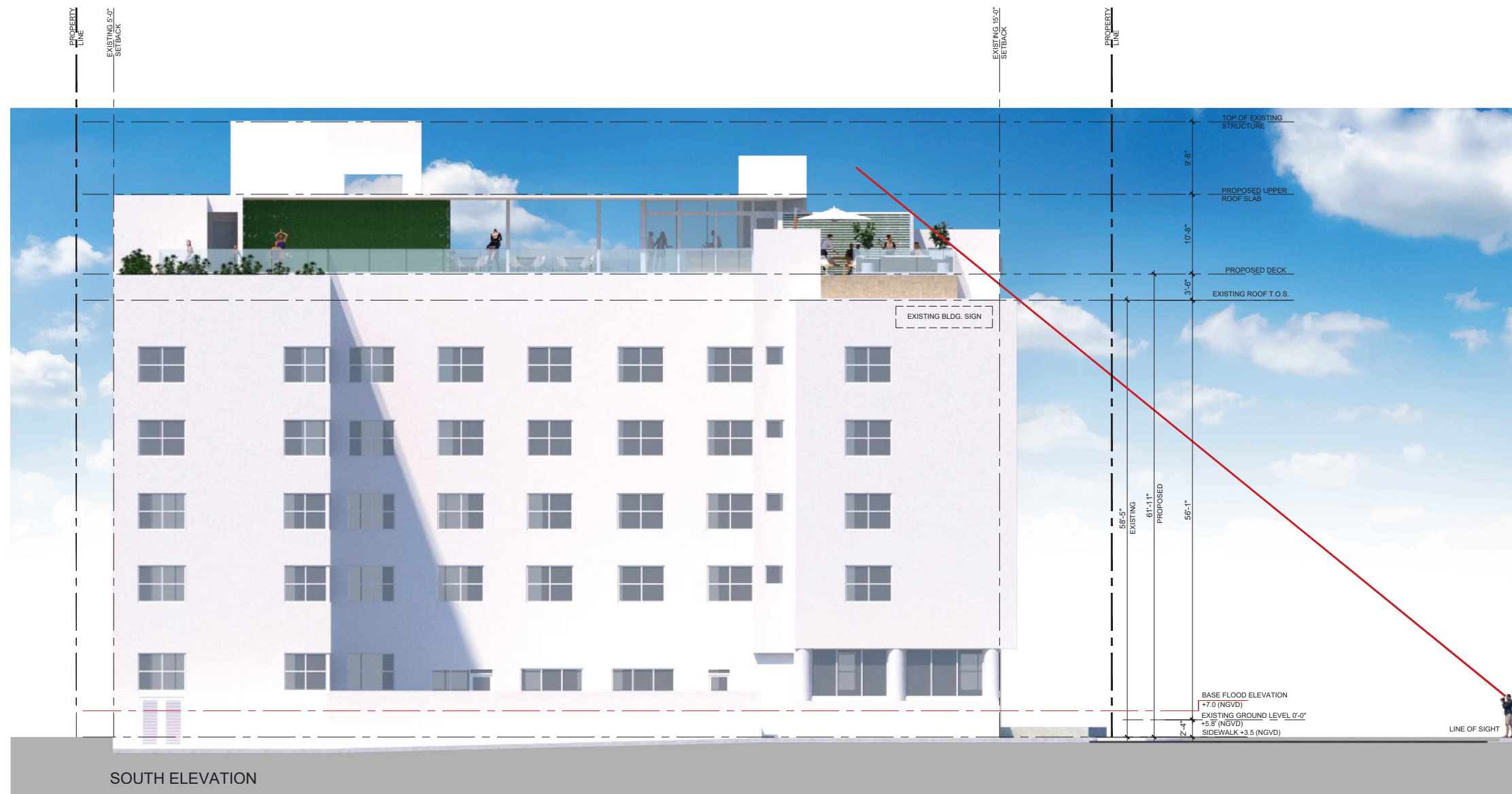
BEILINSON GOMEZ ARCHITECTURE
STATE OF FLORIDA
JOSE L. GOMEZ
REGISTERED ARCHITECT
AAR001062

