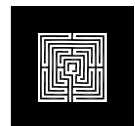


FIRST FLOOR FURNITURE PLAN

SCALE: 3/32"=1'-0"



FOR REFERENCE – HEARING APPROVED PLANS – PB FILE 1959



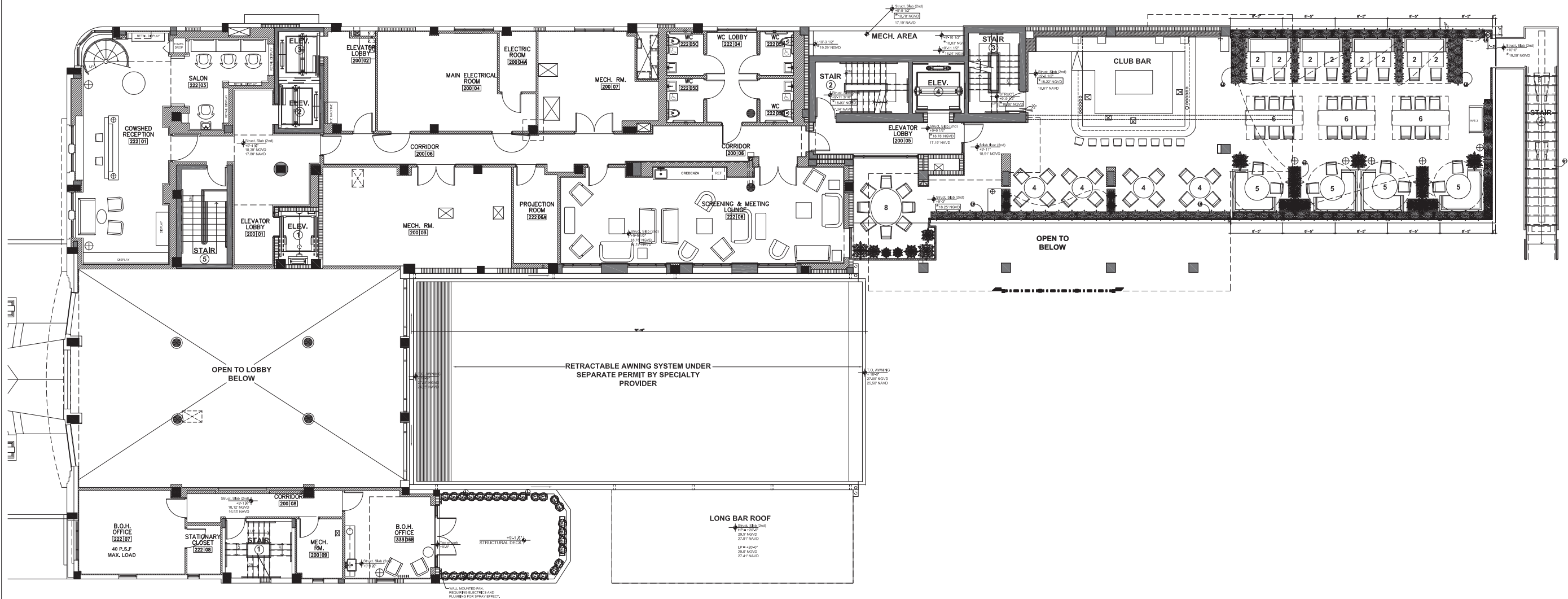
ALLAN T. SHULMAN ARCHITECT, P.A.
(AR 0012763)

100 NE 38TH STREET, NO. 2 MIAMI, FL 33137
TEL: 305.438.0609 FAX: 305.438.0170

SOHO BEACH HOUSE
4385 COLLINS AVENUE, MIAMI BEACH, FL, 33140

JOB NO. 05035
RENOVATION AND ADDITION
CONSTRUCTION DOCUMENTS

FIRST FLOOR
FURNITURE PLAN
FR-1.1a
APRIL 23, 2010



FOR REFERENCE – HEARING APPROVED PLANS – PB FILE 1959

SECOND FLOOR FURNITURE PLAN

SCALE: 1/8"=1'-0"



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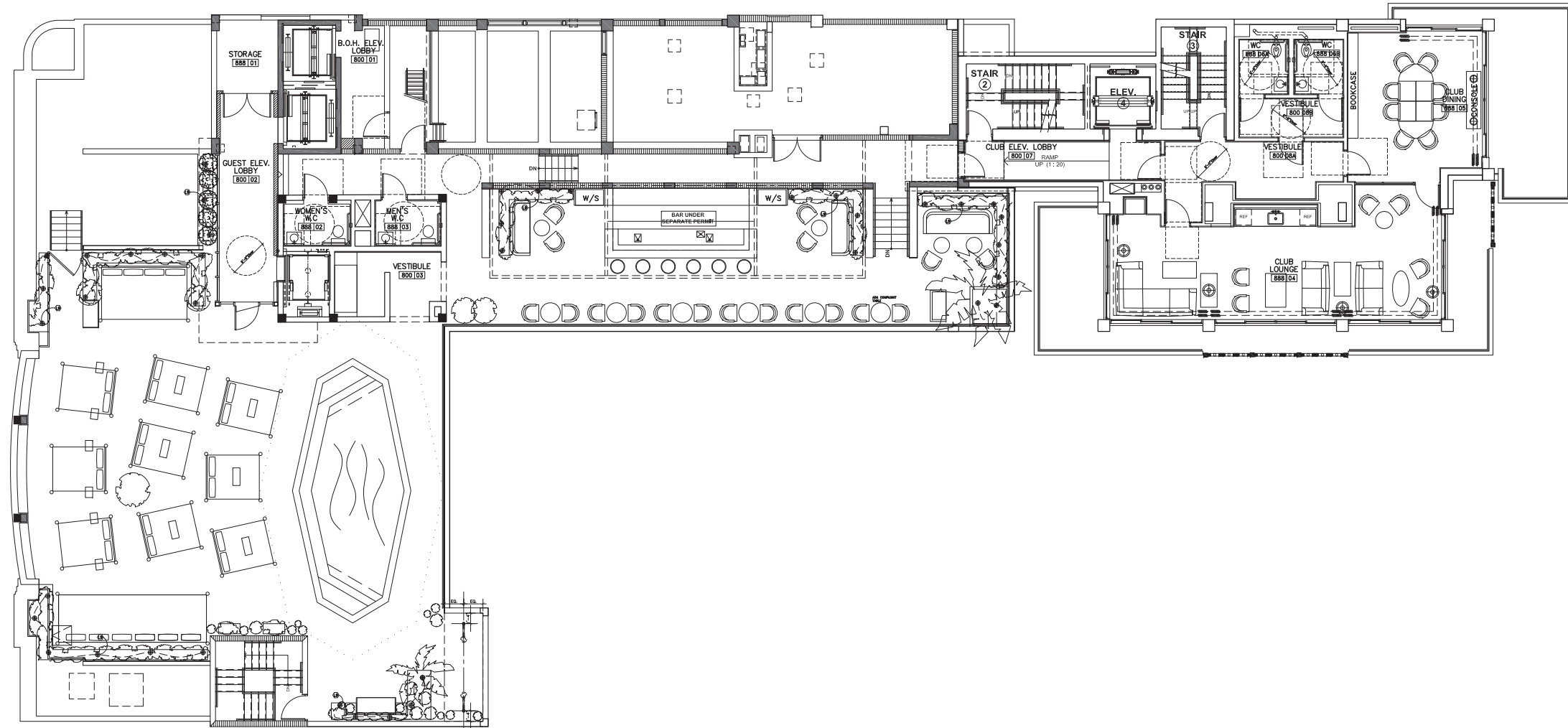
RENOVATION AND ADDITION
CONSTRUCTION DOCUMENTS

