

BREEZE | DRC FINAL SUBMITTAL

ELDERLY AFFORDABLE MULTI-FAMILY HOUSING

280 & 300 S. SHORE DR.
MIAMI BEACH, FL 33141

APRIL 11, 2022



TABLE OF CONTENTS

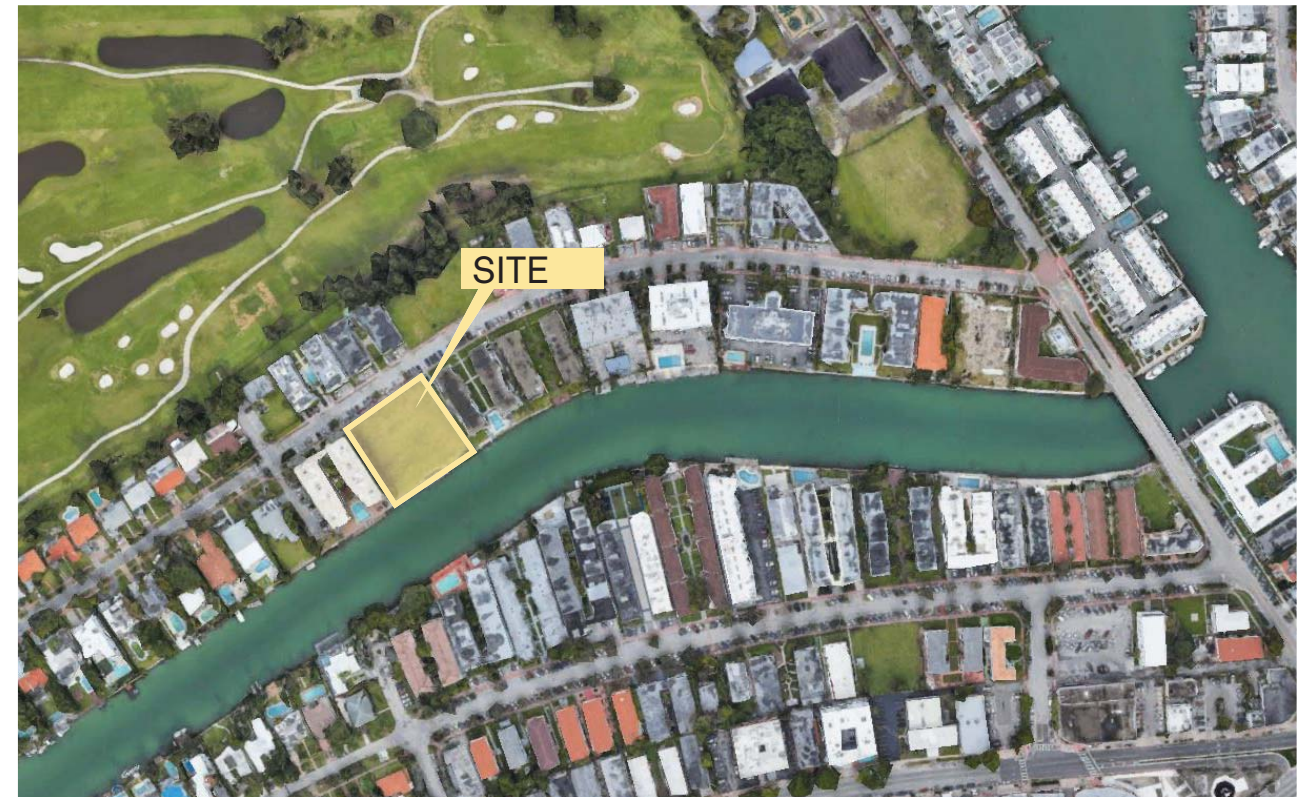
02_ Table of Contents	22_ Design
03_ Site Information	23_ Massing Articulation
04_ Site Location Maps	24_ Massing Articulation Diagram
05_ Site Location Aerial	25_ Rendering: Front Elevation
06_ Site Context Photos	26_ F.A.R Diagrams
07_ Project Site Photo	27_ Context Plan
08_ Street Context Buildings Legend	28_ Tree Disposition Plan
09_ Street Context Buildings Photos 1-9	29_ Landscape Plan
10_ Street Context Buildings Photos 10-18	30_ Landscape 5% Diagram
11_ Street Context Buildings Photos 19-25	31_ Landscape Palette
12_ Property Survey	32_ First Floor Plan
13_ Zoning Maps	33_ Second Floor Plan
14_ Zoning Data Table	34_ Third Floor Plan
15_ Zoning Data Table	35_ Fourth Floor Plan
16_ Material Palette + Reference Images	36_ Roof Plan
17_ MiMo Color Inspiration	37_ Typical Unit Floor Plan
18_ Breeze Block	38_ Elevations: North & South
19_ MiMo Breeze Block	39_ Elevations: West & East
20_ MiMo Signage	40_ Sections at Courtyard & Typical Units
21_ Exterior Finishes	41_ Waiver & Variance Analysis Diagram
	42_ Context Elevations
	43_ Massing
	44_ Signage Type and Location
	45_ Rendering: South Elevation
	46_ Rendering: S. Shore Dr. Looking East

SITE INFORMATION

SITE INFORMATION / SITE LOCATION MAPS



SITE LOCATION / MAP 01



SITE LOCATION / MAP 02



SITE LOCATION / MAP 03



SITE LOCATION / MAP 04

SITE INFORMATION / SITE LOCATION AERIAL



AERIAL VIEW / FROM NORTHEAST



SITE LOCATION / FROM NORTHWEST



AERIAL VIEW / FROM SOUTHWEST

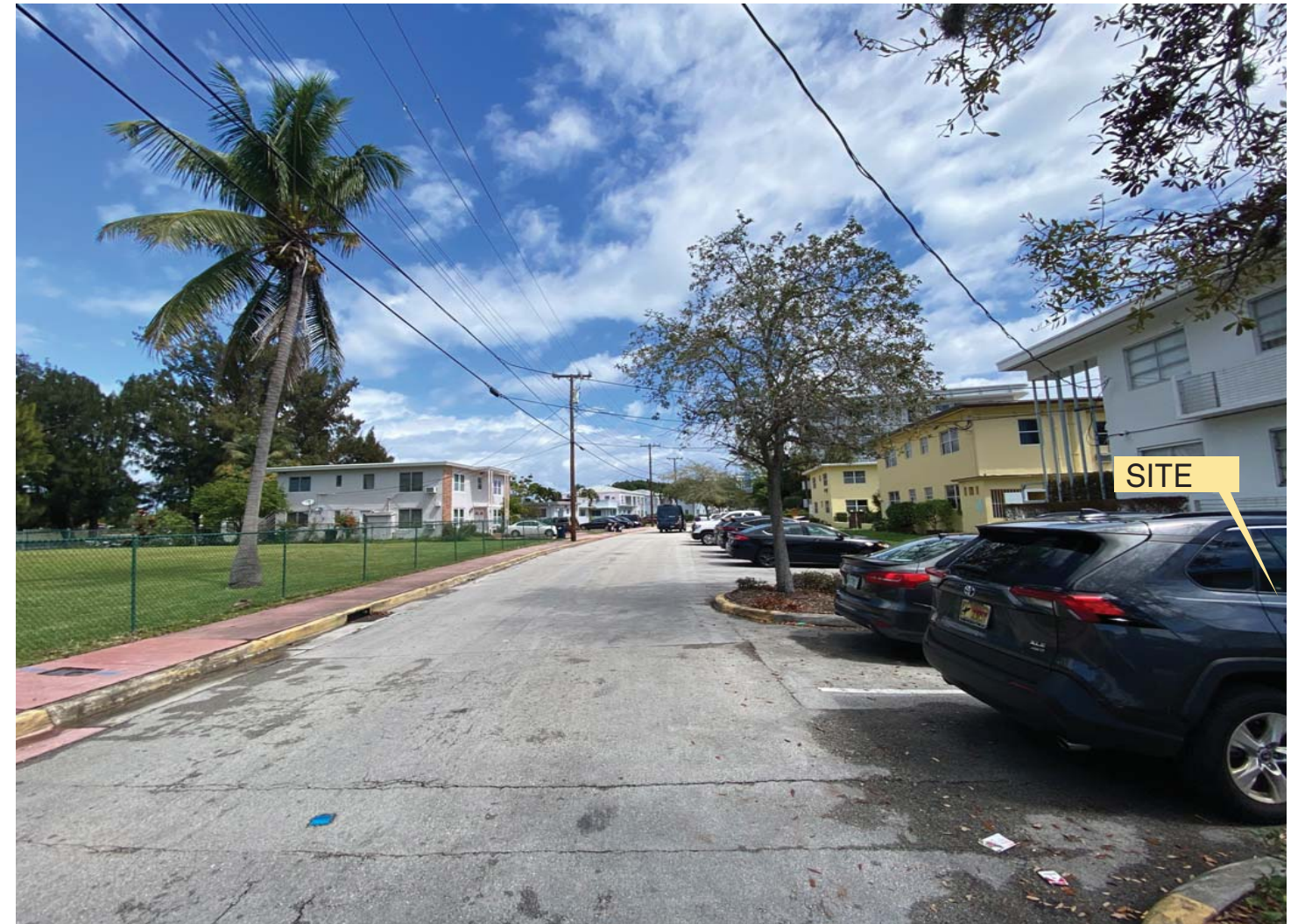


SITE LOCATION / FROM SOUTHEAST

SITE INFORMATION / CONTEXT PHOTOS



S. SHORE DRIVE, LOOKING WEST



S. SHORE DRIVE, LOOKING EAST

SITE INFORMATION / PROJECT SITE PHOTO



SITE LOCATION: 280 & 300 S. SHORE DRIVE

PHOTOS TAKEN 03/02/2022

SITE INFORMATION / STREET CONTEXT BUILDINGS LEGEND



SITE INFORMATION / STREET CONTEXT BUILDINGS



PHOTO 1- #4



PHOTO 2- #10



PHOTO 3- #20



PHOTO 4- #30



PHOTO 5- #50



PHOTO 6- #80



PHOTO 7- #110



PHOTO 8- #130



PHOTO 9- #150, 158, 160

PHOTOS TAKEN 03/02/2022



PHOTO 10- #200



PHOTO 11- #350



PHOTO 12- #325



PHOTO 13- #315-321



PHOTO 14- #301



PHOTO 15- #275



PHOTO 16- #157



PHOTO 17- #145



PHOTO 18- #141

PHOTOS TAKEN 03/02/2022



PHOTO 19- #133



PHOTO 20- #125



PHOTO 21- #117



PHOTO 22- #105



PHOTO 23- #95



PHOTO 24- #64-75

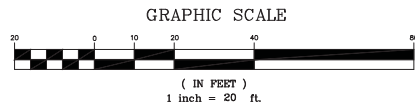
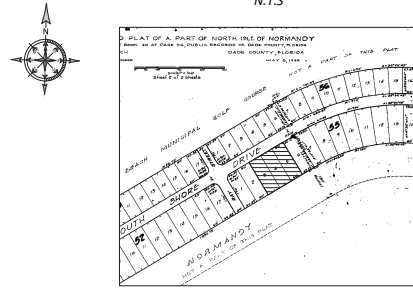


PHOTO 25- #165, 175 & 185

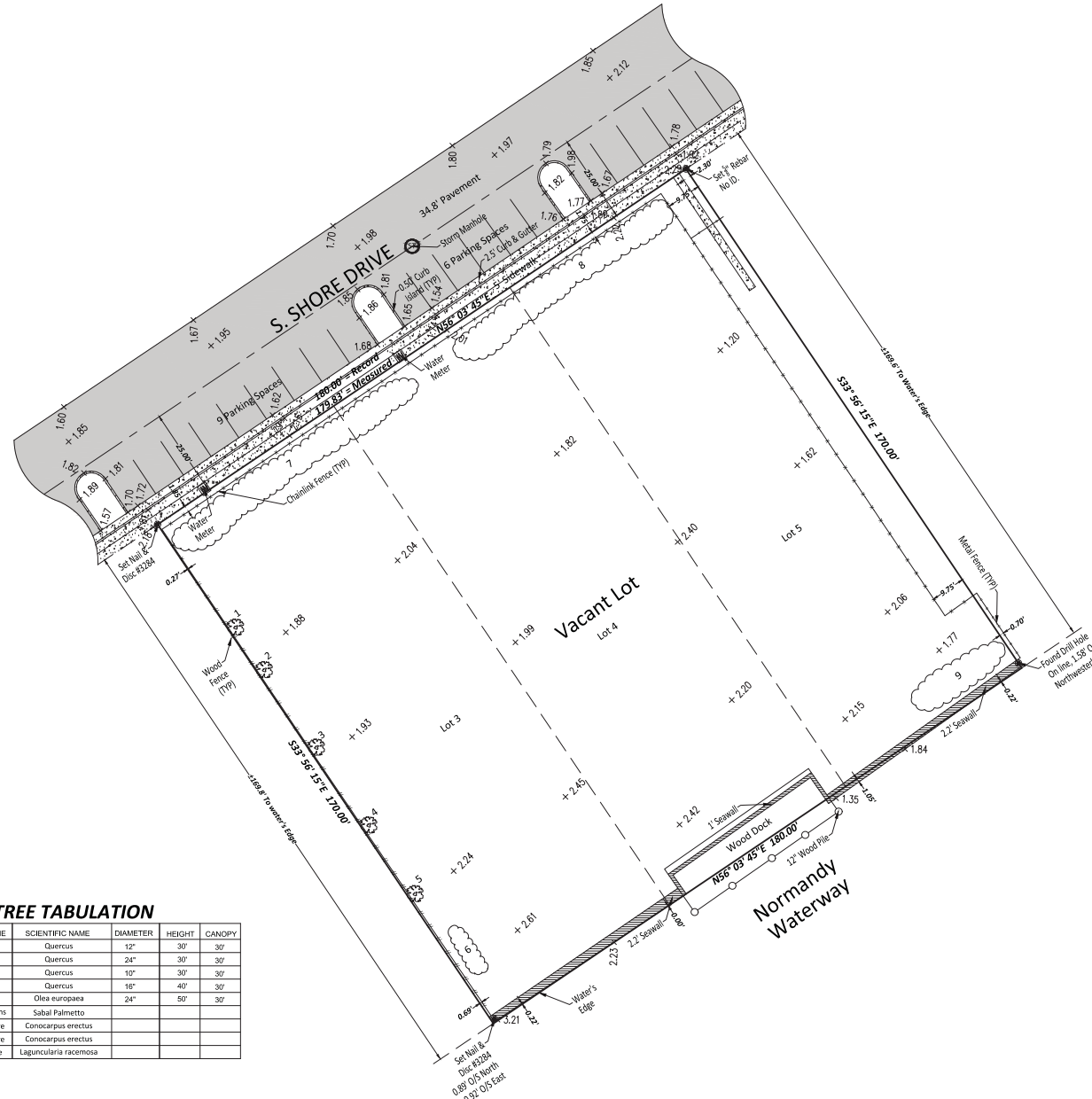
PHOTOS TAKEN 03/02/2022

SITE INFORMATION / PROPERTY SURVEY

LOCATION MAP
N.T.S.



BOUNDARY SURVEY



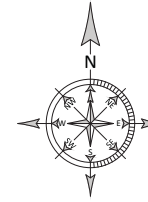
LEGAL DESCRIPTION:
Lot 3, 4, and 5, Block 55, OF NORMANDY GOLF COURSE, according to the Plat thereof, as recorded in Plat Book 44, Page 62, of the Public Records of Miami-Dade County, Florida.

SURVEY FOR:
HOUSING AUTHORITY OF CITY OF MIAMI BEACH

- SURVEYOR'S NOTES:**
- There may be additional restrictions that are not shown on this survey that may be found in the public records of this county.
 - Examination of abstract of title will have to be made to determine recorded instruments, if any, affecting property.
 - This certification is only for the lands as described, it is not a certification of title, zoning, easements, or freedom of encumbrances. Abstract not reviewed.
 - Location and identification of utilities, if any, are shown in accordance with recorded plat.
 - Ownership is subject to opinion of title.
 - Type of Survey: BOUNDARY SURVEY
 - The herein captioned property was surveyed and described based on the shown legal description: provided by client.
 - Survey map and report or the copies thereof are not valid and for reference only, unless signed and sealed with the original raised seal of a Florida licensed surveyor and mapper.
 - This plan of survey has been prepared for the exclusive use of the entities named hereon. The certificate does not extend to any unnamed parties.
 - Underground utilities are not depicted hereon, contact the appropriate authority prior to any design work or construction on the property herein described. Surveyor shall be notified as to any deviation from utilities shown hereon.
 - The surveyor of record does not determine ownership of fences. Measurements shown hereon depict physical location of fence.
 - Accuracy: The expected use of land as classified in the Minimum Technical Standards (SJ-17 FAC), is "suburban". The minimum relative distance accuracy for the type of boundary survey is 1 foot in 7,500 feet. The accuracy obtained by measurement and calculation of a closed geometric figure was found to exceed this requirement.
 - In some instances, graphic representations have been exaggerated to more clearly illustrate relationships between physical improvements and/or lot lines. In all cases, dimensions shown shall control the location of the improvements over scaled positions.
 - No attempt has been made to locate any foundation beneath the surface of the ground.
 - Contact the appropriate authority prior to any design work on the herein described parcel for building and zoning information.
 - Additions or deletions to survey maps or reports by other than the signing party or parties is prohibited without written consent of the signing party or parties.
 - Bearings shown are assumed and are based on the Southeasterly Right-of-Way of S. SHORE DRIVE, being $N 56^{\circ}03'45'' E$.

