



COMMODORE HOTEL 1952



1941



1952

HPB FINAL SUBMITTAL

07-11-22

1360 COLLINS AVENUE - COMMODORE

1360 COLLINS AVENUE
MIAMI BEACH, 33139

BEILINSON
GOMEZ

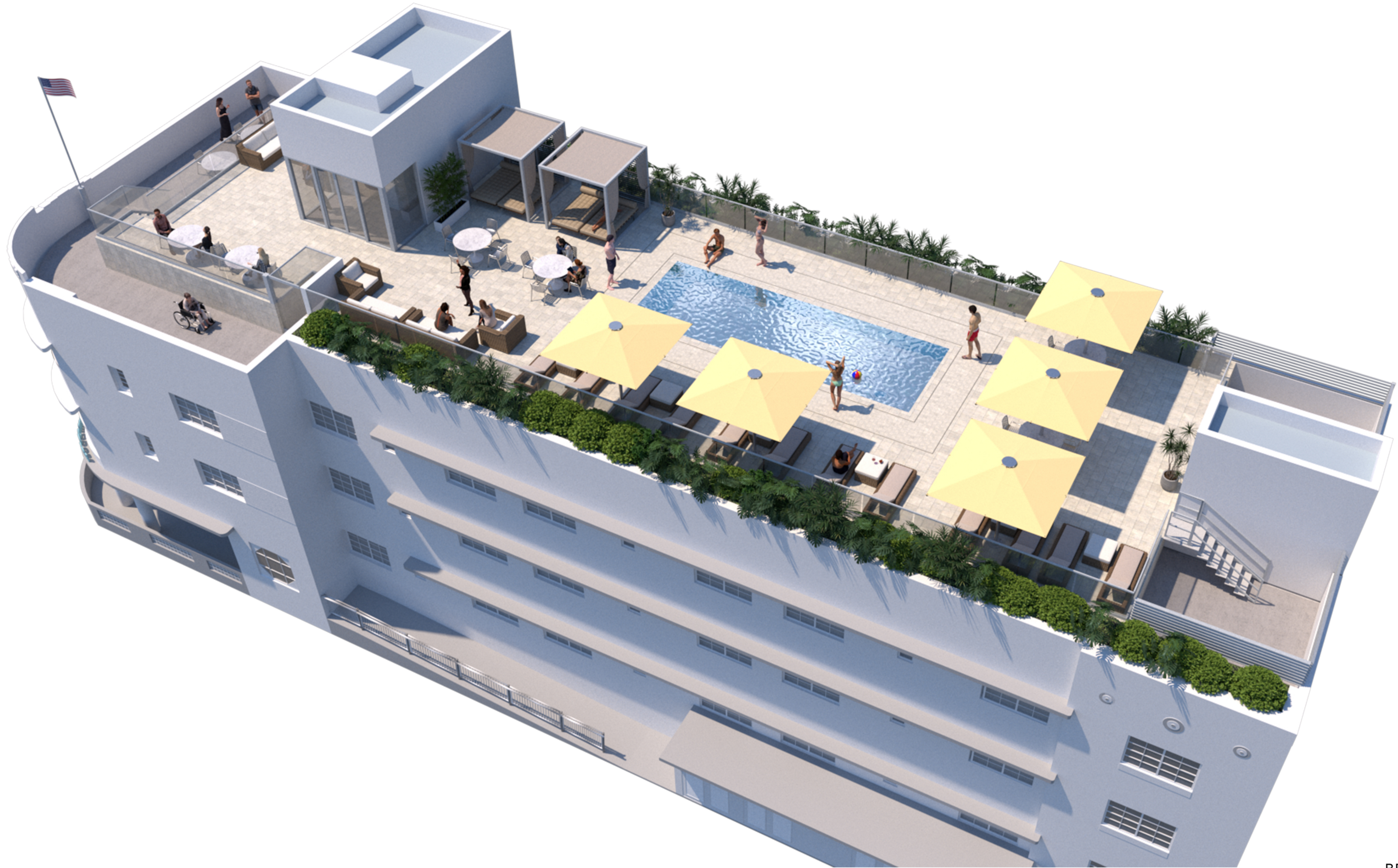
ARCHITECTS P.A.

ARCHITECTURE 8101 BISCAYNE BLVD. S. 309, 310 MIAMI, FL 33138-4654
A A C 0 0 1 0 6 2 T 305.559.1250 F 305.551.1740 A R 0 0 1 5 4 1 6

DWG. TITLE	COVER
SCALE	N.T.S.
PROJECT NO.	2022-12
DATE	06-16-22
SHEET NUMBER	A-000
△ DATE	REVISION



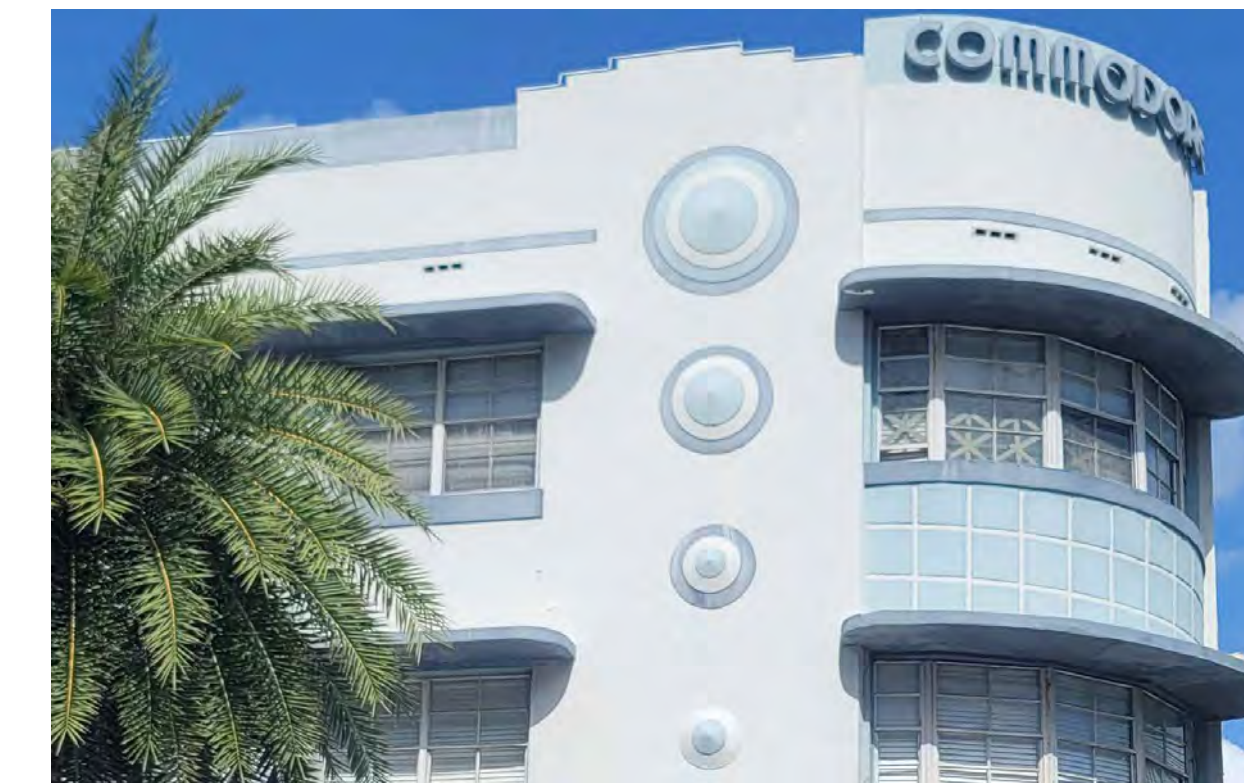






EXISTING BUILDING

- EXISTING STUCCO FINISH TO BE REPAIR.
- EXISTING WINDOWS TO REMAIN.



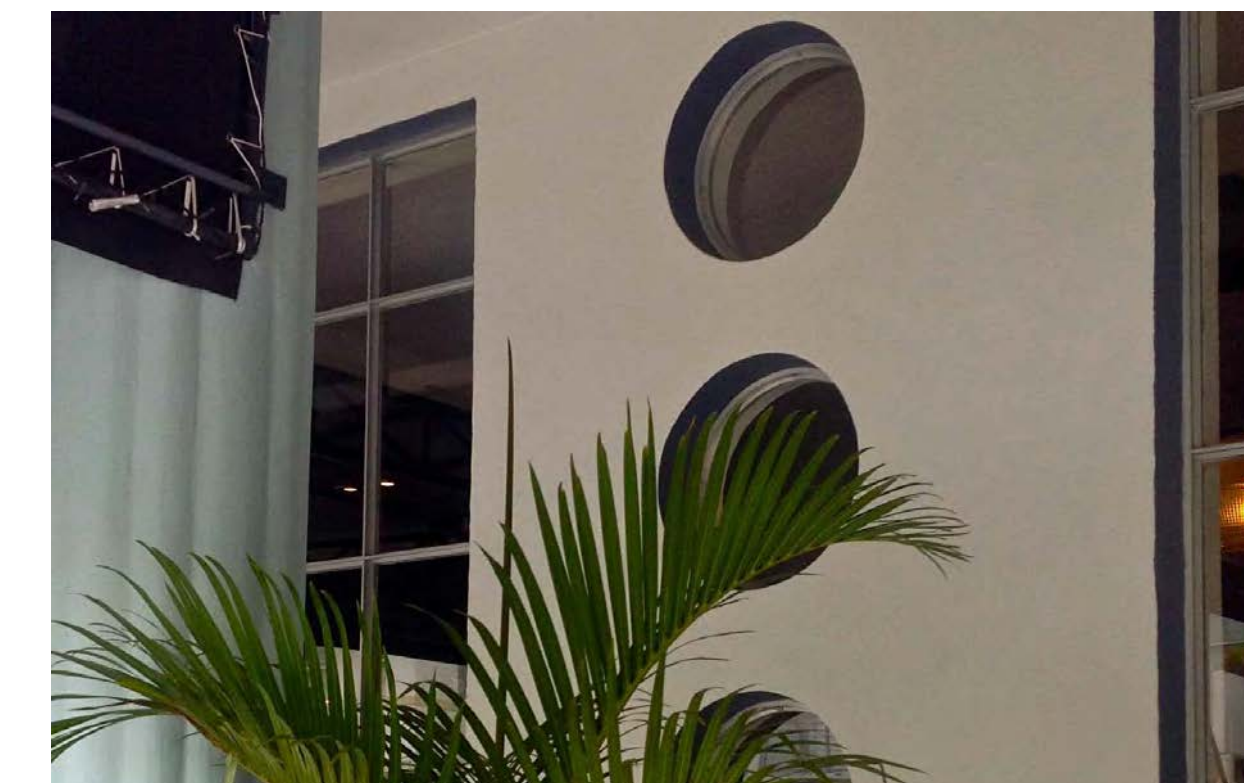
EXISTING CONCENTRIC LOW-RELIEF CIRCLES TO REMAIN



EXISTING STUCCO BAND TO BE RESTORED



PROPOSED BUILDING



EXISTING PORTHOLE WINDOWS TO REMAIN



EXISTING GLASS BLOCKS TO REMAIN



EXISTING SIGNAGE TO REMAIN



EXISTING TERRAZZO TO REMAIN

1360 COLLINS AVENUE - COMMODORE

1360 COLLINS AVENUE
MIAMI BEACH, 33139

BEILINSON
GOMEZ,
ARCHITECTS P.A.
A A C 0 0 1 0 6 2

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ROSE J. GOMEZ

DWG. TITLE	RENDERING & MATERIALS
SCALE	N.T.S.
PROJECT NO.	2022-12
DATE	06-21-22
SHEET NUMBER	R-04
DATE	REVISION

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ABBREVIATIONS

MATERIAL LEGEND

PROJECT TEAM

DRAWING INDEX

A	ACOUS. AC A.D. ADJ. AGGR. AL. APPROX. ARCH. ASB. ASPH.	ACOUSTICAL AIR CONDITIONING AREA DRAIN ADJUSTABLE AGGREGATE ALUMINUM APPROXIMATE ARCHITECTURAL ASBESTOS ASPHALT	C	GA. GALV. G.B. G.C. GL. GND. GR. GR. GYP. G.W.B.	GAUGE GALVANIZED GRAB BAR GENERAL CONTRACTOR GLASS GROUND GRADE GYPSUM GYPSUM WALLBOARD	R	R. RAD. R.D. REF. REFL. REF. REFR. RF. RGTR. REINFORCED REQ. RESIL. RM. R.O.D. RWD. R.W.L.	RISER RADIUS ROOF DRAIN REFERENCE REFLECTED REFRIGERATOR ROOF REGISTER REINFORCED REQUIRED RESILIENT ROOM ROUGH OPENING REDWOOD RAIN WATER LEADER			
B	BD. BITUM. BLDG. BLK. BLKG. BLKHD. BM. BOT.	BOARD BITUMINOUS BUILDING BLOCK BLOCKING BULKHEAD BEAM BOTTOM	F	H.B. H.C. HDWD. HDWE. H.M. HORIZ. HR. HGT.	HOSE BIB HOLLOW CORE HARD WOOD HARDWARE HOLLOW METAL HORIZONTAL HOUR HEIGHT	S	S. SABF S.C. S.C.D. SCHED. S.D. SECT. SH. SHR. SHT. SIM. S.N.D.	SOUTH SOUND ATTENUATION FIRE BLANKETS SOLID CORE SEAT COVER DISPENSER SCHEDULE SOAP DISPENSER SECTION SHELF SHOWER SHEET SIMILAR SANITARY NAPKIN DISPENSER SANITARY NAPKIN RECEPTACLE SPECIFICATION SQUARE STAINLESS STEEL SERVICE SINK STA. STD. STL. STOR. STRL. SUSP. SYM.			
C	CAB. CARP. C.B. CEM. CER. C.I. C.G. CLG. CLKG. CLO. CLR. C.M.U. C.O. COL. CONC. CONN. CONSTR. CONT. CORR. CTSK. CNTR. C.T. CTR.	CABINET CARPET CATCH BASIN CEMENT CERAMIC CAST IRON CORNER GUARD CEILING CAULKING CLOSET CLEAR CONCRETE MASONRY UNIT CASED OPENING COLUMN CONCRETE CONNECTION CONSTRUCTION CONTINUOUS CORRIDOR COUNTERSUNK COUNTER CERAMIC TILE CENTER	J	JAN. JST. JT.	JANITOR JOIST JOINT	K	KIT. KITCHEN	L	LAB. LAM. LAV. L.F. LKR. LT. LTG. LTWT.	LABORATORY LAMINATE LAVATORY LINEAR FEET LOCKER LIGHT LIGHTING LIGHT WEIGHT	
D	DBL. DEPT. D.F. DET. DIA. DIM. DISP. DN. D.O. DR. DWR. DS. D.S.P. DWG.	DOUBLE DEPARTMENT DRINKING FOUNTAIN DETAIL DIAMETER DIMENSION DISPENSER DOWN DOOR OPENING DOOR DRAWER DOWN SPOUT DRY STANDPIPE DRAWING	M	MAX. M.C. MACH. MECH. MEMB. MET. MFR. MH. MIN. MIR. MISC. M.L. M.O. MTD. MUL.	MAXIMUM MEDICINE CABINET MACHINE MECHANICAL MEMBRANE METAL MANUFACTURER MANHOLE MINIMUM MIRROR MISCELLANEOUS MATCH LINE MASONRY OPENING MOUNTED MULLION	T	TRD. T.B. T.C. TEL. TEMP. T. & G. THK. TOIL. T.P. T.P.D. T.V. T.W. TYP. T.O.B. T.O.C. T.O.S.	TREAD TOWEL BAR TOP OF CURB TELEPHONE TEMPERED TONGUE AND GROOVE TOILET TOP OF PAVEMENT TOILET PAPER DISPENSER TELEVISION TOP OF WALL TYPICAL TOP OF BEAM TOP OF CONCRETE TOP OF SLAB			
E	E.A. E.J. EL. ELEC. ELEV. EMER. ENCL. E.P. EQ. EQPT. E.S. E.W.C. EXST. EXPO. EXP. EXT.	EAST EACH EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR EMERGENCY ENCLOSURE ELECTRICAL PANEL BOARD EQUAL EQUIPMENT EMERGENCY OVERFLOW SCUPPER ELECTRIC WATER COOLER EXISTING EXPANDED EXPANSION EXTERIOR	N	N. N.I.C. NO. OR # NOM. N.T.S.	NORTH NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE	O	O.A. OBS. O.C. O.D. OFF. OPNG. OP. HD. OPP.	OVERALL OBSCURE ON CENTER OUTSIDE DIMENSION OFFICE OPENING OPPOSITE HAND OPPOSITE	U	UNF. U.O.N. UR.	UNFINISHED UNLESS OTHERWISE NOTED URINAL UNDERWRITERS LAB
F	F.A. F.B. F.D. FDN. F.E. F.E.C. F.H.C. FIN. FL. FLASH. FLUOR. F.O.C. F.O.F. F.O.S. FPRF. F.S. FT. FTG. FURR. FUT.	FIRE ALARM FLAT BAR FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER CAB. FIRE HOSE CABINET FINISH FLOOR FLASHING FLUORESCENT FACE OF CONCRETE FACE OF FINISH FACE OF STUDS FIREPROOF FULL SIZE FOOT OR FEET FOOTING FURRING FUTURE	P	PRCST. P.L. P.T. PL. P.LAM. PLAS. PLYWD. POL. PR. PR. PT. P.T.D. PTN. PTR. Q.T.	PRE-CAST PROPERTY LINE PRESSURE TREATED PLATE PLASTIC LAMINATE PLASTER PLYWOOD POLISHED PAIR POINT PAPER TOWEL DISPENSER PARTITION PAPER TOWEL RECEPTACLE QUARRY TILE	V	V.I.F. VERT. V.T. VEST. V.B.	VERIFY IN FIELD VERTICAL VINYL TILE VESTIBULE VAPOR BARRIER	W	W. WT. W/ W.C. WD. W/O WP. WSCT.	WEST WEIGHT WITH WATER CLOSET WOOD WITHOUT WATERPROOF WAINSCOT

OWNER:
1360 COMMODORE LLC
16885 DALLAS PARKWAY
ADDISON, TX 75011

DESIGN/PROJECT ARCHITECT:
BEILINSON GOMEZ ARCHITECTS PA
JOSE L. GOMEZ ARO015416 8101
BISCAYNE BLVD., SUITE 309-310
MIAMI, FL 33138-4664
TEL. (305) 559.1250
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LANDSCAPE ARCHITECT:
GARDNER + SEMLER DESIGN
LANDSCAPE ARCHITECTURE
CORP. ID # 00020366
17670 NW 78TH AVE., SUITE 214
MIAMI, FL 33015
TEL. (305) 392.1016