SECOND FLOOR
FURNITURE PLAN

FR-1.2

APRIL 23, 2010





FOR REFERENCE – HEARING APPROVED PLANS – PB FILE 1959

8TH FLOOR FURNITURE PLAN
SCALE: 1/8"=1'-0"



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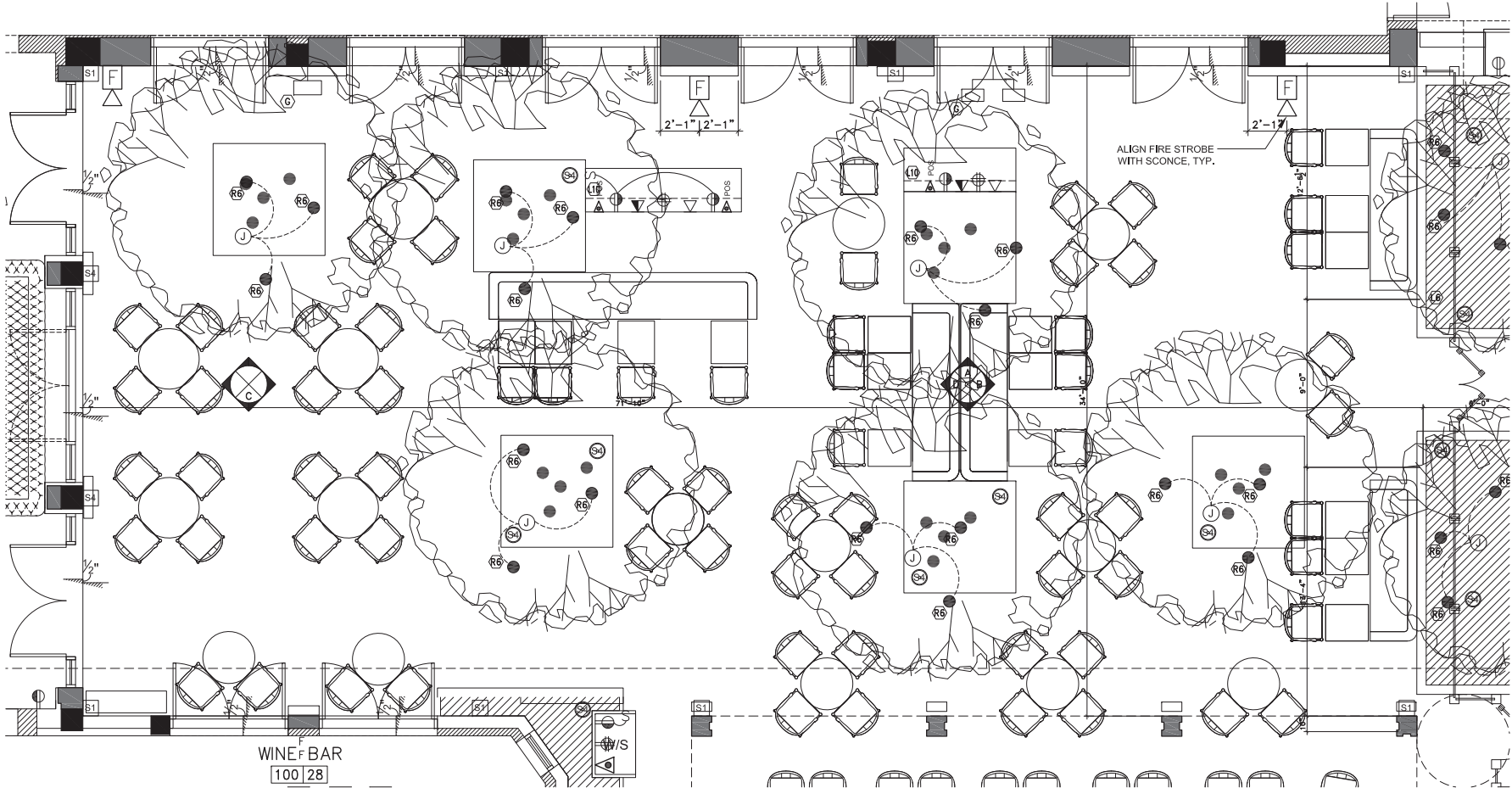
JOB NO. 05035
RENOVATION AND ADDITION
CONSTRUCTION DOCUMENTS