TREE TABULATION

NUMBER	COMMON NAME	SCIENTIFIC NAME	DIAMETER	HEIGHT	CANOPY
①	Oak	Quercus	12"	30'	30'
②	Oak	Quercus	24"	30'	30'
③	Oak	Quercus	10"	30'	30'
④	Oak	Quercus	16"	40'	30'
⑤	Olive Tree	Olea europaea	24"	50'	30'
⑥	7 Palmetto Palms	Sabal Palmetto			
⑦	Button Mangrove	Conocarpus erectus			
⑧	Button Mangrove	Conocarpus erectus			
⑨	White Mangrove	Laguncularia racemosa			



LEGEND

- WATER METER
- CATCH BASIN
- ⚡ FIRE HYDRANT
- CLEAN OUT
- ⊙ SANITARY MANHOLE
- ⊙ STORM MANHOLE
- ⊙ FPL MANHOLE
- ⊙ BELL SOUTH MANHOLE
- INLET
- ⊙ WATER VALVE
- ⊙ GAS VALVE
- ⊙ UTILITY POLE
- CONCRETE UTILITY POLE
- TRAFFIC BOX
- ⊙ TREE
- ⊙ P.B. PLAT BOOK
- PG. PAGE
- SQ.FT. SQUARE FEET
- ± MORE OR LESS
- ELEV. ELEVATION
- INV. INVERT
- ⊙ CENTERLINE
- ⊙ CITY OF MIAMI MONUMENT LINE
- ⊙ PROPERTY LINE
- ENCR. ENCROACHMENT
- (M) MEASURED
- (P) PLAT
- (A) ATLAS SHEET
- OVERHEAD POWER LINES
- WATER MAIN
- SEWER MAIN
- TELEPHONE LINE
- GAS LINE
- CHAIN LINK FENCE
- BACKFLOW PREVENTER
- ♿ HANDICAP PARKING
- ⊙ ELECTRIC BOX
- COLUMN
- TBM TEMPORARY BENCH MARK
- ⊙ STREET LIGHT POLE

ELEVATION NOTE: (IF REQUESTED AND SHOWN)
Elevations are referred to the North American Vertical Datum of 1988

2. Elevations are referred to the North American Vertical Datum of 1988

BENCHMARK INFORMATION: NAME: A-23.8. DESCRIPTION: BRASS BARS IN TOP OF CATCH BASIN AT SW CORNER OF INTERSECTION: NORMANDY DRIVE -- 30.7' SOUTHERLY OF C/L, RUE NOTRE DAME -- 62.5' WEST OF C/L. ELEVATION: (+3.80' NGVD)(+2.26' NAVD)

THIS IS NOT A VALID CERTIFICATION WITHOUT THE SURVEYOR'S ORIGINAL SIGNATURE AND BASED ON THE SURVEYOR'S BEST KNOWLEDGE AND BELIEF. THE SURVEYOR'S ORIGINAL SIGNATURE AND BASED ON THE SURVEYOR'S BEST KNOWLEDGE AND BELIEF. THE SURVEYOR'S ORIGINAL SIGNATURE AND BASED ON THE SURVEYOR'S BEST KNOWLEDGE AND BELIEF. THE SURVEYOR'S ORIGINAL SIGNATURE AND BASED ON THE SURVEYOR'S BEST KNOWLEDGE AND BELIEF.

BY: JOSE YERRE DATE: _____
WALDO F. DAIZ, P.S.M. No. 3284 STATE OF FLORIDA

ADDRESS: 300-280 S. SHORE DRIVE, MIAMI BEACH, FL 33140
CADD NO.: 05-3203-007-1260

CHECKED BY: V.C.
DRAWN BY: V.C.

SCALE: 1" = 20'

DELTA MAPPING & SURVEYING, INC.
LAND SURVEYORS - LAND PLANNERS
13301 SW 132 Avenue, Suite 117
L.S. No. 7488
PHONE: (781) 427-0234 FAX: (781) 593-1152

COMMUNITY MAP & NUMBER: 120860-0307 L
CITY OF MIAMI: 120860-0307 L
FLOOD ZONE(S): AE
BASE FLOOD ELEVATION: 8'

DATE: 05-11-2019

SHEET:
1
OF 1 SHEET(S)
SURVEY DATE:
12-14-2021
JOB NO.:
21-0432

REVISIONS:	JOB NO.:	DATE:	REVISIONS:	JOB NO.:	DATE:

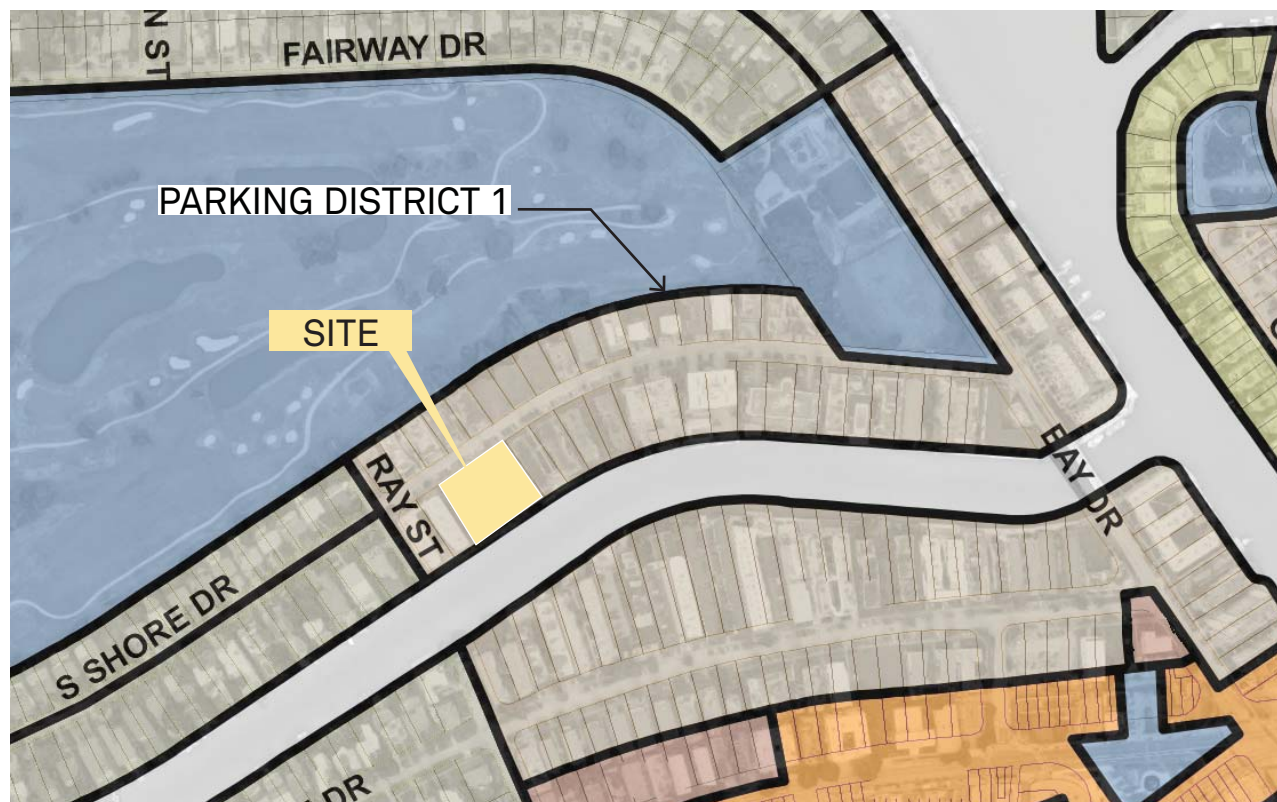
SITE INFORMATION / ZONING MAPS



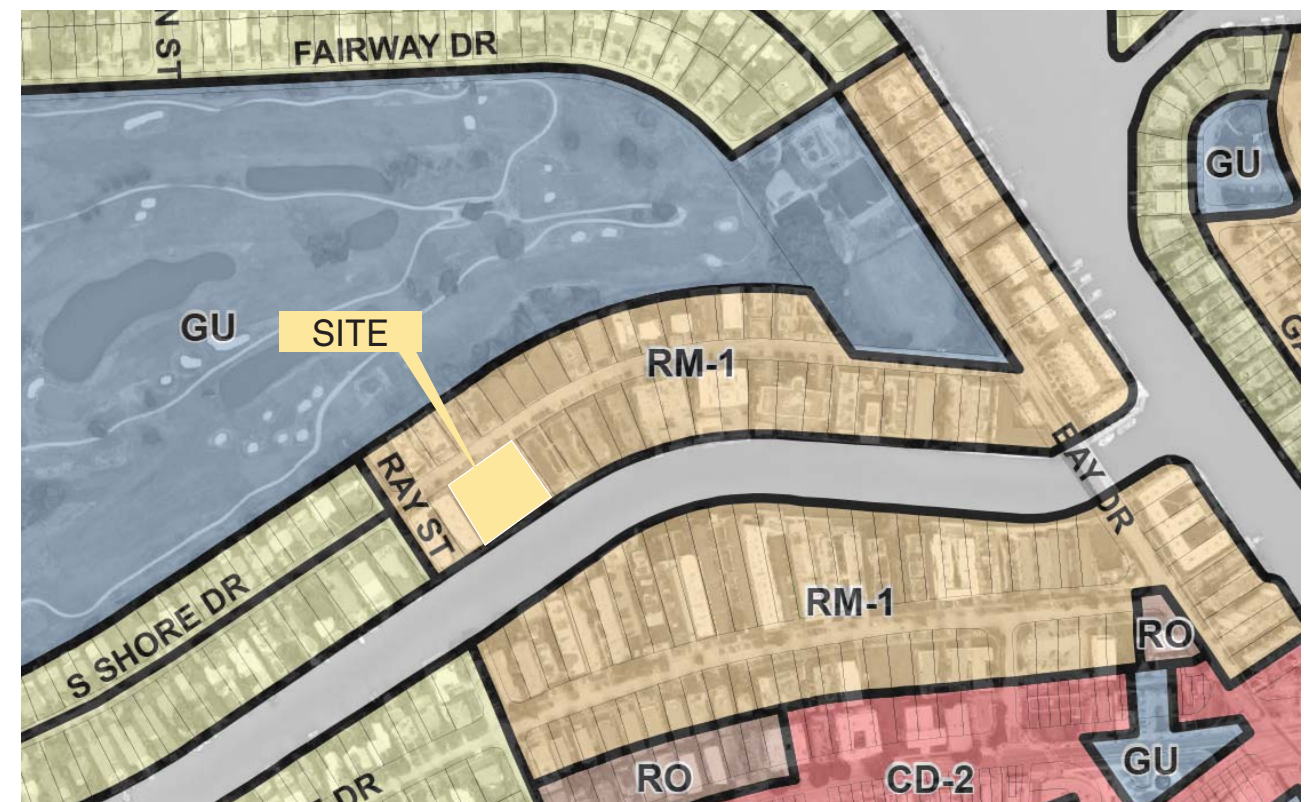
S. SHORE DRIVE VOLUMETRIC AERIAL MAP



NORMANDY ISLE HISTORICAL DISTRICT MAP



PARKING DISTRICT 1 MAP



PRIMARY ZONING DISTRICT: RM-1

SITE INFORMATION / ZONING DATA TABLE



MIAMI BEACH

Planning Department, 1700 Convention Center Drive, 2nd Floor
 Miami Beach, Florida 33139, www.miamibeachfl.gov
 305.673.7550

1 of 3

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Project Information			
1	Address:	280 & 300 S SHORE DR., MIAMI BEACH, FL 33141		
2	Board and file numbers :			
3	Folio number(s):	02-3203-007-1160, 02-3203-007-1170		
4	Year constructed:	N/A	Zoning District:	RM-1
5	Based Flood Elevation:	8' req. 10' provided	Grade value in NGVD:	3.5'
6	Adjusted grade (Flood+Grade/2):	(10'+3.5')/2= 6.75'	Lot Area:	30,600 SF (0.7 ACRE)
7	Lot width:	180'	Lot Depth:	170'
8	Minimum Unit Size	405 SF	Average Unit Size	440 SF
9	Existing use:	EMPTY LOT	Proposed use:	MULTY FAMILY ELDERLY HOUSING

	Zoning Information / Calculations	Maximum	Existing	Proposed	Deficiencies
10	Height	45'	N/A	41'	
11	Number of Stories	N/A	N/A	4	
12	FAR	38,250 SF	N/A	38,192 SF	
13	Gross square footage	146,076 SF	N/A	42,567 SF	
14	Square Footage by use	N/A	N/A	Parking: 11,321 SF Residential: 31,246 SF	
15	Number of units Residential	75	N/A	70	
16	Number of units Hotel	N/A	N/A	N/A	
17	Number of seats	N/A	N/A	N/A	
18	Occupancy load	N/A	N/A	277	

	Setbacks	Required	Existing	Proposed	Deficiencies
Subterranean:					
19	Front Setback:	N/A	N/A	N/A	N/A
20	Side Setback:	N/A	N/A	N/A	N/A
21	Side Setback:	N/A	N/A	N/A	N/A
22	Side Setback facing street:	N/A	N/A	N/A	N/A
23	Rear Setback:	N/A	N/A	N/A	N/A
At Grade Parking:					
24	Front Setback:	25'	N/A	29'	
25	Side Setback:	(8%) 14'-5"	N/A	23'-10 1/2"	
26	Side Setback:	(10%) 18'	N/A	18'	
27	Side Setback facing street:	N/A	N/A	N/A	
28	Rear Setback:	(10%) 17'-0"	N/A	22'-3"	
Pedestal:					
29	Front Setback:	25'	N/A	22'	3'
30	Side Setback:	(8%) 14'-5"	N/A	19'-10 1/2"	

SITE INFORMATION / ZONING DATA TABLE



2 of 3

Planning Department, 1700 Convention Center Drive, 2nd Floor
 Miami Beach, Florida 33139, www.miamibeachfl.gov
 305.673.7550

31	Side Setback:	(10%) 18'	N/A	18'	
32	Side Setback facing street:	N/A	N/A	N/A	
33	Rear Setback:	(10%) 17'-0"	N/A	18'-3"	
	Tower:				
34	Front Setback:	N/A	N/A	N/A	
35	Side Setback:	N/A	N/A	N/A	
36	Side Setback:	N/A	N/A	N/A	
37	Side Setback facing street:	N/A	N/A	N/A	
38	Rear Setback:	N/A	N/A	N/A	

	Parking	Required	Existing	Proposed	Deficiencies
39	Parking district	SENIOR HOUSING(N/A)	N/A	N/A	
40	Total # of parking spaces	0	N/A	33	
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	
43	Parking Space Dimensions	N/A	N/A	8'-6" X 18'-0"	
44	Parking Space configuration (45o, 60o, 90o, Parallel)	N/A	N/A	90	
45	ADA Spaces	N/A	N/A	2	
46	Tandem Spaces	N/A	N/A	0	
47	Drive aisle width	N/A	N/A	22'	
48	Valet drop off and pick up	N/A	N/A	N/A	
49	Loading zones and Trash collection areas	N/A	N/A	1	
50	Bicycle parking, location and Number of racks	N/A	N/A	6	

	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51	Type of use	N/A	N/A	N/A	
52	Number of seats located outside on private property	N/A	N/A	N/A	
53	Number of seats inside	N/A	N/A	N/A	
54	Total number of seats	N/A	N/A	N/A	



3 of 3

Planning Department, 1700 Convention Center Drive, 2nd Floor
 Miami Beach, Florida 33139, www.miamibeachfl.gov
 305.673.7550

55	Total number of seats per venue (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	
56	Total occupant content	N/A	N/A	N/A	
57	Occupant content per venue (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	
58	Proposed hours of operation	N/A			
59	Is this an NIE? (Neighborhood Impact establishment, see CMB 141-1361)	NO			
60	Is dancing and/or entertainment proposed? (see CMB 141-1361)	N/A			
61	Is this a contributing building?	N/A			
62	Located within a Local Historic District?	YES			
	Additional data or information must be presented in the format outlined in this section				

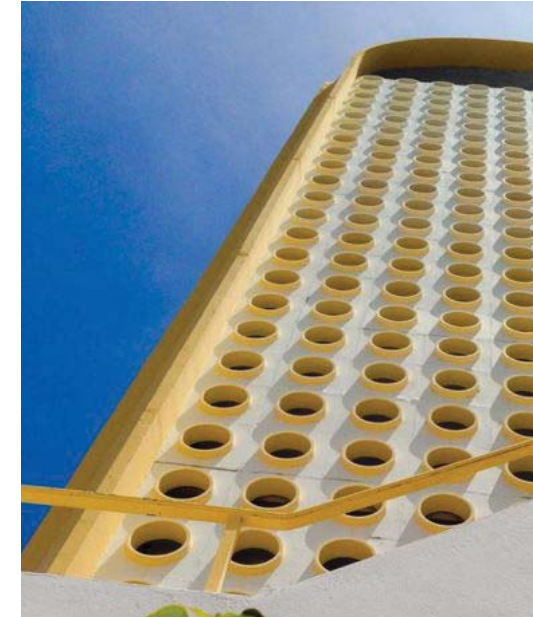
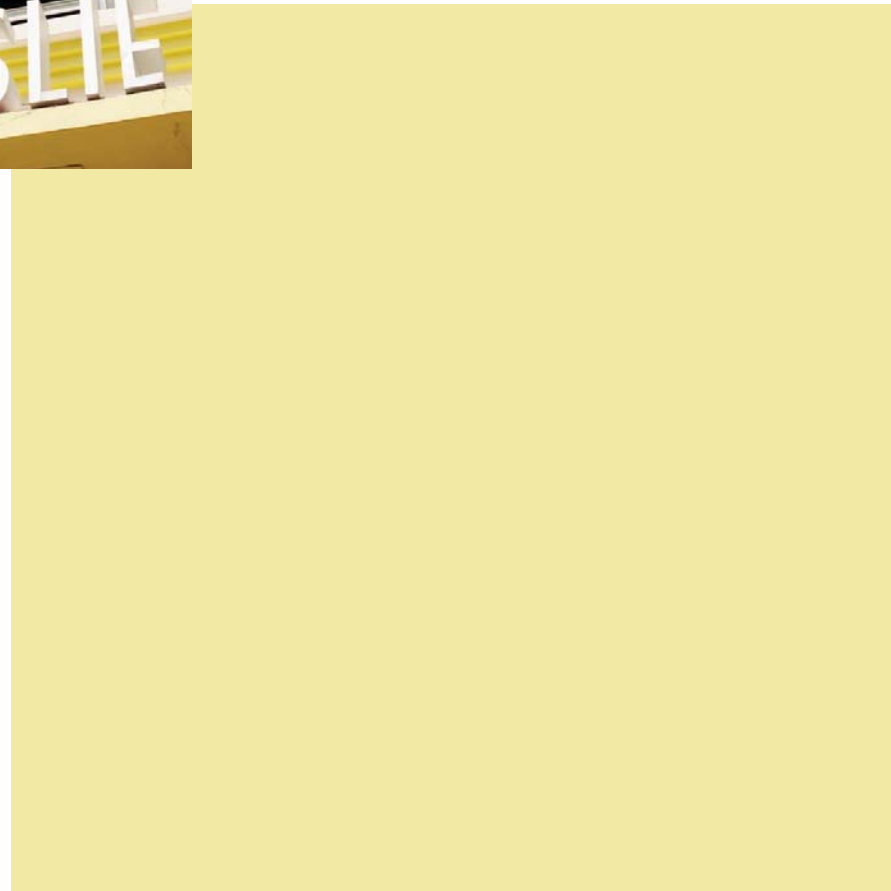
Notes:
 If not applicable write N/A

