

PROPERTY NOTE:

1.- THIS BUILDING IS BEING DEMOLISHED AND SITE IS BEING CLEARED TO ALLOW FOR NEW CONSTRUCTION UNDER PERMIT #

2.- REMOVE ALL EXISTING STRUCTURES, SHEDS & CONCRETE SLABS, PLANTERS, WALKWAYS, DRIVEWAYS, FENCES OR ANY OTHER ACCESSORY STRUCTURES.

3.- PROPERTY MUST BE SODDED AFTER DEMOLITION OF BUILDING, AND THIS IS ALSO FOR SOIL STABILIZATION.

DEMO PLAN LEGEND	
PROPOERTY LINE	----
DEMOLISHED	-----
SILT FENCE	-----



6 EXISTING SITE
12" = 1'-0"



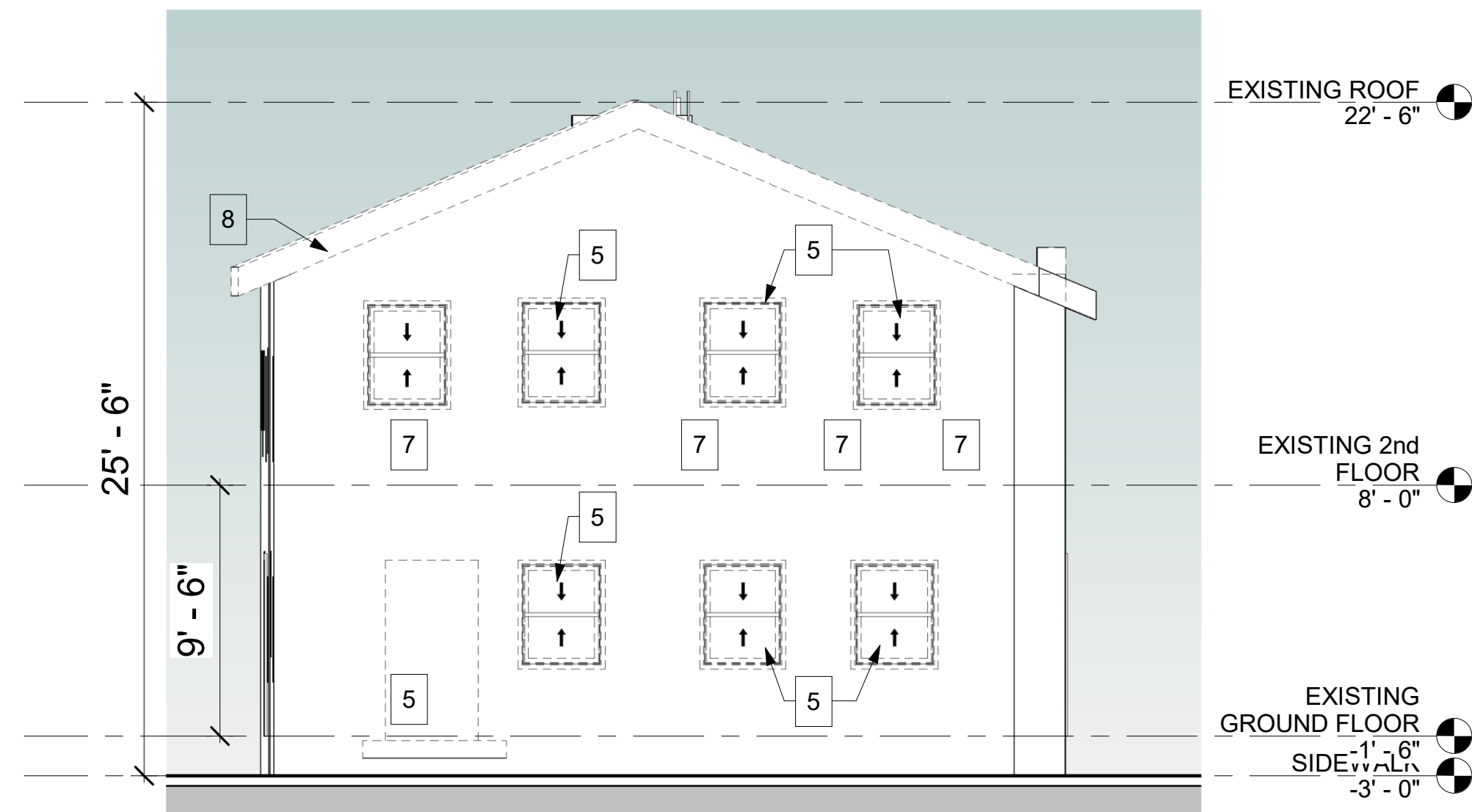
3 SITE FENCE PERMIT
3" = 1'-0"

