

HISTORIC RESTORATION & ADDITION
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MEP ENGINEER STRUCTURAL ENGINEER CIVIL ENGINEER LANDSCAPE ARCHITECT



GENERAL PROJECT NOTES

- 1 THE ARCHITECT/ENGINEER SHALL NOT BE RESPONSIBLE FOR, NOR HAVE CONTROL, OR CHARGE OF THE CONSTRUCTION MEANS, METHODS, SEQUENCES OR PROCEDURES OR FOR SAFETY PRECAUTIONS AND PROGRAMS.
- 2 ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 2017 AND ALL REGULATORY LEGAL AND GOVERNMENTAL CODES.
- 3 CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT IF ANY DISCREPANCIES ARE DISCOVERED BEFORE PROCEEDING WITH THE WORK.
- 4 CONTRACTOR TO ACQUIRE ALL REQUIRED PERMITS FOR THE CONSTRUCTION AND SUBSEQUENT OCCUPANCY OF THE PROJECT.
- 5 ALL WORK DONE UNDER THE SUPERVISION OF THE CONTRACTOR SHALL BE DONE IN A NEAT AND WORKMANLIKE MANNER AND IN ACCORDANCE WITH ALL GOVERNING AGENCIES, RULES AND REGULATIONS HAVING JURISDICTION.
- 6 GENERAL CONTRACTOR SHALL VISIT THE JOBSITE TO FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS AND THE GENERAL SCOPE OF WORK. ANY EXISTING ITEMS AND/OR CONDITIONS NOT SHOWN ON THESE DRAWINGS OR THOSE THAT FOLLOW, AND/OR ARE INFERABLE AND NECESSARY TO BE REMOVED OR MODIFIED, SHALL BE DONE SO WITHOUT ANY ADDITIONAL TIME AND/OR EXPENSE TO THIS CONTRACT.
- 7 GENERAL CONTRACTOR SHALL COORDINATE ARCHITECTURAL DRAWINGS WITH MECHANICAL, ELECTRICAL, PLUMBING AND SPRINKLER DRAWINGS.
- 8 ANY DISCREPANCY IN THE CONTRACT DOCUMENTS MUST BE BROUGHT TO THE ATTENTION OF ARCHITECT, FAILURE TO DO SO MAY RESULT IN REDO OF FINISHED WORK THAT DOES NOT ADHERE TO THE INTENT OF THE CONTRACT DOCUMENTS.
- 9 THE GENERAL CONTRACTOR GUARANTEES AND WARRANTS THAT ALL WORK PERFORMED SHALL BE FREE FROM DEFECTS IN MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR AFTER THE ISSUANCE OF THE CERTIFICATE OF FINAL COMPLETION ANY DEFECTS OR DAMAGE DISCOVERED DURING SAID PERIOD SHALL BE REPAIRED OR REPLACED, AS DIRECTED IN WRITING BY THE ARCHITECT, AT NO ADDITIONAL COST.
- 10 THE CONTRACTOR SHALL PROVIDE ALL SUPPLEMENTAL MATERIAL REQUIRED TO PROPERLY INSTALL, SUPPORT, BRACE, ALL ITEMS AND COMPONENTS WITHIN THE WORK.
- 11 CONTRACTOR TO PROVIDE SHORING (RESHORING) DRAWINGS AND CALCULATIONS FOR REVIEW AND APPROVAL FOR THE CITY OF MIAMI.
- 12 PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EQUIPMENT AND UTILITIES TO BE REMOVED. REMOVALS SHALL BE COORDINATED WITH THE OWNER AND ALL BUILDING AUTHORITIES HAVING JURISDICTION.
- 13 CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH RED-LINED AS-BUILT DRAWINGS FOR ANY AND ALL FIELD CHANGES AND/OR ADDITIONS TO THE WORK IN ANY OF THE DRAWINGS.
- 14 IF ANY CHANGES AND/OR DEVIATIONS ARE MADE TO THESE PLANS WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR SUCH CHANGES AND/OR DEVIATIONS.
- 15 IF DURING THE COURSE OF CONSTRUCTION ANY DEVIATIONS ARE MADE AT THE FIELD, AGAIN, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR SUCH CHANGES AND DEVIATIONS.
- 16 CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL CUSTOM FABRICATED WORK, CONTRACTOR SHALL REVIEW/APPROVE ALL SUBMITTAL/SHOP DRAWING PRIOR TO SUBMITTING FOR ARCHITECTS REVIEW, FOR DESIGN CONFORMANCE ONLY.
- 17 SUBSTITUTIONS MUST BE REVIEWED AND APPROVED BY THE ARCHITECT OR ENGINEERS.
- 18 IN THE EVENT THERE ARE FOUND DISCREPANCIES OR AMBIGUITIES IN OR OMISSION FROM THE SPECIFICATIONS DRAWINGS, SHOULD THERE BE DOUBT AS TO THEIR MEANING AND INTENT, THE ARCHITECT SHALL BE NOTIFIED IN ORDER TO PROVIDE CLARIFICATION IN THE 30 DAY FOLLOWING THE OWNERS NOTICE TO PROCEED.
- 19 DO NOT SCALE DRAWING. USE DIMENSION INDICATED IN DRAWINGS. DIMENSIONS FOR LARGER SCALE DRAWINGS AND DETAILS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND VERIFY SAME IN FIELD.
- 20 ALL REQUIRED TEST SHALL BE PERFORMED BY OWNER, TESTING REQUIRED FOR PRODUCT APPROVAL TO BE PROVIDED BY GENERAL CONTRACTOR AND INCLUDED IN THEIR BID COST.
- 21 COMPLETION: CONTRACTOR TO NOTIFY OWNER AND/OR ARCHITECT IN WRITING, AT LEAST ONE WEEK PRIOR TO FINAL INSPECTION, FINAL DISBURSEMENT TO CONTRACTOR SHALL NOT BE MADE UNTIL OWNERS AND/OR ARCHITECT, PUNCH LIST HAS BEEN SATISFIED. CONTRACTOR TO PROVIDE OWNER WITH WRITTEN GUARANTEE ON ALL EQUIPMENT. CONTRACTOR AT COMPLETION OF WORK SHALL REMOVE FROM THE PREMISES ALL RUBBISH, IMPLEMENTS, EQUIPMENT, AND SURPLUS MATERIALS, LEAVE THE PROJECT "BROOM CLEAN".

ROOF NOTES

- 1 ROOF SYSTEM IS DESIGNED TO PREVENT THE ACCUMULATION OF NO MORE THAN FIVE (5) INCHES OF WATER ON ANY PORTION OF THE ROOF. UNLESS ROOF DRAINS ARE SLOPED TO DRAIN OVER ROOF EDGES, DESIGN AND INSTALLATION OF ROOF DRAINAGE SYSTEMS SHALL COMPLY WITH SECTION 1503 AND THE FLORIDA BUILDING CODE, PLUMBING, CHAPTER 11.
- 2 WHERE ROOF DRAINS ARE REQUIRED, SECONDARY (EMERGENCY OVERFLOW) ROOF DRAINS OR SCUPPERS SHALL BE PROVIDED WHERE THE ROOF PERIMETER CONSTRUCTION EXTENDS ABOVE THE ROOF IN SUCH A MANNER THAT WATER WILL BE ENTRAPPED IF THE PRIMARY DRAINS ALLOW BUILDUP FOR ANY REASON, WHERE PRIMARY AND SECONDARY ROOF DRAINS ARE MANUFACTURED AS A SINGLE ASSEMBLY, THE INLET AND OUTLET FOR EACH DRAIN SHALL BE INDEPENDENT.
- 3 SECONDARY ROOF DRAIN SYSTEMS SHALL HAVE THE END POINT OF DISCHARGE SEPARATE FROM THE PRIMARY SYSTEM. DISCHARGE SHALL BE ABOVE GRADE, IN A LOCATION THAT WOULD NORMALLY BE OBSERVED BY THE BUILDING OCCUPANTS OR MAINTENANCE PERSONNEL.
- 4 SECONDARY (EMERGENCY) ROOF DRAIN SYSTEMS SHALL BE SIZED IN ACCORDANCE WITH SECTION 1106 BASED ON THE RAINFALL RATE FOR WHICH THE PRIMARY SYSTEM IS SIZED. SCUPPERS SHALL BE SIZED TO PREVENT THE DEPTH OF PONDING WATER FROM EXCEEDING THAT FOR WHICH THE ROOF WAS DESIGNED AS DETERMINED BY SECTION 1101.7. SCUPPERS SHALL HAVE AN OPENING DIMENSION OF NOT LESS THAN 4 INCHES (102 MM), THE FLOW THROUGH THE PRIMARY SYSTEM SHALL NOT BE CONSIDERED WHEN SIZING THE SECONDARY ROOF DRAIN SYSTEM, AS PER FBC 2017, PLUMBING SECTION 1108.
- 5 OVERFLOW DRAINS AND SCUPPERS, WHERE ROOF DRAINS ARE REQUIRED, OVERFLOW DRAINS OR OVERFLOW SCUPPERS SIZED IN ACCORDANCE WITH FLORIDA BUILDING CODE, PLUMBING SHALL BE INSTALLED WITH THE INLET FLOW LINE LOCATED NOT LESS THAN 2 INCHES (51 MM) OR MORE THAN 4 INCHES (102 MM) ABOVE THE LOW POINT OF THE FINISHED 2 INCHES (51 MM) OR MORE THAN 4 INCHES (102 MM) ABOVE THE LOW POINT OF THE FINISHED ROOFING SURFACE, EXCLUDING SUMPS. OVERFLOW SCUPPERS SHALL BE A MINIMUM OF 4 INCHES (102 MM) IN ANY DIMENSION AND SHALL BE LOCATED AS CLOSE AS PRACTICAL TO REQUIRED VERTICAL LEADERS, CONDUCTORS OR DOWNSPOUTS. OVERFLOW DRAINS AND SCUPPERS SHALL ALSO COMPLY WITH THE FLORIDA BUILDING CODE, PLUMBING AND SECTION 1617 OF THIS CODE.
- 6 INSTALL BUILT-UP ROOFING MEMBRANE SYSTEM ACCORDING TO ROOFING SYSTEM MANUFACTURER'S WRITTEN INSTRUCTIONS AND ANY APPLICABLE RECOMMENDATIONS OF NRCA "QUALITY CONTROL GUIDELINES FOR THE APPLICATION OF BUILT-UP ROOFING".
- 7 ROOF DRAINAGE DEVICES WITH OVERFLOW TO HAVE LEAF AND DEBRIS SCREENS, ROOF DRAINAGE TO BE CONVEYED TO STREET VIA NON-EROSIVE DEVICES.

CONSTRUCTION NOTES

- 1 ALL INTERIOR CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES IN PLACE IN THE LOCATION OF WORK, CORRIDORS AND ALL OTHER CLEARANCES SHOULD BE CHECKED WITH ARCHITECT PRIOR THE FABRICATION OF ANY WORK, CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING SAME AT HIS OWN EXPENSE.
- 2 ALL ROUGH CARPENTRY WOODWORK SHALL BE TREATED FOR FIRE RETARDATION WITH U.L. APPROVED MATERIAL. FLAME SPREAD RATING NOT TO EXCEED 25.
- 3 CONTRACTOR SHALL FURNISH AND INSTALL NEW ACCESS DOORS WHEREVER REQUIRED FOR PLUMBING, ELECTRICAL, HVAC, SPRINKLER, ETC. SYSTEMS FOR WORK ACCESS AND MAINTENANCE.
- 4 CONTRACTOR SHALL PLACE BACKING IN WALLS THAT SUPPORT UNITIES ACCORDING TO SPECS. AT BATHROOMS, KITCHENS OR WHERE IT IS OTHER NOTED, AND PROVIDE ALL SUCH BLOCKING PRIOR TO CLOSING UP ANY AND ALL WALLS, COLUMNS, ETC. TO MEET SUCH REQUIREMENTS. SEE CARPENTRY SHOP DRAWINGS FOR ALL FIXTURE INFORMATION.
- 5 FILL AND SEAL ALL EXISTING CORE DRILLED HOLES LEFT UNFUSED IN THE FLOOR SLAB AND EXISTING SLAB.
- 6 MATERIALS USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS SHALL BE OF MATERIALS LISTED IN TABLE R702.4.2 AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, AS PER FBC R702.4.2
- 7 PATCH AND REPAIR OR REPLACE ALL EXISTING AND NEW WORK DAMAGED BY CONSTRUCTION.
- 8 LAMINATE AND OR PLASTER ALL EXPOSED CORE WALLS, PERIMETER COLUMNS, WALL & SLAB SURFACES WHICH ARE DAMAGE OR MISSING WITH ONE NEW LAYER OF GYPSUM BOARD SHIM IS REQUIRED, UNLESS OTHERWISE NOTED.
- 9 GENERAL CONTRACTOR SHALL REPAIR ANY LOOSE OR MISSING FIREPROOFING ON STRUCTURAL ELEMENTS AND OTHER FIRE RATED ELEMENTS OF THE SPACE.
- 10 NEW WALLS ARE DIMENSIONED TO THE FINISH FACE OF WALL THICKNESS UNLESS OTHERWISE NOTED, ALL GYPSUM BOARD TO BE 5/8" THICKNESS, UNLESS OTHERWISE NOTED, GREEN BOARD, TO BE USED IN TOILETS WHERE PAINT IS USED AND DUROCK IN TOILETS WHERE TILE IS USED.
- 11 MIN SHOWER ACCESS SHALL BE 22" CLEAR.
- 12 BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE, SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET (1829 MM) ABOVE THE FLOOR. AS PER FBC R307.2.
- 13 REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW PASSAGE OF A SPHERE 4 INCHES (102 MM) IN DIAMETER, AS PER FBC R312.1.3.
- 14 ANY GLAZING MATERIAL IN ANY WINDOW ADJACENT TO TUB AND SHOWER, CORRIDOR AND BATHROOMS, SHOWER ENCLOSURES, AND GLAZING LARGER THAN 9' 0" FT. SHALL BE CATEGORY II SAFETY GLASS, TO COMPLY WITH FBC 2017 B 2406.1 AND/OR FBC 2017 R 308, MANUFACTURER SHALL STORE GLASS ON SITE READILY ACCESSIBLE FOR INSPECTION.

REFLECTIVE CEILING NOTES

- 1 THE INTENT OF THIS REFLECTED CEILING PLANS IS TO SHOW RELATIONSHIPS BETWEEN WALLS AND CEILING, AND LOCATIONS OF KEY MECHANICAL AND ELECTRICAL FEATURES. FOR COMPLETE MECHANICAL AND ELECTRICAL INFORMATION, REFER TO M.E.P. AND FIRE PROTECTION DRAWINGS.
- 2 NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN THIS REFLECTED CEILING PLAN AND ENGINEERING DRAWINGS FOR CLARIFICATION.
- 3 SUB-CONTRACTOR SHALL VERIFY ALL CEILING PLENUM CONDITIONS TO ASSURE CLEARANCE OF DUCTWORK, PIPING AND OTHER OBSTRUCTION WITH THE CEILING HEIGHTS SPECIFIED, AND THE LOCATIONS OF THE LIGHT FIXTURES SHOWN. SUB - CONTRACTOR SHALL PROVIDE CEILING TRANSITIONS WITH GYPSUM BOARD AND METAL SHADOW MOLDING WHERE LOWER CEILINGS ARE REQUIRED DUE TO CLEARANCE PROBLEMS.
- 4 SUB-CONTRACTOR SHALL SUPPLY ALL GYPSUM BOARD CEILING ACCESS PANELS REQUIRED AND NOTIFY ARCHITECT OF LOCATION PRIOR TO INSTALLATION.
- 5 CEILING HEIGHTS ARE DIMENSIONED IN RELATIONSHIP TO FINISHED FLOOR.
- 6 EMERGENCY LIGHTS SHALL BE INSTALLED ON SEPARATE CIRCUIT, REFER TO ENGINEERING DRAWINGS FOR EMERGENCY LIGHT LOCATIONS. COORDINATE LOCATIONS WITH ARCHITECTURAL REFLECTED CEILING PLAN AND WITH ENGINEERING DRAWING FOR SWITCHING CIRCUITS AND FIRE ALARM SYSTEM.
- 7 REFER TO ENGINEERING DRAWINGS FOR LOCATIONS OF NEW AIR SUPPLY AND RETURNS AIR GRILLES.
- 8 ALL HORNS AND STROBES SHALL BE CENTERED ABOVE THE LIGHT SWITCH OR CENTERED ON SURFACE (WALL, COLUMN, ETC.) UNLESS OTHERWISE NOTED. ANY DEVIATION FROM THIS INSTALLATION SHALL RESULT IN CONTRACTOR RELOCATING THE HORNS AND STROBES AT HIS OWN EXPENSE.
- 9 ALL ABANDONED SLAB POKE THROUGHS FROM SLAB ABOVE SHALL BE FIRE SAFED AS REQUIRED.

