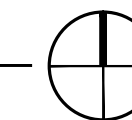




LOCATION MAP
N.T.S.



1060 W 47TH STREET. MIAMI BEACH FL,33140



ENLARGED LOCATION MAP
N.T.S.



Project Name:

JF SOUTH BEACH
RESIDENCE

1060 W 47 ST.
MIAMI BEACH, FL.

EXCEPT WHERE SHOWN OTHERWISE, ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE SHALL BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS.

Revisions

No.	Description	Date

ARCHITECT

ROBERT E. CHISHOLM, P.A.
A R 0 0 7 4 4 2

CONSULTANTS

Project No. 1816

Scale: N.T.S.

Date: 12/12/2016

Drawn: JB

Checked: MP

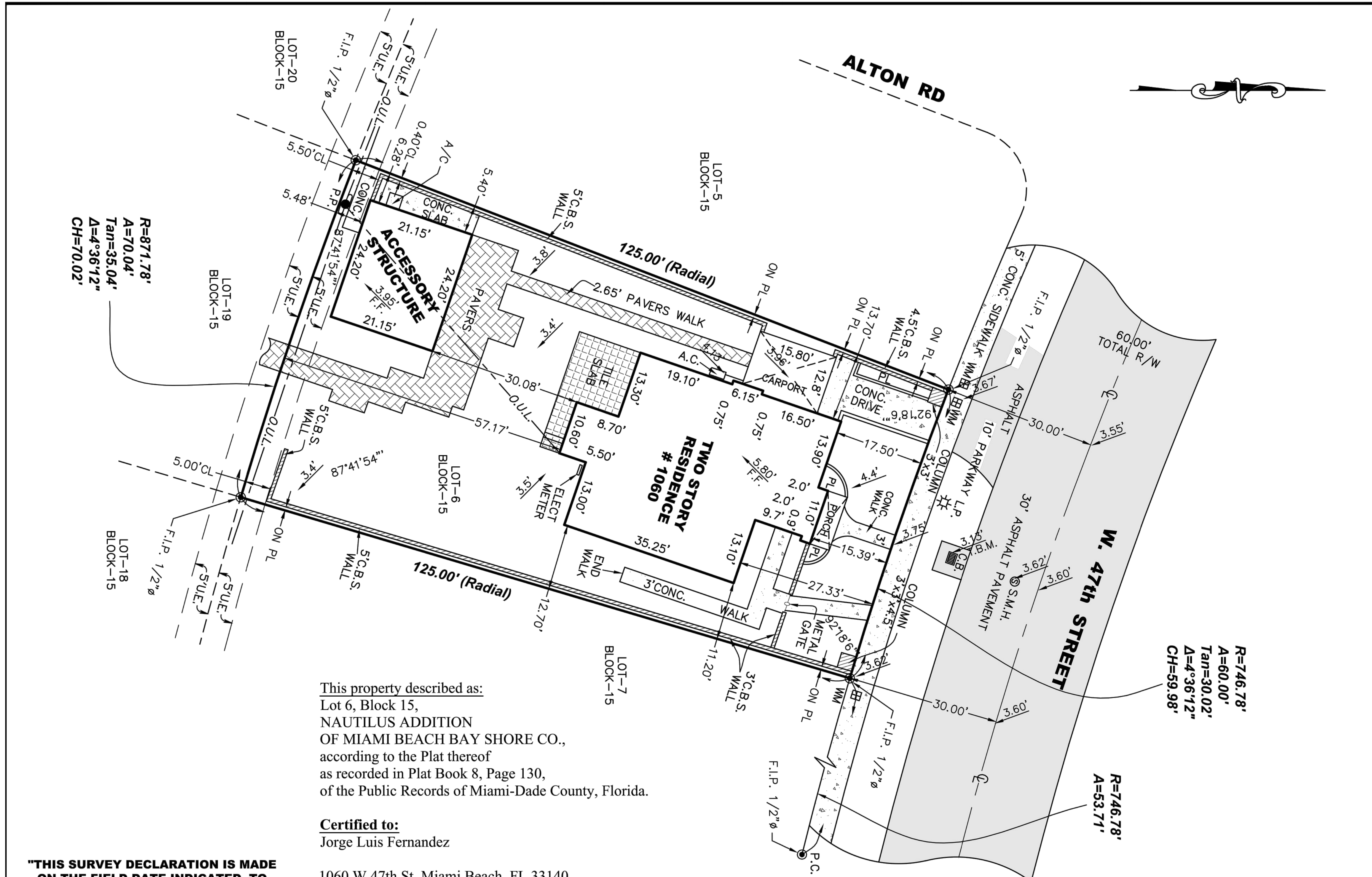
Submittal: DRB

Cad File: A001

Drawing Title:

LOCATION MAP

Sheet No. A001



LEGEND
A = Arc
ASPH = Asphalt
BM = Bench Mark
BRG = Bearing
CATV = Cable TV
CB = Catch basin
CBS = Concrete Block Structure
CH = Chord
Chatta = Chattahoochee
CL = Center Line
CLF = Chain Link Fence
CL = Clear
CONC = Concrete
D = Delta
Ø = Diameter
DH = Drill Hole
DME = Drainage & Maintenance Easement
E.B. = Electric Box
Enc. = Encroachment
F.F. = Finish Floor
F.H. = Fire Hydrant
F.I.R. = Found Iron Rebar
FPL = Florida Power & Light
F.I.P. = Found Iron Pipe
F.N. = Found Nail
L.P. = Light Pole
M = Measured
M.F. = Metal Fence
M.H. = Manhole
M = Monument Line
MON. = Monument
N/A = Not Applicable
N/D = Nail & Disc
NTS = Not to Scale
O/S = Offset
O.U.L. = Overhead Utility Lines
OH = Overhang
P = Plat
PB = Plat Book
PC = Point of Curvature
P.C.C. = Point of Compound Curvature
PCP = Permanent Control Point
PG = Page
P.I. = Point of Intersection
PL = Property Line
PL = Planter
P.O.B. = Point of Beginning
P.O.C. = Point of Commencement
P.P. = Power Pole
P.R.M. = Permanent Reference Monument
P.R.C. = Point of Reverse Curvature
PT = Point of Tangency
R = Radius
R/R = Railroad
PSM = Professional Surveyor Mapper
R/W = Right-of-Way
SWK = Sidewalk
Sec. = Section
(TYP) = Typical
T = Tangent
U.E. = Utility Easement
W.F. = Wood Fence
W.M. = Water Meter
W.V. = Water Valve
XXX = Denotes Spot Elevations Taken

NOTE: All roads shown hereon are public unless otherwise noted.
Distance along boundary are recorded and measured unless otherwise noted.
The graphic portions of this document are intended to be displayed at the graphic name scales as depicted. Said scale may be altered in reproductions and as such, should be considered when obtaining scaled data.
Accuracy: The expected use of land as classified in the Standards of Practice (SJ17-FAC), is "Suburban". The Minimum relative distance accuracy for the type of boundary survey is 1 foot in 7,500 feet. The accuracy obtained by measurement and calculation of a closed geometric figure was found to exceed this requirement.
Contact the appropriate authorities prior to any design work or excavation on the herein described parcel for building, zoning information and utilities location.

This property described as:
Lot 6, Block 15,
NAUTILUS ADDITION
OF MIAMI BEACH BAY SHORE CO.,
according to the Plat thereof
as recorded in Plat Book 8, Page 130,
of the Public Records of Miami-Dade County, Florida.

Certified to:
Jorge Luis Fernandez
1060 W 47th St, Miami Beach, FL 33140
Lot Area: ± 8,127 sq.ft.
Elevations shown refer to N.G.V.D. 1929.
BM # D-132-R (MIAMI-DADE)
Elevation = 8.23 ft (N.G.V.D.)

"THIS SURVEY DECLARATION IS MADE ON THE FIELD DATE INDICATED, TO THE OWNER(S) LISTED. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS."

Bearing, if any, shown based on N/A (reference) N/A

REVISIONS: 07/11/16 Survey update and tree survey 08/19/16 Elevations added			
FLOOD ZONE AE	COMM. No. 120651	PANEL No. 0309	SUFFIX: L
F.I.R.M.DATE 09 / 11 / 09	F.I.R.M.INDEX 09 / 11 / 09	BASE ELEV. + 7 FT	Not valid unless it bears the signature and the original raised seal of Florida licensed Surveyor and Mapper. N.G.V.D.

TOPOGRAPHIC SURVEY.
I HEREBY CERTIFY: that this survey meets the Standards of Practice as set forth by the FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS in chapter 5J-17 Florida Administrative Code, pursuant to Section 472.027 Florida Statutes.
Signature
RENE AIGUESVIVES 11/13/15
PROFESSIONAL SURVEYOR AND MAPPER No. 4327. State of Florida.

Alvarez, Aiguesvives and Associates, Inc.
Surveyors, Mappers and Land Planners
5701 S.W. 107th Avenue #204, Miami, FL 33173
Phone 305.220.2424 Fax 305.552.8181
L.B. No. 6867 / E-mail: aaasurvey@aol.com

Field Date	Scale:	Drawn by:	Drwg. No.
11/12/15	1" = 20'	R.S.	15-17978

Project Name:
JF SOUTH BEACH RESIDENCE

1060 W 47 ST.
MIAMI BEACH, FL

Revisions

No.	Description	Date

ARCHITECT
ROBERT E. CHISHOLM, P.A.
A R 0 0 7 4 4 2

CONSULTANTS

Project No.: 1816
Scale: N.T.S.
Date: 12/12/2016
Drawn by: JB
Checked: MP
Submittal: DRB
Cad File: AS001

Drawing Title:
SURVEY
Sheet No. AS001

MIAMI BEACH

Planning Department, 1700 Convention Center Drive
 Miami Beach, Florida 33139, www.miamibeachfl.gov
 305.673.7550

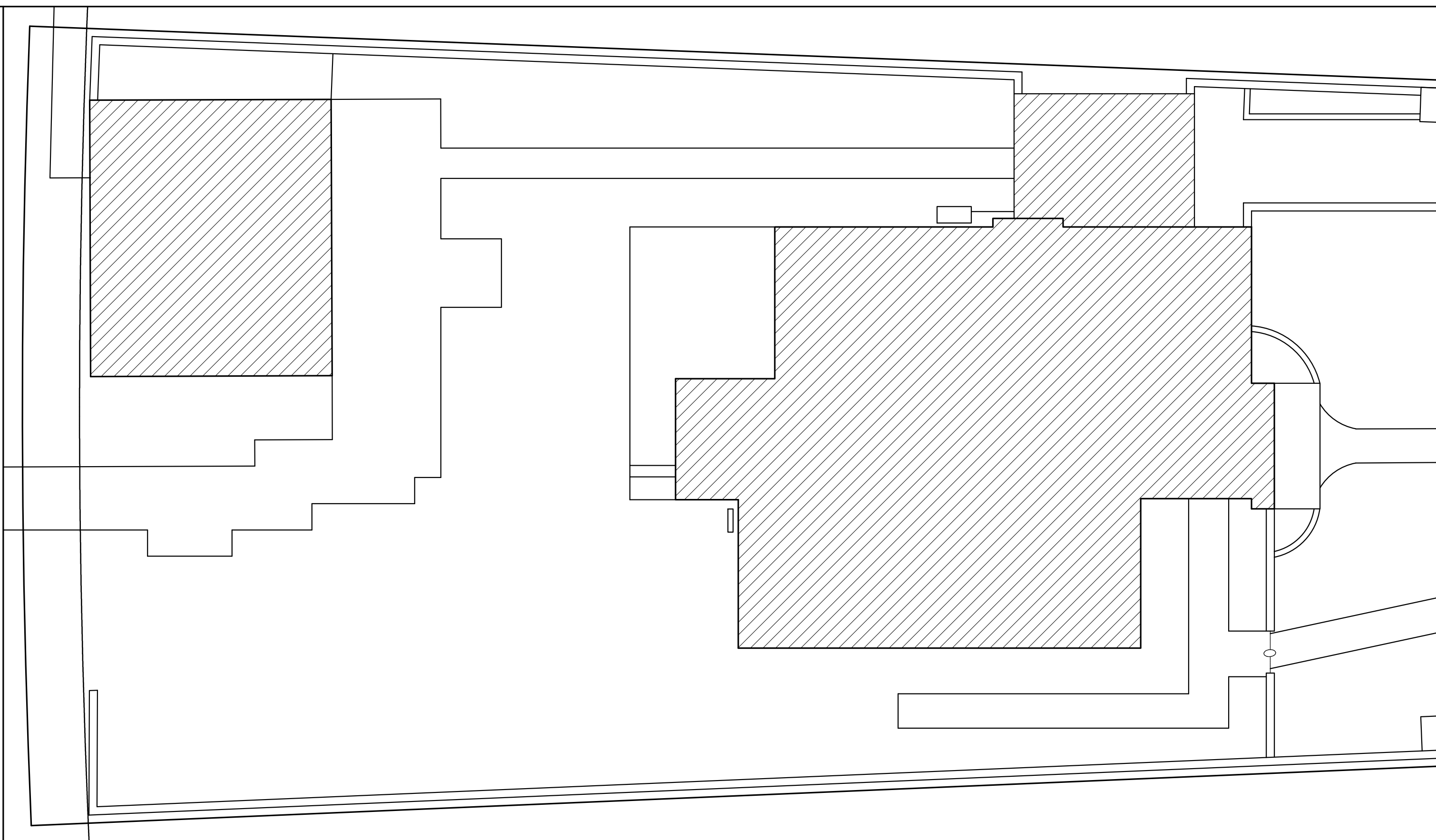
SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEM #	Zoning Information		
1	Address:	1060 W 47th St. Miami Beach, FL 33140	
2	Folio number(s):	02-3222-014-1500	
3	Board and file numbers :	N/A	
4	Year built:	1929	Zoning District: RS-4
5	Based Flood Elevation:	8'	Grade value in NGVD: 3.75' NGVD
6	Adjusted grade (Flood+Grade/2):	6.375' NGVD	Free board: 1'
7	Lot Area:	8,127.50	
8	Lot width:	70'	Lot Depth: 125'
9	Max Lot Coverage SF and %:	2,438.25 (30%)	Proposed Lot Coverage SF and %: 2,399 (29.5%)
10	Existing Lot Coverage SF and %:	2,639 (32.5%)	Lot coverage deducted (garage-storage) SF:
11	Front Yard Open Space SF and %:	695 (57%)	Rear Yard Open Space SF and %: 977 (70%)
12	Max Unit Size SF and %:	4,063.75 (50%)	Proposed Unit Size SF and %: 3,730.83 (46%)
13	Existing First Floor Unit Size:	2437.83 SF	Proposed First Floor Unit Size: 2398.83 SF
14	Existing Second Floor Unit Size		Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home require DRB Approval) 1,332 (70%)
15		400 SF	Proposed Second Floor Unit Size SF and % : 1,332 (70%)
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below): N/A

