

LANDSCAPE ARCHITECT

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# SANCTUARY HOTEL

1745 JAMES AVENUE MIAMI BEACH FLORIDA 33139 USA

AS APPROVED ON HPB MEETING OF  
JULY 14, 2020 - FILE No. HPB19-0354

## HISTORIC PRESERVATION BOARD

MIAMI BEACH, FLORIDA

UPDATED FINAL SUBMITTAL  
FILE NUMBER: HPB19-0354

OCTOBER 7, 2022

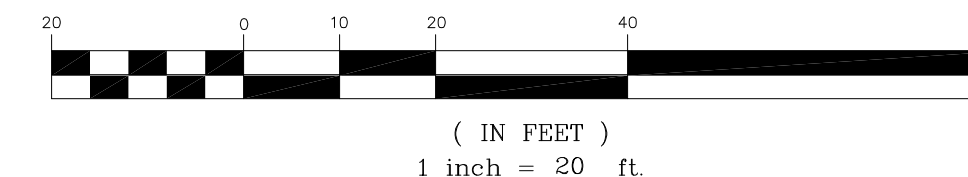
# VICINITY MAP

SECTION 34, TOWNSHIP 53 SOUTH, RANGE 42 EAST  
LYING AND BEING IN MIAMI-DADE COUNTY FLORIDA  
(NOT TO SCALE)



# ALTA/NSPS SURVEY

GRAPHIC SCALE



### TITLE REVIEWS:

ALL THE FOLLOWING DOCUMENTS, LISTED IN SCHEDULE B-II OF THE TITLE COMMITMENT FILE NUMBER: 1292027, PREPARED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, DATE EFFECTIVE AS OF JUNE 10, 2022 AT 11:00 PM, FURNISHED BY THE CLIENT TO THE UNDERSIGNED WERE REVIEWED TO SHOW ANY MATTER AFFECTING THE SUBJECT PROPERTY.

THIS COMMITMENT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS COMMITMENT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.

THE POLICY WILL NOT INSURE AGAINST LOSS OR DAMAGE RESULTING FROM THE TERMS AND PROVISIONS OF ANY LEASE OR EASEMENT IDENTIFIED IN SCHEDULE A, AND WILL INCLUDE THE FOLLOWING EXCEPTIONS UNLESS CLEARED TO THE SATISFACTION OF THE COMPANY.

1. DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY, CREATED, FIRST APPEARING IN THE PUBLIC RECORDS OR ATTACHING SUBSEQUENT TO THE COMMITMENT DATE HEREOF BUT PRIOR TO THE DATE THE PROPOSED INSURED ACQUIRES FOR VALUE OF RECORD THE ESTATE OR INTEREST OR MORTGAGE THEREON COVERED BY THIS COMMITMENT. (NOT SURVEY-MATTER)

2. A. GENERAL OR SPECIAL TAXES AND ASSESSMENTS REQUIRED TO BE PAID IN THE YEAR 2022 AND SUBSEQUENT YEARS. (NOT SURVEY-MATTER)

b. RIGHTS OR CLAIMS OF PARTIES IN POSSESSION NOT RECORDED IN THE PUBLIC RECORDS. (NOT SURVEY-MATTER)

c. ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION OR ADVERSE CIRCUMSTANCE THAT WOULD BE DISCLOSED BY AN INSPECTION OR AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND AND INSPECTION OF THE LAND. (VISIBLE ABOVE GROUND ENCROACHMENT CONSISTS OF: TILES, CONCRETE PAD AND A PORTION OF WALL FALLING INSIDE THE EASEMENT. TOGETHER WITH A PORTION OF WALLS ALONG THE WEST, SOUTH AND EAST BOUNDARY LINES AND FENCE, TILE AND STEPS ALONG THE EAST BOUNDARY LINE FALLING OUTSIDE THE SUBJECT PROPERTY. ALL THOSE AS SHOWN ON THE SKETCH OF SURVEY)

d. EASEMENTS OR CLAIMS OF EASEMENTS NOT RECORDED IN THE PUBLIC RECORDS.

6. ANY LIEN, OR RIGHT TO A LIEN, FOR SERVICES, LABOR OR MATERIAL FURNISHED, IMPOSED BY LAW AND NOT RECORDED IN THE PUBLIC RECORDS. (NOT SURVEY-MATTER)

3. ANY OWNER'S POLICY ISSUED PURSUANT HERETO WILL CONTAIN UNDER SCHEDULE B THE FOLLOWING EXCEPTION: ANY ADVERSE OWNERSHIP CLAIM BY THE STATE OF FLORIDA BY RIGHT OF SOVEREIGNTY TO ANY PORTION OF THE LAND INSURED HEREUNDER, INCLUDING SUBMERGED, FILLED AND ARTIFICIALLY EXPOSED LANDS, AND LANDS ACCRETED TO SUCH LANDS. (NOT SURVEY-MATTER)

4. ANY LIEN PROVIDED BY COUNTY ORDINANCE OR BY CHAPTER 159, F.S., IN FAVOR OF ANY CITY, TOWN, VILLAGE OR PORT AUTHORITY, FOR UNPAID SERVICE CHARGES FOR SERVICES BY ANY WATER SYSTEMS, SEWER SYSTEMS OR GAS SYSTEMS SERVING THE LAND DESCRIBED HEREIN; AND ANY LIEN FOR WASTE FEES IN FAVOR OF ANY COUNTY OR MUNICIPALITY. (NOT SURVEY-MATTER)

5. RESTRICTIONS, CONDITIONS, RESERVATIONS, EASEMENTS AND OTHER MATTERS CONTAINED ON THE PLAT OF FISHER'S FIRST SUBDIVISION OF ALTON BEACH, AS RECORDED IN PLAT BOOK 2, PAGE 77, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. (AFFECTS THE PROPERTY)

6. TERMS AND CONDITIONS OF VARIANCE BEFORE THE ZONING BOARD OF ADJUSTMENT OF THE CITY OF MIAMI BEACH RECORDED IN BOOK 12296, PAGE 284, AND IN O.R. BOOK 12296, PAGE 290, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. (AFFECTS THE PROPERTY, NOT PLOTTABLE)

7. HISTORIC PRESERVATION BOARD ORDER RECORDED IN O. R. BOOK 20143, PAGE 4468, IN O.R. BOOK 20943, PAGE 3977, AND BOOK 32041, PAGE 1844, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. (AFFECTS THE PROPERTY, NOT PLOTTABLE)

8. EASEMENT TO FLORIDA POWER AND LIGHT COMPANY FOR THE CONSTRUCTION, OPERATION AND MAINTENANCE OF ELECTRIC UTILITY FACILITIES CONTAINED IN INSTRUMENT RECORDED DECEMBER 14, 2004, UNDER O.R. BOOK 22905, PAGE 1685, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. (AFFECTS THE PROPERTY AS SHOWN ON THE SKETCH OF SURVEY).

9. RIGHTS OF THE LESSEES UNDER UNRECORDED LEASES INCLUDING PARTIES IN POSSESSION, HOTEL GUESTS AND INVITEES. (NOT SURVEY-MATTER)

### PROPERTY ADDRESS:

SUBJECT PROPERTY (THE PROPERTY) MEANS THE REAL PROPERTY

SUBJECT PROPERTY (THE PROPERTY) AS FOLLOWS:

FOLIO No.: 02-3234-019-0010

1745 JAMES AVE  
MIAMI BEACH, FL 33139

AREA OF PROPERTY:  
15,000 SQUARE FEET AND/OR  
0.344 ACRES MORE OR LESS.

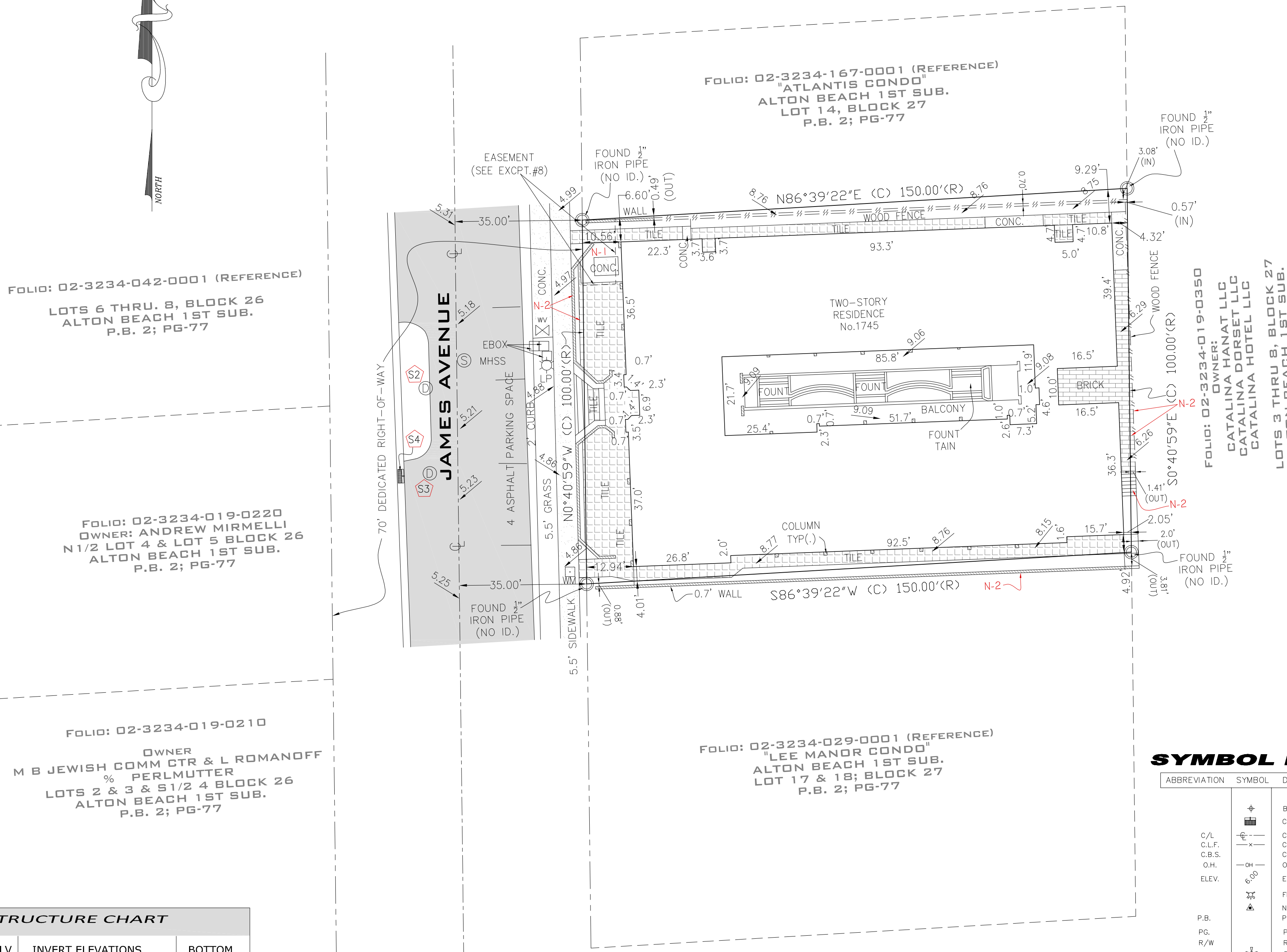
### NOTES:

N-1 = A PORTION OF THE CBS WALL, CONCRETE AND THE BRICK ALONG

THE WEST & NORTH BOUNDARY LINE, FALLS INSIDE THE EASEMENT.

N-2 = A PORTION OF THE CBS WALL ALONG THE SOUTH, WEST & EAST BOUNDARY LINES AND THE WOOD FENCE AND STEPS ALONG THE EAST BOUNDARY LINE, FALLS OUTSIDE THE PROPERTY.

STRUCTURE CHART			
STRUCTURE No. & NAME	RIM ELV.	INVERT ELEVATIONS	BOTTOM
(1) SEW. MANHOLE	5.18	N. 10" PIPE, IN. EL. = (-)0.52 S. 10" PIPE, IN. EL. = (-)0.57 E. 6" PIPE, IN. EL. = (-)0.47 W. 6" PIPE, IN. EL. = (-)0.47	DIRTY
(2) DRAINAGE MANHOLE	4.86	N. & S. PIPE, IN. EL. = (-)1.64	DIRTY
(3) DRAINAGE MANHOLE	4.98	N. & S. PIPE, IN. EL. = (-)1.52 E. PIPE, IN. EL. = (-)0.98 W. PIPE, IN. EL. = 0.18	DIRTY
(4) CATCH BASIN	4.74	E. PIPE, IN. EL. = 0.64	DIRTY



### SYMBOL LEGEND

ABBREVIATION	SYMBOL	DEFINITION
		BENCHMARK
		CATCH BASIN
C/L		CENTERLINE
C.L.F.		CHAIN LINK FENCE
C.B.S.		CONCRETE BLOCK STRUCTURE
O.H.		OVERHEAD WIRE
ELEV.		ELEVATION (EXISTING)
		FIRE HYDRANT
		NAIL
P.B.		PLAT BOOK
PG.		PAGE
R/W		RIGHT OF WAY
		SECTION CORNER
		SEWER MANHOLE
		SIGN
		DENOTES CALCULATE
		WATER VALVE
		WOOD POWER POLE
		ASPHALT
		CONCRETE
		DENOTES RECORD
		DENOTES SPOT ELEVATION
		STRUCTURE NUMBER

### SURVEYOR'S CERTIFICATES:

TO:  
- 1745 JAMES LLC  
- BAY TITLE COMPANY  
- LV LENDING LLC  
- OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, INCLUDES ITEMS 1, 2, 3, 4, 6, 7, 8, 9, 10 (ONLY WHERE PARTY WALLS ARE PRESENT, 11, 12, 13, 14, 16, 17, 18, 19 AND 20 OF TABLE A THEREOF).

THE FIELD WORK WAS COMPLETED ON AUGUST 04, 2022

DATE OF PLAT OR MAP: AUGUST 04, 2022

THE UNDERSIGNED FURTHER CERTIFIES THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS ALTA SURVEY MAP IS TRUE AND CORRECT, THAT IT WAS MADE UNDER MY DIRECT SUPERVISION AND THAT IT MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPER CHAPTER 475, F.S. THROUGH 51-17.052 OF THE FLORIDA ADMINISTRATIVE CODE. PURSUANT TO CHAPTER 475, F.S. FLORIDA STATUTE. SUBJECT TO NOTES AND NOTATIONS SHOWN HEREON.

SIGNED:   
FOR THE FIRM  
ARTURO MENDOZGA, P.S., P.L.L.C. NO. 5844-STATE OF FLORIDA NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES IN A DIGITAL FORMAT NOT VALID WITHOUT AN AUTHENTIC ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL.

PROJECT NAME: <b>2207-0196</b>		PROFESSIONAL SURVEYORS AND MAPPERS P.O. BOX 127601 HIALEAH, FLORIDA 33012 PHONE: (305) 556-4002 FAX: (305) 556-4003 WWW.LMSURVEYING.COM EMAIL: REPORT@LMSURVEYING.COM <b>LB No. 7633</b>	<table border="1"> <thead> <tr> <th colspan="3">RECORD OF REVISION</th> </tr> <tr> <th>No.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	RECORD OF REVISION			No.	DATE	DESCRIPTION										Drawn by: M. GUZMAN Check by: AMENDIGUITA Date: 08-04-2022 Scale: 1" = 20' Project No.: 2207-0196 SHEET <b>1</b> OF 1 SHEETS
RECORD OF REVISION																			
No.		DATE		DESCRIPTION															
TYPE OF PROJECT: ALTA/NSPS SURVEY	CLIENT ADDRESS: N/A PROJECT LOCATION: SECTION 34, TOWNSHIP 53 SOUTH, RANGE 42 EAST MIAMI-DADE COUNTY, FLORIDA																		
SHEET NAME: LOCATION MAP, LEGAL DESCRIPTION, SURVEYOR'S NOTES, TITLE REVIEW COMMENTS & SKETCH																			
CLIENT: N/A																			

AS APPROVED ON HPB MEETING OF  
JULY 14, 2020 - FILE No. HPB19-0354

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Project

# SANCTUARY HOTEL

1745 JAMES AVENUE  
MIAMI BEACH, FLORIDA 33139

Revisions

Owner Information  
**1745 JAMES LLC**  
1111 Kane Concourse  
Bay Harbor Islands, Florida  
33140  
(305) 763-8166  
Consultant

Luis O. Revuelta  
AR-0007972

HPB FINAL SUBMITTAL

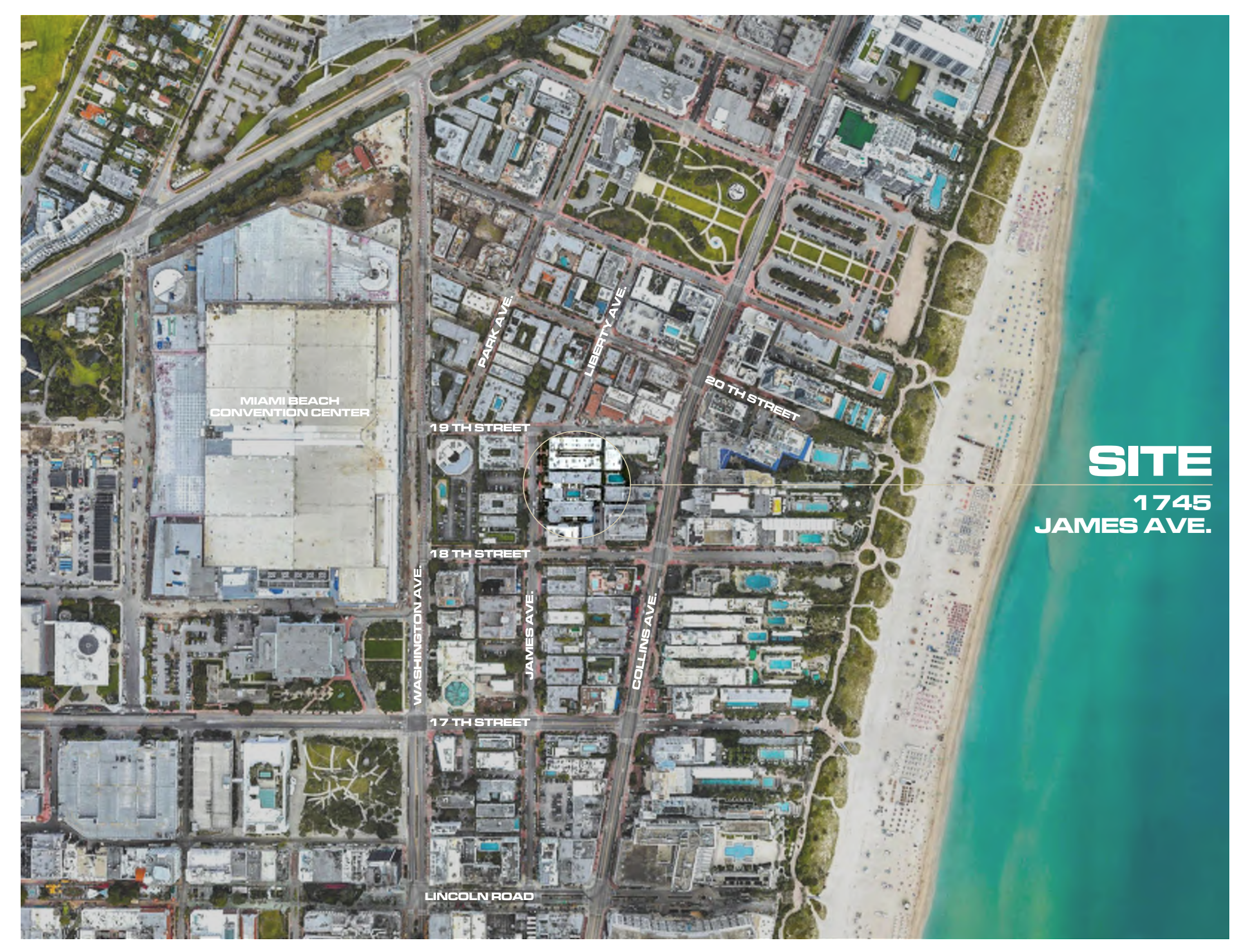
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Project No.  
2222

LOCATION MAP  
Sheet No.

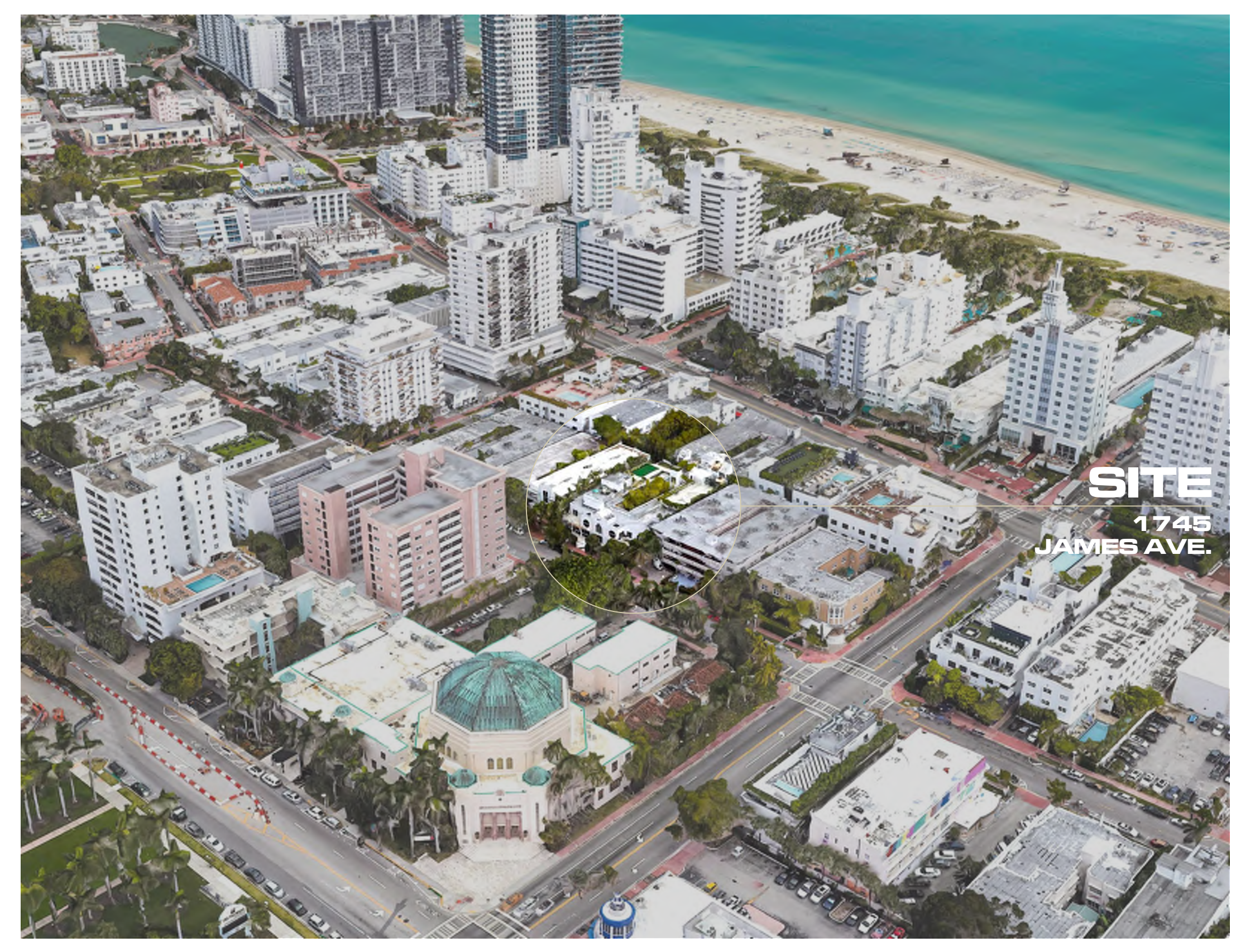
**A-001**

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**SITE**  
1745  
JAMES AVE.