DEMOLITION GENERAL NOTES

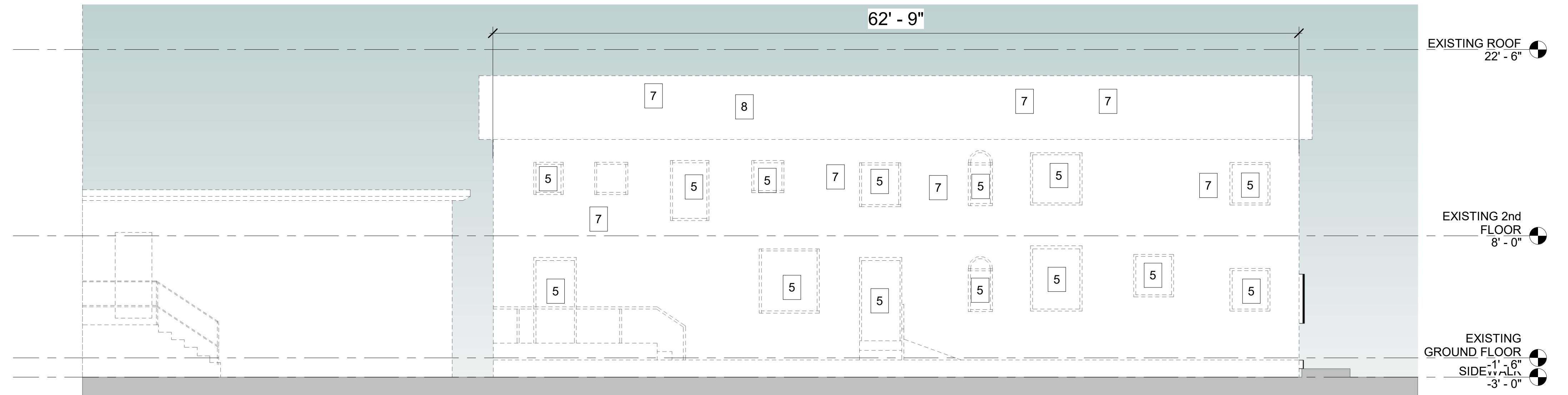
1. PROVIDE DEMOLITION AS THIS IS FOR FULL DEMOLITION OF EXISTING BUILDING BY DRAWINGS, IN SCHEDULES, AND HEREIN SPECIFIED.
2. IT IS THE INTENT OF THESE PLANS TO SHOW THE GENERAL EXTENTS OF THE DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL OF THE DEMOLITION WORK WITH THE INTENT OF THE PROPOSED DESIGN. ANY UNFORESEEN DEMOLITION NOT SHOWN IN THIS PLAN, AND WHICH IS REQUIRED TO MEET THE INTENT OF THE PROPOSED DESIGN, MUST BE INCLUDED IN THE CONTRACTOR SCOPE OF WORK
3. SALVAGE ITEMS: ITEMS INDICATED TO BE REMOVED WITH NO VALUE TO OWNER BUT OF SALVAGEABLE VALUE TO CONTRACTOR MAY BE REMOVED FROM STRUCTURE AS WORK PROGRESS.
 - A) ALL REUSABLE ITEMS SHALL BE SALVAGE TO OWNER UNLESS OTHERWISE NOTED.
4. PROTECTIONS: PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT OWNER AND GENERAL PUBLIC FROM INJURY DUE TO SELECTIVE DEMOLITION WORK.
 - A) PROVIDE PROTECTIVE MEASURES AS REQUIRED TO PROVIDE FREE AND SAFE PASSAGE OF OWNER AND GENERAL PUBLIC TO AND FROM OCCUPIED PORTIONS OF BUILDING.
 - B) ERECT TEMPORARY COVERED PASSAGEWAYS AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
 - C) PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING, OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURE OR ELEMENT TO BE DEMOLISHED, AND ADJACENT FACILITIES OR WORK TO REMAIN.
 - D) REMOVE PROTECTIONS AT COMPLETION OF WORK.
5. UTILITY SERVICES: CAP & REMOVE ALL UTILITIES FROM STRUCTURE & OBTAIN APPROPRIATE APPROVALS & PERMITS FROM ALL UTILITY COMPANIES.
 - A) PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES.
 - B) PROVIDE SERVICES FOR EFFECTIVE AIR AND WATER POLLUTION CONTROLS AS REQUIRED BY LOCAL AUTHORITIES HAVING JURISDICTION.
6. CLEAN-UP AND REPAIR:
 - A) UPON COMPLETION OF DEMOLITION WORK, REMOVE TOOLS, EQUIPMENT AND DEMOLISHED MATERIALS FROM SITE. REMOVE PROTECTIONS AND LEAVE INTERIOR AREAS BROOM CLEAN.
 - B) REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED. RETURN STRUCTURES AND SURFACES TO REMAIN TO CONDITION PRIOR TO COMMENCEMENT OF SELECTIVE DEMOLITION WORK. REPAIR ADJACENT CONSTRUCTION OF SURFACES SOILED OR DAMAGED BY SELECTIVE DEMOLITION WORK.
 - C) DAMAGES: PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION WORK AT NO COST TO OWNER.
 - D) REMOVE DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS FROM BUILDING SITE. TRANSPORT AND LEGALLY DISPOSE OF MATERIALS OFF-SITE.
 - E) PROTECT FROM DAMAGE EXISTING FINISH WORK THAT IS TO REMAIN IN PLACE AND BECOMES EXPOSED DURING DEMOLITION OPERATIONS.
 - F) PROTECT FLOOR WITH SUITABLE COVERINGS WHEN NECESSARY.
 - G) PROVIDE TEMPORARY WEATHER PROTECTION DURING INTERVAL BETWEEN DEMOLITION AND REMOVAL OF EXISTING CONSTRUCTION ON EXTERIOR SURFACES, AND INSTALLATION OF NEW CONSTRUCTION TO ENSURE THAT NO WATER LEAKAGE OR DAMAGE OCCURS TO STRUCTURE OR INTERIOR AREAS OF EXISTING BUILDING.
7. EXPLOSIVES: THE USE OF EXPLOSIVES WILL NOT BE PERMITTED.
8. ENVIRONMENTAL CONTROLS: IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION OPERATIONS, COMPLY WITH APPLICABLE REGULATIONS, LAWS AND ORDINANCES CONCERNING REMOVAL, HANDLING AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION.