MATERIAL PALETTE +
REFERENCE IMAGES

MATERIAL PALETTE / MIMO COLOR INSPIRATION



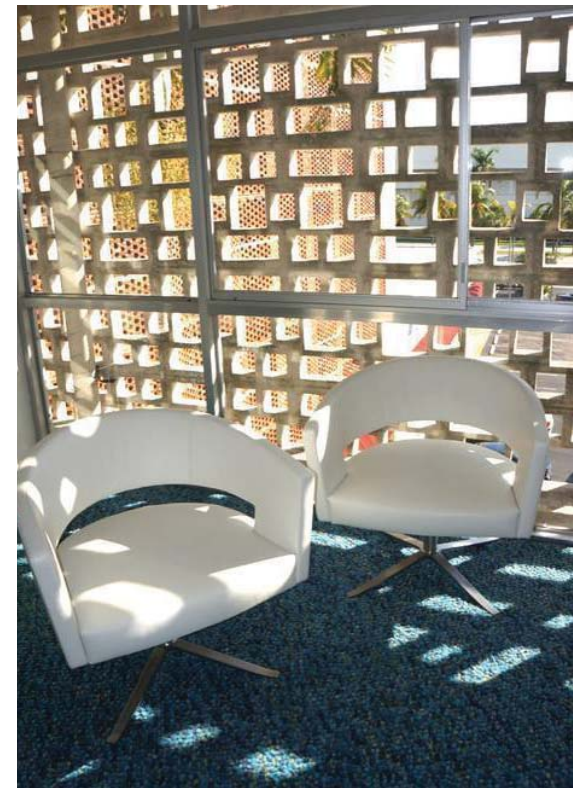
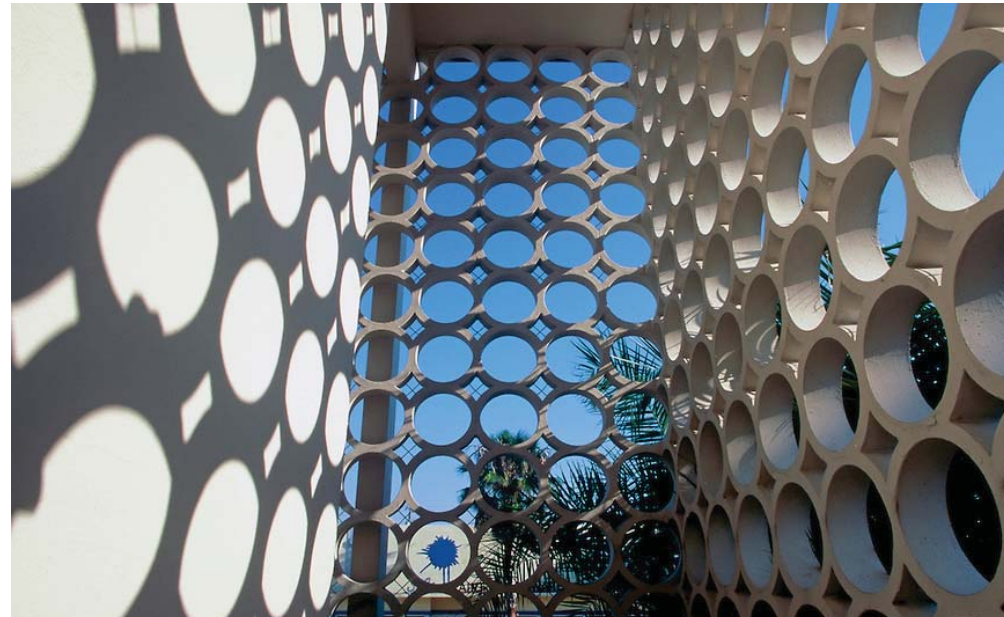
COLOR / TWINKLING LIGHTS



MATERIAL PALETTE / BREEZE BLOCK



MATERIAL PALETTE / MIMO BREEZE BLOCK

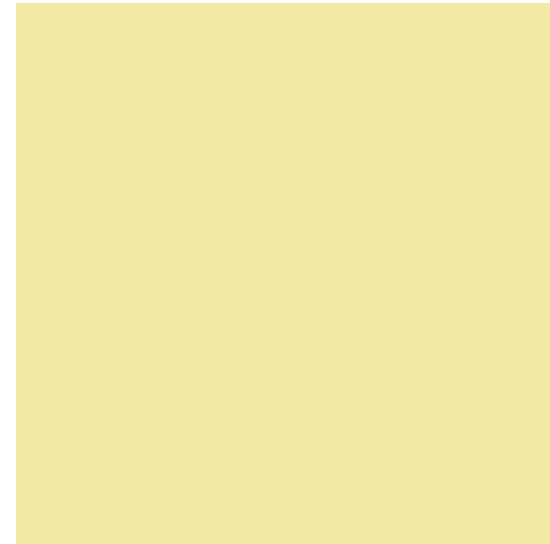


MATERIAL PALETTE / MIMO SIGNAGE



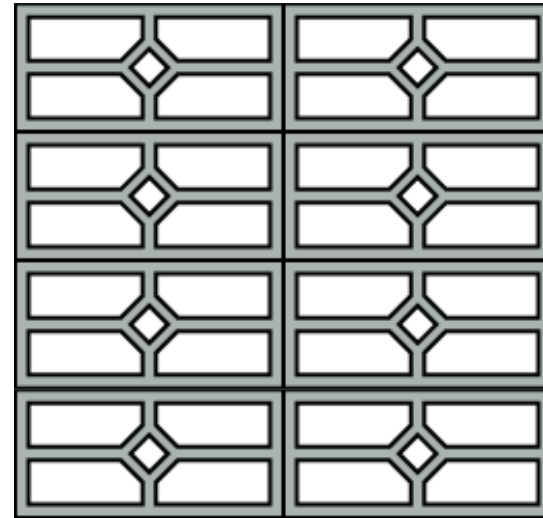
MATERIAL PALETTE / EXTERIOR FINISHES

EXTERIOR FINISHES

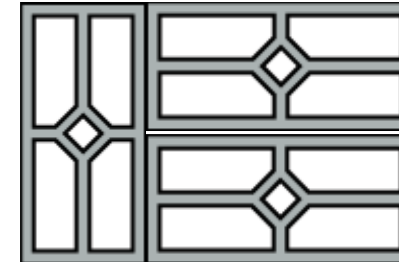


1. STUCCO SAND FINISH
TWINKLING LIGHTS |
DE5338

2. GLITTER GLASSCHIP
N/A | BON



3. A-1 BREEZE BLOCK CORPORATION
WHITE | DESIGN#422

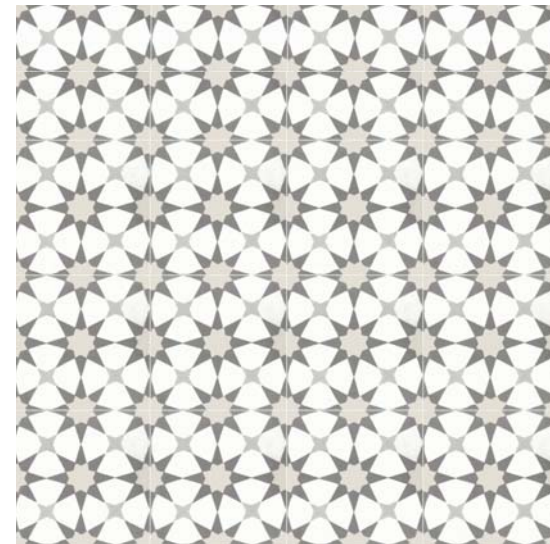


EXTERIOR DECK
4. FIBER CEMENT BOARD
HORIZONTAL PANEL
TEAK | NICHIHA FIBER CEMENT

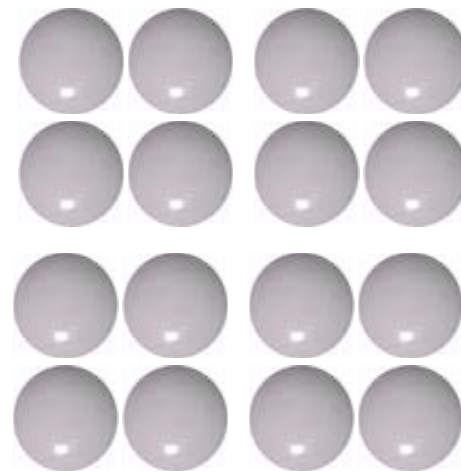


WINDOW BOX
5. ACCENT COLOR, PAINT
TWINKLING LIGHTS| DE5338

TILE OPTIONS



6. TESSELLE CEMENT TILE
8" SQUARE TILE



7. CERAMIC MARKER
4" ROUND WHITE W REFLECTOR
STOP-PAINTING



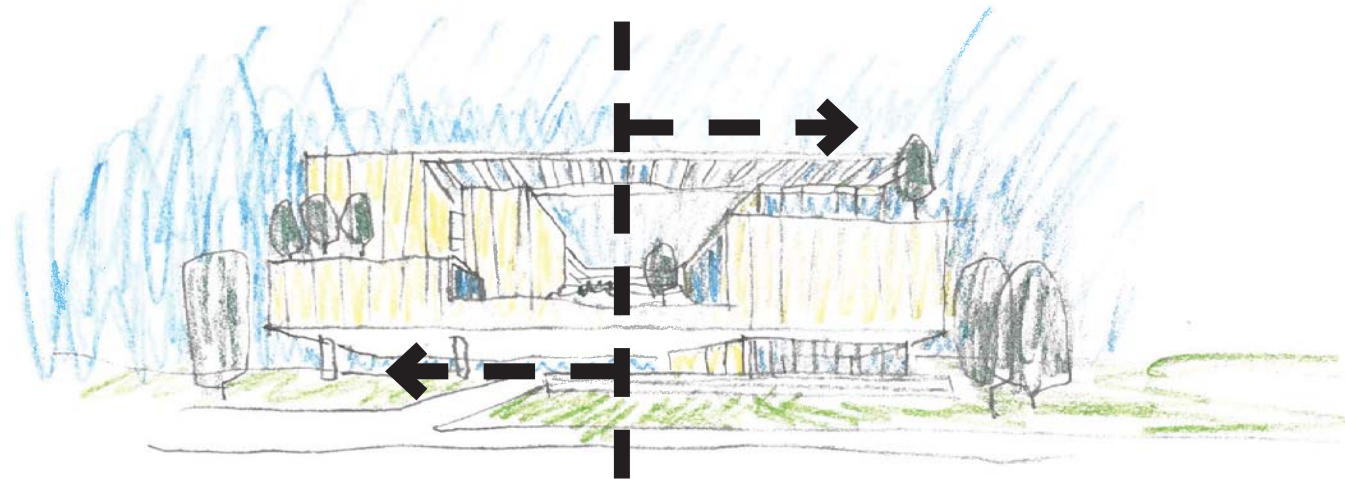
8. CONCRETE
SEALED | TBD



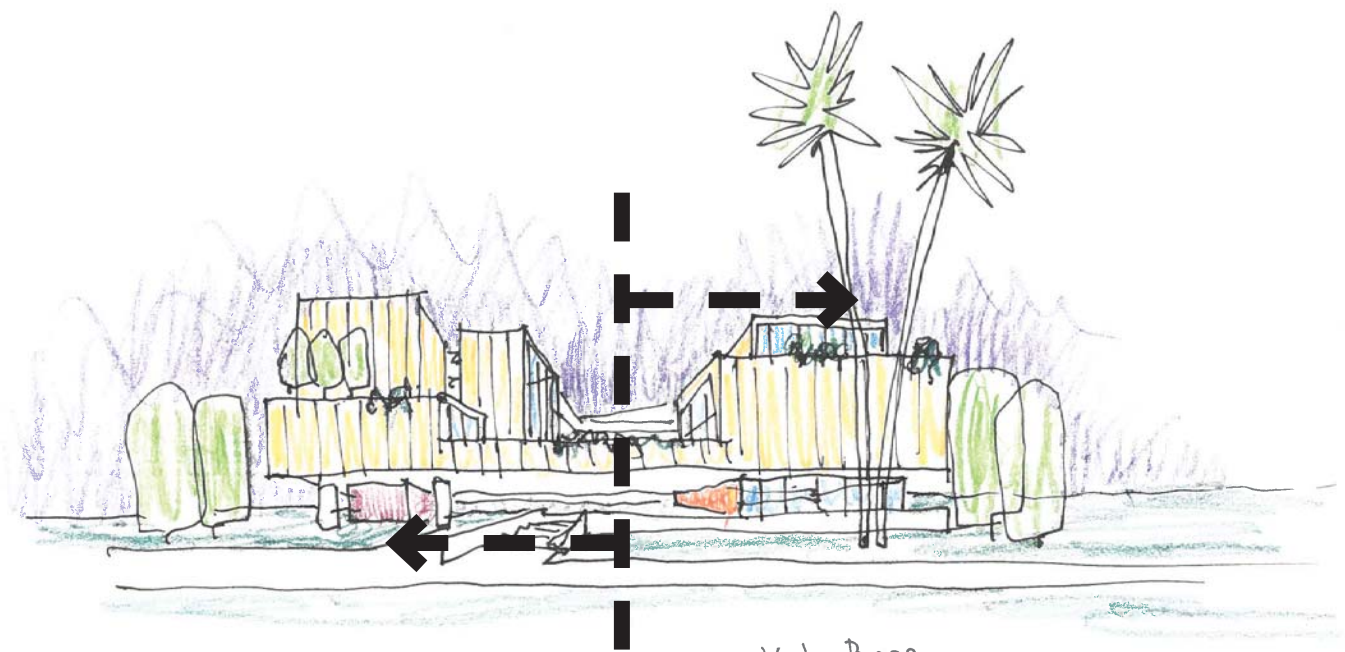
9. EXTERIOR FENCING, ALUMINUM
GREY | CUSTOM

DESIGN

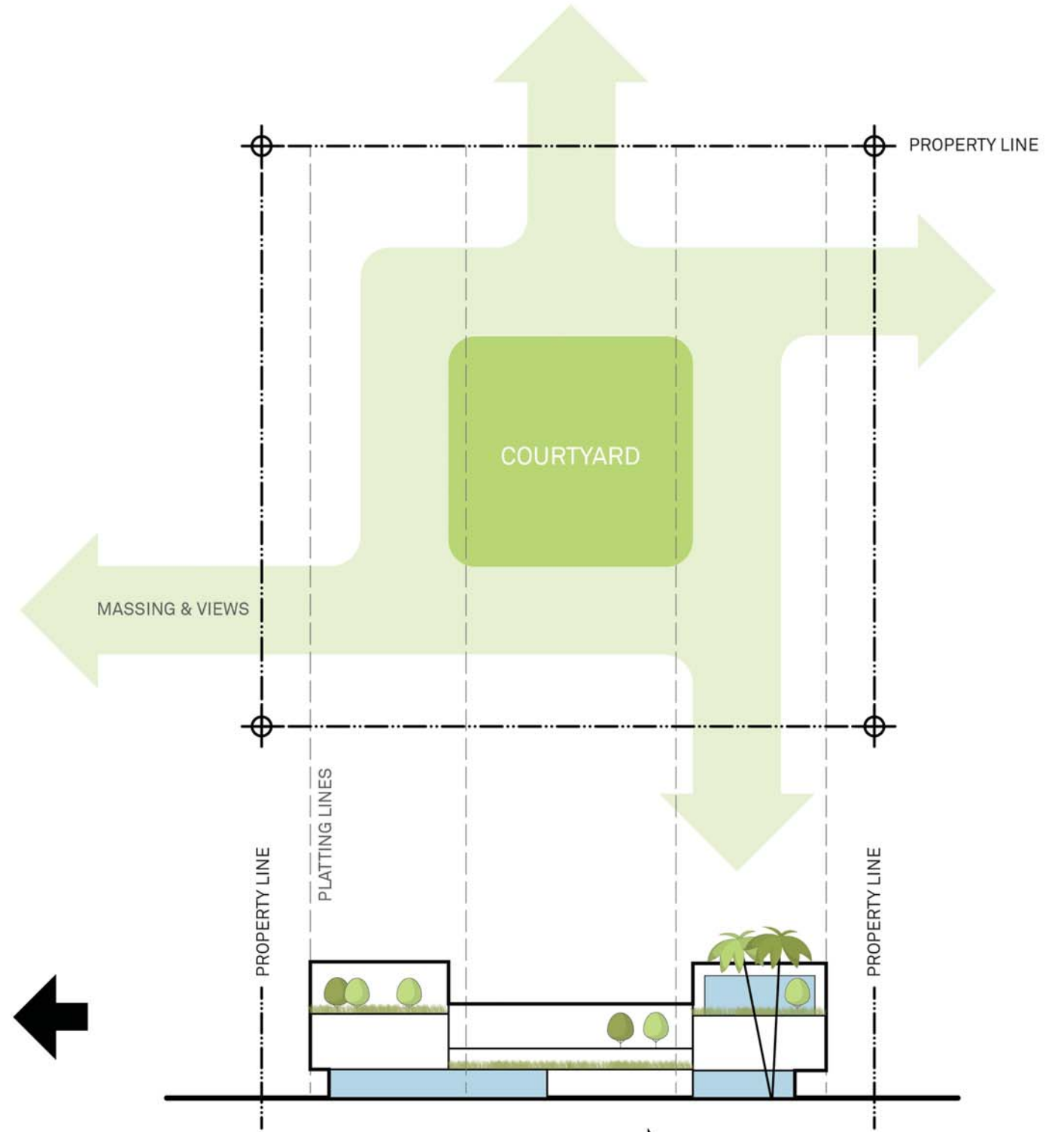
CONCEPT / MASSING ARTICULATION



Vista Breeze
Miami Beach.