A-000	COVER
R-01	RENDERING
R-02	RENDERING
R-03	RENDERING
R-04	RENDERING & MATERIALS
A-001	SURVEY
A-002	PROJECT INFORMATION & INDEX
A-003	SITE PHOTOS
A-004	INTERIOR PHOTOS
A-005	BUILDING PRESERVATION DETAILS
EXIST-AREA	CONTEXTUAL PHOTOS
EXIST-101	EXISTING AREA ANALYSIS
EXIST-102	PROPOSED AREA ANALYSIS
EXIST-103	EXISTING BASEMENT FLOOR PLAN
EXIST-104	EXISTING SECOND & THIRD FLOOR PLAN
EXIST-201	EXISTING ROOF PLAN
D-101	EXISTING ELEVATIONS
D-102	DEMOLITION GROUND FLOOR PLAN
D-103	DEMOLITION SECOND FLOOR PLAN
D-104	DEMOLITION THIRD FLOOR PLAN
D-105	DEMOLITION ROOF FLOOR PLAN
SP-101	ENLARGED DEMOLITION LOBBY FLOOR PLAN
A-101	PROPOSED SITE PLAN, SIGHT LINE ELEVATION
A-102	PROPOSED BASEMENT FLOOR PLAN
A-103	PROPOSED GROUND FLOOR PLAN
A-104	PROPOSED SECOND FLOOR PLAN
A-105	PROPOSED THIRD FLOOR PLAN
A-106	PROPOSED ROOF PLAN
A-201	PROPOSED ENLARGED LOBBY
A-301	SUSP. PROPOSED ELEVATIONS PROPOSED SECTIONS

SYMBOL LEGEND

APPLICABLE CODES

	DOOR number		wall construction		wall type
	room name / finish schedule		exterior & interior elevation symbol		detail number
	bldg. / partial & detail section symbol		construction detail symbol/detailed area		detail number
	notes		COLUMN REFERENCE		NUMBER OR LETTER
	notes		ELEVATION		EL. 0'-0" FINISH FLOOR
	drawing revision		REVISION NUMBER		

GOVERNING ZONING CODE: MIAMI BEACH, FLORIDA CODE OF ORDINANCE

BUILDING CODE: FLORIDA BUILDING CODE 2020.7TH EDITION

EXISTING BUILDING: FLORIDA BUILDING CODE: EXISTING BUILDING CODE 2020

STRUCTURAL: FLORIDA BUILDING CODE 2020.7TH EDITION

PLUMBING: FLORIDA BUILDING CODE 2020.7TH EDITION - PLUMBING

MECHANICAL: FLORIDA BUILDING CODE 2020.7TH EDITION - MECHANICAL

ELECTRICAL: FLORIDA BUILDING CODE - 2020.7TH EDITION - ELECTRICAL

ACCESSIBILITY: FLORIDA BUILDING CODE 2020 - CHAPTER 11 FACBC

FIRE PROTECTION: FLORIDA FIRE PREVENTION CODE - 2020.7TH EDITION

LANDSCAPE

LA-001 PLANTING PLAN

PROJECT INFORMATION

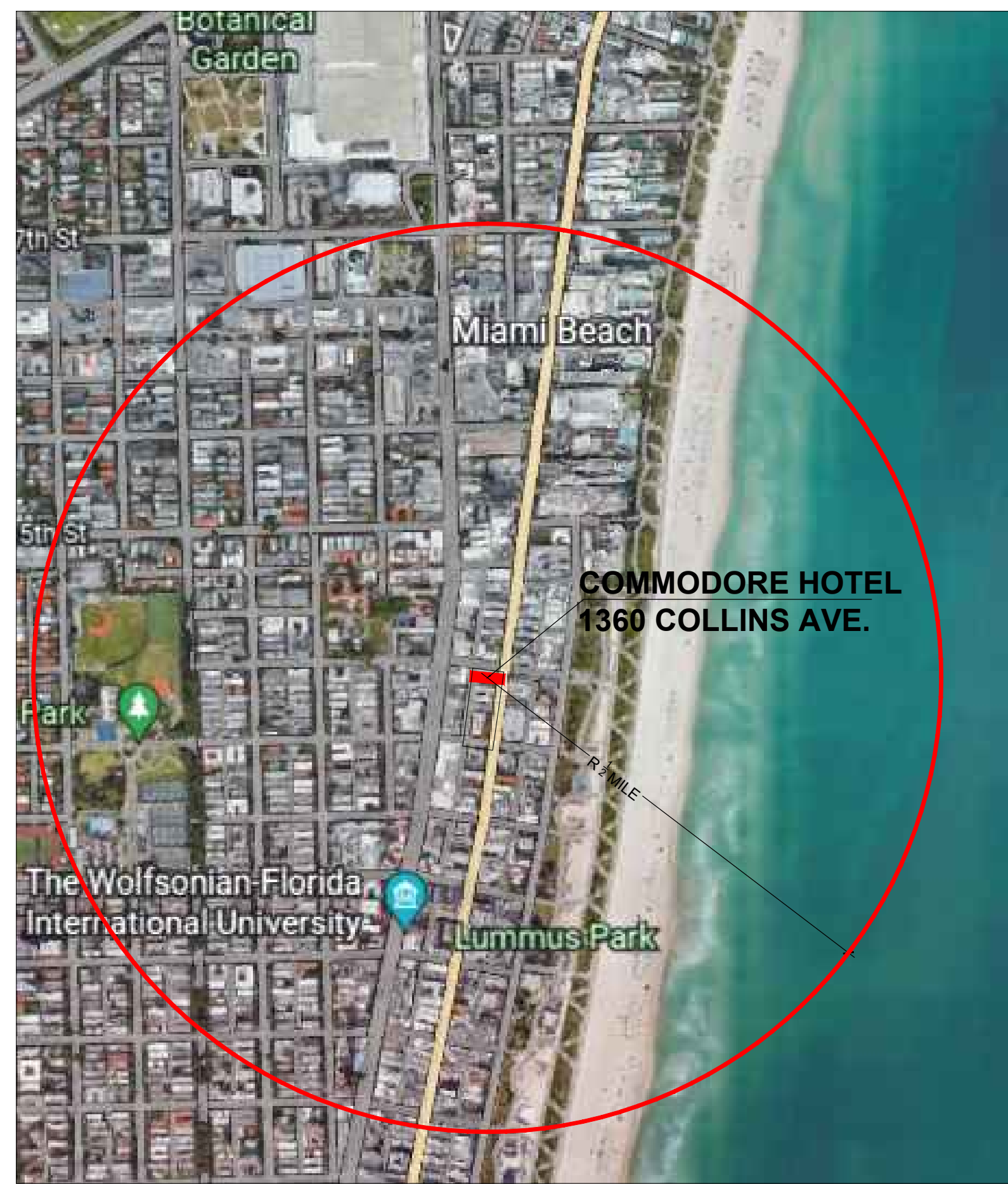
SCOPE OF WORK

THE SCOPE OF THIS PROJECT CONSIST OF THE ADDITION OF A POOL DECK AT ROOF LEVEL. THIS WORK WILL ALSO INCLUDE EXTENSION OF THE EXISTING STAIRS TO THE NEW POOL DECK AREAS AND EXTENSION OF AN EXISTING ELEVATOR FROM THE THIRD FLOOR TO THE ROOF DECK LEVEL.

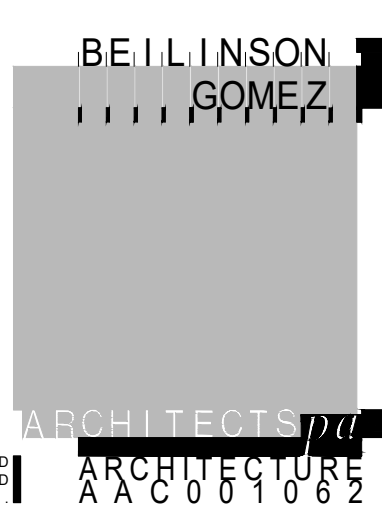
LEGAL DESCRIPTION

3 54 42 34 53 42, OCEAN BEACH ADD NO 2 PB 2-56, LOT 1 BLK 27, OR 15837-0863 0393 1, COC 22234-4362 04 2004 1

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET				
ITEM #	Zoning Information			
1	Address:	1360 COLLINS AVENUE, MIAMI BEACH, FL 33139		
2	Board and file numbers:			
3	Folio number(s):	02-3234-008-0890		
4	Year constructed:	Zoning District:	MXE - Mixed Use Entertainment	
5	Base Flood Elevation:	Grade value in NGVD:		
6	Adjusted grade (Flood-Grade/2):	Lot Area (SF):	7,000.00	
7	Lot width (FT):	Lot Depth (FT):	140.00	
8	Minimum Unit Size(SF):	Average Unit Size:	N/A	
9	Existing use:	Proposed use:	Hotel	
		Maximum	Existing	Proposed
10	Height:	50'-0"	42'-1"	42'-1"
11	Number of Stories:	-	3.00	3.00
12	FAR:	2.00	2.41	2.41
13	Gross square footage:			
16	Number of units Hotel:	N/A	21	45
		Required	Existing	Proposed
	Setbacks			
	Deficiencies			
	Deficiencies			
19	Front Setback Principal:	10'-0"	5'-5"	5'-5"
	Front Setback Secondary:		5'-5"	5'-5"
20	Side / Interior Setback:	5'-0"	4'-10"	4'-10"
21	Rear Setback:	0'-0"	0'-0"	0'-0"
32	Is this a contributing building?		Yes	
33	Located within a Local Historic District?		Yes	



1360 COLLINS AVENUE - COMMODORE
1360 COLLINS AVENUE
MIAMI BEACH, 33139



DWG. TITLE	PROJECT INFORMATION & INDEX
SCALE	N.T.S.
PROJECT NO.	2022-12
DATE	06-16-22
SHEET NUMBER	A-001



01



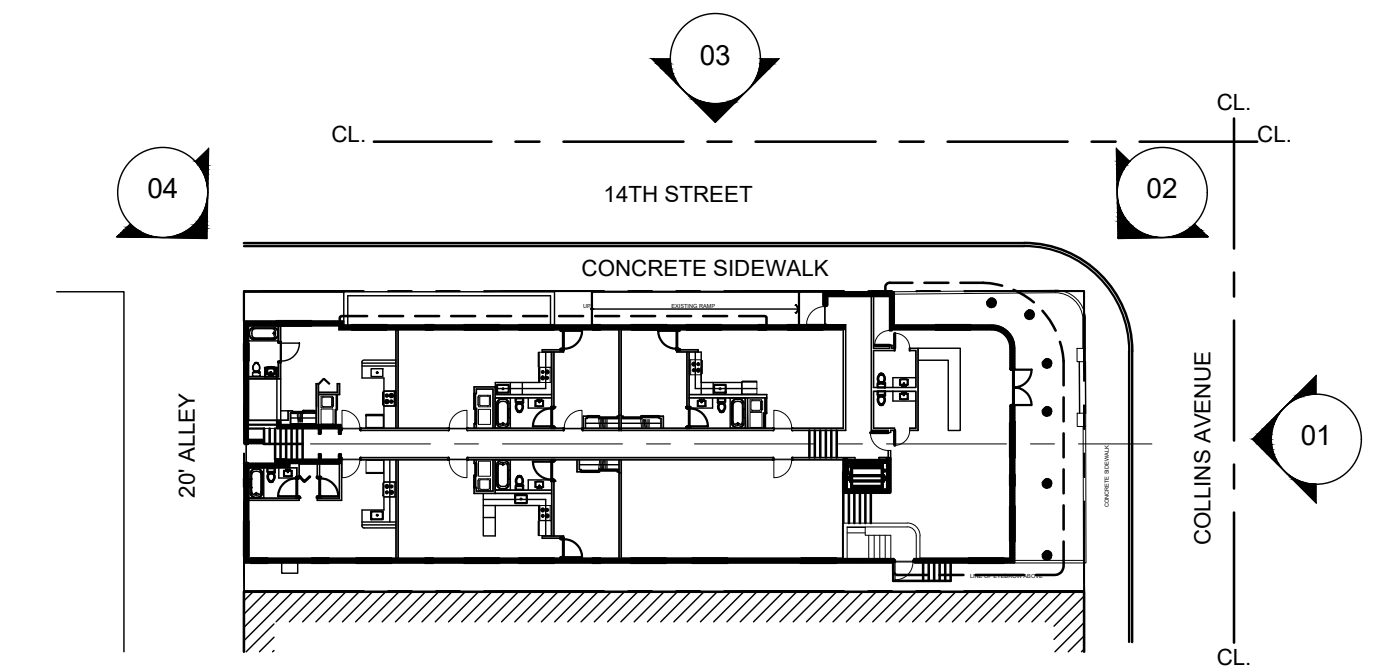
02



03



04



KEY PLAN
SCALE: 1/32"=1'-0"

1360 COLLINS AVENUE - COMMODORE
1360 COLLINS AVENUE
MIAMI BEACH, 33139

BEILINSON
GOMEZ
ARCHITECTS
P.A.

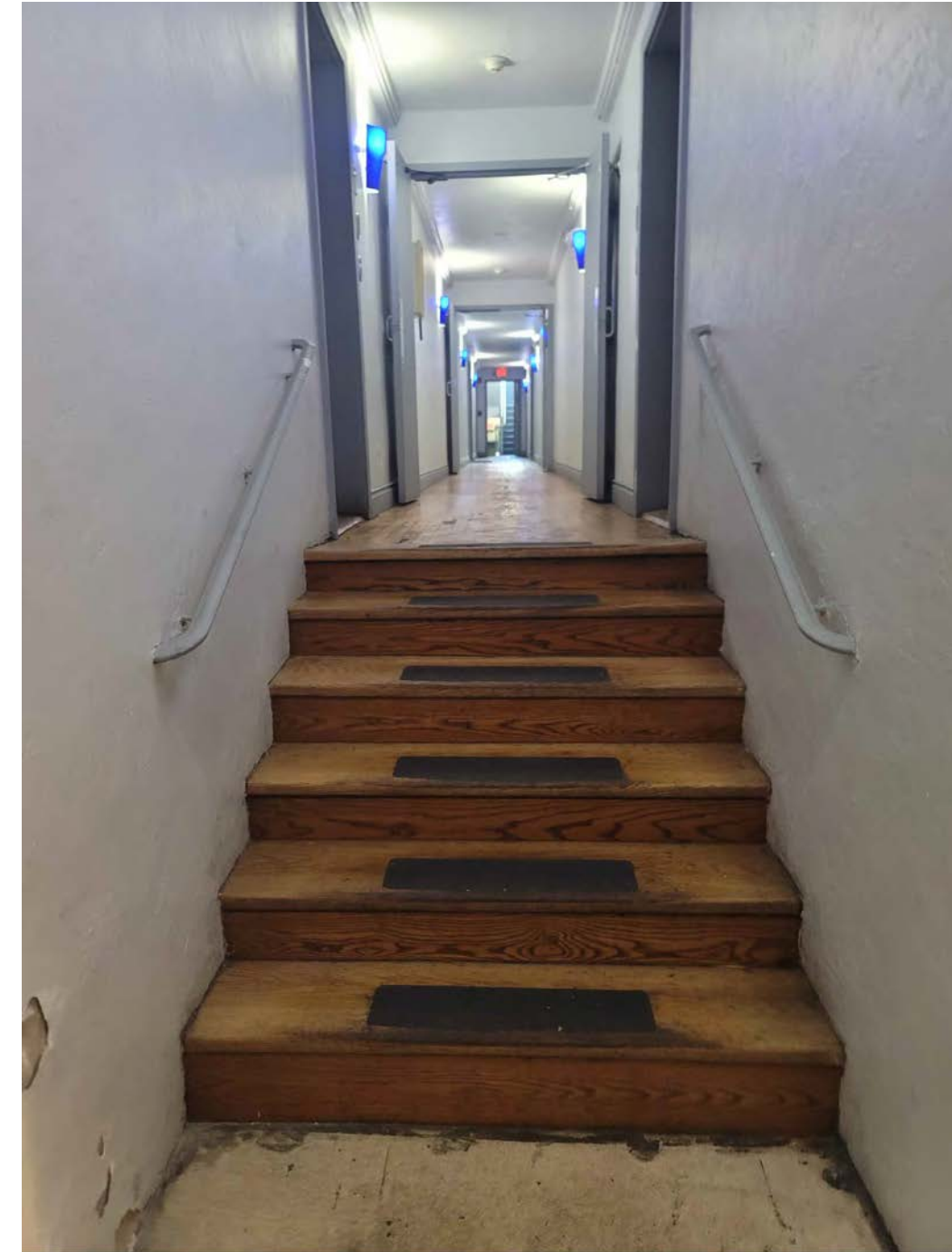
8101 BISCAYNE BLVD. # 309-310
MIAMI, FL 33138-4684
T 305.559.1250 F 305.551.1746

ROSE J. GOMEZ
ARCHITECT

DWG. TITLE	SITE PHOTOS
SCALE	N.T.S.
PROJECT NO.	2022-12
DATE	06-16-22
SHEET NUMBER	A-002
DATE	REVISION



01



02



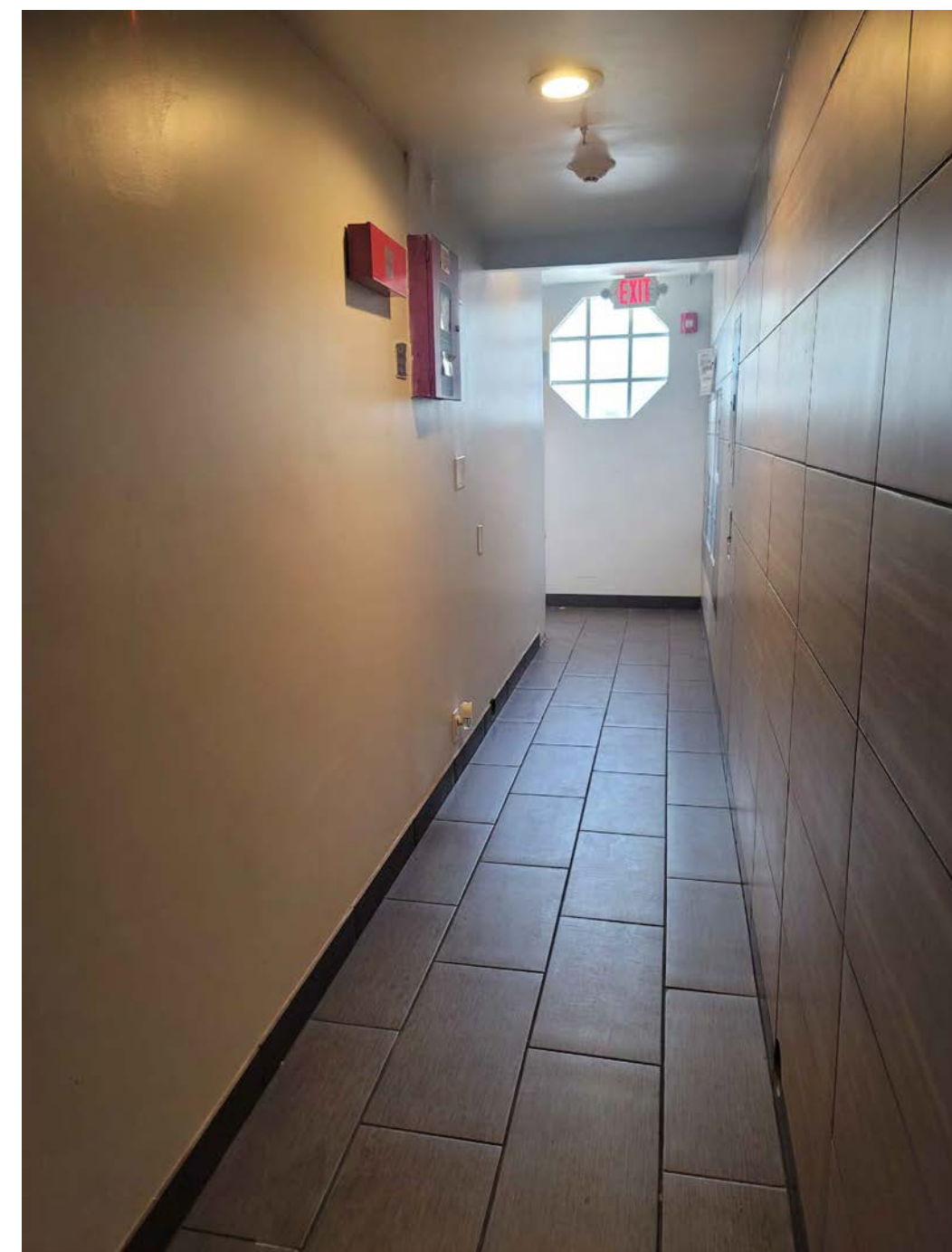
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ARCHITECTURAL DETAILS TO BE PRESERVED