EROSION & SEDIMENT CONTROL AND SOIL STABILIZATION NOTES

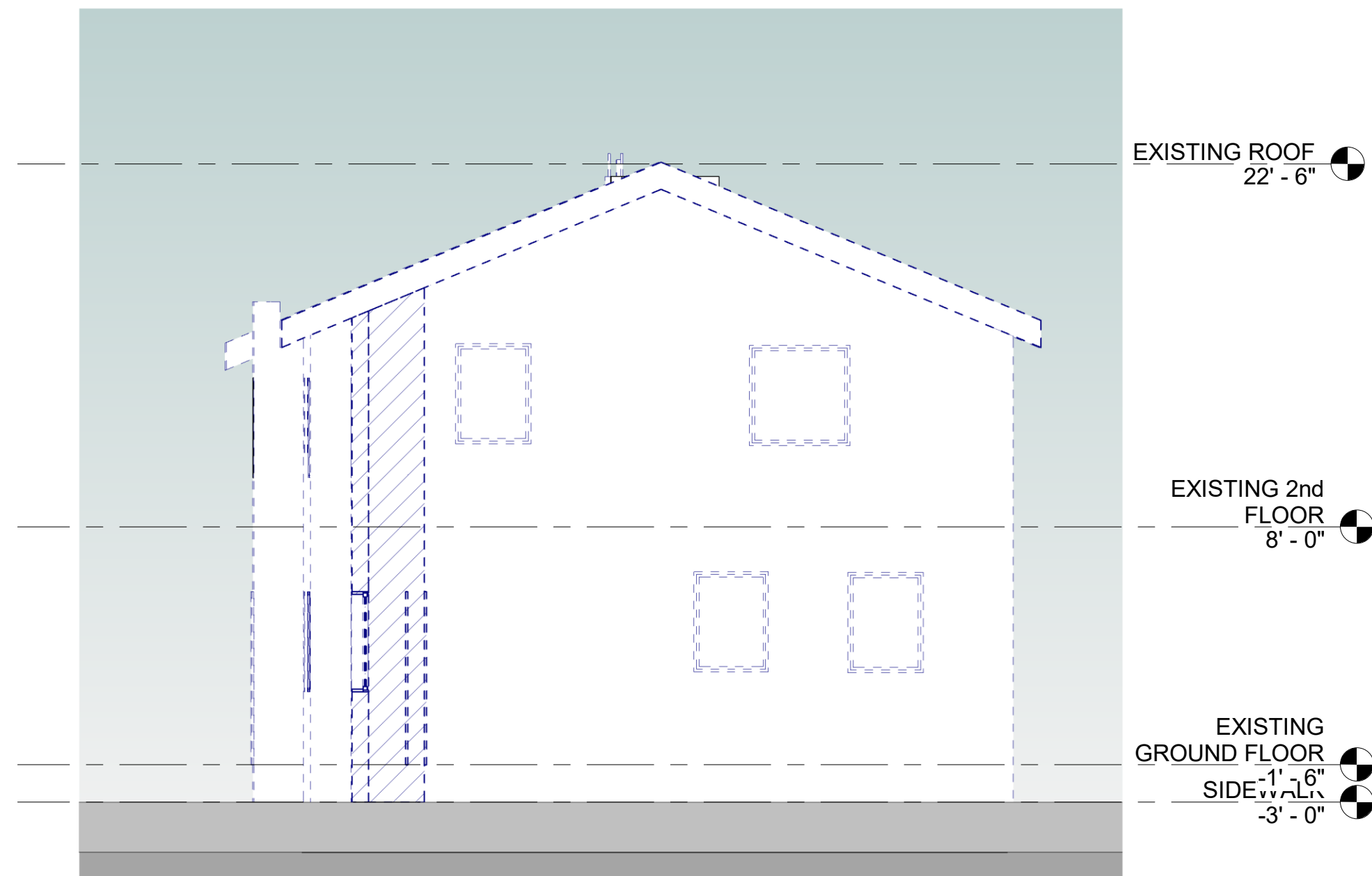
1. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
2. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
3. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORMWATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
4. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
5. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS, BY INSTALLING SOD OR GRAVEL OVER LOOSE SOIL, WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN THIRTY (30) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
6. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
8. PROPERTIES AND WATER WAYS DOWNSTREAM FROM CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
9. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.
10. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
11. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE.