DWG. TITLE	PROPOSED ROOF PLAN
SCALE	3/16"=1'-0"
PROJECT NO.	2022-22
DATE	10-26-22
SHEET NUMBER	A-101

CONSULTANT

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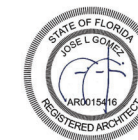
8101 BISCAYNE BLVD. # 309, 310
MIAMI, FL 33141
305.559.1250 F 305.551.1740



SOUTH ELEVATION

4000 COLLINS AVENUE
 4000 COLLINS AVENUE
 MIAMI BEACH, FL 33140

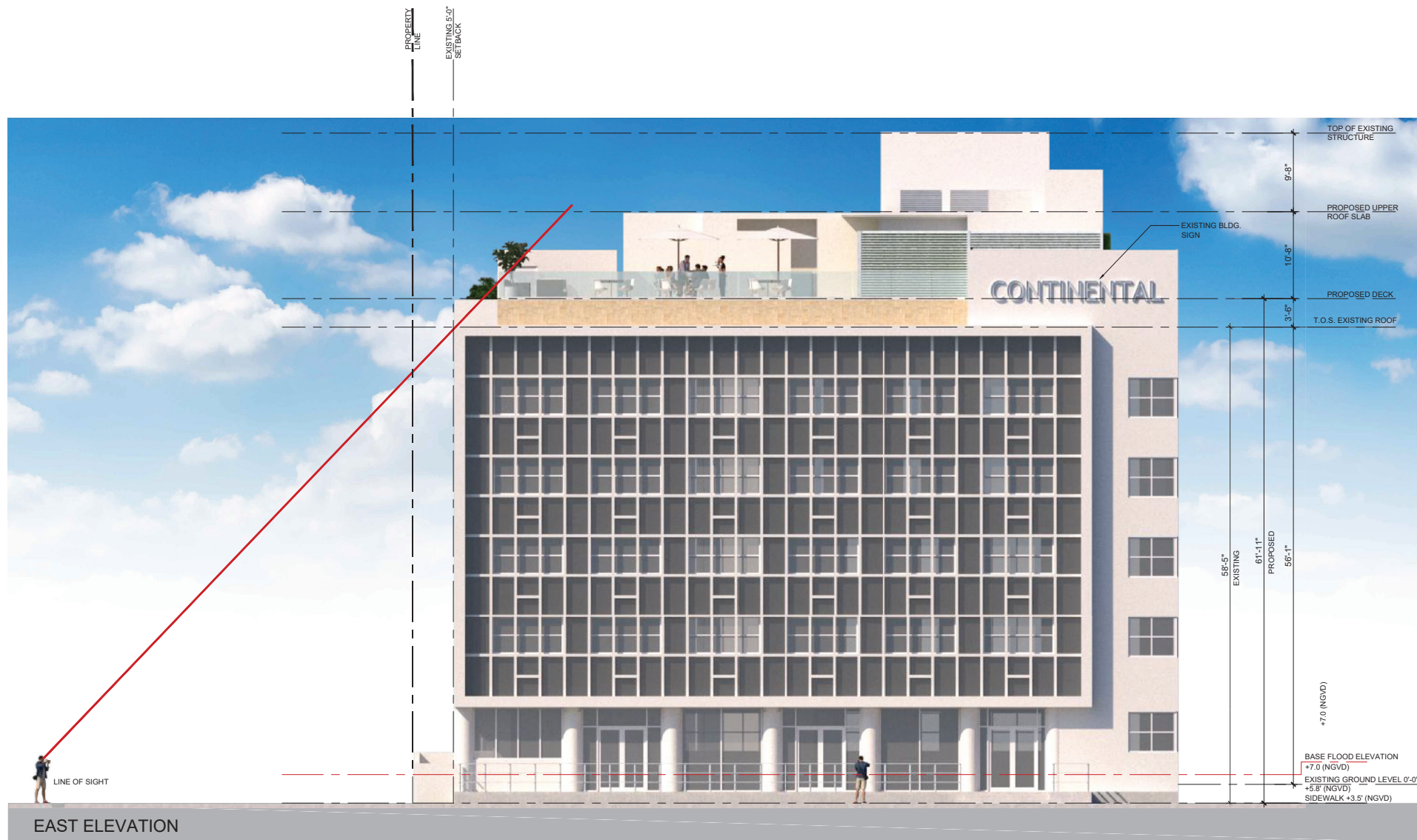
BEILINSON
 GOMEZ



BEILINSON GOMEZ ARCHITECTURE
