

### DEMOLITION LEGEND

- ① HARDSCAPE TO BE REMOVED
- 2 (LEFT BLANK)

③ PORTION OF EXISTING BUILDING TO REMAIN (SHADED)

- ④ BUILDING TO REMAIN
- ⑤ ROOF ABOVE TO BE REMOVED

6 portion of existing building to be removed

⑦ (LEFT BLANK)

⑧ LAUNDRY ROOM STRUCTURE TO BE REMOVED

(9) STAIRS TO BE REMOVED

1 STAIRS TO REMAIN, REPAIR AS NEEDED

1 planter to remain, repair as needed

1 UTILITY BOX/SHED TO BE REMOVED



7500 NE 4th Court Studio 103 Miami, FL 33138

2010

PROJECT NUMBER

PROJECT:

## THE HOHAUSER

1030 6th Street Miami Beach, FL 33139

DRAWING:

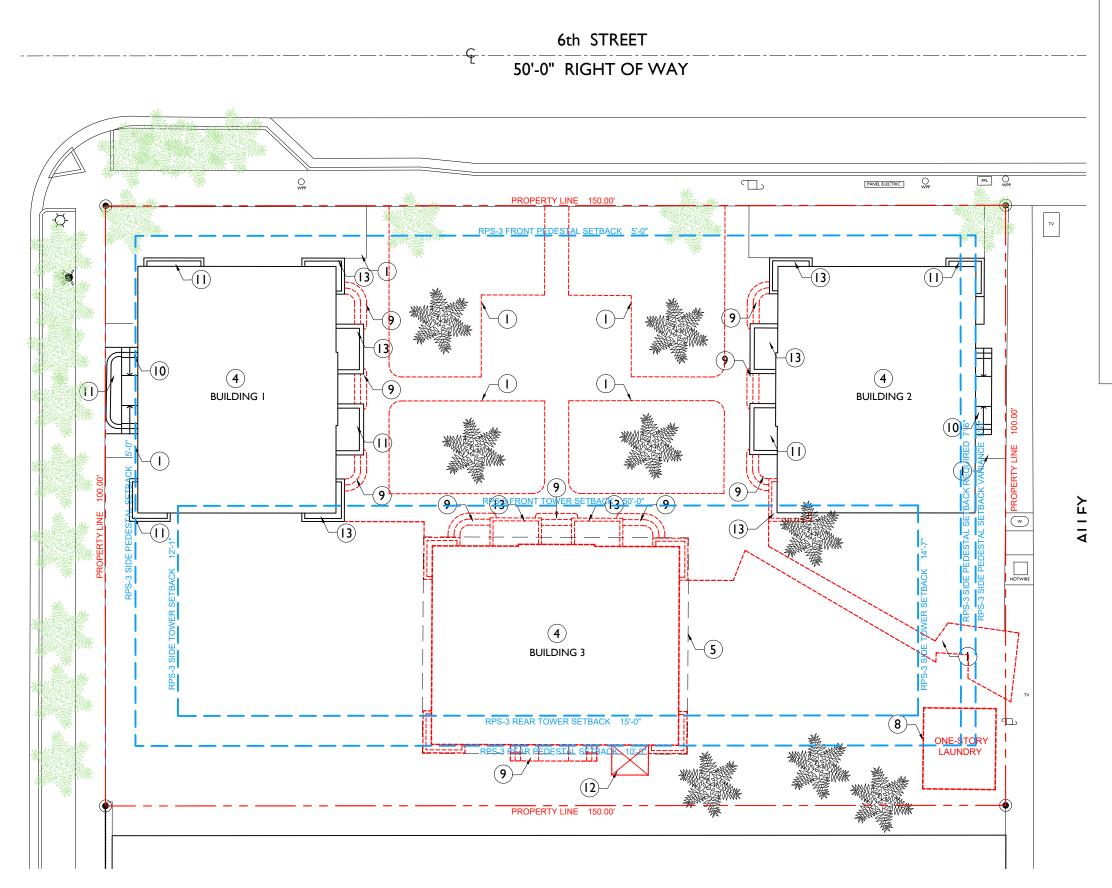


JENNIFER McCONNEY FLORIDA LIC# AR93044 ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UMPUBLISHED WORK OF STUDIO MC-G ARCHITECTURE, INC. AND MAY NOT BE DUPLICATION USED ON BUILD OF MC-G THE EXPRESS AND USED ON BUILD OF MC-G AND USED ON DE MAIL OF MAIL

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DATE:	12/14/2020
C H F F 7	

SHEET NUMBER





### DEMOLITION LEGEND .-

- ① HARDSCAPE TO BE REMOVED
- 2 (LEFT BLANK)
- (LEFT BLANK)
- ④ BUILDING TO BE REMOVED
- ⑤ ROOF ABOVE TO BE REMOVED
- 6 (LEFT BLANK)
- (LEFT BLANK)
- ⑧ LAUNDRY ROOM STRUCTURE TO BE REMOVED
- (9) STAIRS TO BE REMOVED
- 1 STAIRS TO REMAIN, REPAIR AS NEEDED
- 1 planter to remain, repair as needed
- 1 UTILITY BOX/SHED TO BE REMOVED
- (13) PLANTER TO BE REMOVED



7500 NE 4th Court Studio 102 Miami, FL 33138

2237

PROJECT NUMBER

PROJECT:

## THE HOHAUSER

1030 6th Street Miami Beach, FL 33139

DRAWING:

DEMOLITION SITE PLAN

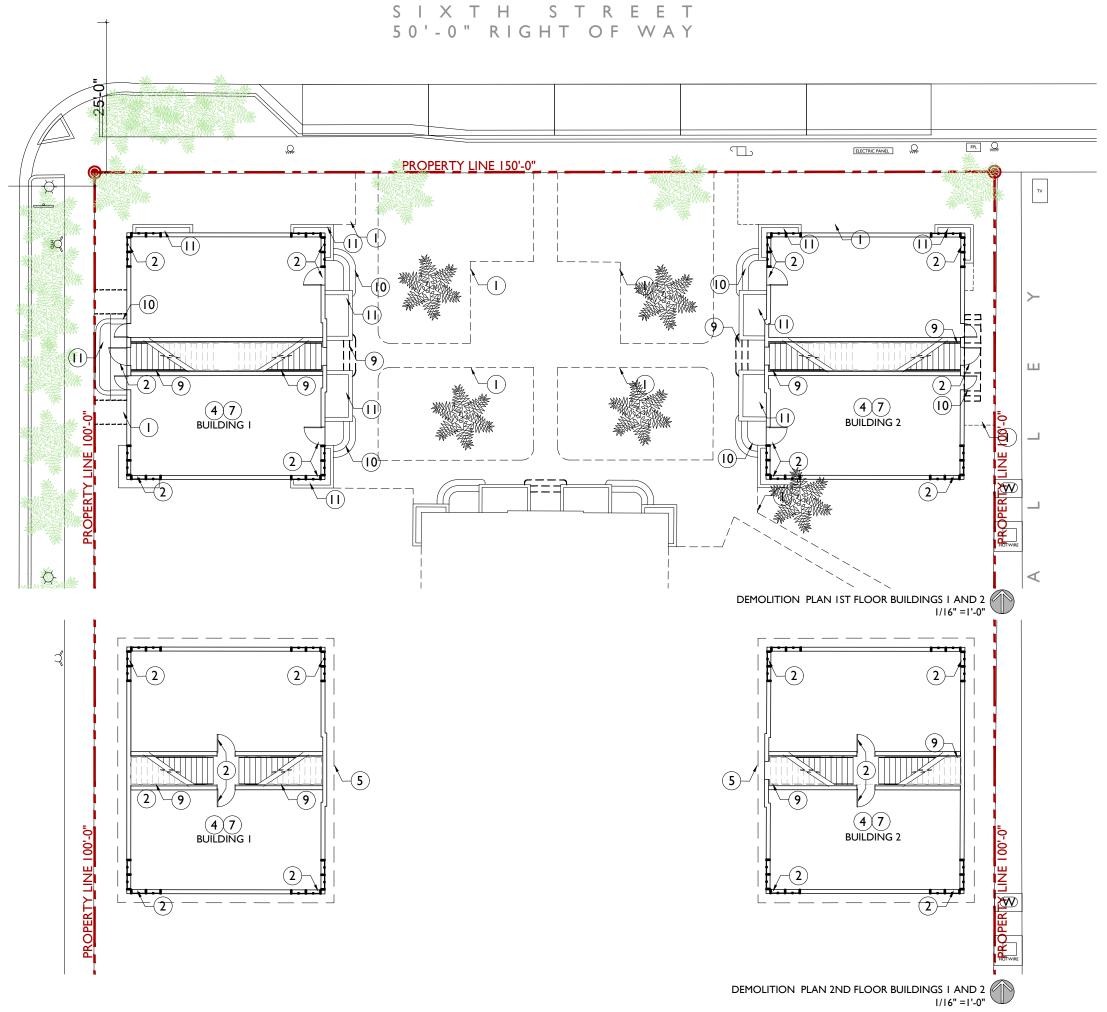
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DEMOLITION SITE PLAN 1/16" =1'-0"









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PROJECT NUMBER

PROJECT:

THE HOHAUSER

1030 6th Street Miami Beach, FL 33139

DRAWING:

# DEMOLITION PLANS BUILDINGS 1-2

JENNIFER McCONNEY	FLORIDA LIC# AR93044
	RIGINAL AND UNPUBLISHED CHITECTURE, INC. AND MAY
SCALE:	»=۱'-0"

SCALE:	1/32"=1'-0'
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DATE:	12/14/2020
SHEET	NUMBER

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DEMOLITION LEGEND

① HARDSCAPE TO BE REMOVED

② NON-HISTORIC WINDOWS AND DOORS TO BE REMOVED

③ PORTION OF EXISTING BUILDING TO REMAIN (SHADED)