EIGHTH FLOOR
FURNITURE PLAN

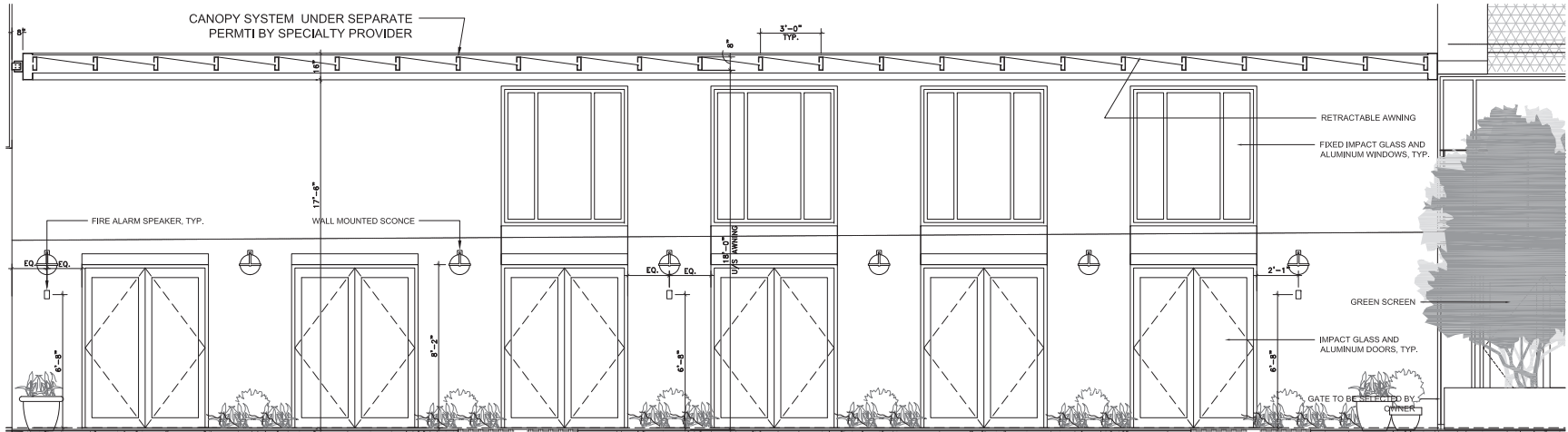
FR-1.8

APRIL 23, 2010

FLORIDA BUILDING CODE DATA	
FIRST FLOOR	SECOND FLOOR
LOBBY DINING	CLUB BAR AND DECK
OCCUPANCY = GROUP A-2 RESTAURANT	OCCUPANCY = GROUP A-2 RESTAURANT
TOTAL SQUARE FOOTAGE = 1,372 S.F.	BAR STOOL SEATING = 18 LINEAR INCHES PER OCCUPANT 483 ÷ 18 = 27 OCCUPANTS MAXIMUM
<u>TABLE 1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT</u>	AREA BEHIND BAR = 312 ÷ 100 = 4 OCCUPANTS MAXIMUM
ASSEMBLY WITHOUT FIXED SEATS - UNCONCENTRATED TABLES AND CHAIRS = 15 NET S.F. PER OCCUPANT	<u>TABLE 1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT</u>
1,872 S.F. ÷ 15 = 125 OCCUPANTS MAXIMUM (LOBBY TOTAL)	ASSEMBLY WITHOUT FIXED SEATS - CONCENTRATED CHAIRS ONLY = 7 NET S.F. PER OCCUPANT
1,372 S.F. ÷ 15 = 92 OCCUPANTS MAXIMUM (LOBBY DINING)	57 ÷ 7 = 9 OCCUPANTS
= 38 SEATS PROVIDED	ASSEMBLY WITHOUT FIXED SEATS - UNCONCENTRATED TABLES AND CHAIRS = 15 NET S.F. PER OCCUPANT
NUMBER OF SEATS (DINING)	CLUB BAR SEATING = 852 ÷ 15 = 56.8 = 57 OCCUPANTS MAXIMUM
TABLE OF 4 x 6 = 24 SEATS TABLE OF 3 x 4 = 12 SEATS TABLE OF 2 x 1 = 2 SEATS	CLUB DECK SEATING = 1,157 ÷ 15 = 77.1 = 78 OCCUPANTS MAXIMUM
TOTAL NUMBER OF SEATS = 38 SEATS	TOTAL = 175 OCCUPANTS MAXIMUM = 87 SEATS PROVIDED
COURTYARD DINING TERRACE	NUMBER OF SEATS (LOUNGE)
OCCUPANCY = GROUP A-2 RESTAURANT	BAR STOOLS = 9 SEATS TABLE OF 2 x 8 = 16 SEATS TABLE OF 4 x 4 = 16 SEATS TABLE OF 5 x 4 = 20 SEATS TABLE OF 6 x 3 = 18 SEATS TABLE OF 8 x 1 = 8 SEATS
TOTAL SQUARE FOOTAGE = 2,578 S.F.	TOTAL NUMBER OF SEATS = 87 SEATS
<u>TABLE 1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT</u>	<u>TABLE 1005.1 EGRESS WIDTH PER OCCUPANT SERVED</u>
ASSEMBLY WITHOUT FIXED SEATS - UNCONCENTRATED TABLES AND CHAIRS = 15 NET S.F. PER OCCUPANT	0.2 x 179 = 35.8" = 36" = 3'-0" MINIMUM EGRESS WIDTH
2,568 S.F. ÷ 15 = 172 OCCUPANTS MAXIMUM	SCREENING AND MEETING ROOM
= 86 SEATS PROVIDED	OCCUPANCY = GROUP B
NUMBER OF SEATS (DINING)	TOTAL SQUARE FOOTAGE = 695 S.F.
TABLE OF 2 x 11 = 22 SEATS TABLE OF 4 x 16 = 64 SEATS	<u>TABLE 1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT</u>
TOTAL NUMBER OF SEATS = 86 SEATS	ASSEMBLY WITHOUT FIXED SEATS - UNCONCENTRATED TABLES AND CHAIRS = 15 NET S.F. PER OCCUPANT
WINE BAR	694 S.F. ÷ 15 = 47 OCCUPANTS MAXIMUM = 19 SEATS PROVIDED
OCCUPANCY = GROUP A-2 RESTAURANT	EIGHTH FLOOR
BAR STOOL SEATING = 18 LINEAR INCHES PER OCCUPANT 200 ÷ 18 = 12 OCCUPANTS MAXIMUM	OUTDOOR BAR
AREA BEHIND BAR = 48 S.F. ÷ 100 = 1 OCCUPANT MAXIMUM	OCCUPANCY = GROUP A-2 RESTAURANT
<u>TABLE 1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT</u>	BAR STOOL SEATING = 18 LINEAR INCHES PER OCCUPANT 312 ÷ 18 = 18 OCCUPANTS MAXIMUM
ASSEMBLY WITHOUT FIXED SEATS - UNCONCENTRATED TABLES AND CHAIRS = 15 NET S.F. PER OCCUPANT	AREA BEHIND BAR = 58 S.F. ÷ 100 = 1 OCCUPANT MAXIMUM
198 S.F. ÷ 15 = 14 OCCUPANTS MAXIMUM	<u>TABLE 1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT</u>
TOTAL = 27 OCCUPANTS MAXIMUM = 5 SEATS PROVIDED	ASSEMBLY WITHOUT FIXED SEATS - UNCONCENTRATED TABLES AND CHAIRS = 15 NET S.F. PER OCCUPANT
BAR STOOLS = 5 SEATS FIXED LOUNGE SEATING = n.a.	988 S.F. ÷ 15 = 66 OCCUPANTS MAXIMUM
TOTAL NUMBER OF SEATS = 5 SEATS (BAR STOOLS)	TOTAL = 85 OCCUPANTS MAXIMUM = 33 SEATS PROVIDED
LONG BAR	NUMBER OF SEATS (LOUNGE)
OCCUPANCY = GROUP A-2 RESTAURANT	BAR STOOLS = 6 SEATS TABLE OF 2 x 6 = 12 SEATS TABLE OF 5 x 3 = 15 SEATS
BAR STOOL SEATING = 18 LINEAR INCHES PER OCCUPANT = 544 ÷ 18 = 31 OCCUPANTS MAXIMUM	TOTAL NUMBER OF SEATS = 33 SEATS
AREA BEHIND BAR = 240 ÷ 100 = 3 OCCUPANTS MAXIMUM	CLUB DINING
<u>TABLE 1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT</u>	OCCUPANCY = GROUP A-2 RESTAURANT
ASSEMBLY WITHOUT FIXED SEATS - CONCENTRATED CHAIRS ONLY = 7 NET S.F. PER OCCUPANT	TOTAL SQUARE FOOTAGE = 316 S.F.
168 S.F. ÷ 7 = 24 OCCUPANTS MAXIMUM	<u>TABLE 1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT</u>
TOTAL = 58 OCCUPANTS MAXIMUM = 14 SEATS PROVIDED	ASSEMBLY WITHOUT FIXED SEATS - UNCONCENTRATED TABLES AND CHAIRS = 15 NET S.F. PER OCCUPANT
TOTAL NUMBER OF SEATS = 14 SEATS (BAR STOOLS)	316 S.F. ÷ 15 = 22 OCCUPANTS MAXIMUM = 8 DINING SEATS PROVIDED
TIKI BAR	CLUB LOUNGE
OCCUPANCY = GROUP A-2 RESTAURANT	OCCUPANCY = GROUP A-2 RESTAURANT
BAR STOOL SEATING = 18 LINEAR INCHES PER OCCUPANT = 408 ÷ 18 = 23 OCCUPANTS MAXIMUM	TOTAL SQUARE FOOTAGE = 590 S.F.
AREA BEHIND BAR = 98 S.F. ÷ 100 = 1 OCCUPANT MAXIMUM	<u>TABLE 1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT</u>
<u>TABLE 1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT</u>	ASSEMBLY WITHOUT FIXED SEATS - UNCONCENTRATED TABLES AND CHAIRS = 15 NET S.F. PER OCCUPANT
SWIMMING POOL DECK = 30 GROSS PER OCCUPANT	590 S.F. ÷ 15 = 40 OCCUPANTS MAXIMUM = 14 LOUNGE SEATS PROVIDED
2,000 S.F. ÷ 30 = 67 OCCUPANTS MAXIMUM	
TOTAL = 91 OCCUPANTS MAXIMUM = 28 SEATS PROVIDED	
NUMBER OF SEATS	
TABLE OF 2 x 2 = 4 SEATS TABLE OF 4 x 4 = 16 SEATS BAR STOOLS = 8 SEATS TOTAL NUMBER OF SEATS = 28 SEATS	