VAPOR BARRIER NOTE

- 1 ALL CONCRETE SLABS ON GRADE OF ENCLOSED AIR-CONDITIONED SPACES ARE TO HAVE A 6 MIL POLYETHYLENE OR APPROVED VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6" PLACED BETWEEN THE SLAB AND THE BASE COURSE OR PREPARED SUBGRADE.

SOIL STATEMENT

- 1 THE SOIL CONDITIONS AT THIS SITE ARE UNDISTURBED SAND AND ROCK WHICH IS ADEQUATE TO SUPPORT THE DESIGN LOAD OF 2000 PSF. THIS SITE HAS BEEN OBSERVED AND THE FOUNDATION CONDITIONS ARE SIMILAR TO THOSE UPON WHICH THE FOOTING DESIGN IS BASED. THE FOUNDATION HAS BEEN DESIGNED TO A DESIGN LOAD OF 2000 PSF. A LETTER TO THIS EFFECT WILL BE ISSUED TO THE BUILDING INSPECTOR, SIGNED AND SEALED BY THE ARCHITECT. FILL REQUIRED FOR SUPPORT OF SLAB ON GRADE CONDITIONS SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY UNDER THE SUPERVISION OF A SPECIAL INSPECTOR. A LETTER FROM THE SPECIAL INSPECTOR WILL BE SUBMITTED TO THE BUILDING OFFICIAL AT THE TIME OF INSPECTION.

GENERAL DOOR NOTES

- 1 ALL PRODUCTS APPROVAL DOCUMENTATION SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AS REQUIRED.
- 2 ALL EXTERIOR DOORS TO HAVE MIAMI DADE COUNTY PRODUCT APPROVAL, UNLESS OTHERWISE NOTED.
- 3 FORCE ENTRY REQUIREMENTS: ALL EXTERIOR DOORS SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 36 OF THE S.F.B.C., FOR GROUP OCCUPANCIES.
- 4 STRUCTURAL PERFORMANCE: DOORS SHALL BE DESIGNED AND CONSTRUCTED TO PRESERVE THE ENCLOSED BUILDING ENVELOPE AGAINST WIND PRESSURE AS SET FORTH IN SECTION 2309 OF THE S.F.B.C. AND IMPACT LOADS AS SET FORTH IN SECTION 2315 OF THE S.F.B.C.
- 5 ALL DOOR DIMENSIONS SHOW ON THIS SHEET ARE UNIT SIZES, UNLESS OTHERWISE NOTED, PROVIDE MASONRY OPENING PER MANUFACTURER'S RECOMMENDATION.
- 6 WINDOW SUPPLIER SHALL FIELDS VERIFY ALL EXISTING DOOR OPENINGS AND CONTRACTOR SHALL MAKE ALL REQUIRED ADJUSTMENTS TO EXISTING MASONRY OPENING SIZES TO ACCOMMODATE AVAILABLE DOORS.
- 7 IF THE EXISTING MASONRY OPENING SIZES MUST BE ADJUSTED TO ENSURE NEW DOORS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND REPAIRING INTERIOR AND EXTERIOR WALL SURFACES TO BEGIN TO EXIST.
- 8 ALL INTERIOR DOORS SHALL HAVE APPROPRIATE THRESHOLDS AT DOORWAY WHEN FINISH FLOORING MATERIAL IS DIFFERENT FROM ROOM TO ADJOINING ROOM.
- 9 ALL EXTERIOR DOORS SHALL HAVE ALUM. THRESHOLDS, DOOR SWEEPERS, & WEATHER STRIPPING ALL AROUND.
- 10 ALL INTERIOR DOOR FRAMES TO MATCH ADJOINING DOOR FINISHES.
- 11 FOR TYPICAL FRAME DETAILS, REFER TO MANUFACTURER SPECS.
- 12 EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM THE INSIDE, AS PER NFPA 101.
- 13 EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENINGS OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY AS PER NFPA 101.
- 14 ALL NEW DOORS SHALL HAVE 3 PAIRS OF HINGES OR AS RECOMMENDED BY MANUFACTURER.
- 15 HARDWARE SHALL BE: APPROVED IN EQUAL FINISH /COLOR. CONTRACTOR OR HARDWARE SUPPLIER SHALL SUBMIT A HARDWARE SCHEDULE FOR APPROVAL PRIOR TO INSTALLATION.
- 16 ALL DOUBLE DOORS SHALL HAVE MULTI POINT FLUSH-BOLT AT ASTRAGAL.
- 17 PROVIDE ALLOWANCE FOR ALL HARDWARE.

BURGLARY SECURITY & FORCED ENTRY

- 1 ALL LOCKS AND EXTERIOR DOORS: SHALL BE CAPABLE OF RESISTING A FORCE OF 300 LB. APPLIED IN ANY DIRECTION AND IN ACCORDANCE WITH THE RESISTANCE STANDARDS SET FORTH IN THE BUILDING CODE BOOK.
- 2 ALL SINGLE EXTERIOR SWING DOOR: SHALL HAVE A LOCK TO BE KEY OPERATED FROM EXTERIOR WITH A MINIMUM OF 6000 POSSIBLE KEY CHANGES OR LOCKING AUXILIARY SINGLE DEADLOCKS WITH INSERTS.
- 3 HINGES ON EXTERIOR OFFSET TYPE SWING DOORS: SHALL HAVE NON-REMOVABLE PINS.
- 4 JAMBS ON ALL EXTERIOR OFFSET TYPE DOORS IN-SWING DOORS: SHALL BE RABBETED, OR OF SIMILAR FABRICATION TO PREVENT DEFEATING THE PURPOSE OF THE STRIKE AND THE INTEGRITY OF LOCKS AND LATCHES.
- 5 SINGLE SWINGING EXTERIOR DOORS: IF WOOD SHALL BE OF SOLID CORE OF NO LESS THAN 1-3/8" THICK.
- 6 EXTERIOR WINDOWS, SHALL BE LOCKED WITH DEVICE IN THE INSIDE CAPABLE OF WITHSTANDING A FORCE OF 150 LBS APPLIED IN AN OPERABLE.
- 7 WINDOW SUB-BUCKS: SHALL BE OF TREATED MATERIAL AT LEAST 2" NOMINAL THICKNESS & SECURED IN AT LEAST 6 POINTS ON EACH LEG WITH 3" OR EQUIVALENT FASTENERS.

SITE PLAN, FOUNDATION AND GRADING NOTES

- 1 CONTRACTOR SHALL FIELD VERIFY, PRIOR TO CONSTRUCTION, THAT ALL SETBACKS ARE MET PER SITE PLAN AND THAT RESIDENCE AND ITS AMENITIES SIT ON SITE EXACTLY AS PER THIS SITE PLAN.
- 2 EXCAVATION SHALL BE MADE IN COMPLIANCE WITH OSHA REGULATIONS.
- 3 ALL FOUNDATION EXCAVATIONS MUST BE OBSERVED AND APPROVED, IN WRITING BY THE PROJECT GEOTECHNICAL PRIOR TO PLACEMENT OF REINFORCING STEEL.
- 4 IF ADVERSE SOIL CONDITION ARE ENCOUNTERED, CONTACT GEOTECHNICAL CONSULTANT.
- 5 CONCRETE SLABS ON GRADE ON EXPANSIVE SOIL OR COMPACTED FILL SHALL BE PLACED ON A 4 INCH FILL OF COARSE AGGREGATE OR ON ALL SAND BED COVERED MOISTURE BARRIER MEMBRANE. THE SLABS SHALL BE AT LEAST 31/2 INCHES THICK AND SHALL BE REINFORCED WITH # 4 BARS SPACED AT INTERVALS NOT EXCEEDING 16 INCHES EACH WAY.

SITE INVESTIGATION NOTE

- 1 EXAMINATION OF CONTRACT DOCUMENTS AND SITE OF WORK: THE BIDDER IS REQUIRED, BEFORE SUBMITTING HIS PROPOSAL, TO VISIT THE SITE OF THE PROPOSED WORK AND FAMILIARIZE HIM OR HERSELF WITH THE NATURE AND EXTENT OF THE WORK AND ANY LOCAL CONDITIONS THAT MAY IN ANY MANNER AFFECT THE WORK TO BE DONE AND EQUIPMENT, MATERIALS AND LABOR REQUIRED THEREFORE. SINCE THE WORK INVOLVES NEW AND/OR EXISTING BUILDINGS, SYSTEMS AND FACILITIES, SPECIAL CONSIDERATION SHALL BE GIVEN TO EXAMINATION OF WORKING CONDITIONS, NEW FACILITIES AND ALL BUILDING STRUCTURES FAMILIARIZE TO HIMSELF WITH ALL EXISTING CONDITIONS, SUGGEST VARIATION OF ROUTING AND OR CONSTRUCTIONS SHOULD BE ANTICIPATED BY THIS CONTRACTOR TO AVOID CONFLICTS WITH OTHER TRADES. THESE VARIATIONS ARE EXPRESSLY INCLUDED AS PART OF THE WORK WHENEVER REQUIRED AT NO ADDITIONAL COST TO THE OWNER.
- 2 IGNORANCE ON THE PART OF THE CONTRACTOR WILL IN NO WAY RELIEVE HIM OF THE OBLIGATIONS AND RESPONSIBILITY ASSUMED UNDER THIS CONTRACT.

TERMITE CONTROL NOTES

- 1 TREATMENT SHALL BE IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENCED PEST CONTROL COMPANY.

TERMITE PROTECTION NOTES

- 1 SOIL SHALL BE TERMITE TREATED PRIOR TO CONSTRUCTION.
- 2 TERMITE PROTECTION SHALL BE PROVIDED BY FLORIDA REGISTERED TERMITICIDES OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS PREVENTATIVE TREATMENT TO NEW CONSTRUCTION.
- 3 CONTRACTOR SHALL POST A WEATHER RESISTANT JOB BOARD TO RECEIVE DUPLICATE TREATMENT CERTIFICATES AND SHALL DISPLAY PRODUCT USED, IDENTITY OF APPLICATOR, TIME AND DATE OF TREATMENT, SITE LOCATION, AREA TREATED, CHEMICAL USED, PERCENT CONCENTRATION AND NUMBER OF GALLONS USED.

GENERAL WINDOWS NOTES

- 1 ALL EXTERIOR WINDOWS AND DOORS SHALL BE UNDER A SEPARATE PERMIT. G.C. SHALL SUBMIT PRODUCT APPROVALS FOR IMPACT RESISTANT ASSEMBLY RATING WITH AN APPROPRIATE N.O.A. AND STRUCTURAL CALCULATIONS DESIGNED BY THE STATE OF FLORIDA REGISTERED PROFESSIONAL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- 2 WINDOW ATTACHMENT IS THE RESPONSIBILITY OF THE BUILDER/CONTRACTOR AS PER THE PARTICULAR WINDOW MANUFACTURER'S INSTALLATION REQUIREMENTS TO MEET DESIGN PRESSURE AND MUST BE SIGNED AND SEALED BY A LICENSED ENGINEER FROM THE STATE OF FLORIDA.
- 3 ALL WINDOWS TO HAVE MIAMI-DADE COUNTY APPROVED IMPACT RESISTANT GLASS.
- 4 ALL STOREFRONTS AND WINDOWS TO BE IMPACT GLASS.
- 5 SEE ALL PLANS FOR LOCATION OF WINDOW TYPES.
- 6 MANUFACTURER SHALL FIELD VERIFY ALL EXTERIOR MASONRY OPENINGS PRIOR TO FABRICATION.
- 7 VERIFY ROUGH OPENING DIMENSIONS WITH WINDOW MANUFACTURER.
- 8 CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ARCHITECTS APPROVAL PRIOR TO ORDERING WINDOWS.
- 9 ALL OUTSIDE FIXED GLASS IS TO COMPLY WITH SECTION 3508.2 FBC. ALL GLASS AT WINDOWS AND DOORS SHALL BE TINTED AS PER ENERGY CALCULATIONS.
- 10 PROVIDE CATEGORY II SAFETY GLASS AT SHOWER ENCLOSURES AND WINDOWS ADJACENT TO TUBS OR SHOWERS (FBC 241 1.6.2)
- 11 WHEN APPLY, GENERAL CONTRACTOR TO PROVIDE PRODUCT APPROVAL SHUTTER SYSTEM. SUBMIT SHOP DRAWINGS FOR APPROVAL.

DRAINAGE NOTES

- 1 ALL DRAINAGE SHALL BE MAINTAINED ON PROPERTY AND SHALL NOT DRAIN ONTO NEIGHBORING PROPERTIES.
- 2 INSTALL ROOF DRAINS, GUTTERS AND DOWNSPOUT ACCORDING TO PLANS.
- 3 ALL DRAINAGE SHALL BE CONDUCTED TO STREET IN NON-EROSIVE DEVICES 2% MIN.
- 4 BASEMENT WATER SHALL BE DISCHARGED TO LAWN.

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- 1 ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ARCHITECT ARE THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT WHERE THE ONE FOR WHICH THEY WERE EXPRESSLY DESIGNED IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THE ARCHITECT, THE PERSON SO DOING WILL BE INDEBTED TO ARCHITECT FOR HIS FULL COMMISSION.

MEANS OF EGRESS

- 1 ALL EGRESS WINDOWS SHALL HAVE A MIN. NET CLEAR OPENING OF 5.7 SF; WHILE GRADE FLOOR OPENING MAY BE REDUCED TO 5 SF, HAVE A MIN. NET WIDTH OF 20" AND A MIN. NET HEIGHT OF 24". THE BOTTOM OF THE OPENING SHALL NOT BE GREATER THAN 44" MEASURED FROM THE FINISH FLOOR OF THAT STORY AS PER FBC 2017 B 1030 FOR SLEEPING ROOMS IN R-2 AND R-3 OCCUPANCIES BELOW THE FOURTH STORY.
- 2 NO DOOR IN THE PATH OF TRAVEL OF MEANS OF ESCAPE SHALL BE LESS THAN 80" HEIGHT AND 32" WIDE MEASURED FROM FACE OF DOOR TO STOP WHEN OPENED 90°. BATHROOM DOORS MAY BE 24" WIDE UNLESS A LARGER DOOR OPENING IN REQUIRED TO SATISFY REQUIREMENTS, AS PER FBC 2017 B 1010.1.
- 3 EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET.
- 4 EVERY BATHROOM DOOR LOCK SHALL BE DESIGN TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY.
- 5 NO DOOR IN ANY MEANS OF ESCAPE SHALL BE LOCKED AGAINST EGRESS WHEN THE BUILDING IS OCCUPIED. ALL LOCKING WHICH IMPEDE OR PROHIBIT EGRESS OR WHICH CANNOT BE EASILY DISENGAGED SHALL BE PROHIBITED.