(4) BUILDING TO REMAIN

⑤ ROOF ABOVE TO BE REMOVED

(6) PORTION OF EXISTING BUILDING TO BE REMOVED

 $\ensuremath{\overline{\mathcal{D}}}$  interior walls and floors to be removed

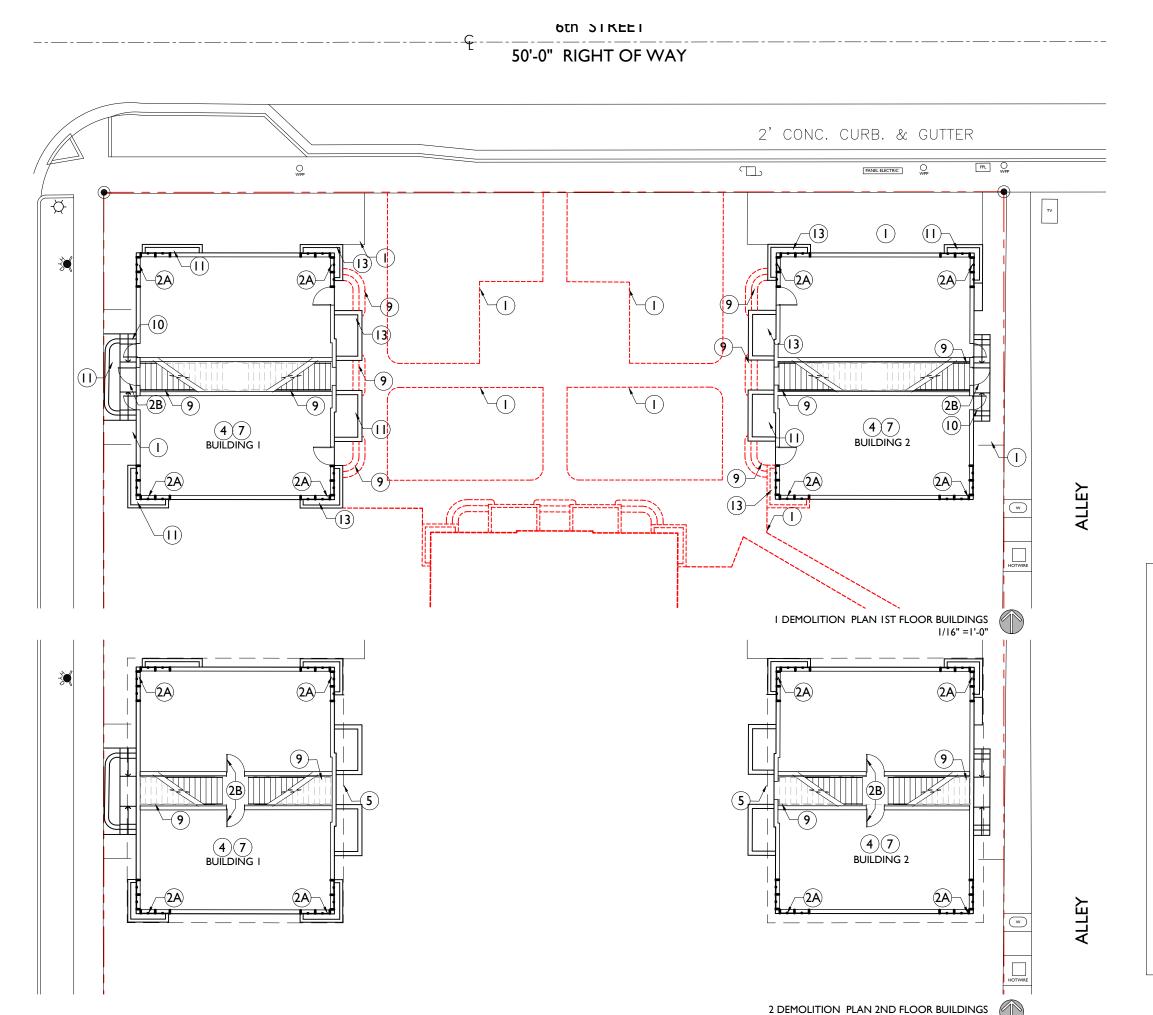
⑧ LAUNDRY ROOM STRUCTURE TO BE REMOVED

(9) STAIRS TO BE REMOVED

1 STAIRS TO REMAIN, REPAIR AS NEEDED

(1) PLANTER TO REMAIN, REPAIR AS NEEDED

1 UTILITY BOX/SHED TO BE REMOVED



1/16" =1'-0"

FINAL HPB AUGUST 8th, 2022 - 63



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PROJECT NUMBER

PROJECT:

# THE HOHAUSER

1030 6th Street Miami Beach, FL 33139

DRAWING:

### DEMOLITION LEGEND.-

① HARDSCAPE TO BE REMOVED

- NON-HISTORIC WINDOWS TO BE REMOVED AND REPLACED
- NON-HISTORIC DOORS TO BE REMOVED AND/ OR REPLACED, EXCEPT AS NOTED
- ③ PORTION OF EXISTING BUILDING TO REMAIN (SHADED)
- ④ BUILDING TO REMAIN
- ⑤ ROOF ABOVE TO BE REMOVED AND REPLACED
- ⑥ PORTION OF EXISTING BUILDING TO BE REMOVED
- $\ensuremath{\widehat{\mathcal{T}}}$  interior walls and floors to be removed
- (8) LAUNDRY ROOM STRUCTURE TO BE REMOVED
- (9) STAIRS TO BE REMOVED
- (1) STAIRS TO REMAIN, REPAIR AS NEEDED
- 1) PLANTER TO REMAIN, REPAIR AS NEEDED
- 12 UTILITY BOX/SHED TO BE REMOVED
- (3) PLANTER TO BE REMOVED

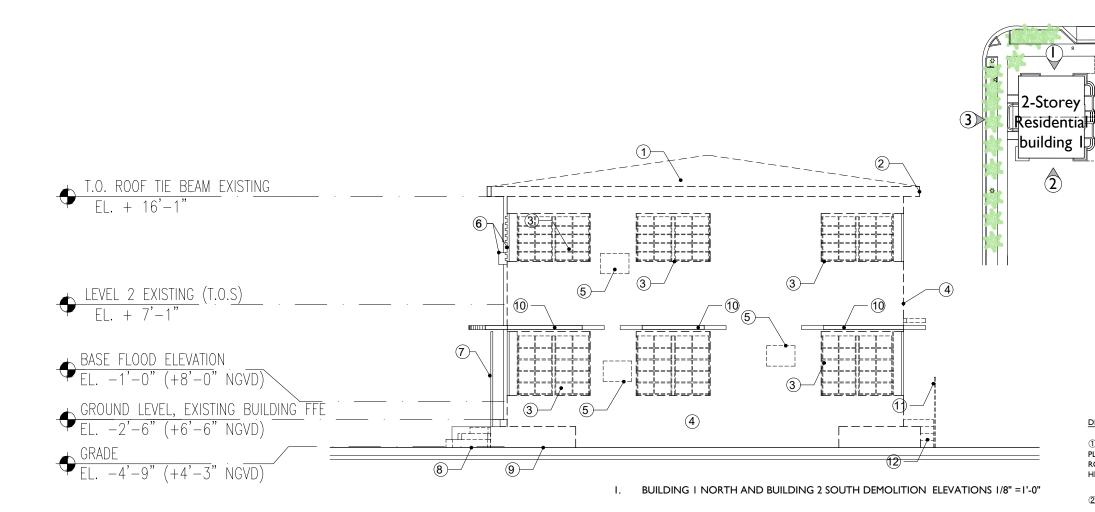
# DEMOLITION PLANS BUILDINGS 1-2

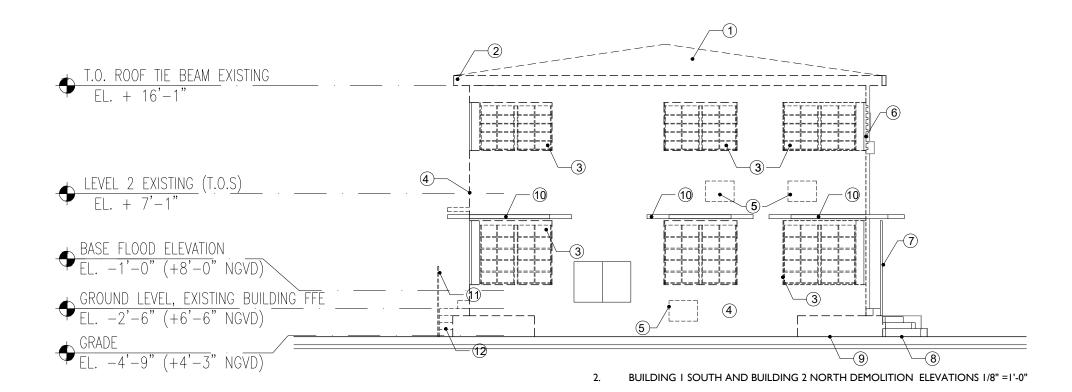
ALL DRAWINGS AND WRITTI	EN MATERIAL APPEARING
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ARCHITECTURE,	INC. (c) 2020
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JENNIFER McCONNEY FLORIDA LIC# AR93044