1 DINING TERRACE SEATING PLAN
SCALE: 1/4"=1'-0"



2 INTERIOR ELEVATION A
SCALE: 1/4"=1'-0"

NOTES:
1. SEE ELECTRICAL DWGS FOR LOADING, CIRCUITS, ETC. ARCH. DWGS GOVERN LAYOUT & ALIGNMENTS. ALL SWITCHES, OUTLETS, THERMOSTATS, LIGHT FIXTURES TO BE ALIGNED & COORDINATED. IF ANY ELECTRICAL DEVICE IS NOT SHOWN IN ARCH. DWGS., NOTIFY ARCHITECT IMMEDIATELY SO LOCATION CAN BE ADDRESSED.
2. CONTRACTOR TO FIELD VERIFY ALL GWB CLNG. HTS. AND DOOR CLEARANCES W/ ARCHITECTURAL DOCUMENTS & NOTIFY ARCHITECT IMMEDIATELY OF DISCREPANCIES.
3. FURNITURE & INT. FINISHES BY OTHERS
4. REFER TO SHEET A 4.6 FOR PROPOSED LOBBY FURNITURE FLOOR PLAN
5. ALL INTERIOR FINISHES TO COMPLY WITH NFPA 101 (2003ed) Ch.10.2.2. SEE SHEET G-1.6 FOR FURTHER INFORMATION.
6. ALL INTERIOR WOOD FINISH CLADDING TO ACHIEVE A CLASS A FIRE RATING (FLAMESPREAD 0-25, SMOKE DEVT 0-450) PER NFPA 101 (2003ed.) Ch.10.2.2.

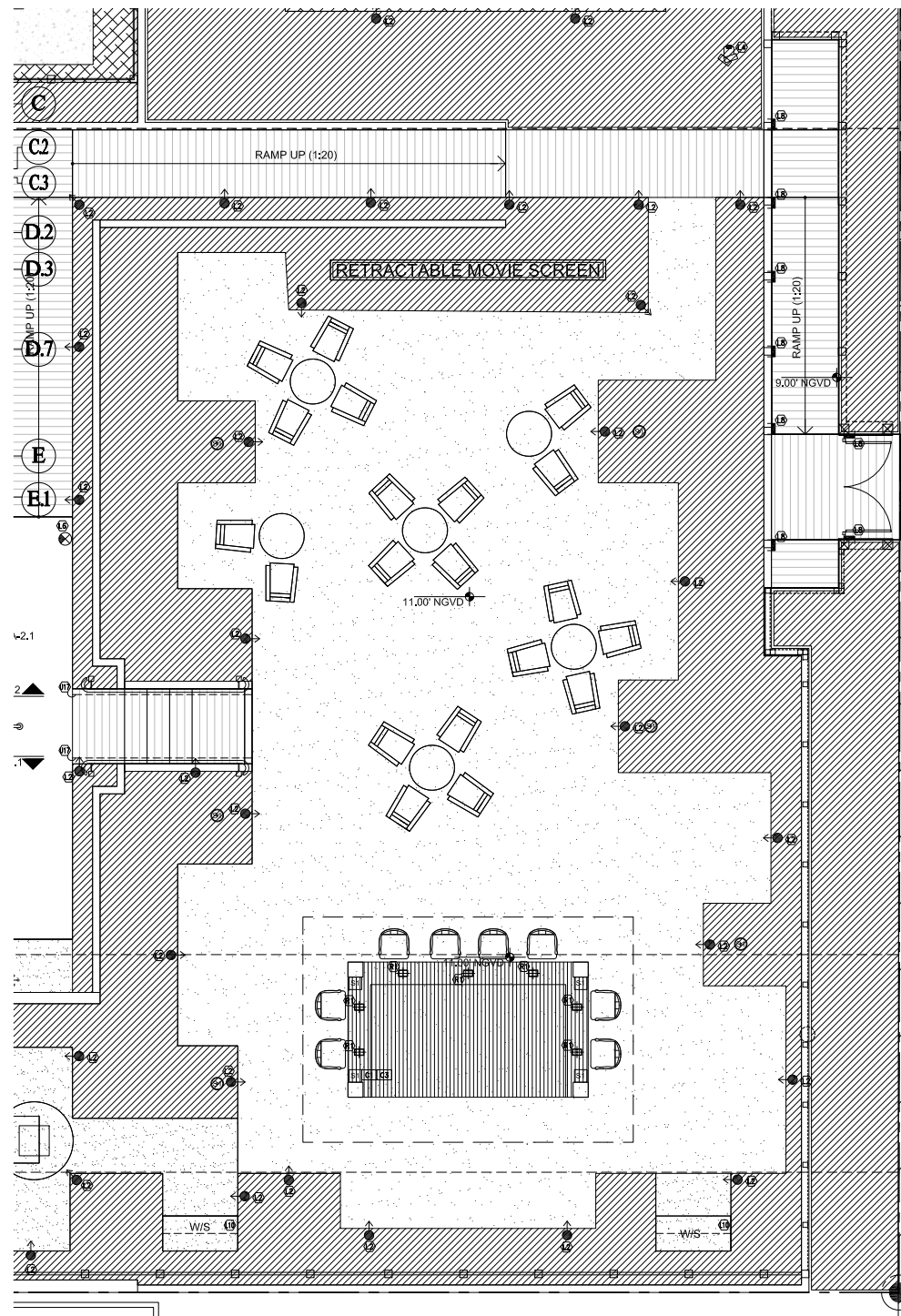


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FOR REFERENCE – HEARING APPROVED PLANS – PB FILE 1959

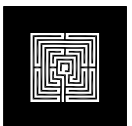
SOHO BEACH HOUSE
4385 COLLINS AVENUE, MIAMI BEACH, FL, 33140
JOB NO. 05035
RENOVATION AND ADDITION
PLANNING BOARD & BOARD OF ADJUSTMENT SUBMISSION