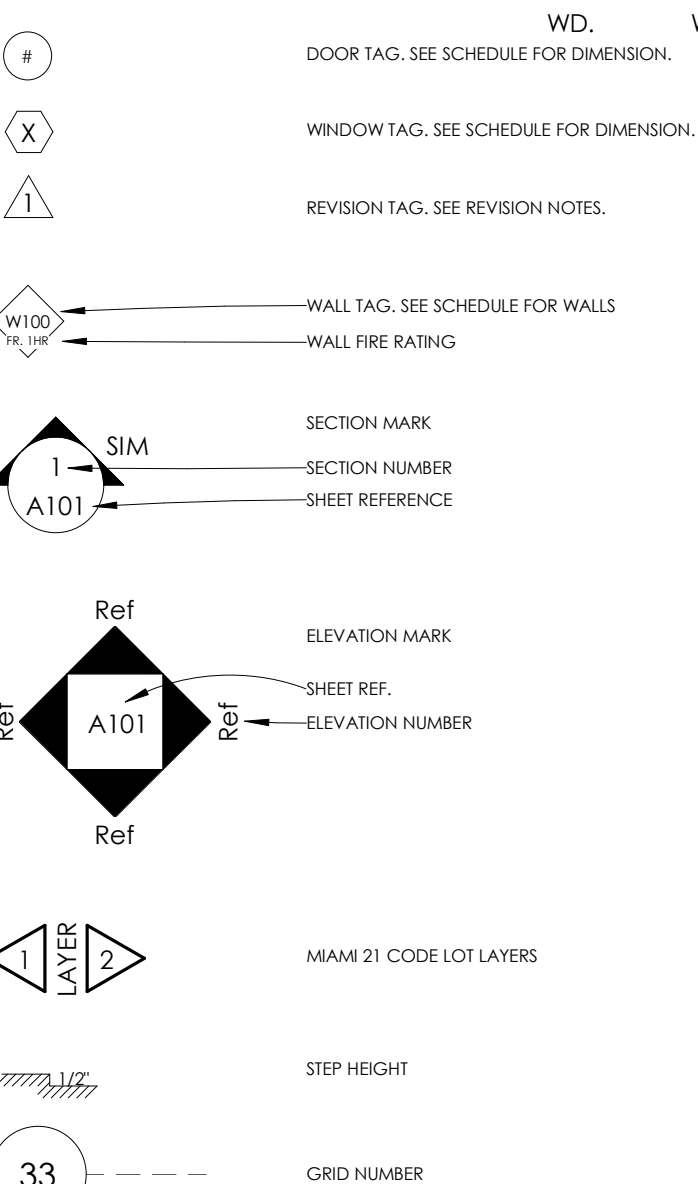
ACCESSIBLE NOTES

- 1 UNIT ENTRY DOORS (ACCESSIBLE DOOR) SHALL HAVE A MINIMUM CLEAR PASSAGEWAY OF 32". ALL OTHER UNIT ENTRYWAYS (USER DOOR) SHALL HAVE A CLEAR OPENING OF 31 5/8" MIN. CLEAR OPENING OF SWINGING DOORS SHALL BE MEASURED BETWEEN THE FACE OF THE DOOR AND STOP, WITH THE DOOR OPEN 90 DEGREES.
- 2 LIGHTING CONTROLS, ELECTRICAL SWITCHES AND RECEPTACLES, ENVIRONMENTALS CONTROLS, APPLIANCES CONTROLS, OPERATING HARDWARE FOR OPERABLE WINDOWS, PLUMBING FIXTURE, CONTROLS AND USER CONTROLS FOR SECURITY OR INTERCOM SYSTEMS SHALL COMPLY WITH THE REACH REQUIREMENTS ACCORDING FAIR HOUSING ACT DESIGN MANUALS. OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5.0 POUNDS MAX.
- 3 WASHING MACHINE AND CLOTHES DRYER ARE NOT REQUIRED TO MEET THE CLEAR FLOOR SPACE PER THE FAIR HOUSING ACT DESIGN MANUAL.
- 4 KITCHENS:
* CLEARANCE BETWEEN ALL OPPOSING BASE CABINETS, COUNTERTOPS, APPLIANCES, OR WALLS WITHIN KITCHEN WORK AREAS SHALL BE 40" MIN.
* SINK: PROVIDE A CLEAR FLOOR SPACE FOR PARALLEL APPROACH AND CENTERED ON SINK BOWL.
* DW: PROVIDE A CLEAR FLOOR SPACE, POSITIONED FOR PARALLEL OR FORWARD APPROACH TO THE DISHWASHER.
* COOKTOP/OVEN/RANGE: PROVIDE A CLEAR FLOOR SPACE POSITIONED FOR A PARALLEL OR FORWARD APPROACH TO THE COOKTOP/OVEN/RANGE AND CENTERED ON THE CENTERLINE OF COOKTOP.
* REF-FREEZER: PROVIDE A CLEAR FLOOR SPACE POSITIONED FOR PARALLEL OR FORWARD APPROACH
- 5 BATHROOMS:
* LAV: PROVIDE A 30" X 48" CLEAR FLOOR SPACE POSITIONED FOR A PARALLEL OR FORWARD APPROACH
* WC: THE LATERAL DISTANCE FROM THE CENTERLINE OF THE WATER CLOSET TO A TUB OR LAVATORY SHALL BE 18" MIN. ON THE SIDE OPPOSITE THE DIRECTION OF APPROACH AND 15" MIN. ON THE OTHER SIDE. THE LATERAL DISTANCE FROM THE CENTERLINE OF THE WATER CLOSET TO AN ADJACENT WALL SHALL BE 18". THE LATERAL DISTANCE FROM THE CENTERLINE OF THE WATER CLOSET TO A LAVATORY OR BATHTUB SHALL BE 15" MIN. REFER TO DIAGRAMS ON THIS SHEET FOR CLEARANCE AROUND THE WC.
- 6 PROVIDE REINFORCEMENT IN WALLS TO PERMIT THE FUTURE INSTALLATION OF GRAB BARS PER FAIR HOUSING ACT DESIGN MANUAL.
- 7 GRAB BARS, WHEN REQUIRED TO BE INSTALLED, SHALL HAVE AN OUTSIDE DIAMETER OF 1 1/4" MIN. AND 2" MAX. THE SPACE BETWEEN THE WALL AND THE GRAB BAR SHALL BE 1 1/2". STRUCTURAL STRENGTH OF THE GRAB BAR SHALL NOT SUPPORT LESS THAN 250 POUNDS. GRAB BARS ARE NOT REQUIRED TO BE INSTALLED AT TIME OF CONSTRUCTION, THIS ONLY APPLIES IF GRAB BARS ARE REQUESTED BY A SPECIFIC TENANT.

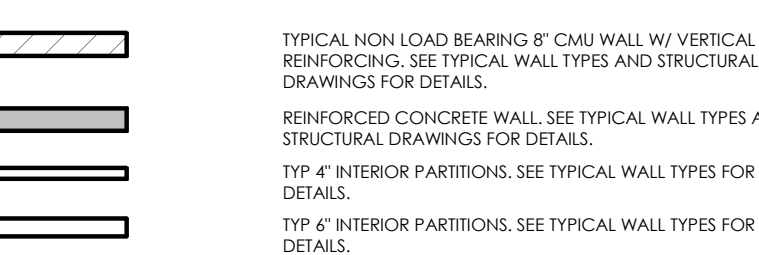
ABBREVIATIONS

@	AT	I.W.H.	INSTANT WATER HEATER
A.F.F	ABOVE FINISH FLOOR	INSUL.	INSULATE, INSULATION
A.H.U.	AIR HANDLER UNIT	INT.	INTERIOR
AL	ALUMINUM	LB.	POUND
APPROX.	APPROXIMATE	LV.	LAVATORY
ARCH.	ARCHITECTURAL, ARCHITECT	MANF.	MANUFACTURER
AVG.	AVERAGE	MAT.	MATERIAL
B.O	BOTTOM OF	MAX.	MAXIMUM
BD.	BOARD	MECH.	MECHANICAL
C.L.	CENTER LINE	MEMB.	MEMBRANE
C.L.F.	CHAIN LINK FENCE	MET.	METAL
C.U.	CONDENSER UNIT	MIN.	MINIMUM
CEM. PLS.	CEMENT PLASTER	MISC.	MISCELLANEOUS
CL.	CLOSET	N.O.A.	NOTICE OF APPROVAL
CLG.	CEILING	N.T.S.	NOT TO SCALE
CMU	CONCRETE MASONRY UNIT	N/A	NOT APPLICABLE
COL.	COLUMN	NGVD.	NATIONAL GEODETIC VERTICAL DATUM
CONC.	CONCRETE	NO.	NUMBER
D.	DRYER	O.C.	ON CENTER
DBL.	DOUBLE	P.L.	PROPERTY LINE
DIA.	DIAMETER	PKWY.	PARKWAY
DIM.	DIMENSION	PL.	PLATE
DISP.	FOOD DISPOSAL.	PLMB.	PLUMBING
DN.	DOWN	PLY.	SINGLE-PLY MEMBRANES
DWG.	DRAWING	PLYWD.	PLYWOOD
E.J.	EXPANSION JOINT	PREFAB.	PREFABRICATED
EA.	EACH	PT.	PRESSURE TREATED
ELEC.	ELECTRICAL	R.	RADIUS
ELEV.	ELEVATION	R.O.W	RIGHT OF WAY
EMERG.	EMERGENCY	REF.	REFERENCE
ENG.	ENGINEERING, ENGINEER	REFG	REFRIGERATOR
EQ.	EQUAL	REINF.	REINFORCEMENT
EQPT.	EQUIPMENT	REQ.	REQUIRED
EXH.	EXHAUST	RG.	RANGE
EXIST.	EXISTING	SF.	SQUARE FEET
F.F.E.	FINISH FLOOR ELEVATION	SH.	SHOWER
FBC	FLORIDA BUILDING CODE	SIM.	SIMILAR
FD.	FLOOR DRAIN	SK.	SINK
FR.	FIRE RATED	SPEC.	SPECIFICATION
FRF.	FURRING	STRUC.	STRUCTURAL
FRZ	FREEZER	SUSP.	SUSPEND, SUSPENDED
FT.	FEET, FOOT	SYS.	SYSTEM
FTG.	FOOTING	T.B.D	TO BE DETERMINATED
G.C	GENERAL CONTRACTOR	T.O.	TOP OF
GA.	GAUGE	TEMP.	TEMPORARY.
GALV.	GALVANIZED	TV.	TELEVISION
GL.	GLASS	TYP.	TYPICAL
GYP.	GYPSUM	U.O.N	UNLESS OTHERWISE NOTED
HORZ.	HORIZONTAL	VERT.	VERTICAL
HR.	HOUR	W.	WASHER
		W.H	WATER HEATER
		W.M.	WATER METER
		W/	WITH
		W/O	WITH OUT
		WC.	WATER CLOSET, TOILET
		WD.	WOOD

GRAPHIC SYMBOLS LEGEND



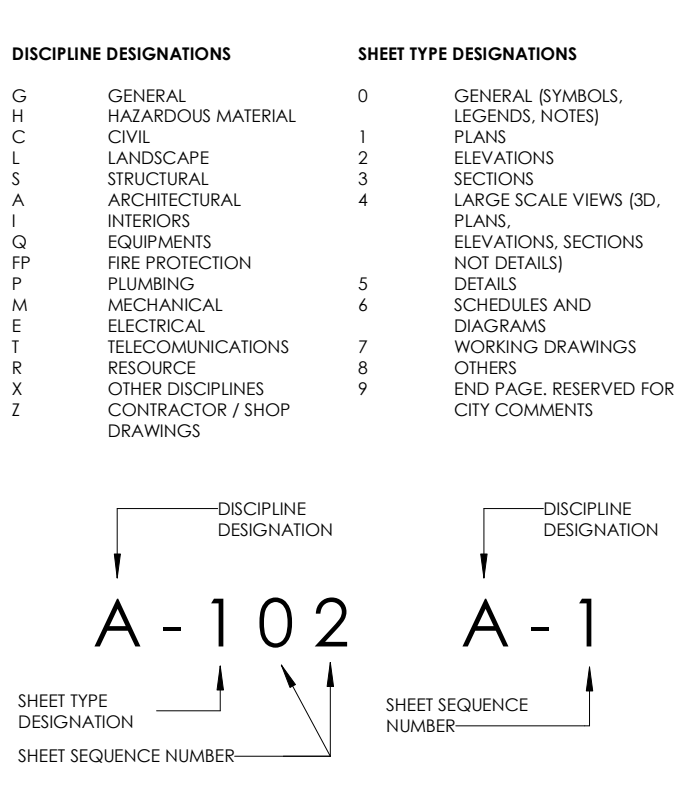
WALL LEGEND



LEVELS

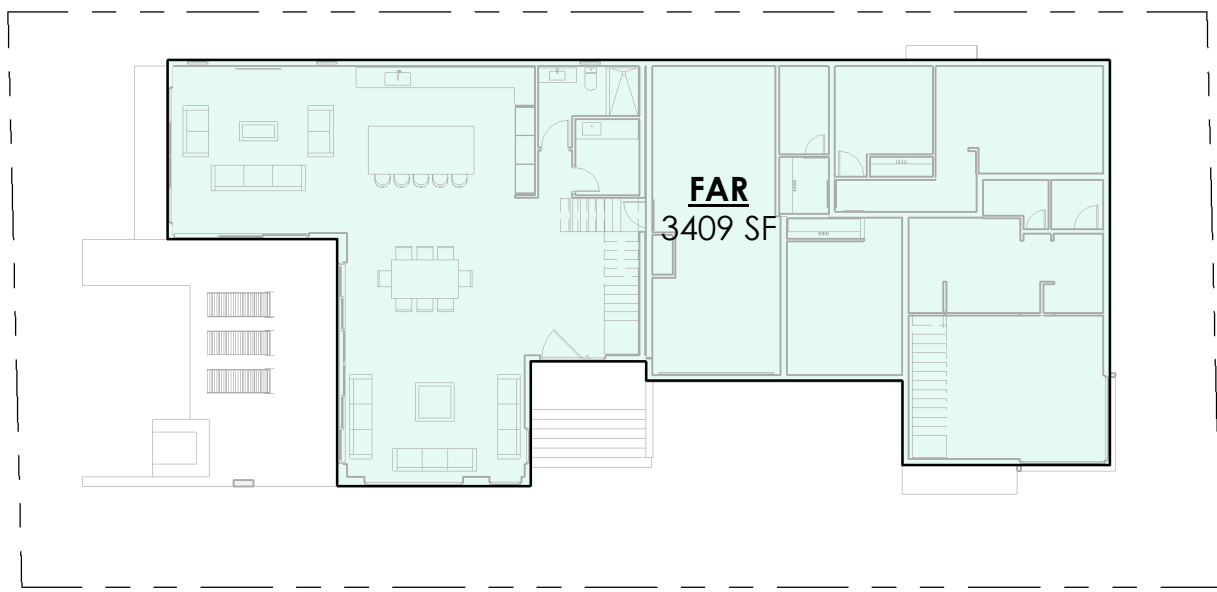
4TH LEVEL ROOF (PROPOSED)	ELEV.
3RD LEVEL (PROPOSED)	35' - 9"
3RD LEVEL	24' - 9"
2ND ROOF LEVEL	20' - 0"
2ND LVL OPENING ELEVATION	18' - 6"
2ND LEVEL (PROPOSED)	14' - 9"
2ND LEVEL	9' - 6"
1ST ROOF LEVEL	8' - 6"
1ST LVL OPENING ELEVATION	6' - 10"
1ST LEVEL (PROPOSED)	4' - 3"
1ST LEVEL	0' - 0"

