

ZONED:  
RM-1 - RESIDENTIAL MULTIFAMILY, LOW INTENSITY

**SITE RESTRICTIONS:**  
ALL SITE RESTRICTIONS WERE OBTAINED PER MIAMI BEACH, FLORIDA - CODE OF ORDINANCES - SUBPART B - LAND DEVELOPMENT REGULATIONS - CHAPTER 142-ZONING DISTRICTS AND REGULATIONS - ARTICLE II-DISTRICT REGULATIONS - DIVISION 3.-RESIDENTIAL MULTIFAMILY DISTRICTS - SUBDIVISION II-RM-1 RESIDENTIAL MULTIFAMILY LOW INTENSITY.

FOR OFFICIAL INFORMATION, PLEASE REFER TO THE MIAMI BEACH, FLORIDA - CODE OF ORDINANCES.

SEC. 142-155. - DEVELOPMENT REGULATIONS AND AREA REQUIREMENTS.

(a)The development regulations in the RM-1 residential multifamily, low density district are as follows:

- (1)Max. FAR: 1.25; west side of Collins Avenue between 76th and 79th Streets—1.4.
(2)Public and private institutions: Lot area equal to or less than 15,000 square feet—1.25; lot area greater than 15,000 square feet—1.4.
(3)Exterior building and lot standards:

- a.Minimum yard elevation requirements.
1.The minimum elevation of a required yard shall be no less than five feet NAVD (5.56 feet NGVD), with the exception of driveways, walkways, transition areas, green infrastructure (e.g., vegetation swales, permeable pavement, rain gardens, and rainwater/stormwater capture and infiltration devices), and areas where existing landscaping is to be preserved.
2.Exemptions.
b.Maximum yard elevation requirements.
1.Front yard, side yard facing a street, and interior side yard.
2.Rear yard.
c.Stormwater retention.
d.Retaining wall and yard slope requirements.

- 1.Retaining walls shall be finished with stucco, stone, or other high quality materials.
2.When the required front yard and side yard facing a street, the following shall apply:
(B)When setback a minimum of four feet from property line, the maximum height of a retaining wall shall not exceed 30 inches above adjacent grade.
e.Lot coverage.
1.Design review board or certificate of appropriateness criteria, as applicable.
2.All parking and driveways shall substantially consist of permeable materials.
4.Exterior outdoor spaces that promote walkability, social integration, and safety shall be provided at the ground level, in accordance with the design review or certificate of appropriateness criteria, as applicable.

- 5.At least one stair shall be visible and accessible from the building's main lobby.
g.Lot aggregation.
h.For properties less than 60 feet in width, the total amount of residential space at the first level along a street side shall be determined by the design review or historic preservation board.
i.In the RM-1, residential district, all floors of a building containing parking spaces shall incorporate the following:
(1)Residential uses at the first level along every facade facing a street, sidewalk or roadway.
(2)Residential uses above the first level along every facade facing a roadway.
(3)For properties less than 60 feet in width, the total amount of residential space at the first level along a street side shall be determined by the design review or historic preservation board.

- (4)In the Flamingo Park Local Historic District, the following shall apply:
a.Notwithstanding the provisions of section 142-1161 of these land development regulations, roof-top additions shall not be permitted on any contributing building and any stairwell or elevator bulkhead shall meet the line-of-sight requirements of section 142-1161, but not to exceed allowable building heights.
b.Ground level additions shall be detached and separated from the main structure(s) on the site by a distance of at least ten feet.
c.The height of any ground level addition to an existing structure, whether attached or detached, shall be limited to one story, not to exceed 12 feet above the height of the main roof of the existing structure.
d.Ground level additions, whether attached or detached, shall follow the established lines of the interior side setbacks of the main existing structure on the site.
e.No more than two contiguous lots may be aggregated for development purposes.
f.For any new construction or additions, whether attached or detached, on multiple or aggregated lots, a minimum building separation of ten feet at the center of the aggregated lots shall be required.
g.Only those portions of a contributing building that were not part of the original structure on site, or that have not acquired any type of architectural significance, as determined by staff or the historic preservation board, may be proposed to be demolished.
h.For contributing buildings or properties, no building or structure shall be permitted within an existing historic courtyard.
i.Stairwell bulkheads shall not be permitted to extend above the maximum building height.
k.Elevator bulkheads extending above the main roofline of a building shall be required to meet the line-of-sight requirements set forth in section 142-1161 herein and such line-of-sight requirement cannot be waived by the historic preservation board.
l.If an alley exists, no front curb cut shall be permitted.
m.No variances from these provisions shall be granted.

