



# Planning Board Modification Final Submittal

28 November 2016

601-685 Washington Avenue  
Miami Beach, FL

WASHINGTON  
SQUARED LLC



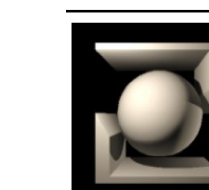
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**KEN FULK**

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## SCOPE OF WORK

- PREVIOUSLY APPROVED 7-STORY MIXED-USE DEVELOPMENT CONTAINING 2-STORY PODIUM WITH GROUND FLOOR RETAIL AND SECOND FLOOR PARKING SPANNING THE ENTIRE PROPERTY AND 5-STORY HOTEL TOWER ABOVE THE PODIUM AT THE SOUTHERN HALF OF THE PROPERTY
- MODIFICATIONS TO CONDITIONAL USE PERMIT FOR (1) NEW CONSTRUCTION IN EXCESS OF 50,000 SQUARE FEET, (2) NEIGHBORHOOD IMPACT ESTABLISHMENT WITH OUTDOOR ENTERTAINMENT, SPECIFICALLY ADJUSTMENTS OF OCCUPANT LOADS AND SEATING, AND (3) MECHANICAL PARKING LIFTS ON SECOND LEVEL

**REVISED**

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ZONING DATA	
LEGAL DESCRIPTION	
LOTS 11,12,13,14,15,16,17,18,19,20, AND 21 OF BLOCK 34, OF OCEAN BEACH, FLA. ADDITION No1, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3 AT PAGE 11 OF THE PUBLIC RECORDS OF DADE COUNTY FLORIDA.	
LYING AND BEING IN SECTION 3, TOWNSHIP 54 SOUTH, RANGE 42 EAST, CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA.	
SITE DATA	
ADDRESS	601 WASHINGTON AVE, MIAMI BEACH FLORIDA 33139
ZONING DESIGNATION	CD-2 (COMMERCIAL, MEDIUM INTENSITY DISTRICT) WASHINGTON AVENUE ZONING INCENTIVES
FLOOD ZONE	"AE" (ELEV. 8' NGVD29)
LOT AREA	69,437.00 SQ.FT.
HISTORIC DISTRICT	FLAMINGO PARK - NATIONAL REGISTER HISTORIC DISTRICT

DEVELOPMENT REGULATIONS		
	ALLOWED/REQUIRED	PROVIDED
F.A.R.		
2.00 X 69,437 SQ.FT.	138,874.00 SQ.FT.	138,796.46 SQ.FT.
MAXIMUM BUILDING HEIGHT	75 FT	75 FT
MAXIMUM NUMBER OF STORIES	7	7
USES BY LEVEL		
BASEMENT = B.O.H.		
GROUND FLOOR = COMMERCIAL		
SECOND FLOOR = PARKING		
THIRD FLOOR = AMENITIES / HOTEL		
4th-7th South Tower = HOTEL		
SETBACK REQUIREMENTS		
RESIDENTIAL USES SHALL FOLLOW RM-2		
FRONT (WASHINGTON AVE.)		
SUBTERRANEAN	0'-0"	26'-1"
GROUND FLOOR	0'-0"	0'-0"
ABOVE GROUND UP TO 35' IN HT.	10'-0"	10'-8"
ABOVE 35' IN HT.	30'-0"	39'-9"
REAR (ALLEY)		
SUBTERRANEAN	0'-0"	2'-0"
GROUND FLOOR		0'-0"
ABOVE GROUND LEVEL		
MIN 10% OF LOT DEPTH; OR ZERO FEET FOR PARKING ABOVE THE MINIMUM TRUCK CLERANCE	130' X 10% = 13'-0"	5'-8" (POOL TOILETS) 8'-6" (TOWER) (VARIANCE REQ'D)
SIDE FACING A STREET (6th STREET)		
SUBTERRANEAN	0'-0"	213'-9" (min)
NON RESIDENTIAL USES	0'-0"	4'-7"
RESIDENTIAL USES	20'-0"	20'-6"
SUM OF SIDE YARDS SHALL EQUAL 16% OF THE LOT WIDTH. MIN 7.5 FT AND UP TO 20 FT.		
SIDE FACING A STREET (7th STREET)		
SUBTERRANEAN	0'-0"	248'-10"
NON RESIDENTIAL USES	0'-0"	0'-0"
RESIDENTIAL USES	20'-0"	228'- 10"
SUM OF SIDE YARDS SHALL EQUAL 16% OF THE LOT WIDTH. MIN 7.5 FT AND UP TO 20 FT.		

	ALLOWED/REQUIRED	PROVIDED
ROOM COUNT	N/A	312
ROOM SIZE	175 SF	182 SF MIN
MINIMUM HOTEL ROOM SIZE MAY BE 175 SF. PROVIDED THAT A MINIMUM OF 20% OF THE GROSS FLOOR AREA OF THE HOTEL CONSISTS OF HOTEL AMENITY SPACE THAT IS PHYSICALLY CONNECTED TO AND DIRECTLY ACCESSED FROM THE HOTEL.		
HOTEL GROSS AREA		95,457.96 SF.
AMENITY AREA	19,091.59 SF. (20%)	25,188.15 SF. (26.39%)
BARS & RESTAURANTS 50% OF AMENITY AREA (MAX)	12,594.08 SF (MAX)	4,113.28 (16.33%)
MAXIMUM BUILDING LENGTH		
UNLESS OTHERWISE APPROVED BY THE HISTORIC PRESERVATION BOARD AT ITS SOLE DISCRETION, NO PLANE OF A BUILDING SHALL CONTINUE FOR GREATER THAN 100 FT WITHOUT INCORPORATING AN OFFSET OF A MINIMUM FIVE(5) FEET IN DEPTH FROM THE SETBACK LINE.		
MAXIMUM CONTINUOUS LENGTH	100 FT.	50 FT.
PARKING REQUIREMENTS		
VARIANCE REQUIRED TO ALLOW TRIPLE STACKING (TANDEM) NO LIFTS.		
PARKING DISTRICT No.7		
HOTEL (312 ROOMS)	0	0
CAFE INDOOR (76 SEATS) 1/4SEATS	19	19
CAFE OUTDOOR	EXEMPT	0
CABANAS (14) 1/2 CABANAS	7	7
BARS (125 SEATS) 1/4SEATS	31	31
TERRACE (1,790 SF) 1/60 SF	30	30
POOL DECK (5,424 SF) 1/60 SF	91	91
MANGROVE (4,411 SF) 1/60 SF	74	74
RETAIL EXISTING	EXEMPT	0
RETAIL NEW	EXEMPT	0
14,398.00 SF		
TOTAL	258	258
LOADING REQUIREMENTS		
RETAIL 46,849 SF.	4	4
HOTEL 312 ROOMS	5	5
TOTAL	9	9