SHEET ID LEGEND

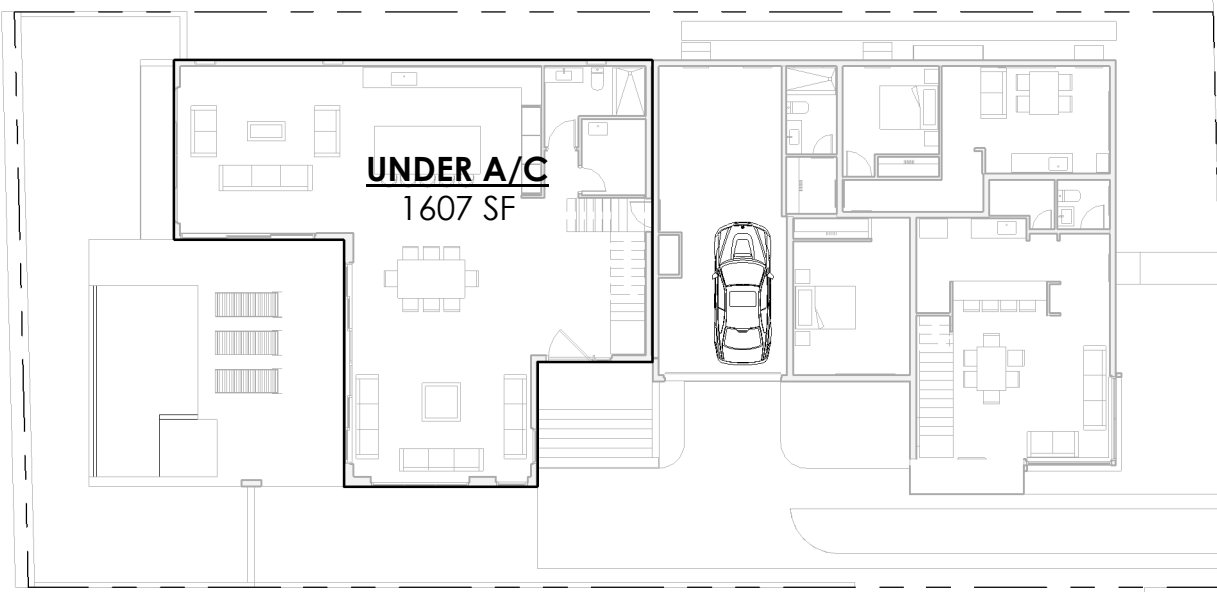


SHEET LIST

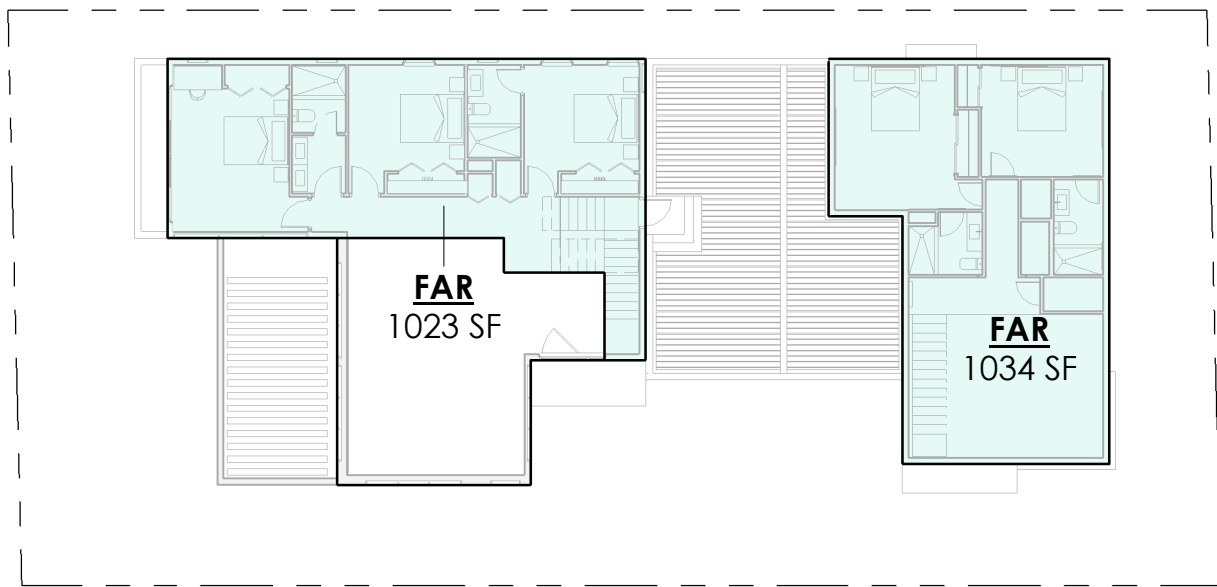
A-211	CONTEXT ELEVATION
ARCHITECTURE	
A-001	LEGEND & GENERAL NOTES
A-002	AREAS & CODE SUMMARY
A-003	HISTORIC ELEVATION DIAGRAMS
A-100	BUILDING SITE PLAN
A-100a	ENLARGED SITE PLAN
A-101	BUILDING FIRST FLOOR PLAN (UNITS 3&4)
A-102	BUILDING SECOND FLOOR PLAN
A-103	BUILDING THIRD FLOOR PLAN
A-104	BUILDING ROOF PLAN
A-201	BUILDING ELEVATIONS
A-202	BUILDING ELEVATIONS
A-203	BUILDING ELEVATIONS
A-301	BUILDING SECTIONS
A-302	BUILDING SECTIONS
A-303	BUILDING SECTIONS
A-401	CALLOUTS
A-601	DOOR & WINDOW SCHEDULE
A-901	RENDERINGS
D-100	BUILDING SITE PLAN
D-101	BUILDING FIRST FLOOR PLAN
D-102	BUILDING SECOND FLOOR PLAN
D-103	BUILDING ROOF PLAN
D-201	BUILDING ELEVATIONS
D-202	BUILDING ELEVATIONS
D-203	BUILDING ELEVATIONS
D-301	BUILDING SECTIONS
D-302	BUILDING SECTIONS
D-303	BUILDING SECTIONS
G-000	COVER
15-101	UNIT 5 FLOOR PLANS
15-111	UNIT 5 RCP
15-500	TYP. DETAILS 1 1/2" = 1'-0"
15-501	TYP. DETAILS 1 1/2" = 1'-0"
15-502	TYP. DETAILS 3" = 1'-0"
15-503	WALL DETAILS
15-504	TYP. DETAILS 1" = 1'-0"
CIVIL ENGINEER	
C-101	Unnamed
C-102	Unnamed
C-103	Unnamed
C-104	Unnamed
ELECTRICAL	
E-001	Unnamed
E-100	Unnamed
E-101	Unnamed
E-102	Unnamed
E-103	Unnamed
E-104	Unnamed
FIRE PROTECTION	
FP-100	Unnamed
FP-101	Unnamed
FP-102	Unnamed
FP-103	Unnamed
LANDSCAPE	
L-001	LANDSCAPE NOTES
L-101	EXISTING LANDSCAPE
L-102	PROPOSED LANDSCAPE
MECHANICAL	
M-001	Unnamed
M-100	Unnamed
M-101	Unnamed
M-102	Unnamed
M-103	Unnamed
M-104	Unnamed
PLUMBING	
P-001	Unnamed
P-100	Unnamed
P-101	Unnamed
P-102	Unnamed



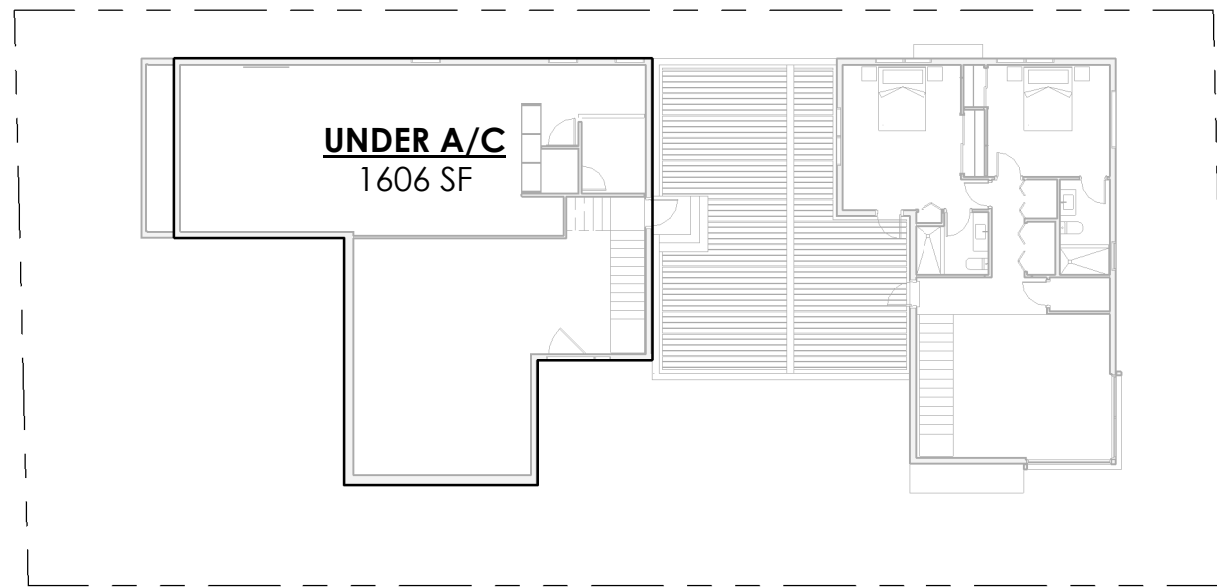
1ST LEVEL - PROPOSED
1" = 20'-0"



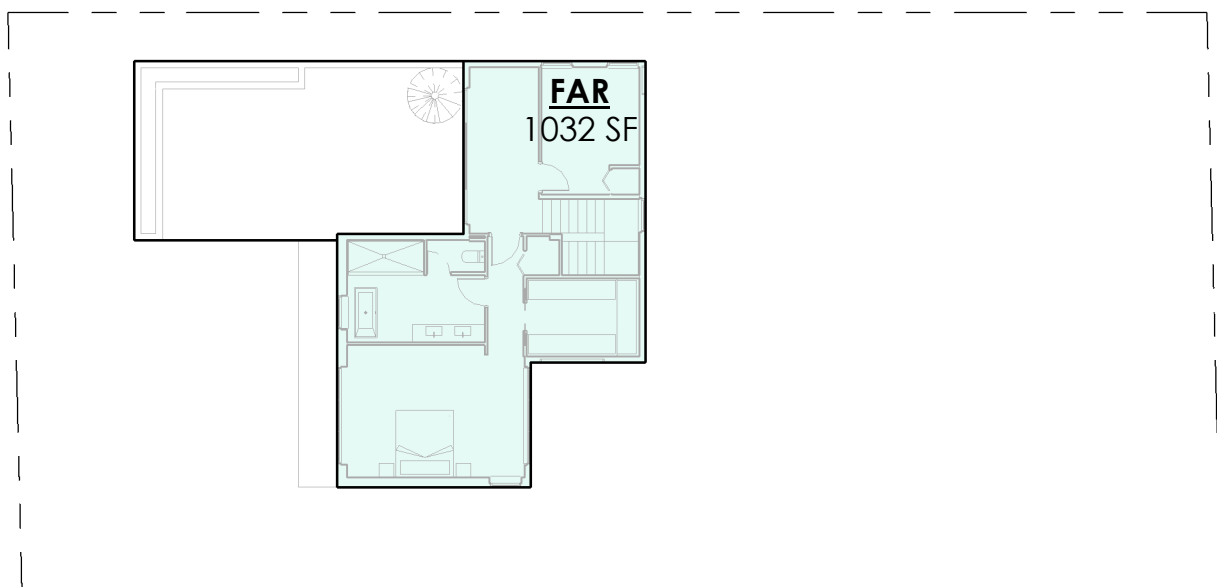
OWNER'S AREA 1ST LEVEL
1" = 20'-0"



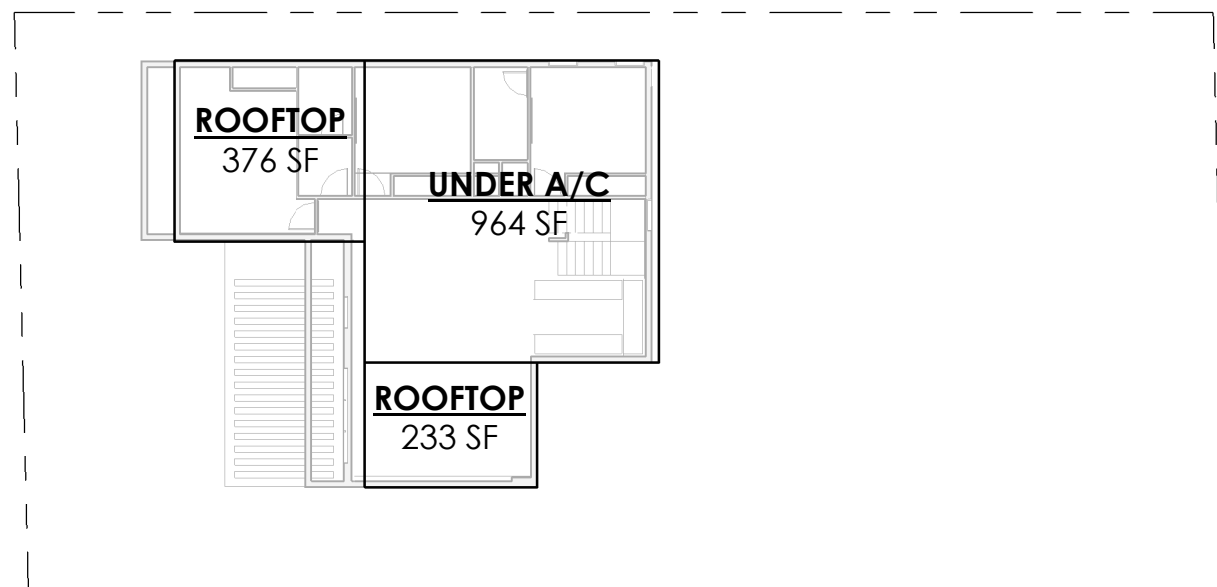
2ND LEVEL - PROPOSED
1" = 20'-0"