(5)For properties located in the North Shore and Normandy Isles National Register Historic Districts, see chapter 142, article III, division 13.
(b)The lot area, lot width, unit size and building height requirements for the RM-1 residential multifamily, low density district are as follows:

Table with 5 columns: Minimum Lot Area (Square Feet), Minimum Lot Width (Feet), Minimum Unit Size (Square Feet), Average Unit Size (Square Feet), Maximum Building Height (Feet). Rows include construction types like New construction, Non-elderly and elderly low and moderate income housing, etc.

SEC. 142-156. - SETBACK REQUIREMENTS.

(a)The setback requirements for the RM-1 residential multifamily, low density district are as follows:

Table with 5 columns: Front, Side, Side, Facing a Street, Rear. Rows include At-grade parking lot on the same lot except where (c) below is applicable, Subterranean and pedestal, Tower.

(b)In the RM-1, residential district, all floors of a building containing parking spaces shall incorporate the following:
(1)Residential uses at the first level along every facade facing a street, sidewalk or roadway.
(2)Residential uses above the first level along every facade facing a roadway.
(3)For properties less than 60 feet in width, the total amount of residential space at the first level along a street side shall be determined by the design review or historic preservation board.

TITLE COMMITMENT PER CHICAGO TITLE INSURANCE COMPANY, ISSUING OFFICE FILE NUMBER: 394788, ORDER NO.: 10122031, REVISION NUMBER: 2 - JANUARY 10, 2022, COMMITMENT DATE: 12/09/2021 AT 11:00 PM:

SCHEDULE B SECTION II EXCEPTIONS

ITEM NO. 1 NOT A SURVEYING MATTER NOT PLOTTABLE

ITEM NO. 2 NOT A SURVEYING MATTER NOT PLOTTABLE

ITEM NO. 3 A. SURVEY SHOWN ON PAGE 2 OF THIS ALTA SURVEY B. NOT A SURVEYING MATTER C. NOT A SURVEYING MATTER D. NOT A SURVEYING MATTER

ITEM NO. 4 NOT A SURVEYING MATTER NOT PLOTTABLE

ITEM NO. 5 NOT A SURVEYING MATTER NOT PLOTTABLE

ITEM NO. 6 PLAT OF NORMANDY GOLF COURSE SUBDIVISION PLAT BOOK 44, PAGE 62 AFFECTS PROPERTY BLANKET IN NATURE

ITEM NO. 7 INTENTIONALLY DELETED

ITEM NO. 8 NOT A SURVEYING MATTER NOT PLOTTABLE

ITEM NO. 9 NOT A SURVEYING MATTER NOT PLOTTABLE

ITEM NO. 10 INTENTIONALLY DELETED

ITEM NO. 11 ORDERS AND APPLICATIONS ORB 24227, PAGE 3273 ORB 25133, PAGE 2373 ORB 25865, PAGE 269 ORB 26979, PAGE 625 ORB 27972, PAGE 835 ORB 28539, PAGE 2374 DOES NOT AFFECT LOTS 6,7&8, BLOCK 56 NOT PLOTTABLE

ITEM NO. 12 DECLARATION OF RESTRICTIVE COVENANT ORB 24997, PAGE 546 DOES NOT AFFECT LOTS 6,7&8, BLOCK 56 NOT PLOTTABLE

ITEM NO. 13 INTENTIONALLY DELETED

ITEM NO. 14 CONDITIONAL BUILDING PERMIT AND ESTOPPEL NOTICE ORB 25568, PAGE 2154 DOES NOT AFFECT LOTS 6,7&8, BLOCK 56 NOT PLOTTABLE

"ALTA/NSPS Land Title Survey"

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED & SEALED BY WALDO F. PAEZ, LS3284 ON MARCH 2, 2022 USING A DIGITAL SIGNATURE CERTIFIED BY IDENTRUST.