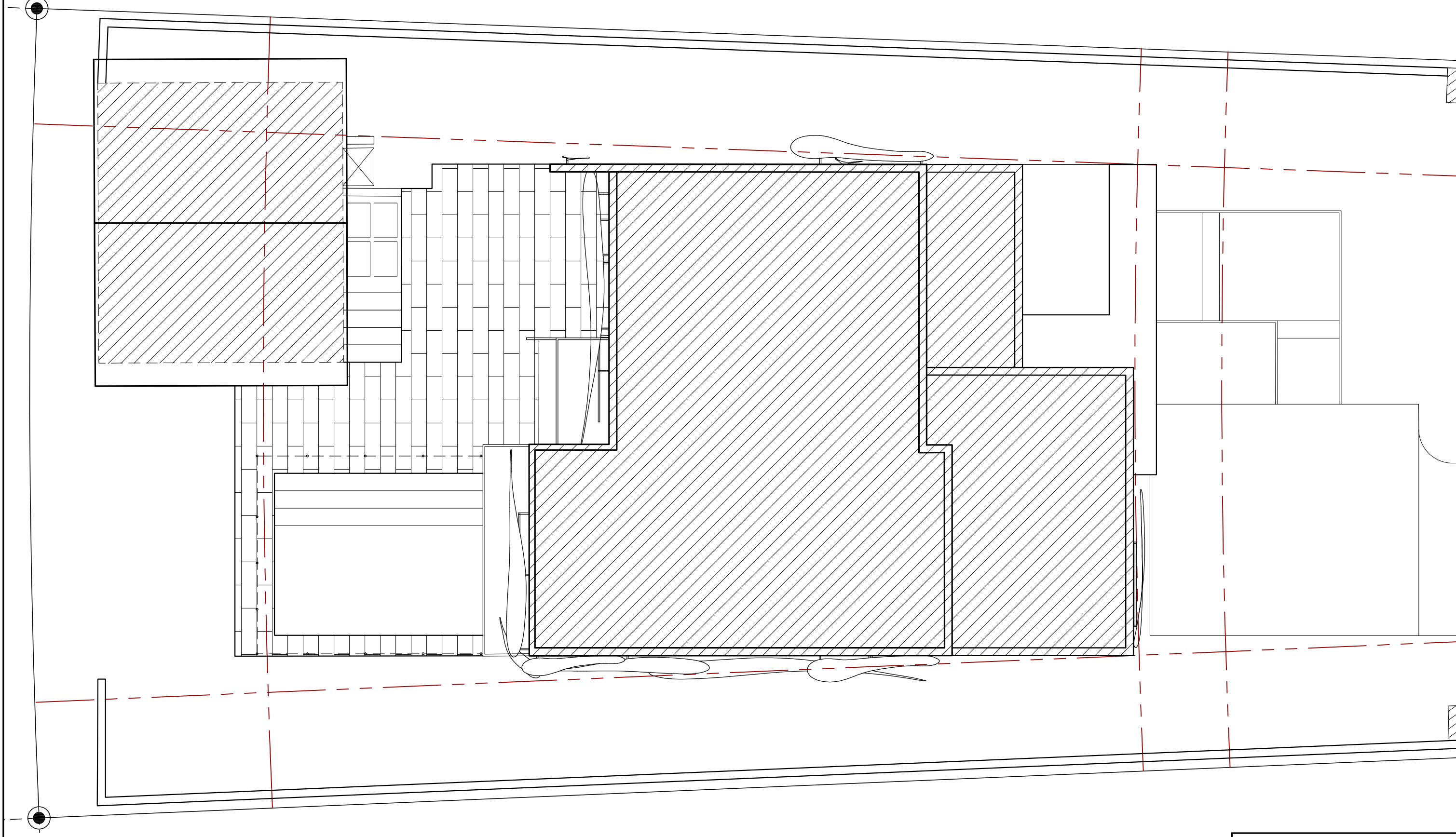
	Required	Existing	Proposed	Deficiencies
17 Height:	24' FLAT ROOF	2 STORIES	24'	
18 Setbacks:				
19 Front First level:	30'	15.39'	30'	
20 Front Second level:	30'	20'	45'-4"	
21 Side (SE):	10'	11.43'	10'	
22 Side 2 or (NW):	10'	13.49'	10'	
23 Rear:	20'	57.17'	39'	
Accessory Structure Side 1:	7.5'	5.5'	5.5'	
24 Accessory Structure Side 2 or (facing street) :	N/A	N/A	N/A	
25 Accessory Structure Rear:	7.5'	5.5'	5.5'	
26 Sum of Side yard :	20'	24.92'	20'	

27	Located within a Local Historic District?	No
28	Designated as an individual Historic Single Family Residence Site?	
29	Determined to be Architecturally Significant?	Yes

Notes:
 If not applicable write N/A
 All other data information should be presented like the above format



EXISTING LOT COVERAGE	
PRINCIPAL BLDG.	1,767 SF(21.7%)
ACCESSORY BLDG.	511.83 SF(6%)
TOTAL:	2,278.83 (28%)



PROPOSED LOT COVERAGE	
PRINCIPAL BLDG.	1,887 SF(23%)
ACCESSORY BLDG.	511.83 SF(6%)
TOTAL:	2,398.83 (29.5%)

CHISHOLM
 Architects-Planners-Interior Designers
 4821 SW 74th Ct., Miami, FL 33155
 305.661.2070 F205.661.6990
 www.chisholmarchitects.com
 RE Chisholm Architects, Inc. aac001962

Project Name:
JF SOUTH BEACH RESIDENCE
 1060 W 47 ST.
 MIAMI BEACH, FL.

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS.

Revisions		
No.	Description	Date

ARCHITECT
 ROBERT E. CHISHOLM, FAIA
 A R 0 0 7 4 4 2

CONSULTANTS

Project No. 1816
Scale: 1/8"=1'-0"
Date: 12/12/2016
Drawn: JB
Checked: MP
Submittal: DRB
Cad File: Z001

Drawing Title:
ZONING DIAGRAMS
Sheet No. Z001

Project Name:
JF SOUTH BEACH RESIDENCE
 1060 W 47 ST.
 MIAMI BEACH, FL

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Revisions

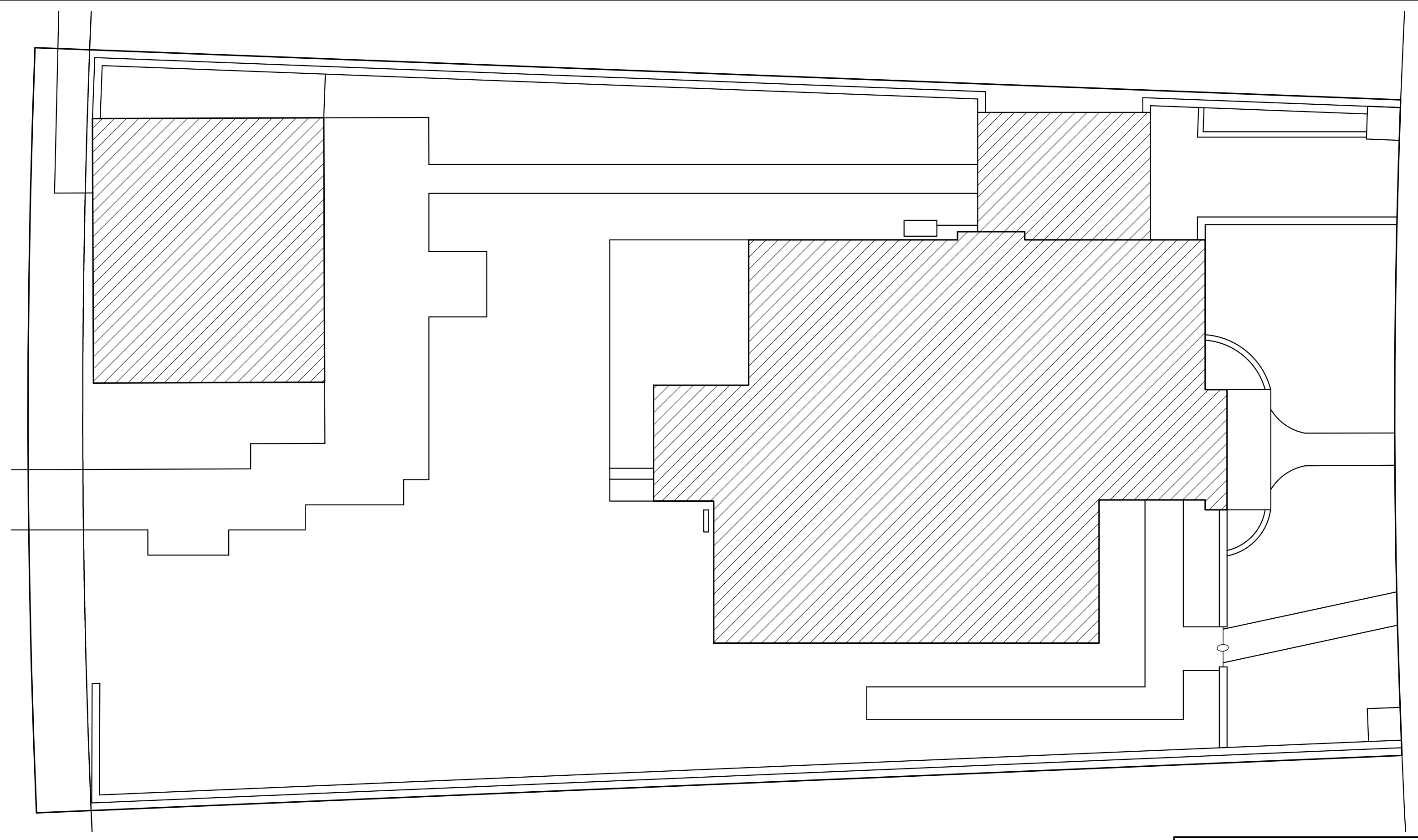
No.	Description	Date

ARCHITECT
 ROBERT E. CHISHOLM, FAIA
 A R 0 0 7 4 4 2

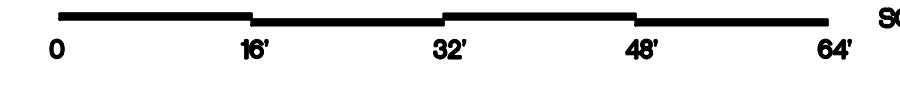
CONSULTANTS

Project No. 1816
 Scale: 1/8"=1'-0"
 Date: 12/12/2016
 Drawn: JB
 Checked: MP
 Submittal: DRB
 Cad File: Z002

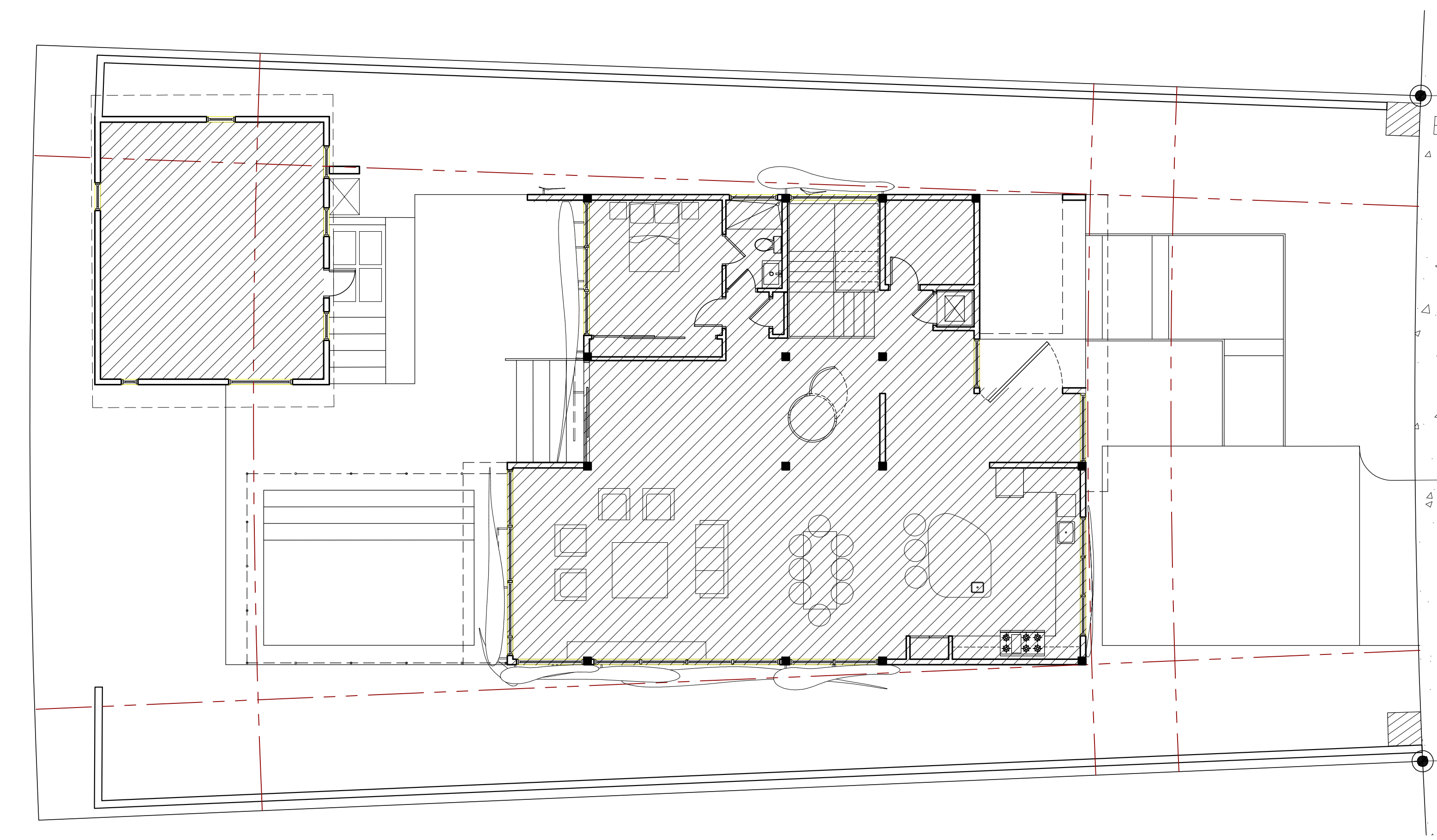
Drawing Title:
ZONING DIAGRAMS
 Sheet No. **Z002**



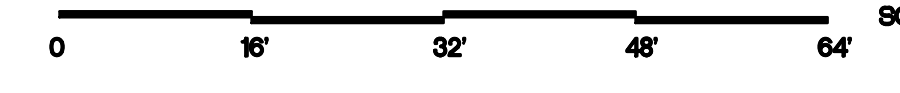
EXISTING GROUND LEVEL UNIT SIZE
 SCALE: 1/8" = 1'-0"



EXISTING UNIT SIZE
 EXISTING GROUND FLOOR
 2,097.83 SF



PROPOSED GROUND LEVEL UNIT SIZE
 SCALE: 1/8" = 1'-0"



PROPOSED UNIT SIZE
 PROPOSED GROUND FLOOR
 MAIN BUILDING: 1,887 SF
 ACCESSORY BUILDING: 511.83 SF
 TOTAL: 2,398.83

Project Name:
JF SOUTH BEACH RESIDENCE
 1060 W 47 ST.
 MIAMI BEACH, FL.