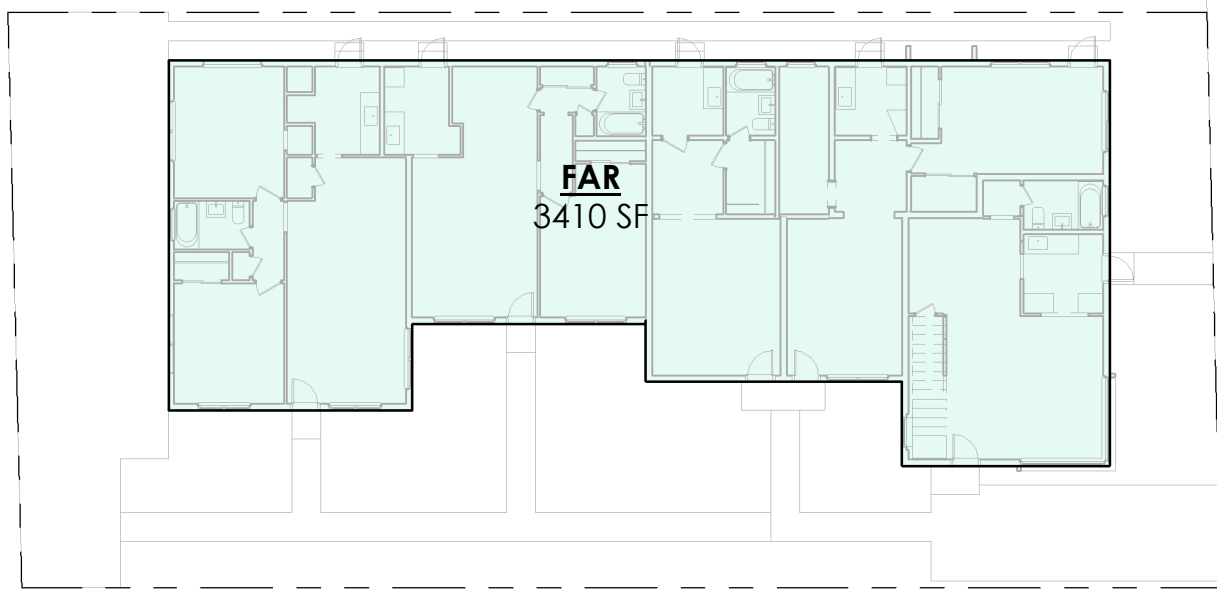
OWNER'S AREA 2ND LEVEL
1" = 20'-0"



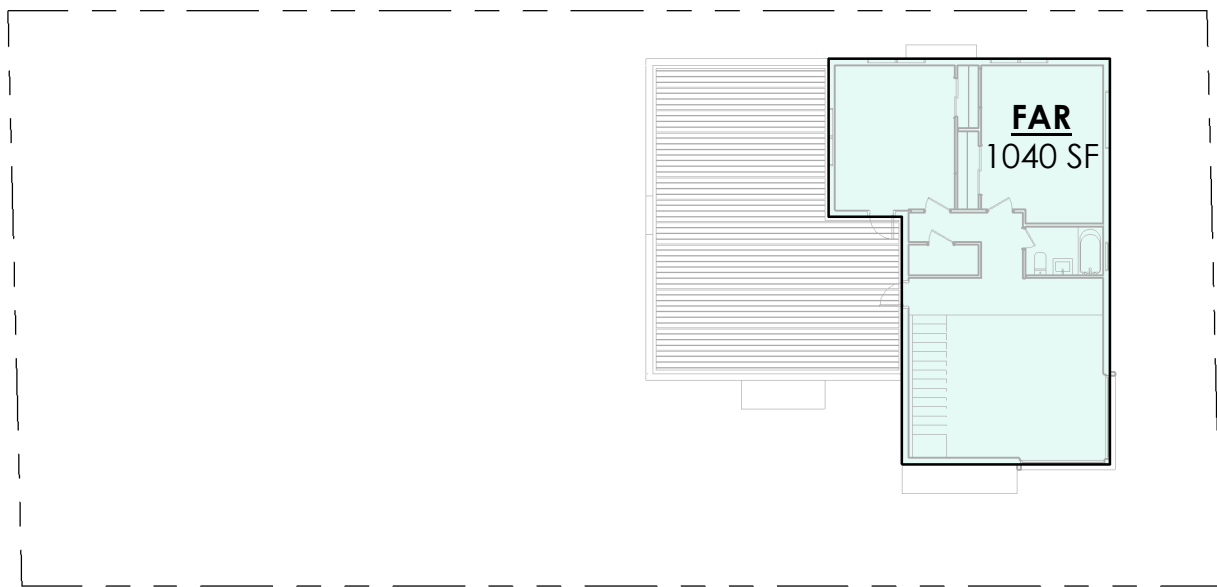
3RD LEVEL - PROPOSED
1" = 20'-0"



OWNER'S AREA 3RD LEVEL
1" = 20'-0"



1ST LEVEL - EXISTING
1" = 20'-0"



2ND LEVEL - EXISTING
1" = 20'-0"

FAR - EXISTING

LEVEL	AREA	FAR
1ST LEVEL	3410 SF	0.45
2ND LEVEL	1040 SF	0.14
GRAND TOTAL	4450 SF	0.59

FAR - PROPOSED

LEVEL	AREA	FAR
1ST LEVEL (PROPOSED)	3409 SF	0.45
2ND LEVEL (PROPOSED)	2057 SF	0.27
3RD LEVEL (PROPOSED)	1032 SF	0.14
GRAND TOTAL	6498 SF	0.87

SCOPE OF WORK

1ST LEVEL	1199 SF
1ST LEVEL (PROPOSED)	2728 SF
2ND LEVEL (PROPOSED)	1670 SF
3RD LEVEL (PROPOSED)	1634 SF
	7232 SF

UNIT BREAKDOWN

LEVEL	AREA
OWNER'S	
1ST LEVEL	2074 SF
2ND LEVEL	935 SF
3RD LEVEL	962 SF
	3971 SF
UNIT 1	
1ST LEVEL	732 SF
	732 SF
UNIT 2	
1ST LEVEL	606 SF
2ND LEVEL	703 SF
	1309 SF

ITE M #	Setbacks	Required	Existing	Proposed	Deficiencies
36	Side Setback:	5 ft Existing Historic & 10 ft Min	5 ft & 10 ft	5 ft & 10 ft	
37	Side Setback facing street:	N/A			
38	Rear Setback:	10% Waterfront Lot Depth (12.5 ft)	10 ft	12.5 ft	

	Parking	Required	Existing	Proposed	Deficiencies
39	Parking district	N/A			
40	Total # of parking spaces	0	1	1	
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)	N/A			
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)	N/A			
43	Parking Space Dimensions	N/A			
44	Parking Space configuration (45o, 60o, 90o, Parallel)	N/A			
45	ADA Spaces	N/A			
46	Tandem Spaces	N/A			
47	Drive aisle width	N/A			
48	Valet drop off and pick up	N/A			
49	Loading zones and Trash collection areas	N/A			
50	Bicycle parking, location and Number of racks	N/A			

	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51	Type of use	N/A			
52	Number of seats located outside on private property	N/A			
53	Number of seats inside	N/A			
54	Total number of seats	N/A			
55	Total number of seats per venue (Provide a separate chart for a breakdown calculation)	N/A			
56	Total occupant content	N/A			
57	Occupant content per venue (Provide a separate chart for a breakdown calculation)	N/A			

58	Proposed hours of operation	N/A			
59	Is this an NIE? (Neighborhood impact establishment, see CMB 141-1361)	N/A			
60	Is dancing and/or entertainment proposed? (see CMB 141-1361)	N/A			
61	Is this a contributing building?		Yes or No		
62	Located within a Local Historic District?		Yes or No		
	Additional data or information must be presented in the format outlined in this section				

Notes:
If not applicable write N/A

SITE INFORMATION

PROPERTY ADDRESS:	8430 BYRON AVE MIAMI BEACH, FL
FOLIO:	02-3202-005-0080
SUBDIVISION:	BEACH BAY SUB
LEGAL DESCRIPTION:	BEACH BAY SUB PB 44-25 LOT 2 BLK 2 LOT SIZE 60,000 X 125 OR 19557-2472 03 2001 4 COC 25753-0391 06 2007 1
LOT AREA:	7500 SF (0.17 acres)

BUILDING INFORMATION

SCOPE OF WORK:	DEMOLISHING OF OF UNITS 1 & 2 AND NEW THREE STORY HIGH REAR UNIT, INTERIOR REMODELING OF UNITS 3 & 4 WITH NEW ACCESS FROM NORTH SIDE
APPLICABLE CODES:	2020 FLORIDA BUILDING CODE, 7TH ED 2020 NEC 2020 FIRE PREVENTION CODE 2021 NFPA 101
CONSTRUCTION TYPE:	III B
OCCUPANCY CLASSIFICATION:	R-2
CLASSIFICATION OF WORK:	ALTERATION
LEVEL OF ALTERATION:	III
REHABILITATION CATEGORY:	N/A
AREA OF ALTERATION:	7232 SF
FLOOD ZONE:	"AE-8" FINISH FLOOR ELEVATION TO BE LOCATED MIN 8" ABOVE HIGHEST CROWN OF ROAD. 13.00 ft N.G.V.D. HIGHEST CROWN OF ROAD ELEV.

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITE M #	Project Information			
1	Address:	8430 Byron Ave		
2	Board and file numbers :			
3	Folio number(s):	02-3202-005-0080	Zoning District:	RM-1
4	Year constructed:		Grade value in NGVD:	
5	Based Flood Elevation:		Lot Area:	7,500 SF
6	Adjusted grade (Flood+Grade/2):		Lot Depth:	60
7	Lot width:	125	Average Unit Size	
8	Minimum Unit Size		Proposed use:	3 Unit Multi-Family
9	Existing use:	5-UNIT MULTI-FAMILY		

	Zoning Information / Calculations	Maximum	Existing	Proposed	Deficiencies
10	Height	55ft	20 ft	35 ft	
11	Number of Stories	N/A	2	3	
12	FAR	1.25 (9,375 SF)	0.59 (4,450 sf)	0.84 (6,498 sf)	
13	Gross square footage	9,375 sf	4,450 sf	6,498 sf	
14	Square Footage by use	N/A			
15	Number of units Residential	10	5	3	
16	Number of units Hotel	N/A			
17	Number of seats	N/A			
18	Occupancy load	N/A			

	Setbacks	Required	Existing	Proposed	Deficiencies
19	Front Setback:	N/A	N/A		
20	Side Setback:	N/A	N/A		
21	Side Setback:	N/A	N/A		
22	Side Setback facing street:	N/A	N/A		
23	Rear Setback:	N/A	N/A		
	At Grade Parking:				
24	Front Setback:	N/A	N/A		
25	Side Setback:	5 ft	2 ft	2 ft	3 ft
26	Side Setback:	N/A	N/A		
27	Side Setback facing street:	N/A	N/A		
28	Rear Setback:	N/A	N/A		
	Pedestal:				
29	Front Setback:	N/A	N/A		
30	Side Setback:	N/A	N/A		
31	Side Setback:	N/A	N/A		
32	Side Setback facing street:	N/A	N/A		
33	Rear Setback:	N/A	N/A		
	Tower:				
34	Front Setback:	N/A	N/A		
35	Side Setback:	N/A	N/A		



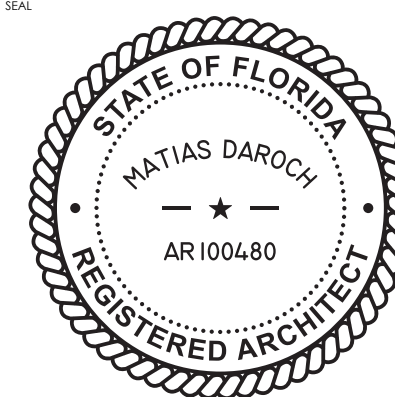
MIK ARCHITECTURE LLC
MATIAS DAROCH
AR 100480
1380 CORAL WAY, SUITE 202
MIAMI, FLORIDA 33143
+1 786 708 0880
info@mikarch.com

HISTORIC RESTORATION &
ADDITION
VITRA SINGH-BHUYAN & JAGAT BHUYAN
8430 BYRON AVE MIAMI BEACH, FL

ISSUES
JUN 2021 1ST ISSUED



JOB NO: 046
DRAWN BY: MD
CHECKED BY: MD
SCALE: AS NOTED
FIRM: AA 26003995
SHEET NO:



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DETAILS

A-002

AREAS & CODE SUMMARY

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FACADE AREA TO REMAIN			
FACADE	TOTAL AREA	AREA TO REMAIN	AREA DEMOLISHED
EAST	969 SF	969 SF	0 SF
NORTH	1575 SF	897 SF	678 SF
WEST	969 SF	491 SF	478 SF
SOUTH	1575 SF	897 SF	678 SF
	5088 SF	3254 SF	1834 SF

64% FACADE AREA REMAINING

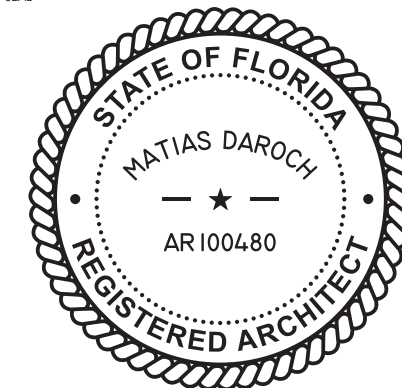


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HISTORIC RESTORATION &
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VITRA SINGH-BHUYAN & JAGAT BHUYAN
8430 BYRON AVE MIAMI BEACH, FL

ISSUES	JUN 2021	1ST ISSUED
△	Issue 2	Rev 1
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CHECKED BY	MD
SCALE	AS NOTED
FROM ARCHIVE	AA 26003995
SER.	



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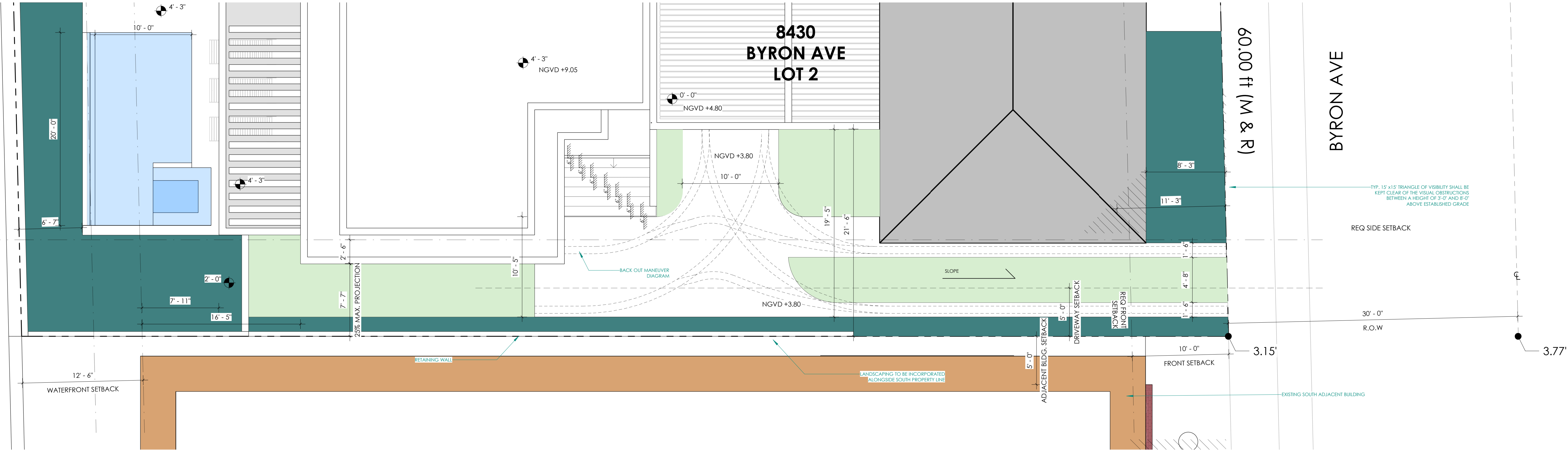
A-100a

ENLARGED SITE PLAN

SITE INFORMATION	
PROPERTY ADDRESS:	8430 BYRON AVE MIAMI BEACH, FL
FOLIO:	02-3202-005-0080
SUBDIVISION:	BEACH BAY SUB
LEGAL DESCRIPTION:	BEACH BAY SUB PB 44-25 LOT 2 BLK 2 LOT SIZE 60.000 X 125 OR 19557-2472 03 2001 4 COC 25753-0391 06 2007 1
LOT AREA:	7500 SF (0.17 acres)
BUILDING INFORMATION	
SCOPE OF WORK:	DEMOLISHING OF OF UNITS 1 & 2 AND NEW THREE STORY HIGH REAR UNIT, INTERIOR REMODELING OF UNITS 3 & 4 WITH NEW ACCESS FROM NORTH SIDE
APPLICABLE CODES:	2020 FLORIDA BUILDING CODE, 7TH ED 2020 NEC 2020 FIRE PREVENTION CODE 2021 NFPA 101
CONSTRUCTION TYPE:	III B
OCCUPANCY CLASSIFICATION:	R-2
CLASSIFICATION OF WORK:	ALTERATION
LEVEL OF ALTERATION:	III
REHABILITATION CATEGORY:	N/A
AREA OF ALTERATION:	7232 SF
FLOOD ZONE:	"AE-8" FINISH FLOOR ELEVATION TO BE LOCATED MIN 8" ABOVE HIGHEST CROWN OF ROAD. 13.00 ft N.G.V.D. HIGHEST CROWN OF ROAD ELEV.