DIGITALLY SIGNED PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY WALDO F. PAEZ, LS3284 ON MARCH 2, 2022.

PROPERTY ADDRESS: 185-175-165 S. SHORE DRIVE MIAMI BEACH, FL 33141

FOLIO NUMBERS: 02-3203-007-1360 02-3203-007-1370 02-3203-007-1380

LAND AREA: 22,572± SQ.FT. (0.52± ACRES)

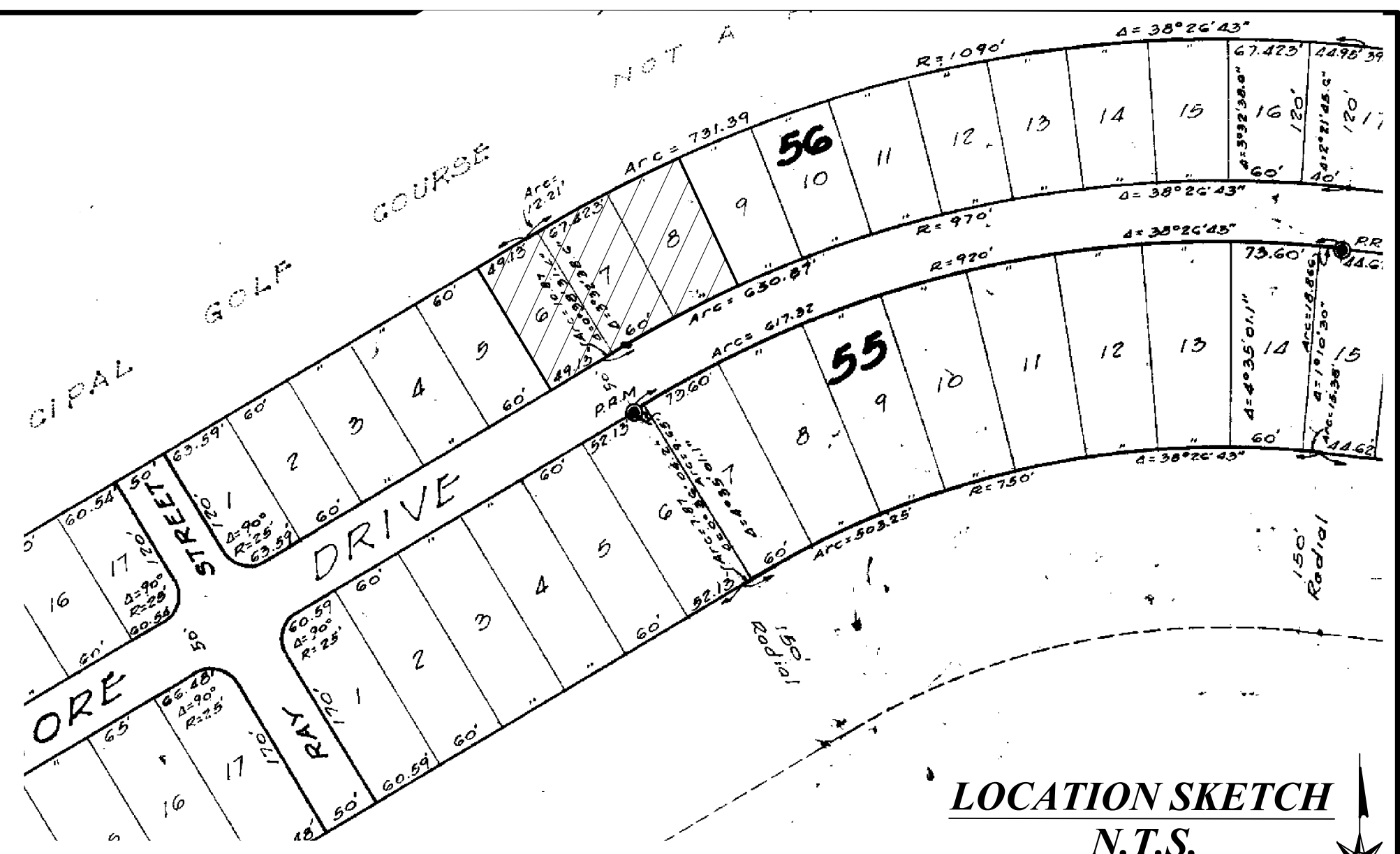
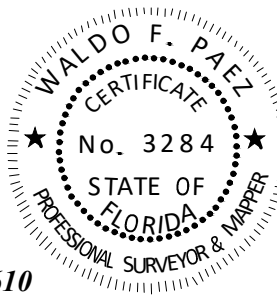
CONTACT PHONE NUMBERS: MIAMI-DADE COUNTY DEVELOPMENT SERVICES DIVISION: (305)375-2800 MIAMI-DADE COUNTY LAND DEVELOPMENT DIVISION: (305) 375-2141 MIAMI BEACH BUILDING DEPARTMENT: (305) 673-7610