- EXTERIOR COLUMN MOLDINGS
- TERRAZZO FLOORS
- EXISTING HANDRAILS AT MAIN STAIR
- WINDOWS
- CEILING MOLDING



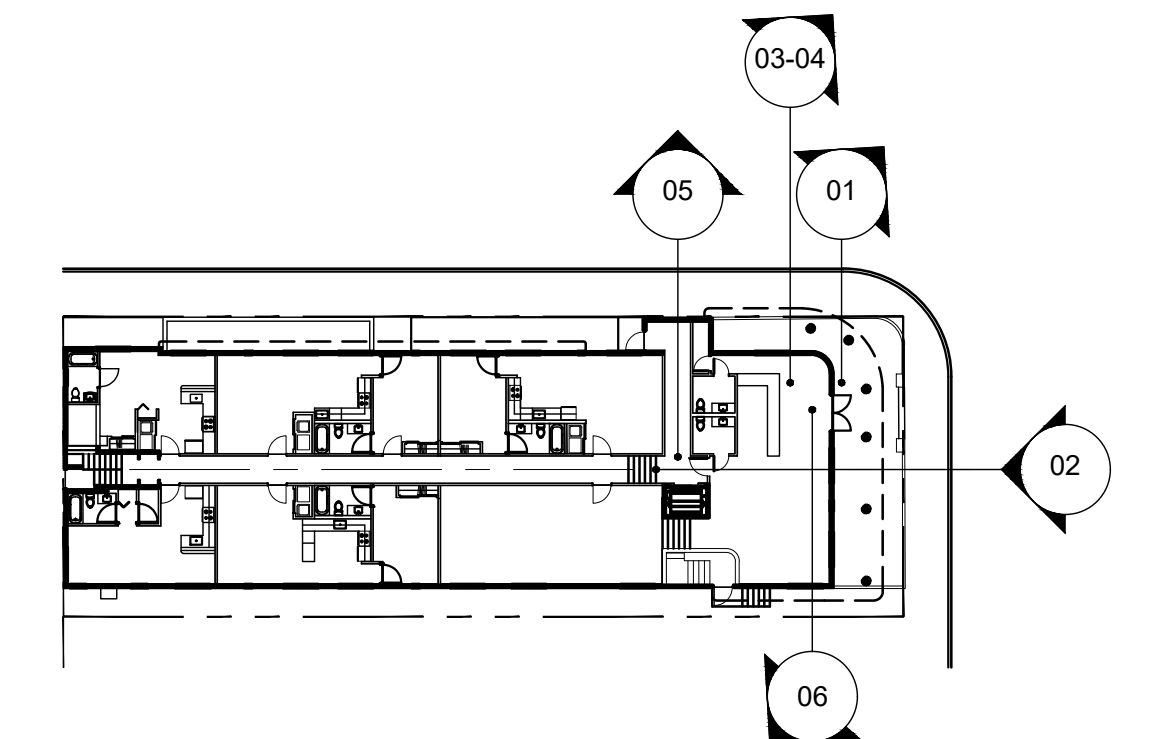
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05



06



KEY PLAN
SCALE: 1/32"=1'-0"

1360 COLLINS AVENUE - COMMODORE

1360 COLLINS AVENUE
MIAMI BEACH, 33139

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ARCHITECTURE

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ROSE J. GOMEZ
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DWG. TITLE	INTERIOR PHOTOS
SCALE	N.T.S.
PROJECT NO.	2022-12
DATE	06-16-22
SHEET NUMBER	A-003
DATE	REVISION

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01



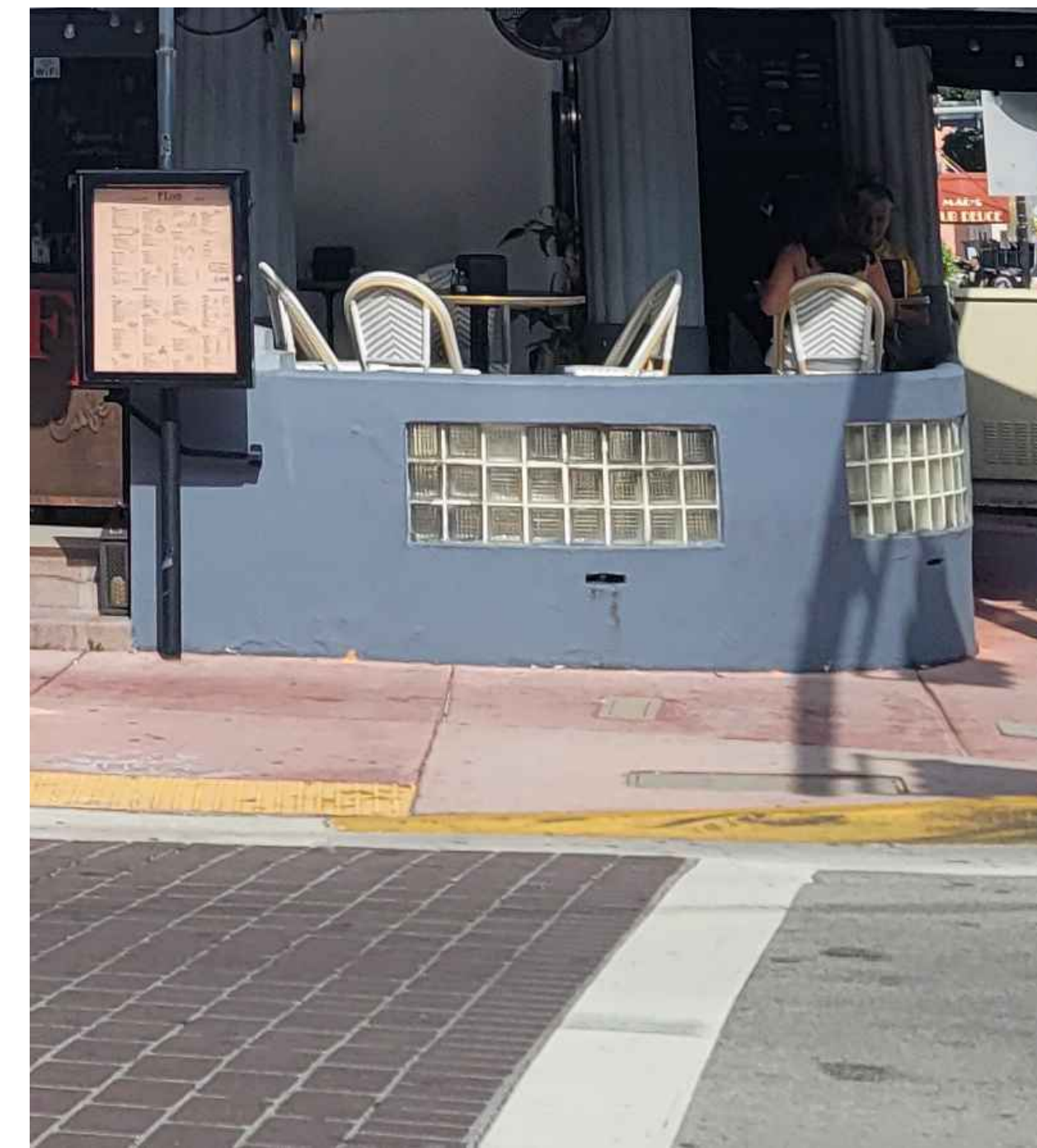
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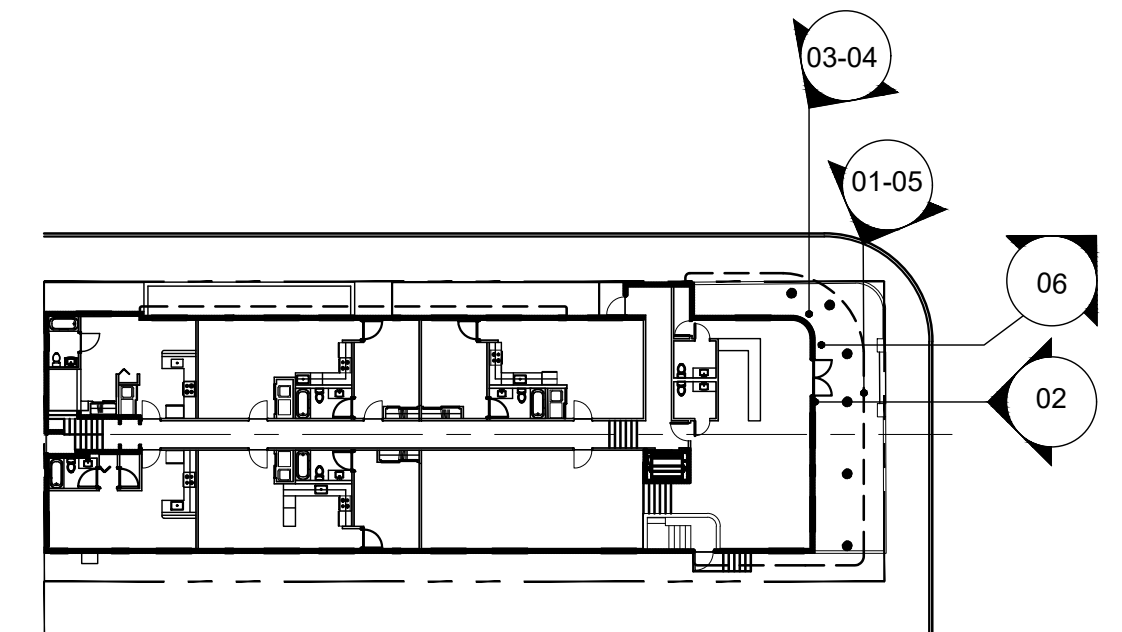
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06

ARCHITECTURAL DETAILS TO BE PRESERVED

- HOTEL SIGN
- EYEBROWS
- WINDOWS
- ENTRY HANDRAIL
- COLUMN MOLDINGS
- STUCCO BAND
- GLASS BLOCK WALLS



KEY PLAN
SCALE: 1/32"=1'-0"

1360 COLLINS AVENUE - COMMODORE
1360 COLLINS AVENUE
MIAMI BEACH, 33139

BEILINSON
GOMEZ

ARCHITECTS
A A C 0 1 0 6 2

ROSE + GOMEZ
A R 0 1 9 4 7 6

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DWG. TITLE	BUILDING PRESERVATION DETAILS
SCALE	N.T.S.
PROJECT NO.	
DATE	2022-12
SHEET NUMBER	06-16-22
DATE	REVISION

A-004



01



02



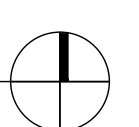
03



04



KEY PLAN
SCALE: 1/32"=1'-0"



1360 COLLINS AVENUE - COMMODORE
1360 COLLINS AVENUE
MIAMI BEACH, 33139

BEILINSON
GOMEZ
ARCHITECTS P.A.
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ROSE J. GOMEZ

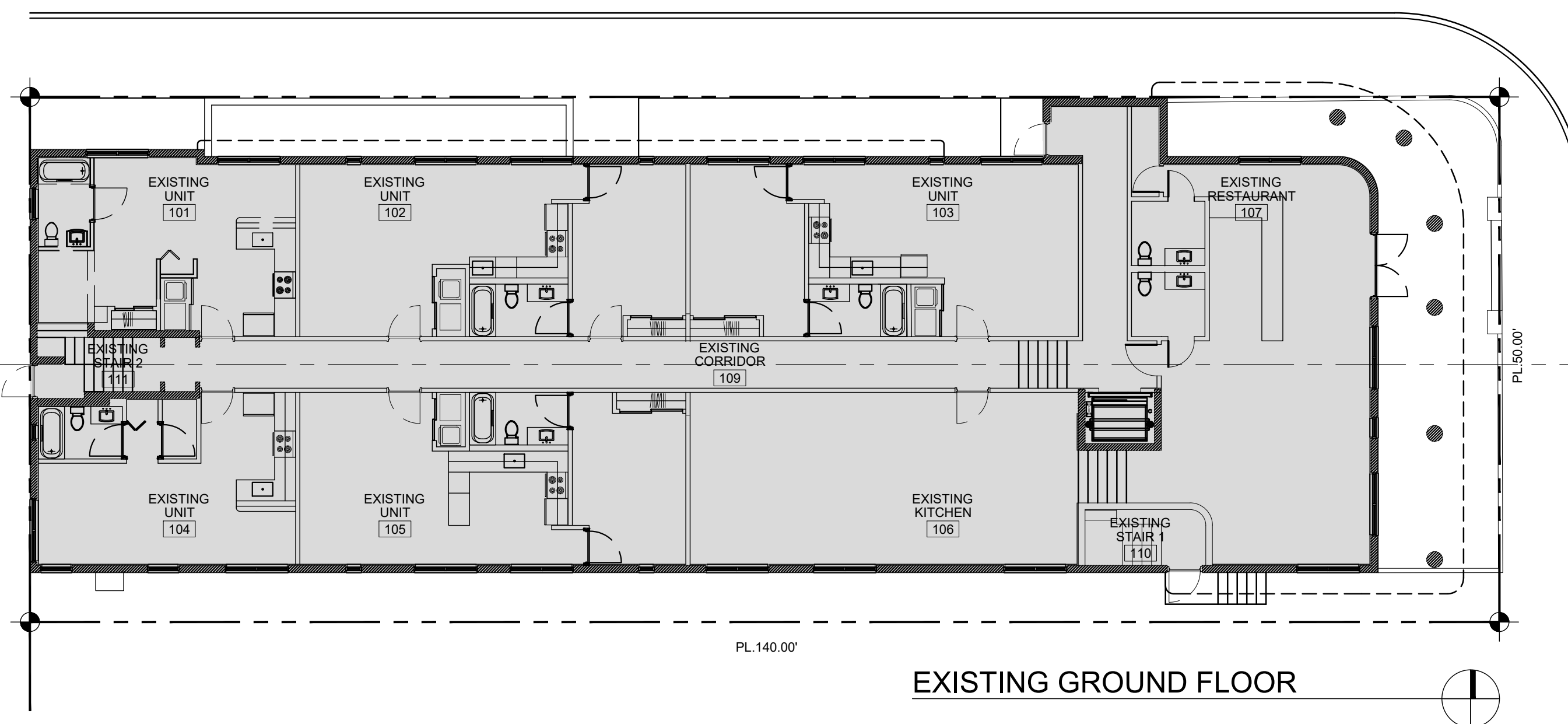
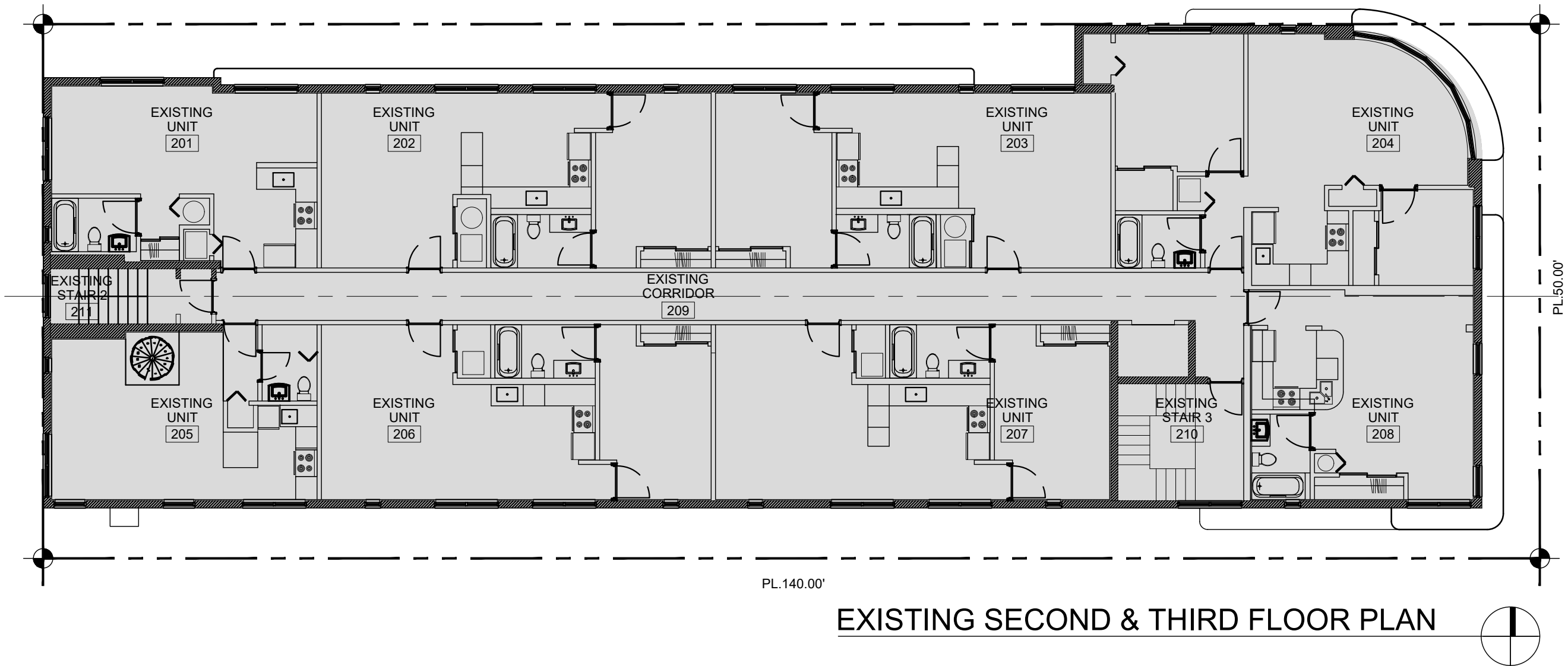
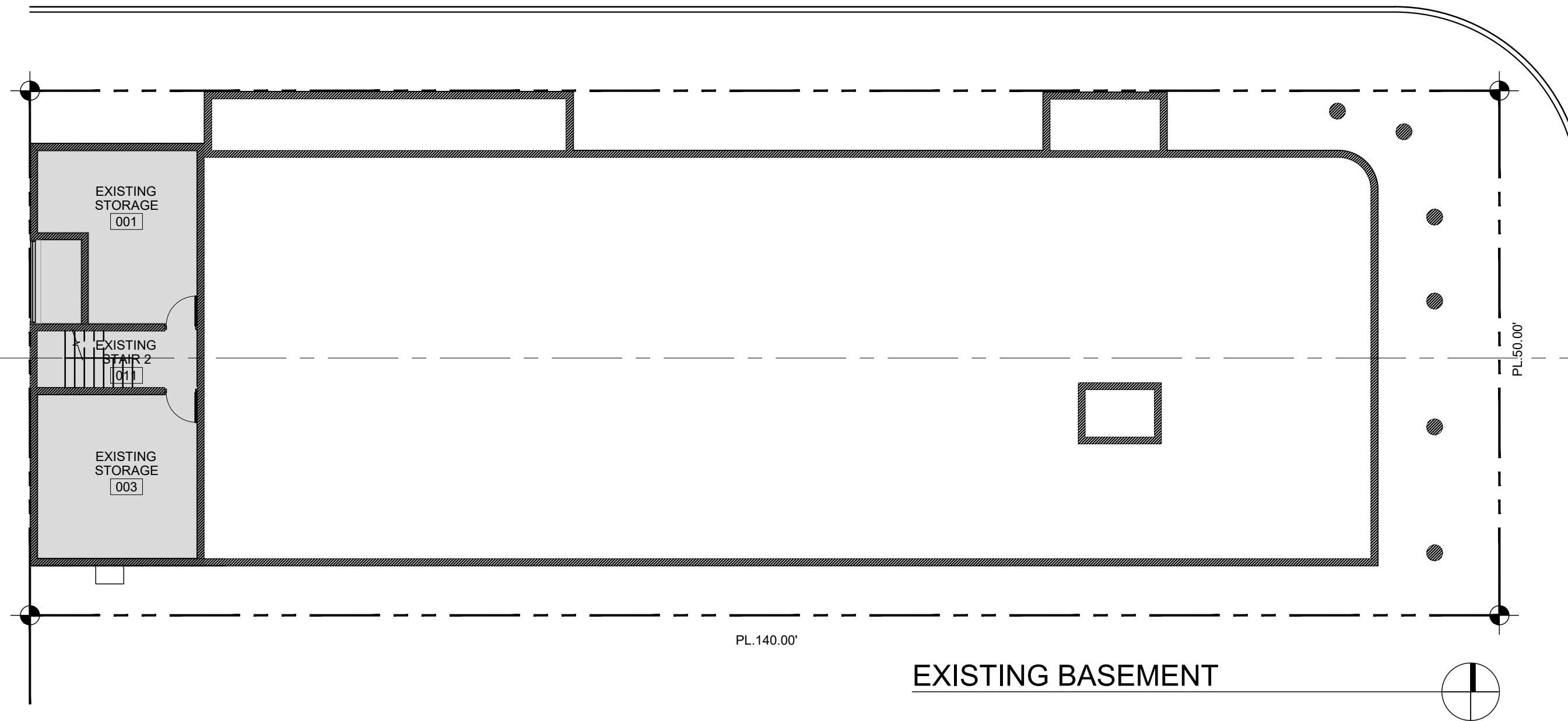
DATE	REVISION	DWG. TITLE
		CONTEXTUAL PHOTOS
		SCALE N.T.S.
		PROJECT NO. 2022-12
		DATE 06-16-22
		SHEET NUMBER A-005