SHEET NUMBER

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7500 NE 4th Court Studio 103 Miami, FL 33138

2-Storey

(4) Residentia 3

**KEY PLAN N.T.S** 

building 2

2010

PROJECT NUMBER

PROJECT:

# THE HOHAUSER

1030 6th Street Miami Beach, FL 33139

DRAWING:

DEMOLITION LEGEND:

(1) REMOVE EXISTING ASPHALT TILES. REMOVE PLYWOOD. REMOVE AND REPAIR ANY DAMAGED ROOF TRUSSES. ROOF TO BE REPLACED TO MATCH HISTORIC PHOTOS.

**X** 

2-Storey

Residential

building 3

2 REMOVE AND REPLACE FASCIA

③ REMOVE AND REPLACE NON-HISTORIC WINDOWS AND DOORS. NEW WINDOWS AND DOORS TO MATCH HISTORIC CONFIGURATION

④ ALL STUCCO TO BE PATCHED AND REPAIRED

(5) REMOVE THRU-WALL A/C UNITS

<sup>®</sup> STUCCO ORNAMENTAL REVEALS TO BE REPAIRED TO MATCH ORIGINAL

 $\ensuremath{\overline{\mathcal{O}}}$  ornamental screen to be repaired or replaced to match original

(8) PORTIONS OF STAIRS TO BE REMOVED OR BURIED DUE TO RAISING OF COURTYARD

(9) STUCCO PLANTER TO BE REPAIRED

1 STUCCO EYEBROW TO BE REPAIRED

(1) STEEL GUARDRAILS TO BE REPLACED TO MEET CODE

12 CONCRETE STAIRS TO BE REPAIRED

(3) BREEZEBLOCK TO BE REPLACED OR REPAIRED TO MATCH EXISTING

() ORNAMENTAL MEDALLION TO BE REPAIRED

### NOTES:

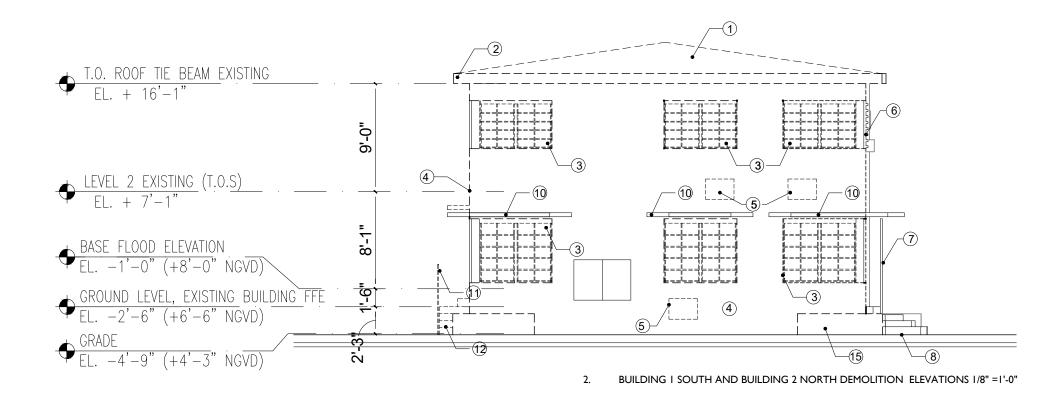
PREPARE FACADES FOR PAINTING, PRESSURE CLEANING, WATERPROOFING AROUND WINDOWS, AND FOR ANY REPAIR OF LOOSE STUCCO BUILDINGS 1&2 DEMOLITION ELEVATIONS AND NOTES

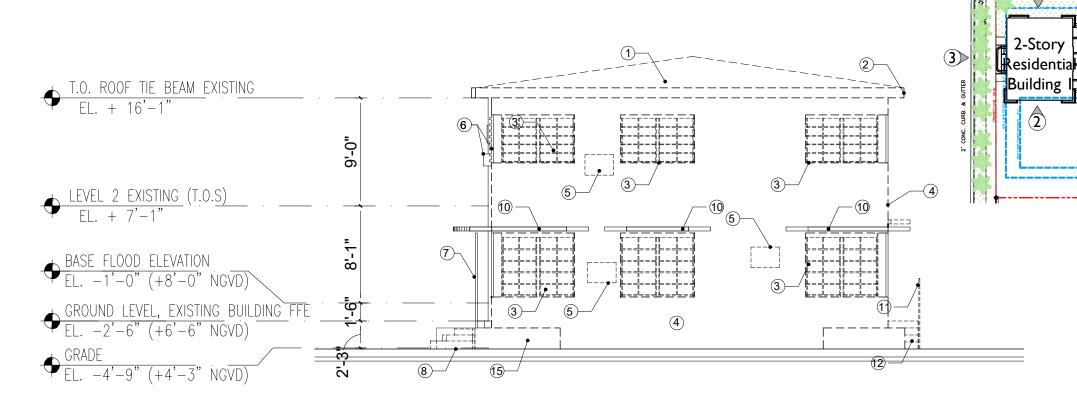
JENNIFER McCONNEY FLORIDA LIC# ARS ALL DRAWINGS AND WRITTEN MATERIAL APPE HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLE WORK OF STUDIO FC/G ARCHTECTURE, NC, AND NH EXPRESS WRITTEN CONSENT OF STUDIO MCHIEEXPRESS WRITTEN CONSENT OF STUDIO MCHIETEN EXC (a) 2020	
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DATE	12/14/2020

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# FINAL HPB AUGUST 8th, 2022 - 65





I. BUILDING I NORTH AND BUILDING 2 SOUTH DEMOLITION ELEVATIONS 1/8" = 1'-0"



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PROJECT NUMBER

PROJECT:

# THE HOHAUSER

1030 6th Street Miami Beach, FL 33139

DRAWING:

DEMOLITION LEGEND:

① REMOVE EXISTING ASPHALT TILES. REMOVE PLYWOOD. REMOVE AND REPAIR ANY DAMAGED ROOF TRUSSES. ROOF TO BE REPLACED TO MATCH HISTORIC PHOTOS.