DINING TERRACE
A4.5a
PREVIOUSLY A-4.4b
04.29.10



1 TIKI HUT SEATING PLAN
SCALE: 3/16"=1'-0"

FOR REFERENCE – HEARING APPROVED PLANS – PB FILE 1959



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4385 COLLINS AVENUE, MIAMI BEACH, FL, 33140

JOB NO. 05035

RENOVATION AND ADDITION

PLANNING BOARD & BOARD OF ADJUSTMENT SUBMISSION

BAR & SUN DECK PLAN

A4.26

04.12.10

SOHO HOUSE PROJECT ZONING DATA			
GENERAL			
ZONING DISTRICT:	RM-3, COLLINS WATERFRONT HISTORIC DISTRICT		
LOT AREA:	100'-0" (LOT WIDTH) x 364.85' (LOT DEPTH) = 36,485 SQUARE FEET (LOT AREA)		
FLOOR AREA RATIO:	2.25		
ALLOWABLE BUILDING AREA:	36,485 x 2.25 = 82,091 SQUARE FEET		
EXISTING CONDITIONS			
EXISTING FLOOR AREA:			
LEVEL 1:	7,999		
LEVEL 2:	5,944		
LEVEL 3:	7,675		
LEVEL 4:	7,675		
LEVEL 5:	7,675		
LEVEL 6:	7,675		
LEVEL 7:	7,675		
LEVEL 8:	469		
LEVEL 9:	360		
LEVEL 10:			
LEVEL 11:			
LEVEL 12:			
LEVEL 13:			
LEVEL 14:			
LEVEL 15:			
ROOF:			
TOTAL:	53,147		
EXISTING UNITS:	108		
PROPOSED FLOOR AREA:			
	EXISTING TO REMAIN	PROPOSED NEW	TOTAL
LEVEL 1:	7,999	1,616	9,615
LEVEL 2:	5,738	577	6,315
LEVEL 3:	6,913	2,144	9,057
LEVEL 4:	7,624	2,144	9,768
LEVEL 5:	7,624	2,144	9,768
LEVEL 6:	7,624	2,144	9,768
LEVEL 7:	7,624	2,144	9,768
LEVEL 8:	364	2,913	3,277
LEVEL 9:	0	2,144	2,144
LEVEL 10:		2,144	2,144
LEVEL 11:		2,144	2,144
LEVEL 12:		2,144	2,144
LEVEL 13:		2,144	2,144
LEVEL 14:		2,144	2,144
LEVEL 15:		1,298	1,298
LEVEL 16:		427	427
ROOF:		165	165
TOTAL:	51,510	30,580	82,090
BUILDING HEIGHT			
	REQUIRED	PROVIDED	
MAXIMUM BUILDING HEIGHT:	200'	153'-11"	
MAXIMUM NUMBER OF STORIES:	22	15	
OPEN SPACE RATIO			
	REQUIRED	PROVIDED	
OPEN SPACE RATIO:	36,485 x 0.7 = 25,539.5 SQUARE FEET	GROUND FLOOR : 25,923 S.F. IN-LIEU OF PAYMENT : 420 S.F.	
MINIMUM FLOOR AREA			
	REQUIRED	PROVIDED	
MINIMUM S.F. AREA PER HOTEL UNIT:	15% 300-335 S.F., 85% 335 S.F.	0 354 MIN	
UNIT COUNT:			
	EXISTING BUILDING		NEW TOWER
	EXISTING	PROPOSED	EXISTING
	108	35	na
			15
TOTAL PROPOSED UNITS	50		

SETBACK REQUIREMENTS		
PEDESTAL	REQUIRED	PROVIDED
FRONT:	20'	50'-10" (MATCH HISTORIC BUILDING)
SIDE INTERIOR:		SOUTH SIDE
SUM OF THE SIDE YARDS = 16% OF THE LOT WIDTH = .16 x 100 = 16 FEET	7.5' OR 8% OF LOT WIDTH WHICHEVER IS GREATER. 8' > 7.5, THEREFORE 8' SIDE INTERIOR REQUIRED.	4'-11" (MATCH HISTORIC BUILDING) VARIANCE OBTAINED
		NORTH SIDE
		5'-6" (MATCH HISTORIC BUILDING) VARIANCE OBTAINED
REAR - OCEANFRONT:	50' MIN. FROM BULKHEAD LINE OR 20% OF LOT DEPTH, WHICHEVER GREATER. 20 x 364.85 = 72.97 = 73' BULKHEAD LINE 50' FROM PROPERTY LINE + 50' MIN. SETBACK = 100' 73' < 100', THEREFORE 50' MIN. FROM BULKHEAD LINE REQUIRED	BUILDING (RAISED DECK) 73'-3" VARIANCE OBTAINED
TOWER		
	REQUIRED	PROVIDED
FRONT:	60'	68' 10" TO ROOFTOP ADDITION, 165' 6" TO TOWER ADDITION
SIDE INTERIOR:	REQUIRED PEDESTAL SETBACK PLUS .10 OF HEIGHT OF TOWER PORTION OF BUILDING. .10 x 153.3' = 15.33 FEET 8' + 15.33' = 23.33' = 23'-4" REQUIRED	SOUTH SIDE 4'-11" (MATCH HISTORIC BUILDING) VARIANCE OBTAINED NORTH SIDE 5'-6" (MATCH HISTORIC BUILDING) VARIANCE OBTAINED
REAR - OCEANFRONT:	75' MIN. FROM BULKHEAD LINE OR 25% OF LOT DEPTH, WHICHEVER GREATER. 25 x 365.85 = 91.2' BULKHEAD LINE 50' FROM PROPERTY LINE + 75' MIN. SETBACK = 125' 91.2' < 125', THEREFORE 75' MIN. FROM BULKHEAD LINE REQUIRED.	75'

FOR REFERENCE - PREVIOUSLY PERMITTED PLAN

PURSUANT TO HPB #3383 CONSOLIDATED ORDER RECORDED AUGUST 8, 2006, THE FOLLOWING CONDITIONS ARE TO BE MET PRIOR TO ISSUANCE OF THE BUILDING PERMIT:

- C3. ALL BUILDING SIGNAGE SHALL BE CONSISTENT IN TYPE. COMPOSED OF FLUSH MOUNTED, NON-PLASTIC INDIVIDUAL LETTERS AND SHALL REQUIRE A SEPARATE PERMIT.
- C4. THE FINAL EXTERIOR COLOR SCHEME, INCLUDING COLOR SAMPLES, SHALL BE SUBJECT TO REVIEW AND APPROVAL OF STAFF AND SHALL REQUIRE A SEPARATE PERMIT.
- C5. A TRAFFIC MITIGATION PLAN, WHICH ADDRESSES ALL ROADWAY LEVEL OF SERVICE (LOS) DEFICIENCIES RELATIVE TO THE CONCURRENCY REQUIREMENTS OF THE CITY CODE, IF REQUIRED, SHALL BE SUBMITTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT AND THE FINAL BUILDING PLANS SHALL MEET ALL OTHER REQUIREMENTS OF THE LAND DEVELOPMENT REGULATIONS OF THE CITY CODE.
- C6. MANUFACTURERS DRAWINGS AND DADE COUNTY PRODUCT APPROVAL NUMBERS FOR ALL NEW WINDOWS, DOORS AND GLASS SHALL BE REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- C7. ALL ROOF-TOP FIXTURES, AIR-CONDITIONING UNITS AND MECHANICAL DEVICES SHALL BE CLEARLY NOTED ON A REVISED ROOF PLAN AND ELEVATION DRAWINGS AND SHALL BE SCREENED FROM VIEW, IN A MANNER TO BE APPROVED BY STAFF.