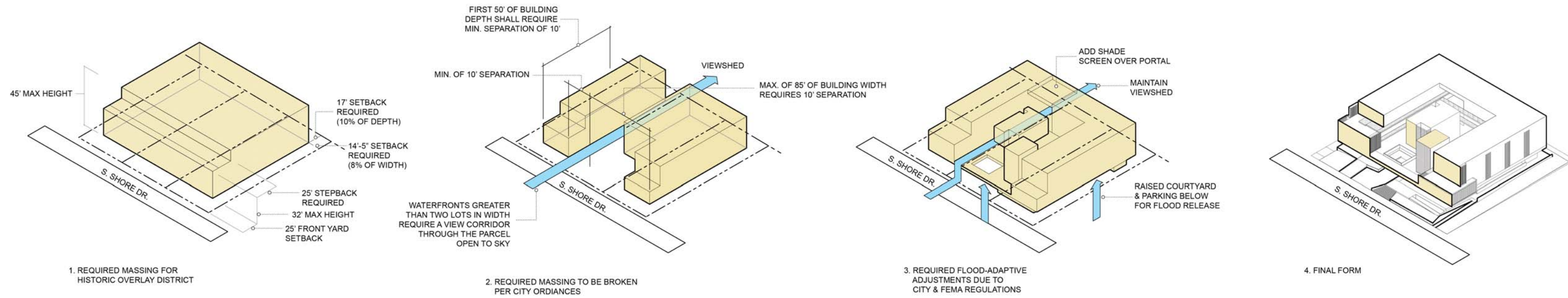


Vista Breeze
Miami Beach, FL
10 Jan 2022
Scarpa



MASSING ARTICULATION IS BROKEN BASED UPON ORIGINAL PLATTING

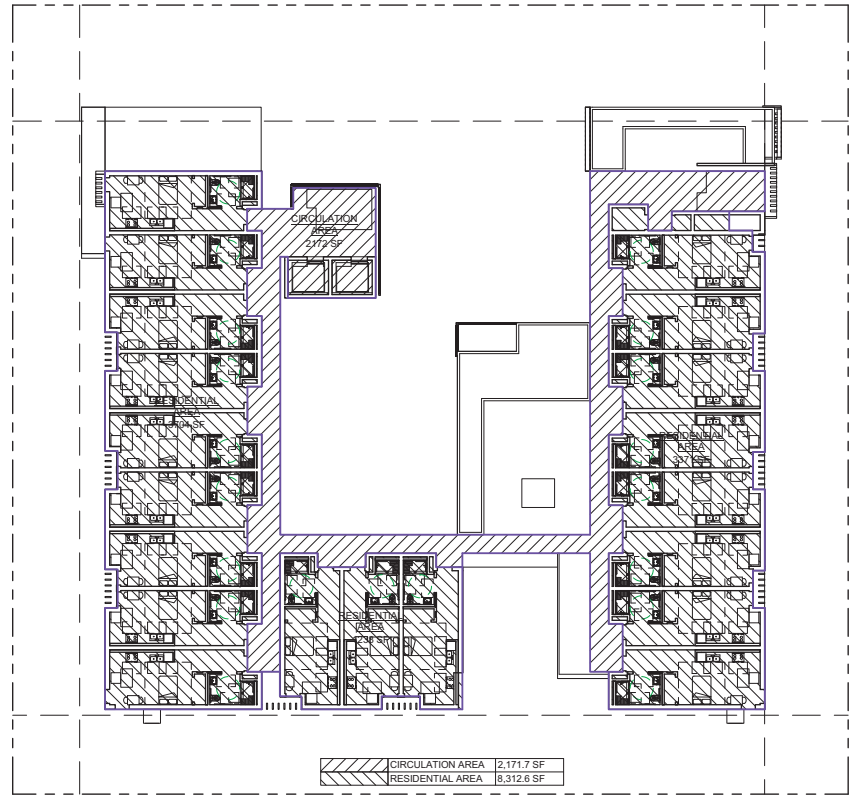
CONCEPT / MASSING ARTICULATION DIAGRAM



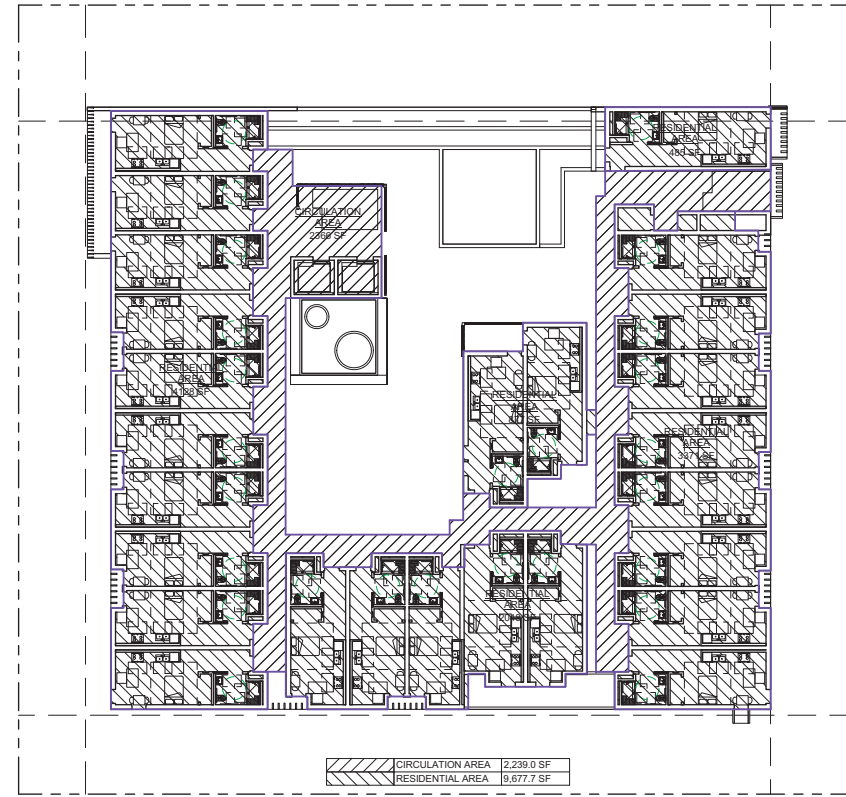
DESIGN / FRONT ELEVATION



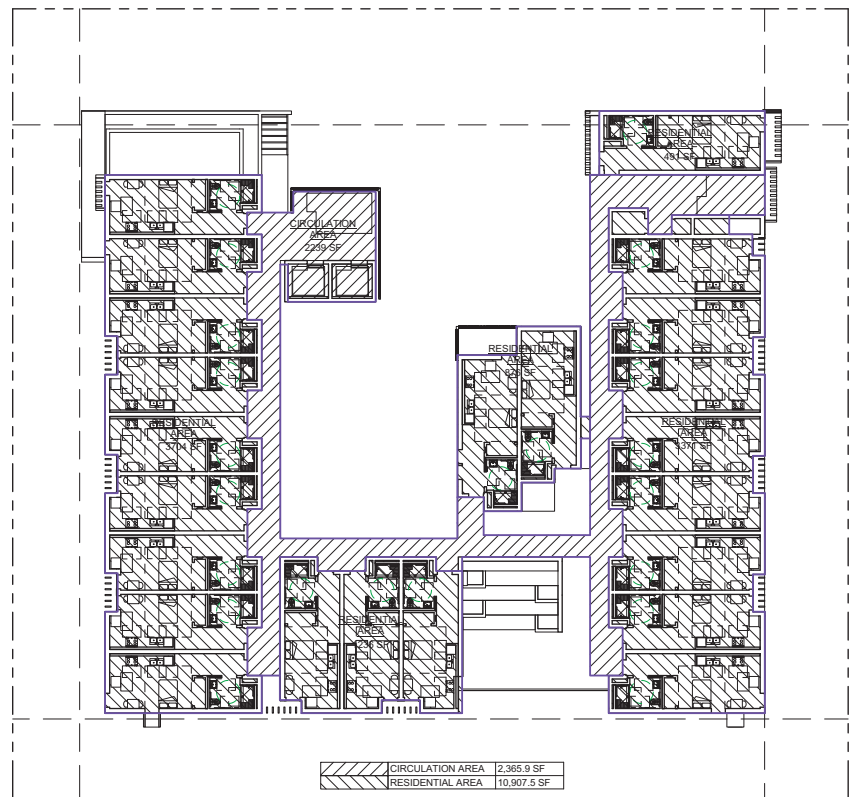
DESIGN / F.A.R. DIAGRAMS



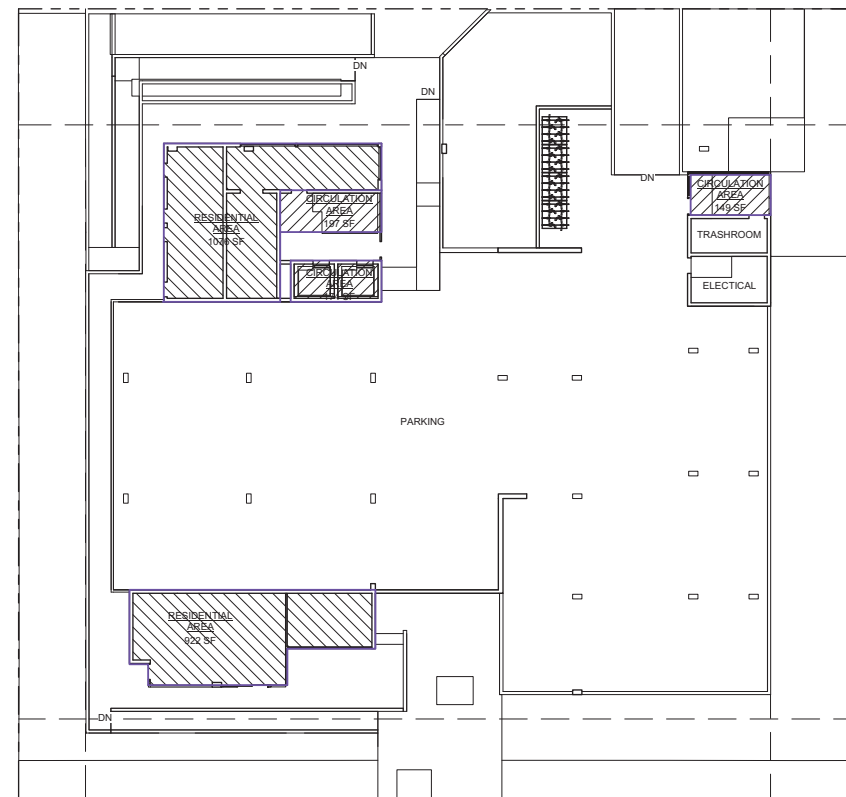
4TH FLOOR (30'-0") 04
SCALE: 1/16" = 1'-0"



2ND FLOOR (10'-0") 02
SCALE: 1/16" = 1'-0"



3RD FLOOR (20'-0") 03
SCALE: 1/16" = 1'-0"



1ST FLOOR 01
SCALE: 1/16" = 1'-0"

SEC. 142-155. - DEVELOPMENT REGULATIONS AND AREA REQUIREMENTS.

Max. FAR: 1.25

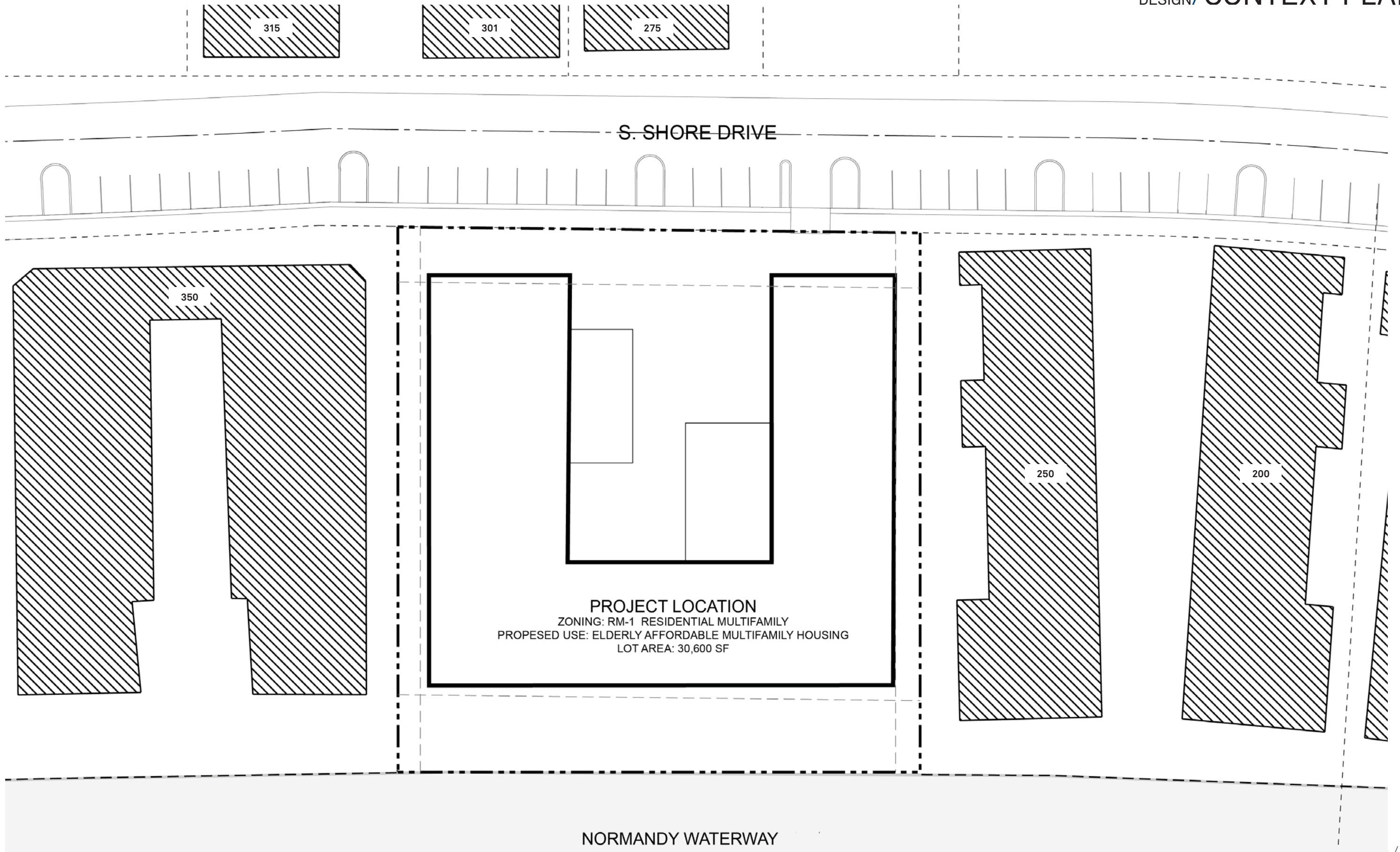
LOT #2
lot size of 30,600 sf per RFP x 1.25 = 38,250 sf max. area allowed

▨ CIRCULATION AREA
▨ RESIDENTIAL AREA

GROSS FLOOR AREA	
GROUND FLOOR	2,517.9 SF
SECOND FLOOR	13,273.4 SF
THIRD FLOOR	11,916.6 SF
FOURTH FLOOR	10,484.2 SF
TOTAL	38,192.1 SF