2' CONC. CURB. & GUTTER

2-Story

**KEY PLAN N.T.S** 

≪3

Residentia

Building

4

2-Story

Residential

**Building 3** 

2 REMOVE AND REPLACE FASCIA

(3) REMOVE AND REPLACE NON-HISTORIC WINDOWS AND DOORS.

④ ALL STUCCO TO BE PATCHED AND REPAIRED

⑤ REMOVE THRU-WALL A/C UNITS

⑥ STUCCO ORNAMENTAL REVEALS TO BE REPAIRED TO MATCH ORIGINAL

O ORNAMENTAL SCREEN TO BE REPAIRED OR REPLACED TO MATCH ORIGINAL

(8) PORTIONS OF STAIRS TO BE REMOVED OR BURIED DUE TO RAISING OF COURTYARD

(9) STUCCO PLANTER TO BE REPAIRED

1 STUCCO EYEBROW TO BE REPAIRED

(1) STEEL GUARDRAILS TO BE REPLACED TO MEET CODE

1 CONCRETE STAIRS TO BE REPAIRED

 $(\ensuremath{\underline{3}})$  breezeblock to be replaced or repaired to match existing

() ORNAMENTAL MEDALLION TO BE REPAIRED

(5) PLANTER TO BE REMOVED

### NOTES:

PREPARE FACADES FOR PAINTING, PRESSURE CLEANING, WATERPROOFING AROUND WINDOWS, AND FOR ANY REPAIR OF LOOSE STUCCO

\*I REPLACE WITH NEW IMPACT WINDOW

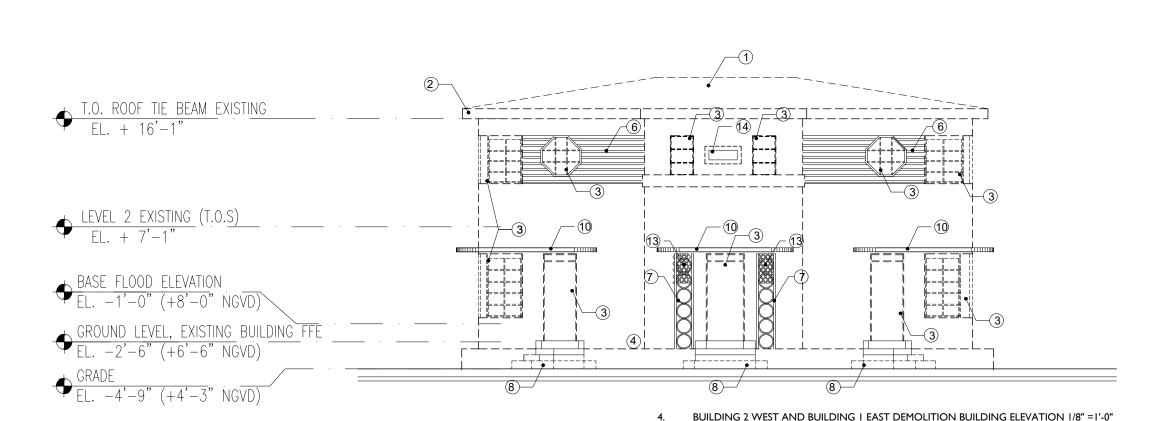
# BUILDINGS 1&2 DEMOLITION

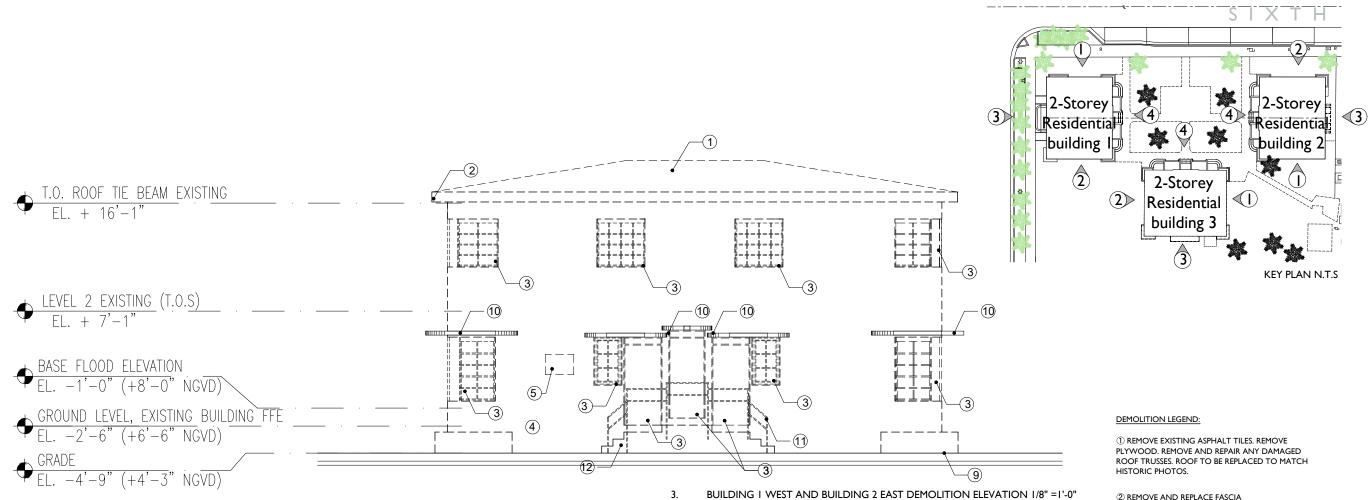
# ELEVATIONS AND NOTES

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HEREIN CONSTITUTE TH WORK OF STUDIO MC+G NOT BE DUPLICATED, U THE EXPRESS WRITTEN	RITTEN MATERIAL APPEARING E ORIGINAL AND UNPUBLISHED ARCHITECTURE, INC. AND MAY SED OR DISCLOSED WITHOUT CONSENT OF STUDIO MC+G 'URE, INC. (c) 2020
SCALE:	<sup>1</sup> / <sub>32</sub> "=1'-0"
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DATE: 08/08/2022