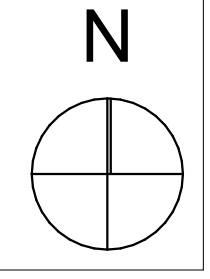


**SITE**  
1745  
JAMES AVE.



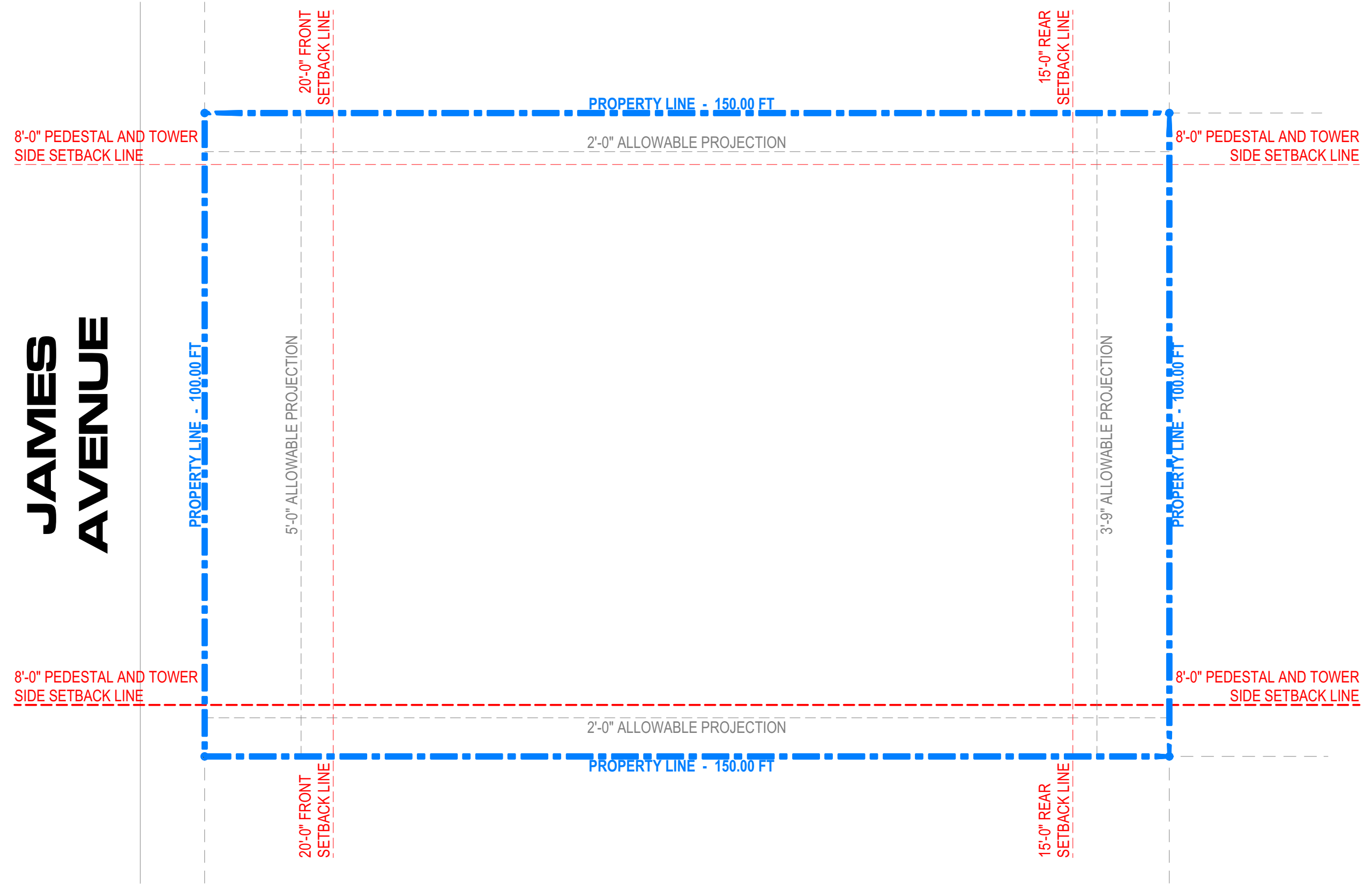
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1745  
JAMES AVE.

LOCATION MAP | 1

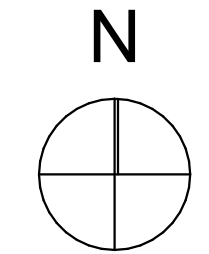


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**SETBACK ANALYSIS | 2**  
SCALE 1/16" = 1'-0"



1735 & 1745 JAMES AVENUE, MIAMI BEACH, FL 33139				
Zoning Information				
1	Address:	1735 & 1745 JAMES AVENUE		
2	Board and File Numbers:	HPB19-0354		
3	Folio Number(s):	02-3234-075-0001		
4	Year Constructed:	1735 - 1953 by Manfred Ungaro	Zoning District: RM-2 Resid. multifamily, medium intensity	
		1745 - 1951 by Leonard H. Glasser		
5	Based Flood Elevation:	8'-0" N.G.V.D.	Grade value in NGVD: 4.86' N.G.V.D.	
6	Adjusted grade (Flood+1'):	+9.0' N.G.V.D.	Lot Area: 15,000 SF (0.344 ac.)	
7	Lot width:	100'	Lot Depth: 150'	
8	Minimum Unit Size (Hotel)	222 SF	Average Unit Size (Hotel) 230.73 SF	
9	Existing use:	Hotel	Proposed use: Hotel	
		1984 - Two apartments were connected with current conditions into one AOL then Hotel and destination restaurant		
Building Data		Maximum	Proposed	Deficiencies
10	Height	50'-0"	50'-0"	
11	Number of Stories	5		
12	FAR	30,000 SF	29,862 SF	
13	Gross square footage		42,833 SF	
14	Square Footage by use	N/A		
15	Number of units Residential	N/A		
16	Number of units Hotel	N/A	90	
17	Number of seats	N/A		
18	Occupancy load	N/A		
Setbacks		Required	Proposed	Deficiencies
At Grade Parking:				
24	Front Setback (JAMES AVENUE)	N/A		
25	Side Setback (NORTH YARD)	N/A		
27	Side Setback (SOUTH YARD)	N/A		
28	Rear Setback (EAST YARD)	N/A		
Pedestal:				
29	Front Setback (OCEAN DRIVE)	20'-0"	20'-0"	
30	Side Setback (NORTH YARD)	8'-0"	10'-9"	
32	Side Setback facing street (3RD ST.)	8'-0"	10'-9"	
33	Rear Setback (OCEAN CT. ALLEY)	15'-0"	15'-0"	
Tower:				
34	Front Setback:	N/A		
35	Side Setback:	N/A		
36	Side Setback:	N/A		
37	Side Setback facing street:	N/A		
38	Rear Setback:	N/A		
Parking		Required	Proposed	Deficiencies
39	Parking district	District No. 9		
40	Total # of parking spaces	Hotel Units No Parking Requirement	0 spaces	
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)	see chart below		
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)	see chart below		
43	Parking Space Dimensions	A standar perpendicular parking space shall have a width of not less than eight and one-half feet and a length of not less than 18 feet, or when located outdoors, 16 feet with two feet of pervious overhang, in place of wheel stops and defined by continuous concrete curb, for a total length of 18 feet. The provision of having a two-foot pervious area overhang in standard parking spaces may be waived at the discretion of the planning and zoning director in those instances where said overhang is not practical. In no instance, however, shall the length of any standard off-street parkind space be less than 18 feet, unless otherwise provided for under sections 130-101, 130-251, 130-281, 130-69 and 130-61(2) herein.	8'-6" x 18'-0"	
44	Parking Space configuration (450, 600, 900, Parallel)		N/A	
45	ADA Spaces	1	N/A	
46	Tandem Spaces		N/A	
47	Drive aisle width	Drives shall have a minimum width of 22 feet for two-way traffic and 11 feet for one-way traffic. For those grade level parking areas with less than ten parking spaces, inclusive of those parking areas underneath building or structure, the curb-cut and driveway entrance shall have a minimum width of 12 feet.	N/A	
48	Valet drop off and pick up		N/A	
49	Loading zones and Trash collection areas	N/A		
50	Bicycle Parking / Racks	Not required	0 spaces	

**ZONING DATA | 1**

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Project  
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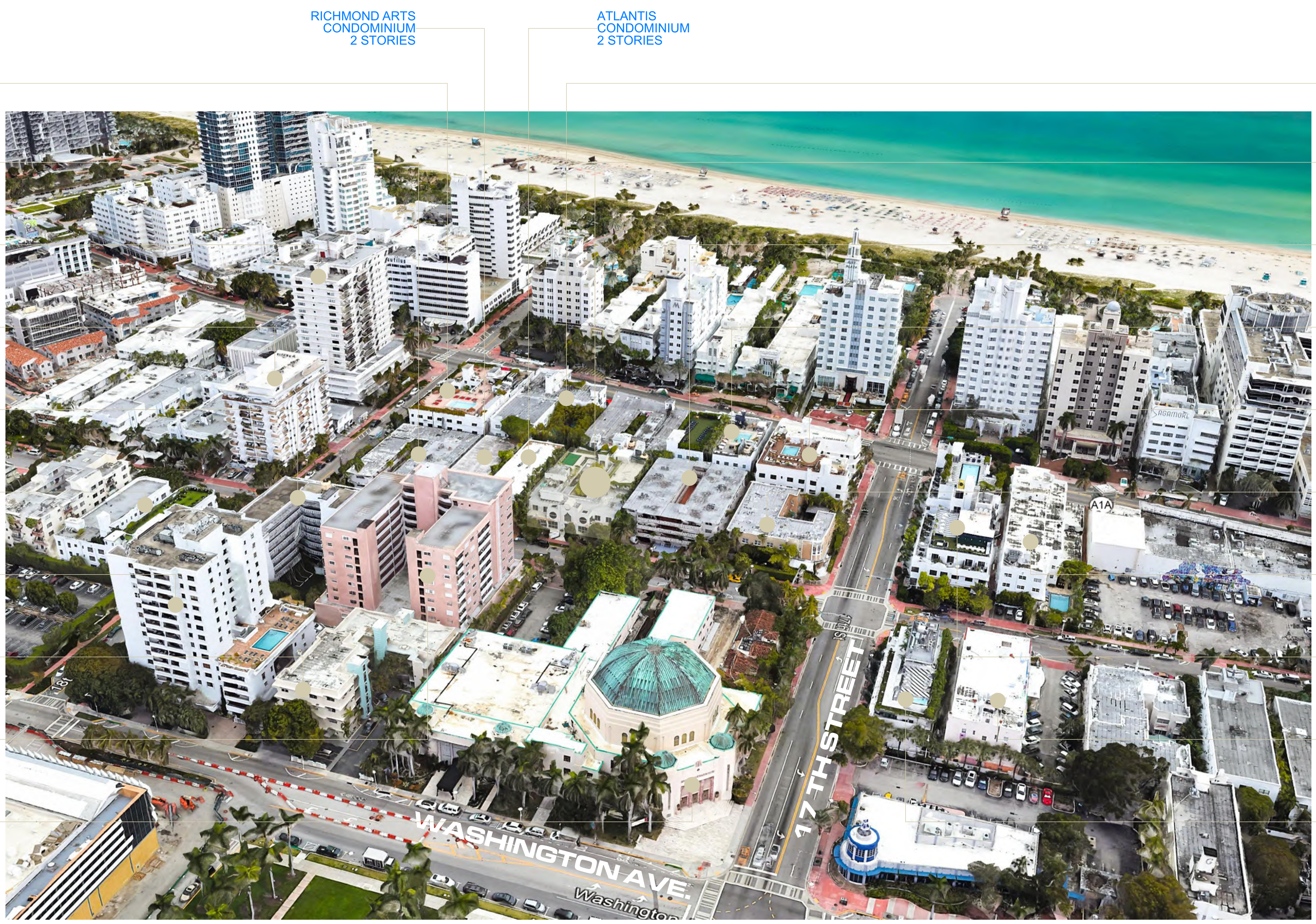
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2222

SITE CONTEXT  
Sheet No.  
**A-003**



THE REDBURY  
HOTEL  
3 STORIES

HOTEL 18  
HOTEL  
2 STORIES

1800 TOWER  
CONDOMINIUM  
16 STORIES

JAMES CENTRAL  
CONDOMINIUM  
11 STORIES

SEA BEACH  
CONDOMINIUM  
7 STORIES

LINCOLN ARMS  
HOTEL  
3 STORIES

PARK PLAZA  
CONDOMINIUM  
14 STORIES

WASHINGTON PARK  
CONDOMINIUM  
4 STORIES

1750 JAMES APT.  
CONDOMINIUM  
11 STORIES

MB JEWISH  
COMMUNITY  
CENTER

RICHMOND ARTS  
CONDOMINIUM  
2 STORIES

ATLANTIS  
CONDOMINIUM  
2 STORIES

THE CATALINA  
HOTEL  
3 STORIES

**SANCTUARY  
HOTEL**

LEE MANOR  
CONDOMINIUM  
4 STORIES

THE DORSET  
HOTEL  
3 STORIES

THE CLAREMONT  
HOTEL  
3 STORIES

THE CADET  
HOTEL  
2 STORIES

SAN JUAN  
HOTEL  
3 STORIES

REGENT & GALE  
HOTEL  
4 STORIES

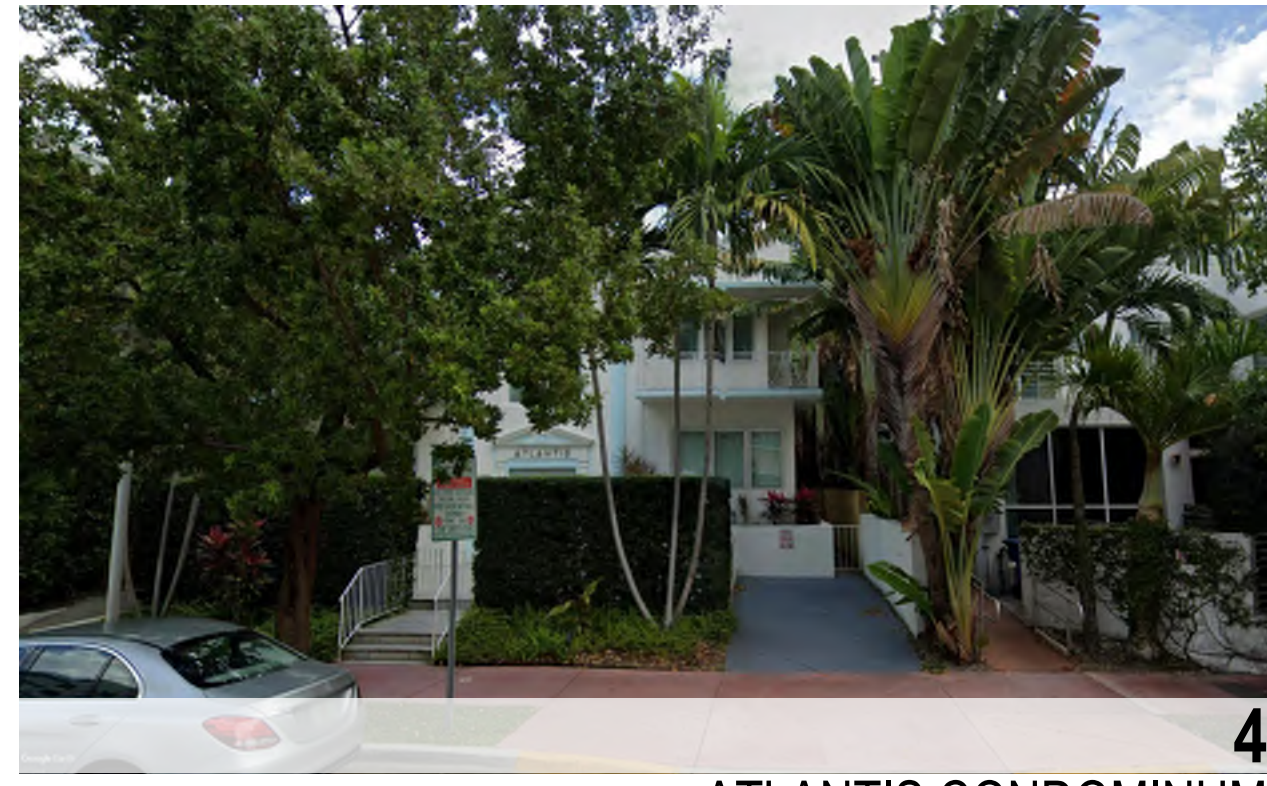
JAMES  
HOTEL  
3 STORIES

300 17TH ST  
HOTEL  
3 STORIES

SITE CONTEXT | 1

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4 ATLANTIS CONDOMINIUM



3 SANCTUARY HOTEL



2 LEE MANOR CONDOMINIUM



1 CADET HOTEL

AS APPROVED ON HPB MEETING OF  
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5 RICHMOND ARTS CONDOMINIUM



6 HOTEL 18



7 SEA BEACH CONDOMINIUM



8 1750 JAMES APT.



9 MB JEWISH COMMUNITY CENTER

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Project

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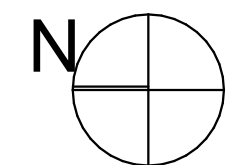
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STREET CONTEXT

Sheet No.

**A-004**

STREET CONTEXT | 1



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EXISTING BUILDING

Sheet No.

**A-005**



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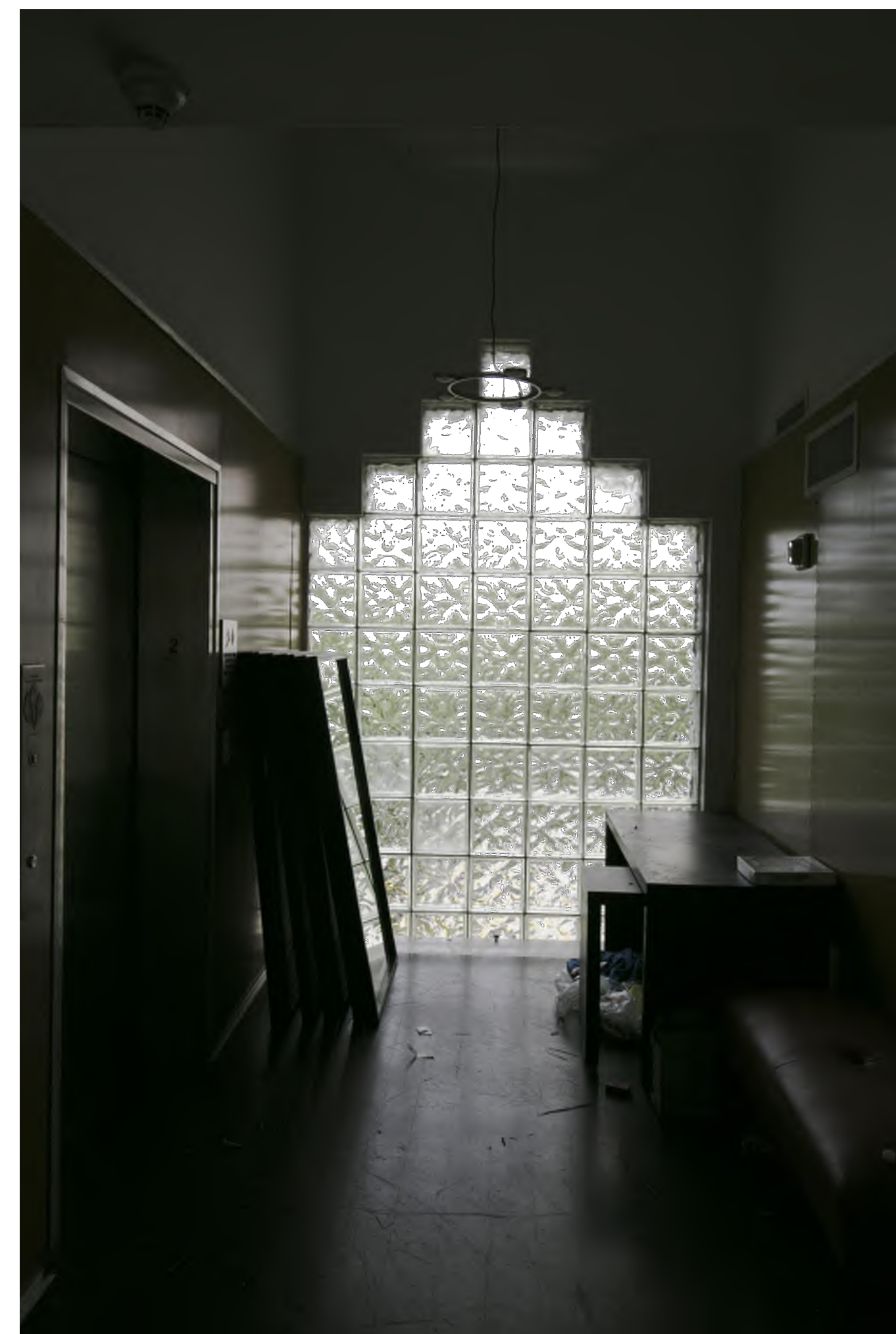
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EXIST. INTERIOR CONDITIONS  
Sheet No.  
**A-006**