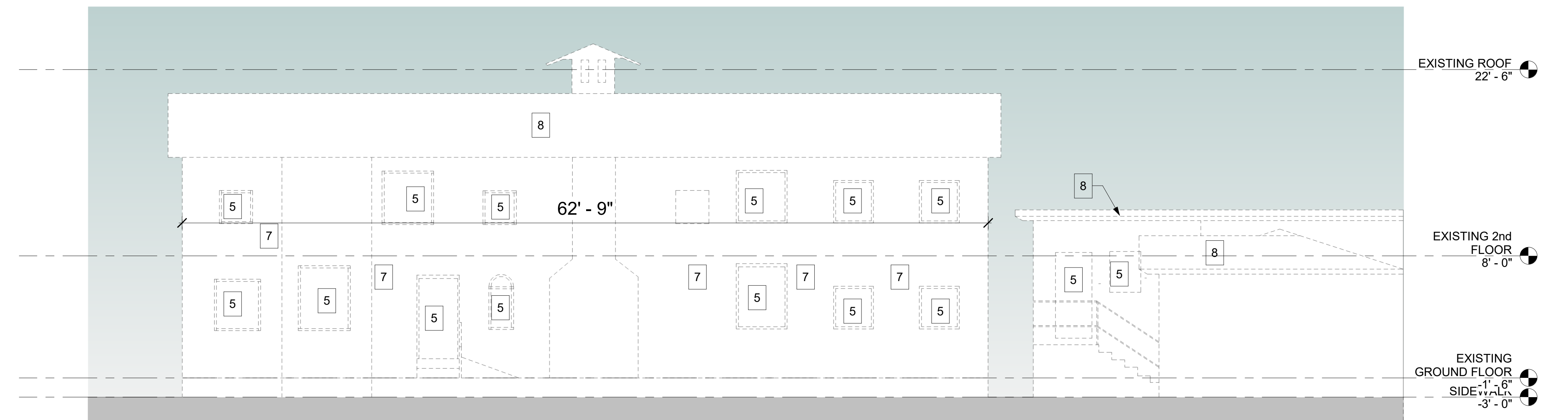
① EXISTING FRONT ELEVATION
3/16" = 1'-0"



② EXISTING WEST ELEVATION
3/16" = 1'-0"



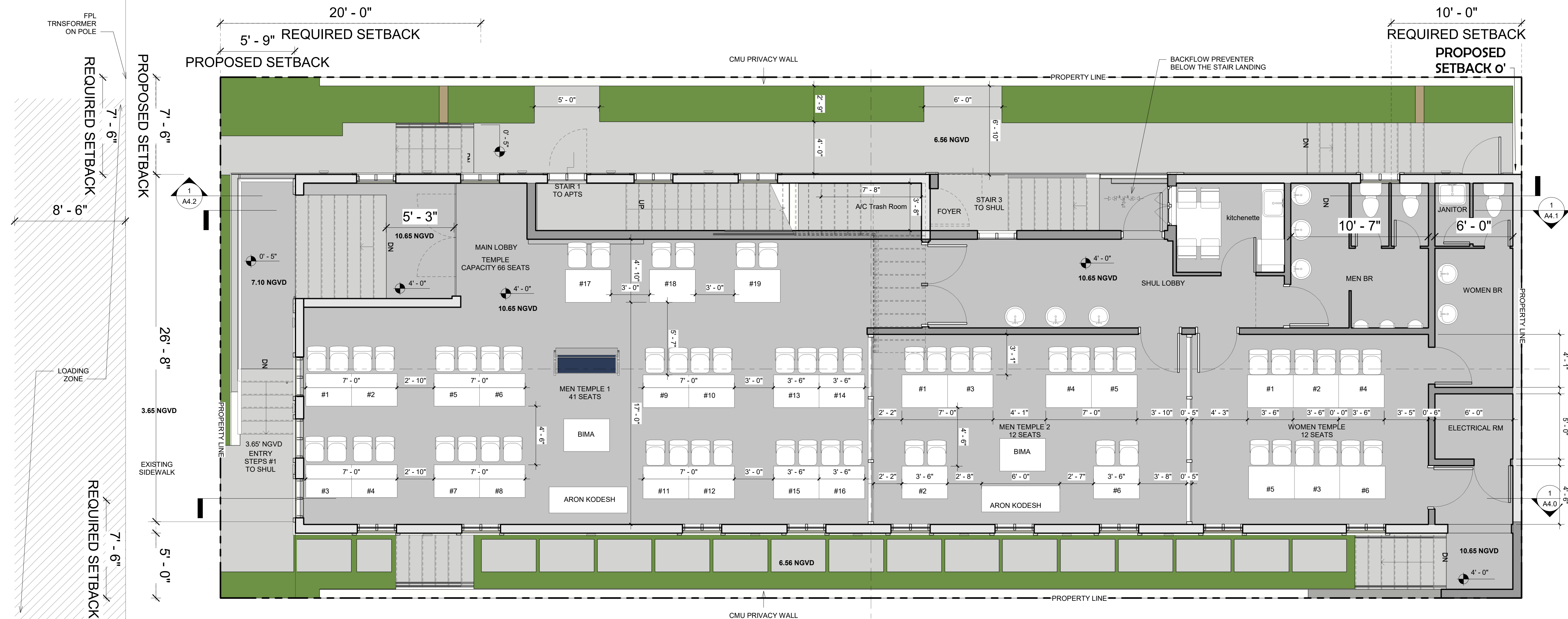
③ EXISTING NORTH ELEVATION
3/16" = 1'-0"



④ EXISTING EAST ELEVATION
3/16" = 1'-0"