 8101 BISCAYNE BLVD. # 309, 310
 MIAMI BEACH, FL 33559-1250
 T 305.559.1250 F 305.551.1740

DWG. TITLE	SOUTH ELEVATION
SCALE	1/8" = 1'-0"
PROJECT NO.	
DATE	2022-22
SHEET NUMBER	10-26-22
DATE	
REVISION	

A-201



4000 COLLINS AVENUE
 4000 COLLINS AVENUE
 MIAMI BEACH, FL 33140

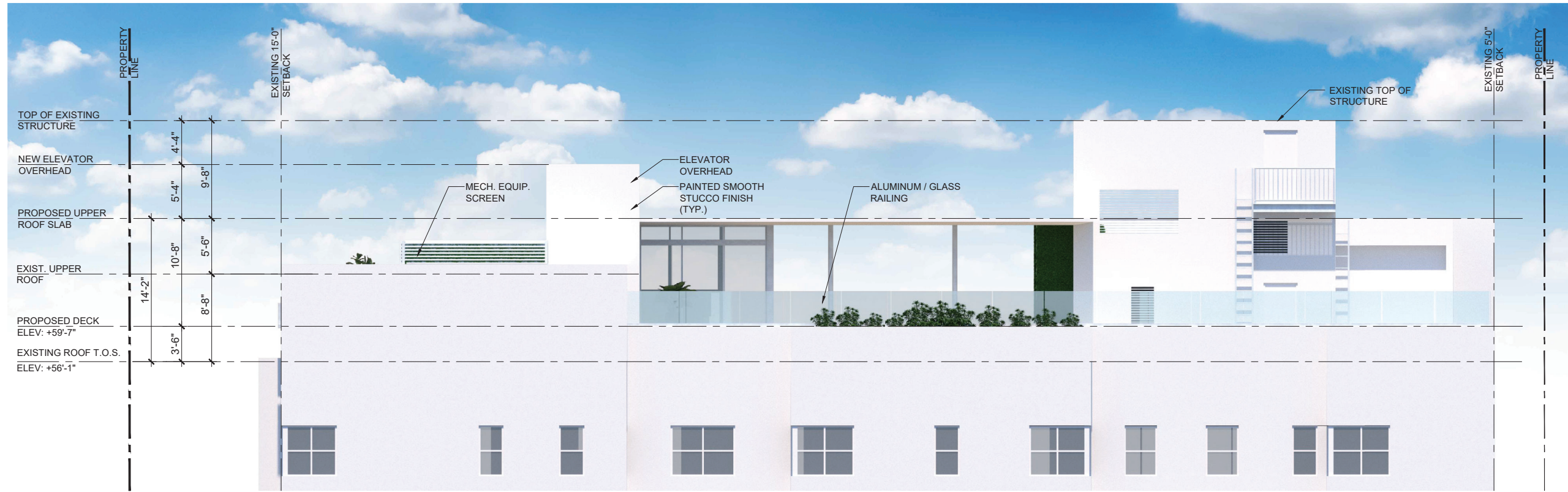
BELINSON
 GOMEZ



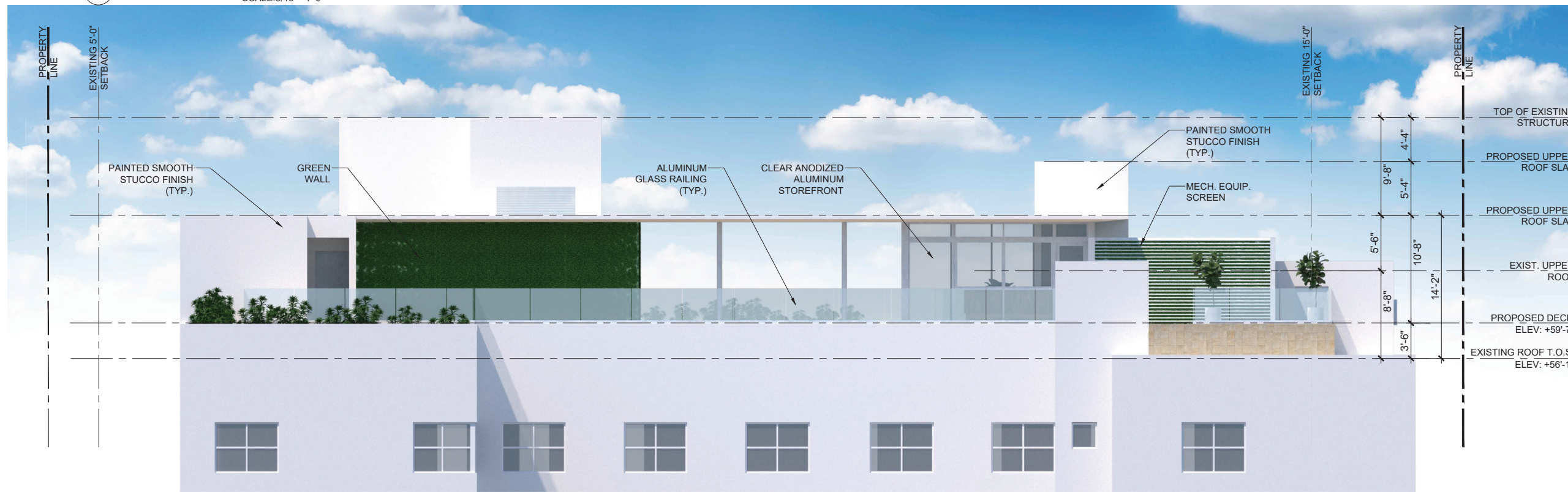
ARCHITECTURE 8101 BISCAYNE BLVD. # 309 310 MIAMI BEACH, FL 33138-4404