AREA ANALYSIS

LOT AREA	7,000 S.F.
EXISTING FAR	2.41 (16,871 SF)
TOTAL UNITS	19

BUILDING GROSS AREA	
LEVEL	AREA S.F.
BASEMENT	669
GROUND FLOOR	5,160
SECOND FLOOR	5,521
THIRD FLOOR	5,521
TOTAL	16,871

UNITS AREA		
LEVEL	# OF UNITS	AREA S.F.
GROUND FLOOR	5	2,862
SECOND FLOOR	8	4,797
THIRD FLOOR	8	4,797
TOTAL	21	12,456



1360 COLLINS AVENUE - COMMODORE
 1360 COLLINS AVENUE
 MIAMI BEACH, 33139

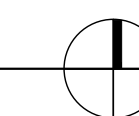


DWG. TITLE	EXISTING AREA ANALYSIS
SCALE	3/32"=1'-0"
PROJECT NO.	
DATE	2022-12
SHEET NUMBER	06-16-22
DATE	REVISION

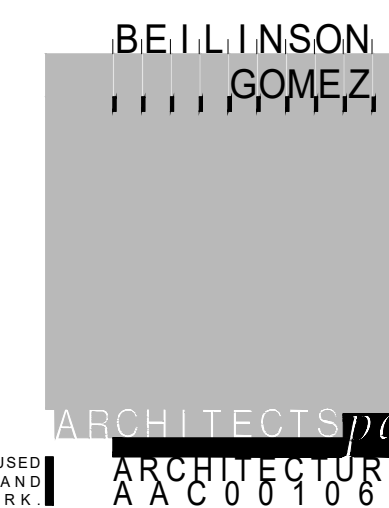
EXIST-AREA



EXISTING BASEMENT FLOOR PLAN

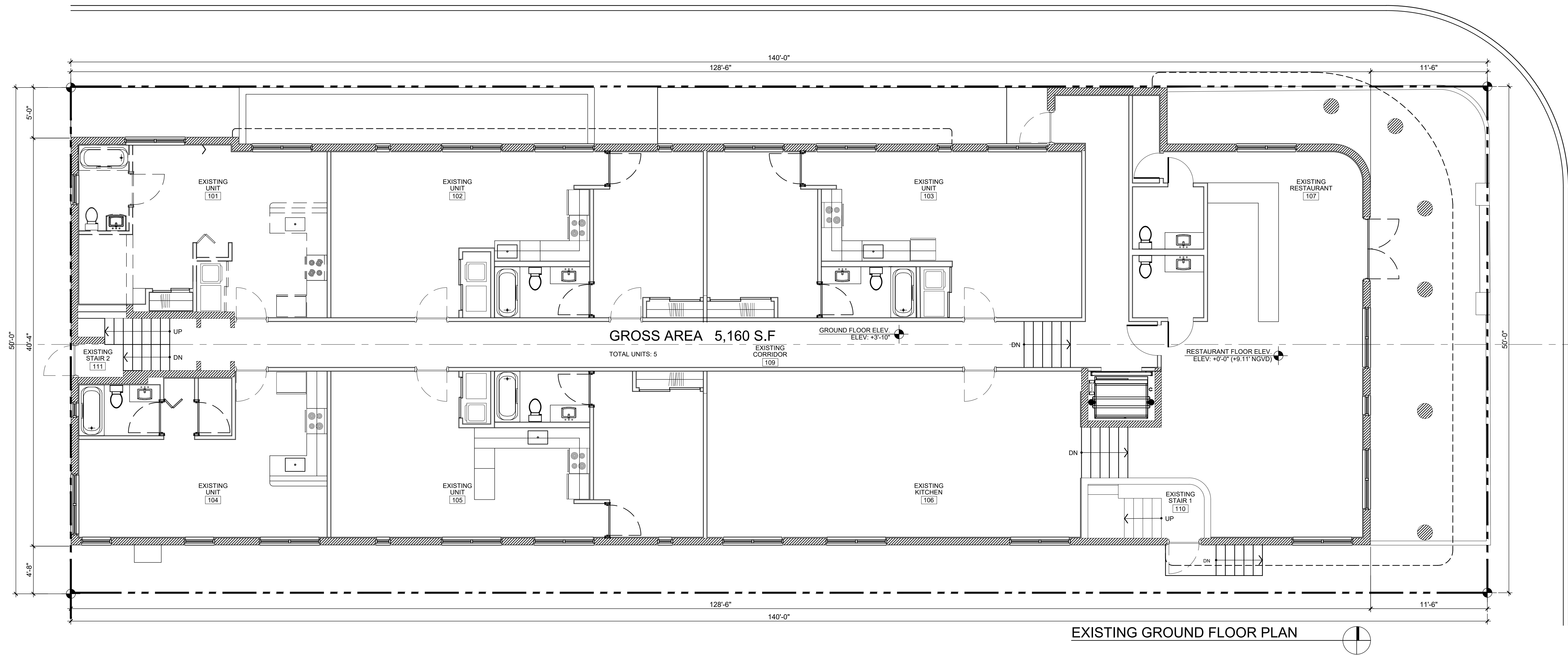


1360 COLLINS AVENUE - COMMODORE
 1360 COLLINS AVENUE
 MIAMI BEACH, 33139



BEILINSON GOMEZ ARCHITECTS P.A.
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DWG. TITLE		EXISTING BASEMENT FLOOR PLAN
SCALE		3/16"=1'-0"
PROJECT NO.		2022-12
DATE		06-16-22
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DATE	REVISION	



EXISTING GROUND FLOOR PLAN

1360 COLLINS AVENUE - COMMODORE

1360 COLLINS AVENUE
MIAMI BEACH, 33139

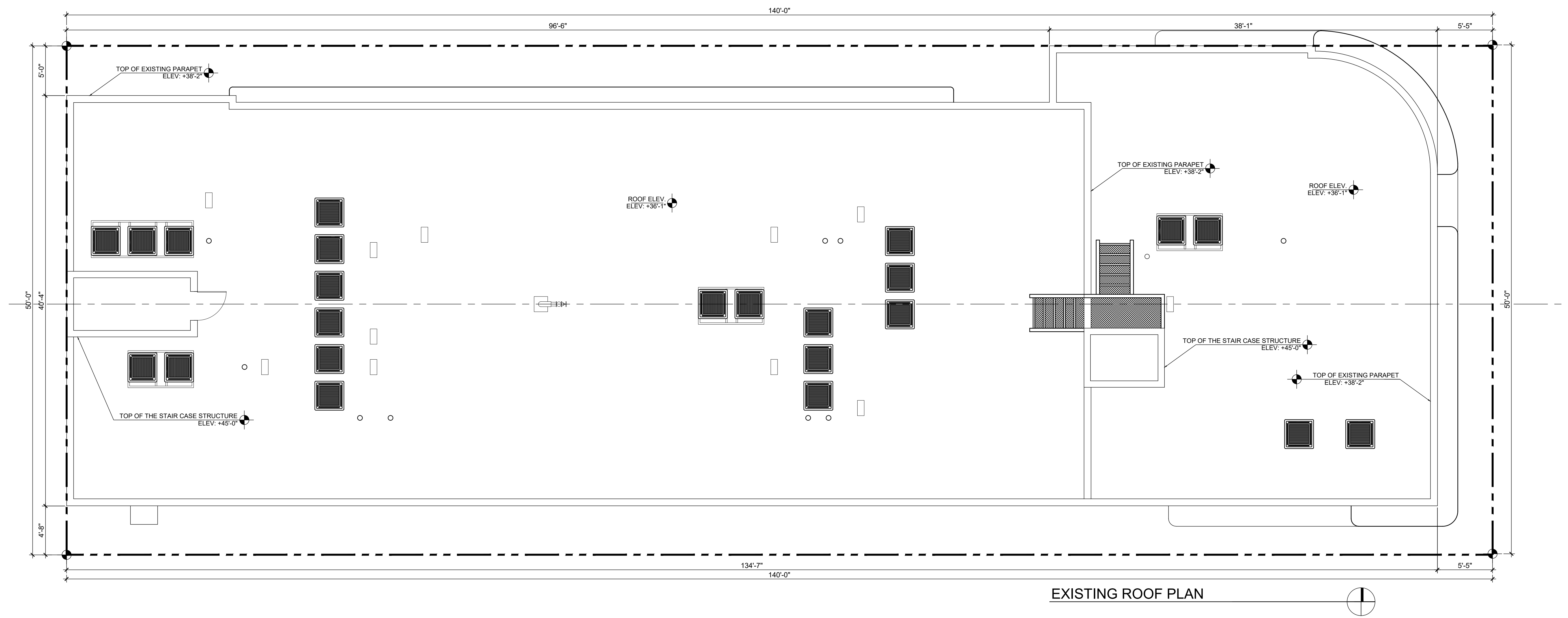
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GOMEZ

ARCHITECTS P.A.

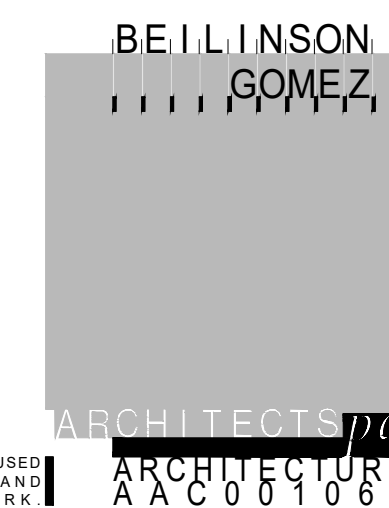
8101 815 CAYNE BLVD. # 309-310
MIAMI BEACH, FL 33156
T 305.559.1250 F 305.551.1740

ROSE + GOMEZ
ARCHITECTS P.A.

DWG. TITLE	EXISTING GROUND FLOOR PLAN
SCALE	3/16"=1'-0"
PROJECT NO.	2022-12
DATE	06-16-22
SHEET NUMBER	EXIST-102
DATE	REVISION



1360 COLLINS AVENUE - COMMODORE
 1360 COLLINS AVENUE
 MIAMI BEACH, 33139



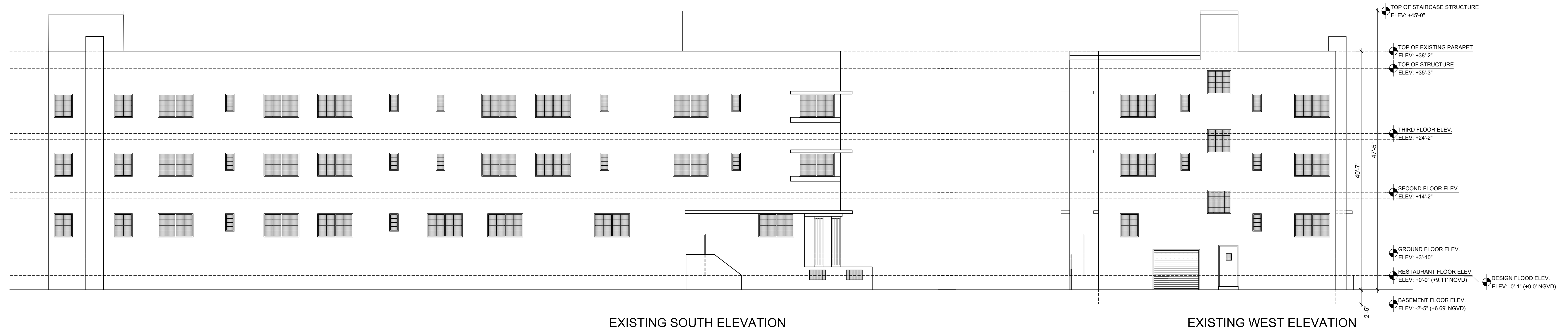
BEILINSON GOMEZ ARCHITECTS P.A.
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 T 305.559.1250 F 305.551.1746

DWG. TITLE	EXISTING ROOF PLAN
SCALE	3/16"=1'-0"
PROJECT NO.	
DATE	2022-12
SHEET NUMBER	06-16-22
DATE	REVISION

EXIST-104

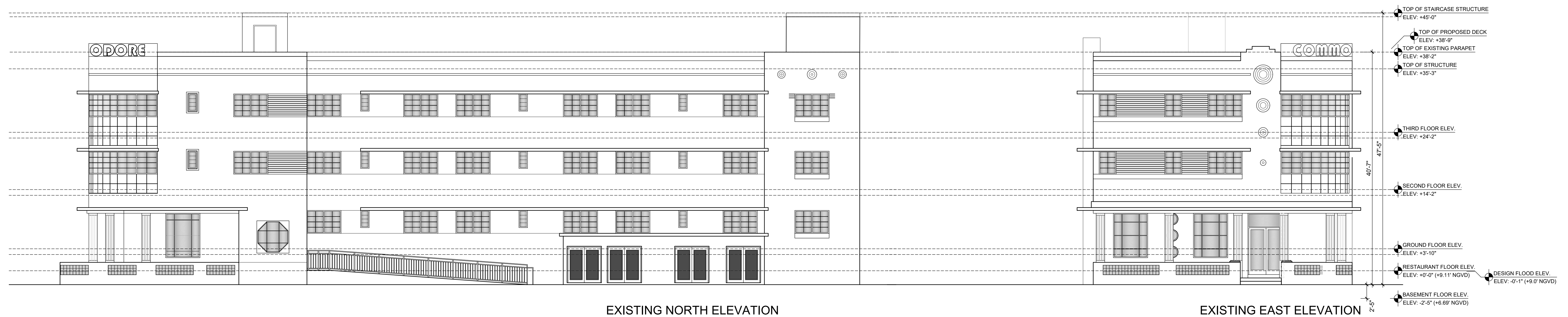
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CONSULTANT



EXISTING SOUTH ELEVATION

EXISTING WEST ELEVATION



EXISTING NORTH ELEVATION

EXISTING EAST ELEVATION

1360 COLLINS AVENUE - COMMODORE
 1360 COLLINS AVENUE
 MIAMI BEACH, 33139

BEILINSON
 GOMEZ

ARCHITECTS
 AAC001062

ROSE + GOMEZ

DWG. TITLE
 EXISTING ELEVATIONS

SCALE
 1/8"=1'-0"