DEMOLITION KEY NOTES

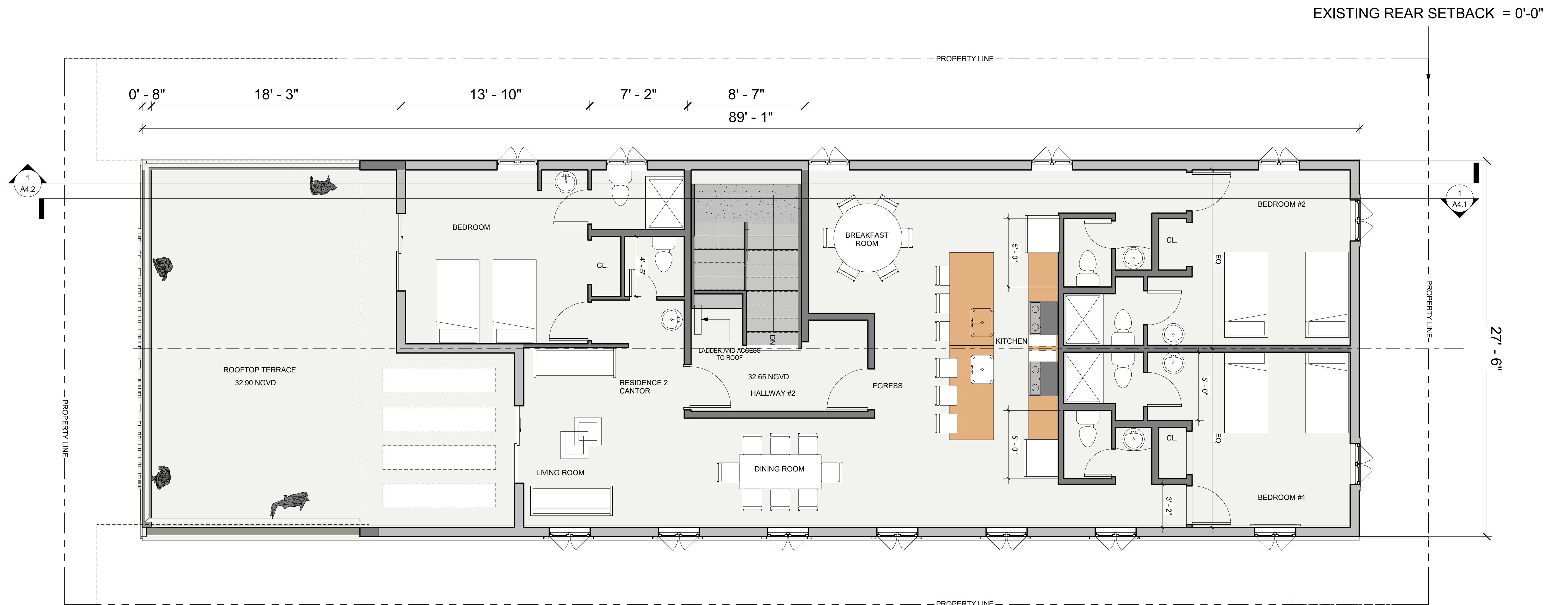
- 1 Remove structural members, provide temporary shoring where required and prepare areas for new work. (see structural details)
- 2 Remove all sanitary, vent & water piping & cap as required.
- 3 Remove electrical systems/panels, conduits & wiring.
- 4 Remove mechanical and a/c equipment, ducts, grills, etc.
- 5 Remove existing interior walls, stairs, steps, windows, ceilings, doors, roof and slabs
- 6 Notify arch. of all active MEP that can not be removed & capped.
- 7 Openings for future proposed windows.



1 TEMPLE GROUND LEVEL
1/4" = 1'-0"

EXISTING OCCUPANCY LOAD CHART, FBC TABLE 1004.1.2 AND NFPA 101-TABLE 7.3.1.2					
	DESCRIPTION	FUNCTION OF INTERIOR SPACE (ASSEMBLY WITHOUT FIXED SEATS)	OCCUPANT LOAD FACTOR	ALLOWED FLOOR AREA IN SQ. FT. PER OCCUPANT	EXISTING OCCUPANTS
GROUND FLOOR	RITUAL BATH	LOCKER	50 GROSS	100 SF / 50 = 2	2
		POOL	50 NET	108 SF / 50 = 3	3
	SYNAGOGUE	UNCONCENTRATED (TABLES AND CHAIRS)	15 NET	610 SF / 15 = 40.6 = 41	40
		LOUNGE	15 NET	342 SF / 15 = 22.8 = 23	23
SECOND FLOOR	RESIDENCE	RESIDENTIAL	200 GROSS	1560 SF / 200 = 7.8 = 8	8
TOTAL OCCUPANTS = 77					76

PROPOSED OCCUPANCY LOAD CHART, FBC TABLE 1004.1.2 AND NFPA 101-TABLE 7.3.1.2					
LEVEL	DESCRIPTION	FUNCTION OF INTERIOR SPACE (ASSEMBLY WITHOUT FIXED SEATS)	OCCUPANT LOAD FACTOR (PER SQUARE FOOT)	ALLOWED FLOOR AREA IN SQ. FT. PER OCCUPANT	PROPOSED OCCUPANTS
BASEMENT	RITUAL BATH	LOCKER ROOM	50 GROSS	150 SF / 50 = 3	3
		WATER SURFACE	50 NET	200 SF / 50 = 4	4
GROUND FLOOR	SYNAGOGUE	BENCH TYPE SEATING	1 person / 18 linear in.	1188 in. / 18 = 66	65
SECOND FLOOR	RESIDENCE	RESIDENTIAL	200 GROSS	1810 SF / 200 = 10	10
THIRD FLOOR	RESIDENCE	RESIDENTIAL	200 GROSS	1445 SF / 200 = 8	8
TOTAL OCCUPANTS = 91					90



① APARTMENT #2 LEVEL 3
1/4" = 1'-0"