7500 NE 4th Court Studio 103 Miami, FL 33138

2010

PROJECT NUMBER

PROJECT:

# THE HOHAUSER

1030 6th Street Miami Beach, FL 33139

DRAWING:

2 REMOVE AND REPLACE FASCIA

③ REMOVE AND REPLACE NON-HISTORIC WINDOWS AND DOORS. NEW WINDOWS AND DOORS TO MATCH HISTORIC CONFIGURATION

④ ALL STUCCO TO BE PATCHED AND REPAIRED

⑤ REMOVE THRU-WALL A/C UNITS

6 STUCCO ORNAMENTAL REVEALS TO BE REPAIRED TO MATCH ORIGINAL

⑦ ORNAMENTAL SCREEN TO BE REPAIRED OR REPLACED TO MATCH ORIGINAL

**(8)** PORTIONS OF STAIRS TO BE REMOVED OR BURIED DUE TO RAISING OF COURTYARD

(9) STUCCO PLANTER TO BE REPAIRED

1 STUCCO EYEBROW TO BE REPAIRED

(1) STEEL GUARDRAILS TO BE REPLACED TO MEET CODE

12 CONCRETE STAIRS TO BE REPAIRED

(1) BREEZEBLOCK TO BE REPLACED OR REPAIRED TO MATCH EXISTING

(1) ORNAMENTAL MEDALLION TO BE REPAIRED

### NOTES:

PREPARE FACADES FOR PAINTING, PRESSURE CLEANING, WATERPROOFING AROUND WINDOWS, AND FOR ANY REPAIR OF LOOSE STUCCO

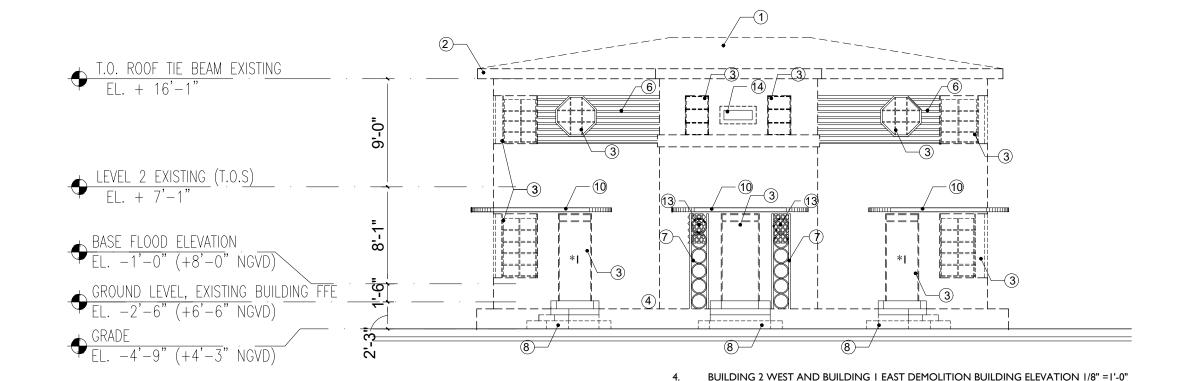
**BUILDINGS I** AND 2 DEMOLITION **ELEVATIONS** AND NOTES

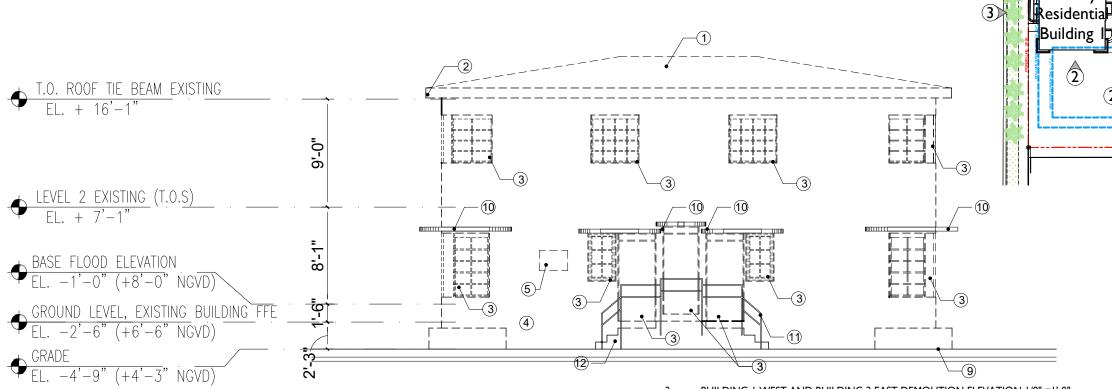
HEREIN CONSTITUTE THE WORK OF STUDIO MC+G / NOT BE DUPLICATED, US THE EXPRESS WRITTEN	TTEN MATERIAL APPEARING ORIGINAL AND UNPUBLISHED RCHITECTURE, INC. AND MAY ED OR DISCLOSED WITHOUT CONSENT OF STUDIO MC+G IRE, INC. (c) 2020
SCALE:	1/32"=1'-0"
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12/14/2020 DATE: SHEET NUMBER

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## FINAL HPB AUGUST 8th, 2022 - 67





<sup>3.</sup> BUILDING I WEST AND BUILDING 2 EAST DEMOLITION ELEVATION 1/8" =1'-0"



7500 NE 4th Court Studio 102 Miami, FL 33138

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PROJECT NUMBER

PROJECT:

# THE HOHAUSER

1030 6th Street Miami Beach, FL 33139

DRAWING:

DEMOLITION LEGEND:

2-Story

Residential

Building 3

2-Story

(2)

(2)>

(1) REMOVE EXISTING ASPHALT TILES. REMOVE PLYWOOD. REMOVE AND REPAIR ANY DAMAGED ROOF TRUSSES. ROOF TO BE REPLACED TO MATCH HISTORIC PHOTOS.

2' CONC. CURB. & GUTTER

2-Story

K<u>ey plan n.</u>t.s

(3)

(4) Residentia Building 2

2 REMOVE AND REPLACE FASCIA

③ REMOVE AND REPLACE NON-HISTORIC WINDOWS AND DOORS.