 AAC001062 T 305.559.1250 F 305.551.1740 JOSE L. GOMEZ

	DWG. TITLE	EAST ELEVATION
	SCALE	1/8"=1'-0"
	PROJECT NO.	
	DATE	2022-22
	SHEET NUMBER	10-26-22
△	DATE	REVISION

A-202



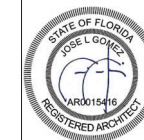
01 ENLARGED NORTH ELEVATION
SCALE: 3/16" = 1'-0"



02 ENLARGED SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

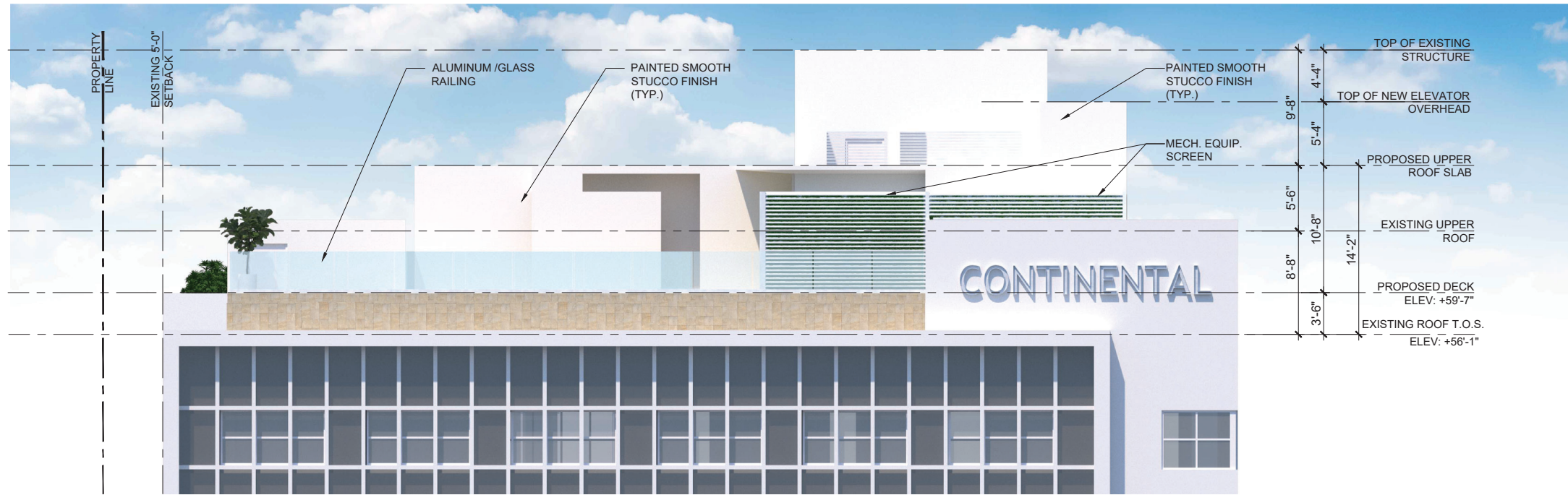
4000 COLLINS AVENUE
4000 COLLINS AVENUE
MIAMI BEACH, FL 33140