MAX. ALLOWED : 38,250 SF

DESIGN/ **CONTEXT PLAN**

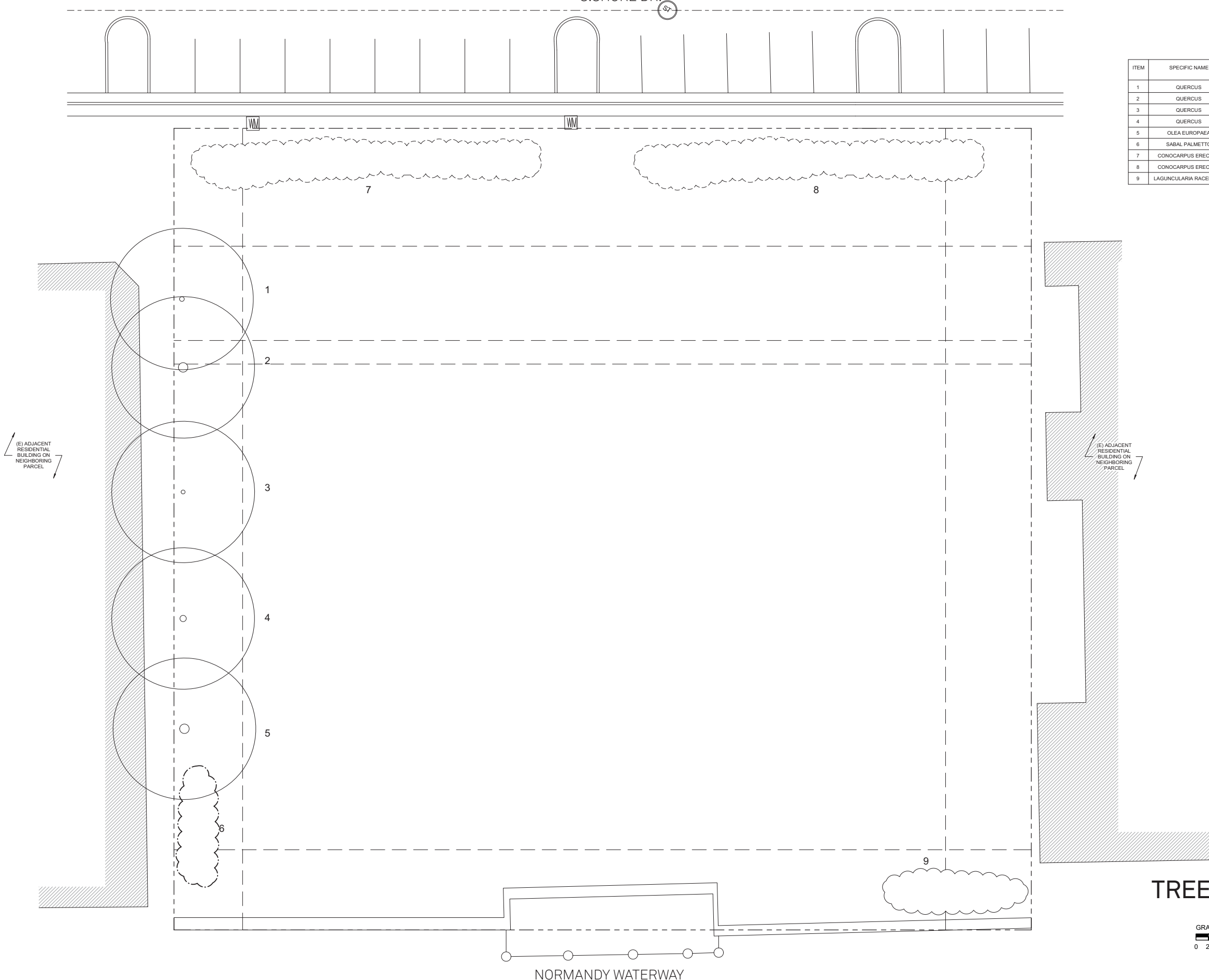


S.SHORE DR.

DESIGN/ FLOOR PLANS

ITEM	SPECIFIC NAME	COMMON NAME	HEIGHT (+/-) (FT)	SPREAD (+/-) (FT)	DBH (IN)	DISPOSITION	NOTES
1	QUERCUS	OAK	30'	30'	12"	REMAIN	WITHIN CONSTRUCTION AREA
2	QUERCUS	OAK	30'	30'	24"	REMAIN	WITHIN CONSTRUCTION AREA
3	QUERCUS	OAK	30'	30'	10"	REMAIN	WITHIN CONSTRUCTION AREA
4	QUERCUS	OAK	40'	30'	16"	REMAIN	WITHIN CONSTRUCTION AREA
5	OLEA EUROPAEA	OLIVE TREE	50'	30'	24"	REMAIN	WITHIN CONSTRUCTION AREA
6	SABAL PALMETTO	(?) SABAL PALM	-	-	-	RELOCATE	WITHIN CONSTRUCTION AREA
7	CONOCARPUS ERECTUS	BUTTON MANGROVE	SHRUB	SHRUB	-	REMOVE	WITHIN CONSTRUCTION AREA
8	CONOCARPUS ERECTUS	BUTTON MANGROVE	SHRUB	SHRUB	-	REMOVE	WITHIN CONSTRUCTION AREA
9	LAGUNCULARIA RACEMOSA	WHITE MANGROVE	SHRUB	SHRUB	-	REMAIN	WITHIN CONSTRUCTION AREA

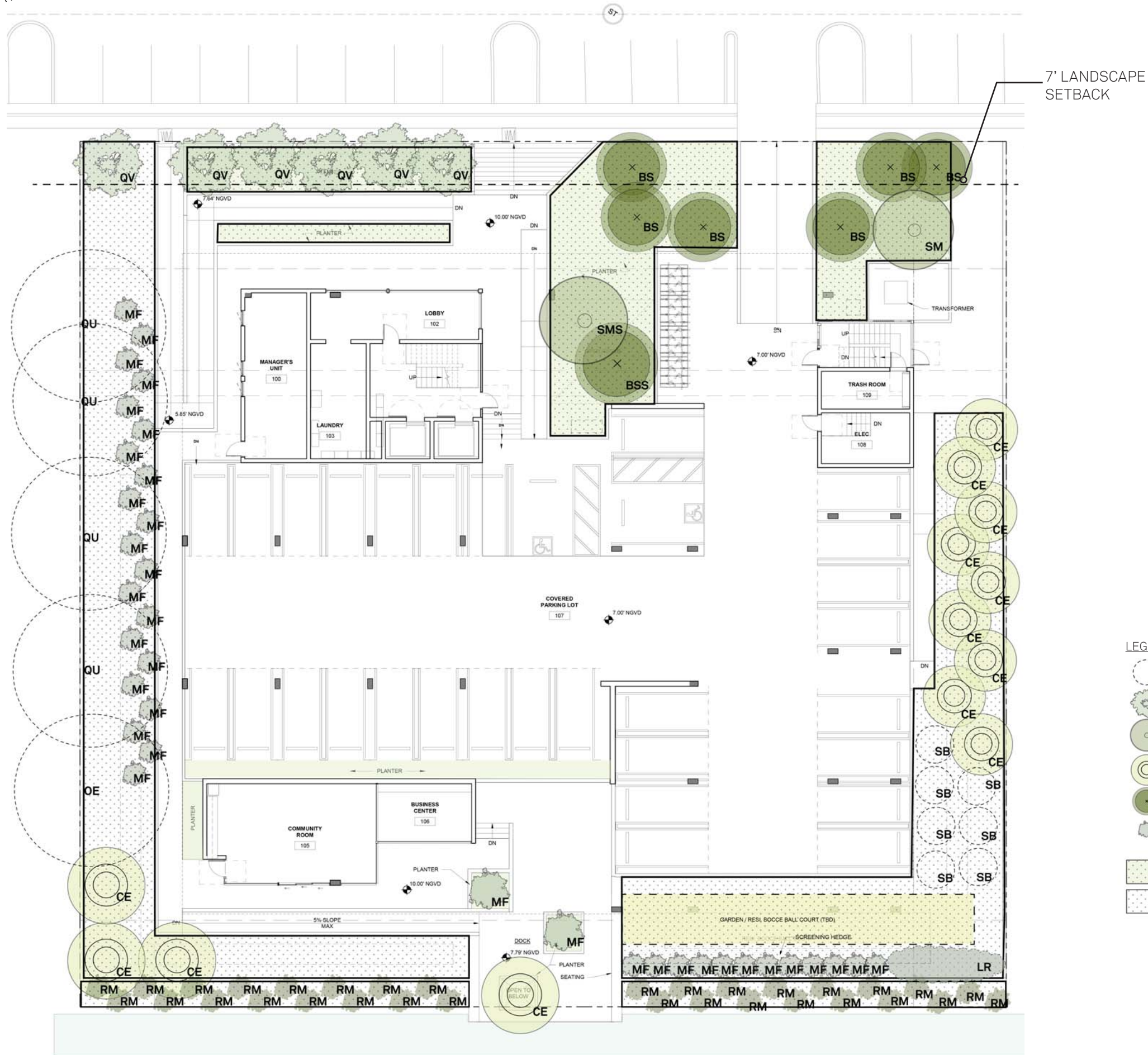
LEGEND	
	(E) TREE TO REMAIN
	(E) TREE TO BE REMOVED
	(E) TREE TO BE RELOCATED



TREE DISPOSITION PLAN
 SCALE: 1/16"=1'-0" (SCALED TO FIT)

GRAPHIC SCALE
 0 2' 5' 10' 20'

DESIGN/ LANDSCAPE PLAN



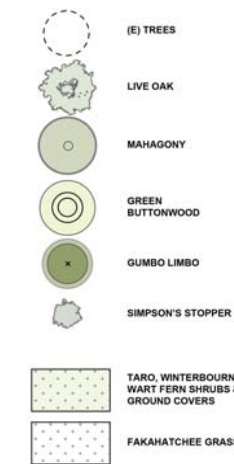
QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
PALMS				
7	SB	*SABAL PALMETTO	CABBAGE PALM	EXISTING PALMS TO BE RELOCATED
LARGE STREET TREES				
6	QV	*QUERCUS VIRGINIANA	LIVE OAK	45 GAL., 3" CAL., 12' PLANTED HT. MIN. X 6" SP. MIN.
3	BS	*BURSERA SIMARUBA	GUMBO LIMBO	45 GAL., 3" CAL., 12' PLANTED HT. MIN. X 6" SP. MIN.
LARGE TREES				
3	BS	*BURSERA SIMARUBA	GUMBO LIMBO	45 GAL., 3" CAL., 12' PLANTED HT. MIN. X 6" SP. MIN.
1	BSS	*BURSERA SIMARUBA	GUMBO LIMBO	MULTI TRUNK SPECIMEN, 24" HT. MIN. X 14" SP. MIN.
1	SM	*SWIETENIA MAHOGONI	MAHOGANY	45 GAL., 3" CAL., 12' PLANTED HT. MIN. X 6" SP. MIN.
1	SMS	*SWIETENIA MAHOGONI	MAHOGANY	200 GAL., 40" HT. MIN. X 25" SP. MIN.
13	CE	*CONOCARPUS ERECTUS	GREEN BUTTWOOD	45 GAL., 3" CAL., 12' PLANTED HT. MIN. X 6" SP. MIN.
4	QU	*QUERCUS	OAK	EXISTING TREE TO REMAIN PER DISPOSITION PLAN
1	OE	*OLEA EUROPAEA	BLACK OLIVE	EXISTING TREE TO REMAIN PER DISPOSITION PLAN
SMALL TREES & LARGE SHRUBS				
1	LR	*LAGUNCULARIA RACEMOSA	WHITE MANGROVE	EXISTING TREE TO REMAIN PER DISPOSITION PLAN
TBD	RM	*RHIZOPHORA MANGLE	RED MANGROVE	MIX OF SEEDLINGS & MATURE (BASED ON AVAILABILITY)
35	MF	*MYRCIANTHES FRAGRANS	SIMPSON'S STOPPER	25 GAL., 6" PLANTED HT. MIN. X 4" - 5" SPREAD, BUSH FORM, FULL TO BASE
SHRUBS				
TBD	XP	XANADU PHILODENDRON	WINTERBOURN	3 GAL., 30" PLANTED HT. MIN., 36" O.C
TBD	CH	*CHRYSOBALANUS ICACO	HORIZONTAL COCOPLUM	7 GAL., 18" SPREAD MIN. FULL ROUNDED HEADS, 30" O.C
GROUND COVER				
TBD	CE	COLOCASIA ESCULENTA	TARO	3 GAL., 30" PLANTED HT. MIN., 48" O.C
TBD	PS	*PHYMATOSORUS SCOLOPENDRIA	WART FERN	3 GAL., 15" PLANTED HT. MIN. X 15" SP. MIN. FULL TO BASE
TBD	ZP	*ZAMIA PUMILA	COONTIE	7 GAL., 24" PLANTED HT. MIN. X 24" SP. MIN., 36" O.C
ORNAMENTAL GRASSES				
TBD	TDA	*TRIPSACUM DACTYLOIDES	FAKAHATCHEE GRASS	3 GALLON 30" PLANTED HT. MIN., HEAVY FULL, 36" O.C

* DENOTES FLORIDA NATIVE SPECIES

NOTE:
 - Plants installed pursuant to this Code shall conform to, or exceed, the minimum standards for Florida Number One as provided in the most current edition of "Grades and Standards for Nursery Plants, Part I and II," prepared by the State of Florida Department of Agriculture and Consumer Services.
 - Landscape Architect to locate Relocated palms not listed in Plant List on property, location TBD
 - Contractor shall coordinate on-site layout visits with the Landscape Architect two (2) weeks prior to installation
 - Plant quantities are provided for convenience. When discrepancies arise between the planting plans and plant list occur the planting plan shall take precedence.

*NOTE: TREE MITIGATION NOT REQUIRED

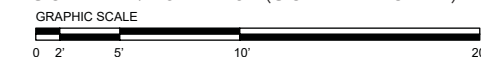
LEGEND



CITY OF MIAMI BEACH LANDSCAPE AREA CALCULATIONS			
ZONING DISTRICT: RM-1 LOT AREA: 30,600 SF ACRES: 0.7			
OPEN SPACE		REQUIRED	PROVIDED
A	SQUARE FEET OF REQUIRED OPEN SPACE AS INDICATED ON SITE PLAN: LOT AREA (30%)	9,180 SF	9,421 SF
LAWN AREA CALCULATION			
A	SQUARE FEET OF LANDSCAPE OPEN SPACE REQUIRED: MAXIMUM LAWN AREA PERMITTED (30%)	2,754 SF	N/A
TREES			
A	NUMBER OF TREES REQUIRED PER LOT OR NET LOT ACRE, LESS EXISTING NUMBER OF TREES MEETING MINIMUM REQUIREMENTS = 28 PER LOT	20	24
B	% NATIVE REQUIRED: NUMBER OF TREES PROVIDED X 30%	6	23
C	% LOW MAINTENANCE/DROUGHT AND SALT TOLERANT REQUIRED: NUMBER OF TREES PROVIDED X 50%	10	23
D	STREET TREES (MAX. AVG.SPACING OF 20' O.C.): 80LF	9	9
E	TOTAL TREES REQUIRED (LOT AND STREET)	29	33
SHRUBS			
A	NUMBER OF SHRUBS REQUIRED : SUM OF LOT AND STREET TREES X 12	348	348 MIN.
B	% NATIVE SHRUBS REQUIRED: NUMBER OF SHRUBS PROVIDED X 50%	174	174 MIN.
LARGE SHRUBS OR SMALL TREES			
A	NUMBER OF LARGE SHRUBS OR SMALL TREES REQUIRED: NUMBER OF REQUIRED SHRUBS X 10%	35	35
B	% NATIVE LARGE SHRUBS OR SMALL TREES REQUIRED: NUMBER OF LARGE SHRUBS OR SMALL TREES PROVIDED X 50%:	18	35

LANDSCAPE PLAN

SCALE: 1/16"=1'-0" (SCALED TO FIT)



DESIGN/ FLOOR PLANS



LANDSCAPE CALCULATION

SECTION: 142-870.17(d)

NEW CONSTRUCTION SHALL BE DESIGN TO INCORPORATE NATURALLY LANDSCAPED AREAS AT THE GROUND LEVEL, IN ADDITION TO THE MINIMUM SETBACK REQUIRMENTS, WHICH IS EQUAL TO OR GREATER THAN FIVE PERCENT OF THE TOTAL LOT AREA.