CMB 142-309(5)a - HOTEL GROSS AREA CALCULATION			
Level	Name	Area	PERCENTAGE
BASEMENT	HOTEL GROSS	5,741.23 SF	6%
0100 LEVEL	HOTEL GROSS	4,171.65 SF	4%
0100 LEVEL	LOBBY	1,363.83 SF	1%
0200 LEVEL	HOTEL GROSS	1,547.30 SF	2%
0300 LEVEL	CAFE INDOOR	1,130.22 SF	1%
0300 LEVEL	HOTEL GROSS	16,904.91 SF	18%
0400 LEVEL	HOTEL GROSS	16,149.70 SF	17%
0500 LEVEL	HOTEL GROSS	16,149.70 SF	17%
0600 LEVEL	HOTEL GROSS	16,149.70 SF	17%
0700 LEVEL	HOTEL GROSS	16,149.70 SF	17%
		95,457.96 SF	100%

CMB 142-309(5)a - HOTEL AMENITY AREA CALCULATION - MINIMUM 20% OF GROSS AREA (95,457.96SF)			
Level	Name	Area	PERCENTAGE (HOTEL GROSS)
0100 LEVEL	BREEZEWAY	2,993.03 SF	3.14%
0100 LEVEL	LOBBY	1,363.83 SF	1.43%
0300 LEVEL	BAR	560.26 SF	0.59%
0300 LEVEL	CABANAS	1,389.79 SF	1.46%
0300 LEVEL	CAFE INDOOR	1,130.22 SF	1.18%
0300 LEVEL	CAFE OUTDOOR	1,517.92 SF	1.59%
0300 LEVEL	MANGROVE	4,411.06 SF	4.62%
0300 LEVEL	POOL BAR	904.67 SF	0.95%
0300 LEVEL	POOL DECK	6,953.37 SF	7.28%
0300 LEVEL	SWIMMING POOL	2,299.00 SF	2.41%
0300 LEVEL	TERRACE	1,664.84 SF	1.74%
		25,187.98 SF	26.39%

CMB 142-309 (5)a - HOTEL AMENITY - BARS & RESTAURANTS AREA CALCULATION NO MORE THAN 50% OF THE TOTAL HOTEL AMENITY SPACE (25,188.15 SF)			
Level	Name	Area	PERCENTAGE OF AMENITY AREA
0300 LEVEL	BAR	560.26 SF	2.22%
0300 LEVEL	CAFE INDOOR	1,130.22 SF	4.49%
0300 LEVEL	CAFE OUTDOOR	1,517.92 SF	6.03%
0300 LEVEL	POOL BAR	904.67 SF	3.59%
		4,113.06 SF	16.33%

### SEATS / PATRONS CALCULATION

Area Schedule (USE) SEATS / PATRONS OUTSIDE				
Level	Name	Area	Seats / Patrons	In/Out
0300 LEVEL	BAR		125	OUTSIDE
0300 LEVEL	CABANA		28	OUTSIDE
0300 LEVEL	CAFE OUTDOOR	1,517.92 SF	105	OUTSIDE
0300 LEVEL	MANGROVE	4,411.14 SF	295	OUTSIDE
0300 LEVEL	POOL DECK	5,424.00 SF	362	OUTSIDE
0300 LEVEL	SWIMMING POOL	2,299.00 SF	46	OUTSIDE
0300 LEVEL	TERRACE	1,928.92 SF	120	OUTSIDE
			1081	

Area Schedule (USE) SEATS / PATRONS INSIDE				
Level	Name	Area	Seats / Patrons	In/Out
0100 LEVEL	HOTEL LOBBY	1,363.83 SF	24	INSIDE
0300 LEVEL	CAFE INDOOR	1,129.95 SF	76	INSIDE
			100	



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## Zoning Data

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LEGAL DESCRIPTION	
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SITE DATA	
ADDRESS	601 WASHINGTON AVE, MIAMI BEACH FLORIDA 33139
ZONING DESIGNATION	CD-2 (COMMERCIAL, MEDIUM INTENSITY DISTRICT WASHINGTON AVENUE ZONING INCENTIVES
FLOOD ZONE	"AE" (ELEV. 9' NGVD29)
LOT AREA	69,437.00 SQ.FT.
HISTORIC DISTRICT	FLAMINGO PARK - NATIONAL REGISTER HISTORIC DISTRICT

DEVELOPMENT REGULATIONS		
	ALLOWED/REQUIRED	PROVIDED
F.A.R.	2.00 X 69,437 SQ.FT.	138,700.08 SQ.FT.
MAXIMUM BUILDING HEIGHT	75 FT	75 FT
MAXIMUM NUMBER OF STORIES	7	7
USES BY LEVEL		
BASEMENT =	B.O.H.	
GROUND FLOOR =	RETAIL / LOBBY / BOH	
SECOND FLOOR =	PARKING	
THIRD FLOOR =	AMENITIES / HOTEL	
4th-7th =	HOTEL	
ROOF =	AMENITIES / MECH.	
SETBACK REQUIREMENTS		
RESIDENTIAL USES SHALL FOLLOW RM-2		
FRONT (WASHINGTON AVE.)		
SUBTERRANEAN	0'-0"	10'-8"
GROUND FLOOR	0'-0"	0'-0"
ABOVE GROUND UP TO 35' IN HT.	10'-0"	10'-8"
ABOVE 35' IN HT.	30'-0"	39'-9"
REAR (ALLEY)		
SUBTERRANEAN	0'-0"	2'-0"
GROUND FLOOR	0'-0"	0'-0"
ABOVE GROUND LEVEL		
MIN 10% OF LOT DEPTH; OR ZERO FEET FOR PARKING ABOVE THE MINIMUM TRUCK CLERANCE	130' X 10% = 13'-0"	5'-8" (POOL TOILETS) 8'-6" (TOWER) (VARIANCE REQ'D)
SIDE FACING A STREET (6th STREET)		
SUBTERRANEAN	0'-0"	213'-9" (min)
NON RESIDENTIAL USES	0'-0"	4'-7"
RESIDENTIAL USES	20'-0"	20'-6"
SUM OF SIDE YARDS SHALL EQUAL 16% OF THE LOT WIDTH. MIN 7.5 FT AND UP TO 20 FT.		
SIDE FACING A STREET (7th STREET)		
SUBTERRANEAN	0'-0"	230'-3"
NON RESIDENTIAL USES	0'-0"	0'-0"
RESIDENTIAL USES	20'-0"	228'- 10"
SUM OF SIDE YARDS SHALL EQUAL 16% OF THE LOT WIDTH. MIN 7.5 FT AND UP TO 20 FT.		