A SECOND FLOOR CORRIDOR VIEW



LOBBY - RESTAURANT VIEWS

EXIST. BLDG - INTERIOR CONDITIONS | 1

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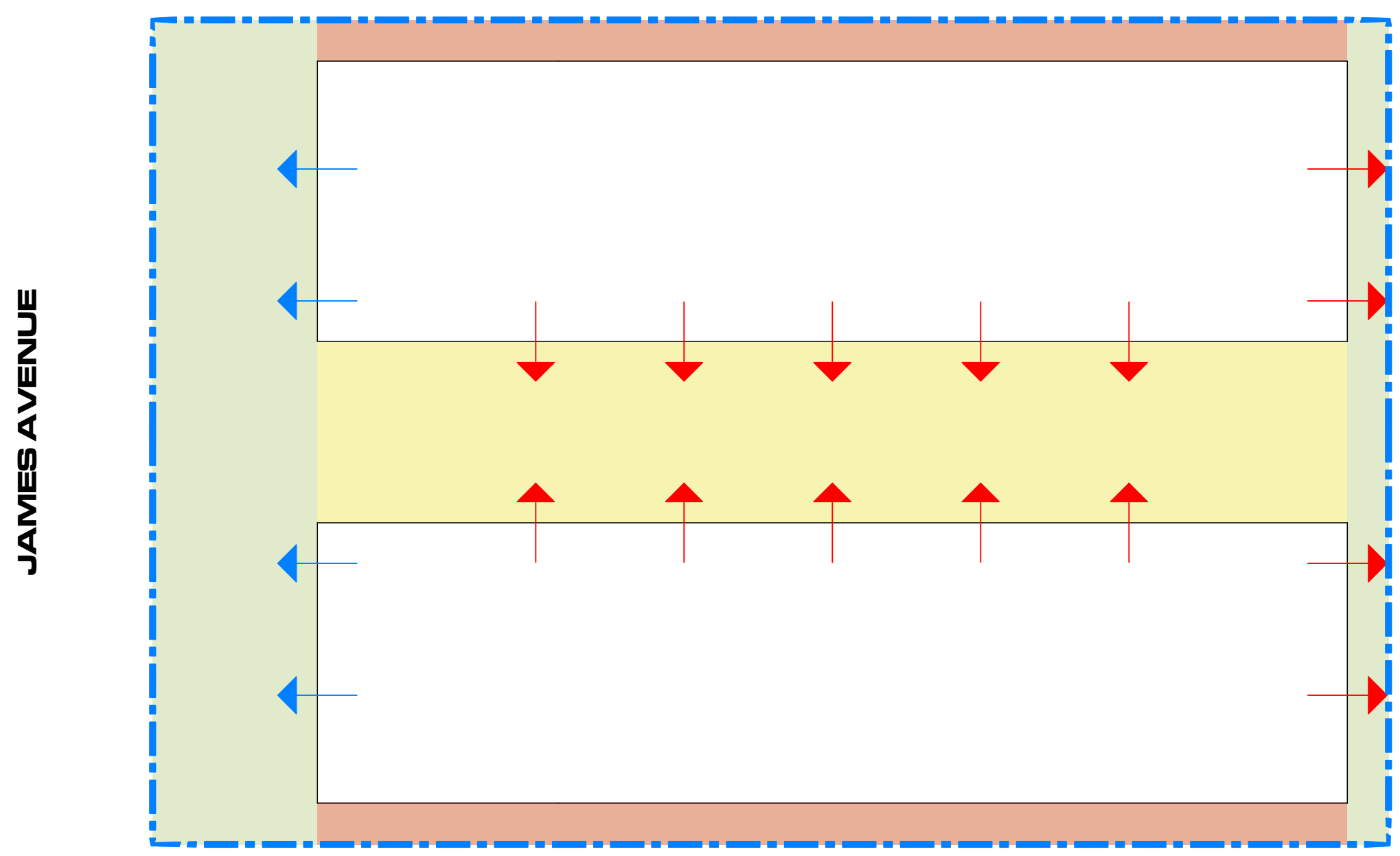
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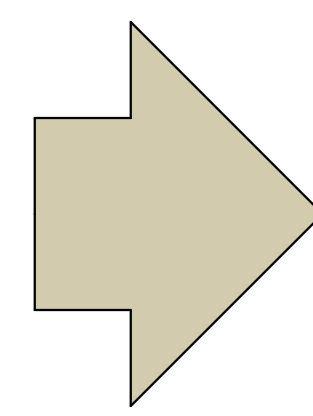
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CONCEPTUAL MASSING  
Sheet No.  
**A-007**

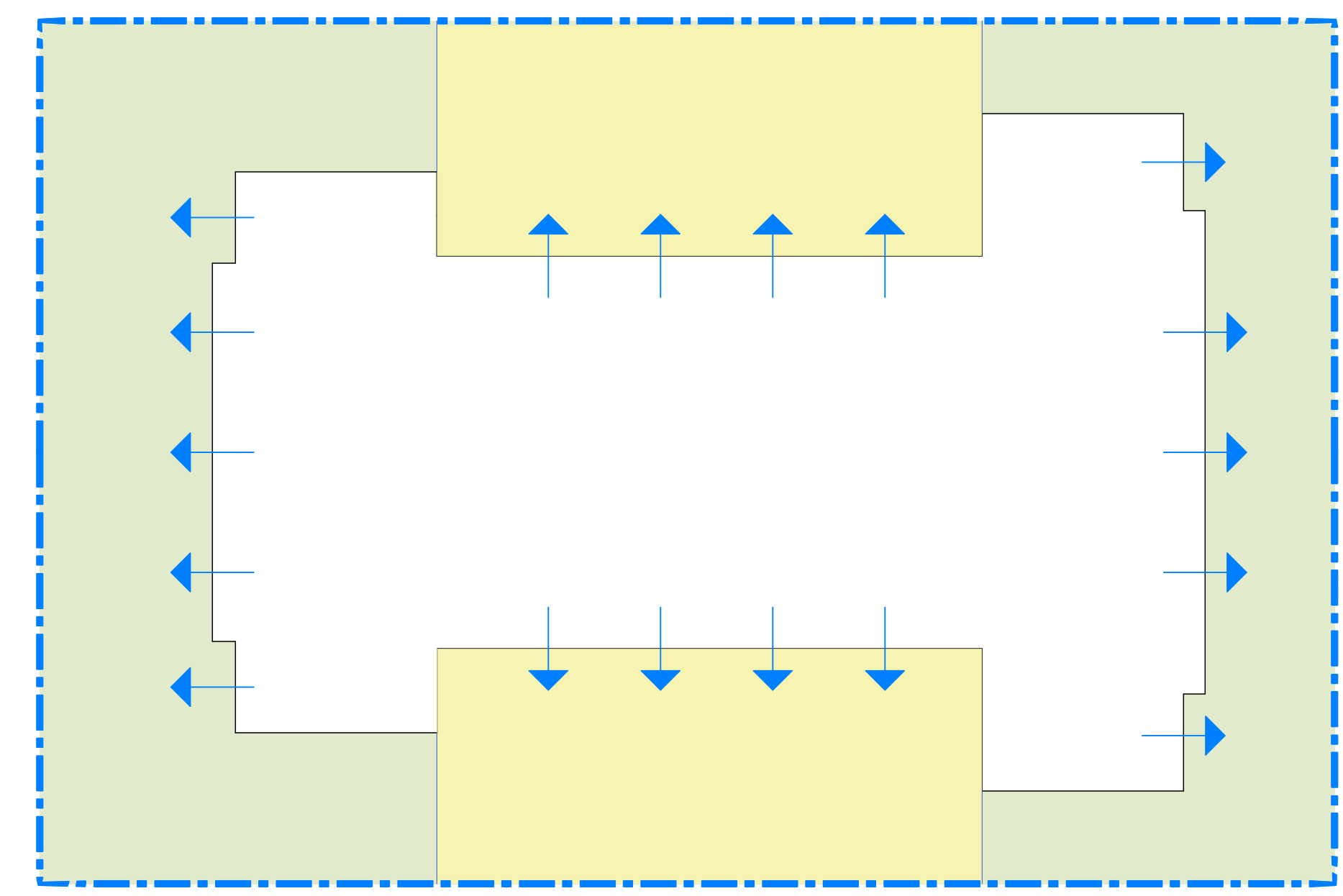
### 2020 CURRENT CONFIGURATION



- CENTRAL COURTYARD**
- ENCLOSED VIEWS
  - LONG PERIMETER WALLS
  - HEAVY MASS PERCEPTION



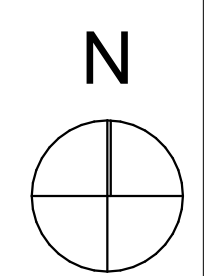
### PROPOSED CONFIGURATION



- SPLIT YARDS**
- OPEN VIEWS
  - ARTICULATED PERIMETER WALLS
  - LIGHTER MASS PERCEPTION

CONCEPTUAL MASSING | 1

SCALE 1/16" = 1'-0"



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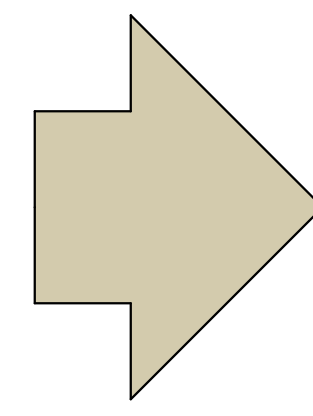
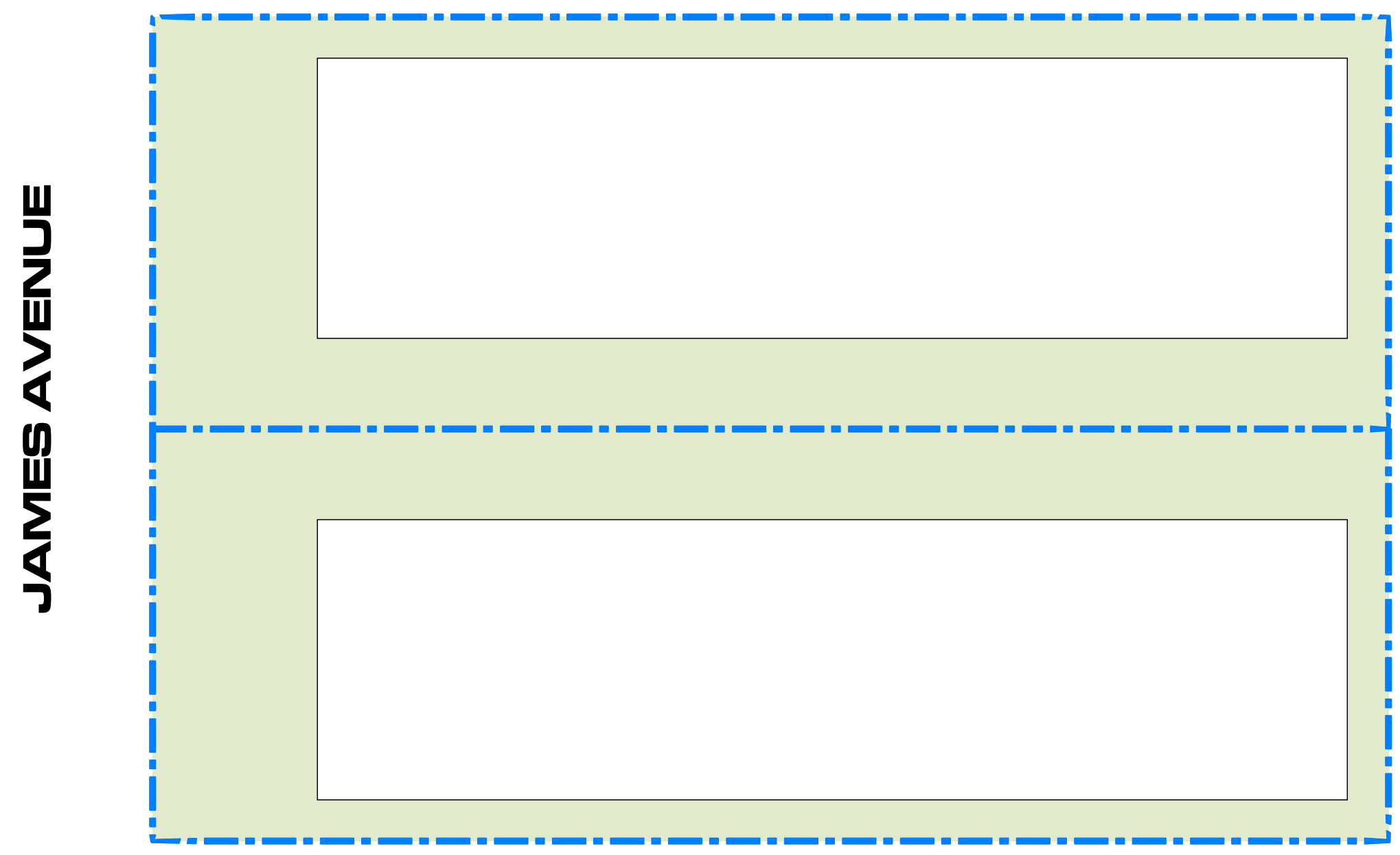
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BUILDING DEVELOPMENT  
OVER TIME

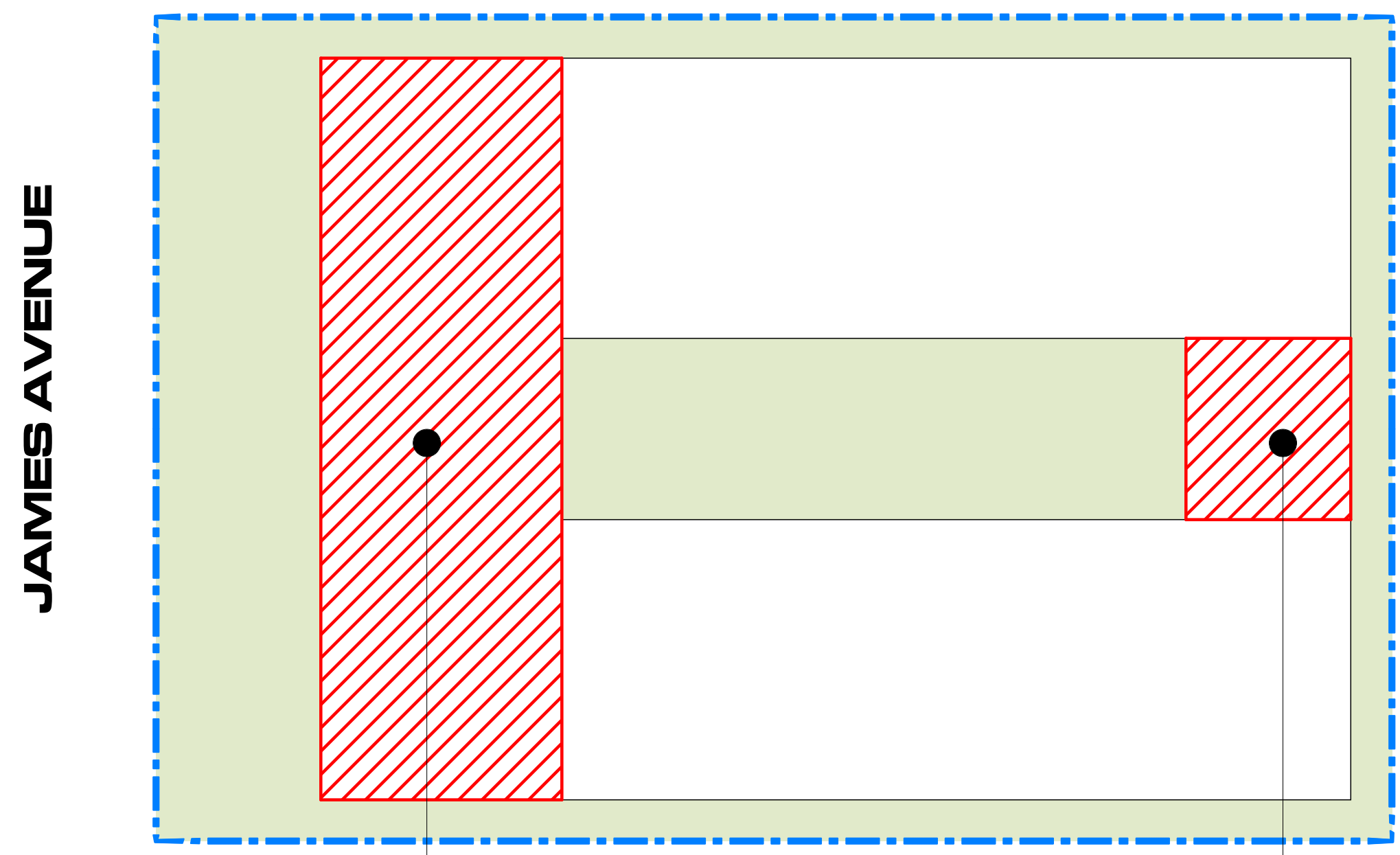
Sheet No.  
**A-008**



**BUILT IN 1951  
TWO SEPARATE PROPERTIES**



**RENOVATION IN 1984  
COMBINED PROPERTIES + ADDITION  
CURRENT CONFIGURATION**



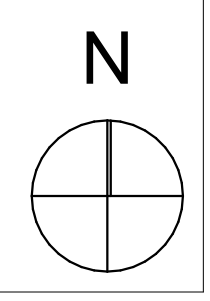
 **ADDITIONS WITH THE PARTIAL DEMOLITION OF  
THE ORIGINAL BUILDING**

NEW FACADE

STAIRS

BUILDING DEVELOPMENT OVER TIME | 1

SCALE 1/16" = 1'-0"



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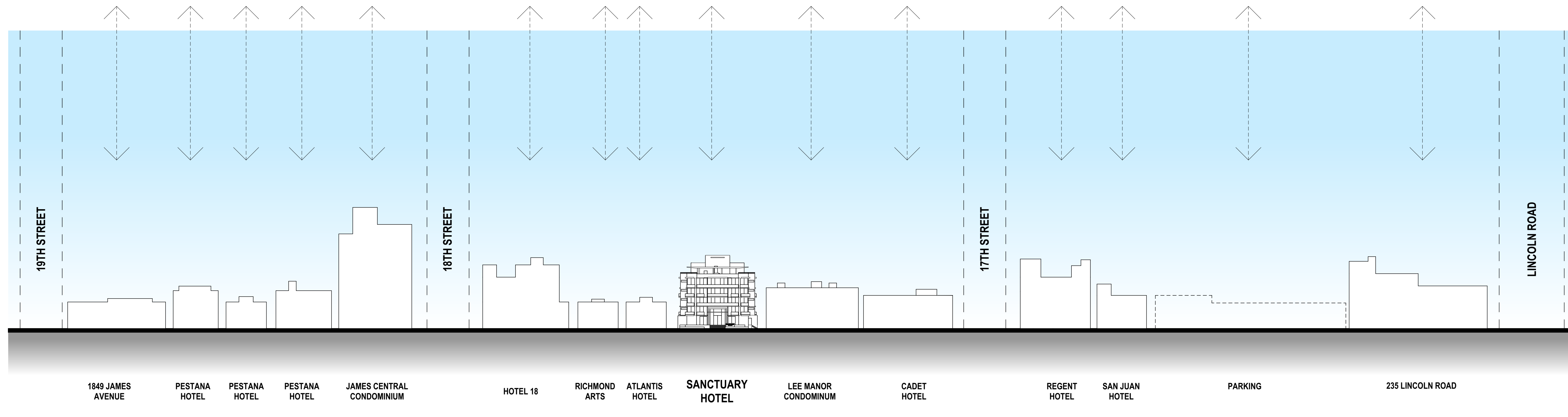
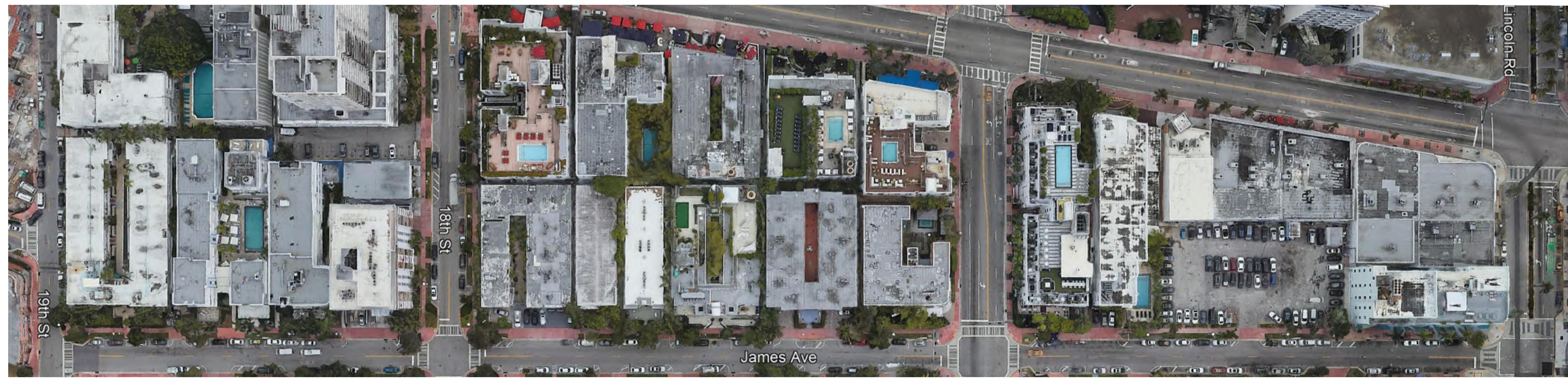
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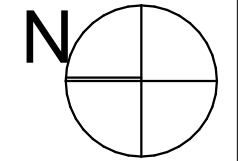
JAMES AVE. EAST ELEVATION  
Sheet No.

**A-009**



1849 JAMES AVENUE    PESTANA HOTEL    PESTANA HOTEL    PESTANA HOTEL    JAMES CENTRAL CONDOMINIUM    HOTEL 18    RICHMOND ARTS    ATLANTIS HOTEL    **SANCTUARY HOTEL**    LEE MANOR CONDOMINIUM    CADET HOTEL    REGENT HOTEL    SAN JUAN HOTEL    PARKING    235 LINCOLN ROAD

JAMES AVENUE EAST ELEVATION | 1  
N.T.S.



6 5 4 3 2 1

6 5 4 3 2 1

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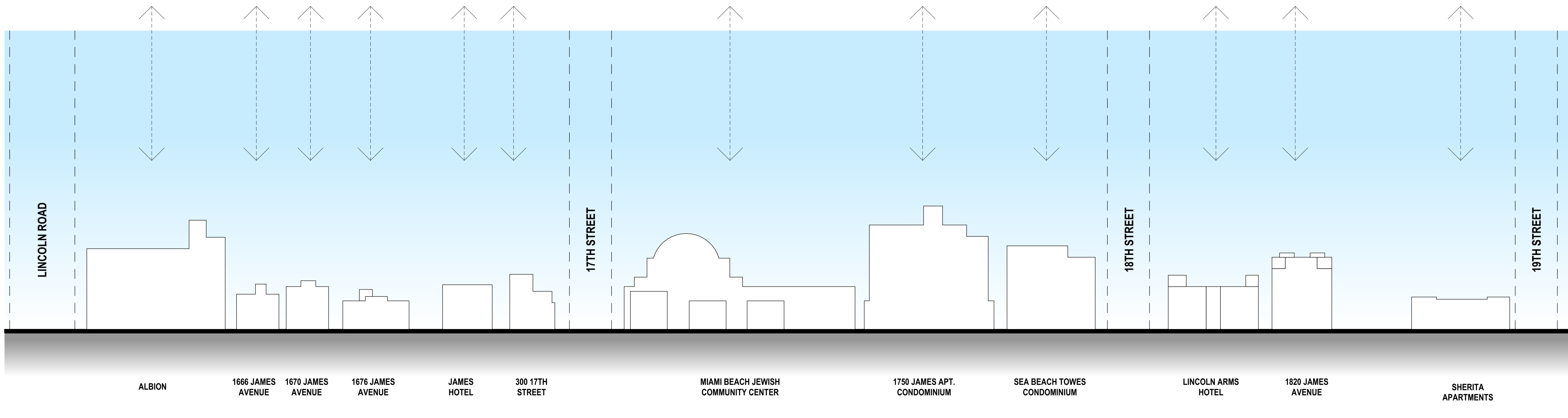
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JAMES AVE. WEST ELEVATION

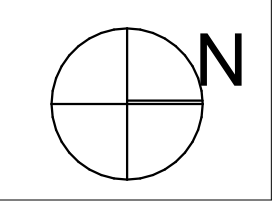
Sheet No.

**A-010**



JAMES AVENUE WEST ELEVATION | 1

N.T.S.