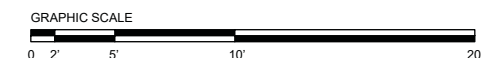
TOTAL LOT AREA: 30,600.0 SF

30,600.0 SF x 5% = 1,530.0 SF

1,581 SF > 1,530.0 SF

LANDSCAPE 5% DIAGRAM

SCALE: 1/16"=1'-0" (SCALED TO FIT)



DESIGN/ LANDSCAPE PALETTE

LARGE CANOPY
TREES/PALMS



Live Oak
Quercus virginiana



Green Buttonwood
Conocarpus erectus



Gumbo Limbo
Bursera simaruba



Mahogany
Swietenia mahagoni

SMALL UNDERSTORY
TREES/LARGE SHURBS



Spanish Stopper
Eugenia Foetida



Simpson's Stopper
Myrcianthes Fragrans

LOW SHURBS/
GRASSES



Taro
Colocasia esculenta



Fakahatchee Grass
Tripsacum dactyloides



Winterbourn
Xanadu philodendron



Coontie
Zamia integrifolia



Wart Fern
Phymatosorus scolopendria

MANGROVE



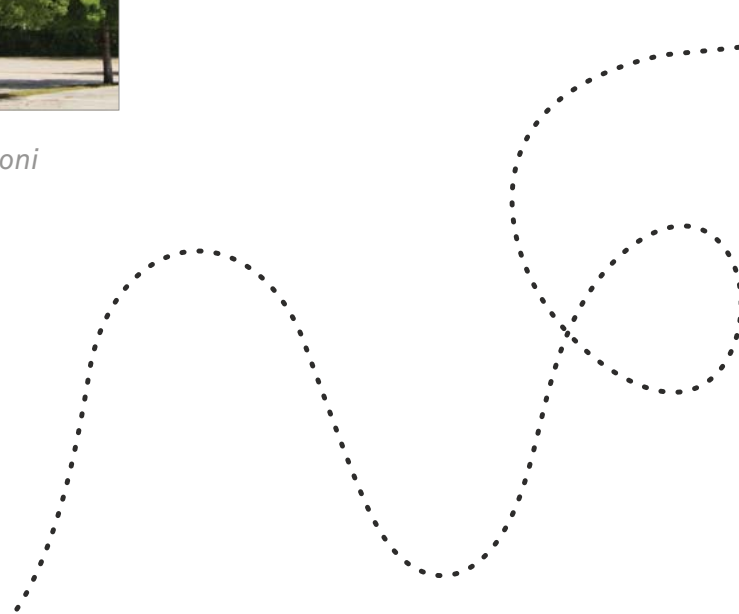
Red Mangrove
Rhizophora mangle



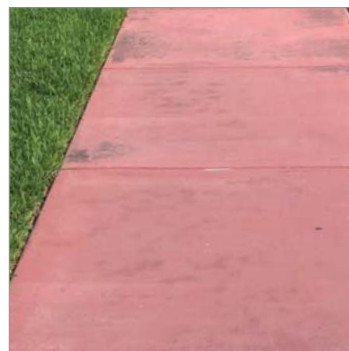
Black Mangrove
Avicennia germinans



Atala Butterfly
Eumaeus atala



HARDSCAPE



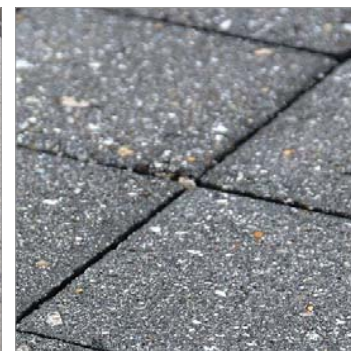
Miami Beach Red
Concrete Sidewalk



Rock Salt Concrete
Finish



Acid Etch Concrete Finish



Asphalt Block Pavers



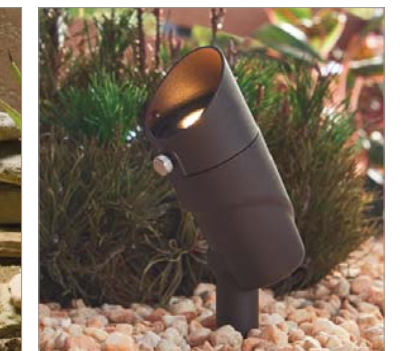
Gravel Pave System



Cylinder Fiberglass
Planter

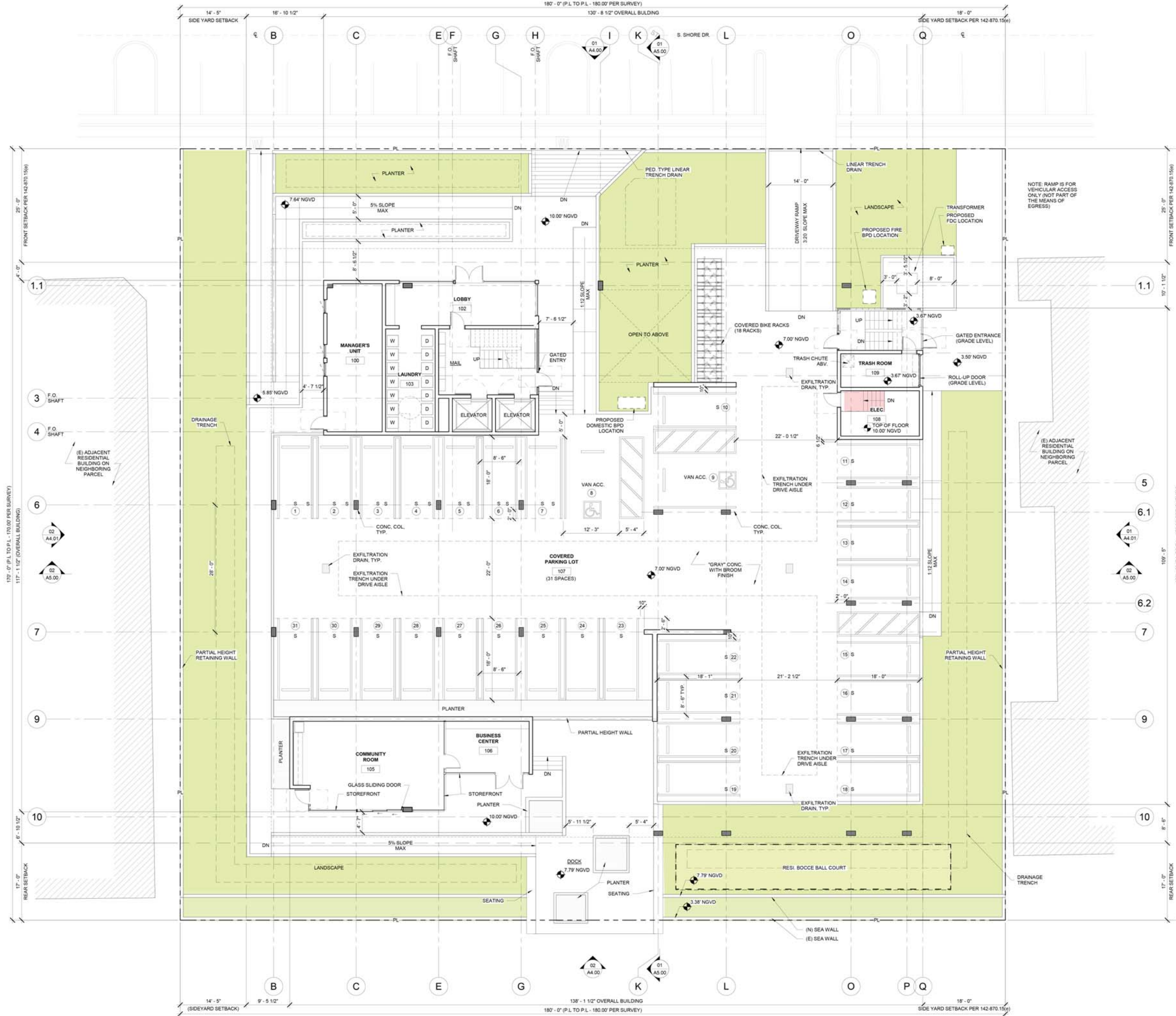




12.4W LED Accent Light
Kichler



12V LED Accent Light
Kichler

DESIGN/ FLOOR PLANS

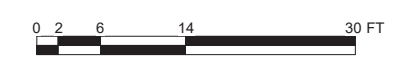


FIRST FLOOR 
SCALE: 1/16"=1'-0" (SCALED TO FIT)


DESIGN/ FLOOR PLANS



SECOND FLOOR 
SCALE: 1/16"=1'-0" (SCALED TO FIT)



DESIGN/ FLOOR PLANS



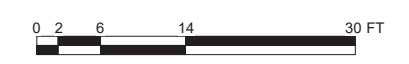
THIRD FLOOR 
SCALE: 1/16"=1'-0" (SCALED TO FIT)



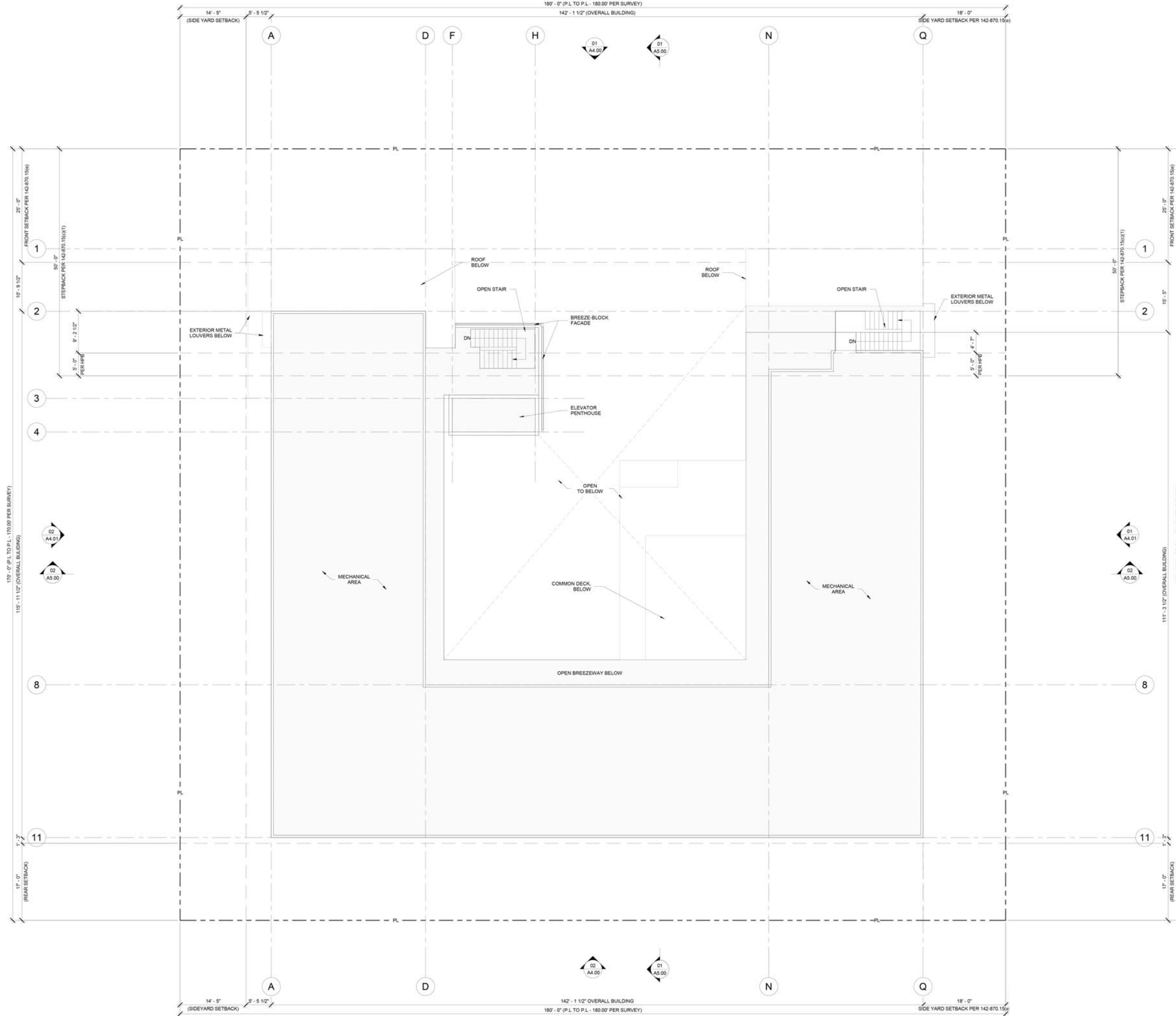
DESIGN/ FLOOR PLANS



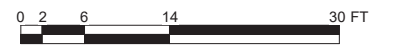
FOURTH FLOOR 
SCALE: 1/16"=1'-0" (SCALED TO FIT)



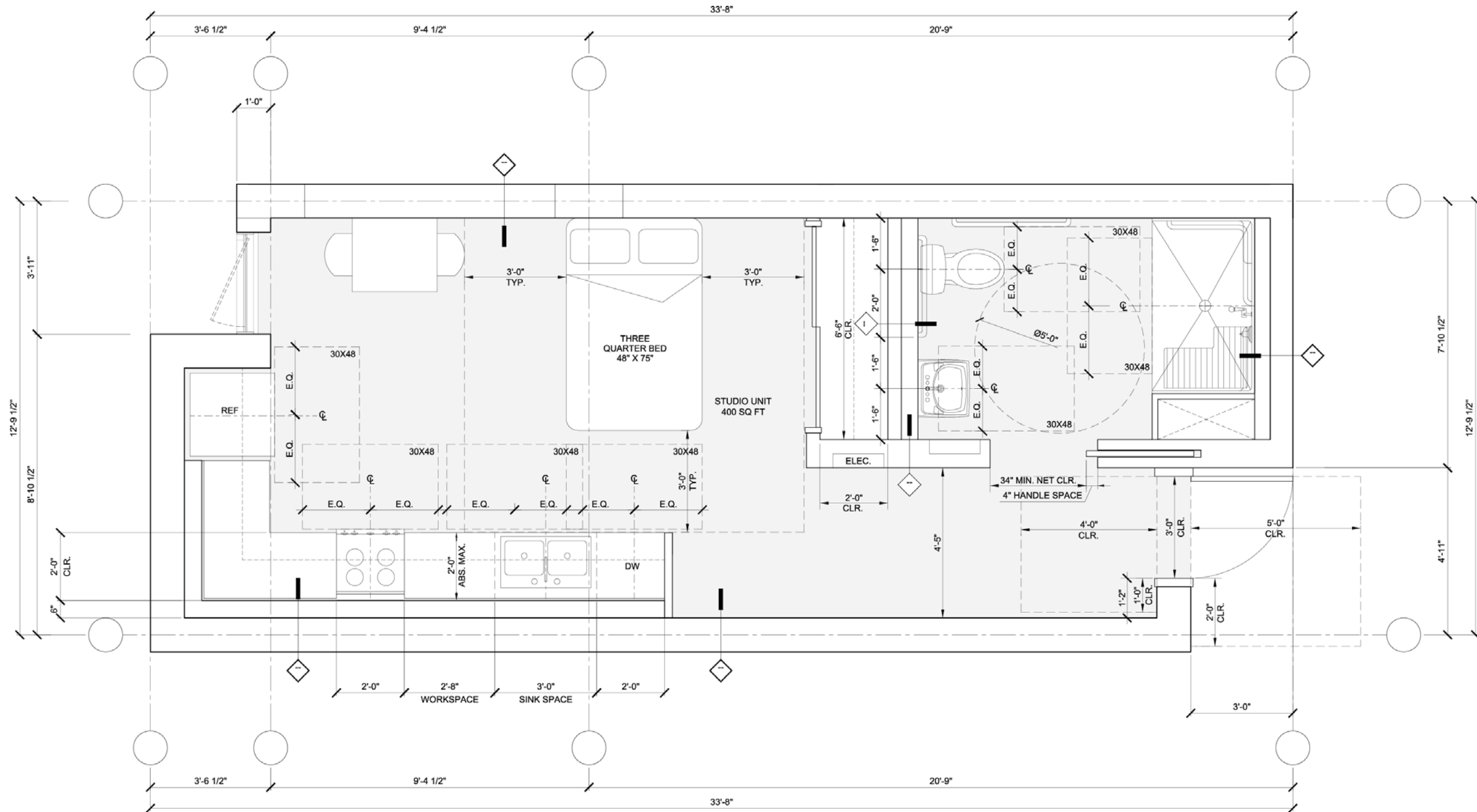
DESIGN/ FLOOR PLANS



ROOF PLAN 
SCALE: 1/16"=1'-0" (SCALED TO FIT)



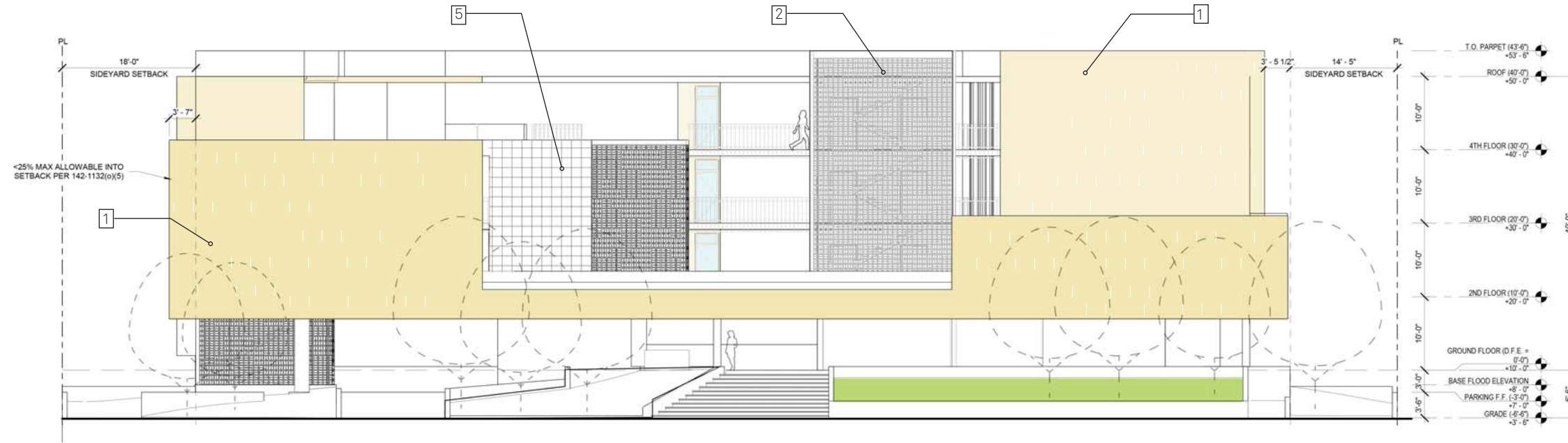
DESIGN / STUDIO LAYOUT



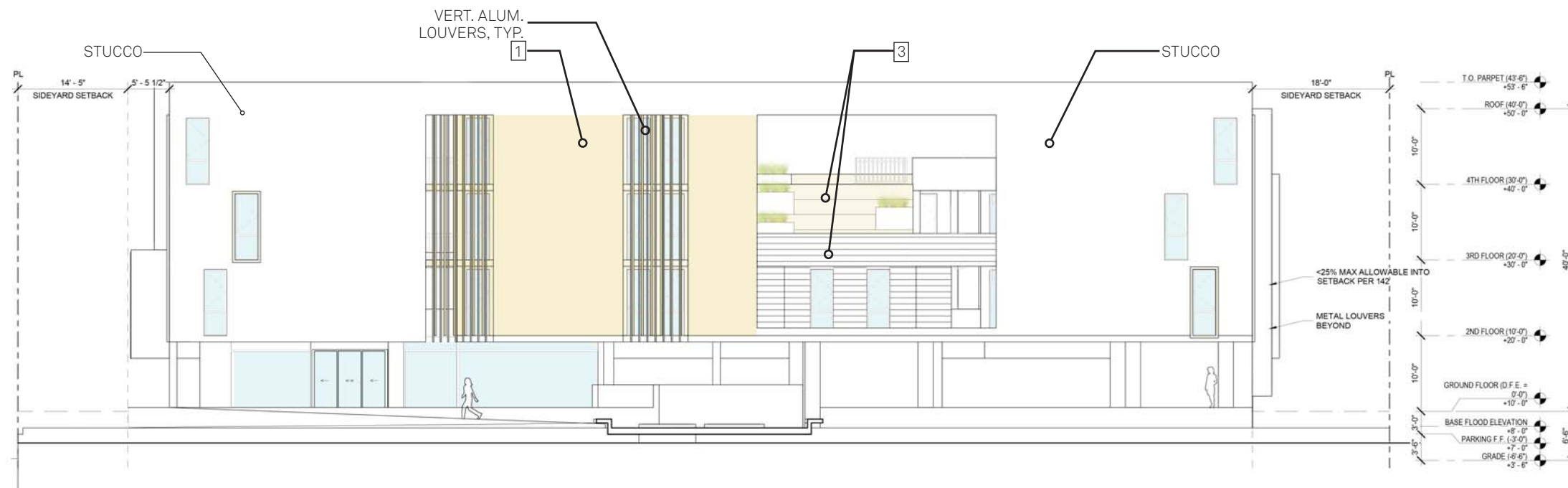
TYPICAL UNIT FLOOR PLAN

SCALE: 1/2"=1'-0" (SCALED TO FIT)