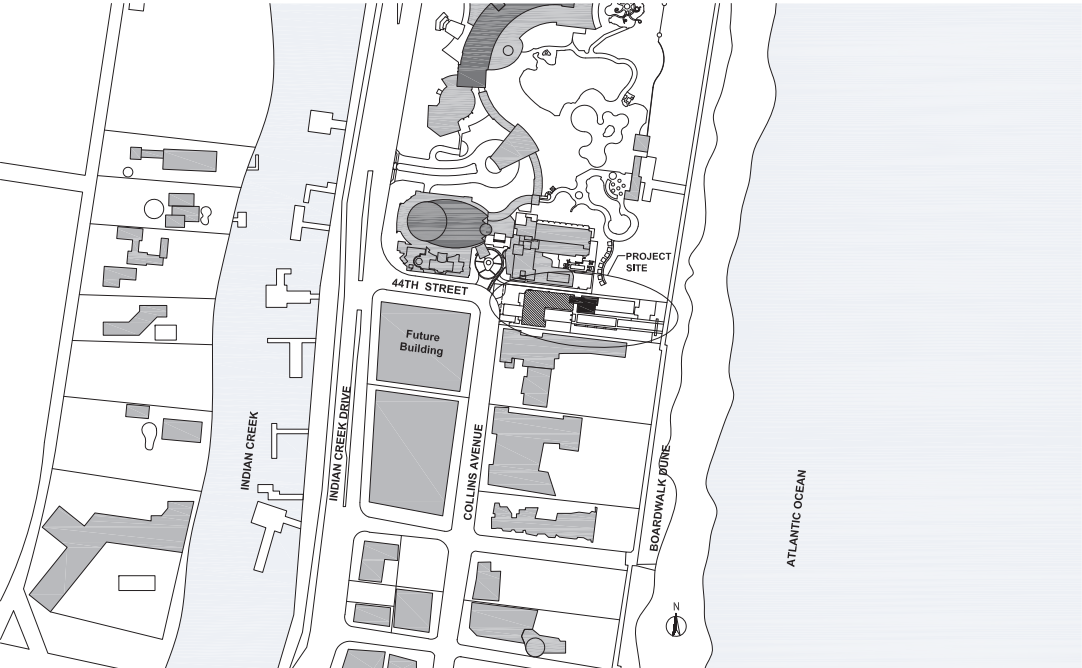
PURSUANT TO ZBA #3182 FINAL ORDER RECORDED JULY 7, 2006, THE FOLLOWING CONDITION IS TO BE MET PRIOR TO ISSUANCE OF THE BUILDING PERMIT:

5. THE OWNER AGREES TO FUND THE CONSTRUCTION OF THE PORTION OF THE BEACH WALK IMMEDIATELY ADJACENT TO THE PROPERTY. THE OWNER ALSO AGREES TO TENDER CONTRIBUTION TO THE CITY OF MIAMI BEACH WITHIN SIXTY (60) DAYS OF RECEIPT OF A WRITTEN REQUEST BY THE CITY FOR THE CONTRIBUTION.

NOTE: ALL WINDOW, SHOPFRONT AND EXTERIOR DOOR SYSTEMS TO BE PERMITTED SEPARATELY BY GLAZING SUB-CONTRACTOR. ALL RELEVANT MIAMI-DADE N.O.A.'S TO BE SUBMITTED BY GLAZIER AT TIME OF PULLING GLAZING PERMIT

UNIT COUNT:				
		EXISTING BUILDING		NEW TOWER
		EXISTING	PROPOSED	EXISTING
(FORMER UNIT COUNT)		108		0
TOTAL PROPOSED UNITS(NO KITCHEN)			35	
TOTAL PROPOSED UNITS(WITH KITCHEN)				1
TOTAL PROPOSED UNITS COMBINED 50 Units				
MINIMUM PARKING				
	Floor(s)	BUILDING	REQUIRED	PROVIDED
Hotel units (no kitchen)	0	Existing Building	N/A (0 required)	0
14 New Hotel Units (No Kitchen)	4 thru 14	New Building		0 (PARKING IMPACT FEE PROGRAM)
1 New Hotel Unit(With Kitchen)	15	New Building		0 (PARKING IMPACT FEE PROGRAM)
Wine Bar (5 seats, 246 SF)	1st Floor	Existing Building	N/A (0 required)	0
Long Bar (14 seats, 399 SF)	1st Floor	Existing Building	N/A (0 required)	0
Lobby Dining (38 seats, 1,372 SF)	1st Floor	Existing Building	N/A (0 required)	0
Courtyard Dining Terrace (86 seats, 2,578 SF)	1st Floor	Existing Building	N/A (0 required)	0
Tiki Hut & Rear Yard (28 seats, 1,845 SF)	1st Floor	New Use		
Club Bar (87 seats, 2,379 SF)	2nd Floor	New Building		
Screening Lounge (Business, 19 seats, 695 SF)	2nd Floor	Existing Building	N/A (0 required)	
Cowshed Spa (retail space, 1,136 SF)	2nd Floor	Existing Building	N/A (0 required)	
Cowshed Spa (retail space, 5,462 SF)	3rd Floor	Existing Building	N/A (0 required)	
Gymnasium space (2,244 SF)	3rd Floor	New Building		0 (PARKING IMPACT FEE PROGRAM)
COMBINED QUANTITY				
GymSpa in new building (2,244 SF)				0 PARKING SPACES(Part of Private Club)
GymSpa in existing building (6,598 SF)				
Grand Total Gym/Spa (8,842 SF)				
Club Dining (8 seats, 316 SF)	8th floor	New Building		See combined quantity below
Bar (Club Lounge) (14 seats, 590 SF)	8th floor	New Building		See combined quantity below
Outdoor Bar (33 seats, 1,321 SF)	8th floor	Existing Building	N/A (0 required)	
COMBINED QUANTITY				
Dining/Bar seating in new building (Excluding Club Bar as outdoor café) (22 seats, 906 SF)				4 PARKING SPACES 1 Space/250 SF of Private Club = 906/250 = 3.624 = 4 Spaces
Dining/Bar in existing building (176 seats, 5,916 SF)				
Grand Total Dining/Bar (Including Club Bar & Tiki Bar/Rear Yard) (313 seats, 11,046 SF)				
TOTALS				0 (PARKING IMPACT FEE PROGRAM) 27 Spaces
Credit for amount already paid to Parking Impact Fee Program				23 Spaces
Parking Impact Fee				4 Spaces

* Applicant elects to pay annual fee for outdoor café.