ENLARGED SITE PLAN LEGEND

- GRASS & GREEN AREAS
- LANDSCAPING AREAS
- TIRE TRACK WIDTH
- SOUTH ADJACENT BUILDING



ENLARGED SITE PLAN

3/16" = 1'-0"

1

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**HISTORIC RESTORATION &
ADDITION**
VITRA SINGH-BHUYAN & JAGAT BHUYAN
8430 BYRON AVE MIAMI BEACH, FL

ISSUES
JUN 2021
Issue 2
1ST ISSUED
Rev 1

PROJECT
046
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FROM
LAYOUT
AA 26003995

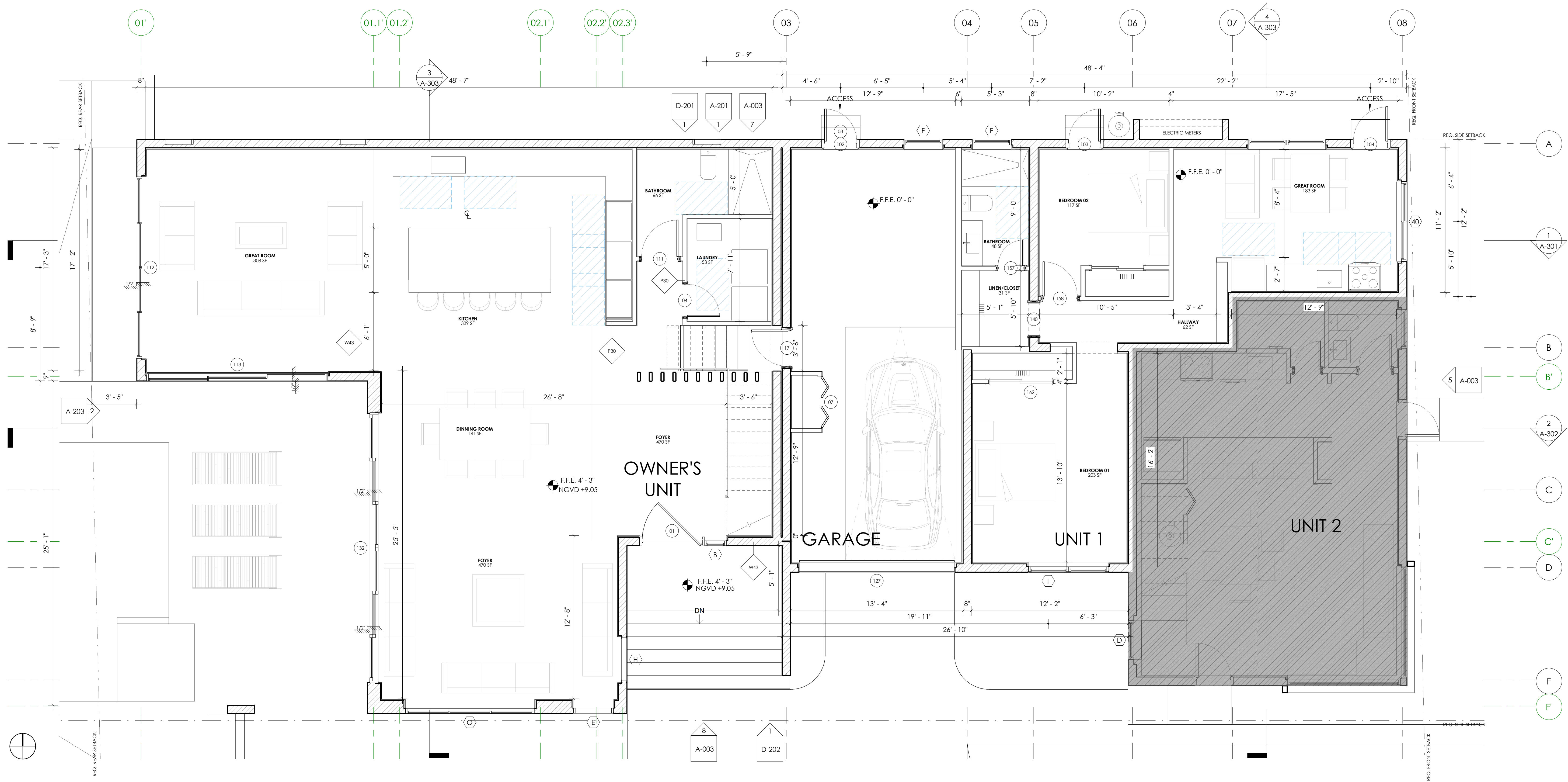


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SHEET NO.

A-101

BUILDING FIRST FLOOR PLAN (UNITS
3&4)



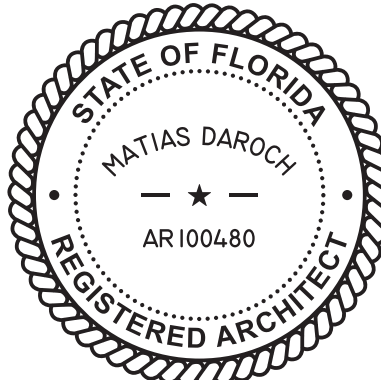
BUILDING FIRST FLOOR PLAN
1/4" = 1'-0"

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**HISTORIC RESTORATION &
ADDITION**
VITRA SINGH-BHUYAN & JAGAT BHUYAN
8430 BYRON AVE MIAMI BEACH, FL

ISSUES
JUN 2021
Issue 2
1ST ISSUED
Rev 1

JOB NO. 046
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SCALE AS NOTED
FROM ARCHIVE AA 26003995
SEP

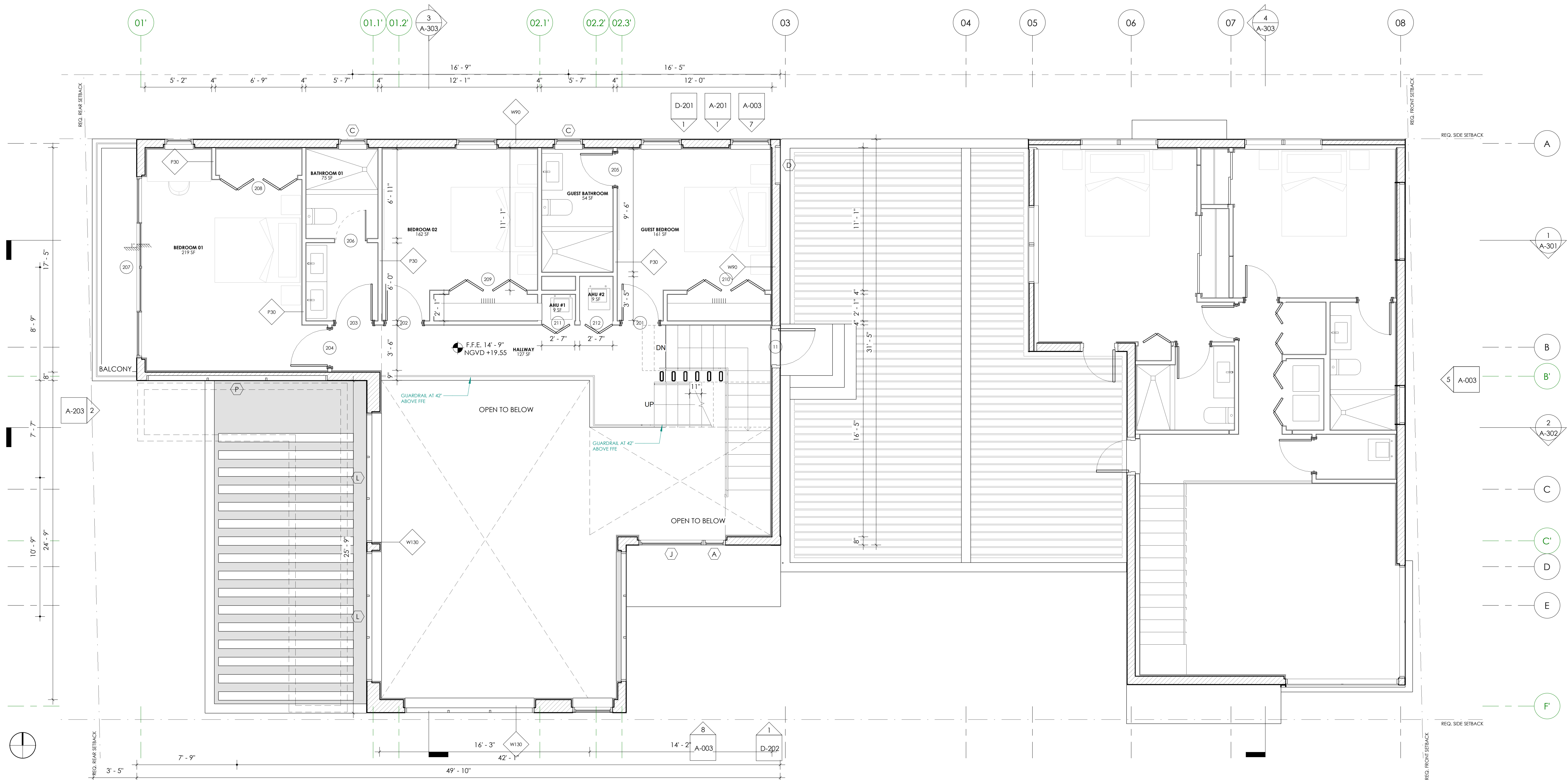


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SHEET NO.

A-102

BUILDING SECOND FLOOR PLAN



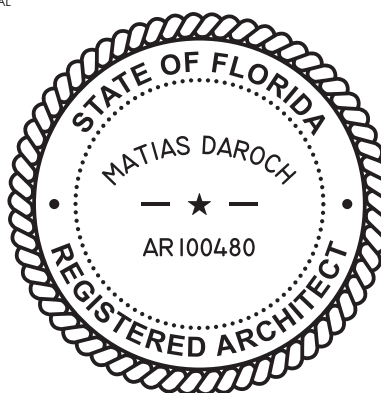
BUILDING SECOND LEVEL PLAN
1/4" = 1'-0"

8/3/2022 11:09:44 AM

HISTORIC RESTORATION &
ADDITION
VITRA SINGH-BHUYAN & JAGAT BHUYAN
8430 BYRON AVE MIAMI BEACH, FL

ISSUES
JUN 2021
Issue 2
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AA 26003995

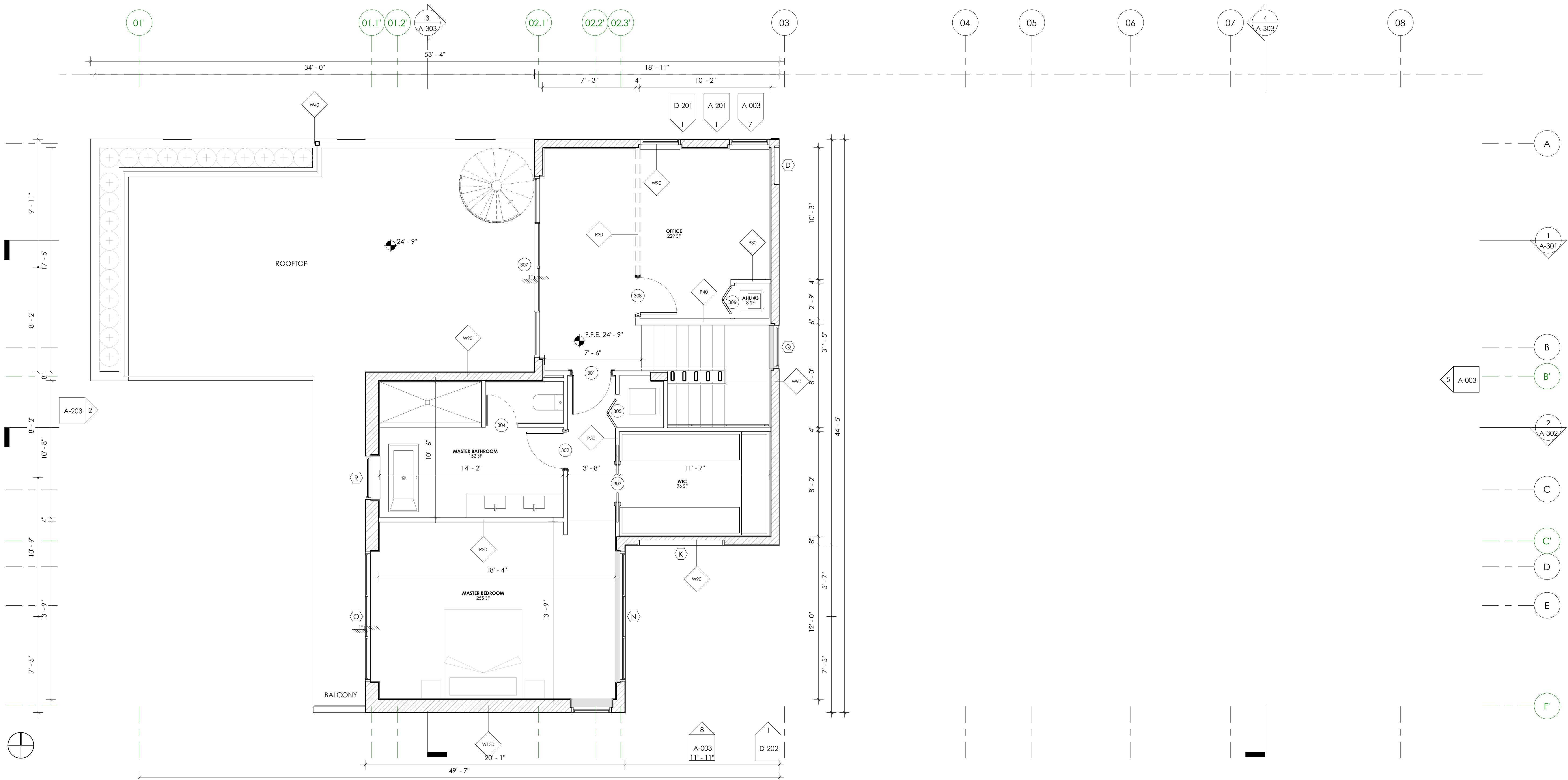


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SHEET NO.