	ALLOWED/REQUIRED	PROVIDED
ROOM COUNT	N/A	269
ROOM SIZE	175 SF	180 SF MIN
MINIMUM HOTEL ROOM SIZE MAY BE 175 SF. PROVIDED THAT A MINIMUM OF 20% OF THE GROSS FLOOR AREA OF THE HOTEL CONSISTS OF HOTEL AMENITY SPACE THAT IS PHYSICALLY CONNECTED TO AND DIRECTLY ACCESSED FROM THE HOTEL.		
HOTEL GROSS AREA		99,391.54 SF.
AMENITY AREA	19,878.30 SF. (20%)	30,070.32 SF (30.25%)
BARS & RESTAURANTS 50% OF AMENITY AREA (MAX)	9,939.15 SF (MAX)	7,335.86 (24.40%)
MAXIMUM BUILDING LENGTH		
UNLESS OTHERWISE APPROVED BY THE HISTORIC PRESERVATION BOARD AT ITS SOLE DISCRETION, NO PLANE OF A BUILDING SHALL CONTINUE FOR GREATER THAN 100 FT WITHOUT INCORPORATING AN OFFSET OF A MINIMUM FIVE(5) FEET IN DEPTH FROM THE SETBACK LINE.		
MAXIMUM CONTINUOUS LENGTH	100 FT.	50 FT.
PARKING REQUIREMENTS		
VARIANCE REQUIRED TO ALLOW TRIPLE STACKING (TANDEM) NO LIFTS.		
PARKING DISTRICT No.7		
HOTEL (269 ROOMS)	0	0
CAFE INDOOR (83 SEATS) 1/4SEATS	21	21
CAFE OUTDOOR	EXEMPT	0
CABANAS (17) 1/2 CABANAS	9	9
BARS (125 SEATS) 1/4SEATS	32	32
POOL DECK (6,187 SF) 1/60 SF	104	104
MANGROVE (3,665 SF) 1/60 SF	62	62
LOBBY CAFE (25 SEATS) 1/4 SEATS	7	7
RETAIL EXISTING 45,941.52 SF	EXEMPT	0
SUBTOTAL	235	235
HOTEL ROOMS	121	87
8'-6" X 16'-0" SPACES		158
8'-6" X 16'-0" SPACES (TANDEM)		111
MECHANICAL LIFTS		
TOTAL	356	356
LOADING REQUIREMENTS		
RETAIL 46,849 SF.	4	4
HOTEL 269 ROOMS	4	4
TOTAL	8	8

Area Schedule (USE) OCCUPANT LOAD RETAIL				
Level	Name	Area	Occupant Load	In/Out
0100 LEVEL	RETAIL	21,080.95 SF	71	INSIDE
0100 LEVEL	RETAIL	465.17 SF	2	INSIDE
0100 LEVEL	RETAIL	13,280.27 SF	45	INSIDE
0100 LEVEL	RETAIL	2,306.90 SF	8	INSIDE
0100 LEVEL	RETAIL	8,808.23 SF	30	INSIDE
		45,941.52 SF	156	

CMB 142-309(5)a - HOTEL GROSS AREA CALCULATION			
Level	Name	Area	PERCENTAGE
BASEMENT	HOTEL GROSS	8,785.24 SF	8.84%
0100 LEVEL	HOTEL GROSS	4,995.59 SF	5.03%
0100 LEVEL	LOBBY	1,430.55 SF	1.44%
0200 LEVEL	HOTEL GROSS	2,312.98 SF	2.33%
0300 LEVEL	CAFE INDOOR	1,738.97 SF	1.75%
0300 LEVEL	HOTEL GROSS	14,967.14 SF	15.06%
0300 LEVEL	LOUNGE	1,239.07 SF	1.25%
0400 LEVEL	HOTEL GROSS	15,544.91 SF	15.64%
0500 LEVEL	HOTEL GROSS	15,544.91 SF	15.64%
0600 LEVEL	HOTEL GROSS	15,544.91 SF	15.64%
0700 LEVEL	HOTEL GROSS	15,544.91 SF	15.64%
ROOF DECK	HOTEL GROSS	1,742.37 SF	1.75%
		99,391.54 SF	100.00%

CMB 142-309(5)a - HOTEL AMENITY AREA CALCULATION - MINIMUM 20% OF GROSS AREA (99,391.54SF)			
Level	Name	Area	PERCENTAGE (HOTEL GROSS)
0100 LEVEL	BREEZEWAY	2,993.03 SF	3.01%
0100 LEVEL	LOBBY	1,430.55 SF	1.44%
0300 LEVEL	BAR	224.91 SF	0.23%
0300 LEVEL	CABANAS	1,671.00 SF	1.68%
0300 LEVEL	CAFE INDOOR	1,738.97 SF	1.75%
0300 LEVEL	CAFE OUTDOOR	4,381.98 SF	4.41%
0300 LEVEL	LOUNGE	1,239.07 SF	1.25%
0300 LEVEL	MANGROVE	3,664.59 SF	3.69%
0300 LEVEL	POOL	2,226.00 SF	2.24%
0300 LEVEL	POOL BAR	990.00 SF	1.00%
0300 LEVEL	POOL DECK	6,187.21 SF	6.23%
ROOF DECK	ROOF TOP DECK	1,376.67 SF	1.39%
ROOF DECK	SWIM SPA	192.00 SF	0.19%
ROOF DECK	SWIM SPA DECK	1,754.35 SF	1.77%
		30,070.32 SF	30.25%

CMB 142-309 (5)a - HOTEL AMENITY - BARS & RESTAURANTS AREA CALCULATION NO MORE THAN 50% OF THE TOTAL HOTEL AMENITY SPACE (29,456.64 SF)			
Level	Name	Area	PERCENTAGE OF AMENITY AREA
0300 LEVEL	BAR	224.91 SF	0.75%
0300 LEVEL	CAFE INDOOR	1,738.97 SF	5.78%
0300 LEVEL	CAFE OUTDOOR	4,381.98 SF	14.57%
0300 LEVEL	POOL BAR	990.00 SF	3.29%
		7,335.86 SF	24.40%

Area Schedule (USE) OCCUPANT LOAD ROOF TOP - HOTEL GUESTS ONLY			
Level	Name	Area	Occupants/Seats/Patrons
ROOF DECK	POOL DECK	1,810.69 SF	121
ROOF DECK	ROOF TOP DECK	1,479.17 SF	99
ROOF DECK	SWIM SPA	192.00 SF	4
			224