LOCATION MAP

SCALE: NTS



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REVISIONS

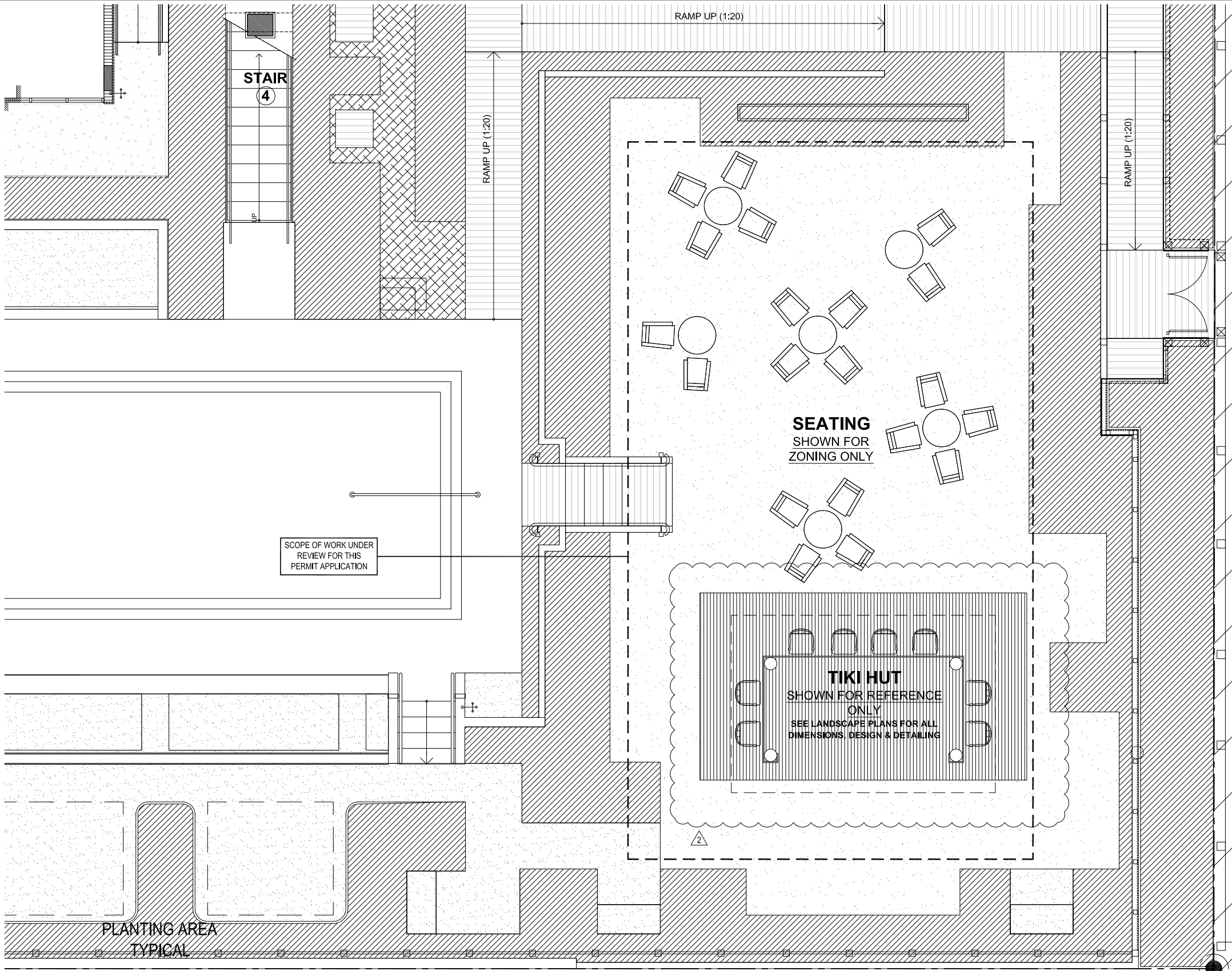
REVISIONS

SOHO BEACH HOUSE
4385 COLLINS AVENUE, MIAMI BEACH, FL, 33140
JOB NO. 05035
TIKI HUT
CONSTRUCTION DOCUMENTS

ZONING CALCULATIONS
& LOCATION SITE PLAN

G-1.3

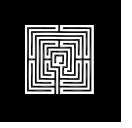
08.11.10



FOR REFERENCE - PREVIOUSLY PERMITTED PLAN

- NOTES:
1. SEE ELECTRICAL DWGS FOR LOADING, CIRCUITS, ETC. ARCH. DWGS GOVERN LAYOUT & ALIGNMENTS. ALL SWITCHES, OUTLETS, THERMOSTATS, LIGHT FIXTURES TO BE ALIGNED & COORDINATED. IF ANY ELECTRICAL DEVICE IS NOT SHOWN IN ARCH. DWGS., NOTIFY ARCHITECT IMMEDIATELY SO LOCATION CAN BE ADDRESSED.
 2. CONTRACTOR TO FIELD VERIFY ALL GWB CLNG. HTS. AND DOOR CLEARANCES W/ ARCHITECTURAL DOCUMENTS & NOTIFY ARCHITECT IMMEDIATELY OF DISCREPANCIES.
 3. FURNITURE & INT. FINISHES BY OTHERS
 4. REFER TO SHEET A 4.6 FOR PROPOSED LOBBY FURNITURE FLOOR PLAN
 5. ALL INTERIOR FINISHES TO COMPLY WITH NFPA 101 (2003ed) Ch.10.2.2. SEE SHEET G-1.6 FOR FURTHER INFORMATION.
 6. ALL INTERIOR WOOD FINISH CLADDING TO ACHIEVE A CLASS A FIRE RATING (FLAMESPREAD 0-25, SMOKE DEV'T 0-450) PER NFPA 101 (2003ed.) Ch.10.2.2.

1 TIKI BAR SEATING PLAN
SCALE: 1/4"=1'-0"



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REVISIONS		
09.13.10	CMB	COMMENTS
11.18.10	CMB	COMMENTS
11.22.10	CMB	COMMENTS

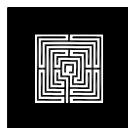
REVISIONS		

SOHO BEACH HOUSE
4385 COLLINS AVENUE, MIAMI BEACH, FL, 33140
JOB NO. 05035
TIKI HUT
CONSTRUCTION DOCUMENTS

TIKI HUT
A4.5d
08.11.10


[illegible]

SCALE: 1/8"=1'-0"



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REVISIONS		
	11.22.10	OWNERSHIP CHANGES