A-103

BUILDING THIRD FLOOR PLAN



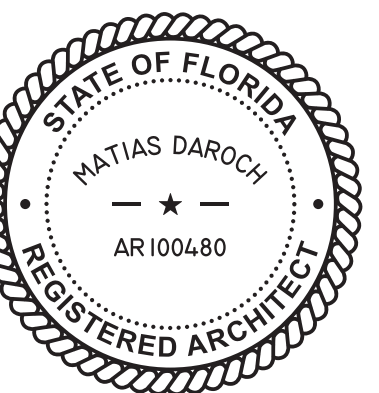
3RD LEVEL (PROPOSED)
1/4" = 1'-0"

1

8/3/2022 11:09:46 AM

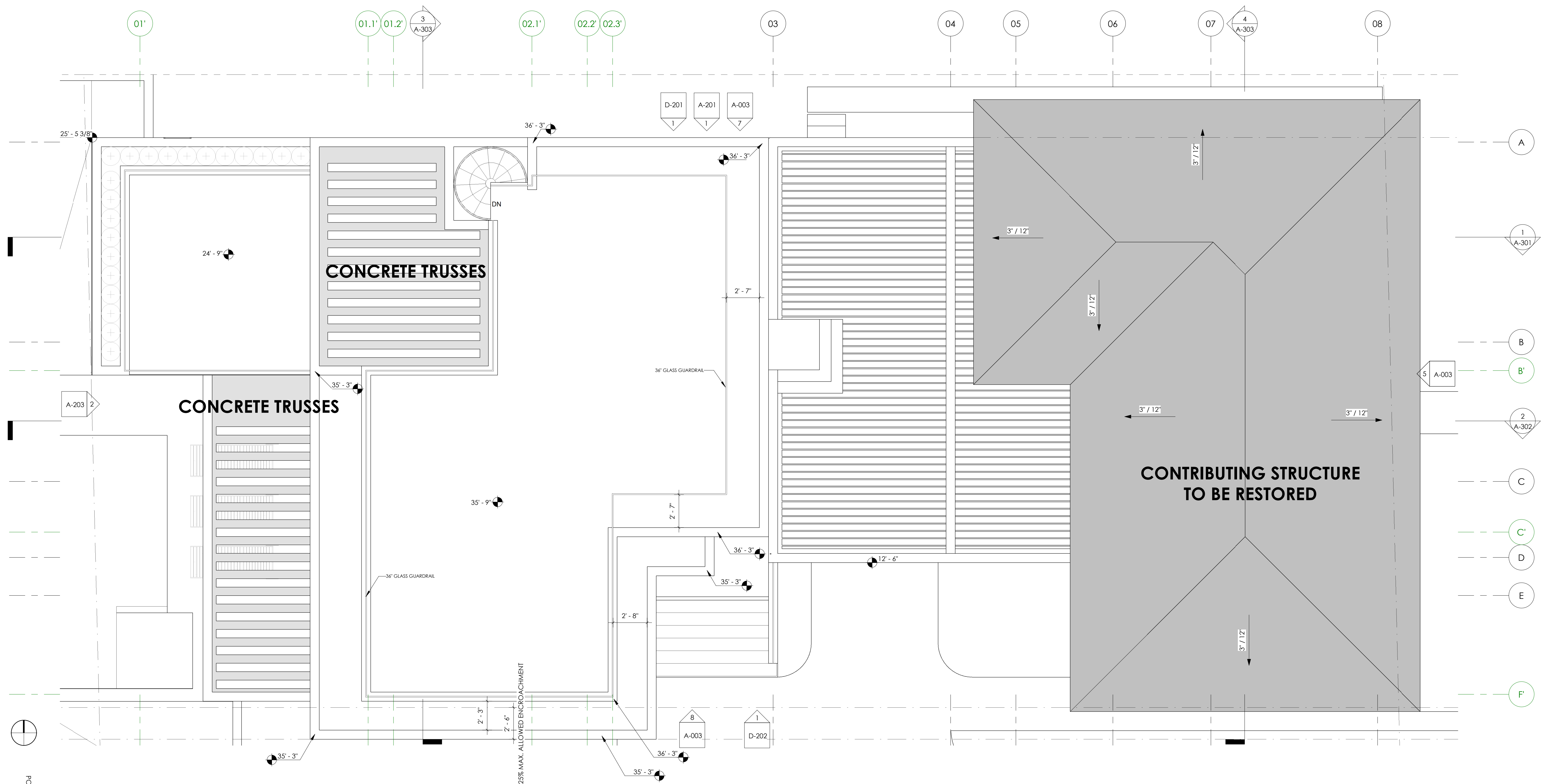
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OS No.	046
DRAWN BY	PA - MD - RC
CHECKED BY	MD
SCALE	AS NOTED
FORM LICENSE	AA 26003995



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BUILDING ROOF PLAN

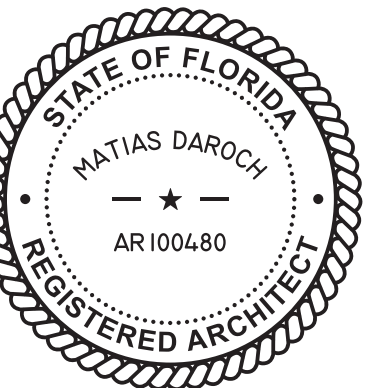


4TH LEVEL ROOF $\frac{1}{4}" = 1'-0"$ 1

$$1/4'' = 1'-0''$$

1

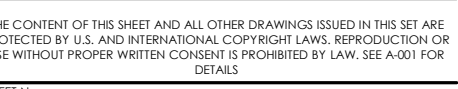
NW 64:6011 27025CN

[illegible]

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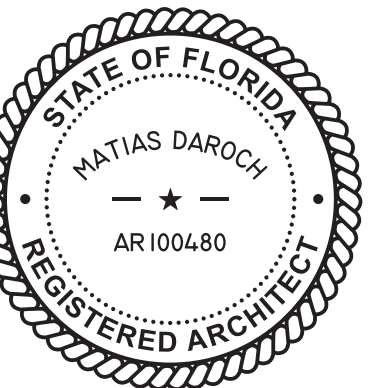
WV 12:6011 2702/5N



[illegible]

BUILDING ELEVATIONS



[illegible]

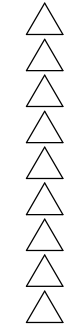
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BUILDING ELEVATIONS

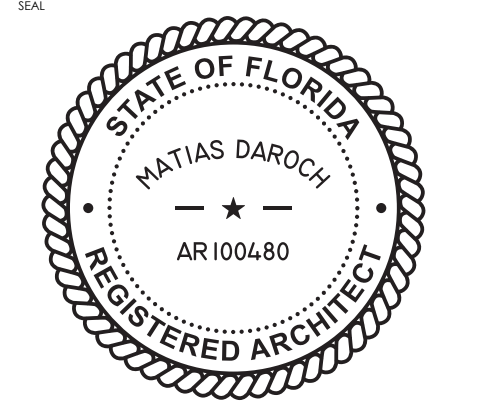


HISTORIC RESTORATION &
ADDITION
VITRA SINGH-BHUYAN & JAGAT BHUYAN
8430 BYRON AVE MIAMI BEACH, FL

ISSUES
JUN 2021 1ST ISSUED



JOB NO.	046
DRAWN BY	Author
CHECKED BY	Checker
SCALE	AS NOTED
FROM LAYOUT	AA 26003995

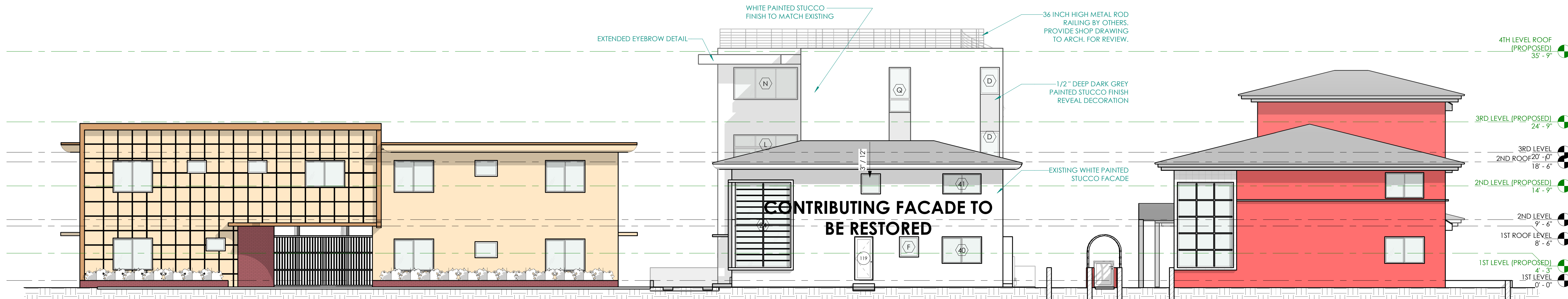


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SHEET NO.

A-211


CONTEXT ELEVATION



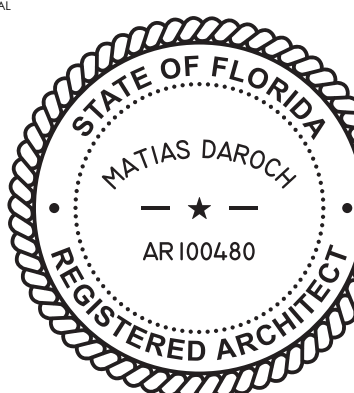
EAST CONTEXT ELEVATION 1
1/8" = 1'-0"

8/3/2022 11:10:09 AM

ISSUES
JUN 2021 1ST ISSUED



ISS NO.	046
AWN BY	PA - MD - RC
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DATE	AS NOTED
MESSAGE	AA 26003995



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BUILDING SECTIONS

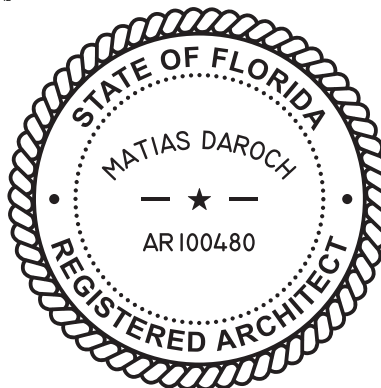


HISTORIC RESTORATION &
ADDITION
VITRA SINGH-BHUYAN & JAGAT BHUYAN
8430 BYRON AVE MIAMI BEACH, FL

ISSUES
JUN 2021 1ST ISSUED



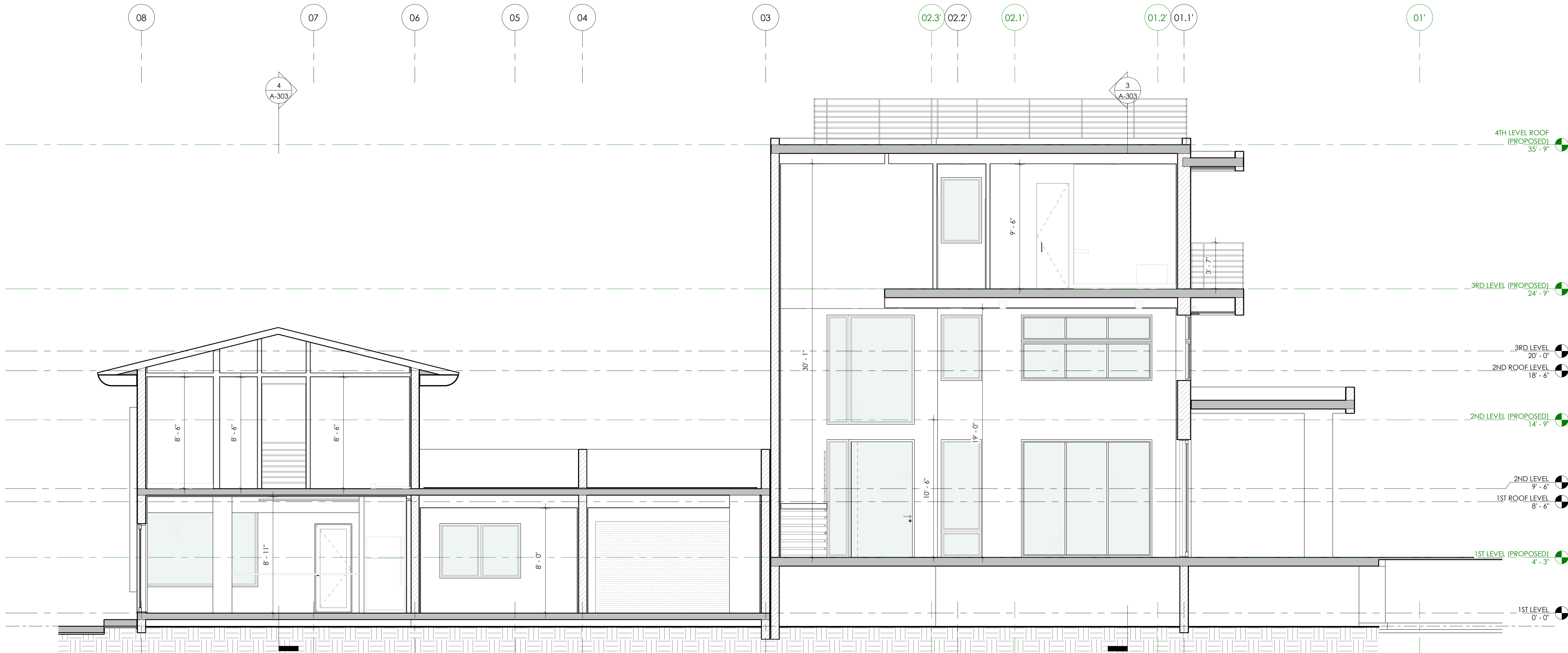
JOB NO. 046
DRAWN BY PA - MD - RC
CHECKED BY MD
SCALE AS NOTED
FROM AA 26003995
SHEET NO.



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A-302

BUILDING SECTIONS



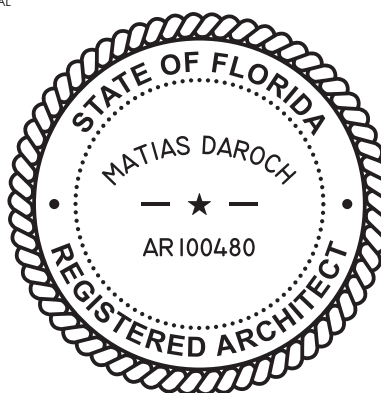
BUILDING SECTION 2
1/4" = 1'-0"

8/3/2022 11:10:13 AM

HISTORIC RESTORATION &
ADDITION
VITRA SINGH-BHUYAN & JAGAT BHUYAN
8430 BYRON AVE MIAMI BEACH, FL

ISSUES	JUN 2021	1ST ISSUED
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JOB NO.	046
DRAWN BY	PA - MD - RC
CHECKED BY	MD
SCALE	AS NOTED
FROM	
DATE	AA 26003995

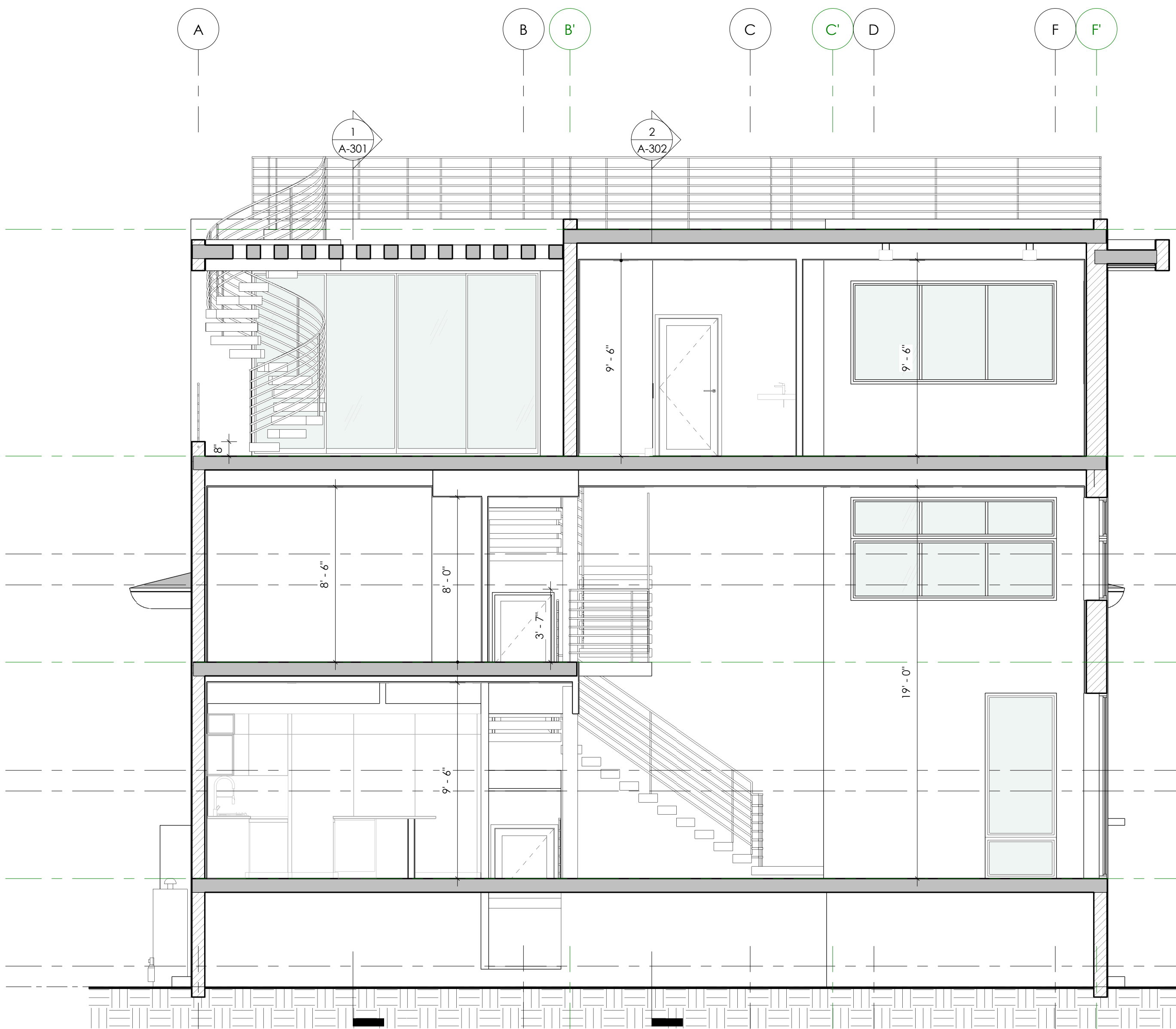


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SHEET NO.