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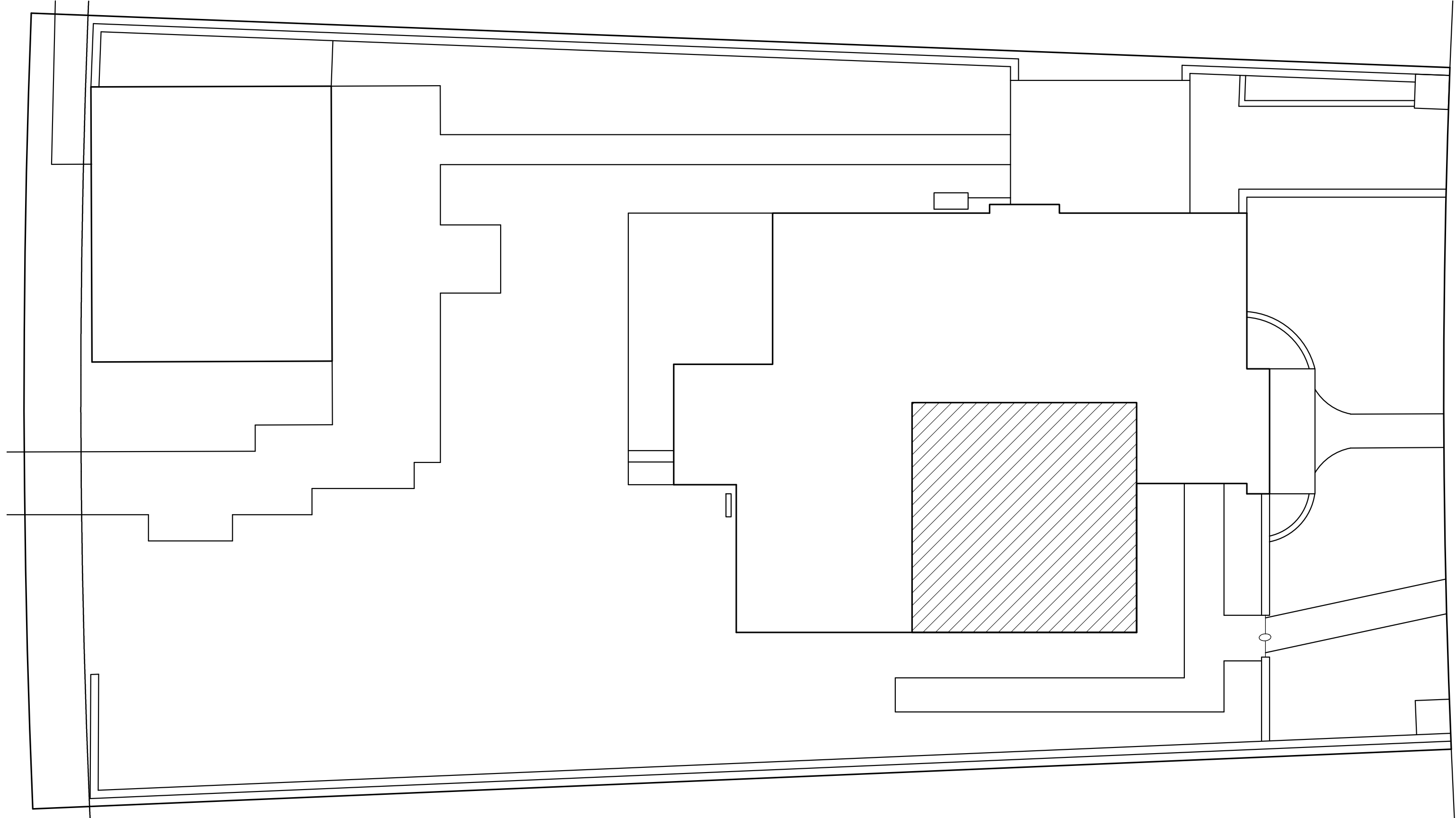
Revisions		
No.	Description	Date

ARCHITECT
 ROBERT E. CHISHOLM, FAIA
 A R O O 0 7 4 4 2

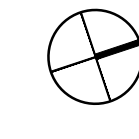
CONSULTANTS

Project No. 1816
 Scale: 1/8"=1'-0"
 Date: 12/12/2016
 Drawn: JB
 Checked: MP
 Submittal: DRB
 Cad File: Z003

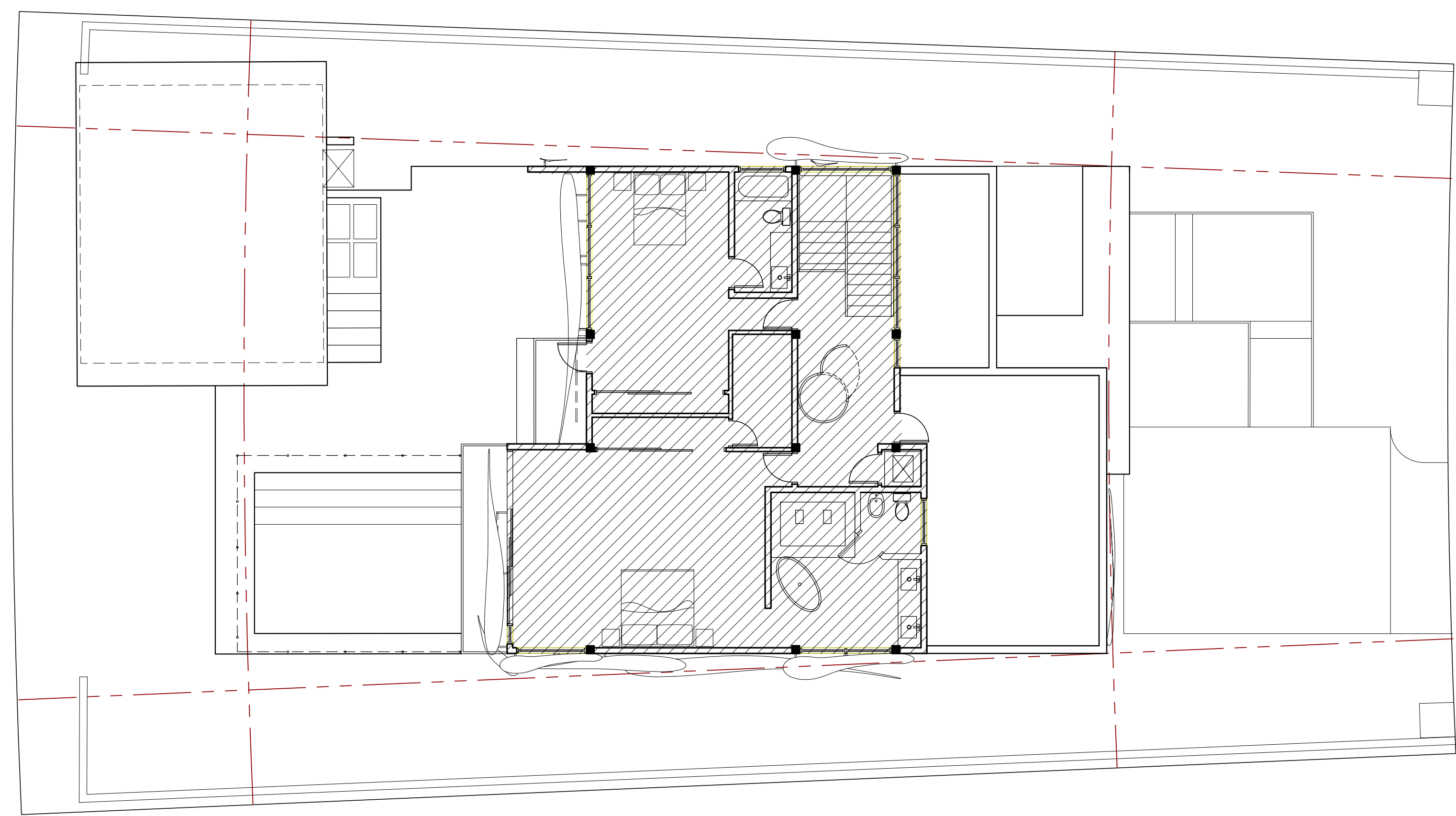
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ZONING DIAGRAMS
 Sheet No. **Z003**



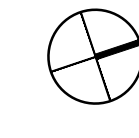
EXISTING SECOND LEVEL UNIT SIZE
 SCALE: 1/8" = 1'-0"
 0 16' 32' 48' 64'



EXISTING UNIT SIZE
 EXISTING SECOND FLOOR
 400 SF



PROPOSED SECOND LEVEL UNIT SIZE
 SCALE: 1/8" = 1'-0"
 0 16' 32' 48' 64'



PROPOSED UNIT SIZE
 PROPOSED SECOND FLOOR 1,332 SF
 (70% OF GROUND FLOOR)
 70% x 1887 SF = 1332 SF

Project Name:

JF SOUTH BEACH RESIDENCE

1060 W 47 ST.
 MIAMI BEACH, FL.

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Revisions

No.	Description	Date

ARCHITECT

ROBERT E. CHISHOLM, FAIA
 A R 0 0 7 4 4 2

CONSULTANTS

Project No. 1816

Scale: 1/8" = 1'-0"

Date: 12/12/2016

Drawn: JB

Checked: MP

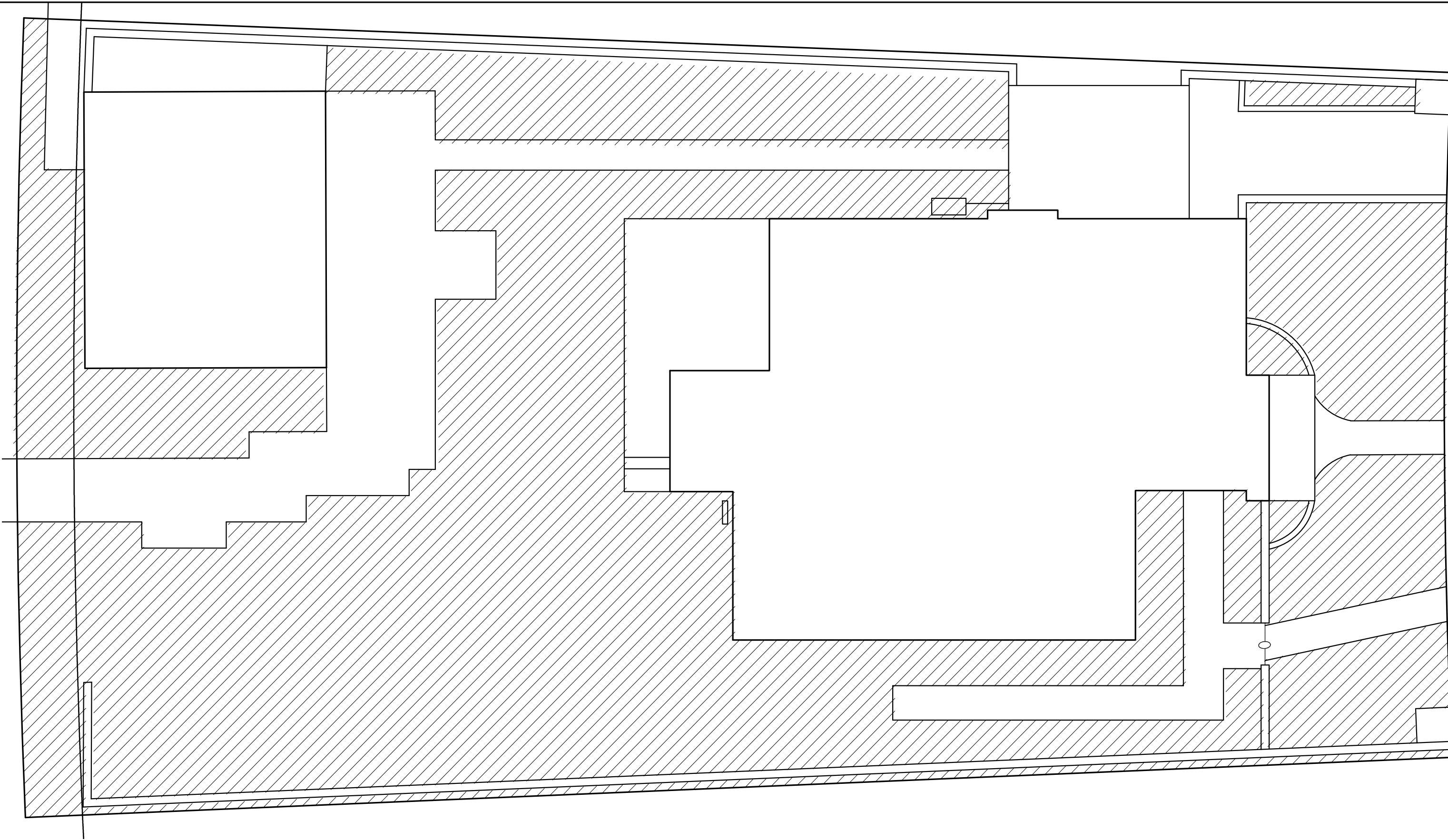
Submittal: DRB

Cad File: Z004

Drawing Title:

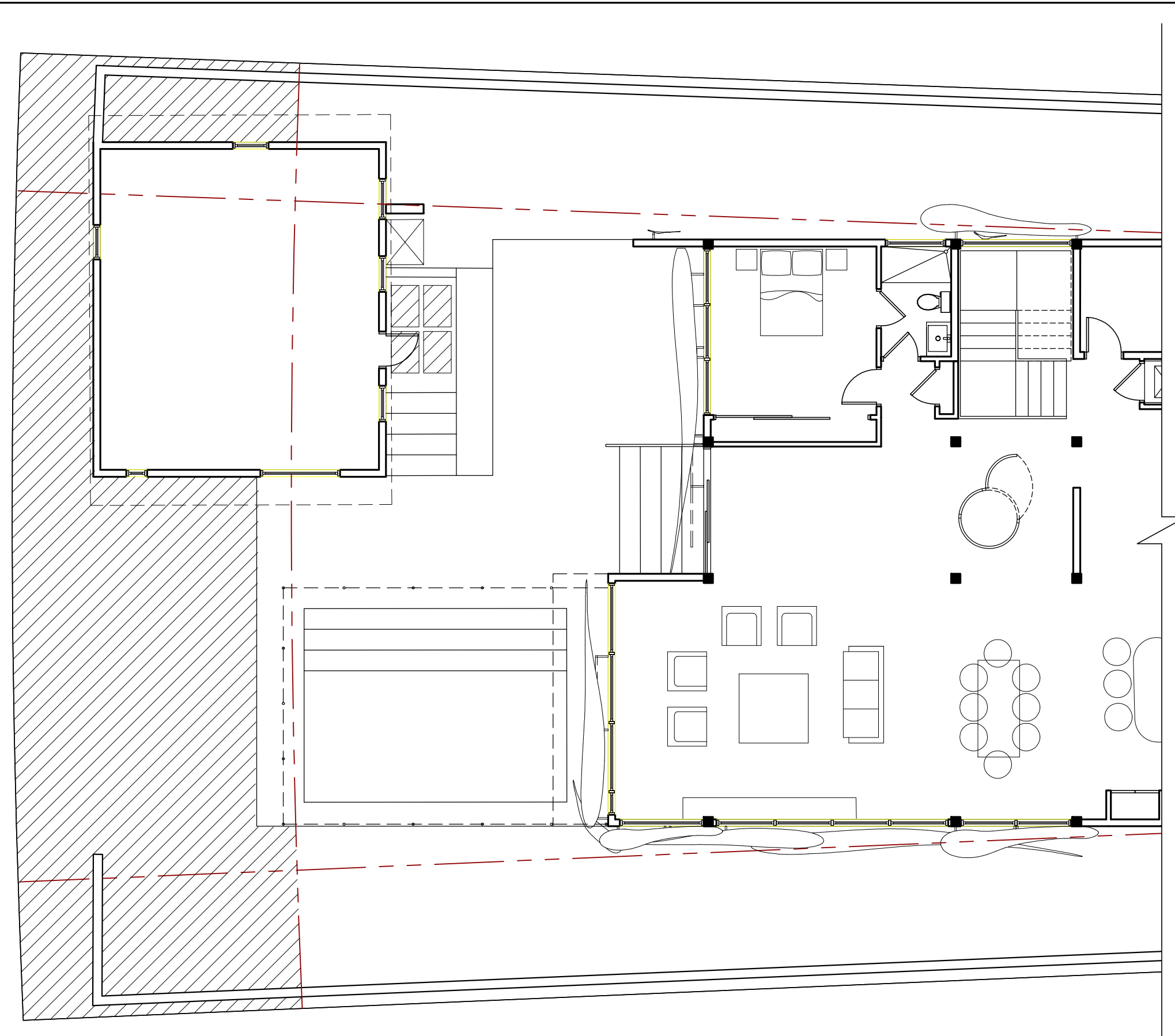
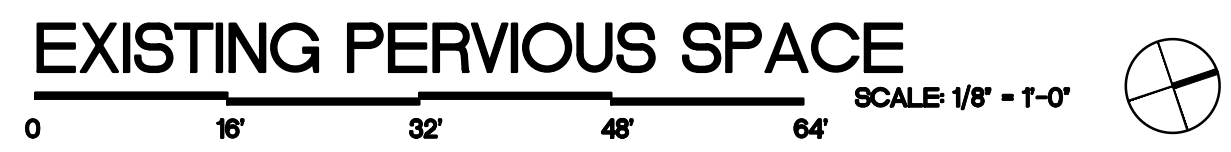
ZONING DIAGRAMS

Sheet No. **Z004**



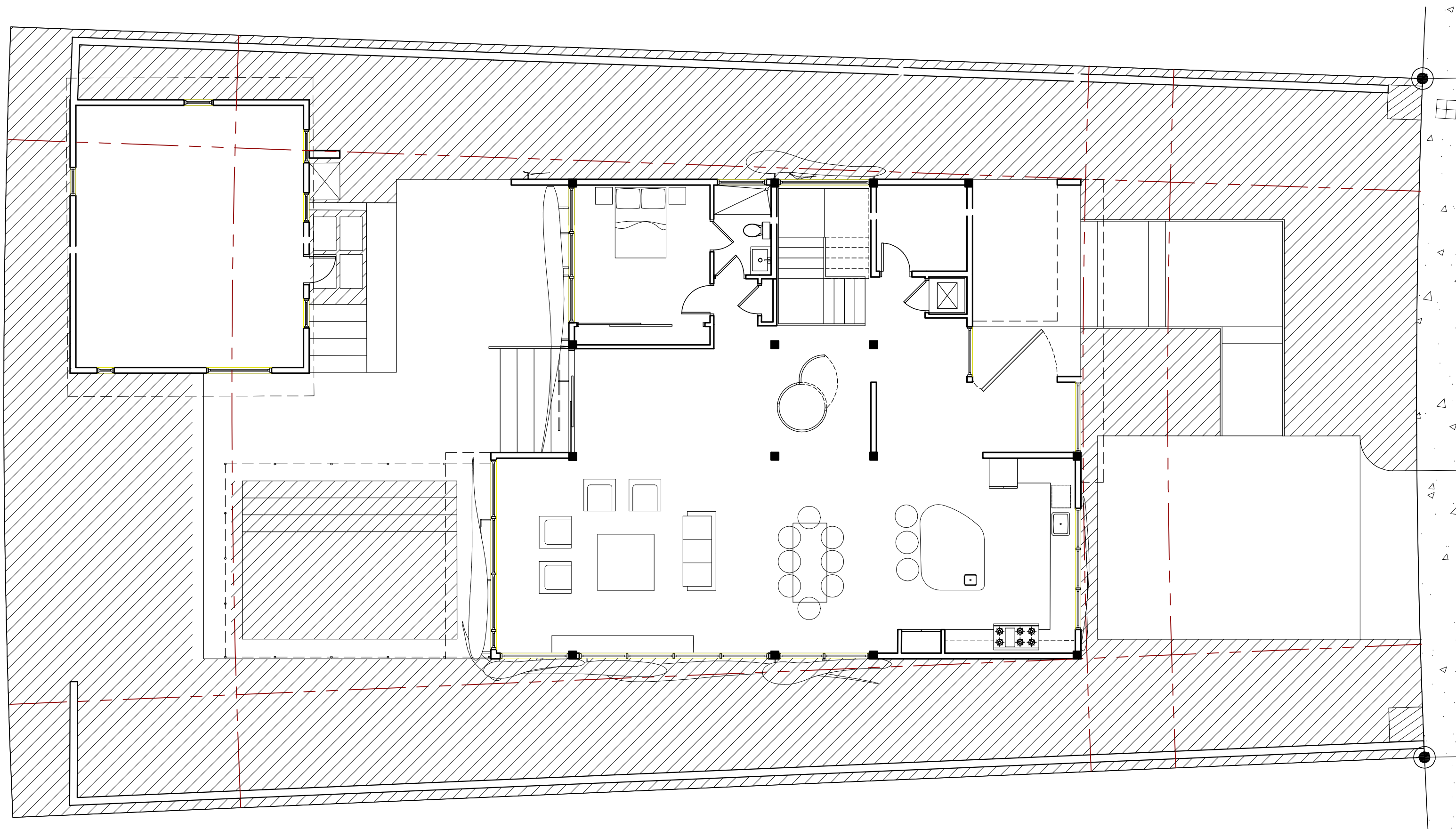
EXISTING PERVIOUS AREA

EXISTING PERVIOUS SPACE
 4,020 SF



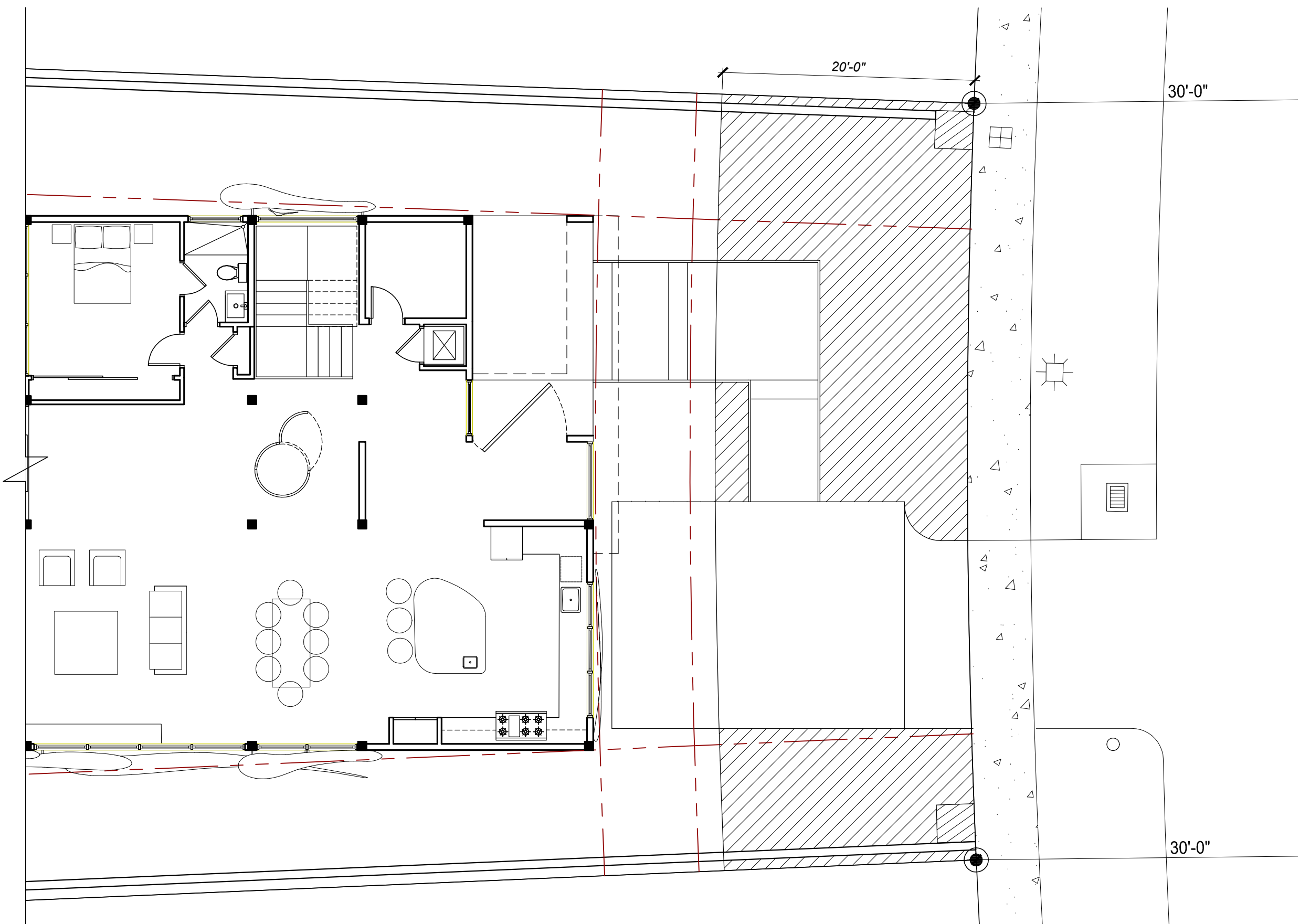
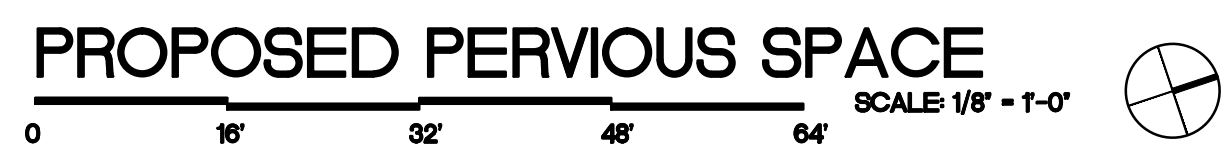
OPEN AREA

REAR YARD TOTAL SF: 1,383.4
 OPEN AREA SF: 977 (70%)



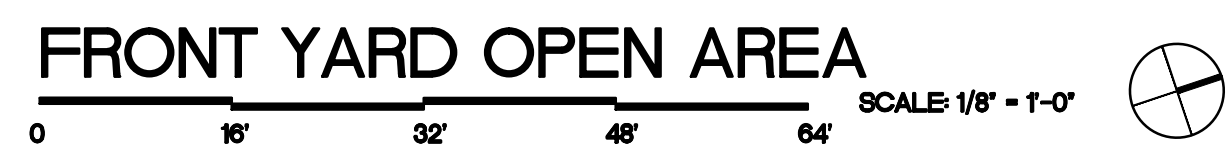
PROPOSED PERVIOUS AREA

PROPOSED PERVIOUS SPACE 3,900 SF
 (48% OF THE LOT)
 47% x 8,127.5 SF = 3,834 SF



OPEN AREA

FRONT YARD TOTAL SF: 1,218
 OPEN AREA SF: 695 (57%)



PLOTTED: VE Parking reduction
 X REF: S



E1. NORTH ELEVATION



E2. EAST ELEVATION



E3. SOUTH ELEVATION



E4. WEST ELEVATION

MAIN BUILDING EXISTING CONDITIONS
N.T.S.

CHISHOLM
Architects-Planners-Interior Designers
4321 SW 74th Ct., Miami, FL 33155
305.661.2070 F205.661.6990
www.chisholmarchitects.com
RE Chisholm Architects, Inc. aac001962

Project Name:

JF SOUTH BEACH
RESIDENCE

1060 W 47 ST.
MIAMI BEACH, FL.

WRITE DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE SHALL BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS.