ADAS DEJ SYNAGOGUE
225 37TH ST. MIAMI BEACH FL. 33139

HPB21-0492
FEB. 7TH 2022

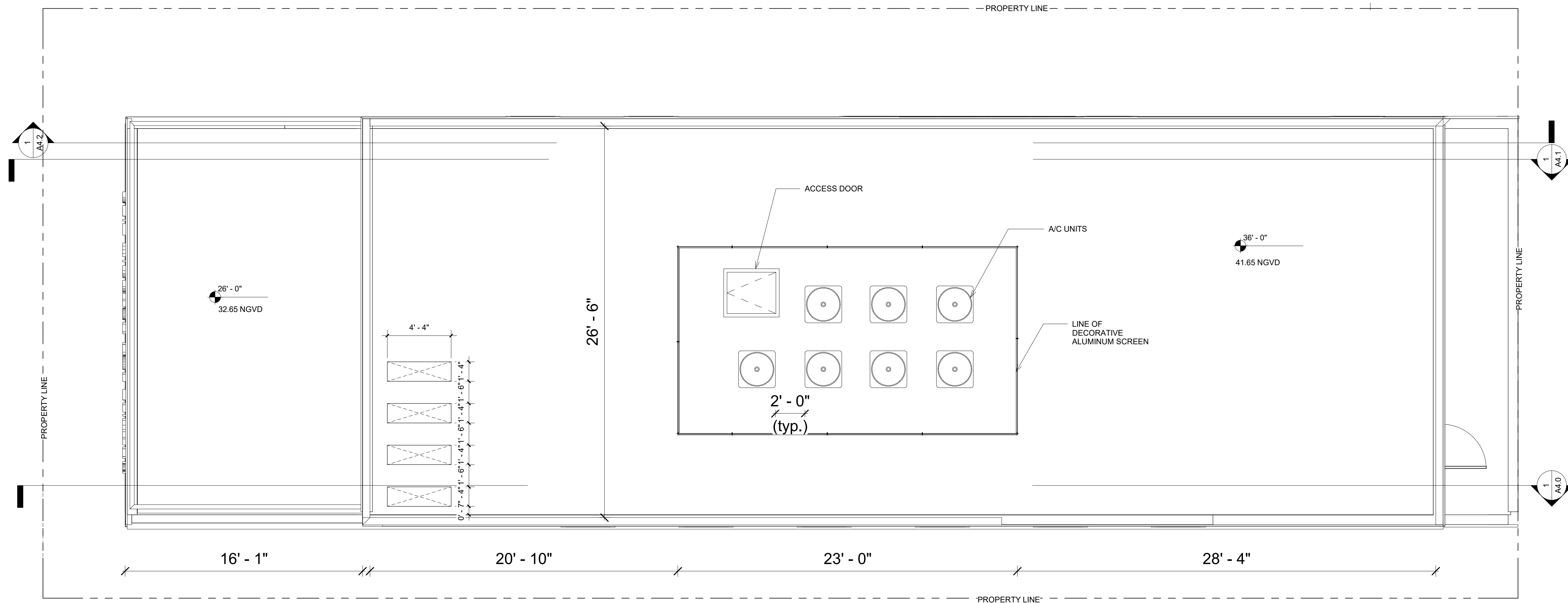
PROPOSED APARTMENT #2
LEVEL 3

Project #21-009

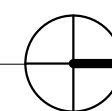
A2.3



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① PROPOSED ROOF PLAN
1/4" = 1'-0"