PROJECT NO.
 2022-12

DATE
 06-16-22

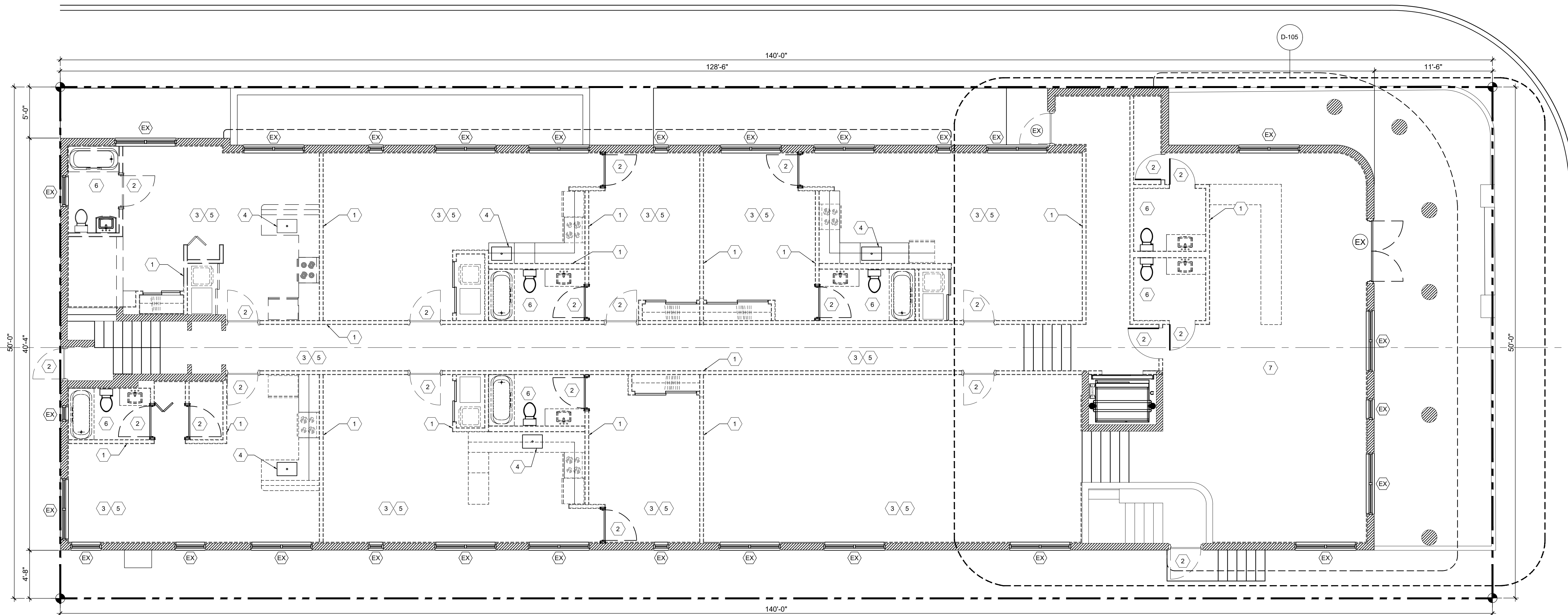
SHEET NUMBER

EXIST-201

DATE REVISION

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DEMOLITION KEY NOTES

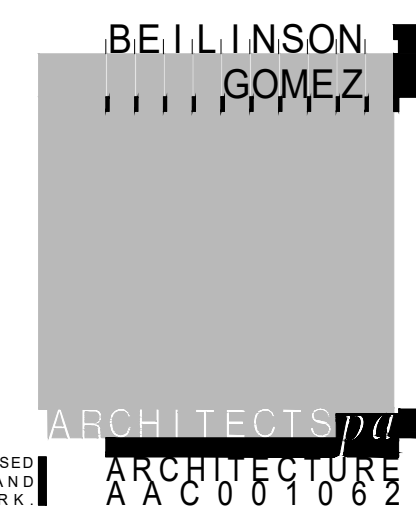
- 1 REMOVE EXISTING INTERIOR PARTITION
- 2 REMOVE EXISTING DOORS / FRAMES
- 3 CEILING FINISHES AND LIGHTING FIXTURE TO BE REMOVED.
- 4 REMOVE EXISTING PLUMBING FIXTURE AS INDICATED
- 5 REMOVE EXISTING FLOORING WITHIN THE LIMITS OF THIS CONTRACT TO THE UNDERLYING SLAB
- 6 BATHROOM TO BE DEMOLISH
- 7 EXISTING TERRAZZO FLOOR, PATTERNING AND COLORS TO REMAIN

LEGEND

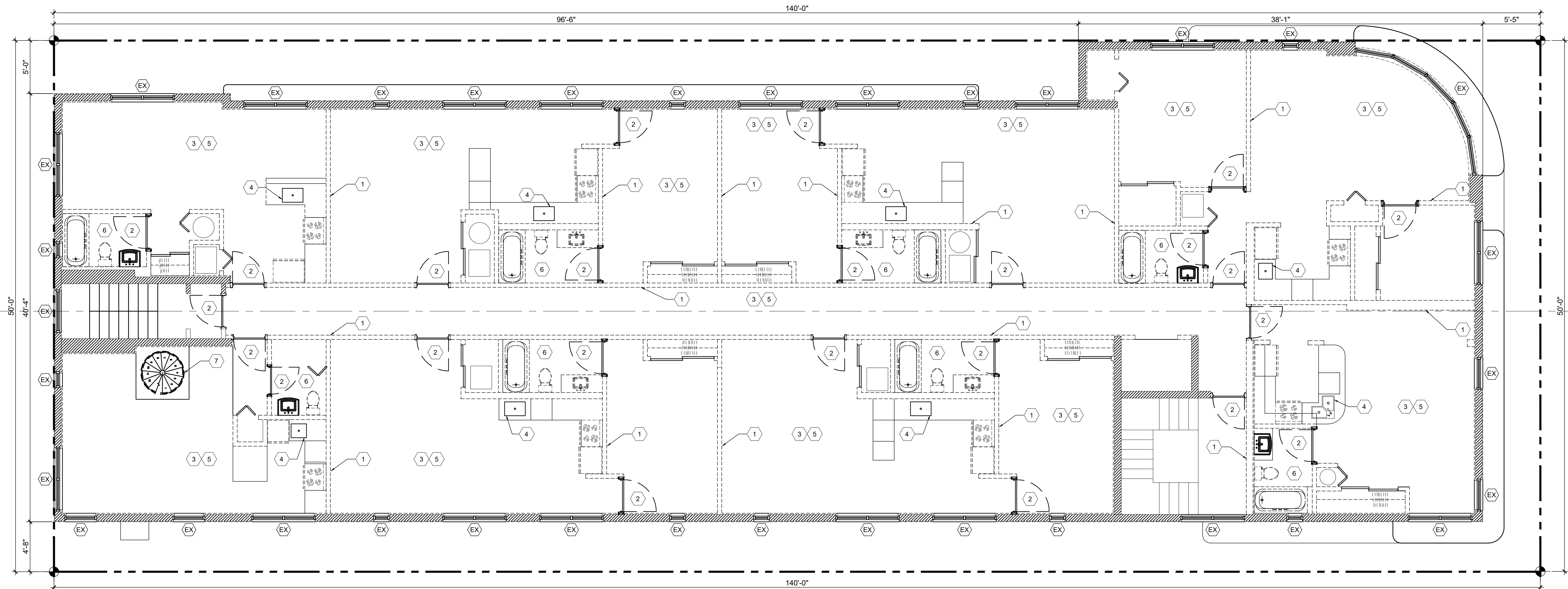
- EXISTING WALL / PARTITION TO BE DEMOLISHED
- EXISTING INTERIOR/ EXTERIOR CMU / CONCRETE WALL TO REMAIN
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING DOOR AND FRAME TO BE REMOVED
- EXISTING WINDOW TO BE REPLACED WITH NEW CASEMENT OR FIXED WINDOWS WITH AN HISTORICALLY ACCURATE MOUNTING CONFIGURATION CONSISTENT WITH AVAILABLE HISTORICAL DOCUMENTATION
- EXISTING EXTERIOR DOOR TO BE REPLACED WITH HISTORICALLY ACCURATE DOORS

DEMOLITION BASEMENT FLOOR PLAN

1360 COLLINS AVENUE - COMMODORE
 1360 COLLINS AVENUE
 MIAMI BEACH, 33139



DWG. TITLE	DEMOLITION GROUND FLOOR PLAN
SCALE	3/16"=1'-0"
PROJECT NO.	2022-12
DATE	06-16-22
SHEET NUMBER	D-101



DEMOLITION SECOND FLOOR PLAN

DEMOLITION KEY NOTES

- 1 REMOVE EXISTING INTERIOR PARTITION
- 2 REMOVE EXISTING DOORS / FRAMES
- 3 CEILING FINISHES AND LIGHTING FIXTURE TO BE REMOVED.
- 4 REMOVE EXISTING PLUMBING FIXTURE AS INDICATED
- 5 REMOVE EXISTING FLOORING WITHIN THE LIMITS OF THIS CONTRACT TO THE UNDERLYING SLAB
- 6 BATHROOM TO BE DEMOLISH
- 7

LEGEND

- EXISTING WALL / PARTITION TO BE DEMOLISHED
- EXISTING INTERIOR/ EXTERIOR CMU / CONCRETE WALL TO REMAIN
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING DOOR AND FRAME TO BE REMOVED
- EXISTING WINDOW TO REMAIN

1360 COLLINS AVENUE - COMMODORE

1360 COLLINS AVENUE
MIAMI BEACH, 33139

BEILINSON
GOMEZ

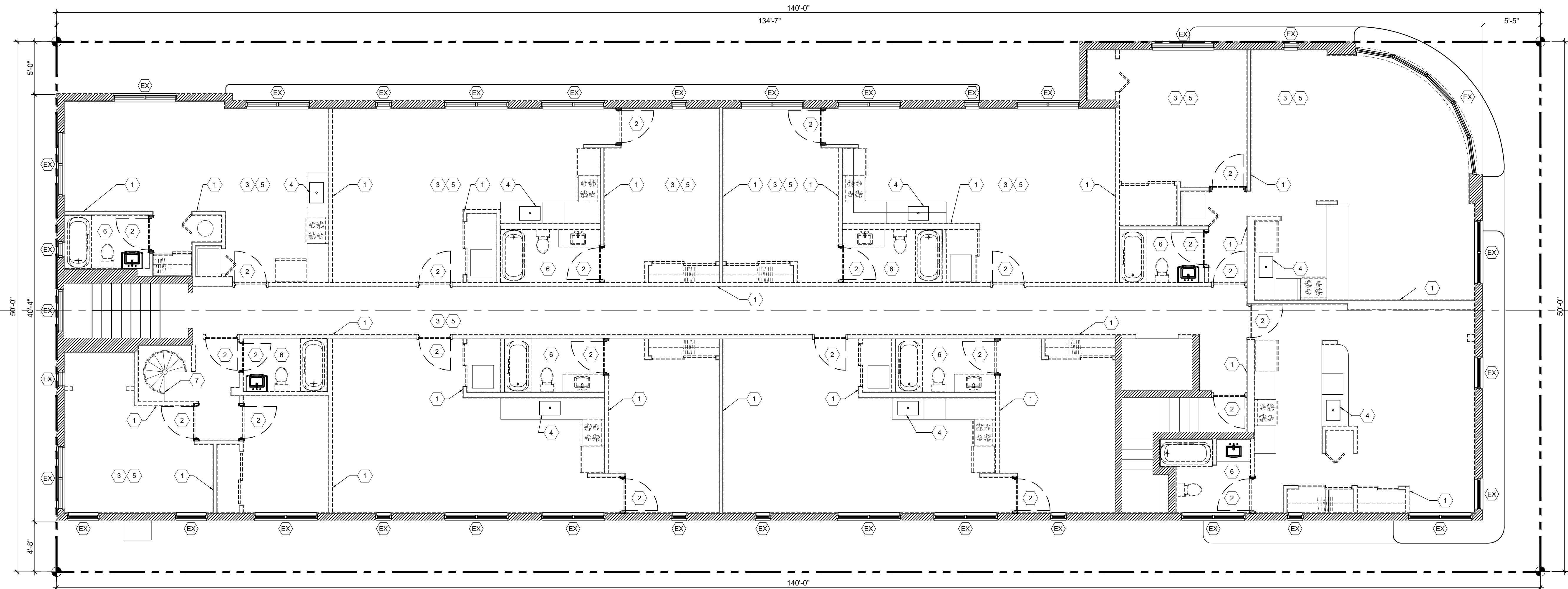
ARCHITECTS
P.A.

8101 BISCAYNE BLVD. # 309-310
MIAMI, FL 33138-4664
T 305.559.1250 F 305.551.1746

ROSE J. GOMEZ
A R 0 1 9 4 1 6

DWG. TITLE	DEMOLITION SECOND FLOOR PLAN
SCALE	3/16"=1'-0"
PROJECT NO.	2022-12
DATE	06-16-22
SHEET NUMBER	D-102

DATE REVISION



DEMOLITION THIRD FLOOR PLAN

DEMOLITION KEY NOTES

- 1 REMOVE EXISTING INTERIOR PARTITION
- 2 REMOVE EXISTING DOORS / FRAMES
- 3 CEILING FINISHES AND LIGHTING FIXTURE TO BE REMOVED.
- 4 REMOVE EXISTING PLUMBING FIXTURE AS INDICATED
- 5 REMOVE EXISTING FLOORING WITHIN THE LIMITS OF THIS CONTRACT TO THE UNDERLYING SLAB
- 6 BATHROOM TO BE DEMOLISH
- 7 STAIR TO BE DEMOLISHED

LEGEND

- EXISTING WALL / PARTITION TO BE DEMOLISHED
- EXISTING INTERIOR/ EXTERIOR CMU / CONCRETE WALL TO REMAIN
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING DOOR AND FRAME TO BE REMOVED
- EXISTING WINDOW TO REMAIN

1360 COLLINS AVENUE - COMMODORE

1360 COLLINS AVENUE
MIAMI BEACH, 33139

BEILINSON
GOMEZ

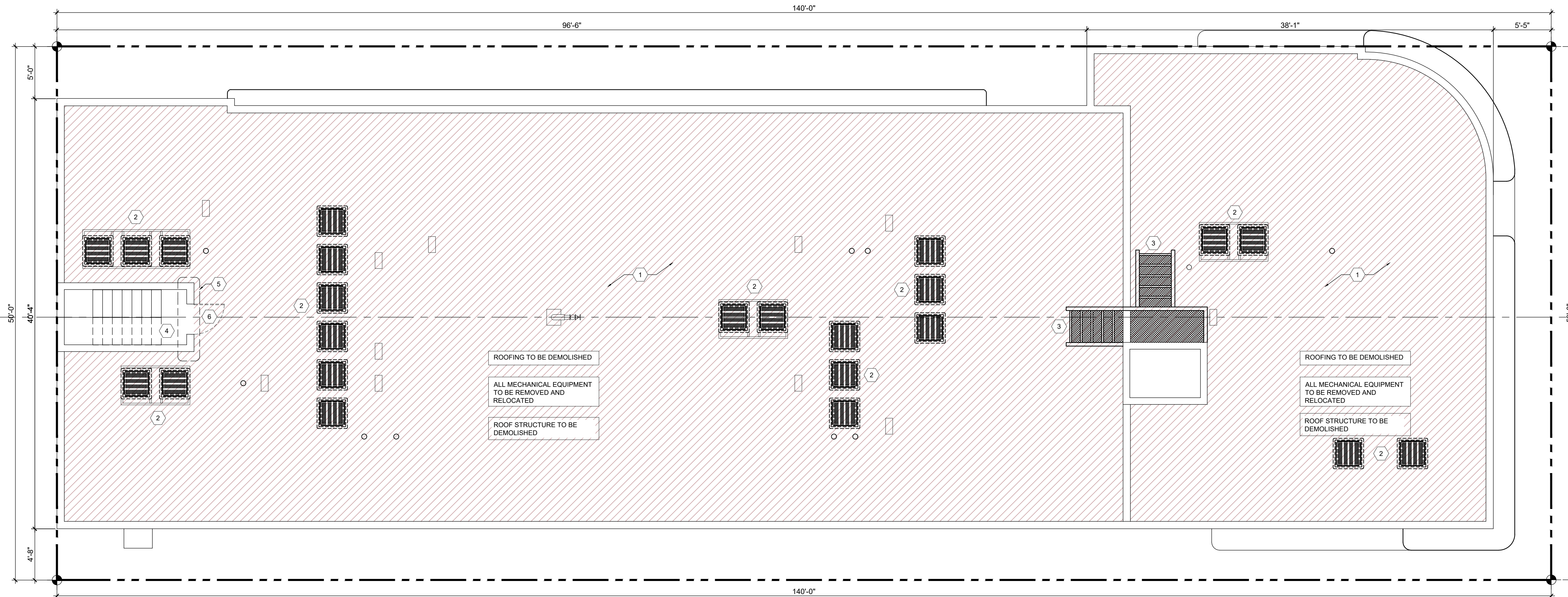
ARCHITECTS
P.A.

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MIAMI, FL 33138-4664
T 305.559.1250 F 305.551.1746

JOSE L GOMEZ
ARCHITECT

DWG. TITLE	DEMOLITION THIRD FLOOR PLAN
SCALE	3/16"=1'-0"
PROJECT NO.	
DATE	2022-12
SHEET NUMBER	06-16-22
	D-103

DATE REVISION



DEMOLITION ROOF PLAN

DEMOLITION KEY NOTES

- ① EXISTING ROOFING TO BE REMOVED
- ② EXISTING MECHANICAL EQUIPMENT TO BE REMOVED AND RELOCATED
- ③ EXISTING SERVICE STAIRS TO BE REMOVED
- ④ STAIR TO BE DEMOLISHED
- ⑤ WALL TO BE DEMOLISHED
- ⑥ EXISTING DOOR TO BE DEMOLISHED
- ▨ ROOF STRUCTURE TO BE DEMOLISHED

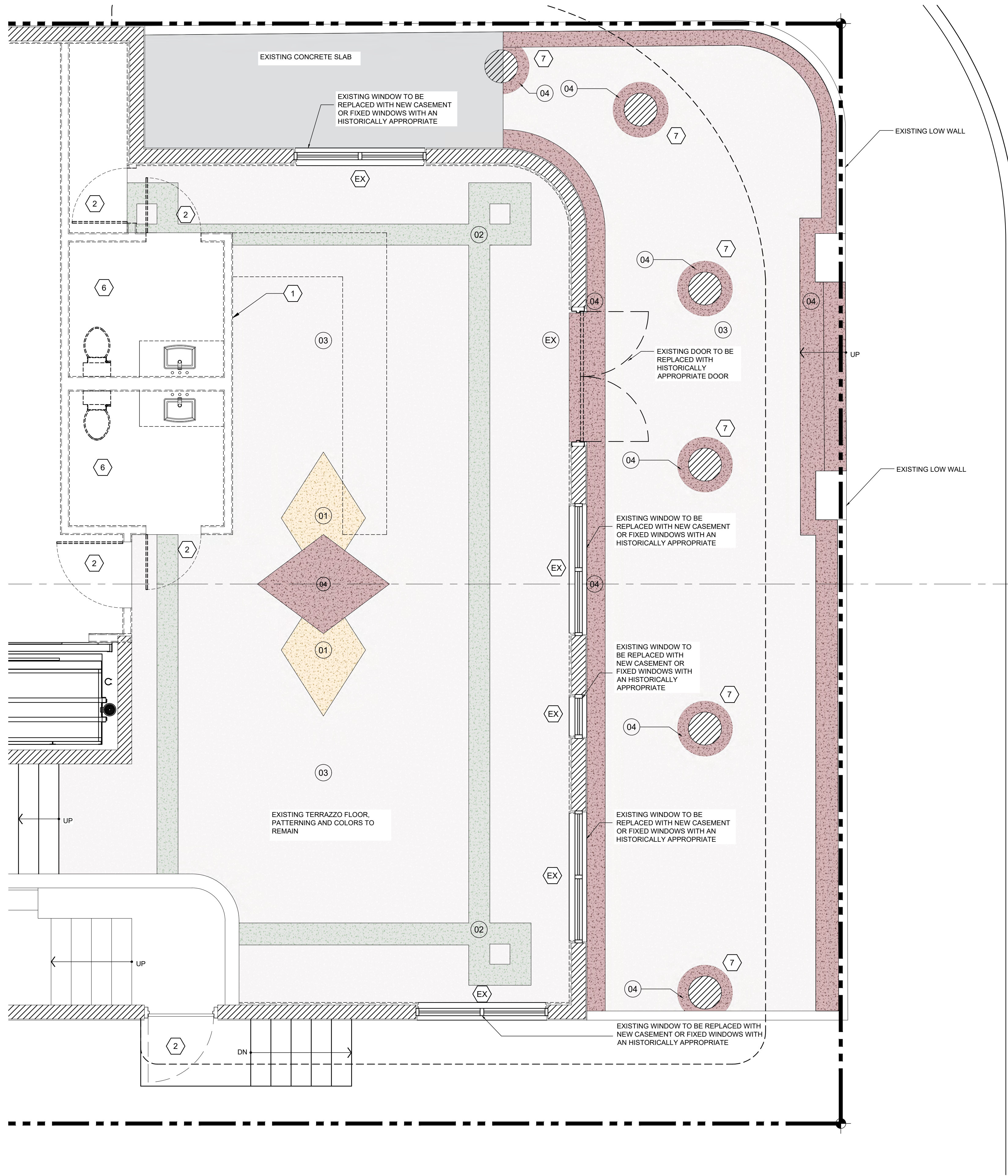
1360 COLLINS AVENUE - COMMODORE
 1360 COLLINS AVENUE
 MIAMI BEACH, 33139