UTILITY COMPANIES: Florida Power & Light - 305-377-6108 AT&T - 786-489-6418 Water & Sewer - NIFTA RINCON 305-372-6639

STATEMENT OF ENCROACHMENTS: NEIGHBOR'S SIDEWALK AT SOUTHWEST CORNER ENCROACHES 0.2' OVER PROPERTY LINE.

NO EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS HAVE BEEN NOTICED.

THERE IS NO PHYSICAL EVIDENCE THAT THE SITE WAS EVER USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.



LOCATION SKETCH N.T.S.

CERTIFICATION

To: 1. The Housing Authority of the City of Miami Beach 2. Vista Breeze, Ltd

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(a), 7(b)(1), 7(c), 8, 9, 10(a), 13, 16, 17 and 18 of Table A thereof. The fieldwork was completed on 12-14-2021. Date of Plat or Map: 02-15-2022

By: Waldo F. Paez, Professional Surveyor and Mapper No. LS3284 State of Florida

DELTA MAPPING AND SURVEYING, INC. 13301 S.W. 132ND AVENUE SUITE 117 MIAMI, FL 33186 LI No. 7950

TEL: 786-429-1024 FAX: 786-592-1152

LEGAL DESCRIPTION

Lots 6, 7 and 8, Block 56, NORMANDY GOLF COURSE SUBDIVISION, according to the Plat thereof recorded in Plat Book 44, Page 62, of the Public Records of Miami-Dade County, Florida.

SURVEYOR'S NOTES

- 1) SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION "AE".
2) THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY
3) LOCATION AND IDENTIFICATION OF UTILITIES, IF ANY ARE SHOWN IN ACCORDANCE WITH RECORDED PLAT
4) OWNERSHIP IS SUBJECT TO OPINION OF TITLE
5) TYPE OF SURVEY: ALTA/NSPS SURVEY
6) LEGAL DESCRIPTION: FURNISHED BY CLIENT
7) THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER
8) THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON. THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTIES
9) UNDERGROUND UTILITIES ARE NOT DEPICTED HEREON. CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK OR CONSTRUCTION ON THE PROPERTY HEREIN DESCRIBED. SURVEYOR SHALL BE NOTIFIED AS TO ANY DEVIATION FROM UTILITIES SHOWN HEREON.
10) THE SURVEYOR OF RECORD DOES NOT DETERMINE OWNERSHIP OF FENCES. MEASUREMENTS SHOWN HEREON DEPICT PHYSICAL LOCATION OF FENCE
11) WELL-IDENTIFIED FEATURES IN THIS SURVEY AND MAP HAVE BEEN MEASURED TO AN ESTIMATED HORIZONTAL POSITIONAL ACCURACY OF 1:10,000FT.
12) IN SOME INSTANCES, GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE RELATIONSHIPS BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES. IN ALL CASES, DIMENSIONS SHOWN SHALL CONTROL THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS.
13) NO ATTEMPT HAS BEEN MADE TO LOCATE ANY FOUNDATION BENEATH THE SURFACE OF THE GROUND.
14) BEARINGS SHOWN ARE ASSUMED AND ARE BASED ON THE NORTHWESTERLY RIGHT-OF-WAY OF S. SHORE DRIVE, BEING N 56°01'40" E.