BELLINSON
GOMEZ

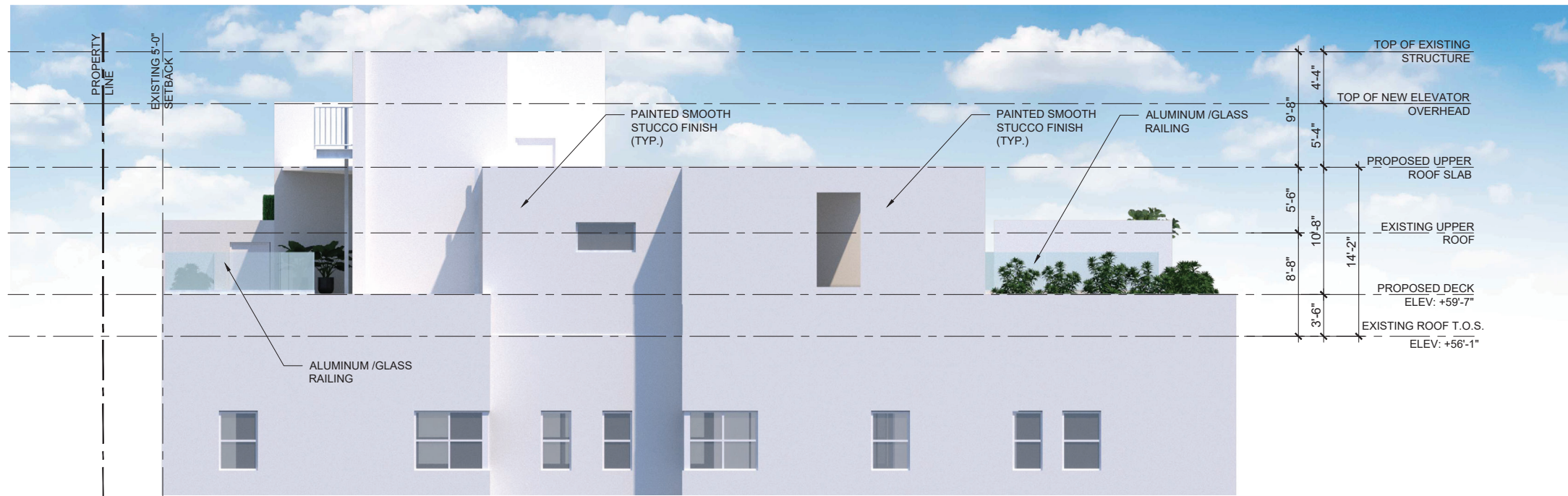


ARCHITECTURE 8101 BISCAYNE BLVD. S 309, 310
MIAMI BEACH, FL 33138 - 446, 44
T 305.559.1250 F 305.551.1740

DWG. TITLE	ENLARGED ELEVATIONS
SCALE	AS SHOWN
PROJECT NO.	2014-28
DATE	12-07-22
SHEET NUMBER	A-203
DATE	REVISION

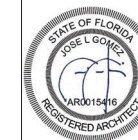
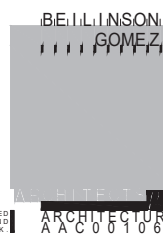