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 8101 BISCAYNE BLVD. S. 309-310
 MIAMI, FL 33138-4664
 T 305.559.1250 F 305.551.1746

DWG. TITLE	DEMOLITION ROOF PLAN
SCALE	3/16"=1'-0"
PROJECT NO.	2022-12
DATE	06-16-22
SHEET NUMBER	D-104
DATE	REVISION

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DEMOLITION KEY NOTES

- REMOVE EXISTING INTERIOR PARTITION
- REMOVE EXISTING DOORS / FRAMES
- CEILING FINISHES AND LIGHTING FIXTURE TO BE REMOVED.
- REMOVE EXISTING PLUMBING FIXTURE AS INDICATED
- REMOVE EXISTING FLOORING WITHIN THE LIMITS OF THIS CONTRACT TO THE UNDERLYING SLAB
- BATHROOM TO BE DEMOLISH
- COLUMN MOLDINGS TO BE PRESERVED

LEGEND

- EXISTING WALL / PARTITION TO BE DEMOLISHED
- EXISTING INTERIOR/ EXTERIOR CMU / CONCRETE WALL TO REMAIN
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING DOOR AND FRAME TO BE REMOVED
- EXISTING WINDOW TO BE REPLACED WITH NEW CASEMENT OR FIXED WINDOWS WITH AN HISTORICALLY APPROPRIATE MOUNTING CONFIGURATION CONSISTENT WITH AVAILABLE HISTORICAL DOCUMENTATION
- EXISTING EXTERIOR DOOR TO BE REPLACED WITH HISTORICALLY APPROPRIATE DOORS



01 EXISTING YELLOW TERRAZZO TO REMAIN



02 EXISTING GREEN TERRAZZO TO REMAIN



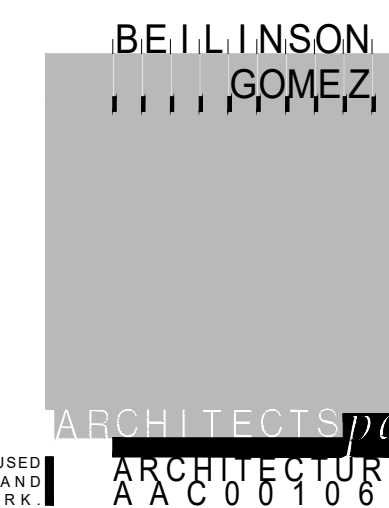
03 EXISTING WHITE TERRAZZO TO REMAIN



04 EXISTING RED TERRAZZO TO REMAIN

1360 COLLINS AVENUE - COMMODORE

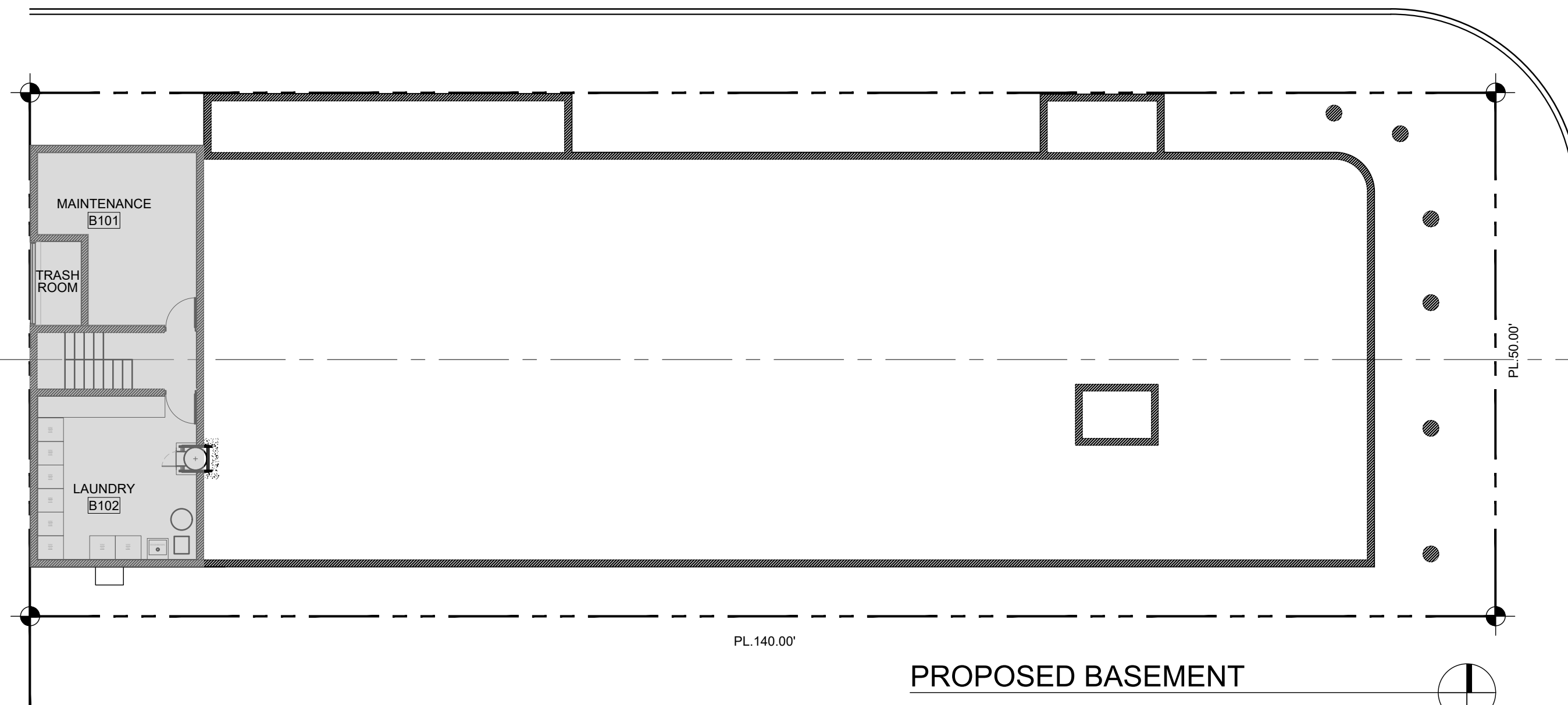
1360 COLLINS AVENUE
MIAMI BEACH, 33139



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MIAMI BEACH, FL 33138-4664
T 305.559.1250 F 305.551.1746

DWG. TITLE	ENLARGED DEMOLITION LOBBY FLOOR PLAN
SCALE	VARIABLE
PROJECT NO.	2022-12
DATE	09-23-15
SHEET NUMBER	D-105
DATE	REVISION

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AREA ANALYSIS

F.A.R. [Symbol]

LOT AREA 7,000 S.F.
EXISTING FAR 2.41 (16,871 SF)
TOTAL UNITS 45

BUILDING GROSS AREA

LEVEL	AREA S.F.
BASEMENT	869
GROUND FLOOR	5,160
SECOND FLOOR	5,521
THIRD FLOOR	5,521
TOTAL	16,871

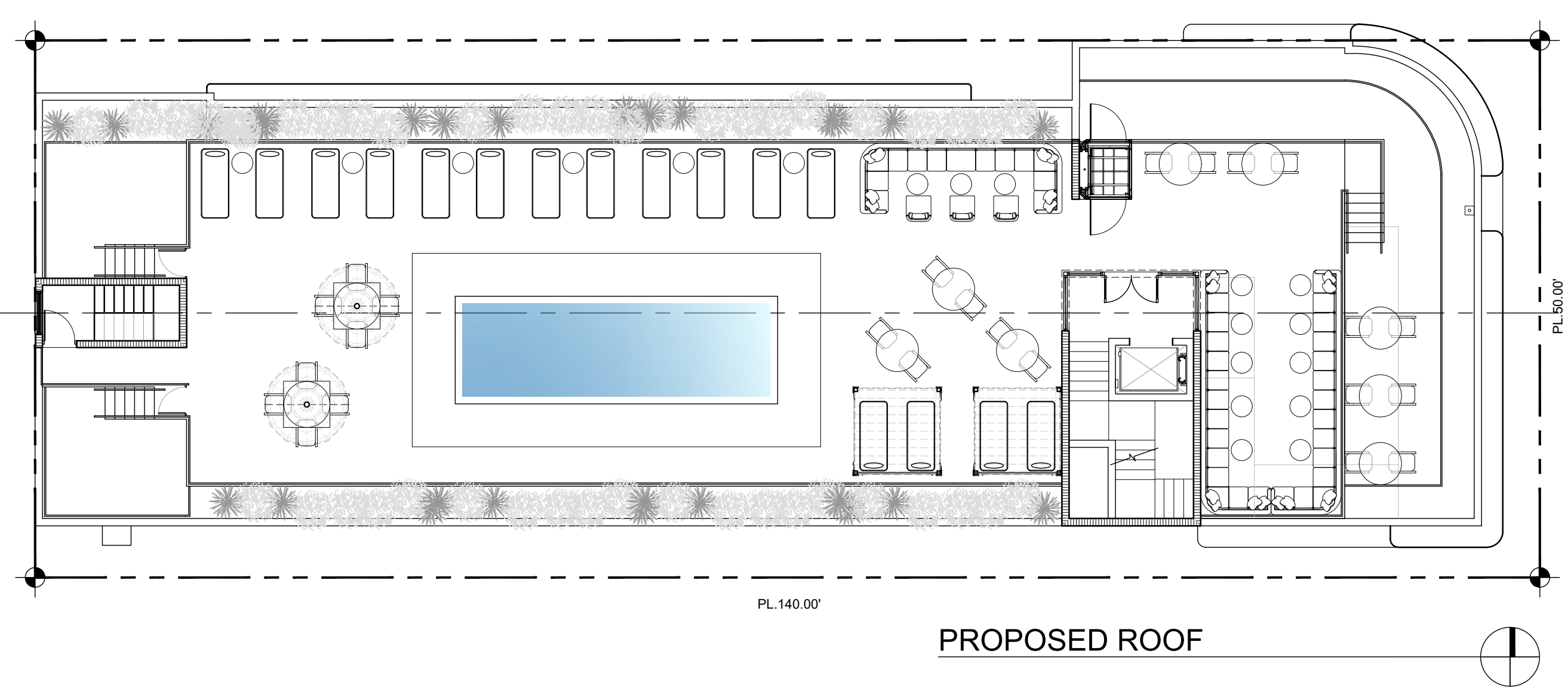
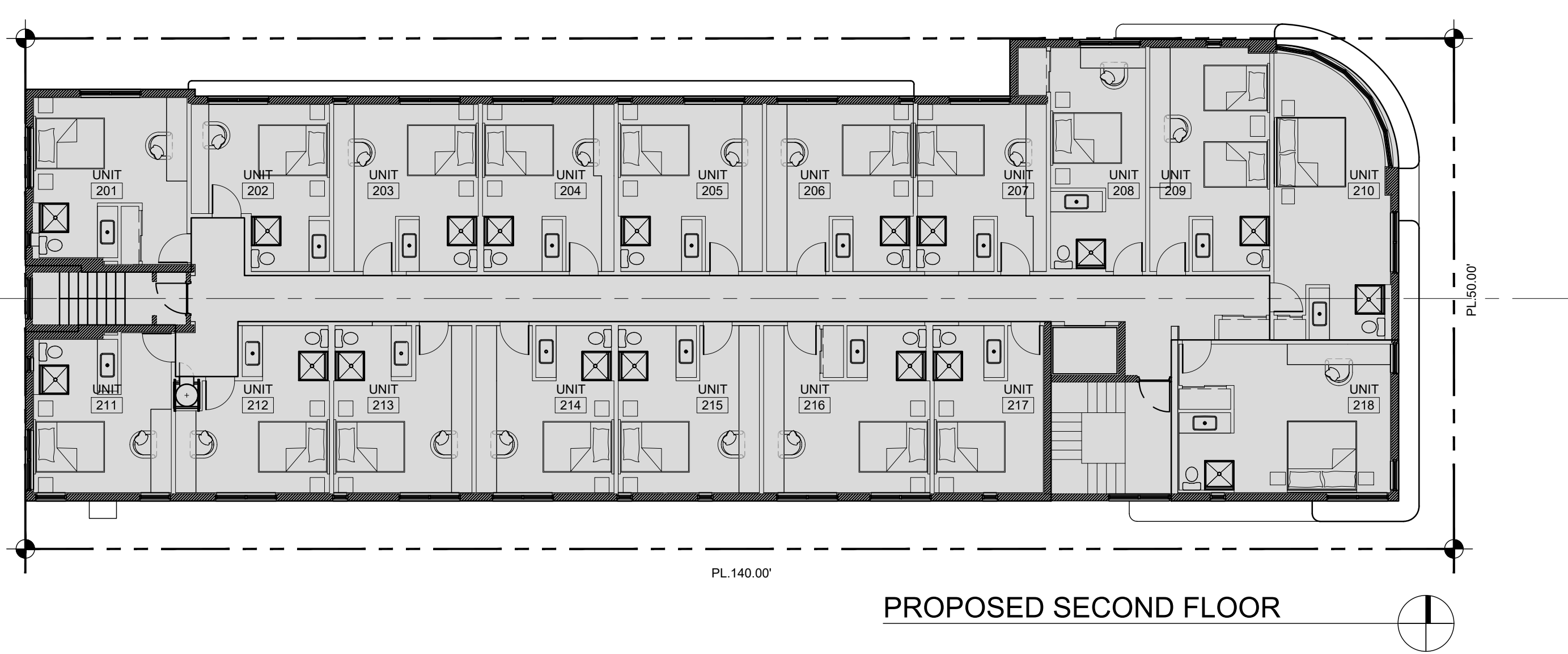
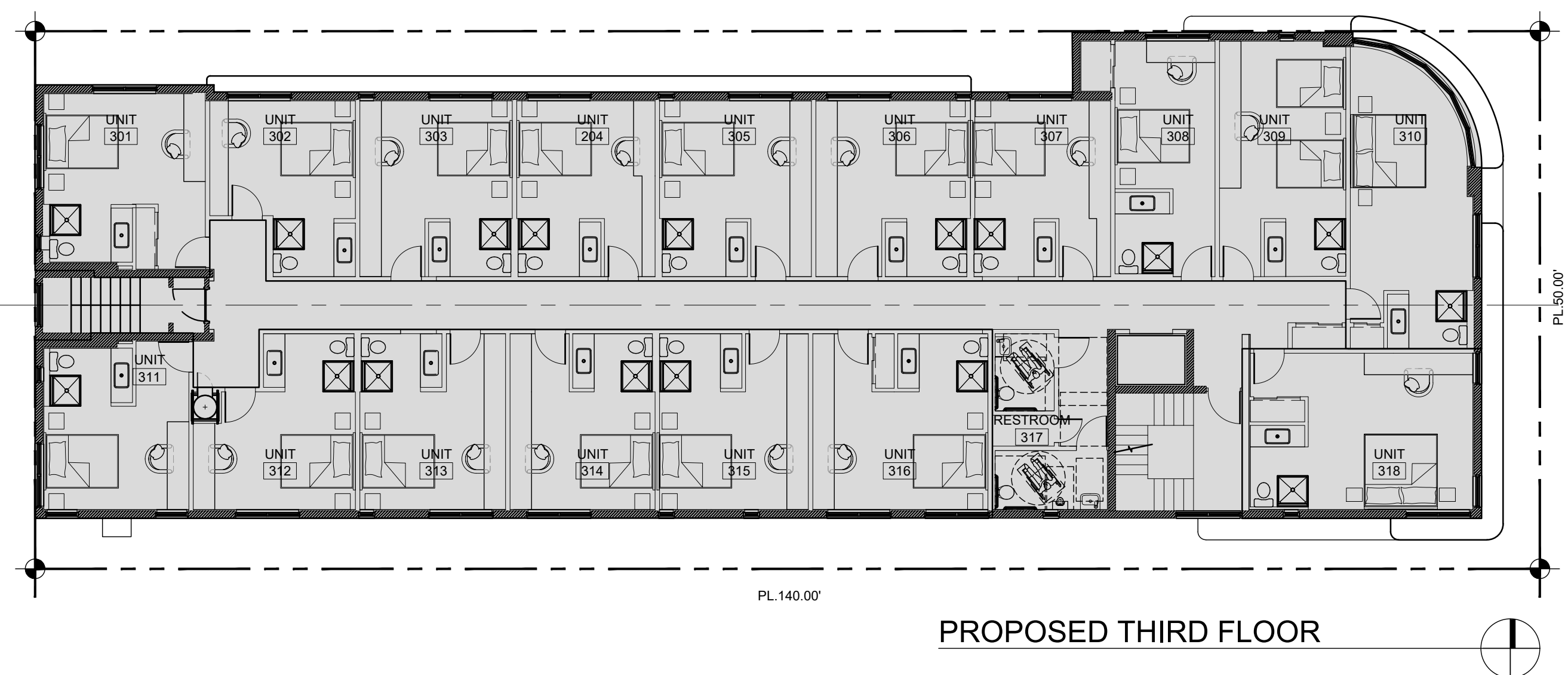
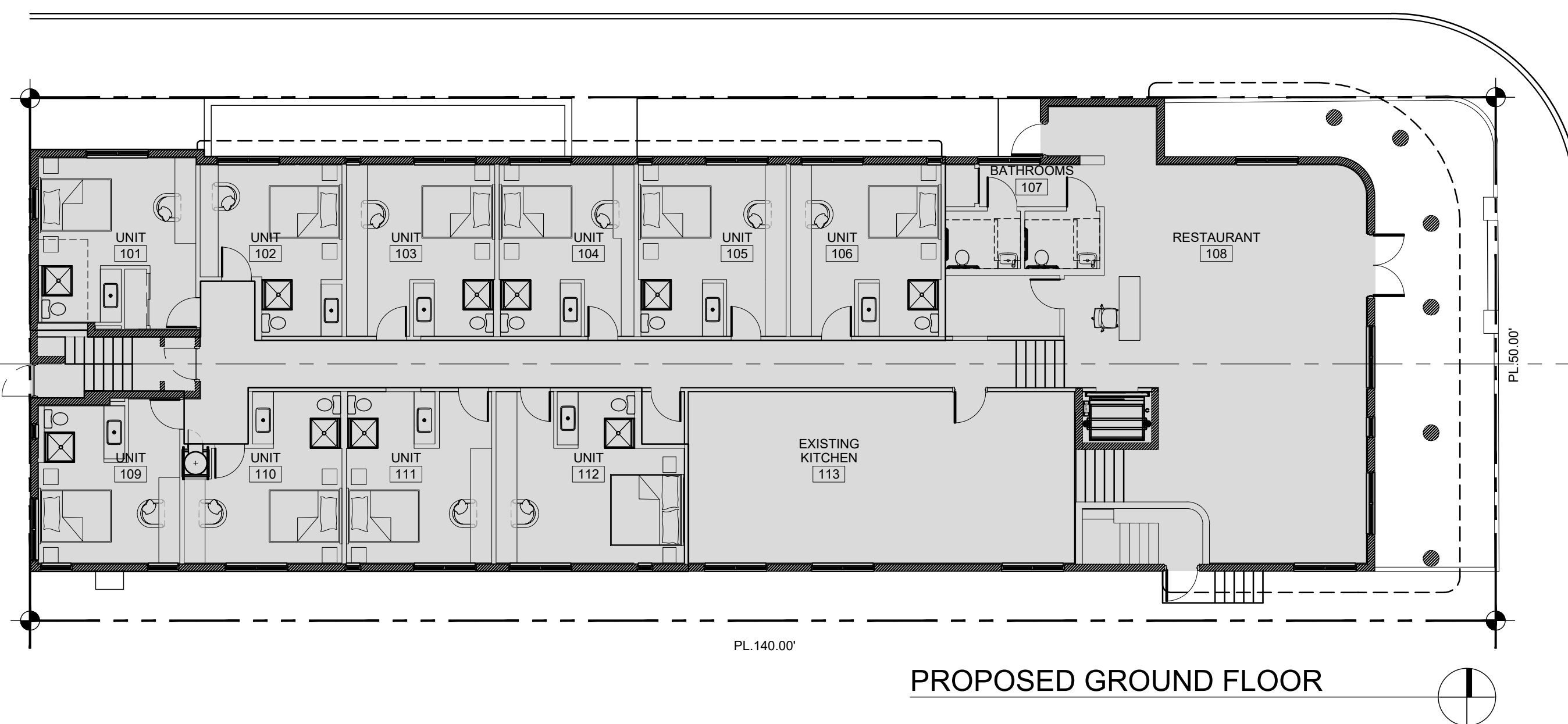
UNITS AREA