Area Schedule (USE) SEATS / PATRONS OUTSIDE				
Level	Name	Area	Seats / Patrons	In/Out
0300 LEVEL	BAR		125	OUTSIDE
0300 LEVEL	CABANA		34	OUTSIDE
0300 LEVEL	CAFE OUTDOOR	4,381.98 SF	145	OUTSIDE
0300 LEVEL	MANGROVE	3,664.59 SF	245	OUTSIDE
0300 LEVEL	POOL DECK	6,186.55 SF	413	OUTSIDE
0300 LEVEL	SWIMMING POOL	2,226.67 SF	45	OUTSIDE
			1007	

Area Schedule (USE) SEATS / PATRONS INSIDE				
Level	Name	Area	Seats / Patrons	In/Out
0100 LEVEL	HOTEL LOBBY	1,428.06 SF	25	INSIDE
0300 LEVEL	CAFE INDOOR	1,738.97 SF	83	INSIDE
0300 LEVEL	LOUNGE	1,239.07 SF	83	INSIDE
			191	



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601-685 Washington Ave.  
Miami Beach, FL

## Zoning Data

Planning Board Modification - Final Submittal / 28 November 2016

**REVISED**

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Zoning Information			
1	Address:	601 Washington Avenue		
2	Board and file numbers :			
3	Folio number(s):	02-4203-004-0870,0860,0840,0850,0830,0820,0810		
4	Year constructed:	Zoning District / Overlay:	CD-2 Washington Ave Development Regs	
5	Based Flood Elevation:	AE 8	Grade value in NGVD:	5.5' NGVD
6	Lot Area:	69,437 s.f.	Lot Depth:	130'
7	Lot width:	549.33		
8	Minimum Unit Size	175 s.f.	Average Unit Size:	191 s.f.
9	Existing use:	Retail	Proposed use:	Retail & Hotel

		Maximum	Existing	Proposed	Deficiencies
10	Height:	75	17 (Varies)	75'	
11	Number of Stories:	7	1 & 2	7	
12	FAR: 2.0	138,874		138,796.42	
13	Gross square footage:			142,307.25	
14	Square Footage by use:	N/A		Hotel: 95,457.96 SF Retail: 46,849.29 SF	
15	Number of units Residential:	N/A	0	0	
16	Number of units Hotel:	N/A	0	312	
17	Number of seats:	N/A		SEE TABLE ATTACHED	
18	Occupancy load:	N/A		SEE TABLE ATTACHED	
19	Density (per Comprehensive Plan):			N/A	

	Setbacks	Required	Existing	Proposed	Deficiencies
	<b>Subterranean:</b>		N/A		
20	Front Setback:	0'	N/A	26'-1"	
21	Side Setback: Facing 7th Street	0'	N/A	248'-10" (NORTH)	
22	Side Setback: Facing 6th Street	0'	N/A	213'-9" (SOUTH)	
23	Side Setback facing street:	0'	N/A		
24	Rear Setback:	0'	N/A	2'-0"	
	<b>At Grade Parking:</b>				
25	Front Setback:		N/A		
26	Side Setback:	0	N/A		
27	Side Setback:	0	N/A		
28	Side Setback facing street:	0	N/A		
29	Rear Setback:	0	N/A		
	<b>Pedestal:</b>				
30	Front Setback:	0	0 / 2.25'	0/2.25'	
31	Side Setback: Facing 7th Street	0	0	0'	
32	Side Setback: Facing 6th Street	0	0 / 4'-8" / (South)	4'-7"	
33	Side Setback facing street:	0		0'	
34	Rear Setback:	0	0	0'	
34.1	Front Setback above ground up to 35':	10'	0	10'-8"	
	Side Setback: Facing 7th Street	0		10'	
	Side Setback: Facing 6th Street	0		16'0	
	<b>Tower:</b>				
35	Front Setback:	10' / 30'	N/A	Tower: 39'-9" Pedestal w/ parking: 10'	
36	Side Setback:		N/A	N/A	
37	Side Setback:		N/A	N/A	
38	Side Setback facing street:	16% L.W. / 20'	N/A	South: 20'-6" North: 228'-10"	

39	Rear Setback:	Tower: 10% of L.D. = 13' Parking: 0'	0 (Varies)	BOH @ Pool Deck = 5'-8" Tower: 8'-6" Parking: 0'	variance required
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	Parking	Required	Existing	Proposed	Deficiencies
40	Parking district:	1 & 7	0		
41	Total number of parking spaces:		0	258	
42	Number of parking spaces per use (Provide a separate chart for a breakdown calculation):		0	SEE TABLE ATTACHED	
43	Number of parking spaces per level (Provide a separate chart for a breakdown calculation):		0	258 - All parking on level 2	
44	Parking Space Dimensions:			8.5' X 16'	
45	Parking Space configuration (45°, 60°, 90°, Parallel):			90°	
46	ADA Spaces:	6 / (with 1 Van)		(1 van)	
47	Tandem Spaces:			164	variance required
48	Drive aisle width:		22'	22'	
49	Valet drop off and pick up:		N/A	SEE SITE PLAN	
50	Loading spaces:	4 (Retail) + 5 (Hotel)		9	
51	Trash collection area:				
52	Short-term Bicycle Parking, location and Number of racks:	10(Retail) + 32(Hotel)		42	
53	Long-Term Bicycle Parking, location and Number of racks	10(Retail) + 3(Hotel)		13	
	<b>Restaurants, Cafes, Bars, Lounges, Nightclubs</b>	<b>Required</b>	<b>Existing</b>	<b>Proposed</b>	<b>Deficiencies</b>
54	Type of use:			Restaurant, Bar	
55	Number of seats located outside on private property:			1081	
56	Number of seats inside:			100	
57	Total number of seats:			1181	
58	Total number of seats per venue (Provide a separate chart for a breakdown calculation):			SEE TABLE ATTACHED	
59	Total occupant content:				
60	Occupant content per venue (Provide a separate chart for a breakdown calculation):			SEE TABLE ATTACHED	

61	Proposed hours of operation:	SEE BUSINESS OPERATIONS PLAN
62	Is this an NIE? (Neighborhood Impact Establishment, see CMB 141-1361):	YES
63	Is dancing and/or entertainment proposed? (see CMB 141-1361):	YES
64	Is this a contributing building?:	Yes
65	Located within a Local Historic District?:	Yes

Notes:  
Please write N/A if section is Not Applicable  
Any additional data must be presented in the format above



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Ken Fulk

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Nichols Brosch  
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601-685 Washington Ave.  
Miami Beach, FL