01 ENLARGED EAST ELEVATION
SCALE: 3/16" = 1'-0"

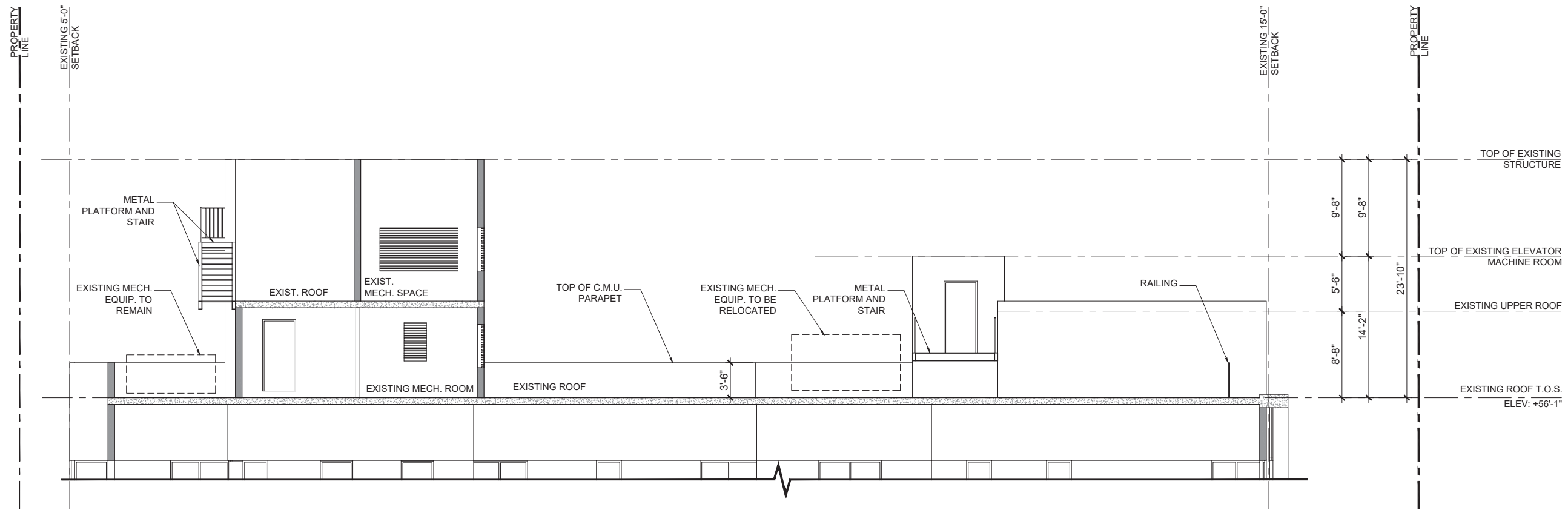


02 ENLARGED WEST ELEVATION
SCALE: 3/16" = 1'-0"

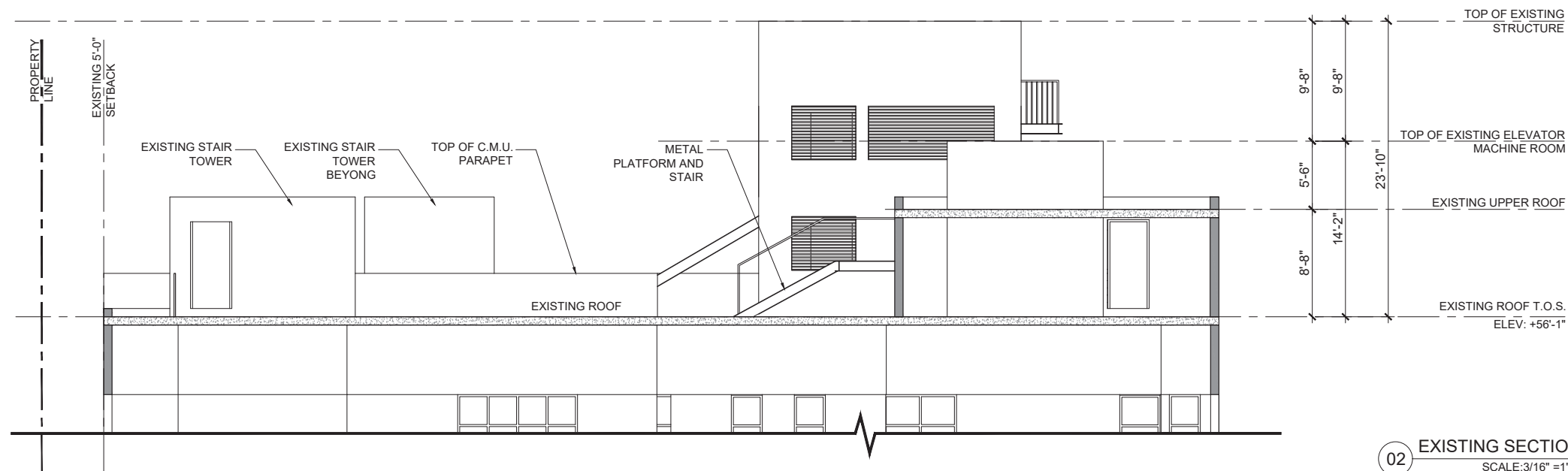
4000 COLLINS AVENUE
4000 COLLINS AVENUE
MIAMI BEACH, FL 33140