A-303

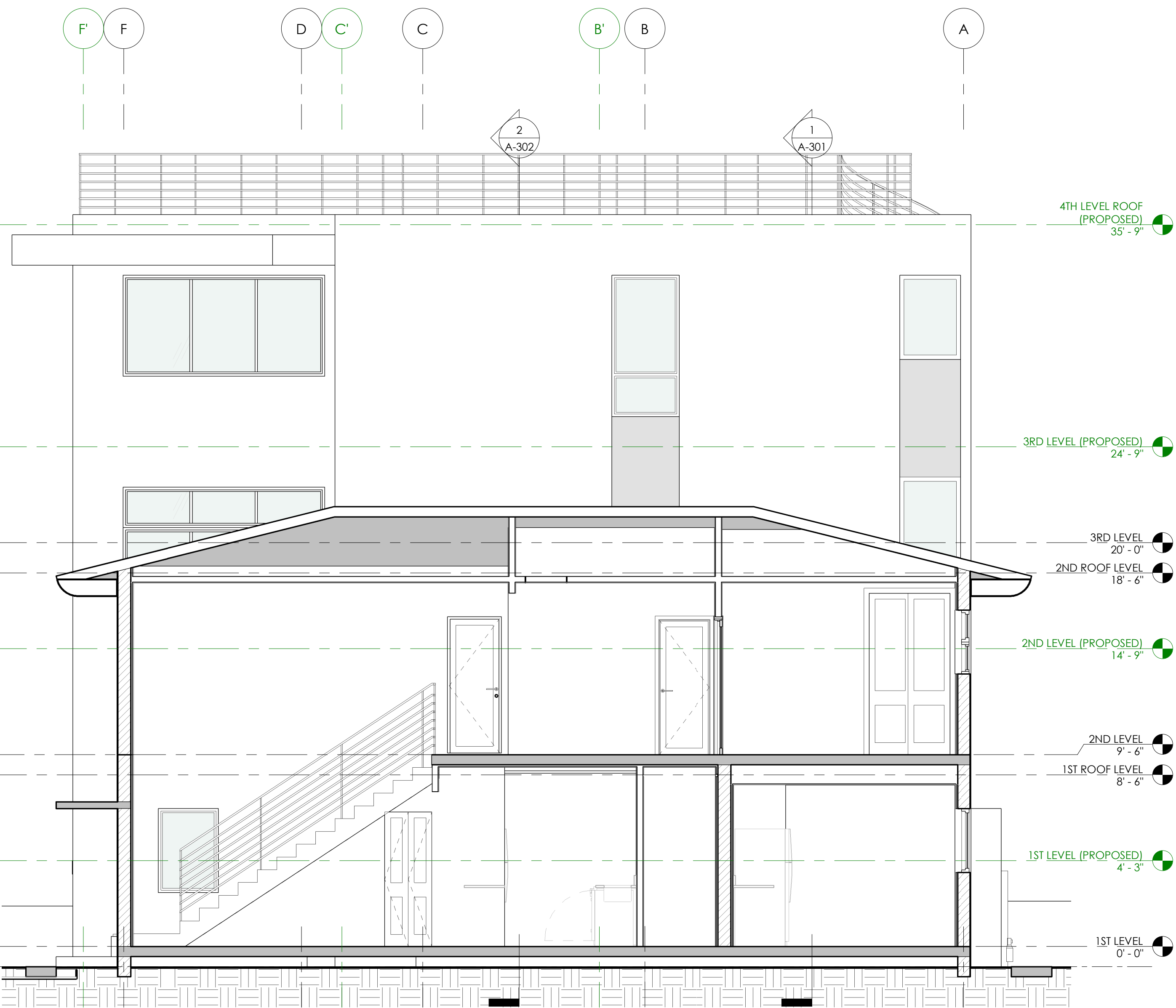
BUILDING SECTIONS



BUILDING SECTION

3

1/4" = 1'-0"



BUILDING SECTION

4

1/4" = 1'-0"

8/3/2022 11:15:16 AM

ID	QTY	DIMENSIONS			Window Area	OPERATION	EGRESS	SHGC	U-FACTOR	N.O.A.	MANUFACTURER	MODEL	REMARKS
		WIDTH	HEIGHT	SILL HEIGHT									
A	1	20"	100"	0' - 4"	14 SF	FIXED				T.B.D	T.B.D	T.B.D	
B	1	20"	108"	0' - 0"	15 SF	FIXED				T.B.D	T.B.D	T.B.D	
C	6	26"	48"	<varies>	9 SF	FIXED				T.B.D	T.B.D	T.B.D	
D	2	36"	50"	4' - 4"	13 SF	FIXED				T.B.D	T.B.D	T.B.D	
E	6	37"	24"	<varies>	6 SF	FIXED				T.B.D	T.B.D	T.B.D	
F	1	37"	84"	2' - 0"	22 SF	FIXED				T.B.D	T.B.D	T.B.D	
G	1	39"	60"	4' - 3"	16 SF	FIXED				T.B.D	T.B.D	T.B.D	
H	1	41 1/2"	24"	0' - 0"	7 SF	FIXED				T.B.D	T.B.D	T.B.D	
I	1	41 1/2"	84"	2' - 0"	24 SF	FIXED				T.B.D	T.B.D	T.B.D	
J	1	60"	100"	0' - 4"	42 SF	FIXED				T.B.D	T.B.D	T.B.D	
K	1	80"	24"	6' - 6"	13 SF	FIXED				T.B.D	T.B.D	T.B.D	
L	4	120"	24"	<varies>	20 SF	FIXED 3 PANELS				T.B.D	T.B.D	T.B.D	
M	4	120"	36"	<varies>	30 SF	FIXED 3 PANELS				T.B.D	T.B.D	T.B.D	
N	1	120"	60"	3' - 6"	50 SF	FIXED 3 PANELS				T.B.D	T.B.D	T.B.D	
O	2	120"	108"	0' - 0"	90 SF	FIXED 3 PANELS				T.B.D	T.B.D	T.B.D	
P	1	168"	24"	6' - 0"	28 SF	FIXED 3 PANELS				T.B.D	T.B.D	T.B.D	
Q	1	40"	84"	1' - 6"	23 SF	CASEMENT OVER FIXED				T.B.D	T.B.D	T.B.D	
R	1	40"	96"	1' - 0"	27 SF	CASEMENT OVER FIXED				T.B.D	T.B.D	T.B.D	
S	2	37"	60"	<varies>	15 SF	CASEMENT				T.B.D	T.B.D	T.B.D	
T	5	37"	66"	3' - 0"	17 SF	CASEMENT				T.B.D	T.B.D	T.B.D	

ID	Level	QTY	DIMENSIONS		OPERATION	SHGC	U-FACTOR	N.O.A.	MANUFACTURER	MODEL	REMARKS
			WIDTH	HEIGHT							
155	1ST LEVEL	1	30"	80"	SINGLE SWINGING	N/A	N/A	N/A	T.B.D	T.B.D	
156	1ST LEVEL	1	24"	80"	SINGLE SWINGING	N/A	N/A	N/A	T.B.D	T.B.D	
157	1ST LEVEL	1	24"	80"	SINGLE SWINGING	N/A	N/A	N/A	T.B.D	T.B.D	
158	1ST LEVEL	1	32"	80"	SINGLE SWINGING	N/A	N/A	N/A	T.B.D	T.B.D	
159	1ST LEVEL	1	28"	80"	FOLDING	N/A	N/A	N/A	MASONITE	PLANTATION FULL-LOUVERED PAINTED WHITE SOLID-CORE PINE BI-FOLD DOOR	
161	1ST LEVEL	1	48"	80"	SLIDING						
162	1ST LEVEL	1	59"	80"	SLIDING	N/A	N/A	N/A	TRUPORTE	108 SERIES BRIGHT WHITE 2 PANEL SQUARE TOP DESIGN PRIMED MDF BYPASS SLIDING DOOR	
191	1ST LEVEL	1	144"	84"	GARAGE ROLLER			T.B.D	T.B.D	T.B.D	
310	1ST LEVEL	1	34"	80"	SINGLE SWINGING	N/A	N/A	N/A	T.B.D	T.B.D	
311	1ST LEVEL	1	48"	80"	FOLDING	N/A	N/A	N/A			
316	1ST LEVEL	1	32"	80"	SINGLE SWINGING			N/A	T.B.D	T.B.D	
328	1ST LEVEL	1	36"	82"	SINGLE SWINGING			N/A	T.B.D	T.B.D	
01	1ST LEVEL (PROPOSED)	1	56"	106"	PIVOT			T.B.D	T.B.D	T.B.D	
111	1ST LEVEL (PROPOSED)	1	34"	80"	SINGLE SWINGING	N/A	N/A	N/A	T.B.D	T.B.D	
112	1ST LEVEL (PROPOSED)	1	168"	108"	SLIDING 4 PANEL 2 TRACKS			T.B.D	T.B.D	T.B.D	
113	1ST LEVEL (PROPOSED)	1	168"	108"	SLIDING 3 PANEL 3 TRACKS			FL18321	SIW IMPACT WINDOWS, LLC	SERIES "600 KM-12" ALUMINUM SLIDING GLASS DOOR	
314	1ST LEVEL (PROPOSED)	1	30"	80"	SINGLE SWINGING	N/A	N/A	N/A	T.B.D	T.B.D	
315	1ST LEVEL (PROPOSED)	1	249"	108"	SLIDING 6 PANEL 3 TRACKS						
397	2ND LEVEL	1	48"	96"	SLIDING						
398	2ND LEVEL	1	30"	80"	SINGLE SWINGING	N/A	N/A	N/A	T.B.D	T.B.D	
399	2ND LEVEL	1	30"	80"	SINGLE SWINGING	N/A	N/A	N/A	T.B.D	T.B.D	
400	2ND LEVEL	1	30"	80"	SINGLE SWINGING	N/A	N/A	N/A	T.B.D	T.B.D	
402	2ND LEVEL	1	30"	80"	SINGLE SWINGING	N/A	N/A	N/A	T.B.D	T.B.D	
403	2ND LEVEL	1	60"	80"	FOLDING	N/A	N/A	N/A			
404	2ND LEVEL	1	48"	80"	FOLDING	N/A	N/A	N/A			
409	2ND LEVEL	1	30"	80"	FOLDING	N/A	N/A	N/A	MASONITE	PLANTATION FULL-LOUVERED PAINTED WHITE SOLID-CORE PINE BI-FOLD DOOR	
410	2ND LEVEL	1	30"	80"	SINGLE SWINGING	N/A	N/A	N/A	T.B.D	T.B.D	
412	2ND LEVEL	1	72"	96"	SLIDING						
201	2ND LEVEL (PROPOSED)	1	34"	80"	SINGLE SWINGING	N/A	N/A	N/A	T.B.D	T.B.D	
202	2ND LEVEL (PROPOSED)	1	34"	80"	SINGLE SWINGING	N/A	N/A	N/A	T.B.D	T.B.D	
203	2ND LEVEL (PROPOSED)	1	34"	80"	SINGLE SWINGING	N/A	N/A	N/A	T.B.D	T.B.D	
204	2ND LEVEL (PROPOSED)	1	34"	80"	SINGLE SWINGING	N/A	N/A	N/A	T.B.D	T.B.D	
205	2ND LEVEL (PROPOSED)	1	30"	80"	SINGLE SWINGING	N/A	N/A	N/A	T.B.D	T.B.D	
206	2ND LEVEL (PROPOSED)	1	28"	96"	SINGLE FLUSH SHOWER GLASS				T.B.D	T.B.D	
207	2ND LEVEL (PROPOSED)	1	168"	96"	SLIDING 4 PANEL 2 TRACKS			T.B.D	T.B.D	T.B.D	
208	2ND LEVEL (PROPOSED)	1	72"	80"	FOLDING	N/A	N/A	N/A			
209	2ND LEVEL (PROPOSED)	1	72"	80"	FOLDING	N/A	N/A	N/A			
210	2ND LEVEL (PROPOSED)	1	72"	80"	FOLDING	N/A	N/A	N/A			
211	2ND LEVEL (PROPOSED)	1	30"	80"	FOLDING	N/A	N/A	N/A	MASONITE	PLANTATION FULL-LOUVERED PAINTED WHITE SOLID-CORE PINE BI-FOLD DOOR	
212	2ND LEVEL (PROPOSED)	1	30"	80"	FOLDING	N/A	N/A	N/A	MASONITE	PLANTATION FULL-LOUVERED PAINTED WHITE SOLID-CORE PINE BI-FOLD DOOR	
313	2ND LEVEL (PROPOSED)	1	34"	82"	SINGLE SWINGING			N/A	T.B.D	T.B.D	
326	3RD LEVEL	1	204"	96"	SLIDING 4 PANEL 2 TRACKS			T.B.D	T.B.D	T.B.D	
301	3RD LEVEL (PROPOSED)	1	36"	96"	SINGLE SWINGING	N/A	N/A	N/A	T.B.D	T.B.D	
302	3RD LEVEL (PROPOSED)	1	34"	80"	SINGLE SWINGING	N/A	N/A	N/A	T.B.D	T.B.D	
303	3RD LEVEL (PROPOSED)	1	34"	80"	SINGLE FLUSH	N/A	N/A	N/A	T.B.D	T.B.D	
304											



STATE OF FLORIDA
MATIAS DAROCH
— ★ —
AR100480
REGISTERED ARCHITECT

A-601

DOOR & WINDOW SCHEDULE