Commercial Zoning Data Sheet

Planning Board Revised Final Submittal / 29 April 2016



MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Zoning Information			
1	Address:	601 Washington Avenue		
2	Board and file numbers :			
3	Folio number(s):	02-4203-004-0870,0860,0840,0850,0830,0820,0810		
4	Year constructed:	Zoning District / Overlay:	CD-2 Washington Ave Development Regs	
5	Based Flood Elevation:	AE 8	Grade value in NGVD:	5.5' NGVD
6	Lot Area:	69,437 s.f.	Lot Depth:	130'
7	Lot width:	549.33		
8	Minimum Unit Size	175 s.f.	Average Unit Size:	191 s.f.
9	Existing use:	Retail	Proposed use:	Retail & Hotel

	Maximum	Existing	Proposed	Deficiencies
10	Height:	75	17 (Varies)	75'
11	Number of Stories:	7	1 & 2	7
12	FAR: 2.0	138,874	138,700.08	
13	Gross square footage:		145,333.06	
14	Square Footage by use:	N/A	Hotel: 99,391.54 SF Retail: 45,941.52 SF	
15	Number of units Residential:	N/A	0	0
16	Number of units Hotel:	N/A	0	269
17	Number of seats:	N/A	SEE TABLE ATTACHED	
18	Occupancy load:	N/A	SEE TABLE ATTACHED	
19	Density (per Comprehensive Plan):			N/A

	Required	Existing	Proposed	Deficiencies
<b>Subterranean:</b>				
20	Front Setback:	N/A	10'-8"	
21	Side Setback: Facing 7th Street	N/A	230'-3" (NORTH)	
22	Side Setback: Facing 6th Street	N/A	213'-9" (SOUTH)	
23	Side Setback facing street:	N/A		
24	Rear Setback:	N/A	2'-0"	
<b>At Grade Parking:</b>				
25	Front Setback:	N/A		
26	Side Setback:	N/A		
27	Side Setback:	N/A		
28	Side Setback facing street:	N/A		
29	Rear Setback:	N/A		
<b>Pedestal:</b>				
30	Front Setback:	0 / 2.25'	0/2.25'	
31	Side Setback: Facing 7th Street	0	0'	
32	Side Setback: Facing 6th Street	0 / 4'-8" (South)	4'-7"	
33	Side Setback facing street:	0	0'	
34	Rear Setback:	0	0'	
34.1	Front Setback above ground up to 35':	10'	10'-8"	
	Side Setback: Facing 7th Street	0	10'	
	Side Setback: Facing 6th Street	0	16'0	
<b>Tower:</b>				
35	Front Setback:	10' / 30'	Tower: 39'-9" Pedestal w/ parking: 10'	
36	Side Setback:	N/A	N/A	
37	Side Setback:	N/A	N/A	
38	Side Setback facing street:	16% L.W. / 20'	South: 20'-6" North: 228'-10"	

39	Rear Setback:	Tower: 10% of L.D. = 13' Parking: 0'	0 (Varies)	BOH @ Pool Deck = 55'-8" Tower: 8'-6" Parking: 0'	variance required
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	Parking	Required	Existing	Proposed	Deficiencies
40	Parking district:	1 & 7	0		
41	Total number of parking spaces:		0	356	
42	Number of parking spaces per use (Provide a separate chart for a breakdown calculation):		0	SEE TABLE ATTACHED	
43	Number of parking spaces per level (Provide a separate chart for a breakdown calculation):		0	356 - All parking on level 2	
44	Parking Space Dimensions:			8.5' X 16'	
45	Parking Space configuration (45°, 60°, 90°, Parallel):			90°	
46	ADA Spaces:	6 / (with 1 Van)		(1 van)	
47	Tandem Spaces:			158 + 111 Lifts	variance required
48	Drive aisle width:		22'	22'	
49	Valet drop off and pick up:		N/A	SEE SITE PLAN	
50	Loading spaces:	4 (Retail) + 4 (Hotel)		8	
51	Trash collection area:				
52	Short-term Bicycle Parking, location and Number of racks:	10(Retail) + 32(Hotel)		42	
53	Long-Term Bicycle Parking, location and Number of racks:	10(Retail) + 3(Hotel)		13	
<b>Restaurants, Cafes, Bars, Lounges, Nightclubs</b>					
		Required	Existing	Proposed	Deficiencies
54	Type of use:			Restaurant, Bar	
55	Number of seats located outside on private property:			1007	
56	Number of seats inside:			191	
57	Total number of seats:			1198	
58	Total number of seats per venue (Provide a separate chart for a breakdown calculation):			SEE TABLE ATTACHED	
59	Total occupant content:				
60	Occupant content per venue (Provide a separate chart for a breakdown calculation):			SEE TABLE ATTACHED	

61	Proposed hours of operation:	SEE BUSINESS OPERATIONS PLAN
62	Is this an NIE? (Neighborhood Impact Establishment, see CMB 141-1361):	YES
63	Is dancing and/or entertainment proposed? (see CMB 141-1361):	YES
64	Is this a contributing building?:	Yes
65	Located within a Local Historic District?:	Yes