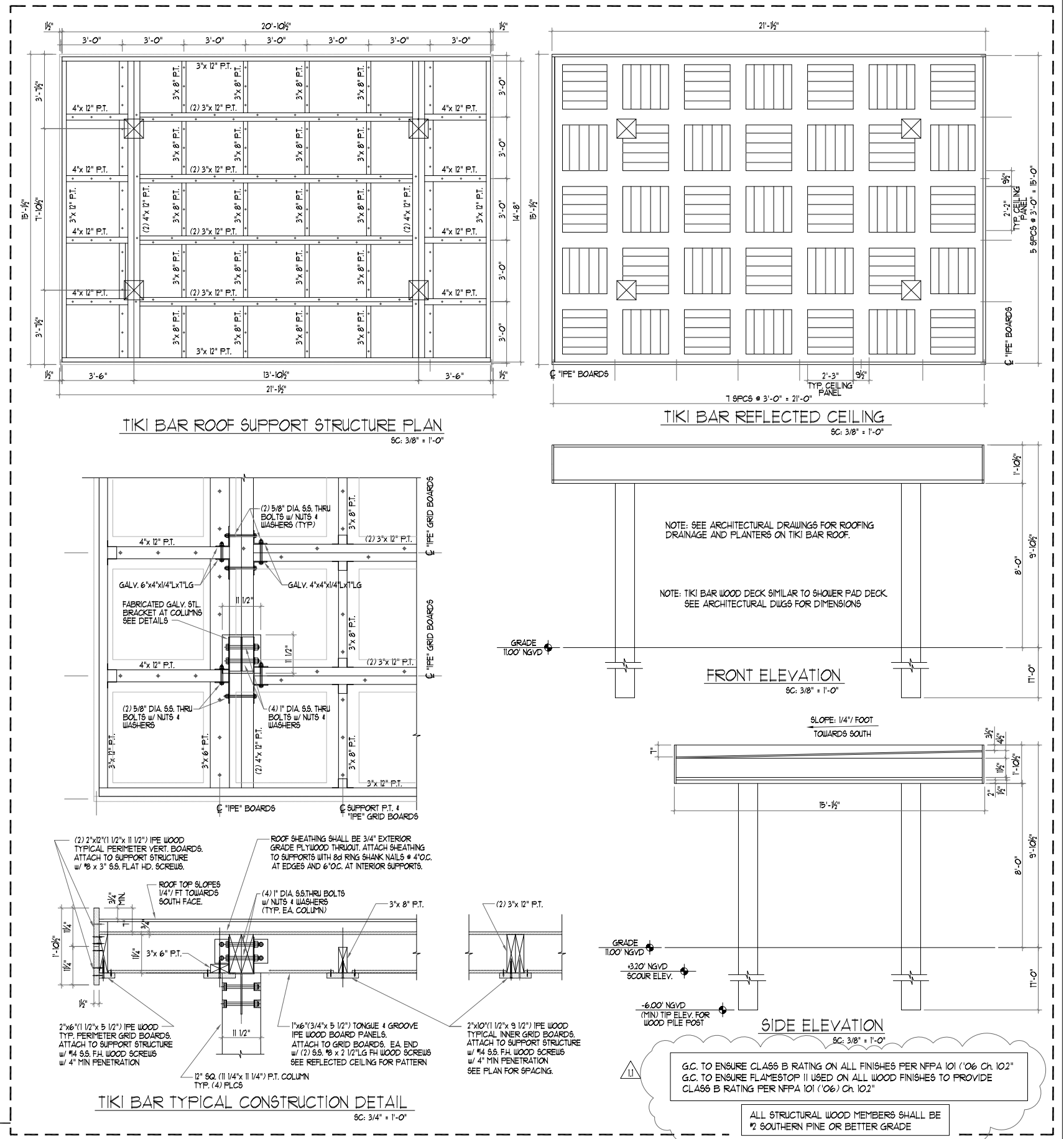
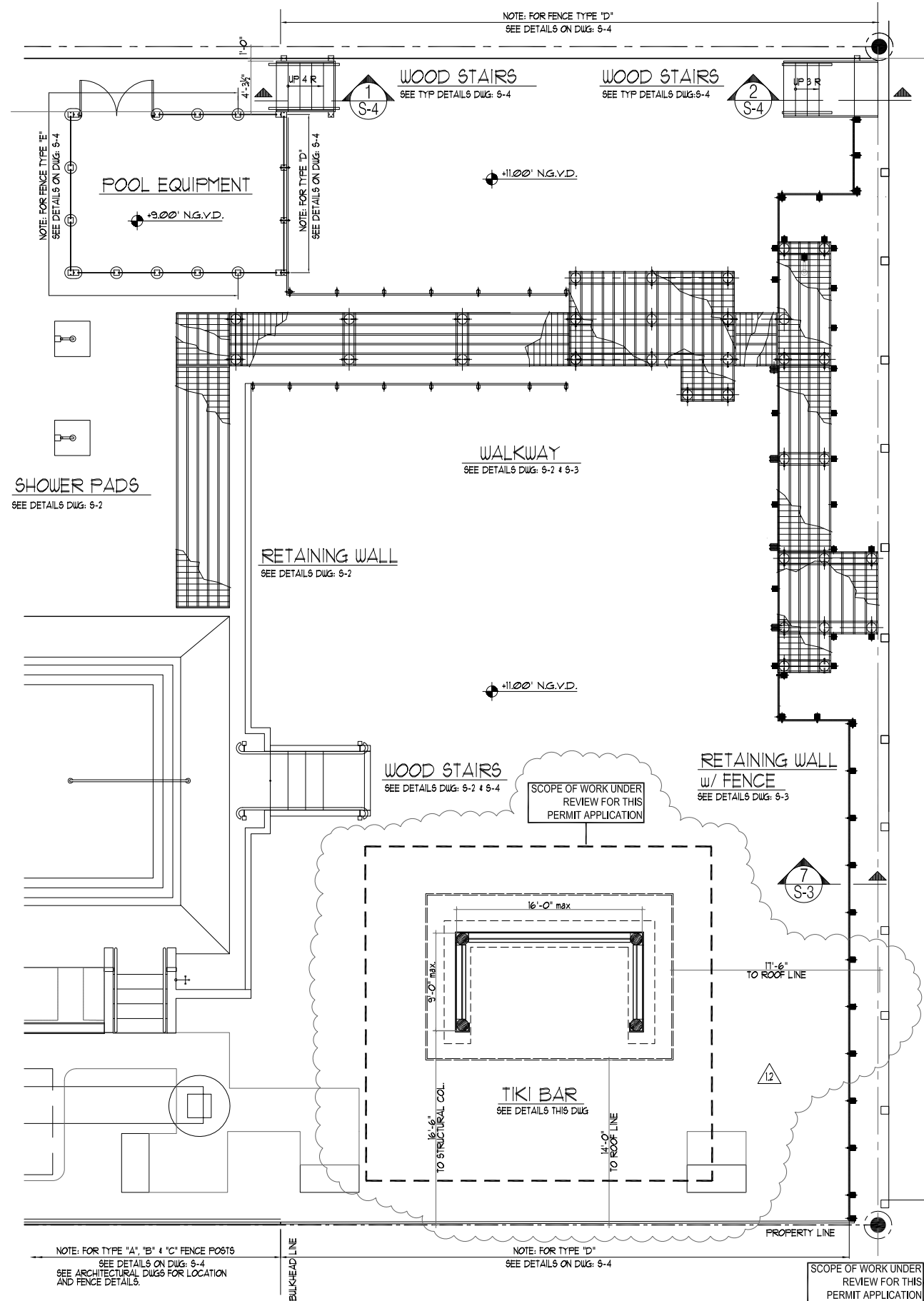
REVISIONS

4385 COLLINS AVENUE, MIAMI BEACH, FL, 33140
JOB NO. 05035

TIKI HUT
CONSTRUCTION DOCUMENTS

L-1.02

9.13.10



REVISIONS		
1	09.13.10	CMB COMMENT
2	11.18.10	CMB COMMENT

REVISIONS