DESIGN / ELEVATIONS



SOUTH ELEVATION
SCALE: 1/16"=1'-0" (SCALED TO FIT)

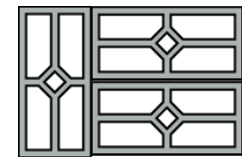


NORTH ELEVATION
SCALE: 1/16"=1'-0" (SCALED TO FIT)

1. STUCCO SAND FINISH
W/ GLITTER GLASS CHIP
TWINKLING LIGHTS | DE5338



2. A-1 BREEZE BLOCK CORPORATION
WHITE | DESIGN#422



3. HORIZONTAL FIBER CEMENT BOARD
TEAK | NICHIIHA FIBER CEMENT



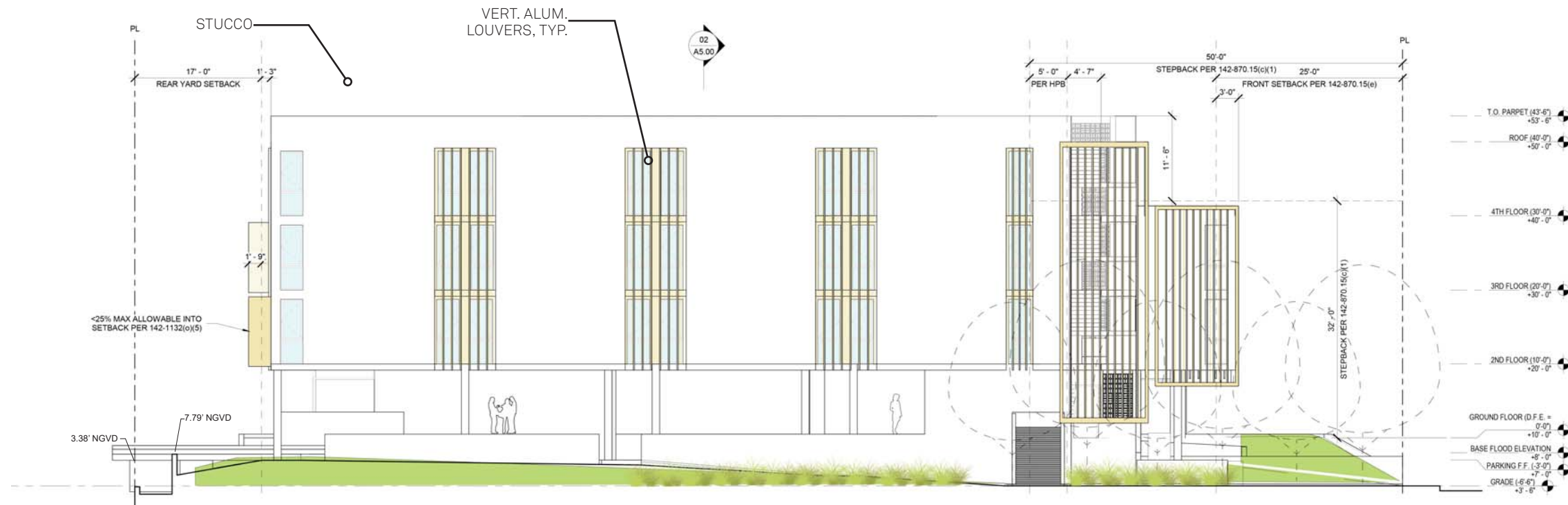
4. TESSELLE CEMENT TILE
8" SQUARE TILE



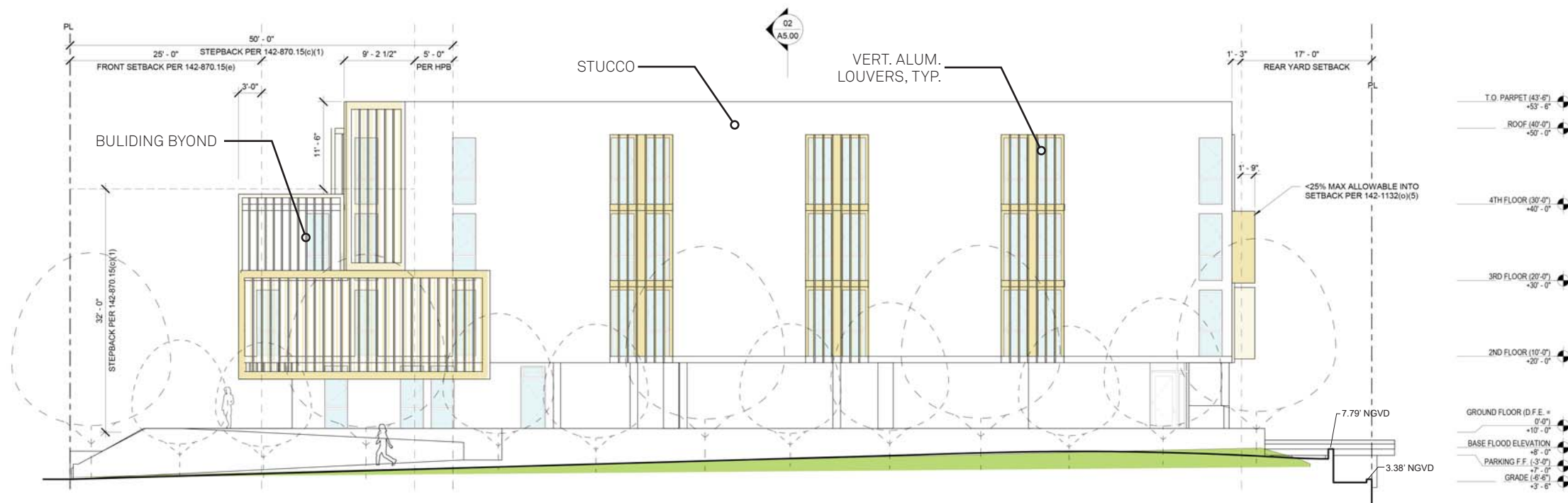
5. CERAMIC MARKER
4" ROUND WHITE W REFLECTOR
STOP-PAINTING



DESIGN / ELEVATIONS



WEST ELEVATION
SCALE: 1/16"=1'-0" (SCALED TO FIT)

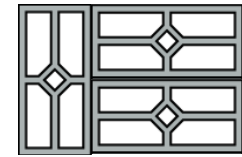


EAST ELEVATION
SCALE: 1/16"=1'-0" (SCALED TO FIT)

1. STUCCO SAND FINISH
W/ GLITTER GLASS CHIP
TWINKLING LIGHTS | DE5338



2. A-1 BREEZE BLOCK CORPORATION
WHITE | DESIGN#422



3. HORIZONTAL FIBER CEMENT BOARD
TEAK | NICHIIHA FIBER CEMENT



4. TESSELLE CEMENT TILE
8" SQUARE TILE



5. CERAMIC MARKER
4" ROUND WHITE W REFLECTOR
STOP-PAINTING

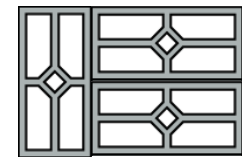


DESIGN / SECTIONS

1. STUCCO SAND FINISH
W/ GLITTER GLASS CHIP
TWINKLING LIGHTS | DE5338



2. A-1 BREEZE BLOCK CORPORATION
WHITE | DESIGN #422



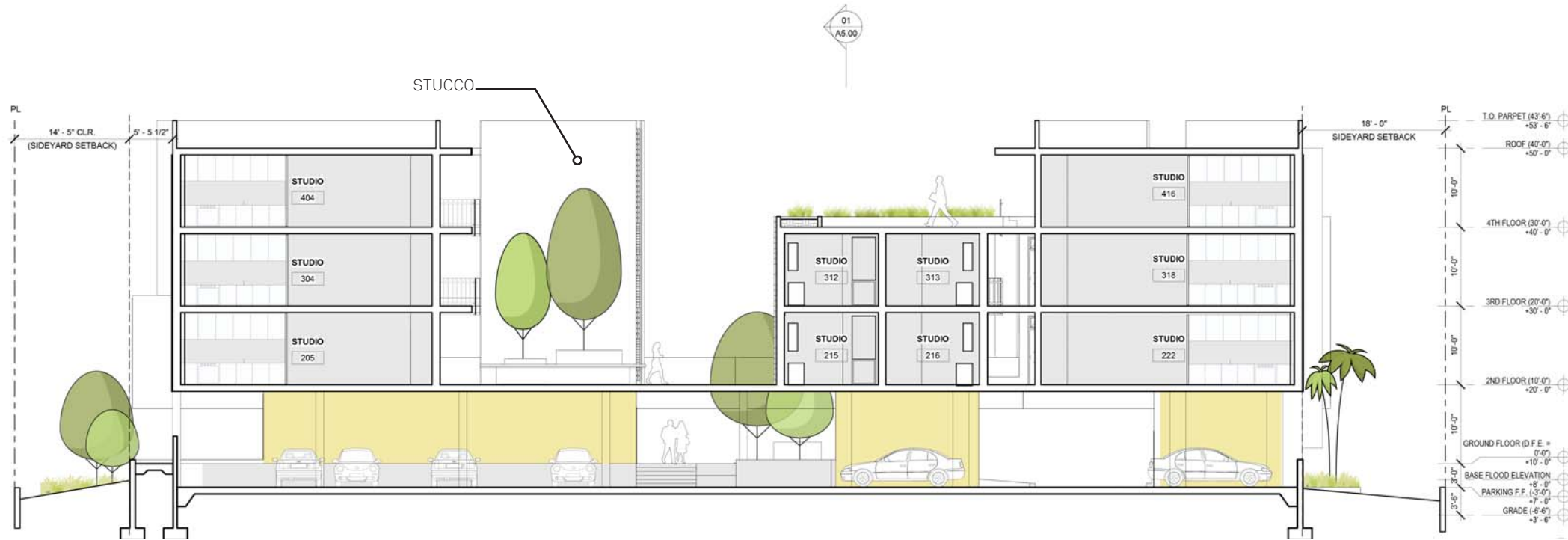
3. HORIZONTAL FIBER CEMENT BOARD
TEAK | NICHIIHA FIBER CEMENT



4. TESSELLE CEMENT TILE
8" SQUARE TILE

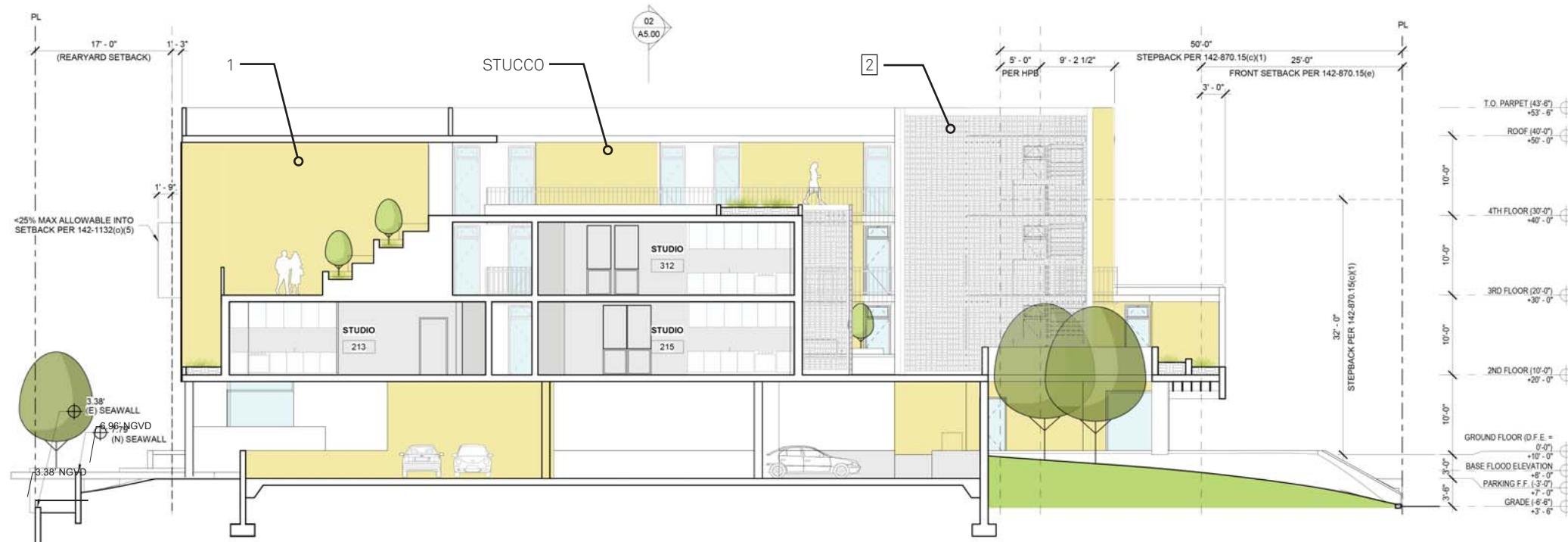


5. CERAMIC MARKER
4" ROUND WHITE W REFLECTOR
STOP-PAINTING



CROSS SECTION AT COURTYARD

SCALE: 1/16"=1'-0" (SCALED TO FIT)