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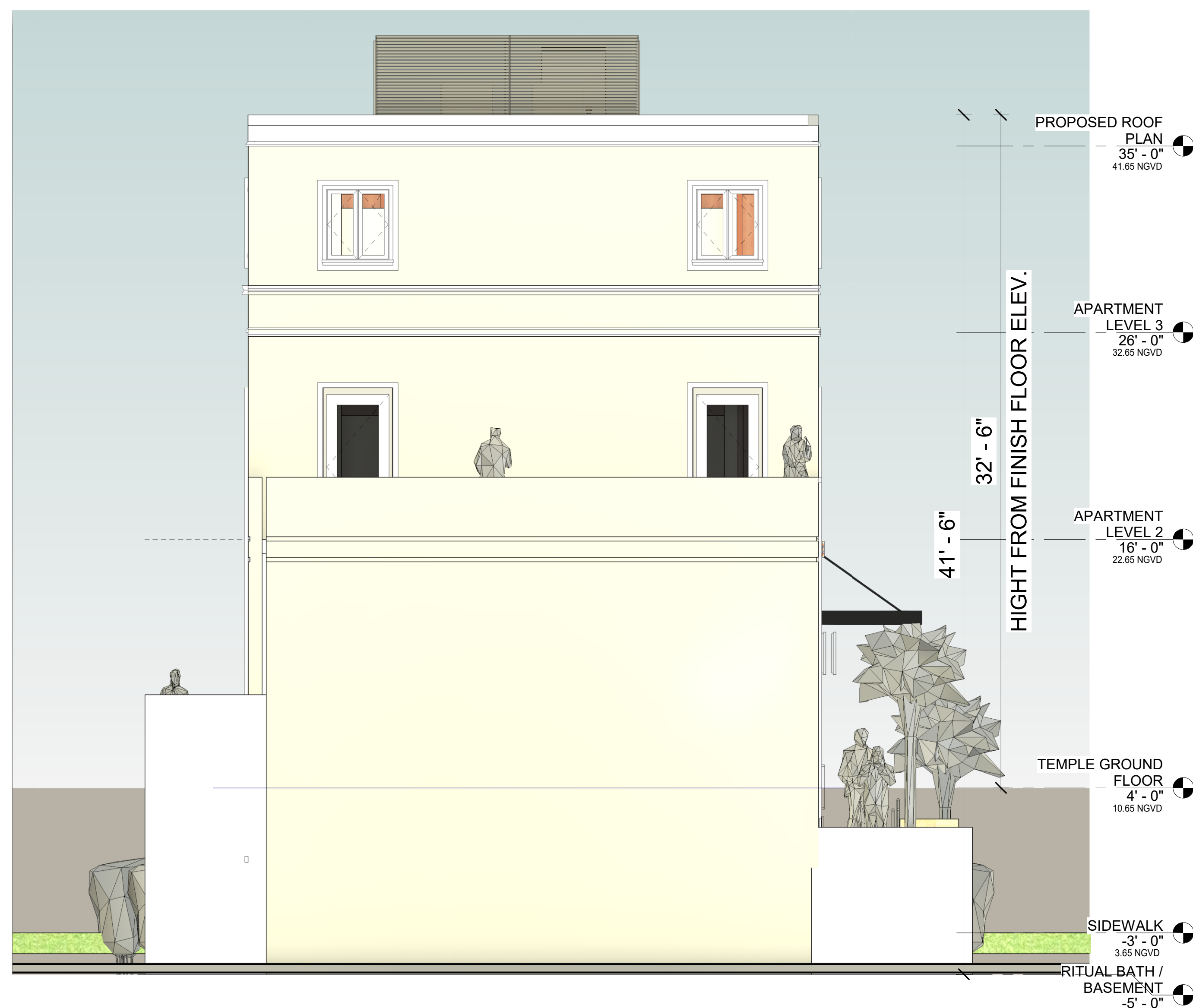
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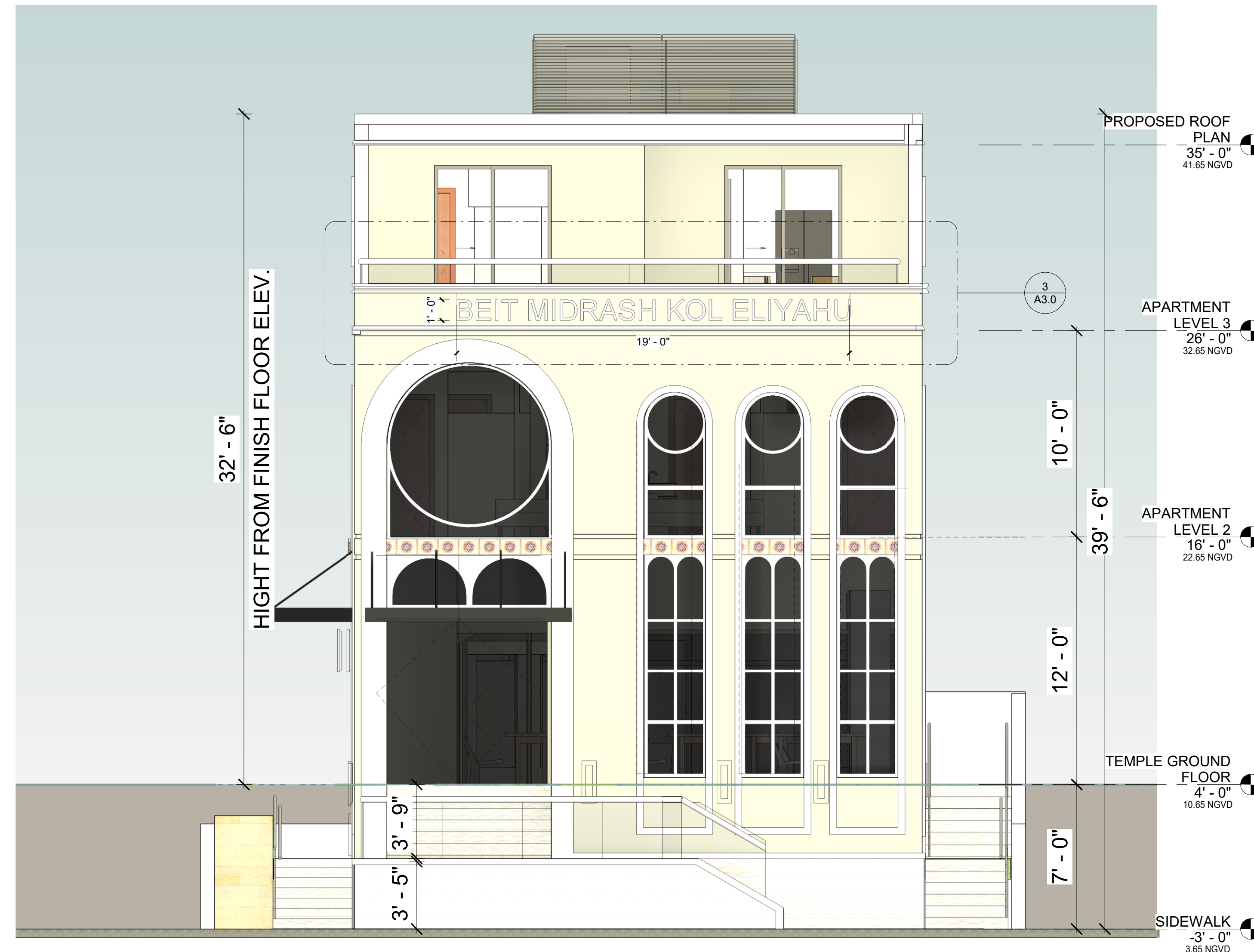
PROPOSED ROOF PLAN