Notes:  
Please write N/A if section is Not Applicable  
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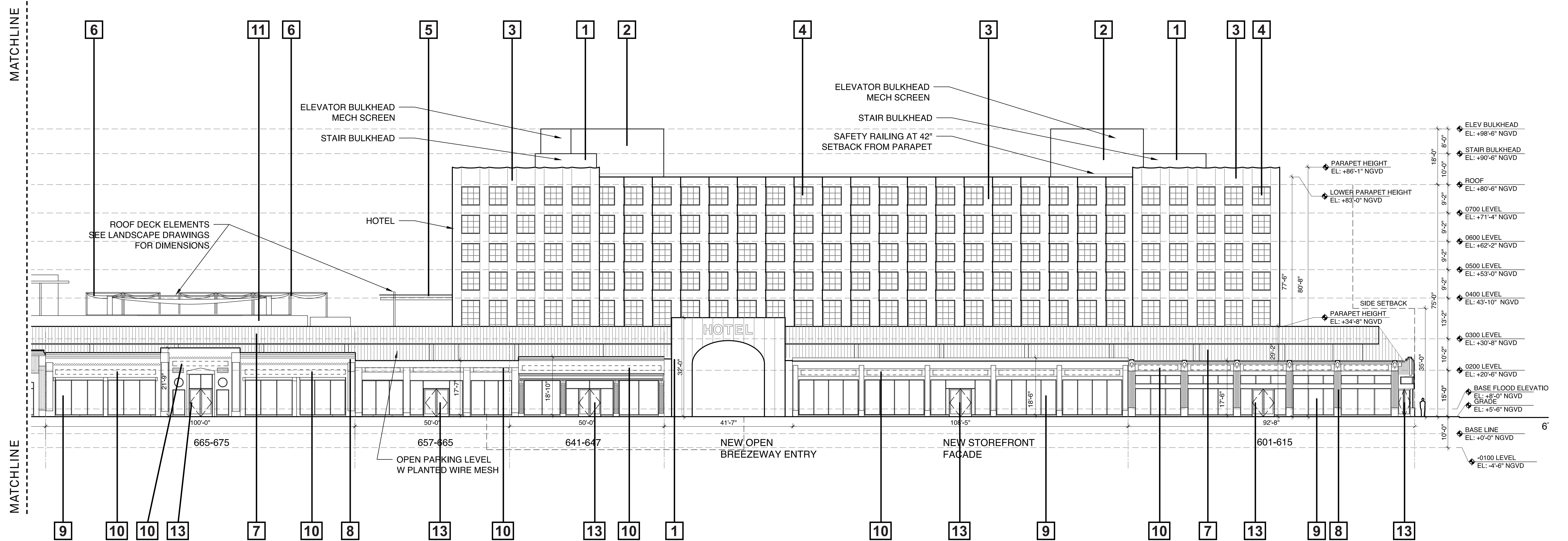
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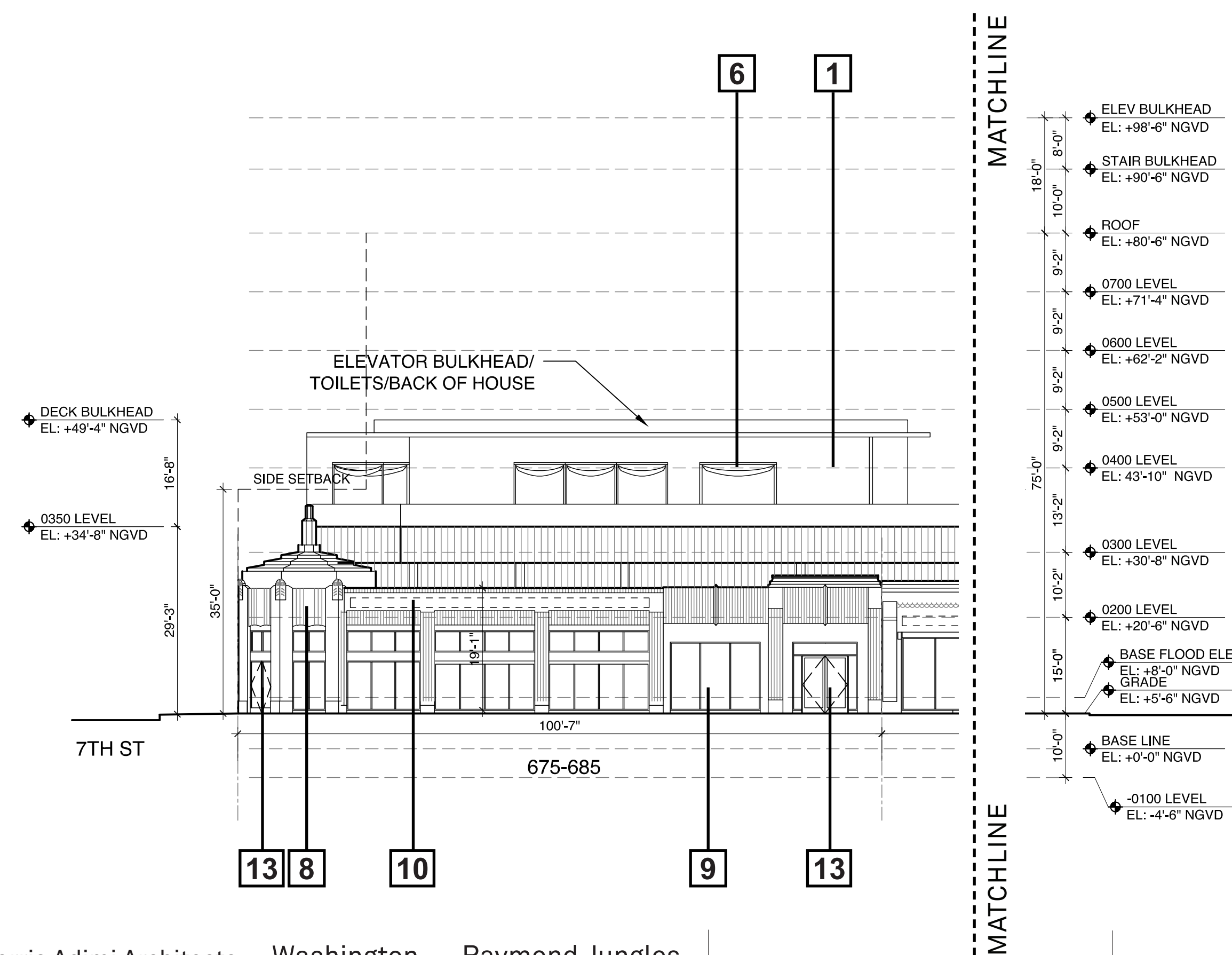
Commercial Zoning Data Sheet

Planning Board Modification - Final Submittal / 28 November 2016

REVISED



WEST ELEVATION



LEGEND

- |  |  |   |
|--|--|---|
| 1. MASONRY- CMU OR CIP SUBSTRATE W/ SMOOTH STUCCO FINISH CUSTOM COLOR TO BE SELECTED BY ARCHITECT.                                   | 5. PRE-ENGINEERED CANOPY WITH TENSILE FABRIC <sup>3</sup>  | 10. AREA OF SIGNAGE INDICATED W DASHED LINE SIGNAGE TO BE METAL HELD OFF HISTORIC FAÇADE AND BACKLIT. |
| 2. LOUVER ASSEMBLY WITH INSECT SCREENS IN EXTRUDED ALUMINUM FRAME  | 6. TRELLIS WITH FABRIC COVERING  | 11. CABLE RAILING   |
| 3. WALL CONSTRUCTION - GFRC PANELS OVER HEAVY GAUGE METAL FRAMING. GFRC PANELS TO HAVE CUSTOM COLOR AND FINISH SELECTED BY ARCHITECT | 7. WIRE SCREEN WITH PLANTINGS  | 12. STEEL STAIR ASSEMBLY WITH CABLE GUARDRAILS  |
| 4. ALUMINUM FRAME WINDOWS WITH CUSTOM KYNAR FINISH. SIMULATED DIVIDED LITES, CLEAR GLASS   | 8. EXISTING STUCCO AND CAST ELEMENTS TO BE RESTORED AND PAINTED  | 13. NEW ALUMINUM DOUBLE DOOR WITHIN RECESSED NICHE FINISH TO MATCH STOREFRONT MULLIONS.               |
|  | 9. ALUMINUM STOREFRONT ASSEMBLY WITH KYNAR FINISH AND TINTED CLEAR GLASS WITHIN EXISTING MASONRY OPENINGS. TO MEET WIND LOAD REQUIREMENTS. |   |