**ARCHITECT: LEONARD GLASSER**  
**REFERENCE BUILDINGS - ARCHITECTURAL ELEMENTS**



**1501 CALAIS DRIVE**

**FRAMED OR BOXED WINDOWS**



**1525 LENOX AVE.**

**MONUMENTAL ARCHITECTURAL ELEMENTS**



**800 LENOX AVE.**

**WRAP-AROUND HORIZONTAL FEATURES**



**1525 MICHIGAN AVE.**

**PREVALENCE OF STUCCO FINISHES**

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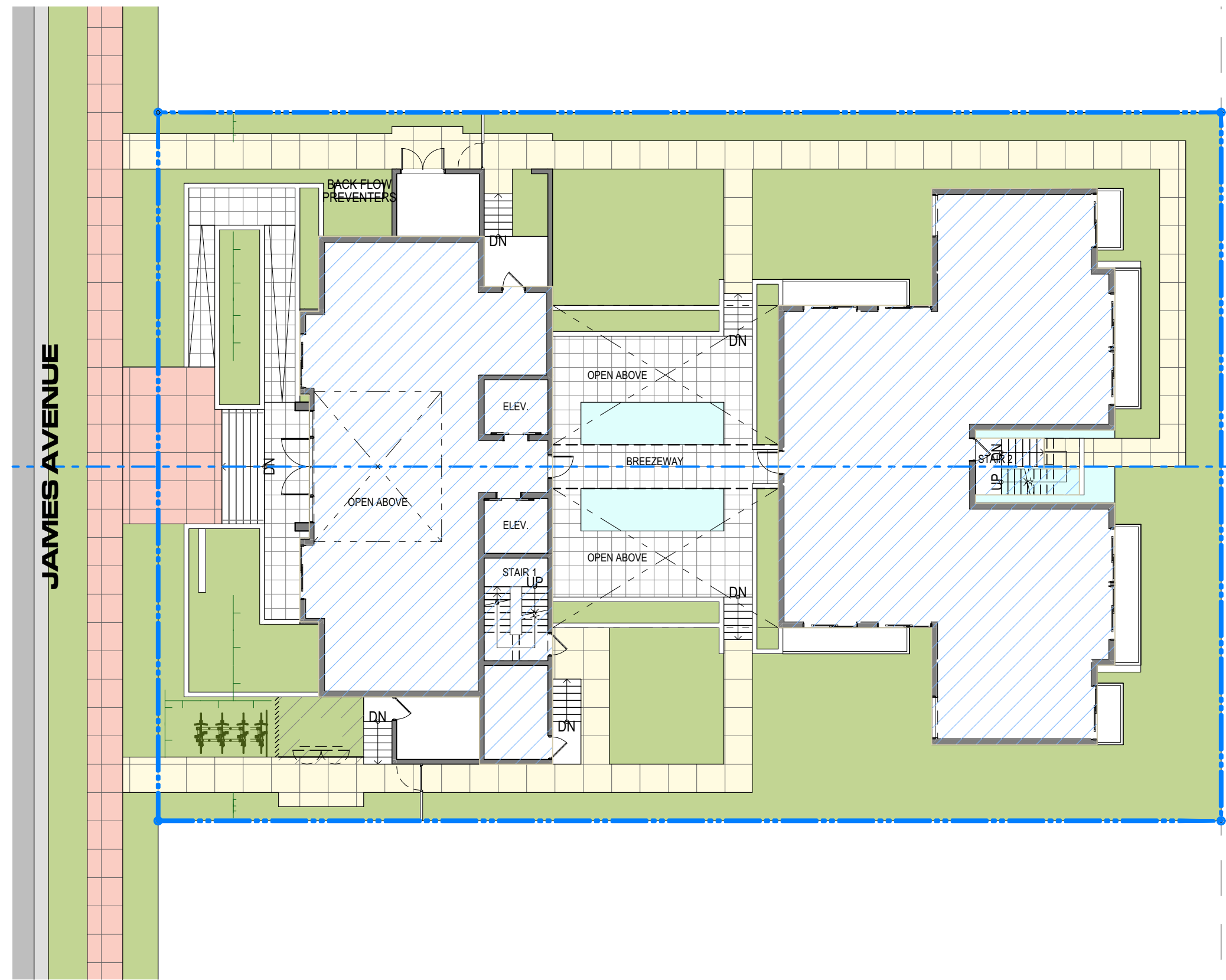
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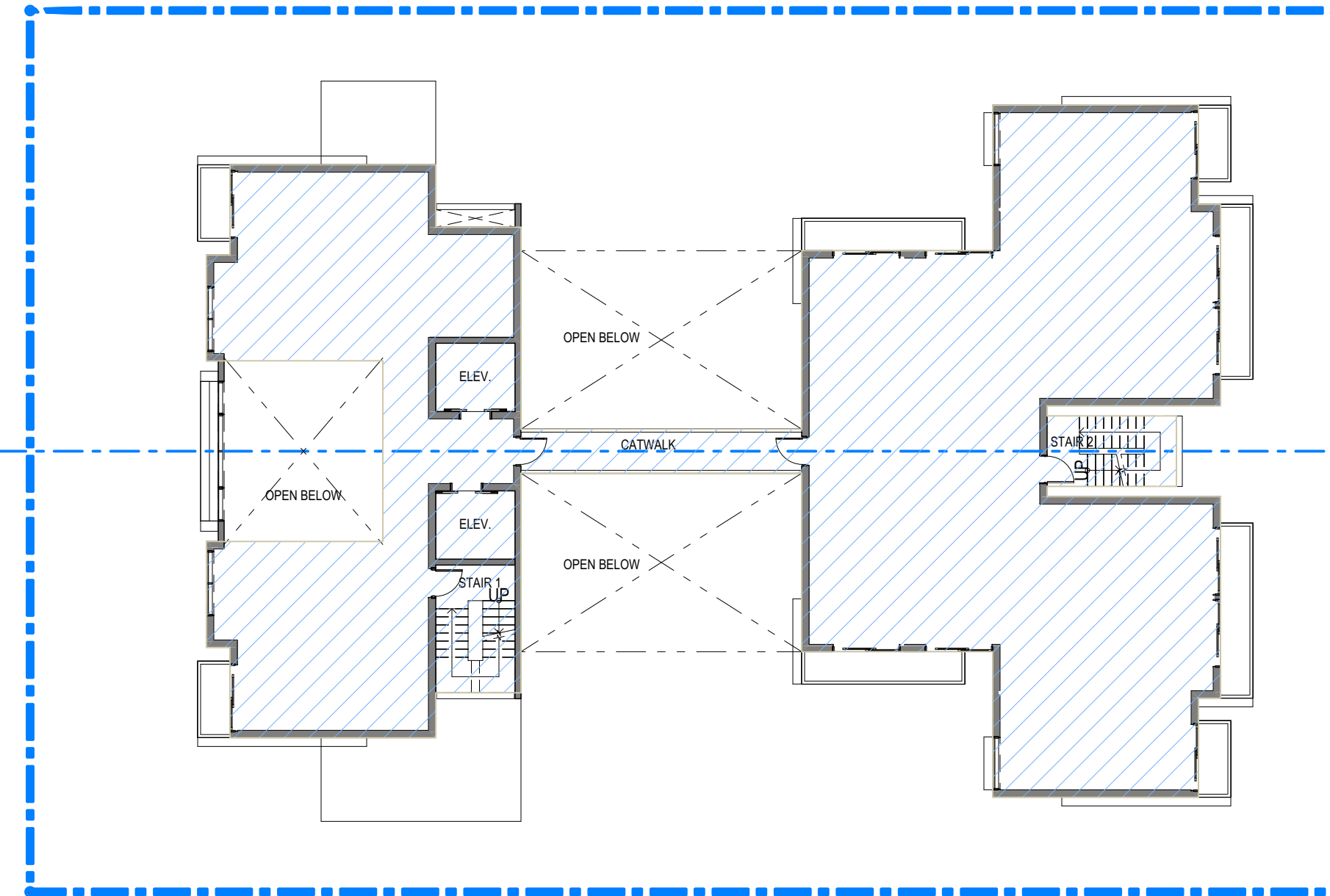
FAR CALCULATIONS  
 Sheet No.

**A-012**



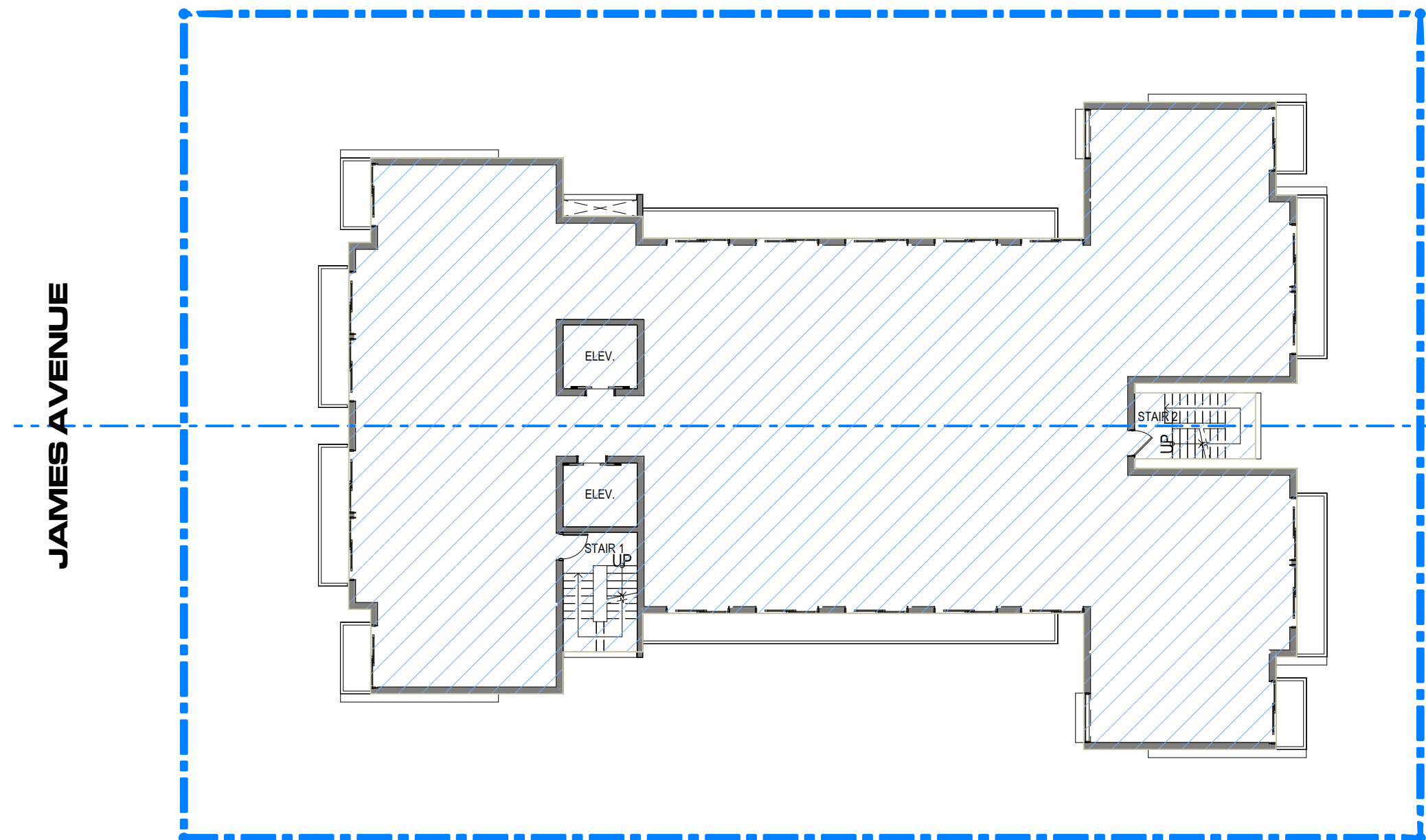
F.A.R. FLOOR PLAN - GROUND LEVEL | 1

SCALE 1/16" = 1'-0"



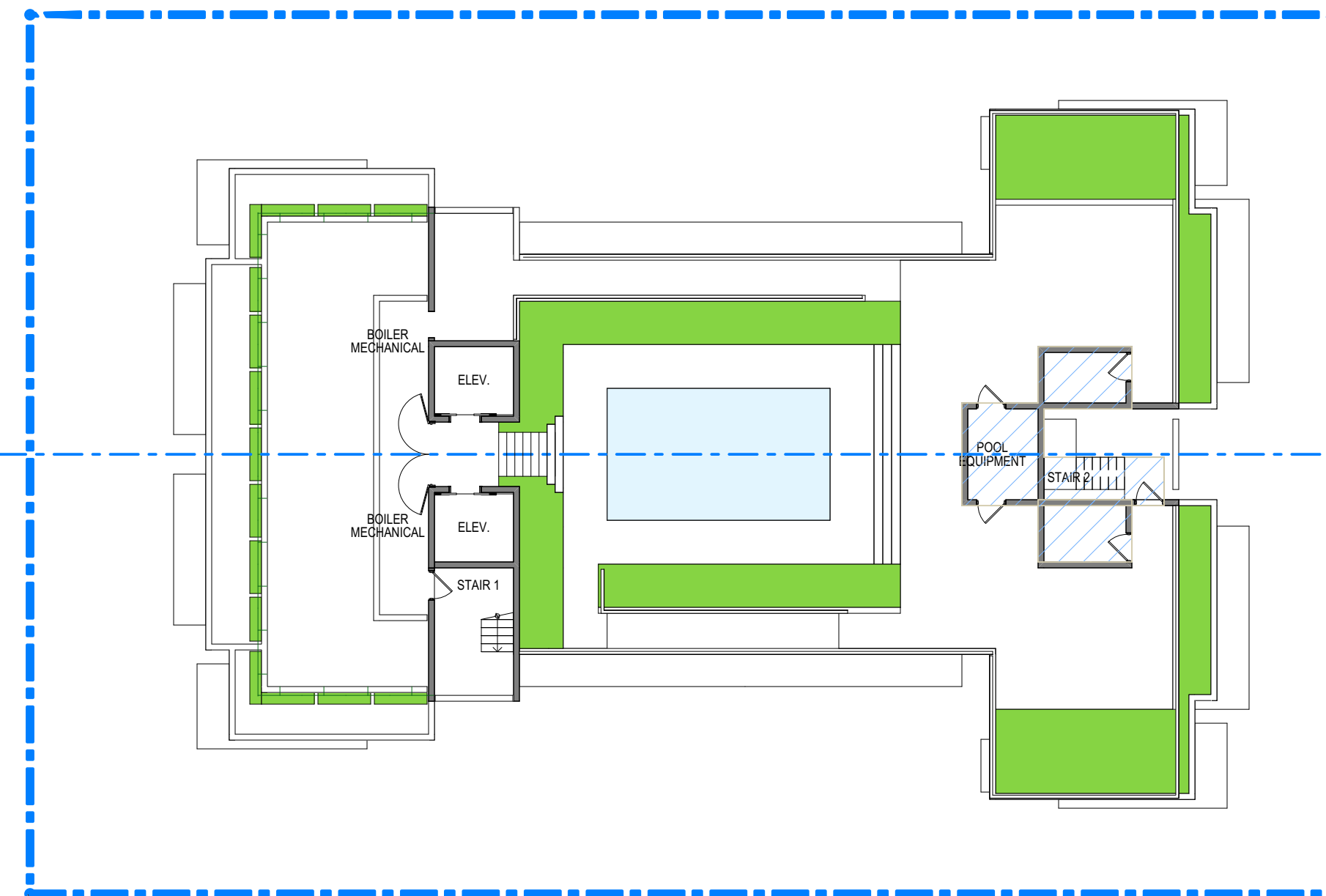
F.A.R. FLOOR PLAN - LEVEL 2 | 2

SCALE 1/16" = 1'-0"



F.A.R. FLOOR PLAN - LEVEL 3, 4 & 5 | 3

SCALE 1/16" = 1'-0"



F.A.R. FLOOR PLAN - ROOF LEVEL | 4

SCALE 1/16" = 1'-0"

**FAR CALCULATION**

<b>ALLOWED</b>	<b>30,000 SF</b>
GROUND LEVEL	5,115 SF
LEVEL 2	4,768 SF
LEVEL 3	6,466 SF
LEVEL 4	6,466 SF
LEVEL 5	6,466 SF
ROOF LEVEL	581 SF
<b>TOTAL</b>	<b>29,862 SF</b>

FAR AREA

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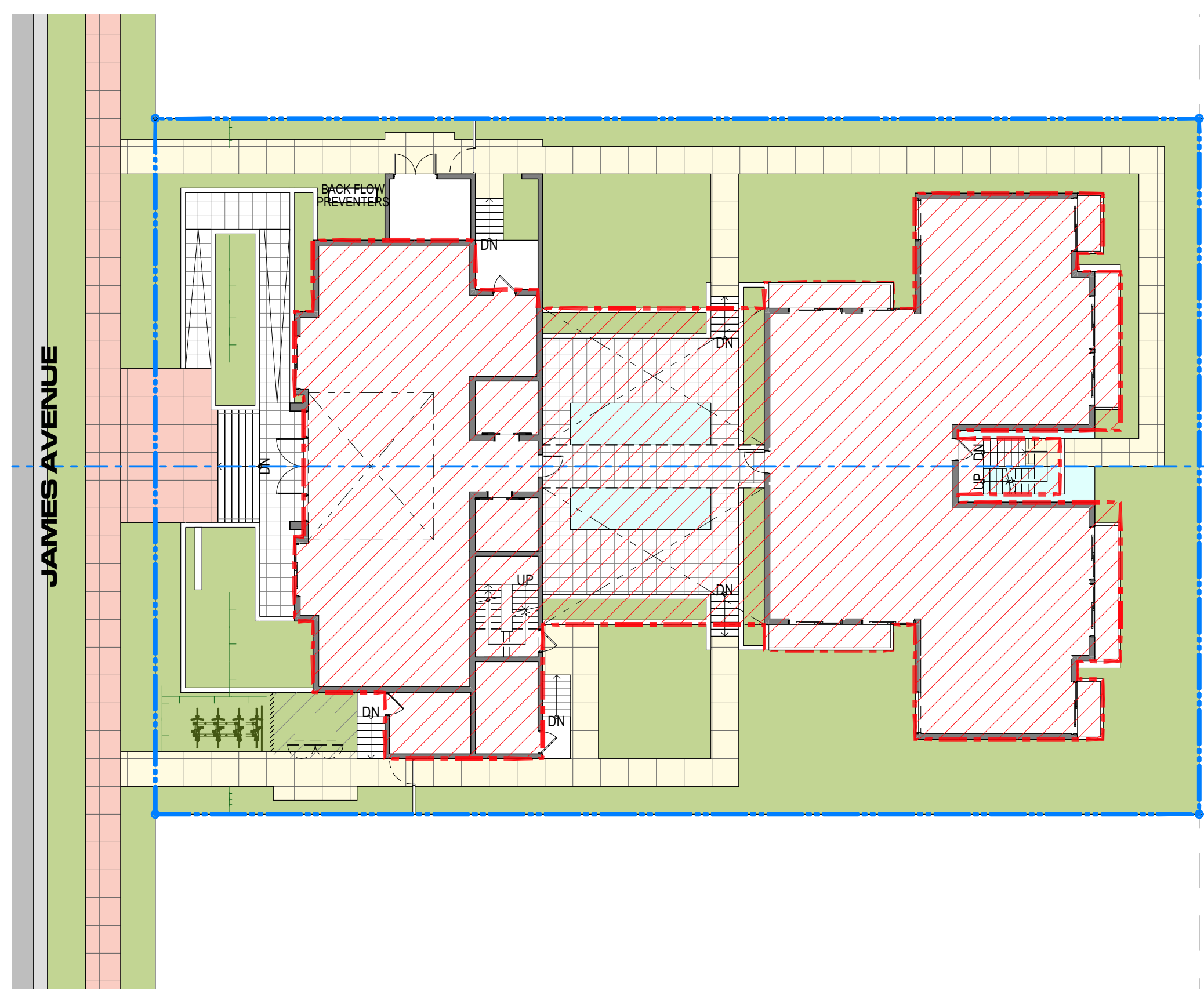
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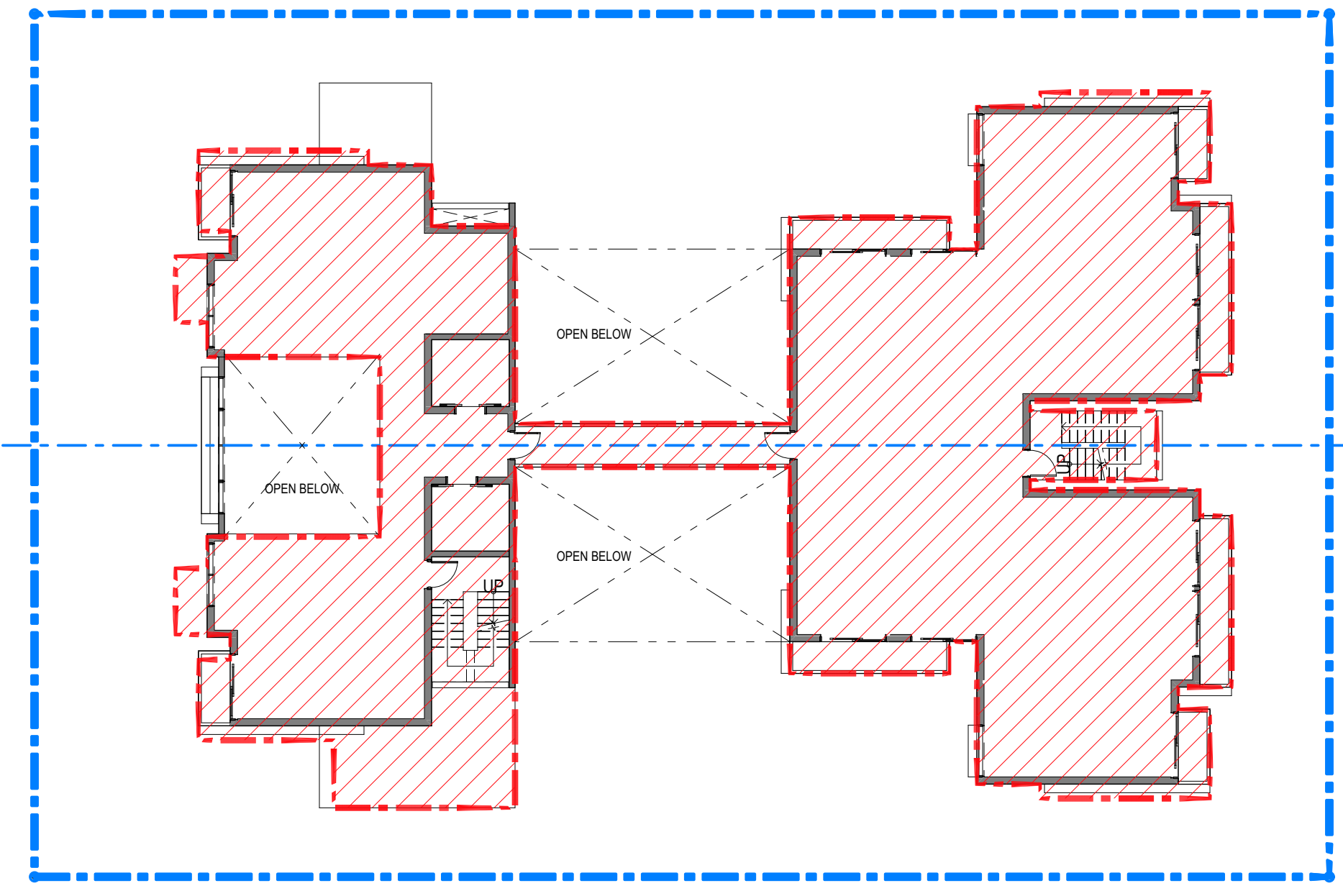
GROSS AREA CALCULATIONS  
(1/2)

Sheet No.