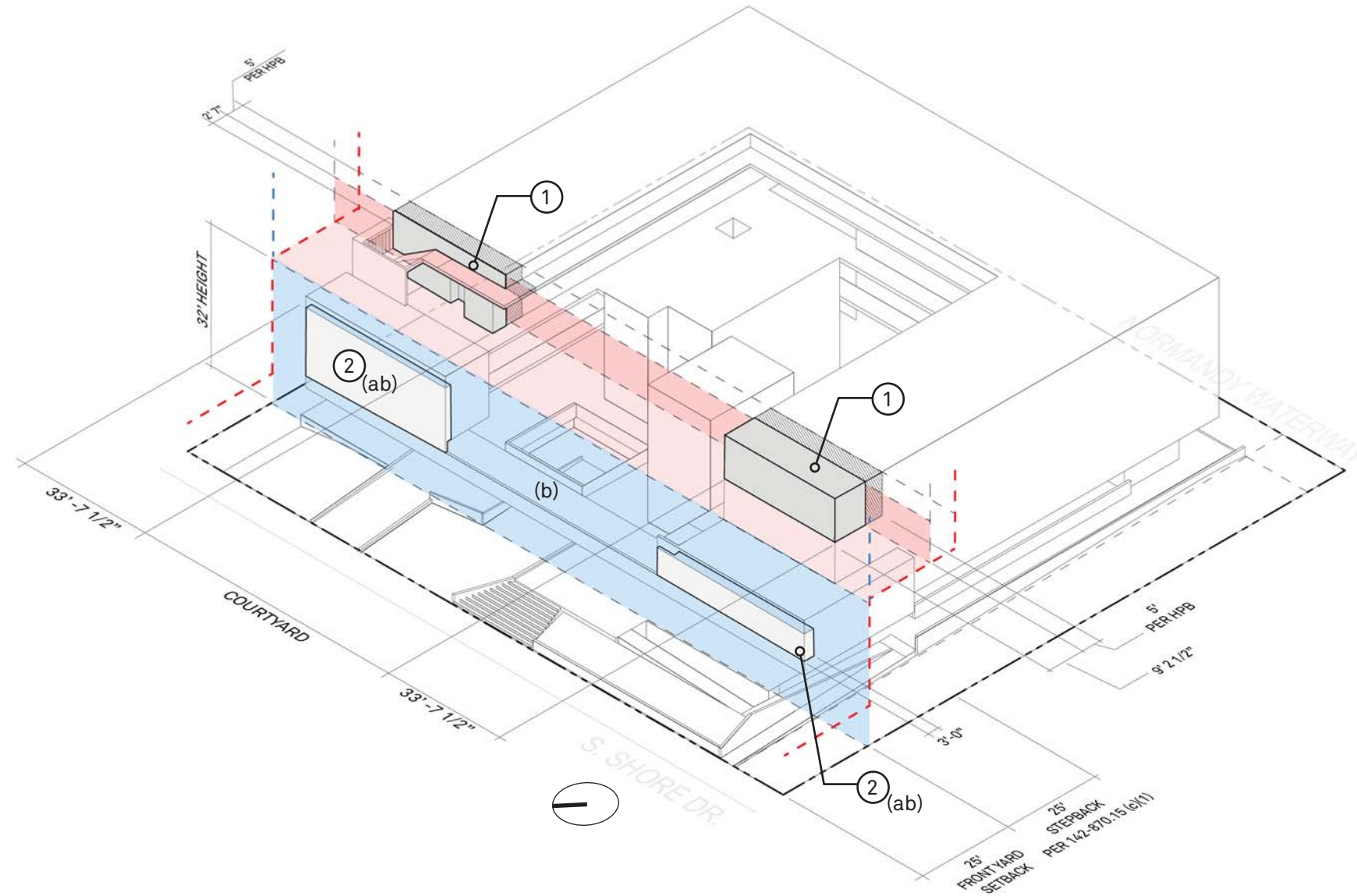


LONGITUDINAL SECTION AT TYPICAL UNITS

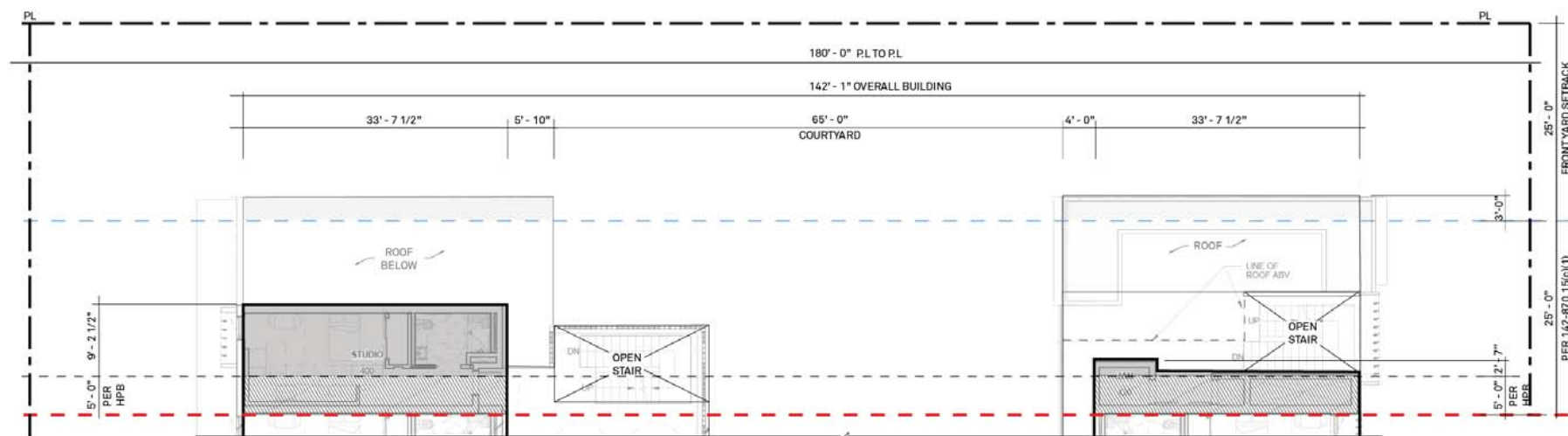
SCALE: 1/16"=1'-0" (SCALED TO FIT)

DESIGN / WAIVER & VARIANCE ANALYSIS

- ① 5' stepback Waiver and 9' - 2 1/2" stepback Variance at 4th floor to accommodate a portion of one elderly affordable unit (at small portion of northwest corner only) and narrow projection over entry to maintenance area and trash chute (at northeast corner only). (142-870.15(c)(1)) ("Breeze Stepback Request")
- ② 3' setback Variance at portions of 2nd and 3rd floors to accommodate portions of three elderly affordable housing units at northeast and northwest corners, 15' - 8" above nearest public way. (142-870.15(e)). ("Breeze Setback Request")
 - a Exempt per 142-1132(o)(13) Planters, not to exceed four feet in height
 - b Exempt per 142-1132(o)(7) Roof overhangs

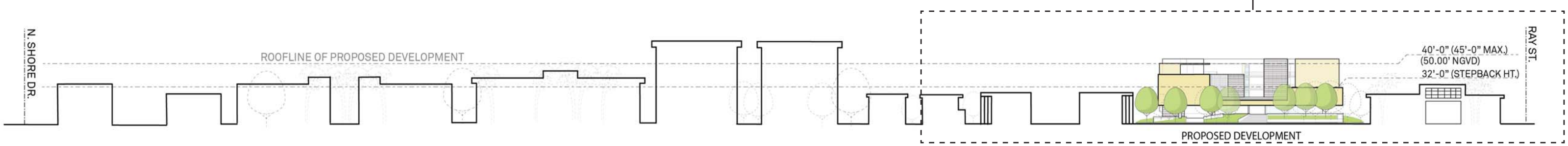


- Encroachment
- Setback Plane
- Stepback Plane
- Line of Setback per 142-870.15(e)
- Line of Stepback per 142-870.15(c)(1)



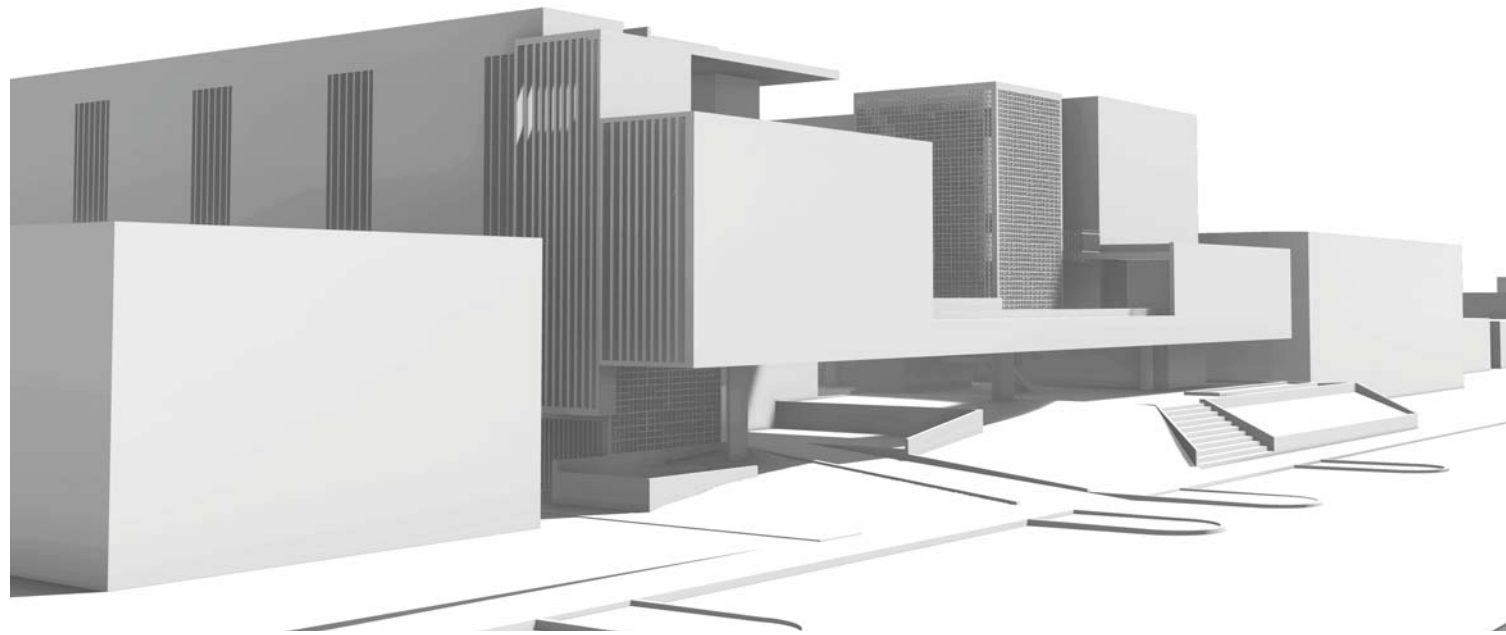
4TH FLOOR PLAN
SCALE: N.T.S

DESIGN / CONTEXT ELEVATIONS

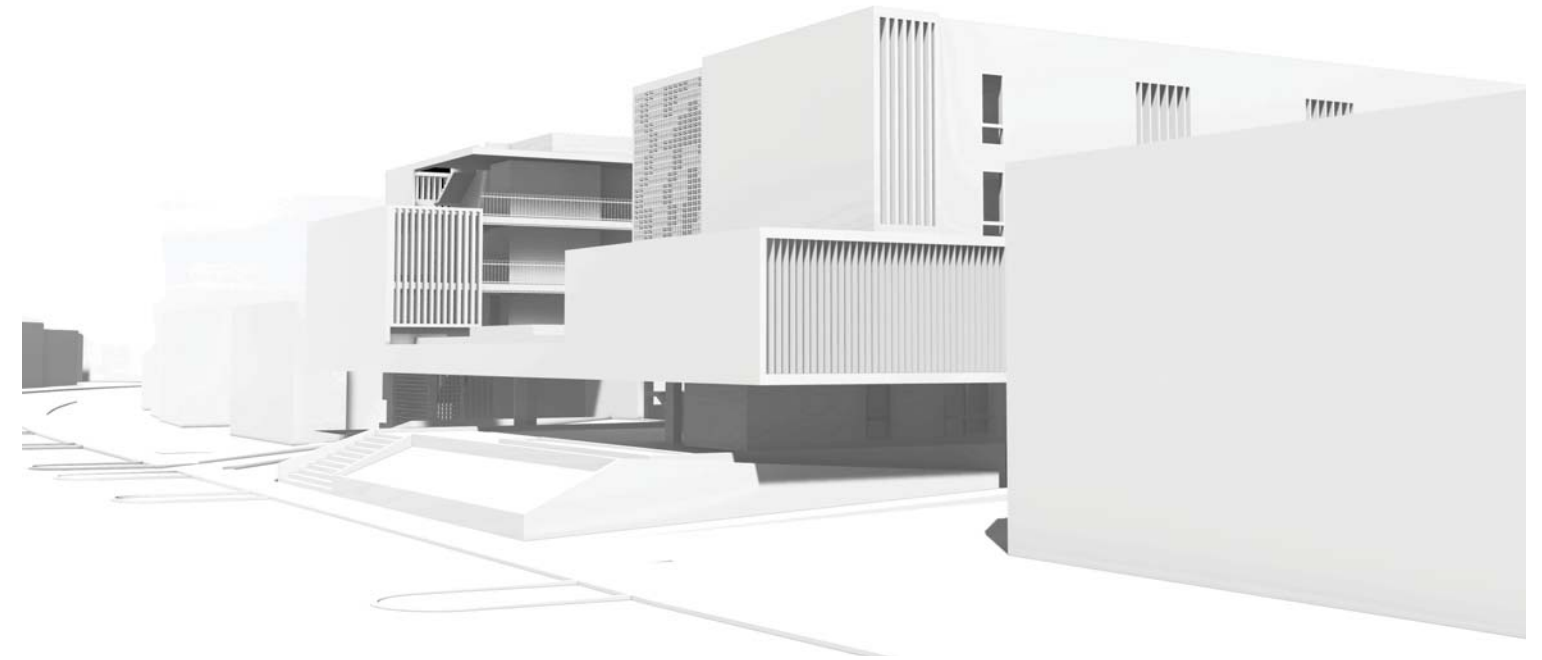


NORTH ELEVATION: S. SHORE DR.

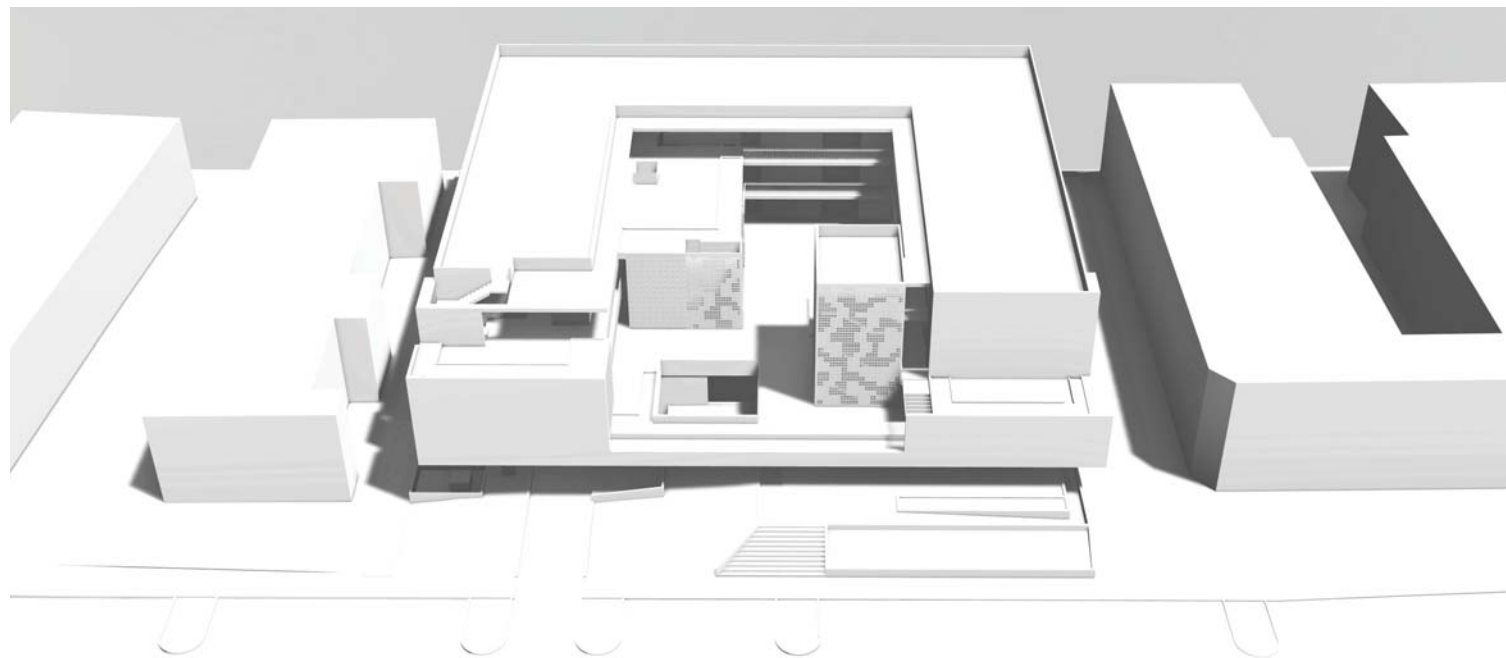
DESIGN / MASSING



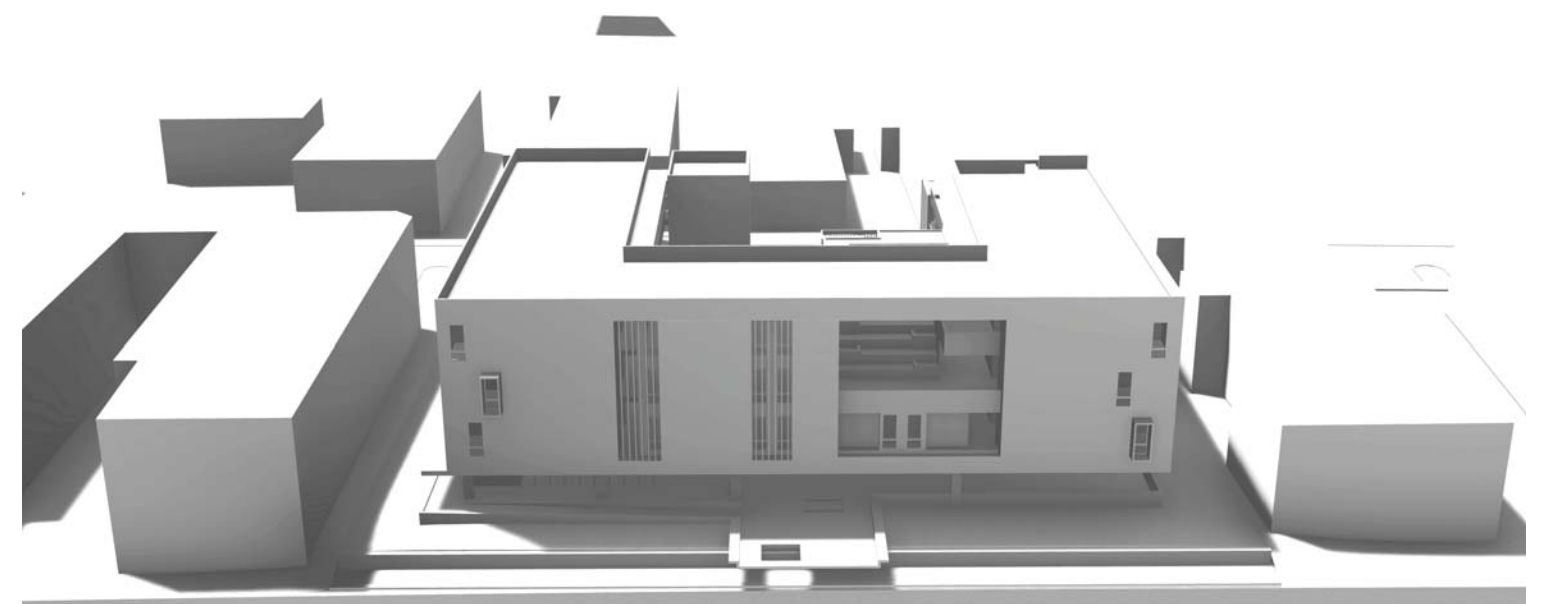
S. SHORE DRIVE, LOOKING EAST



S. SHORE DRIVE, LOOKING WEST



AERIAL VIEW, NORTH SIDE



AERIAL VIEW, SOUTH SIDE

DESIGN / SIGNAGE TYPE AND LOCATION



SIGNAGE: 17.8 SF



NOTE: Signage will be illuminated. Lighting and design to be detailed further as the project progresses.

DESIGN / SOUTH ELEVATION



DESIGN / S. SHORE DR. LOOKING EAST