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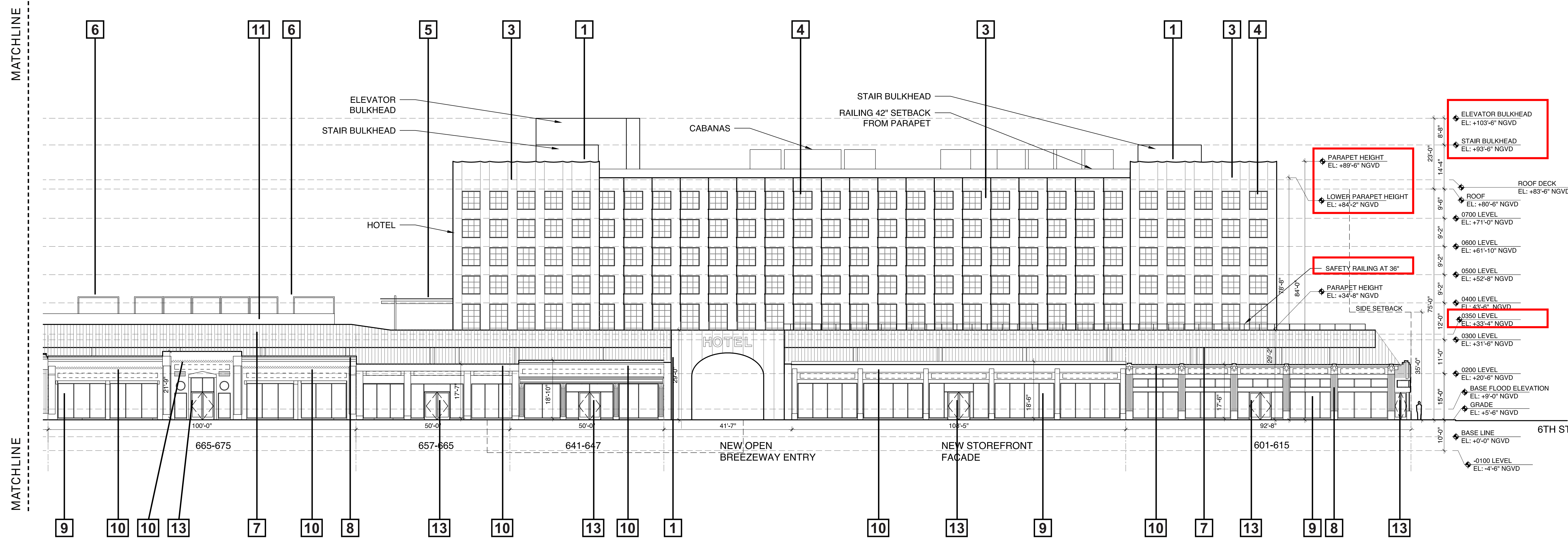
601-685 Washington Ave.  
Miami Beach, FL

Enlarged Building Elevation

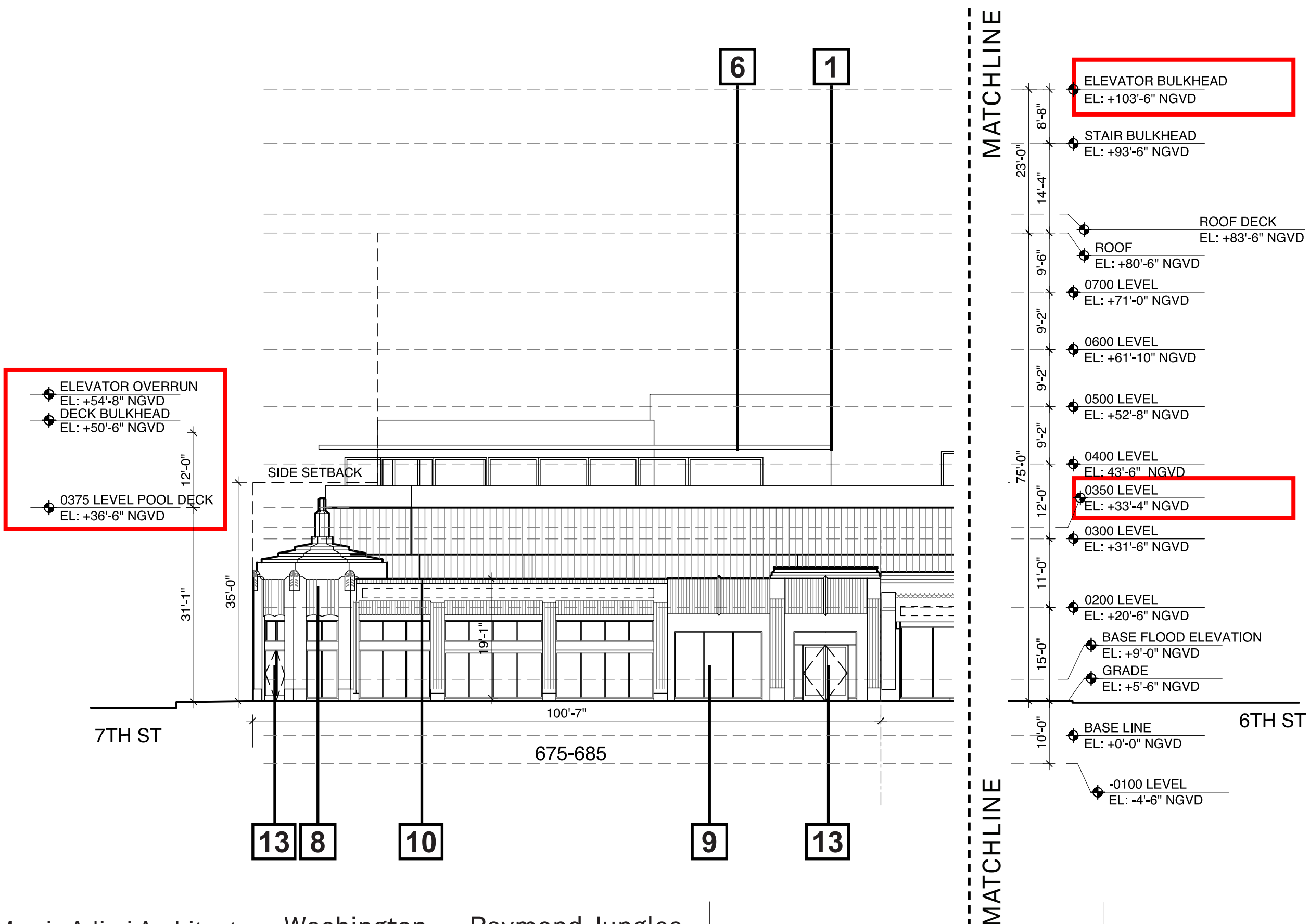
Planning Board Final Submittal / 2 March 2016