DWG. TITLE	ENLARGED ELEVATIONS
SCALE	AS SHOWN
PROJECT NO.	2014-28
DATE	12-07-22
SHEET NUMBER	A-204
DATE	REVISION



01 EXISTING SECTION
SCALE: 3/16" = 1'-0"

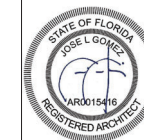


02 EXISTING SECTION
SCALE: 3/16" = 1'-0"

NOTE: ALL DIMENSIONS SHALL BE V.I.F.

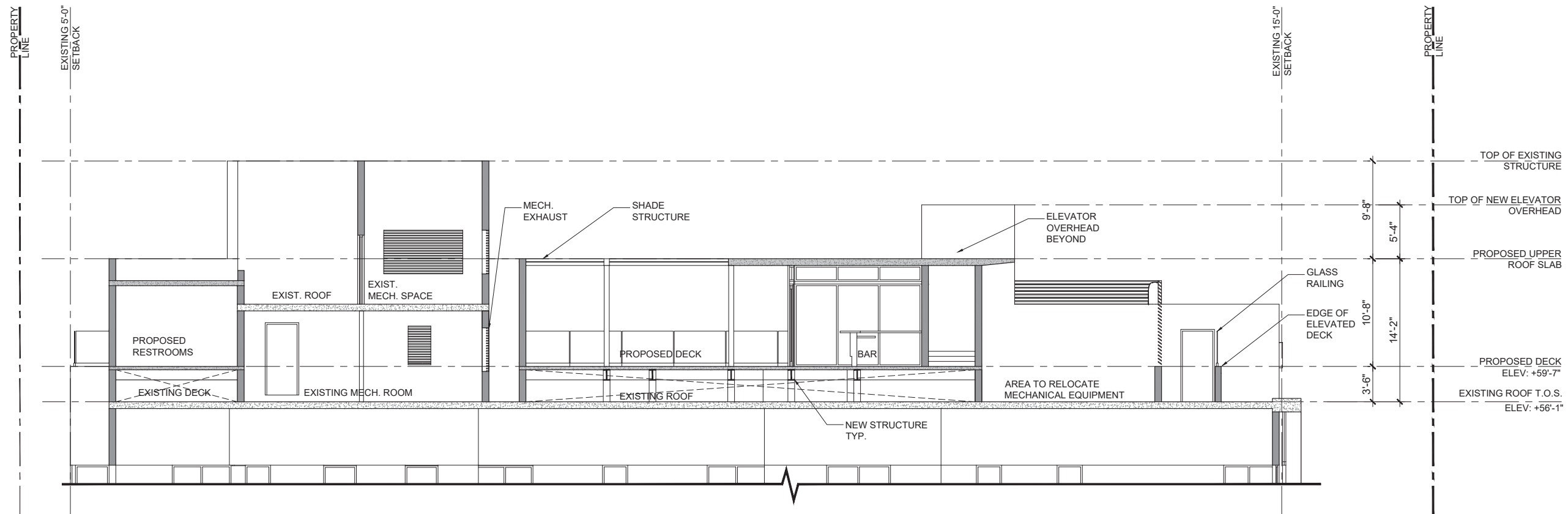
4000 COLLINS AVENUE
4000 COLLINS AVENUE
MIAMI BEACH, FL 33140