Project #21-009

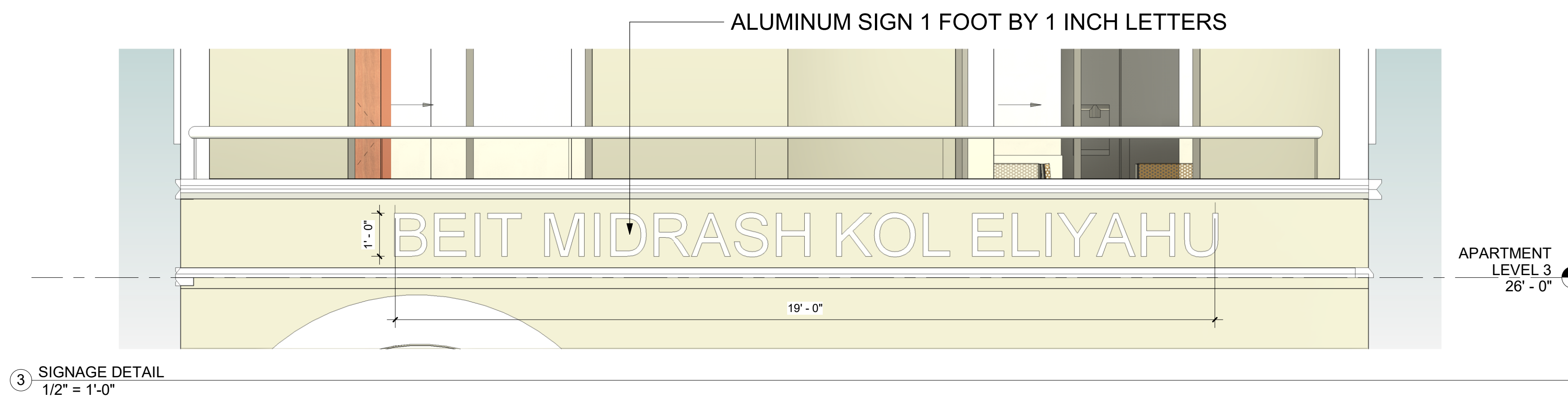
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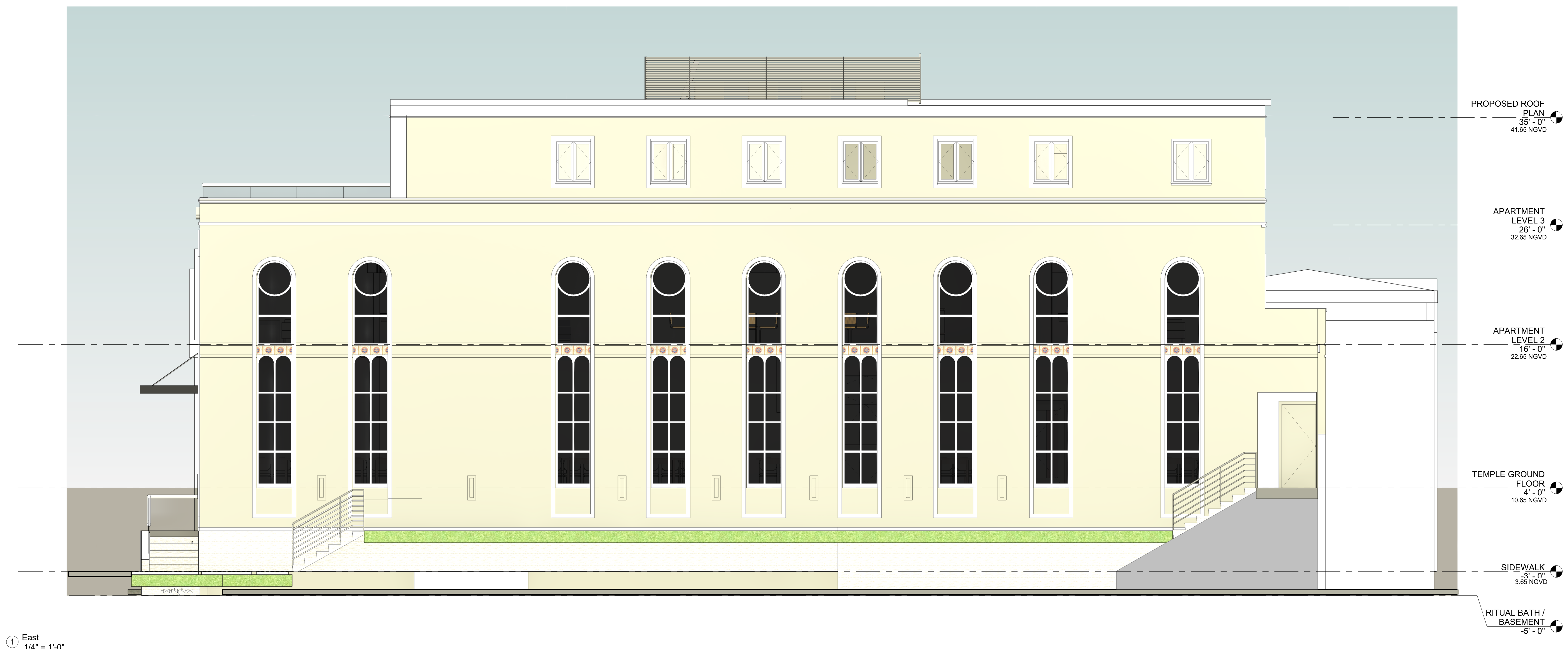
② North
1/4" = 1'-0"



① South
1/4" = 1'-0"



③ SIGNAGE DETAIL
1/2" = 1'-0"



1 East
1/4" = 1'-0"



① West
1/4" = 1'-0"



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PROPOSED WEST ELEVATION

Project #21-009

A3.2