LEVEL	# OF UNITS	AREA S.F.
GROUND FLOOR	10	2,542
SECOND FLOOR	18	4,653
THIRD FLOOR	17	4,452
TOTAL	45	11,647

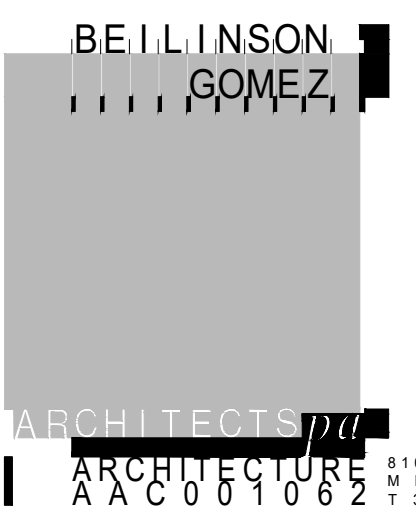
TOTAL UNITS PROVIDED: 45 UNITS
AVERAGE AREA: 261.5 SF
MINIMUM UNIT SIZE: 206.0 SF

UNITS AREA

UNIT #	SQ. FT.
UNIT 101-201-301	285
UNIT 102-202-302	215
UNIT 103-203-303	256
UNIT 104-204-304	234
UNIT 105-205-305	255
UNIT 106	264
UNIT 206-306	259
UNIT 207-307	229
UNIT 208-308	247
UNIT 109	248
UNIT 209-309	281
UNIT 110-212-312	231
UNIT 210-310	326
UNIT 111	251
UNIT 211-311	248
UNIT 112	303
UNIT 213-313	245
UNIT 214-314	244
UNIT 215-315	251
UNIT 216	292
UNIT 316	297
UNIT 217	206
UNIT 218-318	349



1360 COLLINS AVENUE - COMMODORE
1360 COLLINS AVENUE
MIAMI BEACH, 33139



DWG. TITLE
PROPOSED AREA ANALYSIS

SCALE
3/32"=1'-0"

PROJECT NO.
2022-12




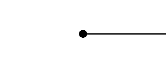

DATE
06-16-22

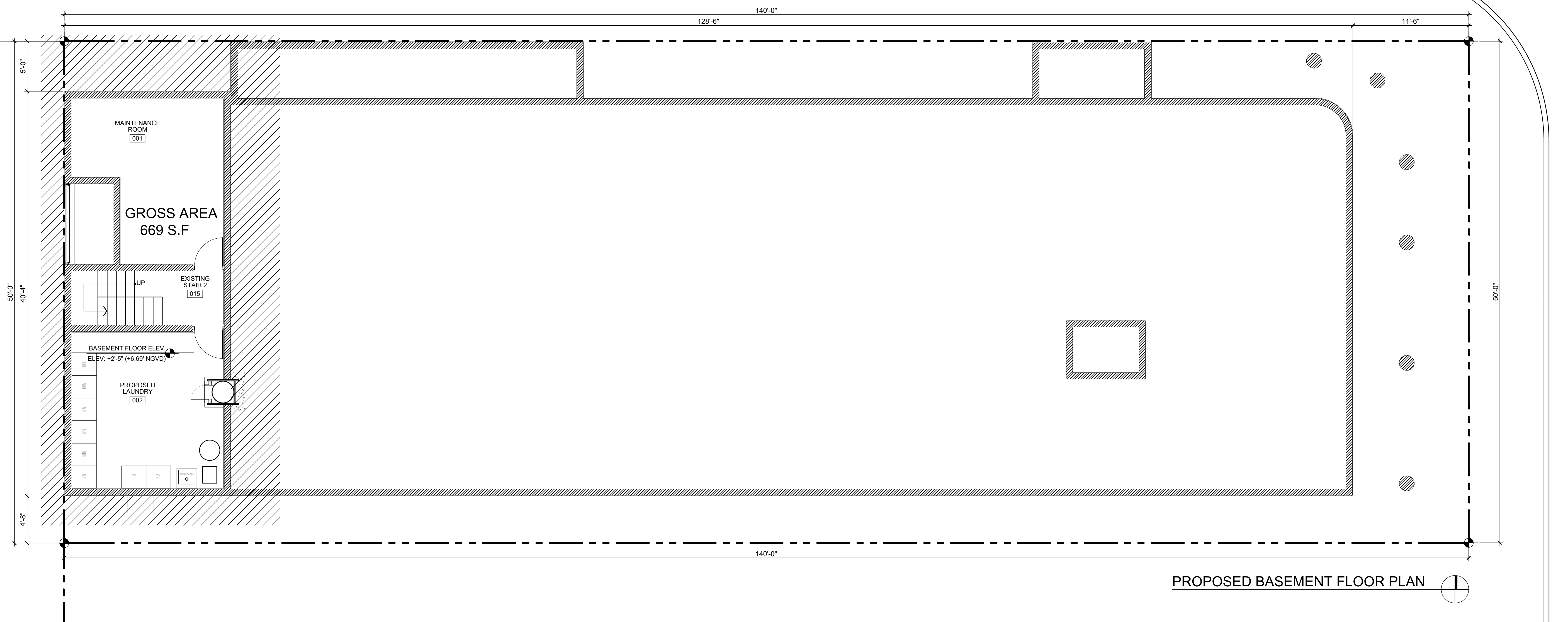
SHEET NUMBER
A-AREA

DATE	REVISION

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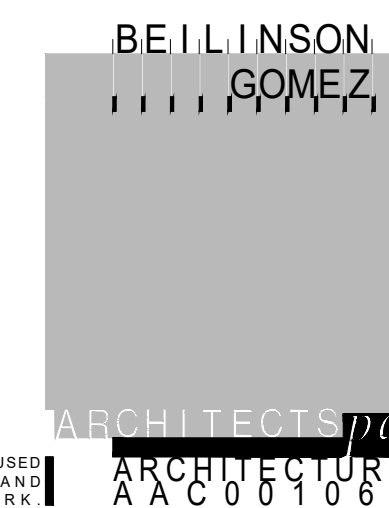
LEGEND

-  EXISTING WALL / PARTITION TO REMAIN
-  EXISTING INTERIOR/ EXTERIOR CMU / CONCRETE WALL TO REMAIN
-  NEW INTERIOR PARTITION
-  STAIR DIRECTION
-  ROOM NAME








PROPOSED BASEMENT FLOOR PLAN

1360 COLLINS AVENUE - COMMODORE
 1360 COLLINS AVENUE
 MIAMI BEACH, 33139

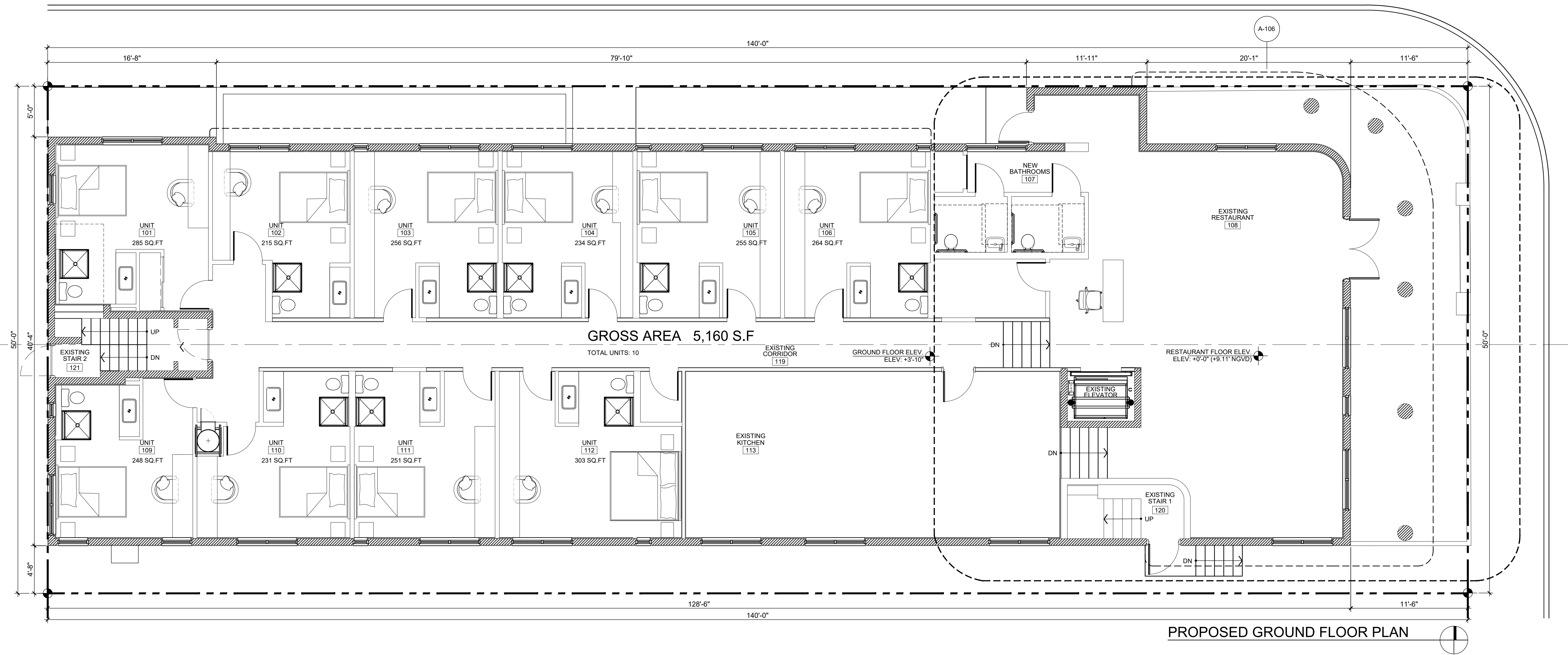


DWG. TITLE	PROPOSED BASEMENT FLOOR PLAN
SCALE	3/16"=1'-0"
PROJECT NO.	2022-12
DATE	06-16-22
SHEET NUMBER	A-101
DATE	REVISION

LEGEND

-  EXISTING WALL / PARTITION TO REMAIN
-  EXISTING INTERIOR/ EXTERIOR CMU / CONCRETE WALL TO REMAIN
-  NEW INTERIOR PARTITION
-  STAIR DIRECTION
-  ROOM NAME

UNIT AREAS	
UNIT #	SQ.FT.
UNIT 101	285
UNIT 102	215
UNIT 103	256
UNIT 104	234
UNIT 105	255
UNIT 106	264
UNIT 109	248
UNIT 110	231
UNIT 111	251
UNIT 112	303
TOTAL	2,542



1360 COLLINS AVENUE - COMMODORE

1360 COLLINS AVENUE
MIAMI BEACH, 33139

BEILINSON
GOMEZ

ARCHITECTS P.A.

ARCHITECTURE

A A C 0 0 1 0 6 2

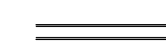

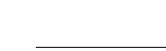


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MIAMI BEACH, FL 33141
T 305.559.1250 F 305.551.1746

ROSE J. GOMEZ

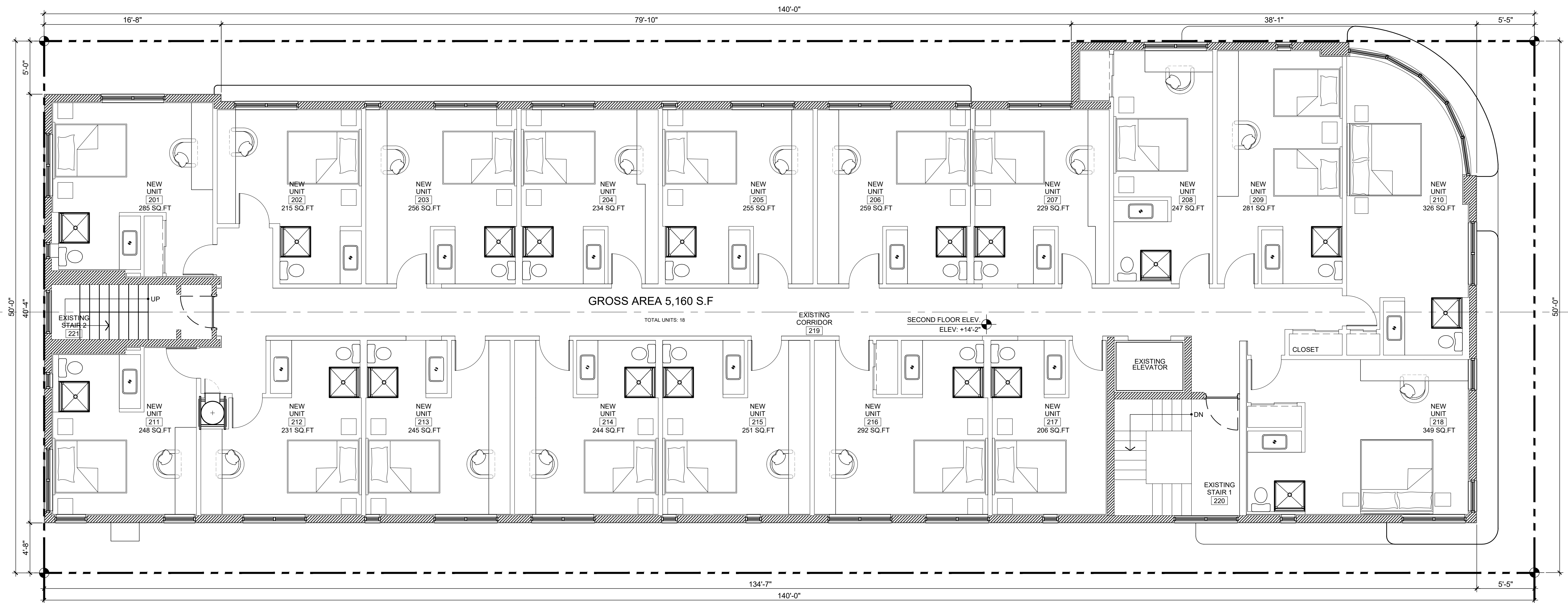
DWG. TITLE	PROPOSED GROUND FLOOR PLAN
SCALE	3/16"=1'-0"
PROJECT NO.	
DATE	2022-12
SHEET NUMBER	06-16-22

A-102

LEGEND

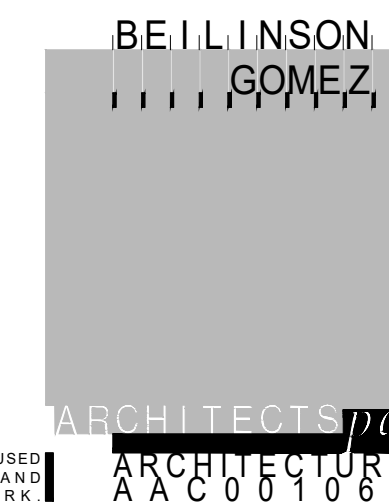
-  EXISTING WALL / PARTITION TO REMAIN
-  EXISTING INTERIOR/ EXTERIOR CMU / CONCRETE WALL TO REMAIN
-  NEW INTERIOR PARTITION
-  STAIR DIRECTION
-  ROOM NAME

UNIT AREAS	
UNIT #	SQ.FT.
UNIT 201	285
UNIT 202	215
UNIT 203	256
UNIT 204	234
UNIT 205	255
UNIT 206	259
UNIT 207	229
UNIT 208	247
UNIT 209	281
UNIT 210	326
UNIT 211	248
UNIT 212	231
UNIT 213	245
UNIT 214	244
UNIT 215	251
UNIT 216	292
UNIT 217	206
UNIT 218	349
TOTAL	4,653



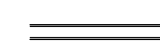

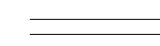
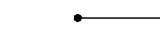