BELLINSON
GOMEZ

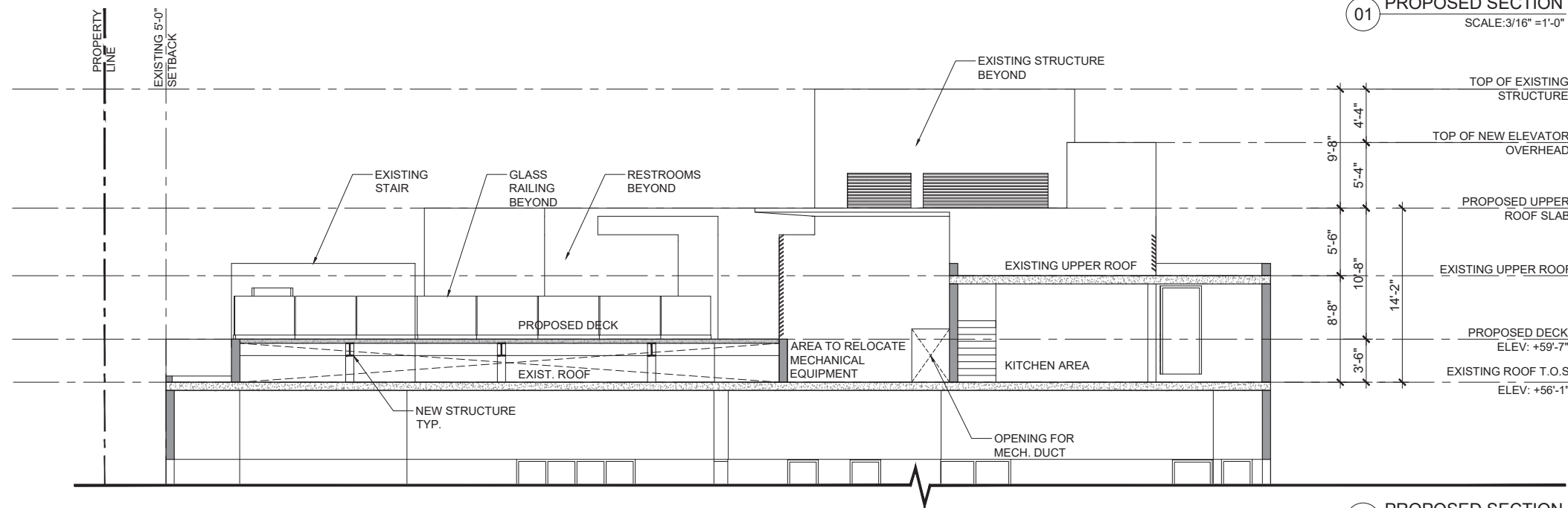


ARCHITECTURE 8101 BISCAYNE BLVD. S. 309, 310
MIAMI BEACH, FL 33138 - 445, 914
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DWG. TITLE	EXISTING ENLARGED SECTIONS
SCALE	AS SHOWN
PROJECT NO.	2014-28
DATE	12-06-22
SHEET NUMBER	A-301
DATE	REVISION



01 PROPOSED SECTION
SCALE: 3/16" = 1'-0"

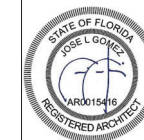


02 PROPOSED SECTION
SCALE: 3/16" = 1'-0"

NOTE: ALL DIMENSIONS SHALL BE V.I.F.

4000 COLLINS AVENUE
4000 COLLINS AVENUE
MIAMI BEACH, FL 33140

BEILINSON
GOMEZ



ARCHITECTURE 8101 BISCAYNE BLVD. S. 309, 310
MIAMI, FL 33138 - 445, 4
T 305.559.1259 F 305.551.1740

DATE	REVISION

DWG. TITLE
ENLARGED SECTIONS
SCALE
AS SHOWN
PROJECT NO.
2014-28
DATE
12-07-22
SHEET NUMBER
A-302