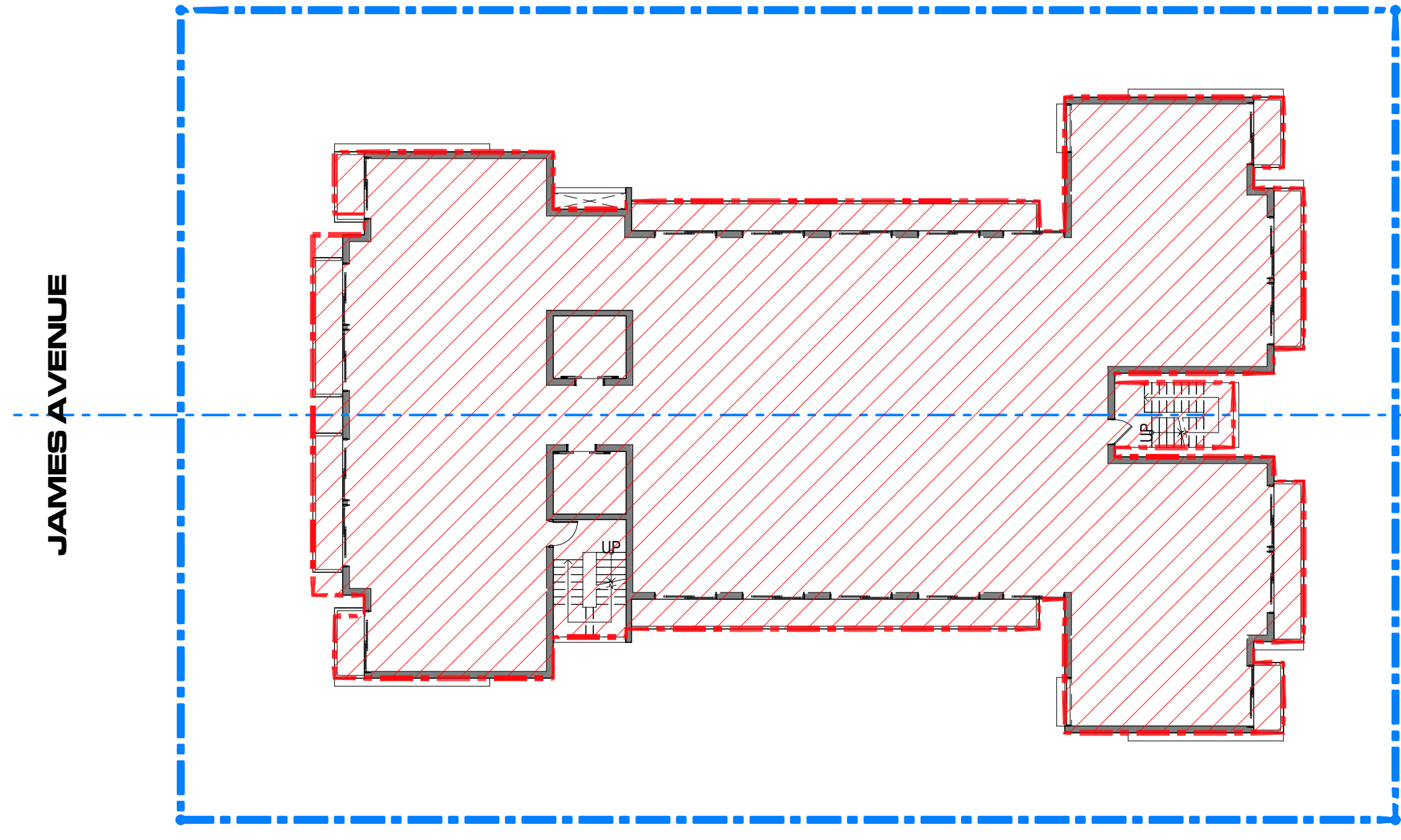
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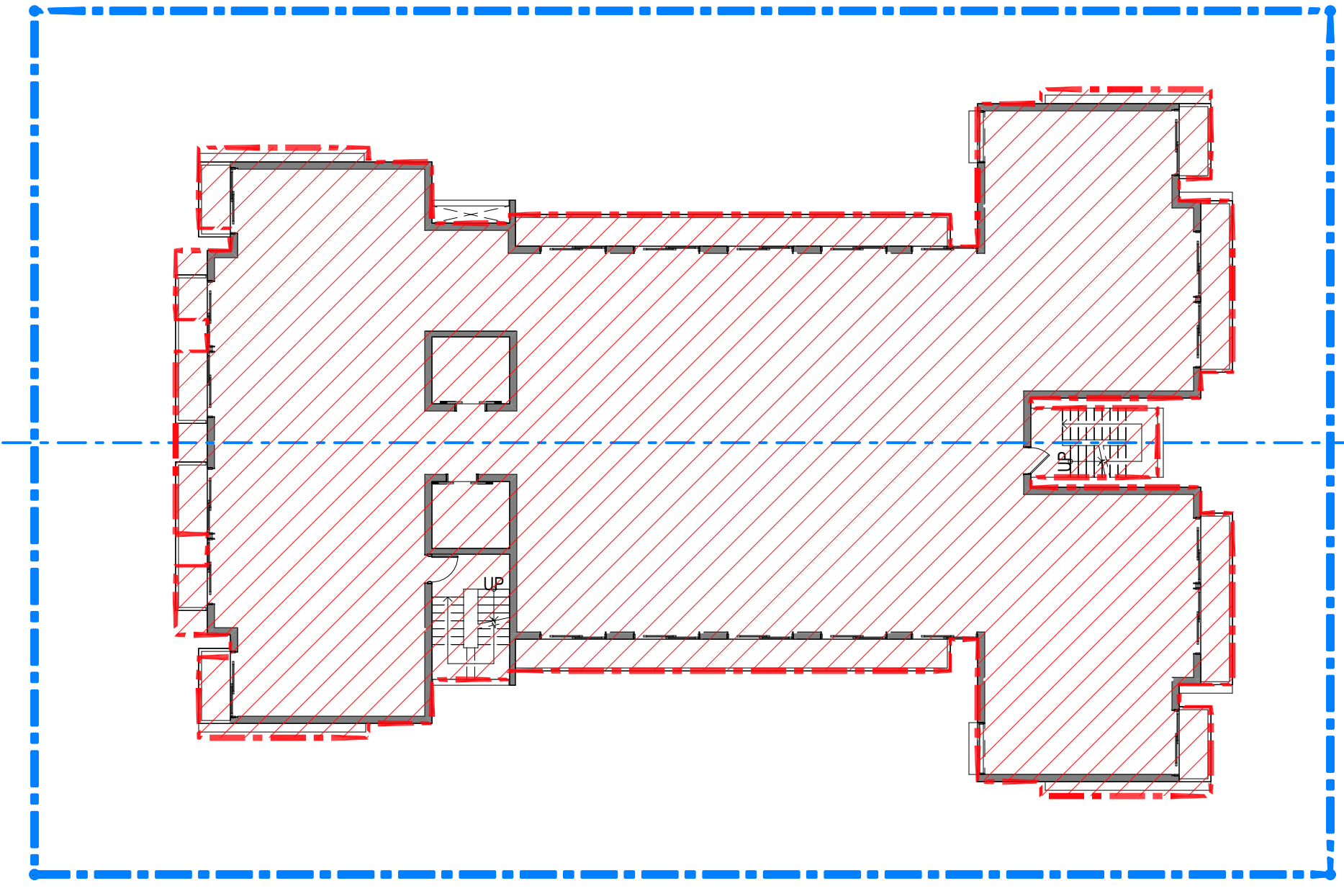
GROSS AREA FLOOR PLAN - GROUND LEVEL | 1  
SCALE 1/16" = 1'-0"



GROSS AREA FLOOR PLAN - LEVEL 2 | 2  
SCALE 1/16" = 1'-0"



GROSS AREA FLOOR PLAN - LEVEL 3 | 3  
SCALE 1/16" = 1'-0"



GROSS AREA FLOOR PLAN - LEVEL 4 | 4  
SCALE 1/16" = 1'-0"

**GROSS AREA**

**GROSS AREA CALCULATION**

GROUND LEVEL	7,071 SF
LEVEL 2	5,642 SF
LEVEL 3	7,069 SF
LEVEL 4	7,256 SF
LEVEL 5	7,270 SF
ROOF LEVEL	6,510 SF
TOP OF ROOF	2,015 SF
<b>TOTAL</b>	<b>42,833 SF</b>

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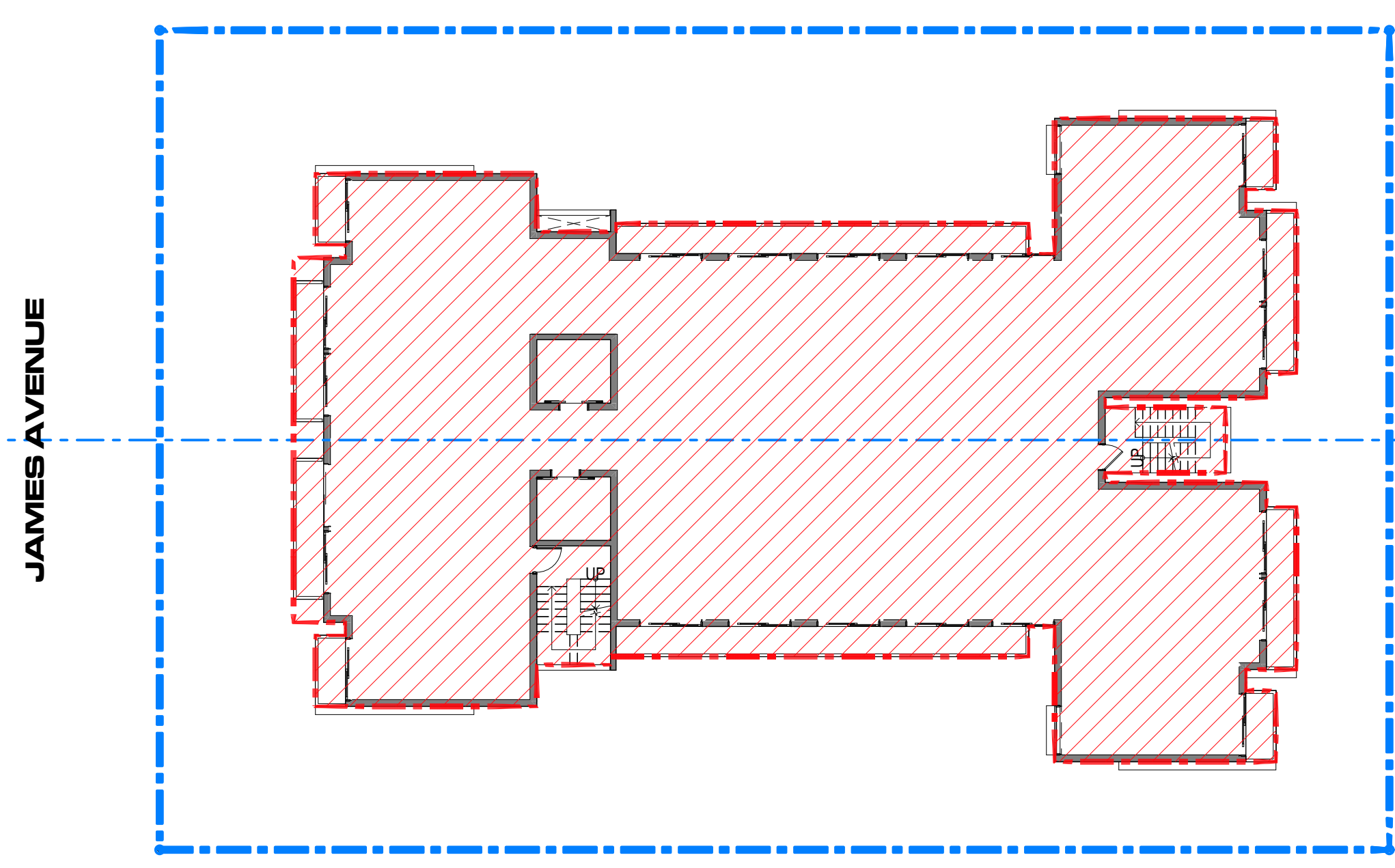
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GROSS AREA CALCULATIONS  
(2/2)

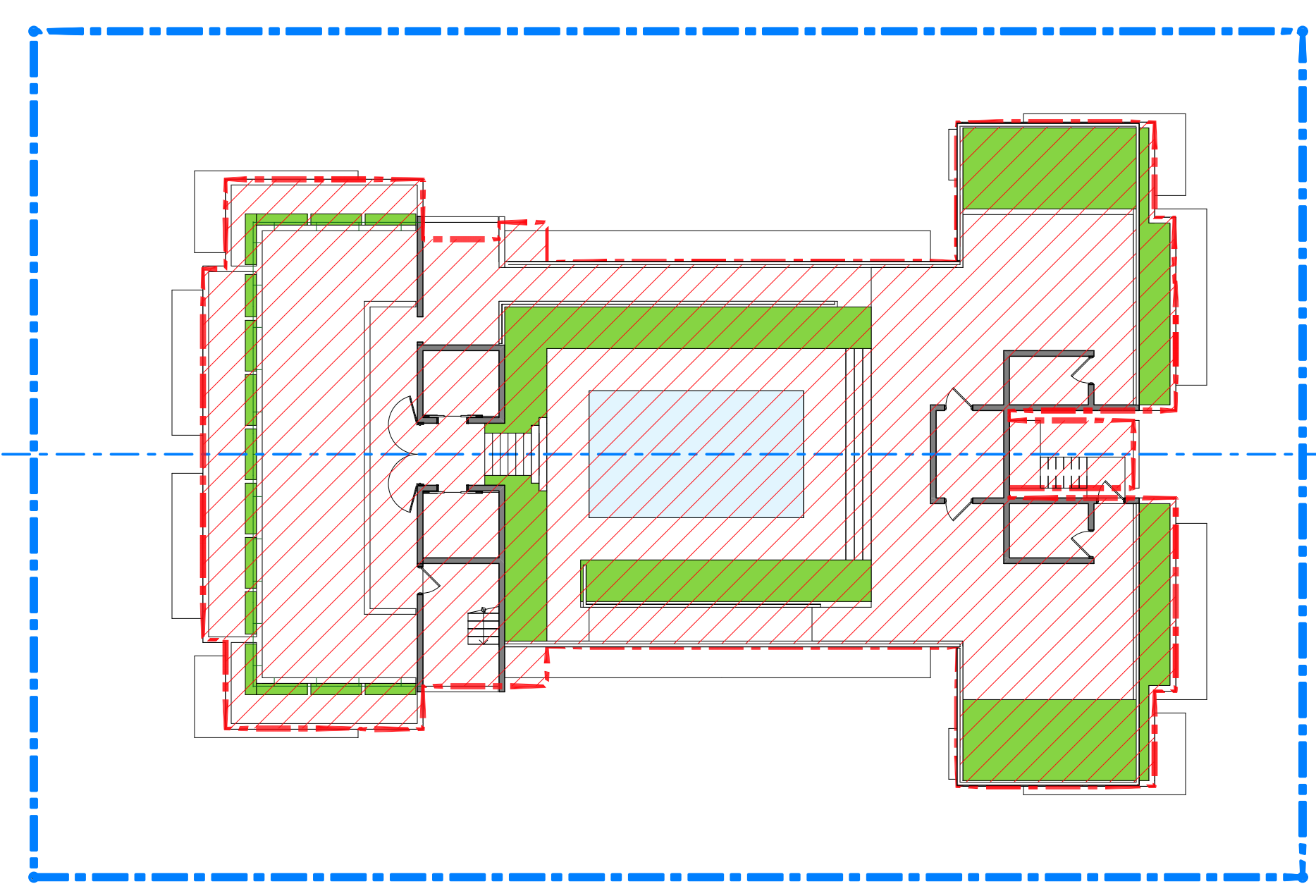
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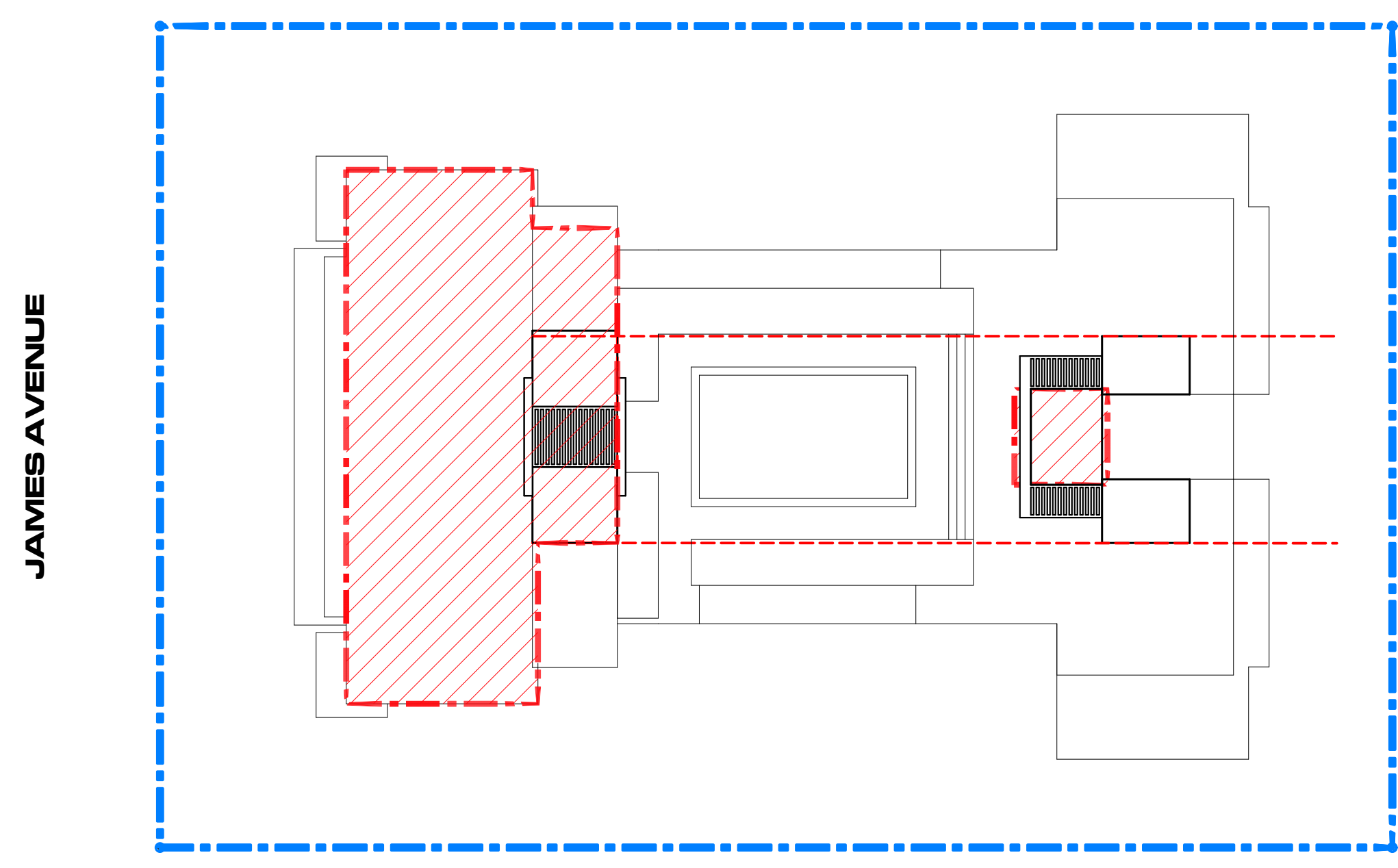
GROSS AREA FLOOR PLAN - LEVEL 5 | 1

SCALE 1/16" = 1'-0"



GROSS AREA FLOOR PLAN - ROOF LEVEL | 2

SCALE 1/16" = 1'-0"



GROSS AREA FLOOR PLAN - TOP OF ROOF | 3

SCALE 1/16" = 1'-0"

**GROSS AREA CALCULATION**

GROUND LEVEL	7,071 SF
LEVEL 2	5,642 SF
LEVEL 3	7,069 SF
LEVEL 4	7,256 SF
LEVEL 5	7,270 SF
ROOF LEVEL	6,510 SF
TOP OF ROOF	2,015 SF
<b>TOTAL</b>	<b>42,833 SF</b>