IF ELEVATIONS ARE SHOWN, THEY ARE BASED ON A CLOSED LEVEL LOOP USING THIRD ORDER PROCEDURE AND ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988. +0.0 DENOTES EXISTING ELEVATION

BENCHMARK: A-23-R DESCRIPTION: BRASS BAR IN TOP OF CATCH BASIN AT SW CORNER OF INTERSECTION. LOCATION: NORMANDY DRIVE-30.7' SOUTHERLY OF C/L, RUE NOTRE DAME-62.5' WEST OF C/L ELEVATION: +2.26'(NAVD88)

THE ACCOMPANYING SURVEY WAS MADE ON THE GROUND AND CORRECTLY SHOWS THE LOCATION OF ALL BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS SITUATED ON THE ABOVE PREMISES; THERE ARE NO VISIBLE ENCROACHMENTS ON THE SUBJECT PROPERTY OR UPON ADJACENT LAND ABUTTING SAID PROPERTY EXCEPT AS SHOWN HEREON AND WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF FLORIDA.

FIELD SURVEY DATE: 12-14-2021 SCALE: 1"=20' DRAWN BY: M.G. DRAWING DATE: 02-15-2022 FB: SKETCH DRAWING NO.: 22-0052A

THIS DOCUMENT CONSIST OF TWO (2) SHEETS AND EACH SHEET SHALL NOT BE CONSIDERED FULL, VALID AND COMPLETE UNLESS ATTACHED TO THE OTHER.

LEGEND table listing symbols for TREE, HANDICAP PARKING SPACE, TRAFFIC BOX, ELECTRIC BOX, WOOD POLE, CLEANOUT, SANITARY SEWER MANHOLE, CATCH BASIN, CONCRETE, LIGHT POLE, FOUND OR SET POINTS, FIRE HYDRANT, WATER VALVE, WATER METER, FPL MANHOLE, UTILITY POLE, OFFICIAL RECORDS BOOK, PAGE, ENCROACHMENT, TEMPORARY BENCHMARK, OVERHEAD POWERLINES.

THE PROPERTY HAS DIRECT PHYSICAL ACCESS TO S. SHORE DRIVE, A DEDICATED PUBLIC STREET.

PARKING NOTE THE TOTAL NUMBER OF STRIPED PARKING SPACES REQUIRED BY LOCAL ZONING ORDINANCE IS: INCLUDING DESIGNATED AS HANDICAPPED SPACES. THE NUMBER OF ACTUAL STRIPED PARKING SPACES LOCATED ON THE SUBJECT PROPERTY IS 0, INCLUDING 0 DESIGNATED AS HANDICAPPED SPACES.

Delta Mapping and Surveying, INC. 13301 SW 132nd AVENUE MIAMI, FL 33186 SUITE 117 PHONE: (786) 429-1024