Revisions

No.	Description	Date

ARCHITECT

ROBERT E. CHISHOLM, P.A.
A R 0 0 7 4 4 2

CONSULTANTS

Project No. 1816
Scale: N.T.S.
Date: 12/12/2016
Drawn: JB
Checked: MP
Submittal: DRB
Cad File: A007

Drawing Title:

EXISTING CONDITIONS

Sheet No. **A007**

PLOTTED VE Parking reduction X REF'S



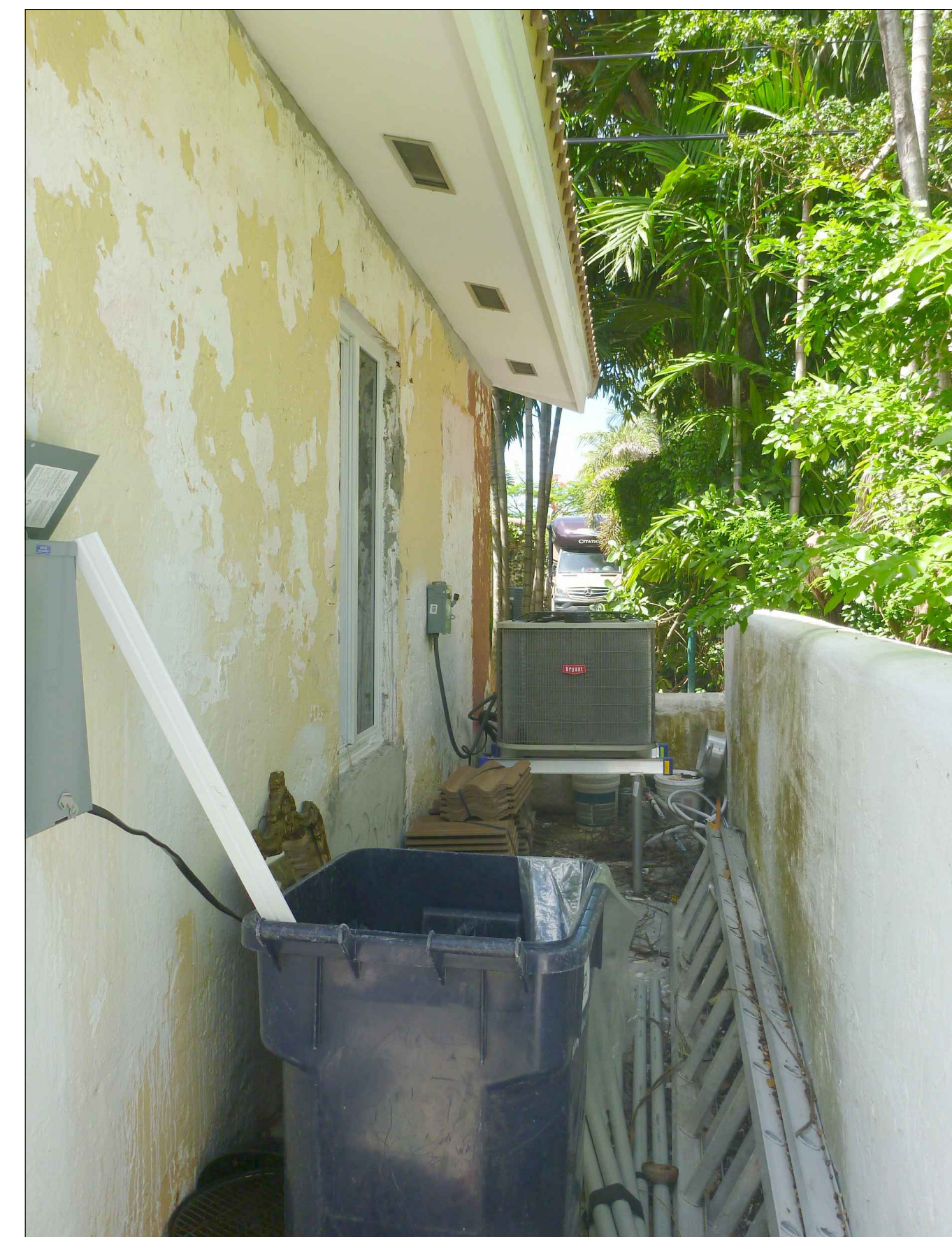
E5. NORTH ELEVATION



E6. EAST ELEVATION



E7. SOUTH ELEVATION



E8. WEST ELEVATION

ACCESSORY BUILDING EXISTING CONDITIONS
N.T.S.

CHISHOLM

Architects-Planners-Interior Designers
4021 SW 74th Ct., Miami, FL 33155
305.661.2070 F205.661.6990
www.chisholmarchitects.com
RE Chisholm Architects, Inc. aac001962

Project Name:

JF SOUTH BEACH
RESIDENCE

1060 W 47 ST.
MIAMI BEACH, FL.

UNLESS INDICATED ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS OF THE JOB AND THIS OFFICE SHALL BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS.

Revisions

No.	Description	Date

ARCHITECT

ROBERT E. CHISHOLM, P.A.
A R 0 0 7 4 4 2

CONSULTANTS

Project No. 1816

Scale: N.T.S.

Date: 12/12/2016

Drawn: JB

Checked: MP

Submittal: DRB

Cad File: A008

Drawing Title:

EXISTING CONDITIONS

Sheet No. A008



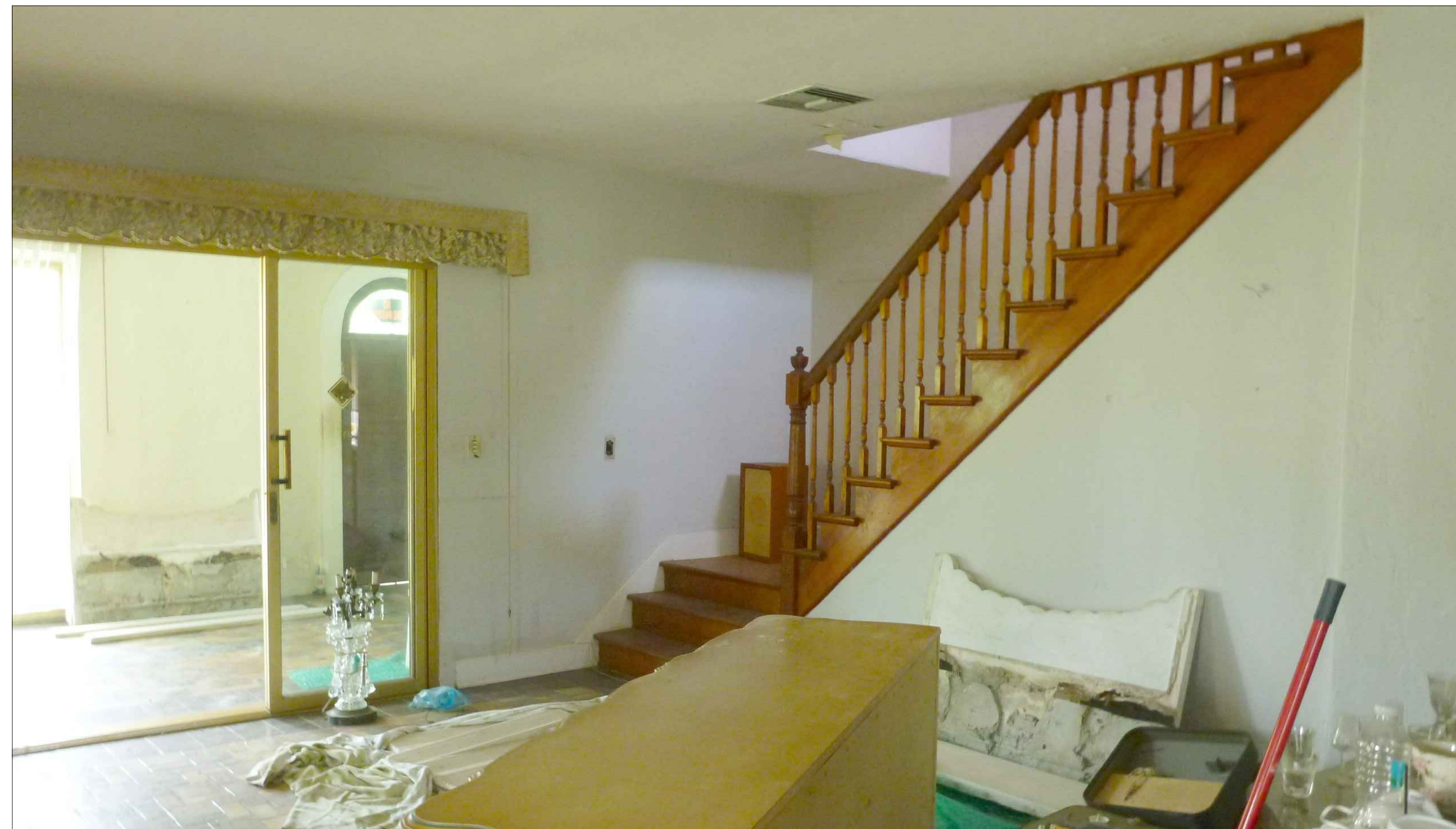
EXISTING LIVING ROOM



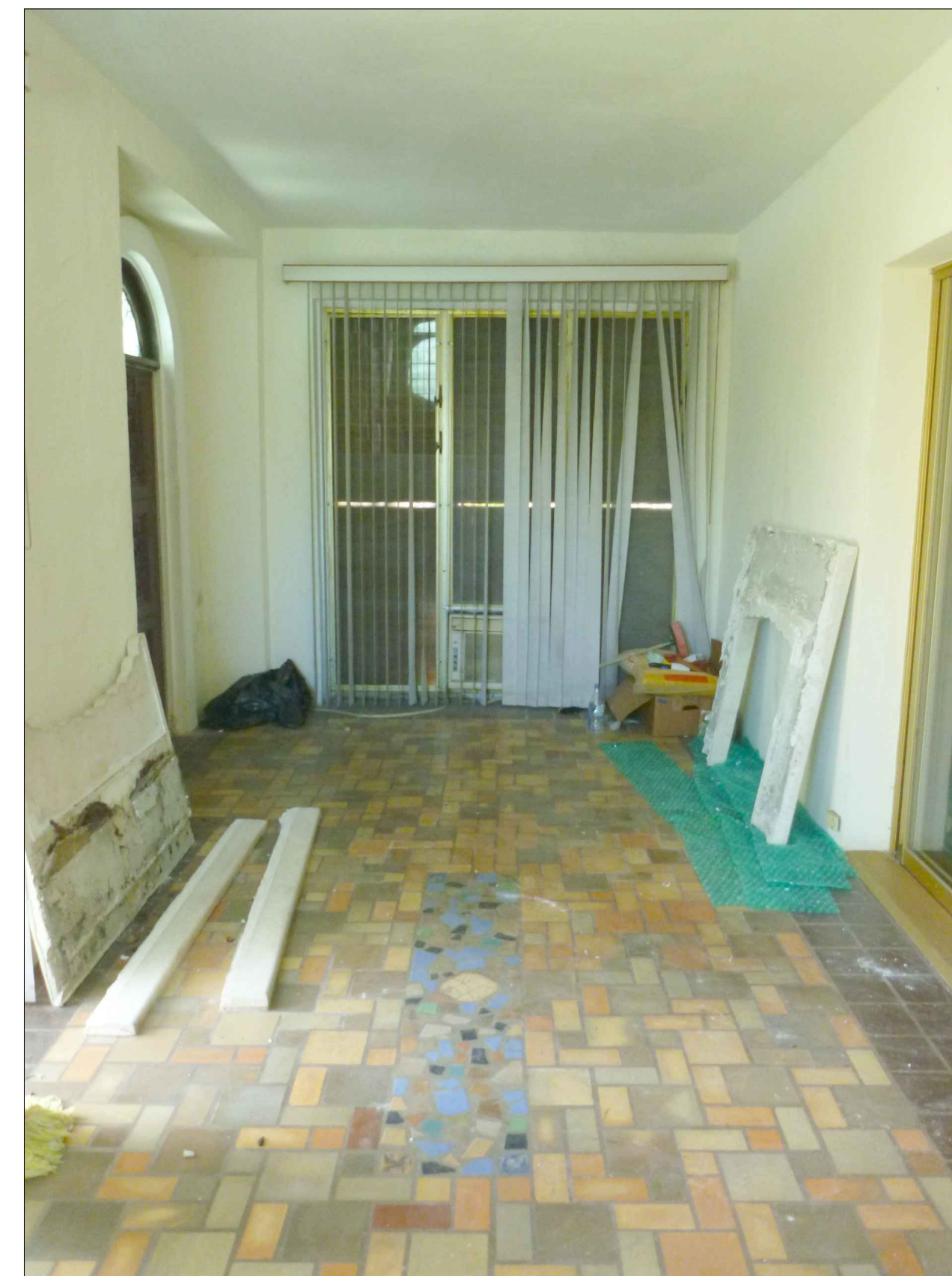
EXISTING KITCHEN



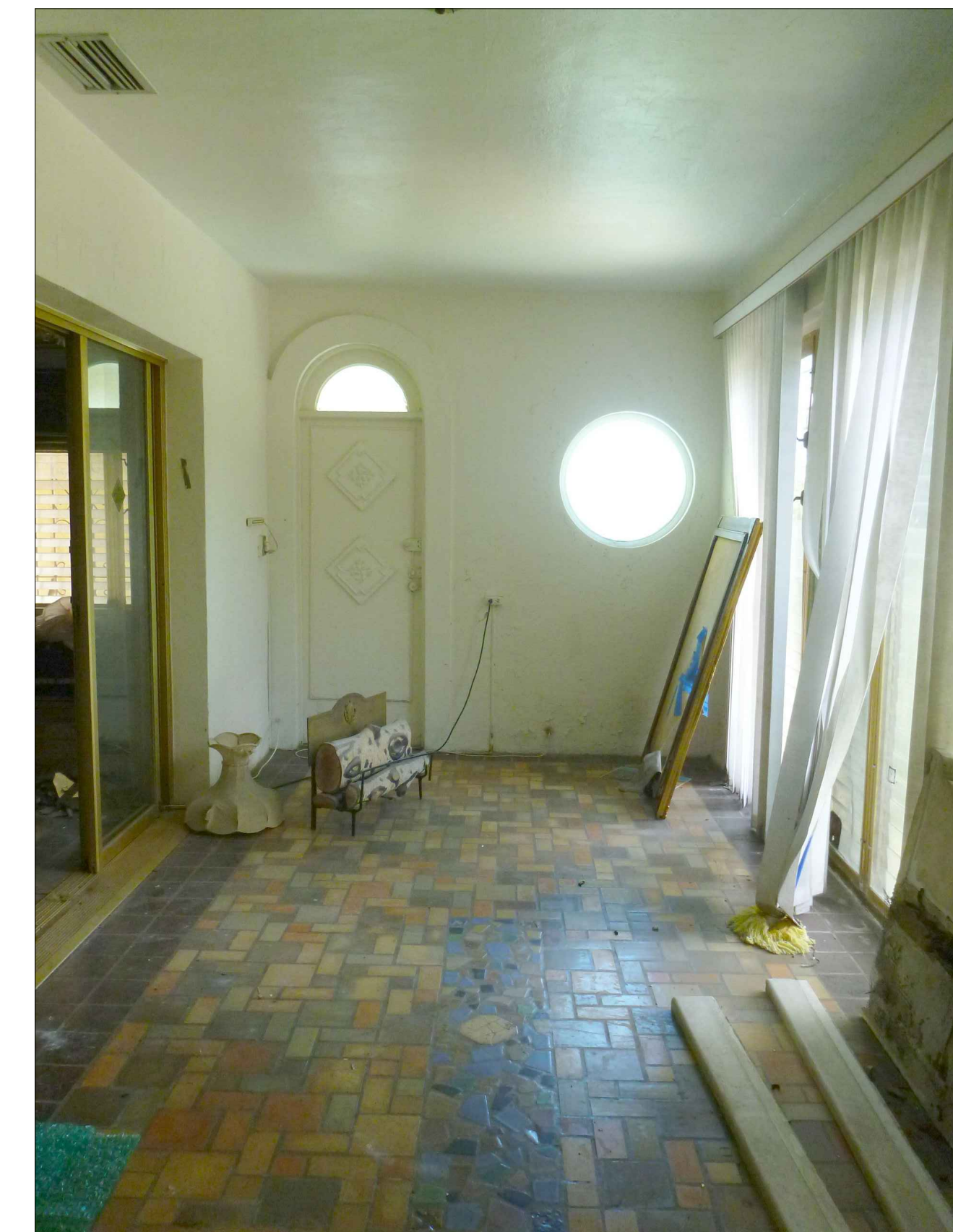
EXISTING KITCHEN



EXISTING STAIRCASE



EXISTING ENTRY



EXISTING FOYER/SITTING ROOM

EXISTING MAIN BUILDING INTERIOR CONDITIONS
N.T.S.