 **GROSS AREA**

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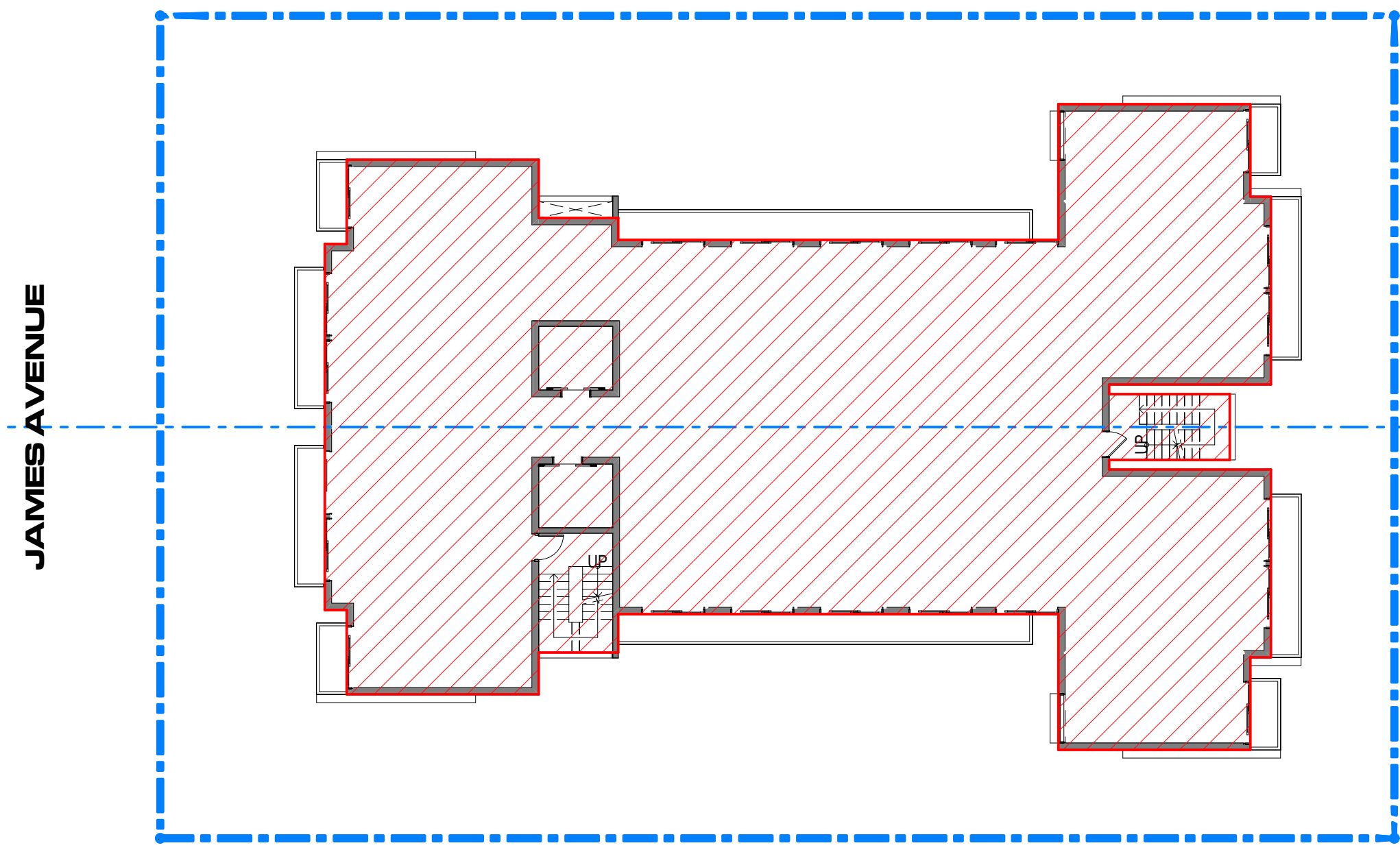
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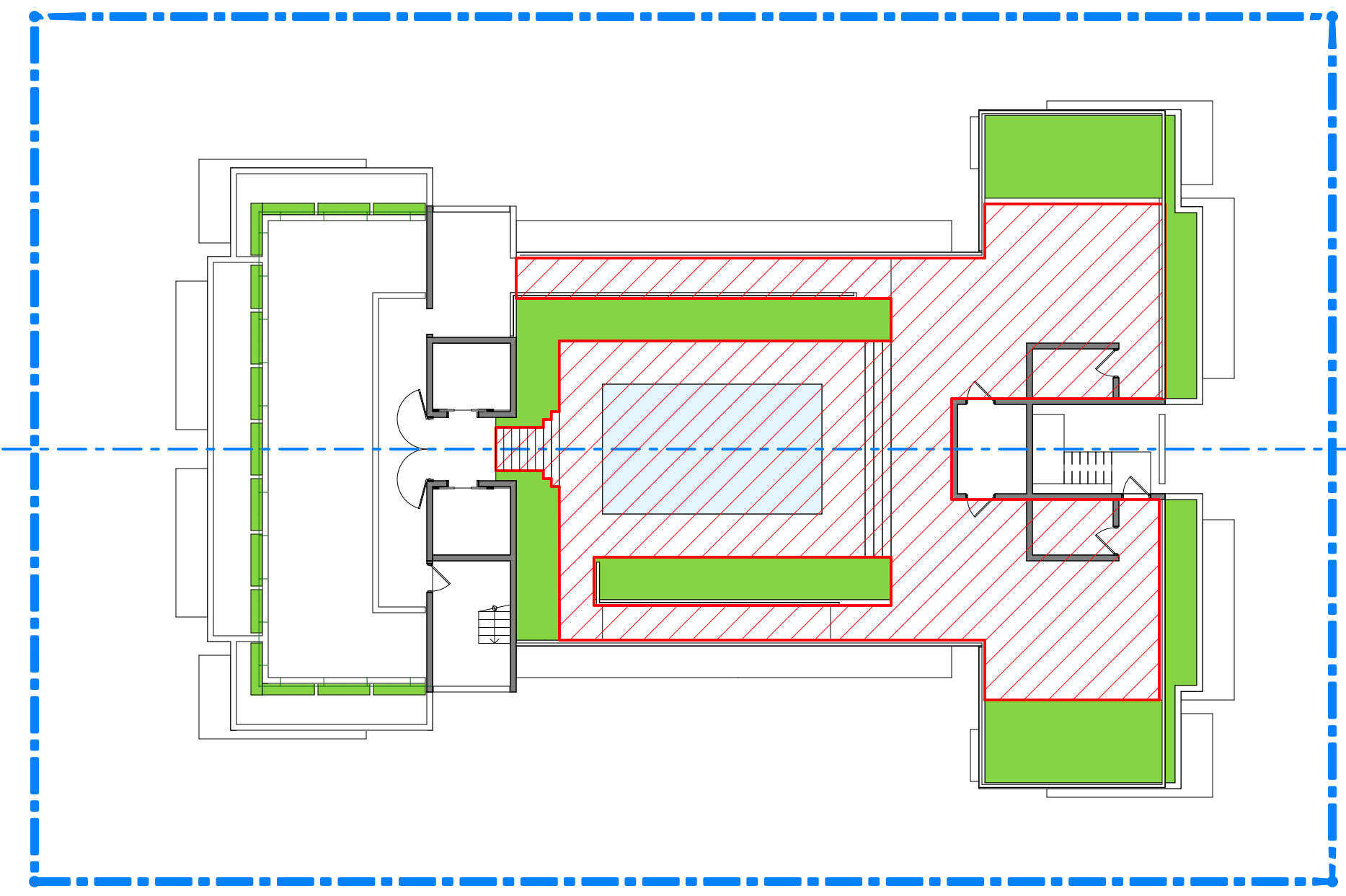
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**ROOF DECK CALCULATION**  
 Sheet No.

**A-015**



**FLOOR PLAN - LEVEL 5 | 1**  
 SCALE 1/16" = 1'-0"



**ROOF DECK - FLOOR PLAN | 2**  
 SCALE 1/16" = 1'-0"

**ROOF DECK CALCULATION**

LEVEL 5            6,466 SF  
 50%=                3,233 SF

ROOF DECK AREA   2,749 SF < 50%

**CALCULATION AREA**

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DEMOLITION PLAN  
Sheet No.

**A-017**

## DEMOLITION NOTES

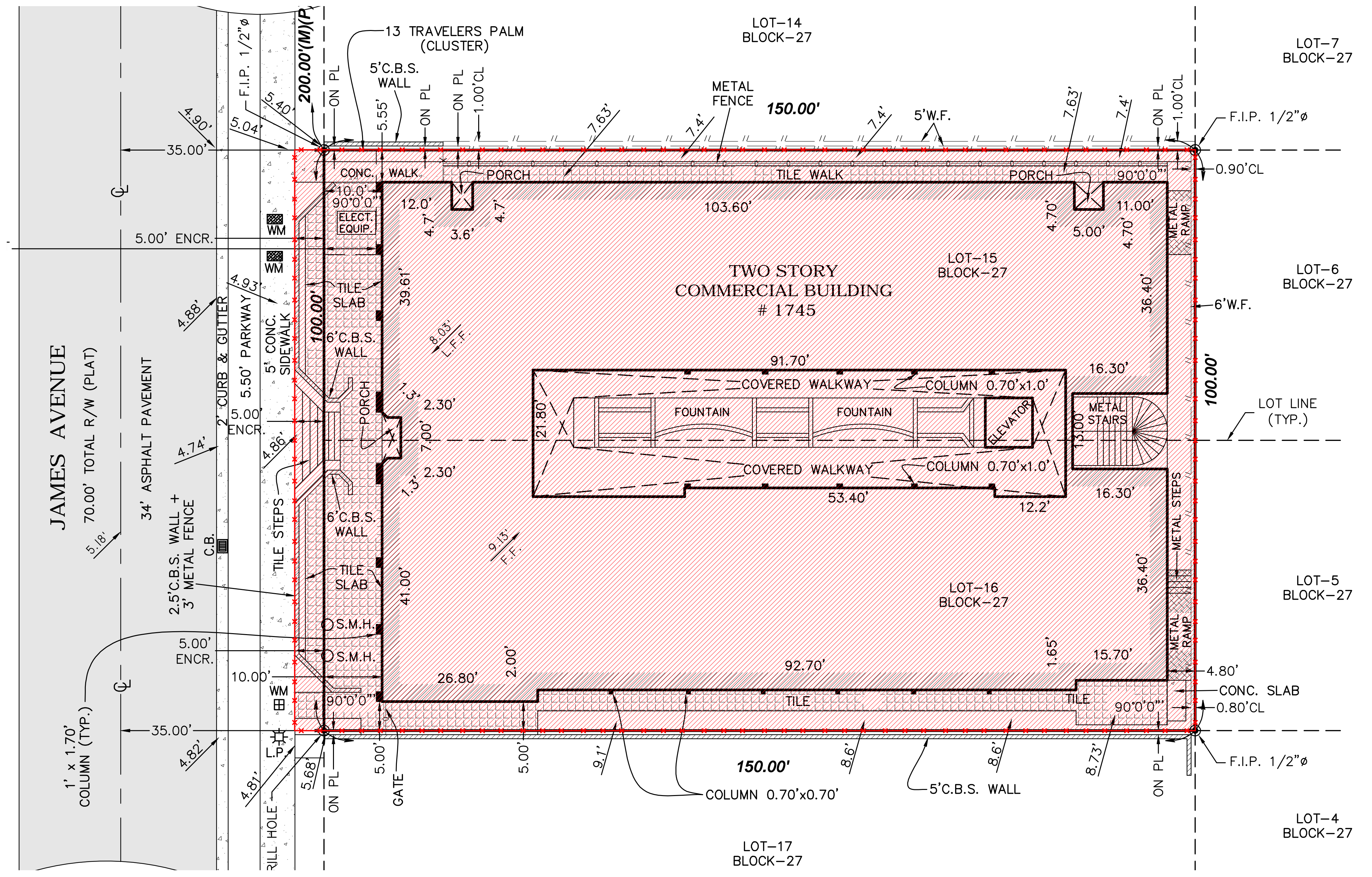
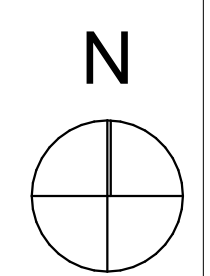
- CONTRACTOR TO PERFORM DEMOLITION IN SUCH MANNER AS TO ELIMINATE HAZARDS TO PERSONS AND PROPERTY; TO MINIMIZE INTERFERENCE WITH USE OF ADJACENT PROPERTIES; RIGHT OF WAY AND STRUCTURES OR INTERFERENCE OF USE OF SUCH UTILITIES; AND TO PROVIDE FREE PASSAGE TO AND FROM SUCH ADJACENT AREAS OF STRUCTURES.
- CONTRACTOR TO PROVIDE SAFEGUARDS, INCLUDING WARNING SIGNS, BARRICADES, TEMPORARY FENCES, WARNING LIGHTS, AND OTHER SIMILAR ITEMS THAT ARE REQUIRED FOR PROTECTION OF ALL PERSONNEL DURING DEMOLITION AND REMOVAL OPERATIONS.
- PREVENT SPREAD OF FLYING PARTICLES AND DUST. SPRINKLE RUBBISH AND DEBRIS WITH WATER TO KEEP DUST TO A MINIMUM. DO NOT USE WATER IF IT RESULTS IN HAZARDOUS OR OBJECTIONABLE CONDITION SUCH AS, BUT NOT LIMITED TO, FLOODING OR POLLUTION.
- NO WALL OR PART OF WALL SHALL BE PERMITTED TO FALL OUTWARDLY FROM STRUCTURE.
- WHEREVER A CUTTING TORCH OR OTHER EQUIPMENT THAT MIGHT CAUSE A FIRE IS USED, PROVIDE AND MAINTAIN FIRE EXTINGUISHERS NEARBY READY FOR IMMEDIATE USE. INSTRUCT ALL POSSIBLE USERS IN USE OF FIRE EXTINGUISHERS.
- KEEP ANY HYDRANTS CLEAR AND ACCESSIBLE AT ALL TIMES.
- BEFORE BEGINNING ANY DEMOLITION WORK, THE CONTRACTOR SHALL SURVEY THE SITE AND EXAMINE THE DRAWINGS TO DETERMINE THE EXTENT OF THE WORK. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO AVOID DAMAGES TO EXISTING ITEMS TO REMAIN IN PLACE, TO BE REUSED, OR TO REMAIN THE PROPERTY OF THE OWNER. ANY DAMAGED ITEMS SHALL BE REPAIRED OR REPLACED.
- DEMOLISH AND REMOVE ALL UTILITIES- CAP AT BACK SIDE OF SIDEWALK OR CURBS AS IT OCCURS.
- THE PROPERTY WILL BE FENCED AND RE-SECURED 30 DAYS AFTER DEMOLITION IF CONSTRUCTION DOES NOT COMMENCE WITHIN THAT TIME.
- DEMOLITION SCOPE:  
- PROVIDE A CLEAR AND LEVEL SITE READY FOR FUTURE CONSTRUCTION.  
- REMOVE ALL PRIMARY AND SECONDARY STRUCTURES INCLUDING THEIR FOUNDATIONS (FOOTING AND / OR PILES);  
- REMOVE ALL BELOW UTILITIES;  
- REMOVE ALL SITE ITEMS INCLUDING BUT NOT LIMITED TO:  
- PARKING LOTS  
- CURBS  
- SITE LIGHTING  
- SITE FURNITURE  
- LOW WALLS AND / OR FENCES  
- DRAIN KEEPS AND WELLS  
- PRIVATE WALKWAYS / PATHS
- IN REMOVING BUILDINGS AND STRUCTURES OF MORE THAN TWO STORES, DEMOLISH WORK STORY BY STORY STARTING AT HIGHEST LEVEL, AND PROGRESSING DOWN TO LOWER FLOOR LEVEL. DEMOLITION OF FIRST AND SECOND STORES MAY PROCEED SIMULTANEOUSLY.
- REMOVE AND LEGALLY DISPOSE OF ALL MATERIALS OTHER THAN EARTH TO REMAIN AS PART OF PROJECT WORK, FROM THE SITE. MATERIALS REMOVED SHALL BECOME PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE OR LOCAL PERMITS, RULES AND / OR REGULATIONS AND BE HAULED TO APPROVED DISPOSAL SITES.
- THE REMOVAL OF HAZARDOUS MATERIALS INCLUDING BUT NOT LIMITED TO ASBESTOS SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE OR LOCAL REGULATIONS.
- UPON COMPLETION OF WORK AND AFTER REMOVAL OF ALL DEBRIS, CONTRACTOR SHALL LEAVE THE SITE IN A CLEAN CONDITION SATISFACTORY TO THE OWNER AND BUILDING DEPARTMENT. CLEAN-UP SHALL INCLUDE DISPOSAL OF ALL ITEMS AND MATERIALS NOT REQUIRED TO REMAIN IN PLACE, TO BE REUSED, OR TO REMAIN THE PROPERTY OF THE OWNER AS WELL AS ALL DEBRIS AND RUBBISH RESULTING FROM DEMOLITION OPERATIONS.
- ALL ELECTRICAL DEMOLITION TO BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR AND TO FOLLOW ALL BUILDING CODE REQUIREMENTS.
- ALL MECHANICAL DEMOLITION TO BE PERFORMED BY A LICENSED CONTRACTOR AND TO FOLLOW ALL BUILDING CODE REQUIREMENTS.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A CLEAN, ORGANIZED AND SAFE CONSTRUCTION SITE.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION SITE SECURED FROM PUBLIC ACCESS.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL PUBLIC AREAS FROM ANY TYPE OF HAZARDOUS CONDITION.
- COORDINATE THE SHUT-OFF OF ALL UTILITIES WITH UTILITY COMPANIES AND OWNER.
- CONTRACTOR MUST COORDINATE WITH THE BUILDING OWNER THE REMOVAL AND / OR RELOCATION OF WALL AS NECESSARY ELECTRICAL WATER, GAS OR ANY OTHER UTILITY LINES ENCOUNTERED DURING DEMOLITION.
- CONTRACTOR TO OBTAIN WRITTEN APPROVAL FROM OWNER OR ARCHITECT PRIOR TO ANY CHANGES OR DEVIATION FROM DEMOLITION DOCUMENTS.
- UNDER NO CIRCUMSTANCES WILL ASSUMPTIONS BY THE CONTRACTOR BE CONSIDERED THE DESIGN INTENT OR APPROVAL OF THE ARCHITECT OR ENGINEER UNLESS THERE IS WRITTEN APPROVAL BY THEM.
- CONTRACTOR IS BEING PROVIDED WITH COMPLETE SETS OF DOCUMENTS CONTRACTOR IS RESPONSIBLE FOR PROVIDING HIS SUBCONTRACTORS WITH A COMPLETE SET OF DRAWINGS.
- CONTRACTOR IS RESPONSIBLE FOR INCLUDING IN HIS BID, LABOR AND MATERIAL COSTS FOR ANY CHANGE OR ALTERATION OF ADJACENT AREAS TO BE DISTURBED DURING DEMOLITION SUCH AS, BUT NOT LIMITED TO: LIGHTING, MECHANICAL, ELECTRICAL, PLUMBING, FIRE ALARMS, PHONE, DATA, PAVING, SIDEWALKS, STREETS, EXISTING TREES AND LANDSCAPING AND TO INSURE THEIR PROPER USE / OPERATION AND RETURN THEM TO THEIR ORIGINAL FINISHED CONDITION.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS AND USE ALL APPROPRIATE CONSTRUCTION METHODS/ TECHNIQUES TO PROTECT EXISTING UTILITIES AND OTHER PROPERTY NOT NOTED FOR REMOVAL. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES INCURRED DURING DEMOLITION AND SHALL REPAIR ANY DAMAGES AT NO EXPENSE TO THE OWNER.
- ABBREVIATIONS THROUGHOUT THE PLANS ARE THOSE IN COMMON USE. ARCHITECT WILL DEFINE INTENT OF ANY IN QUESTION.
- DEMOLITION PERSONNEL SHALL BE CONFINED TO THE LIMITS OF THE CONSTRUCTION ARE ALL OSHA REGULATIONS FOR CONSTRUCTION AREAS STRICTLY FOLLOWED.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NECESSARY DEMOLITION WORK, DEMOLITION MATERIAL TESTING FOR HAZARDOUS MATERIALS AND EXERCISE CARE DURING DEMOLITION AND REMOVAL TO ASSURE THAT ITEMS SCHEDULED FOR DEMOLITION ARE PROPERLY REMOVED AND ITEMS TO REMAIN ARE PROTECTED FROM DAMAGE.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY BARRIERS, LIGHTING, COVERINGS, FIRE PREVENTION, AND OTHER EQUIPMENT TO PROTECT THE SAFETY OF ALL PERSON AND THE PROPERTY THROUGHOUT THE ENTIRE PERIOD OF DEMOLITION.
- GENERAL CONTRACTOR SHALL PREPARE AND MAINTAIN ALL DEMOLITION AREAS, AS WELL AS SURROUNDING AREAS FREE OF DEBRIS OR HAZARDOUS EQUIPMENT.
- SEE PERMIT UNDER SEPARATE PERMIT. SEE TREE DISPOSITION PLAN AND PROPOSED LANDSCAPE PLANS.
- REFER TO SURVEY FOR ADDITIONAL INFORMATION.
- SEE ASBESTOS REPORT FOR ADDITIONAL INFORMATION.
- ALL STORM WATER CATCH BASINS WILL BE FILTERED TO PREVENT THE FALLOUT OF DUST & DEBRIS INTO THE CITY STORM SYSTEM.

## LEGEND

- AREA OF DEMOLITION WORK, DEMOLISH ALL ITEMS WITHIN THIS BOUNDARY AS OUTLINED ON GENERAL DEMOLITION NOTES
- CONSTRUCTION FENCE

## DEMOLITION PLAN | 1

SCALE 3/32" = 1'-0"



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Consultant

Luis O. Revuelta  
AR-0007972

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Date

09/09/2022

Scale

AS SHOWN

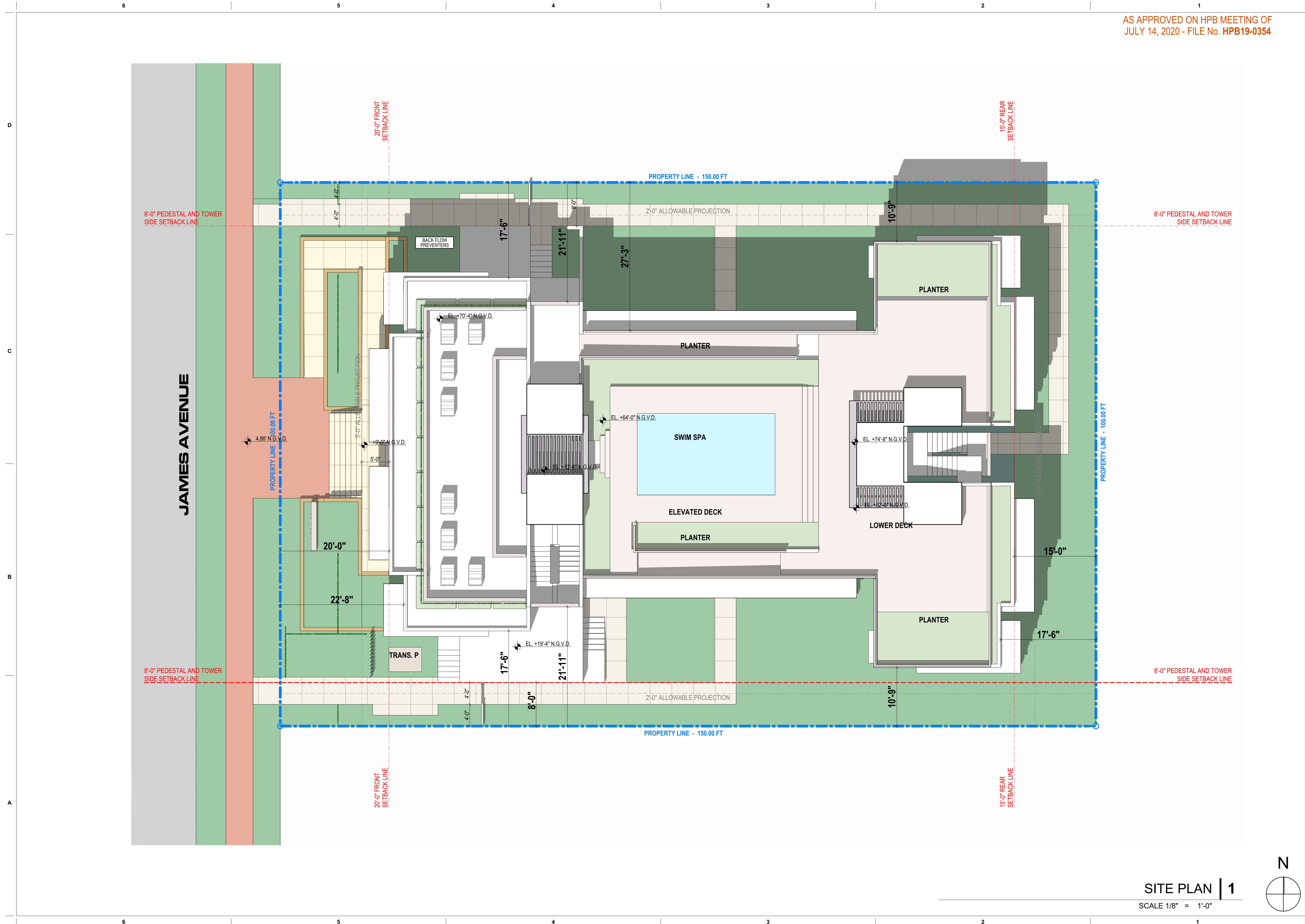
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SITE PLAN

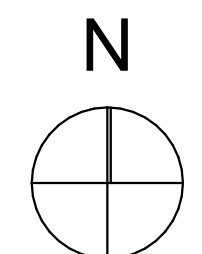
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**A-100**



SITE PLAN | 1

SCALE 1/8" = 1'-0"