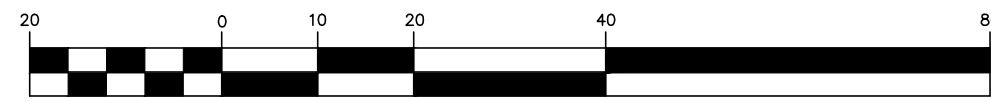
Surveyors, Land Planners & Mappers

ALTA/NSPS SURVEY

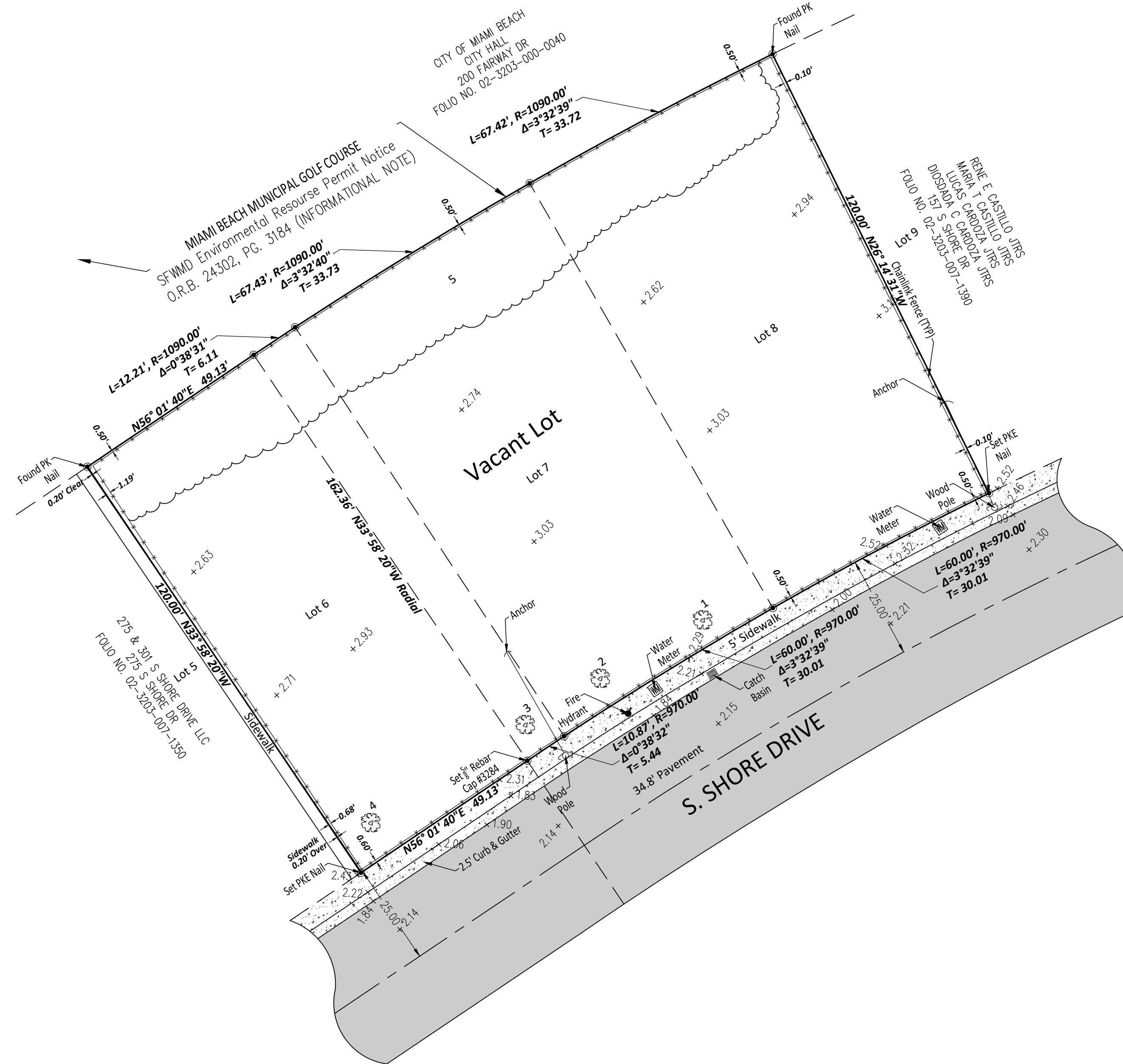
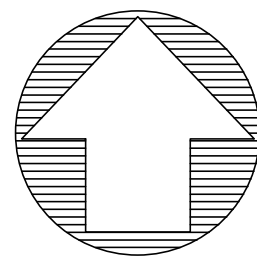
Table with columns: REVISIONS, DATE, REMARKS, SCALE, DRAWN BY, M.G., DRAWING NO., SHEET NO. Includes revision 02-15-2022.



GRAPHIC SCALE



( IN FEET )  
1 inch = 20 ft.



TREE TABULATION

NUMBER	COMMON NAME	SCIENTIFIC NAME	DIAMETER	HEIGHT	CANOPY
①	Coconut Palm	Cocos nucifera	12"	30'	15'
②	Coconut Palm	Cocos nucifera	12"	30'	15'
③	Coconut Palm	Cocos nucifera	6"	12'	15'
④	Coconut Palm	Cocos nucifera	8"	20'	7'
⑤	Pine Tree Cluster	Pinus			

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 EST. 2012  
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 SUITE 117 PHONE: (786) 429-1024

Surveyors,  
Land Planners  
& Mappers

ALTA/NSPS SURVEY

REVISIONS	DATE	REMARKS

DATE: 02-15-2022  
 SCALE: 1"=20'  
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