CHISHOLM
Architects-Planners-Interior Designers
4821 SW 74th Ct., Miami, FL 33155
305.661.2070 F305.661.6990
www.chisholmarchitects.com
RE Chisholm Architects, Inc. aac001962

Project Name:

JF SOUTH BEACH
RESIDENCE

1060 W 47 ST.
MIAMI BEACH, FL.

EXCEPT DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE SHALL BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS.

Revisions

No.	Description	Date

ARCHITECT

ROBERT E. CHISHOLM, FAIA
A R 0 0 7 4 4 2

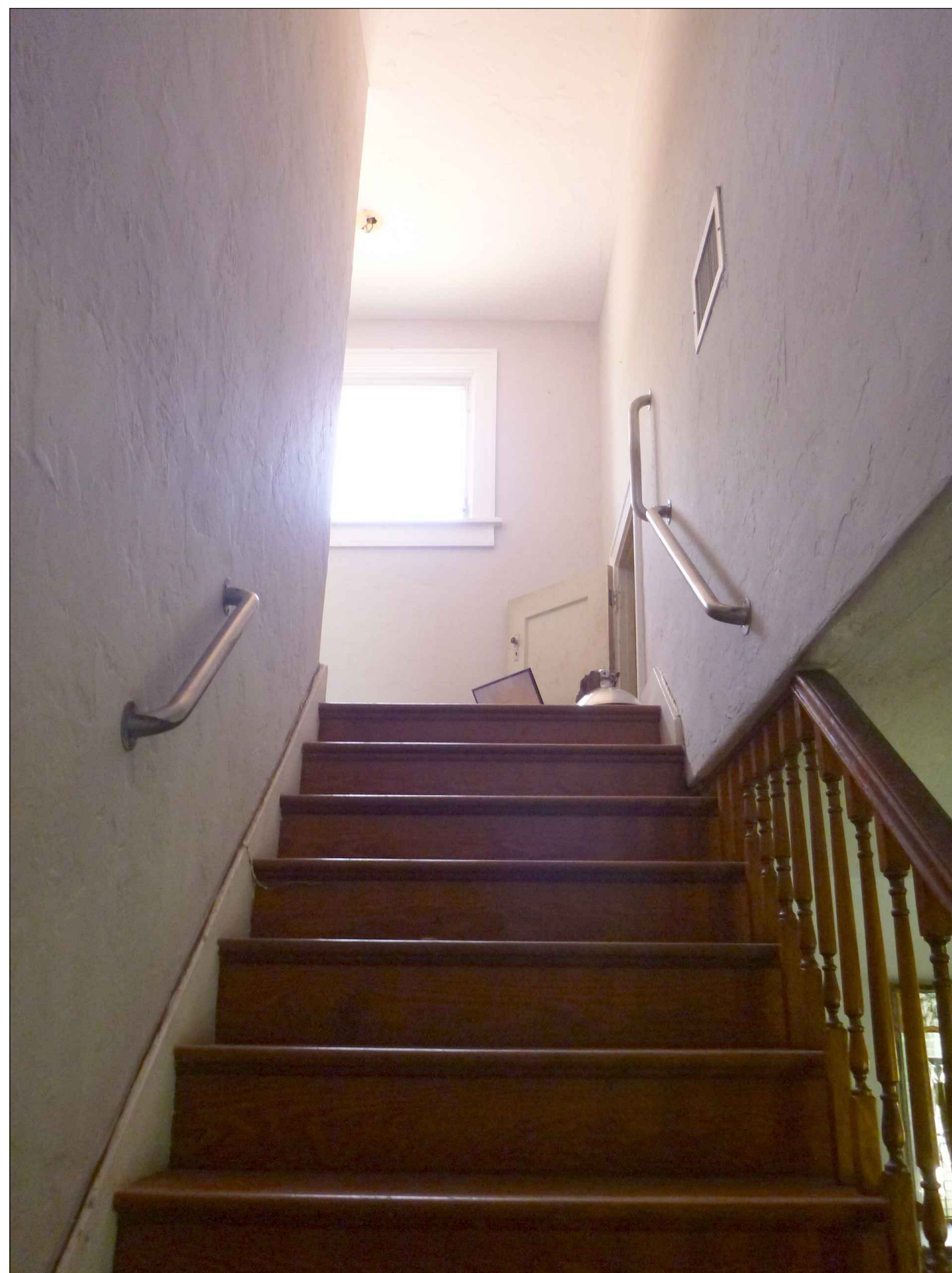
CONSULTANTS

Project No. 1816
Scale: N.T.S.
Date: 12/12/2016
Drawn: JB
Checked: MP
Submittal: DRB
Cad File: A009

Drawing Title:

EXISTING CONDITIONS

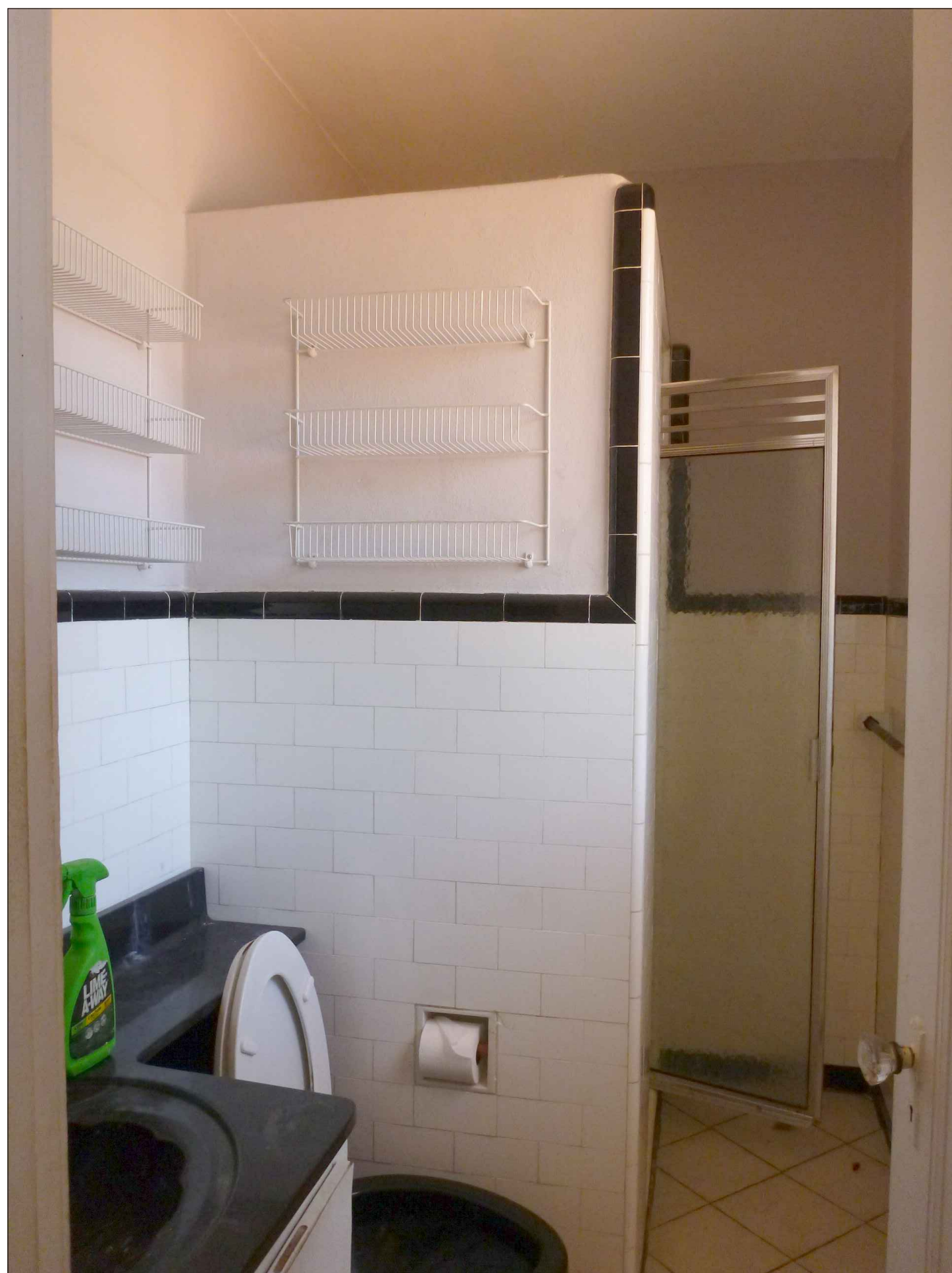
Sheet No. **A009**



EXISTING SECOND FLOOR



EXISTING MAIN BUILDING INTERIOR CONDITIONS
N.T.S.



CHISHOLM

Architects-Planners-Interior Designers
4321 SW 74th Ct., Miami, FL 33155
305.661.2070 Fax: 305.661.6890
www.chisholmarchitects.com
RE Chisholm Architects, Inc. aac01962

Project Name:

JF SOUTH BEACH RESIDENCE

1060 W 47 ST.
MIAMI BEACH, FL.

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Revisions

No.	Description	Date

ARCHITECT

ROBERT E. CHISHOLM, P.A.
A R 0 0 7 4 4 2

CONSULTANTS

Project No. 1816

Scale: N.T.S.

Date: 12/12/2016

Drawn: JB

Checked: MP

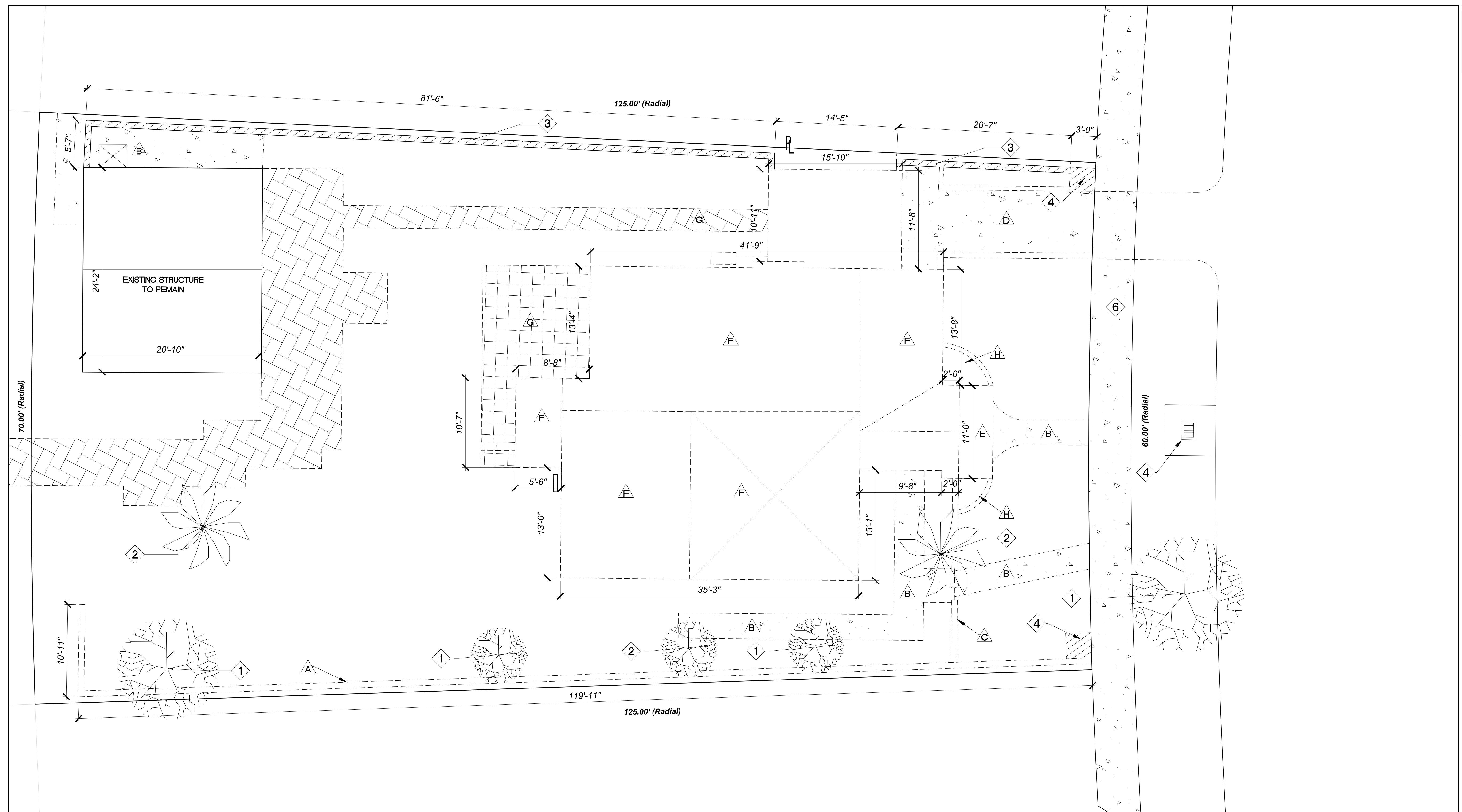
Submittal: DRB

Cad File: A010

Drawing Title:

EXISTING CONDITIONS

Sheet No. **A010**



Project Name:
JF SOUTH BEACH RESIDENCE
 1060 W 47 ST.
 MIAMI BEACH, FL

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Revisions		
No.	Description	Date

ARCHITECT
 ROBERT E. CHISHOLM, FAIA
 A R 0 0 7 4 4 2

CONSULTANTS

Project No. 1816
 Scale: 3/16" = 1'-0"
 Date: 12/12/2016
 Drawn: JB
 Checked: MP
 Submittal: DRB
 Cad File: D100
 Drawing Title:
ROOF DEMOLITION PLAN
 Sheet No. D100

NOTE:
 ALL DIMENSIONS ARE APPROXIMATE. CONTRACTOR TO VERIFY IN FIELD.

DEMOLITION PLAN KEYED NOTES		SHEET NOTES	
NO.	DESCRIPTION	NO.	DETAILS
①	EXISTING TREE TO REMAIN	Ⓐ	REMOVE EXISTING WALL
②	EXISTING TREE TO BE REMOVED	Ⓑ	REMOVE EXISTING SIDEWALK
③	EXISTING CONC WALL TO REMAIN	Ⓒ	REMOVE EXISTING FENCE
④	EXISTING COLUMN TO REMAIN	Ⓓ	REMOVE EXISTING DRIVEWAY
⑤	EXISTING STREET DRAINAGE	Ⓔ	REMOVE EXISTING STEPS
⑥	EXISTING 5' CONC SW	Ⓕ	REMOVE EXISTING ROOF
GENERAL NOTES		Ⓖ	REMOVE EXISTING PAVERS
Ⓐ	CONTRACTOR TO INSPECT AREA OF WORK PRIOR TO DEMOLITION AND CAP UTILITIES AS NEEDED.	Ⓖ	REMOVE EXISTING PLANTER
Ⓑ	A SEPARATE PERMIT SUBMITTAL IS REQUIRED FOR THE DEMOLITION WORK	Ⓙ	REMOVE EXISTING DOOR
		Ⓚ	REMOVE EXISTING WINDOW
		Ⓛ	REMOVE EXISTING CANOPY

ROOF DEMOLITION PLAN
 SCALE: 3/16" = 1'-0"
 0 16' 32' 48' 64'

PLOTTED: VE Parking reduction X REF'S

Project Name:
JF SOUTH BEACH RESIDENCE
 1060 W 47 ST.
 MIAMI BEACH, FL.