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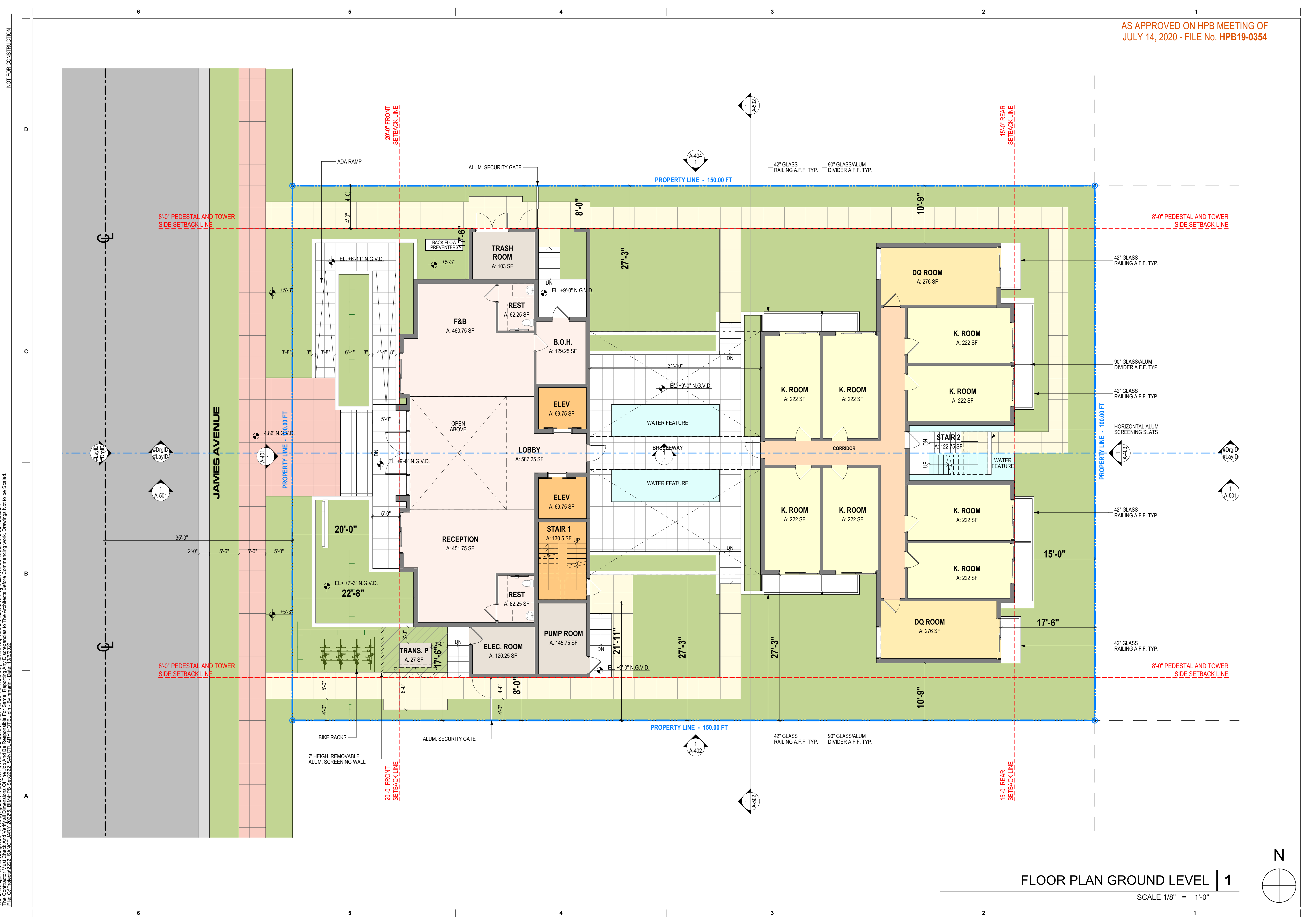
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FLOOR PLAN GROUND LEVEL

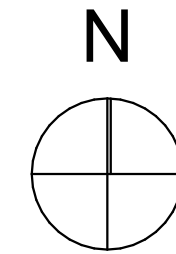
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**A-101**



FLOOR PLAN GROUND LEVEL | 1

SCALE 1/8" = 1'-0"



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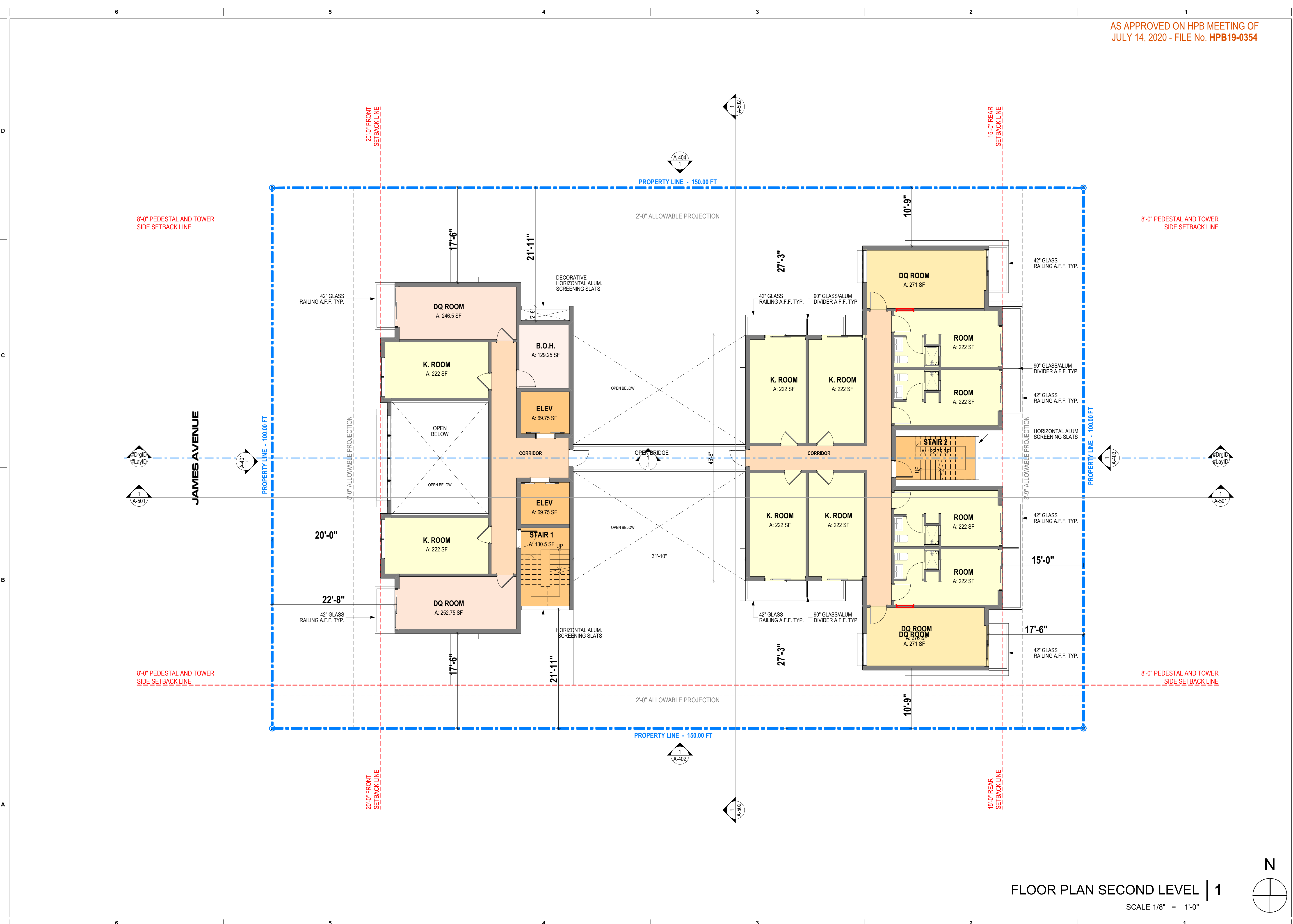
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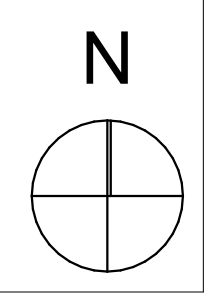
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FLOOR PLAN LEVEL 2  
Sheet No.  
**A-102**



**FLOOR PLAN SECOND LEVEL | 1**  
SCALE 1/8" = 1'-0"



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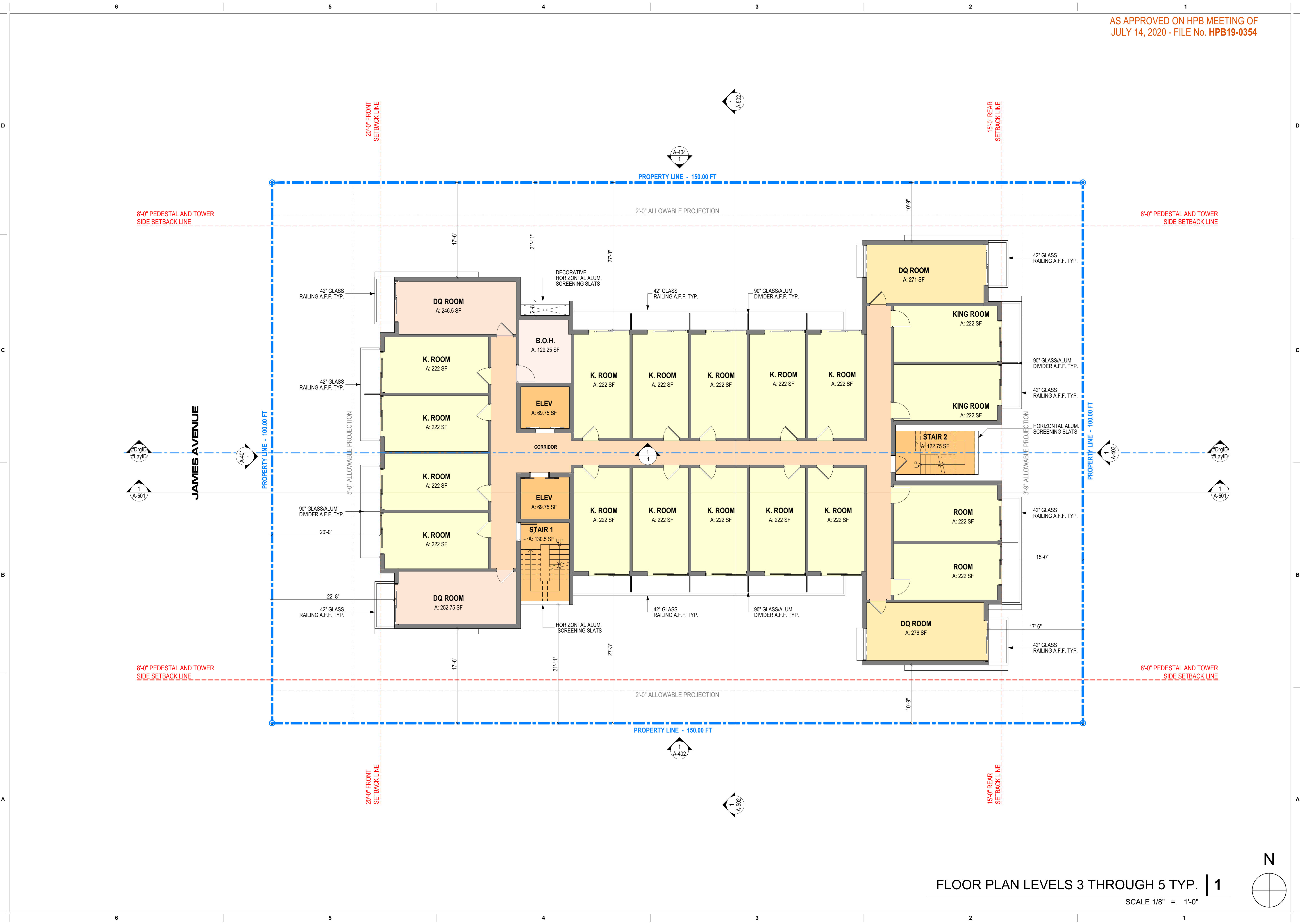
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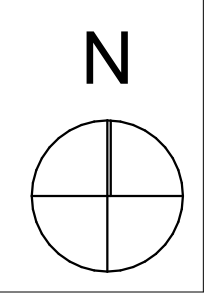
FLOOR PLAN TYPICAL LEVELS  
3 THRU 5

Sheet No.  
**A-103**



FLOOR PLAN LEVELS 3 THROUGH 5 TYP. | 1

SCALE 1/8" = 1'-0"



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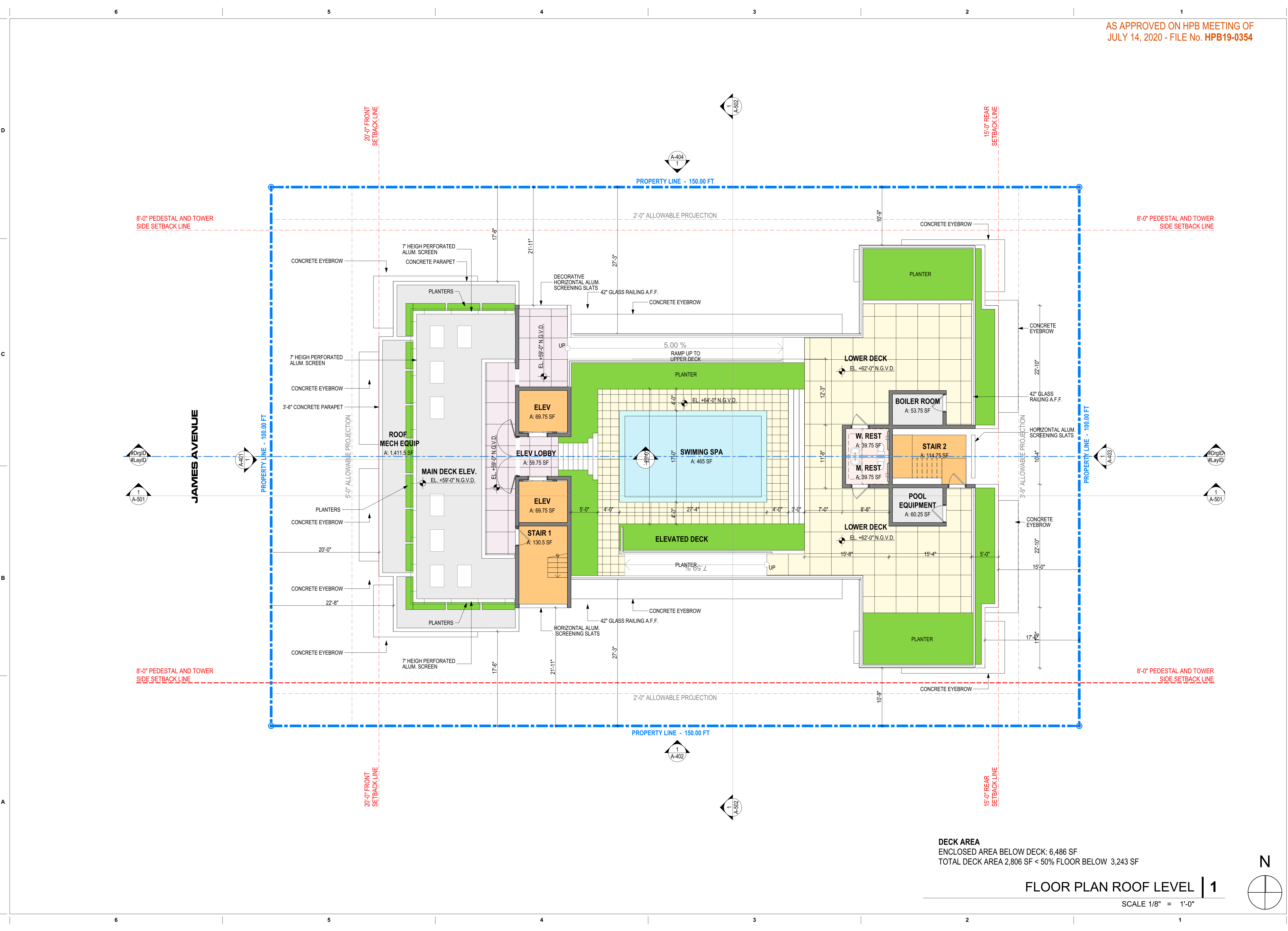
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FLOOR PLAN MECHANICAL /  
POOL DECK LEVEL

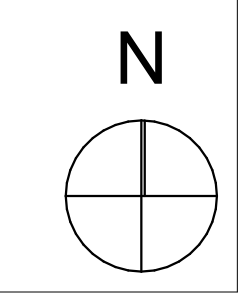
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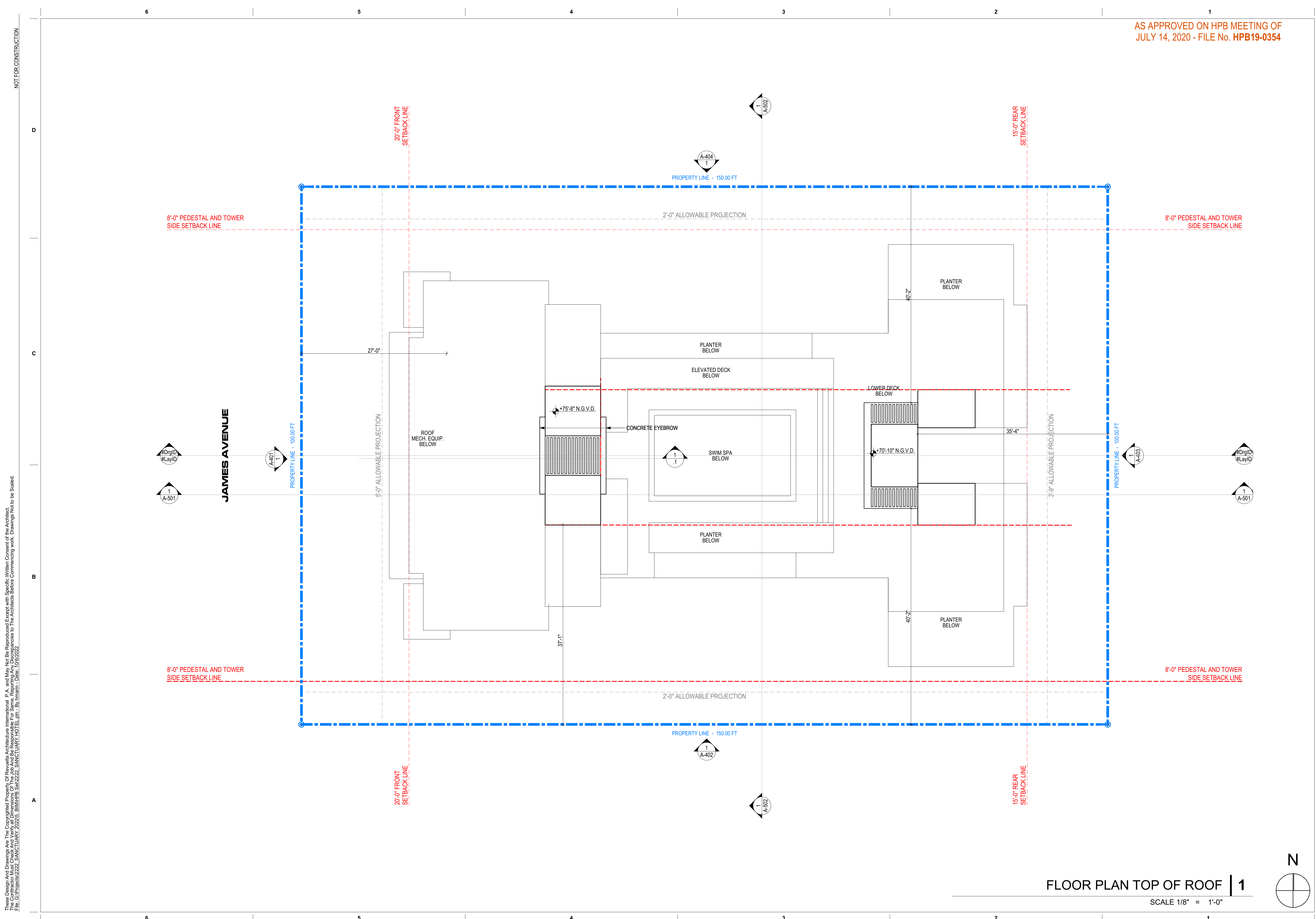


**DECK AREA**  
ENCLOSED AREA BELOW DECK: 6,486 SF  
TOTAL DECK AREA 2,806 SF < 50% FLOOR BELOW 3,243 SF

**FLOOR PLAN ROOF LEVEL | 1**

SCALE 1/8" = 1'-0"





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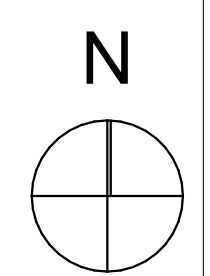
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FLOOR PLAN ROOF  
Sheet No.  
**A-105**

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FLOOR PLAN TOP OF ROOF | 1  
SCALE 1/8" = 1'-0"





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WEST ELEVATION

Sheet No.

**A-401**



**NEW REVISED**  
**WEST ELEVATION | 1**  
SCALE 1/8" = 1'-0"

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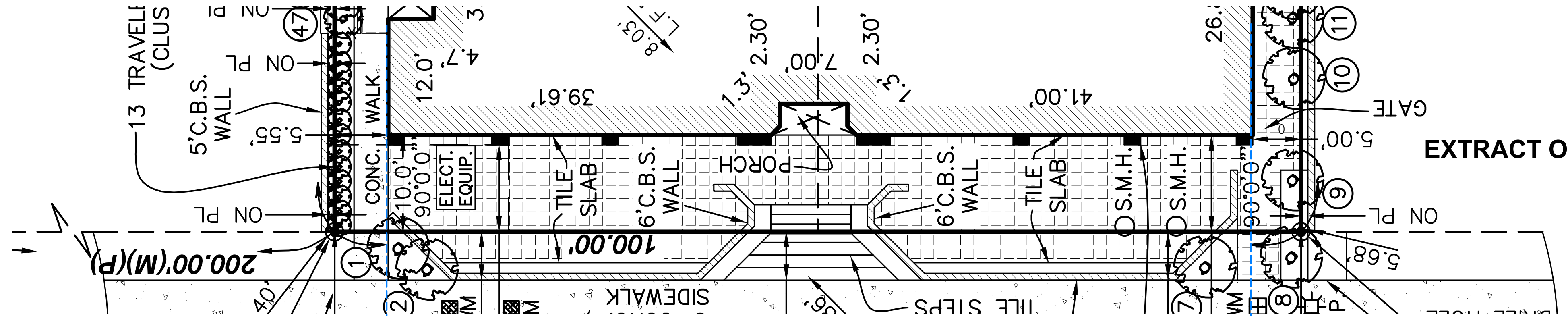
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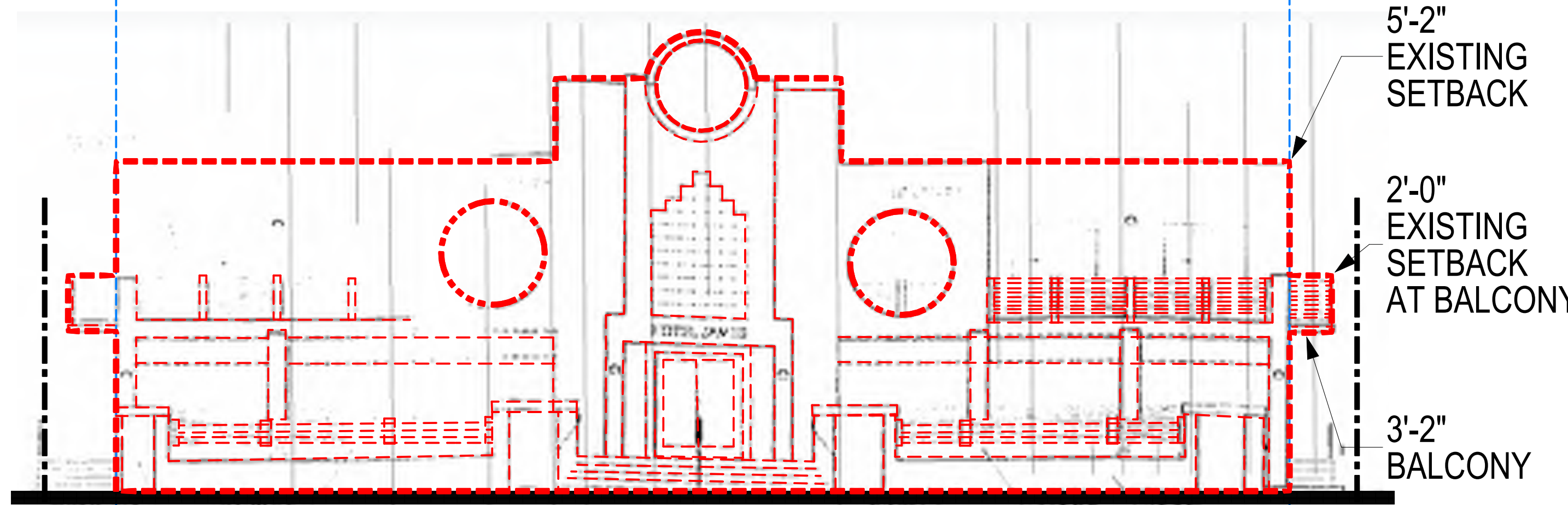
EXISTING & PROPOSED ELEV.  
OVERLAY

Sheet No.