(4) ALL STUCCO TO BE PATCHED AND REPAIRED

⑤ REMOVE THRU-WALL A/C UNITS

6 STUCCO ORNAMENTAL REVEALS TO BE REPAIRED TO MATCH ORIGINAL

⑦ ORNAMENTAL SCREEN TO BE REPAIRED OR REPLACED TO MATCH ORIGINAL

**(8) PORTIONS OF STAIRS TO BE REMOVED OR** BURIED DUE TO RAISING OF COURTYARD

(9) STUCCO PLANTER TO BE REPAIRED

1 STUCCO EYEBROW TO BE REPAIRED

(1) STEEL GUARDRAILS TO BE REPLACED TO MEET CODE

1 CONCRETE STAIRS TO BE REPAIRED

(3) BREEZEBLOCK TO BE REPLACED OR REPAIRED TO MATCH EXISTING

() ORNAMENTAL MEDALLION TO BE REPAIRED (5) PLANTER TO BE REMOVED

NOTES:

PREPARE FACADES FOR PAINTING, PRESSURE CLEANING, WATERPROOFING AROUND WINDOWS, AND FOR ANY REPAIR OF LOOSE STUCCO

\*I REPLACE WITH NEW IMPACT WINDOW

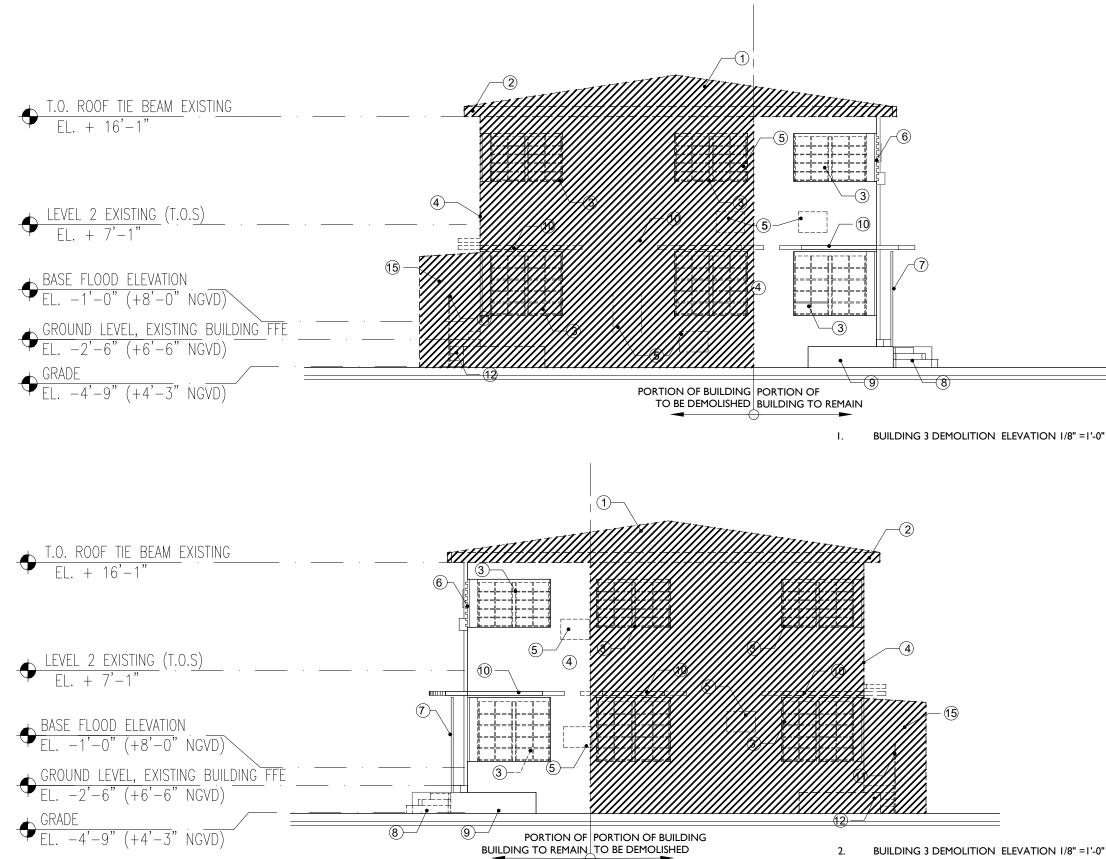
**BUILDINGS I** AND 2 DEMOLITION **ELEVATIONS** AND NOTES

	ITTEN MATERIAL APPEARING
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	ED OR DISCLOSED WITHOUT
	CONSENT OF STUDIO MC+C
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DATE:	08/08/2022

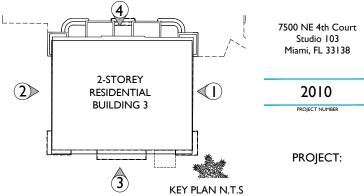
JENNIFER McCONNEY FLORIDA LIC# AR9304

SHEET NUMBER









# THE HOHAUSER

1030 6th Street Miami Beach, FL 33139

DRAWING:

DEMOLITION LEGEND:

- 1 REMOVE ROOF
- 2 REMOVE AND REPLACE FASCIA PORTION AS DENOTED

③ REMOVE AND REPLACE NON-HISTORIC WINDOWS AND DOORS. NEW WINDOWS AND DOORS TO MATCH HISTORIC CONFIGURATION V

(4) ALL STUCCO TO BE PATCHED AND REPAIRED

⑤ REMOVE THRU-WALL A/C UNITS

6 STUCCO ORNAMENTAL REVEALS TO BE REPAIRED TO MATCH ORIGINAL

⑦ ORNAMENTAL SCREEN TO BE REPAIRED OR REPLACED TO MATCH ORIGINAL

(8) PORTIONS OF STAIRS TO BE REMOVED OR BURIED DUE TO RAISING OF COURTYARD

(9) STUCCO PLANTER TO BE REPAIRED / REMOVED AS DENOTED

(1) STUCCO EYEBROW TO BE REPAIRED AS DENOTED

1 Steel guardrails to be removed as DENOTED

1 CONCRETE STAIRS TO BE REMOVED AS DENOTED

(3) BREEZEBLOCK TO BE REPLACED OR REPAIRED TO MATCH EXISTING

() ORNAMENTAL MEDALLION TO BE REPAIRED

(5) UTILITY STRUCTURE TO BE REMOVED

NOTES: PREPARE FACADES FOR PAINTING, PRESSURE CLEANING, WATERPROOFING AROUND WINDOWS, AND FOR ANY REPAIR OF LOOSE STUCCO 

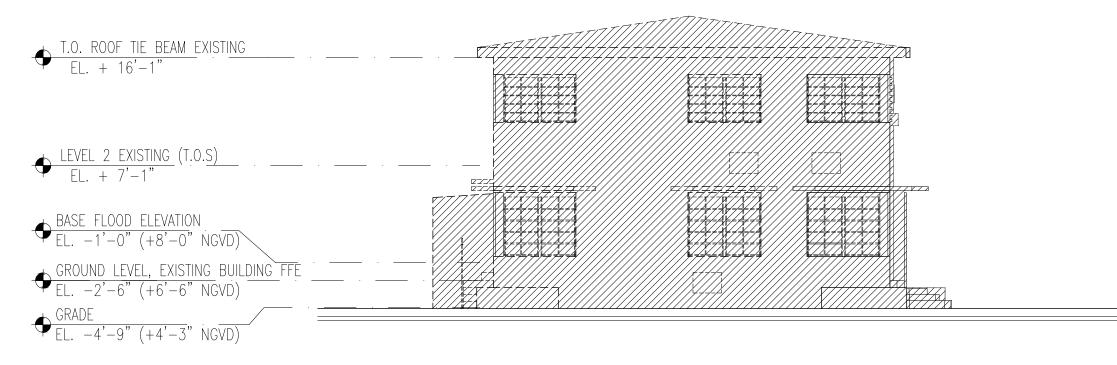
DENOTES PORTION OF BUILDING TO BE DEMOLISHED

**EXISTING BUILDING 3** DEMOLITION **ELEVATIONS** AND NOTES

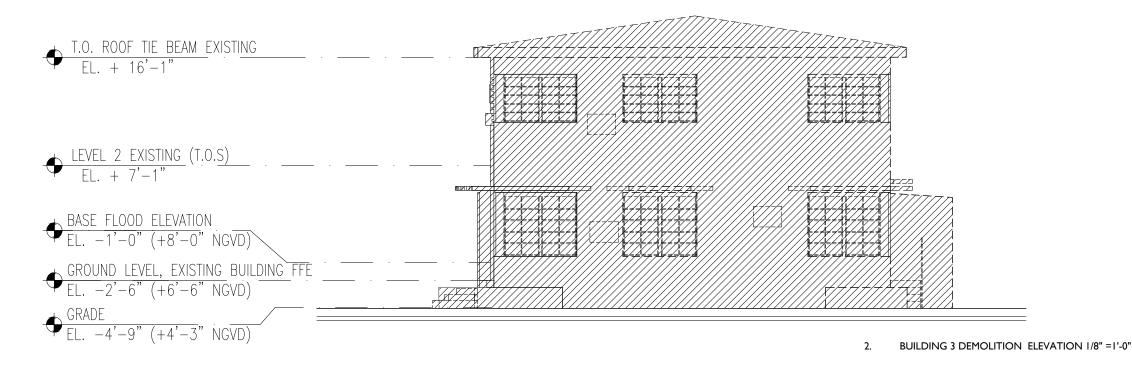
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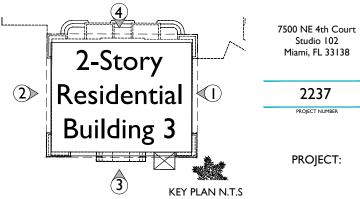
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BUILDING 3 DEMOLITION ELEVATION 1/8" = 1'-0" Ι.







# THE HOHAUSER

1030 6th Street Miami Beach, FL 33139

DRAWING:

# EXISTING **BUILDING 3** DEMOLITION **ELEVATIONS** AND NOTES

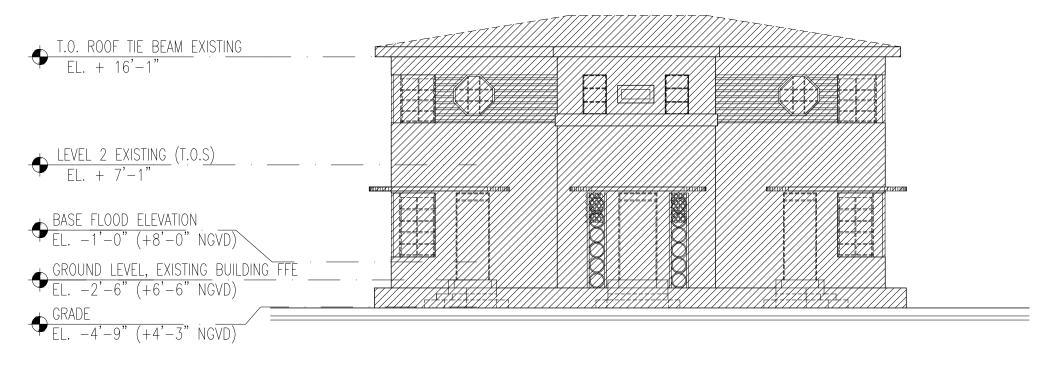
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BUILDING 3 DEMOLITION ELEVATION 1/8" =1'-0" 3.

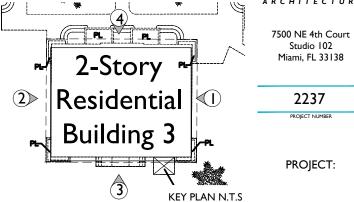


SEE SHEET A.300A FOR RECONSTRUCTED FACADE ELEVATIONS

BUILDING 3 DEMOLITION ELEVATION 1/8" =1'-0"

## FINAL HPB AUGUST 8th, 2022 - 71





THE HOHAUSER

1030 6th Street Miami Beach, FL 33139

DRAWING:

# EXISTING **BUILDING 3** DEMOLITION **ELEVATIONS** AND NOTES

ARCHITECTURE, INC. (c) 2020	
SCALE:	l∕ <sub>32</sub> "=1'-0"
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DATE:	08/08/2022
SHEET	NUMBER

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DENOTES PORTION OF BUILDING TO BE DEMOLISHED