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS.

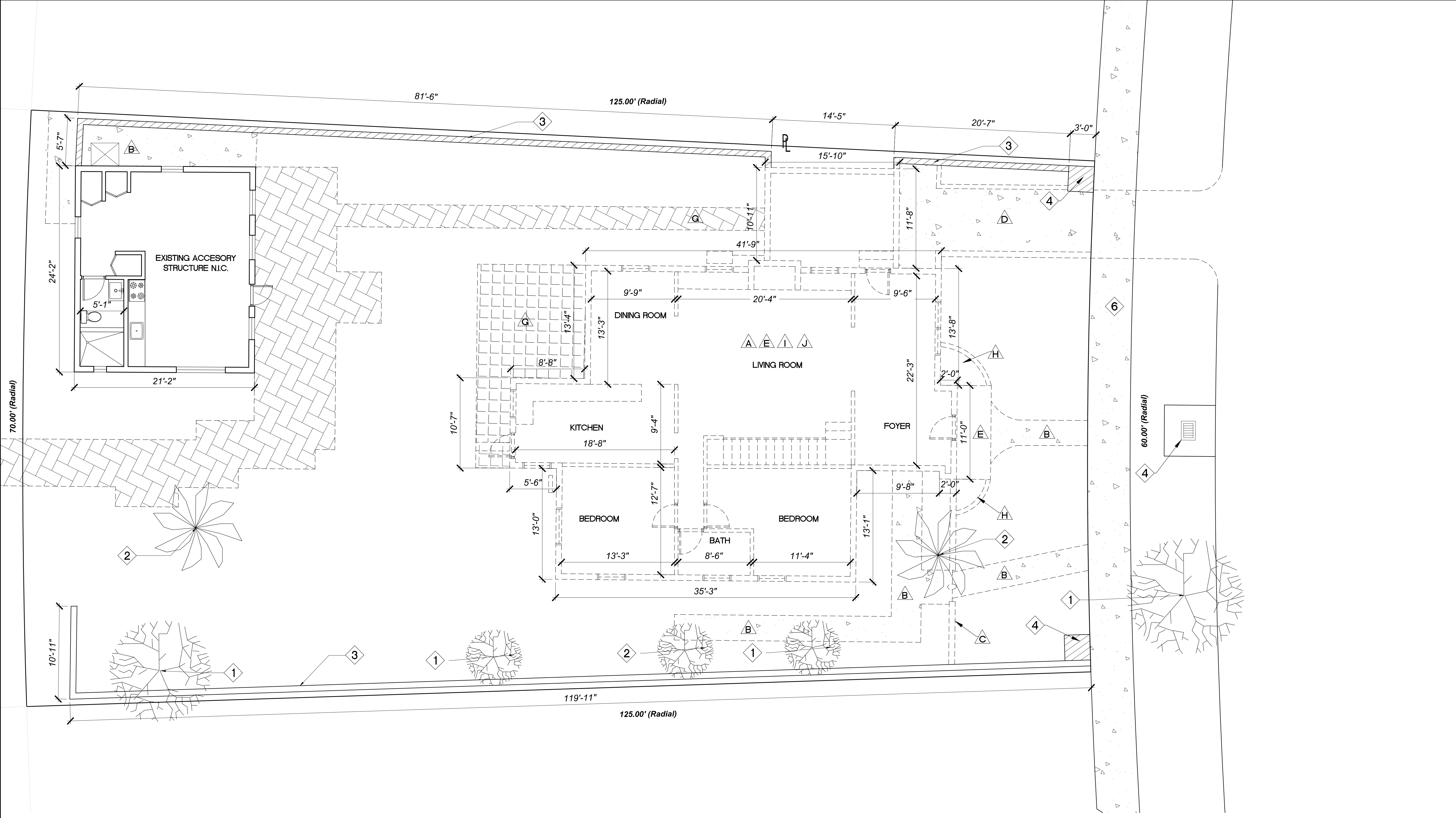
Revisions

No.	Description	Date

ARCHITECT
 ROBERT E. CHISHOLM, FAIA
 A R 0 0 7 4 4 2

CONSULTANTS

Project No. 1816
 Scale: 3/16"=1'-0"
 Date: 12/12/2016
 Drawn: JB
 Checked: MP
 Submittal: DRB
 Cad File: D101
 Drawing Title:
GROUND FLOOR DEMOLITION PLAN
 Sheet No. **D101**



NOTE:
 ALL DIMENSIONS ARE APPROXIMATE. CONTRACTOR TO VERIFY IN FIELD.

DEMOLITION PLAN KEYED NOTES		SHEET NOTES	
NO.	DESCRIPTION	NO.	DETAILS
1	EXISTING TREE TO REMAIN	A	REMOVE EXISTING WALL
2	EXISTING TREE TO BE REMOVED	B	REMOVE EXISTING SIDEWALK
3	EXISTING CONC WALL TO REMAIN	C	REMOVE EXISTING FENCE
4	EXISTING COLUMN TO REMAIN	D	REMOVE EXISTING DRIVEWAY
5	EXISTING STREET DRAINAGE	E	REMOVE EXISTING STEPS
6	EXISTING 5' CONC SW	F	REMOVE EXISTING ROOF
GENERAL NOTES		G	REMOVE EXISTING PAVERS
A	CONTRACTOR TO INSPECT AREA OF WORK PRIOR TO DEMOLITION AND CAP UTILITIES AS NEEDED.	H	REMOVE EXISTING PLANTER
B	A SEPARATE PERMIT SUBMITTAL IS REQUIRED FOR THE DEMOLITION WORK	I	REMOVE EXISTING DOOR
		J	REMOVE EXISTING WINDOW
		K	REMOVE EXISTING CANOPY

GROUND FLOOR DEMOLITION PLAN
 SCALE: 3/16" = 1'-0"
 0 16' 32' 48' 64'

PLOTTED - VE Parking reduction X REF'S

Project Name:
JF SOUTH BEACH RESIDENCE
 1060 W 47 ST.
 MIAMI BEACH, FL

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS.

Revisions		
No.	Description	Date

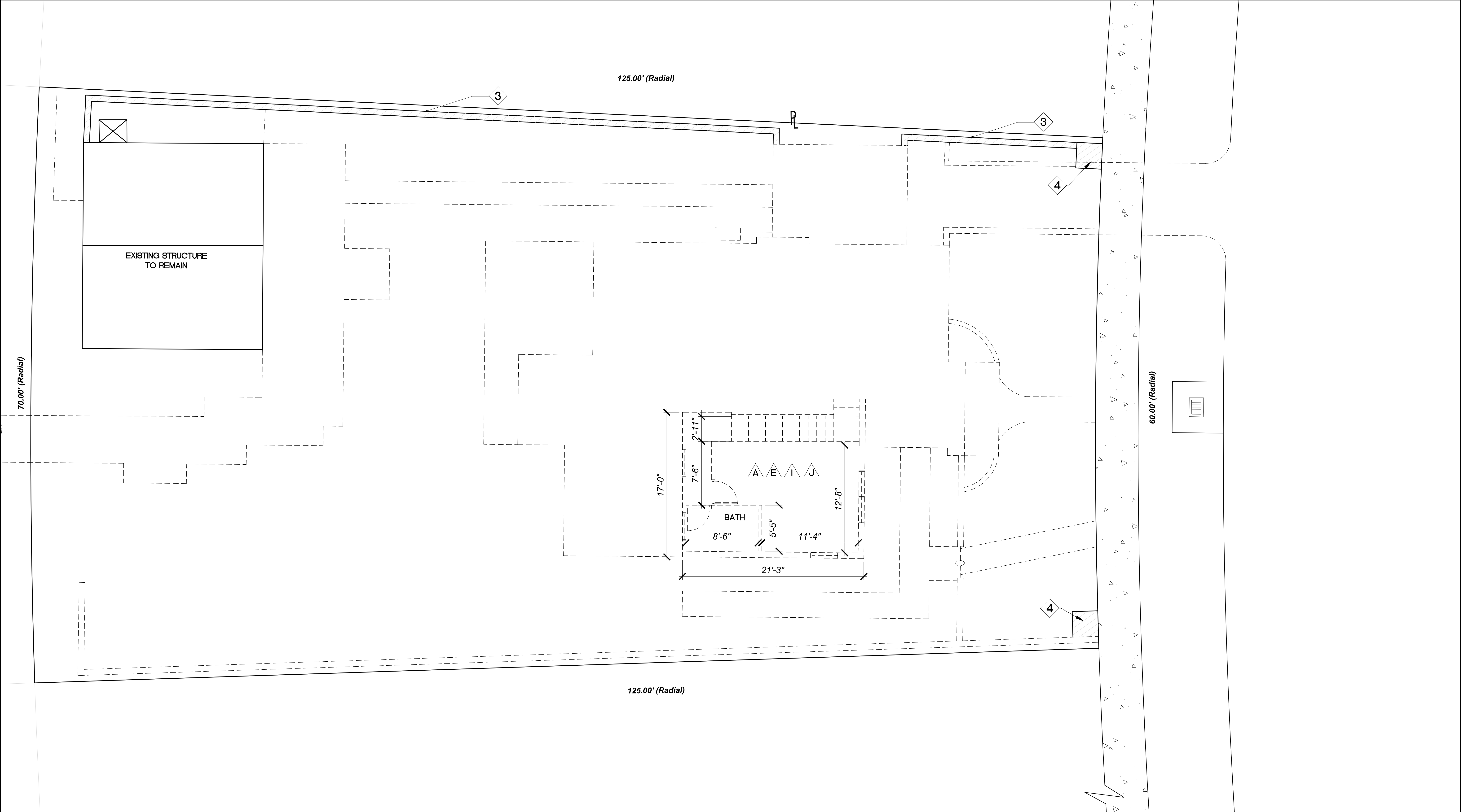
ARCHITECT
 ROBERT E. CHISHOLM, FAIA
 A R 0 0 7 4 4 2

CONSULTANTS

Project No. 1816
 Scale: 3/16"=1'-0"
 Date: 12/12/2016

Drawn: JB
 Checked: MP
 Submittal: DRB
 Cad File: D102

Drawing Title:
SECOND FLOOR DEMOLITION PLAN
 Sheet No. D102



NOTE:
 ALL DIMENSIONS ARE APPROXIMATE. CONTRACTOR TO VERIFY IN FIELD.

DEMOLITION PLAN KEYED NOTES		SHEET NOTES	
NO.	DESCRIPTION	NO.	DETAILS
1	EXISTING TREE TO REMAIN	A	REMOVE EXISTING WALL
2	EXISTING TREE TO BE REMOVED	B	REMOVE EXISTING SIDEWALK
3	EXISTING CONC WALL TO REMAIN	C	REMOVE EXISTING FENCE
4	EXISTING COLUMN TO REMAIN	D	REMOVE EXISTING DRIVEWAY
5	EXISTING STREET DRAINAGE	E	REMOVE EXISTING STEPS
6	EXISTING 5' CONC SW	F	REMOVE EXISTING ROOF
GENERAL NOTES		G	REMOVE EXISTING PAVERS
1	CONTRACTOR TO INSPECT AREA OF WORK PRIOR TO DEMOLITION AND CAP UTILITIES AS NEEDED.	H	REMOVE EXISTING PLANTER
2	A SEPARATE PERMIT SUBMITTAL IS REQUIRED FOR THE DEMOLITION WORK	I	REMOVE EXISTING DOOR
		J	REMOVE EXISTING WINDOW
		K	REMOVE EXISTING CANOPY

SECOND FLOOR DEMOLITION PLAN
 SCALE: 3/16" = 1'-0"
 0 16' 32' 48' 64'

PLOTED - VE Parking reduction X REF'S

Project Name:
JF SOUTH BEACH RESIDENCE
 1060 W 47 ST.
 MIAMI BEACH, FL.

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS.