**A-401.2**

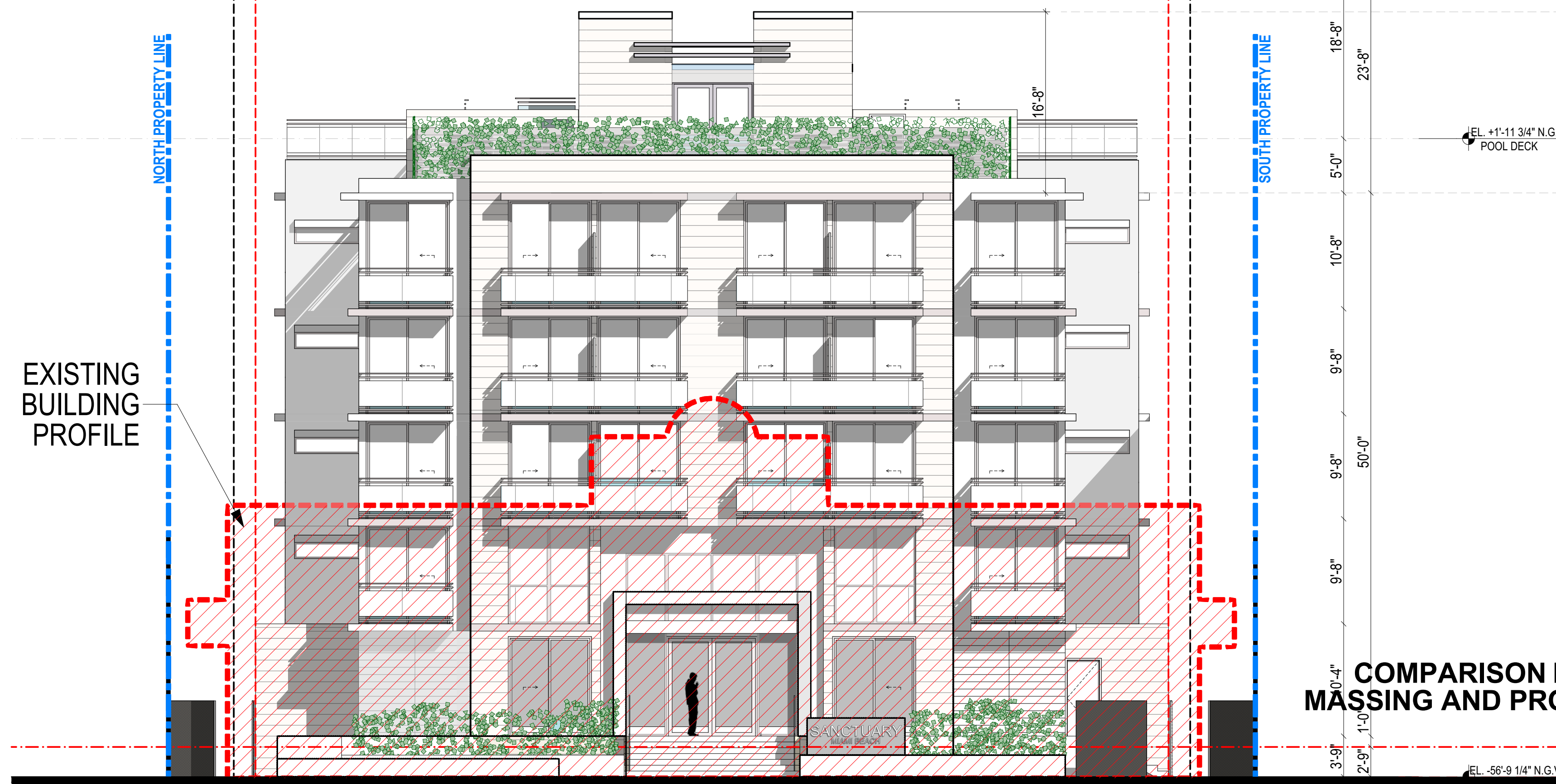


EXTRACT OF OFFICIAL SURVEY



EXISTING WEST ELEVATION  
PER CITY'S MICRO-FILMS

EXISTING ELEVATION | 5  
SCALE 1/8" = 1'-0"



COMPARISON BETWEEN EXISTING  
MASSING AND PROPOSED ELEVATION

EXISTING OVER PROPOSED ELEV. | 4  
SCALE 1/8" = 1'-0"

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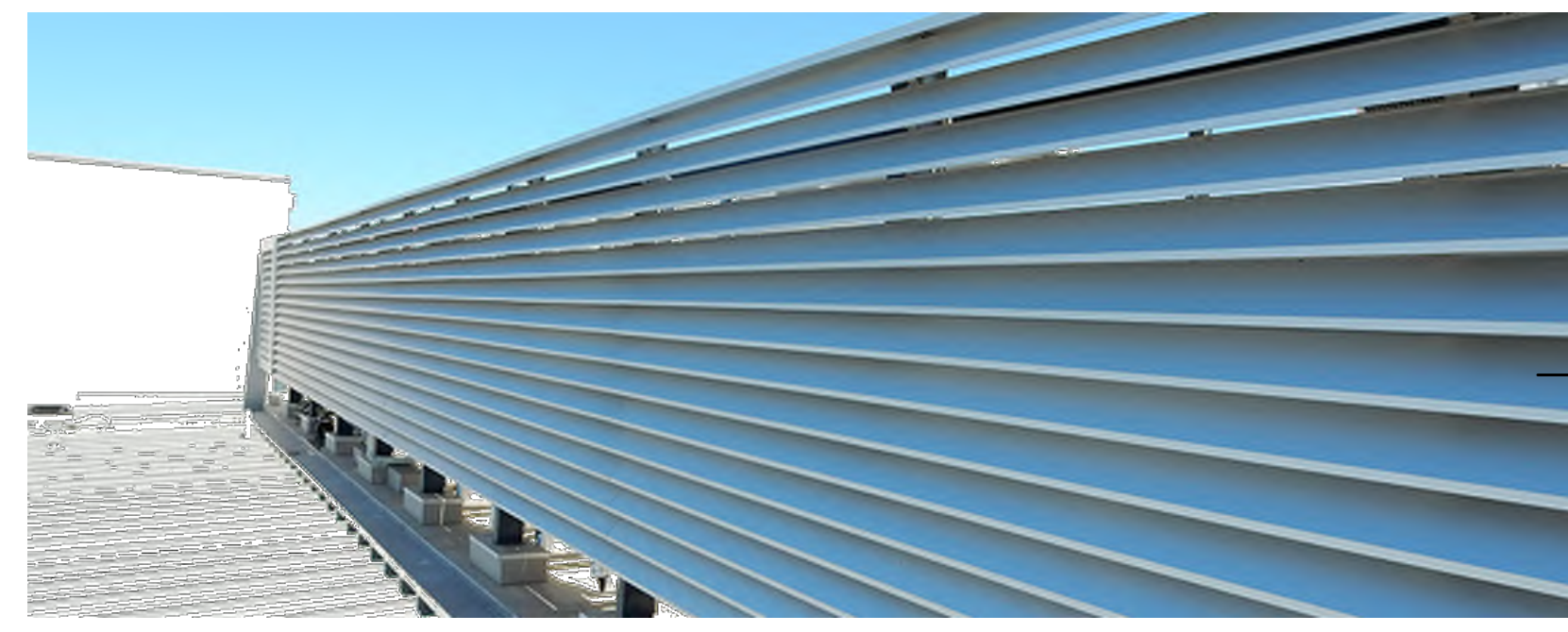
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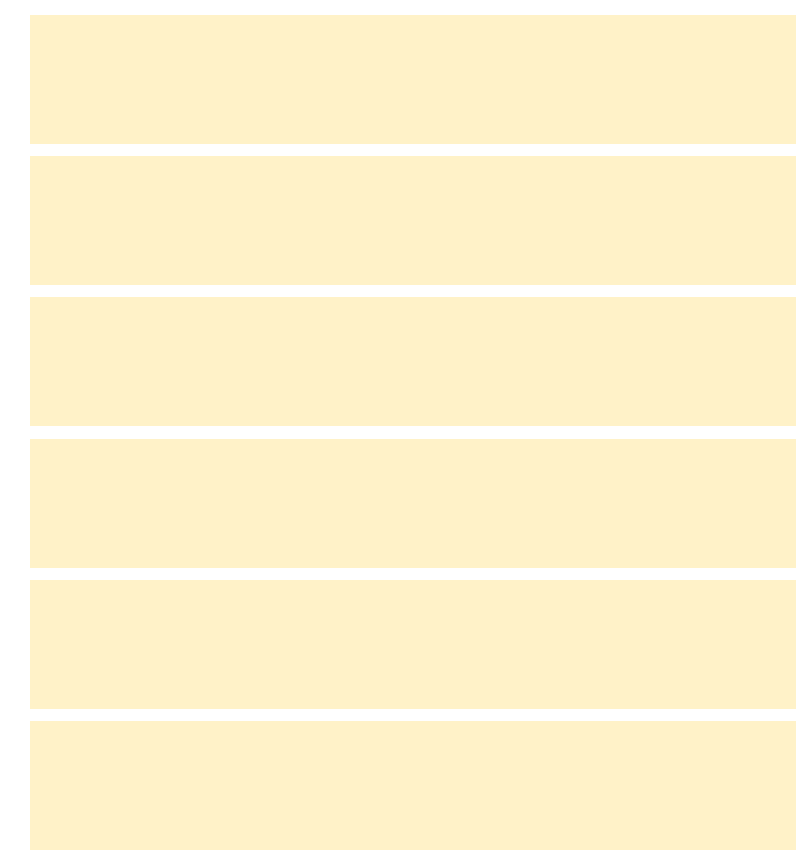
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PROPOSED MATERIALS  
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**A-401.3**



ALUMINUM MECHANICAL  
SCREEN



STONE CLADDING



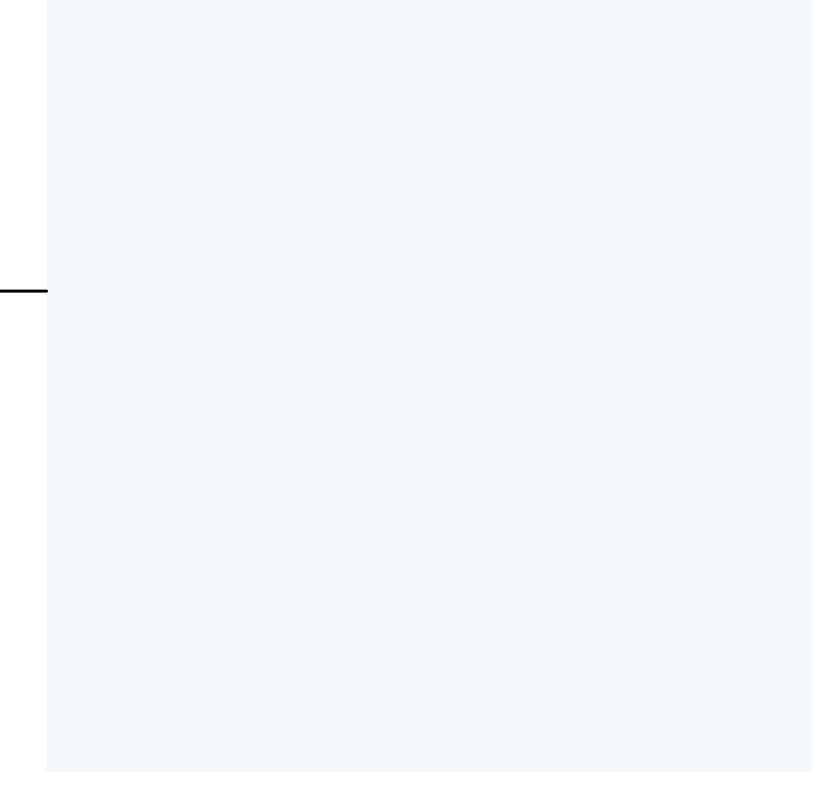
RAILING DETAIL



ALUMINUM FRAMES-  
ARCADIA SILVER OR SIMILAR



LAMINATED GLASS-  
VIRACON OR SIMILAR- GREEN



SMOOTH STUCCO PAINT FINISH



PROPOSED MATERIALS | 7

SCALE 1/8" = 1'-0"



24"x24" CONCRETE PAVERS WITH CRUSHED  
SHELLS INSIDE PROPERTY. MIAMI BEACH  
STANDARD RED CONCRETE ON SIDE WALK

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1745 JAMES AVENUE  
MIAMI BEACH, FLORIDA 33139

Revisions

Owner Information  
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Consultant

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Project No.  
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SOUTH ELEVATION  
Sheet No.  
**A-402**



**NEW REVISED**  
**SOUTH ELEVATION | 1**  
SCALE 1/8" = 1'-0"

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EAST ELEVATION

Sheet No.

**A-403**



**NEW REVISED**  
**EAST ELEVATION | 1**  
SCALE 1/8" = 1'-0"



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NORTH ELEVATION  
Sheet No.  
**A-404**

**NEW REVISED**  
**NORTH ELEVATION | 1**  
SCALE 1/8" = 1'-0"

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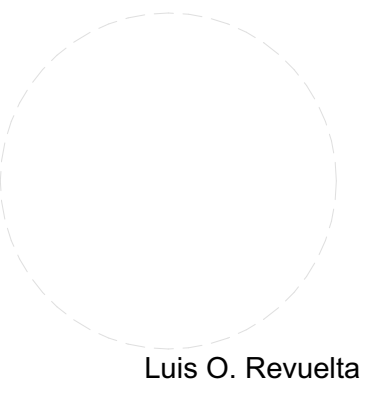
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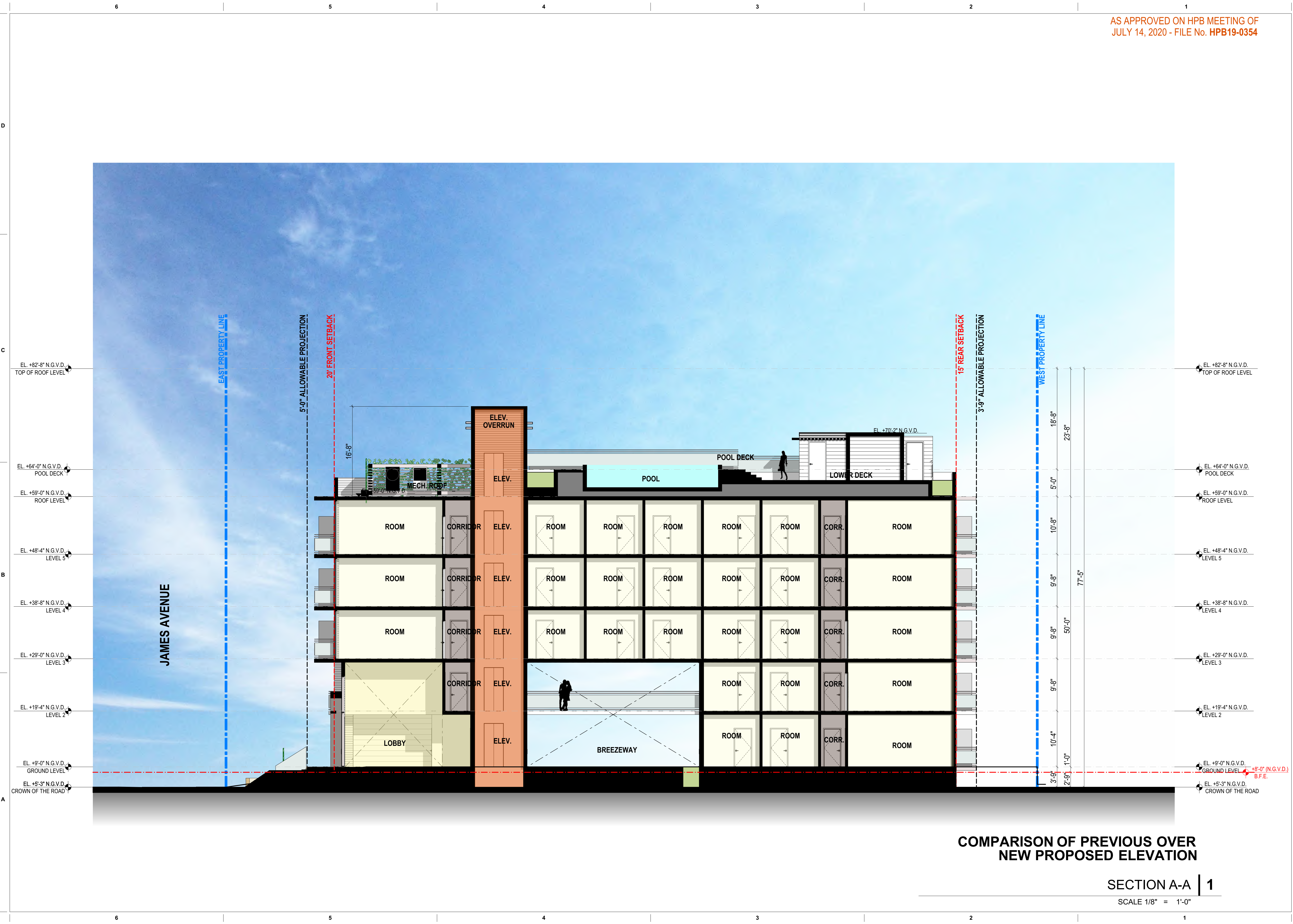


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SECTION A-A  
Sheet No.  
**A-501**



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**COMPARISON OF PREVIOUS OVER  
NEW PROPOSED ELEVATION**

SECTION A-A | 1

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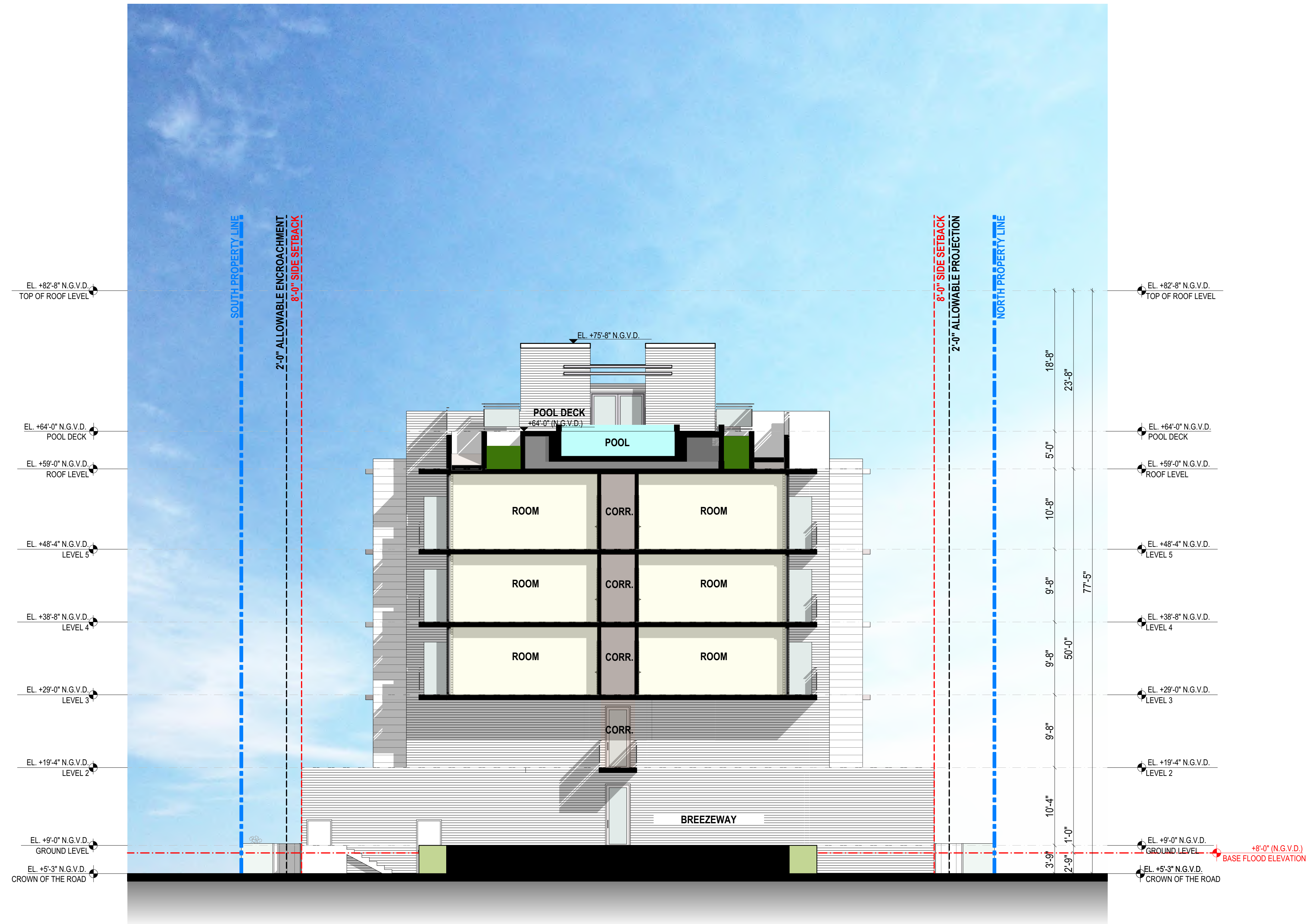
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SECTION B-B

Sheet No.

**A-502**



**SECTION B-B | 1**

SCALE 1/8" = 1'-0"



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AERIAL VIEW

Sheet No.

**A-601**



NEW PROPOSED AERIAL VIEW | 1

SCALE 1:211.4189

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STREET VIEW

Sheet No.

**A-602**



STREET VIEW | 1

SCALE 1:227.8460

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