PROPOSED SECOND FLOOR PLAN

1360 COLLINS AVENUE - COMMODORE
 1360 COLLINS AVENUE
 MIAMI BEACH, 33139

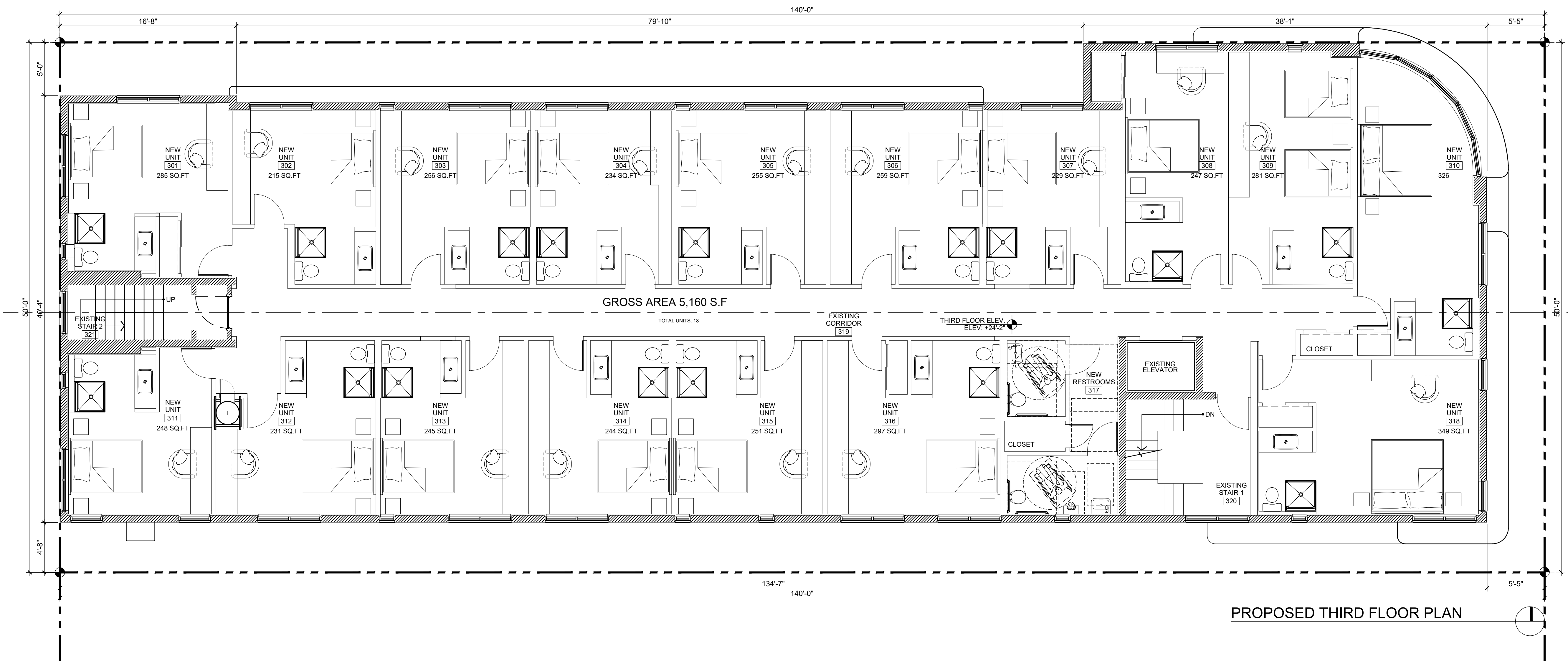


DWG. TITLE	PROPOSED SECOND FLOOR PLAN
SCALE	3/16"=1'-0"
PROJECT NO.	
DATE	2022-12
SHEET NUMBER	06-16-22
	A-103

LEGEND

-  EXISTING WALL / PARTITION TO REMAIN
-  EXISTING INTERIOR/ EXTERIOR CMU / CONCRETE WALL TO REMAIN
-  NEW INTERIOR PARTITION
-  STAIR DIRECTION
-  ROOM NAME

UNIT AREAS	
UNIT #	SQ.FT.
UNIT 301	285
UNIT 302	215
UNIT 303	256
UNIT 304	234
UNIT 305	255
UNIT 306	259
UNIT 307	229
UNIT 308	247
UNIT 309	281
UNIT 310	326
UNIT 311	248
UNIT 312	231
UNIT 313	245
UNIT 314	244
UNIT 315	251
UNIT 316	297
UNIT 318	349
TOTAL	4,452



1360 COLLINS AVENUE - COMMODORE
1360 COLLINS AVENUE
MIAMI BEACH, 33139



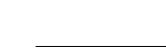
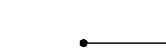

**BEILINSON
GOMEZ**

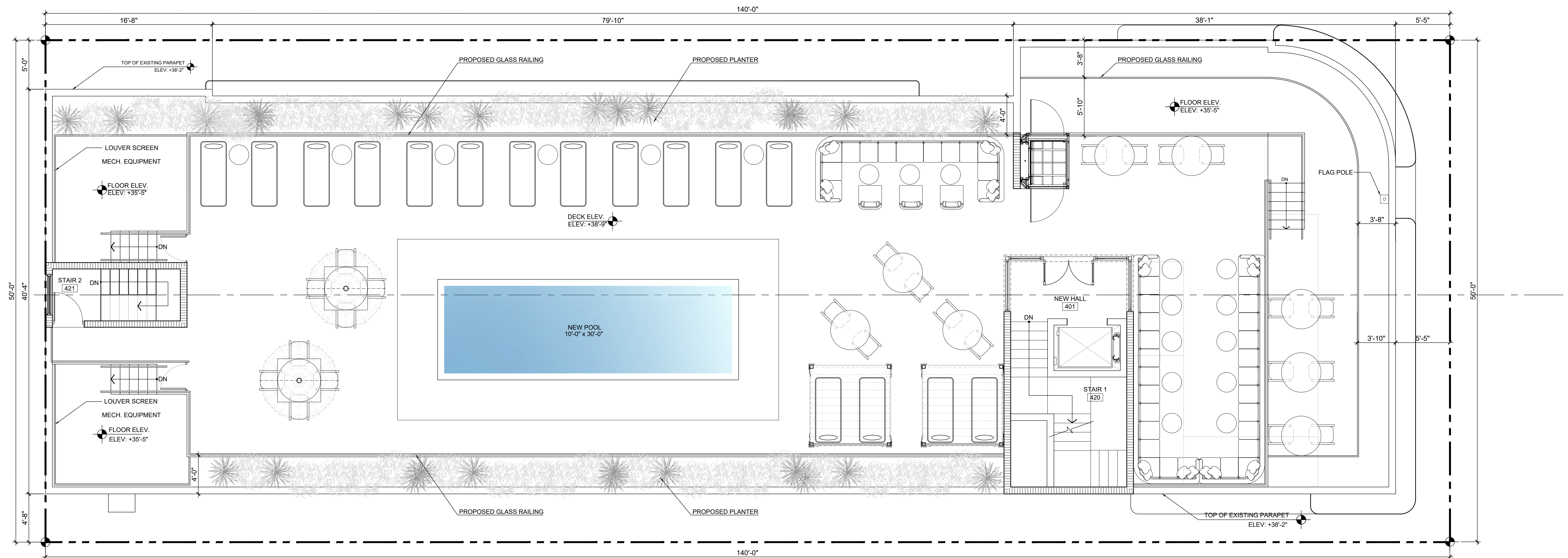
ARCHITECTS P.A.
ARCHITECTURE
A A C 0 0 1 0 6 2

DWG. TITLE	PROPOSED THIRD FLOOR PLAN
SCALE	3/16"=1'-0"
PROJECT NO.	2022-12
DATE	06-16-22
SHEET NUMBER	A-104
DATE	REVISION

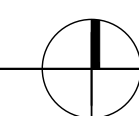
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LEGEND

-  EXISTING WALL / PARTITION TO REMAIN
-  EXISTING INTERIOR/ EXTERIOR CMU / CONCRETE WALL TO REMAIN
-  NEW INTERIOR PARTITION
-  STAIR DIRECTION
-  ROOM NAME



PROPOSED ROOF PLAN



1360 COLLINS AVENUE - COMMODORE

1360 COLLINS AVENUE
MIAMI BEACH, 33139

BEILINSON
GOMEZ

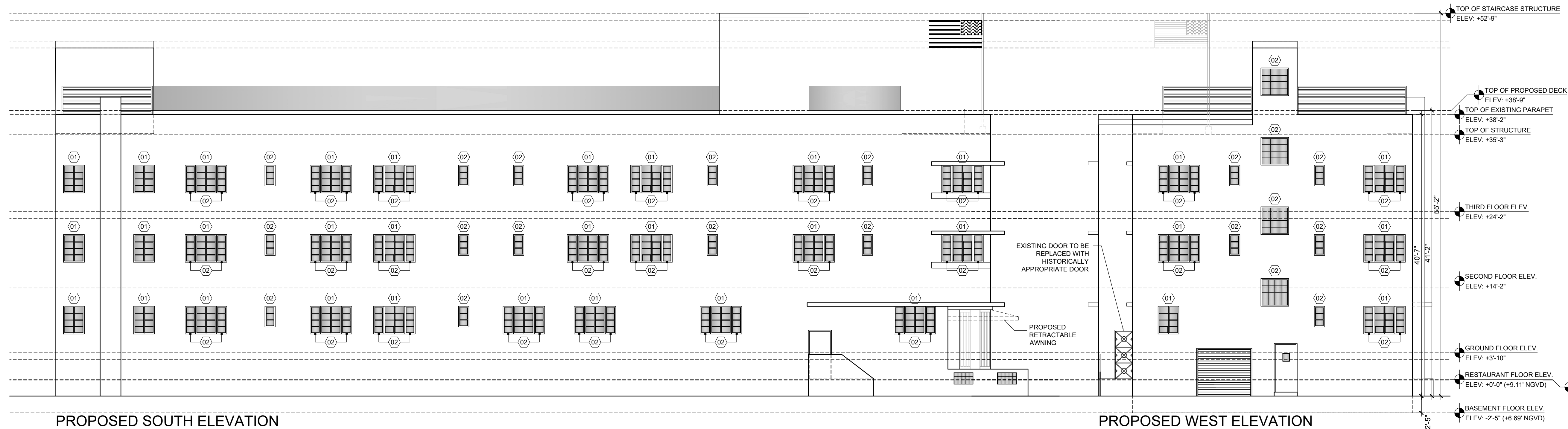
ARCHITECTS
P.A.

8101 BISCAYNE BLVD. # 309-310 MIAMI FL 33138-4666
T 305.559.1250 F 305.551.1746

ROSE + GOMEZ

DWG. TITLE	PROPOSED ROOF PLAN
SCALE	3/16"=1'-0"
PROJECT NO.	
DATE	2022-12
SHEET NUMBER	06-16-22
	A-105

DATE	REVISION

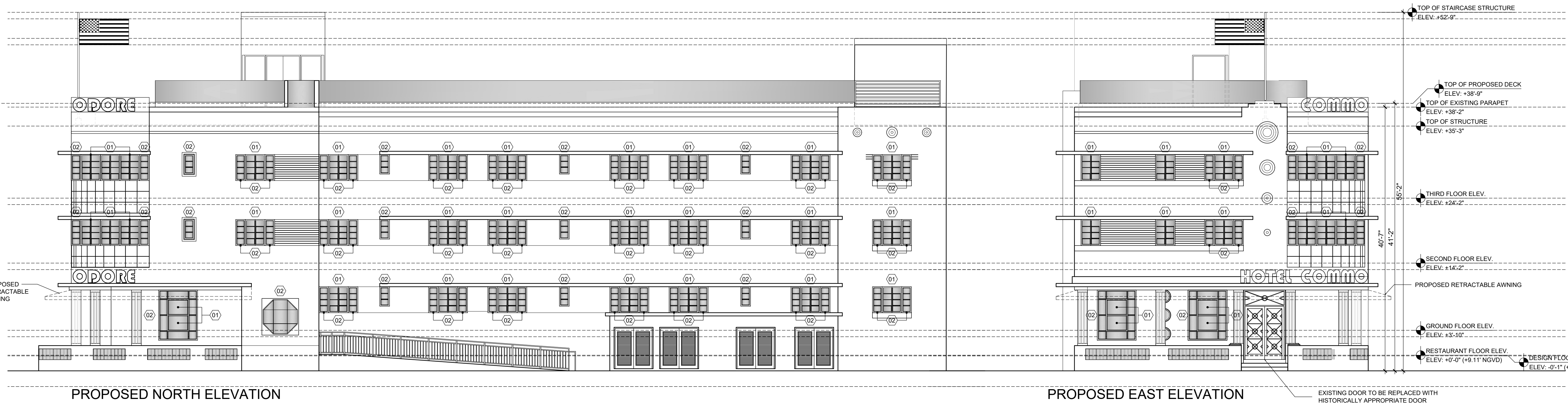


PROPOSED SOUTH ELEVATION

PROPOSED WEST ELEVATION

LEGENDS

- 01 EXISTING WINDOWS TO BE REPLACED WITH NEW CASEMENT WINDOWS WITH AN HISTORICALLY APPROPRIATE MOUNTING CONFIGURATION CONSISTENT WITH AVAILABLE HISTORICAL DOCUMENTATION
- 02 EXISTING WINDOWS TO BE REPLACED WITH NEW FIXED WINDOWS WITH AN HISTORICALLY APPROPRIATE MOUNTING CONFIGURATION CONSISTENT WITH AVAILABLE HISTORICAL DOCUMENTATION



PROPOSED NORTH ELEVATION

PROPOSED EAST ELEVATION

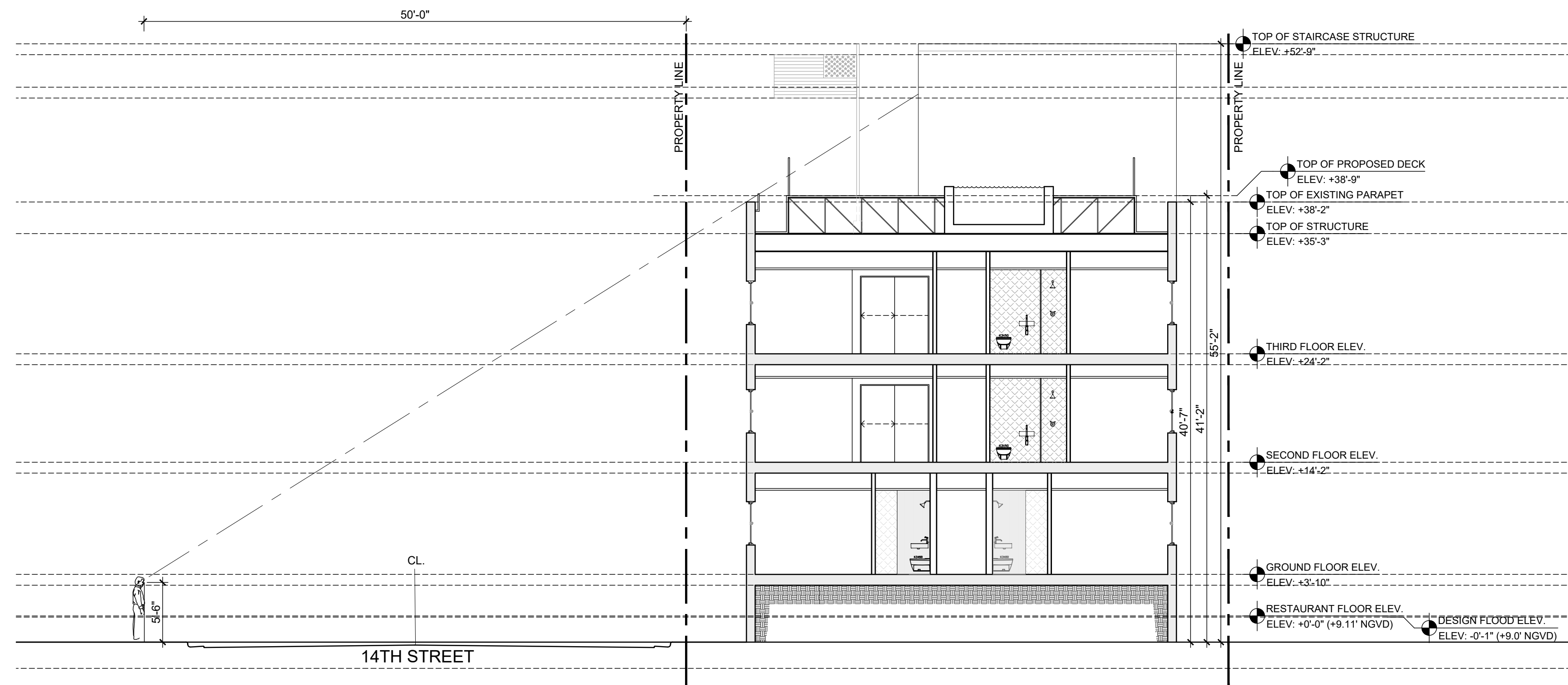
1360 COLLINS AVENUE - COMMODORE

1360 COLLINS AVENUE
MIAMI BEACH, 33139

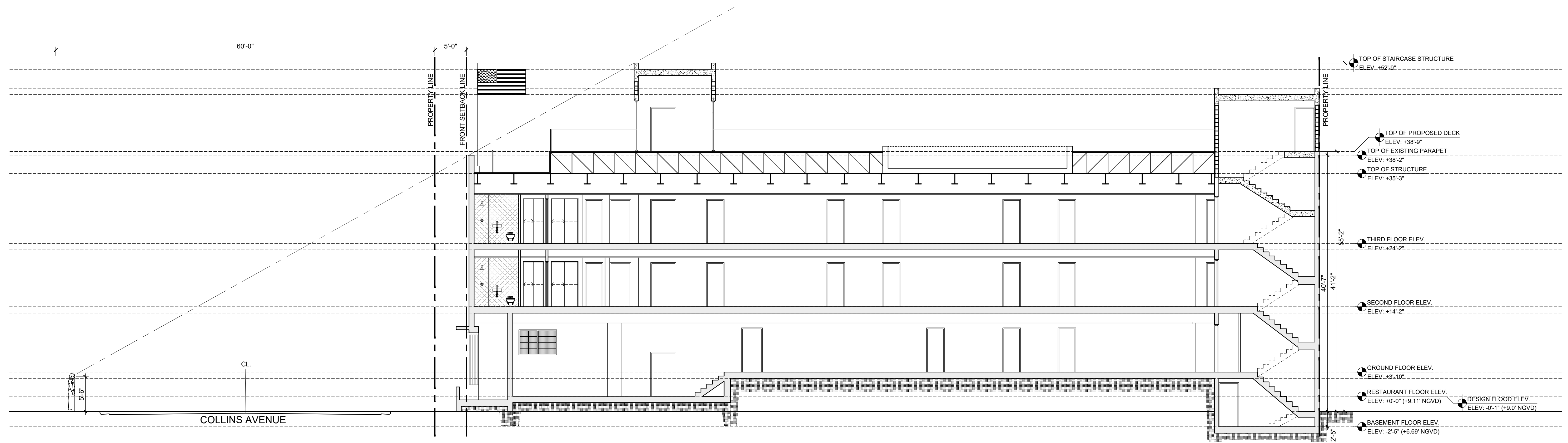
BEILINSON
GOMEZ

ARCHITECTS P.A.
ARCHITECTURE
6101 BISCAYNE BLVD. S. 309, 310
M.I.A.M.I., FL. 33133 - 4684
T 305.559.1250 F 305.551.1746

DWG. TITLE	PROPOSED ELEVATIONS
SCALE	1/8"=1'-0"
PROJECT NO.	2022-12
DATE	06-16-22
SHEET NUMBER	A-201



PROPOSED NORTH SECTION



PROPOSED EAST SECTION

1360 COLLINS AVENUE - COMMODORE
 1360 COLLINS AVENUE
 MIAMI BEACH, 33139

BEILINSON
 GOMEZ

ARCHITECTS P.A.
 A A C 0 0 1 0 6 2

8101 BISCAYNE BLVD. S. 309-310
 MIAMI, FL 33138-4684
 T 305.559.1250 F 305.551.1746

ROSE J. GOMEZ

DWG. TITLE
 PROPOSED SECTIONS

SCALE
 VARIES

PROJECT NO.
 2022-12

DATE
 06-16-22

SHEET NUMBER
 A-301

DATE REVISION