Revisions		
No.	Description	Date

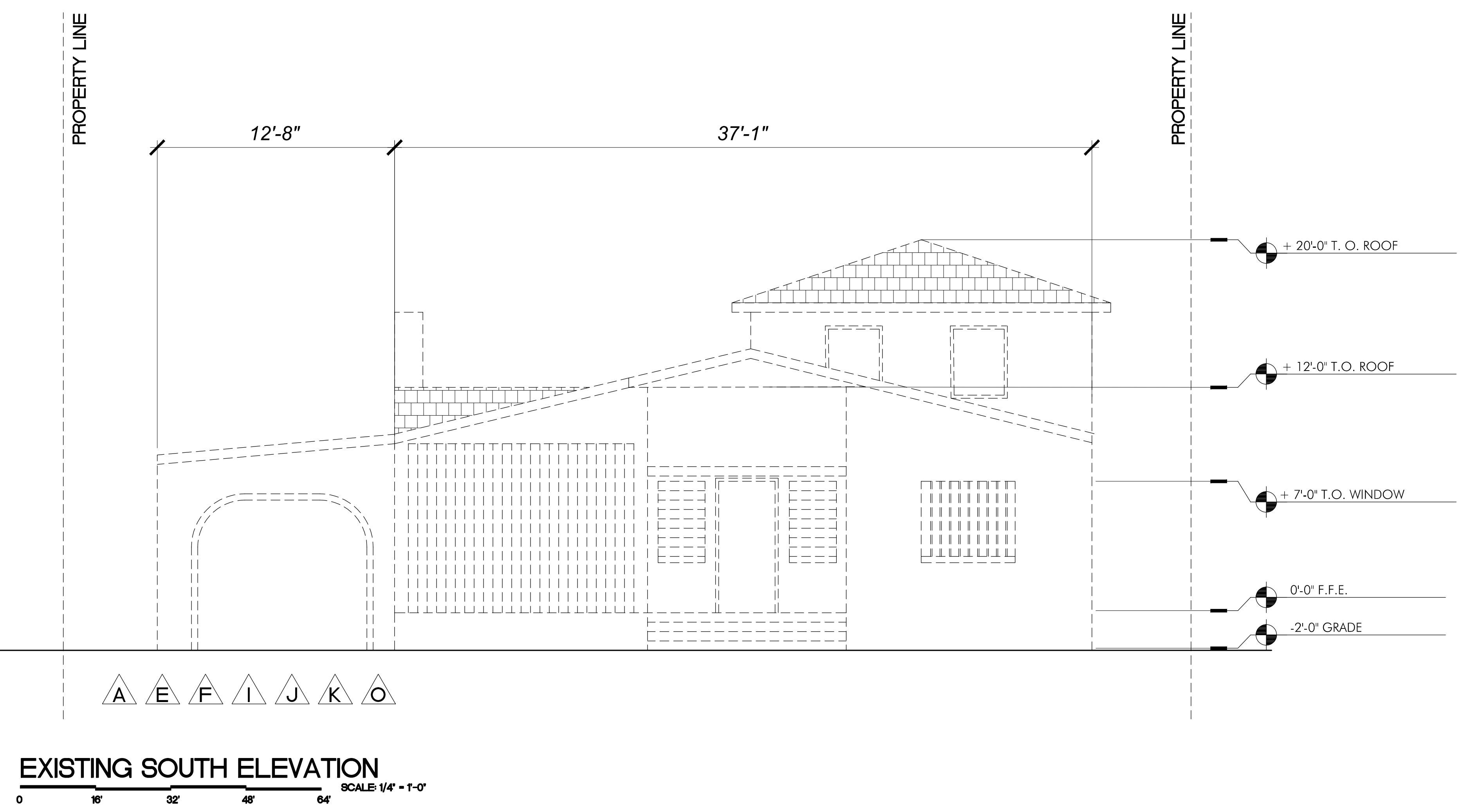
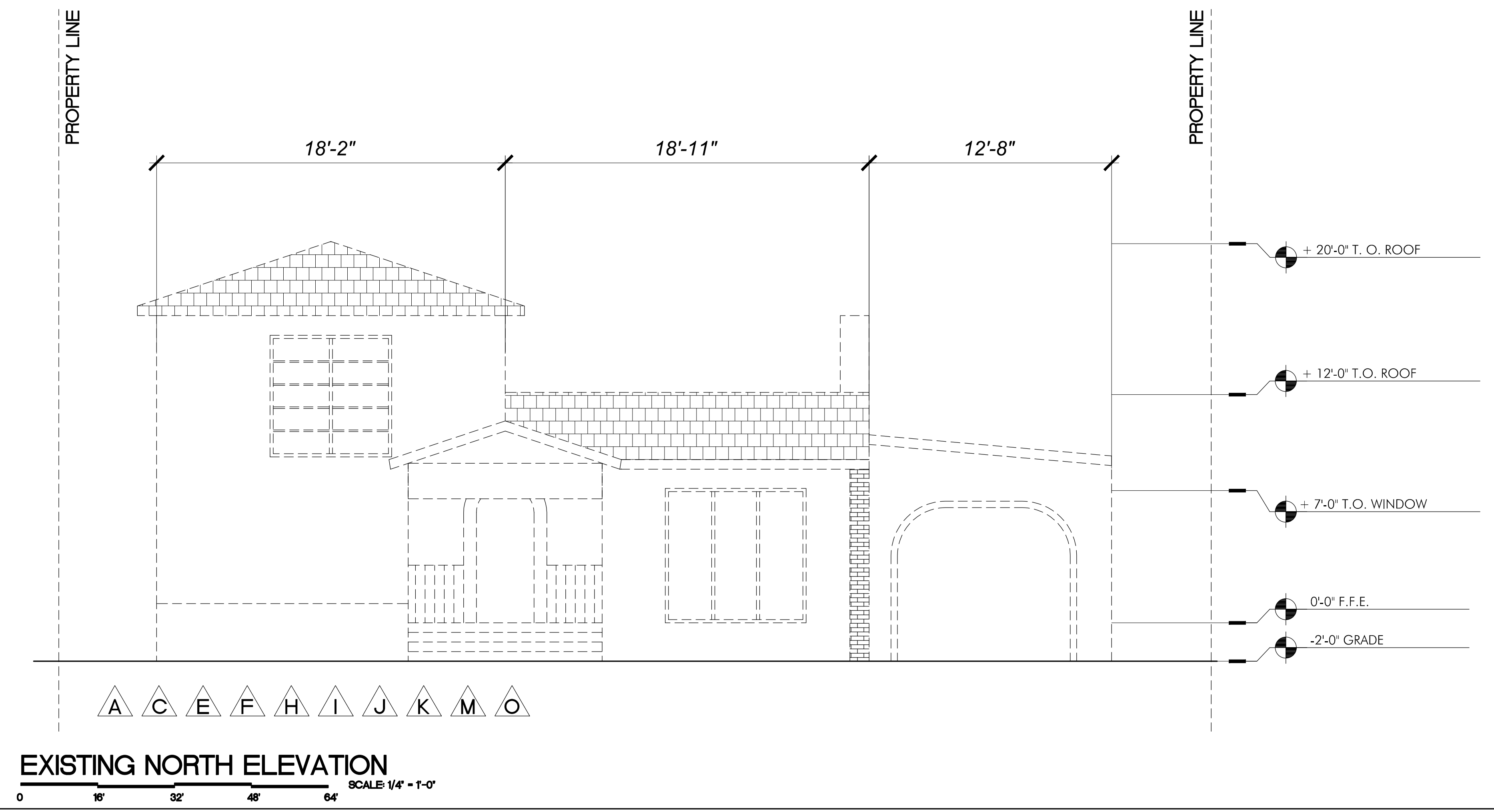
ARCHITECT
ROBERT E. CHISHOLM, FAIA
 A R 0 0 7 4 4 2

CONSULTANTS

Project No. 1816
 Scale: 1/4"=1'-0"
 Date: 12/12/2016

Drawn: JB
 Checked: MP
 Submittal: DRB
 Cad File: D103

Drawing Title:
EXISTING ELEVATIONS
 Sheet No. **D103**



NOTE:
 ALL DIMENSIONS ARE APPROXIMATE. CONTRACTOR TO VERIFY IN FIELD.

DEMOLITION PLAN KEYED NOTES		SHEET NOTES	
NO.	DESCRIPTION	NO.	DETAILS
1	EXISTING TREE TO REMAIN	1	REMOVE EXISTING WALLS
2	EXISTING TREE TO BE REMOVED	2	REMOVE EXISTING SIDEWALK
3	EXISTING CONC WALL TO REMAIN	3	REMOVE EXISTING FENCE
4	EXISTING 3' COLUMN TO REMAIN	4	REMOVE EXISTING DRIVEWAY
5	EXISTING STREET DRAINAGE	5	REMOVE EXISTING STEPS
6	EXISTING 5' CONC SW	6	REMOVE EXISTING ROOF
GENERAL NOTES		7	REMOVE EXISTING PAVERS
1	CONTRACTOR TO INSPECT AREA OF WORK PRIOR TO DEMOLITION AND CAP UTILITIES AS NEEDED.	8	REMOVE EXISTING PLANTER
2	A SEPARATE PERMIT SUBMITTAL IS REQUIRED FOR THE DEMOLITION WORK	9	REMOVE EXISTING DOOR
		10	REMOVE EXISTING WINDOW
		11	REMOVE EXISTING CANOPY
		12	REMOVE EXISTING A/C UNIT
		13	REMOVE EXISTING RAILING
		14	REMOVE EXISTING SECURITY BARS
		15	REMOVE EXISTING ROOF TILE

Project Name:
JF SOUTH BEACH RESIDENCE
 1060 W 47 ST.
 MIAMI BEACH, FL.

Revisions

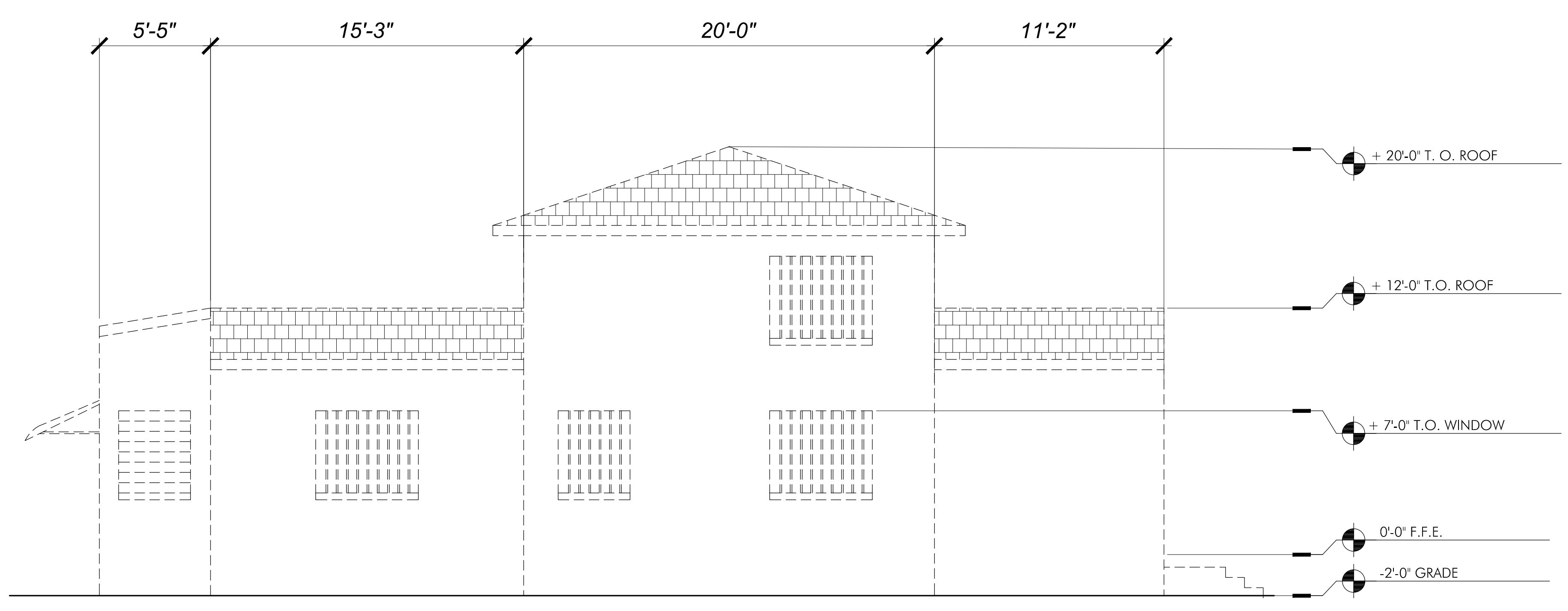
No.	Description	Date

ARCHITECT
ROBERT E. CHISHOLM, FAIA
 A R 0 0 7 4 4 2

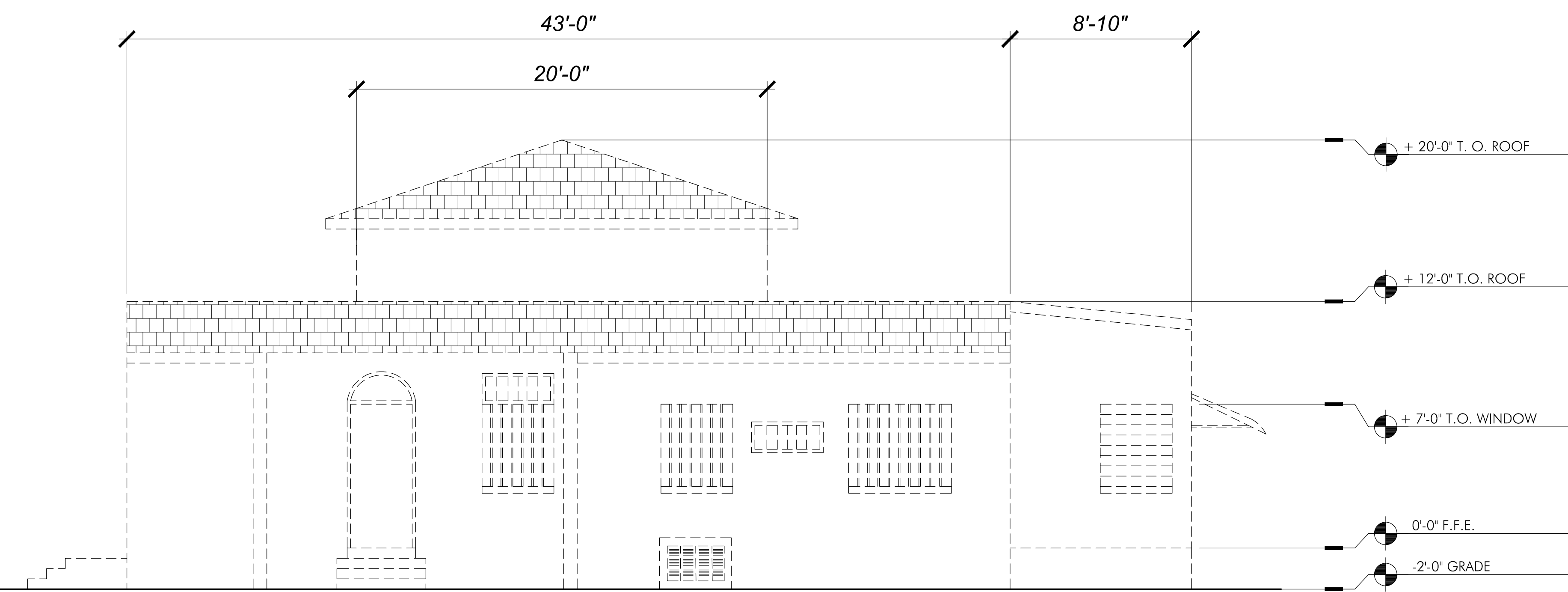
CONSULTANTS

Project No. 1816
 Scale: 1/4"=1'-0"
 Date: 12/12/2016

Drawn: JB
 Checked: MP
 Submittal: DRB
 Cad File: D104
 Drawing Title:
EXISTING ELEVATIONS
 Sheet No. **D104**



EXISTING EAST ELEVATION
 SCALE 1/4" = 1'-0"
 0 16' 32' 48' 64'



EXISTING WEST ELEVATION
 SCALE 1/4" = 1'-0"
 0 16' 32' 48' 64'

NOTE:
 ALL DIMENSIONS ARE APPROXIMATE. CONTRACTOR TO VERIFY IN FIELD.

DEMOLITION PLAN KEYED NOTES		SHEET NOTES	
NO.	DESCRIPTION	NO.	DETAILS
1	EXISTING TREE TO REMAIN	A	REMOVE EXISTING WALLS
2	EXISTING TREE TO BE REMOVED	B	REMOVE EXISTING SIDEWALK
3	EXISTING CONC WALL TO REMAIN	C	REMOVE EXISTING FENCE
4	EXISTING 3' COLUMN TO REMAIN	D	REMOVE EXISTING DRIVEWAY
5	EXISTING STREET DRAINAGE	E	REMOVE EXISTING STEPS
6	EXISTING 5' CONC SW	F	REMOVE EXISTING ROOF
		G	REMOVE EXISTING PAVERS
		H	REMOVE EXISTING PLANTER
		I	REMOVE EXISTING DOOR
		J	REMOVE EXISTING WINDOW
		K	REMOVE EXISTING CANOPY
		L	REMOVE EXISTING A/C UNIT
		M	REMOVE EXISTING RAILING
		N	REMOVE EXISTING SECURITY BARS
		O	REMOVE EXISTING ROOF TILE
GENERAL NOTES			
A	CONTRACTOR TO INSPECT AREA OF WORK PRIOR TO DEMOLITION AND CAP UTILITIES AS NEEDED.		
B	A SEPARATE PERMIT SUBMITTAL IS REQUIRED FOR THE DEMOLITION WORK		