**APPROVED**



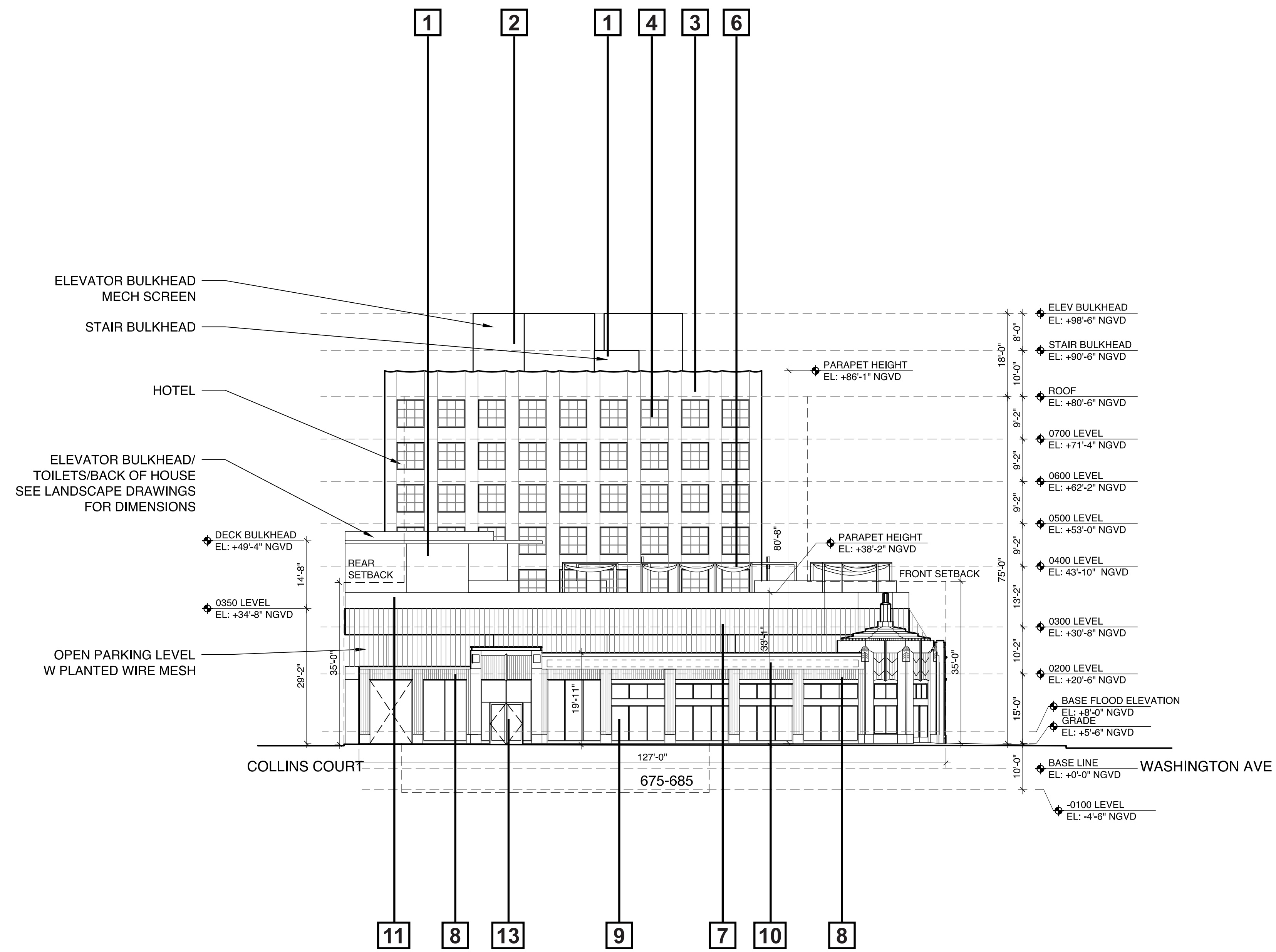


WEST ELEVATION



LEGEND

- |   |   |   |
|---|---|---|
| <ul style="list-style-type: none"> <li>1. MASONRY- CMU OR CIP SUBSTRATE W/ SMOOTH STUCCO FINISH CUSTOM COLOR TO BE SELECTED BY ARCHITECT.</li> <li>2. LOUVER ASSEMBLY WITH INSECT SCREENS IN EXTRUDED ALUMINUM FRAME</li> <li>3. WALL CONSTRUCTION - GFRC PANELS OVER HEAVY GAUGE METAL FRAMING. GFRC PANELS TO HAVE CUSTOM COLOR AND FINISH SELECTED BY ARCHITECT</li> <li>4. ALUMINUM FRAME WINDOWS WITH CUSTOM KYNAR FINISH. SIMULATED DIVIDED LITES, CLEAR GLASS</li> </ul> | <ul style="list-style-type: none"> <li>5. PRE-ENGINEERED CANOPY WITH TENSILE FABRIC<sup>3</sup></li> <li>6. TRELLIS WITH FABRIC COVERING</li> <li>7. WIRE SCREEN WITH PLANTINGS</li> <li>8. EXISTING STUCCO AND CAST ELEMENTS TO BE RESTORED AND PAINTED</li> <li>9. ALUMINUM STOREFRONT ASSEMBLY WITH KYNAR FINISH AND TINTED CLEAR GLASS WITHIN EXISTING MASONRY OPENINGS. TO MEET WIND LOAD REQUIREMENTS.</li> </ul> | <ul style="list-style-type: none"> <li>10. AREA OF SIGNAGE INDICATED W DASHED LINE SIGNAGE TO BE METAL HELD OFF HISTORIC FACADE AND BACKLIT.</li> <li>11. CABLE RAILING</li> <li>12. STEEL STAIR ASSEMBLY WITH CABLE GUARDRAILS</li> <li>13. NEW ALUMINUM DOUBLE DOOR WITHIN RECESSED NICHE FINISH TO MATCH STOREFRONT MULLIONS.</li> </ul> |
|---|---|---|



NORTH ELEVATION

LEGEND

1. MASONRY- CMU OR CIP SUBSTRATE W/ SMOOTH STUCCO FINISH CUSTOM COLOR TO BE SELECTED BY ARCHITECT.	5. PRE-ENGINEERED CANOPY WITH TENSILE FABRIC <sup>3</sup>	10. AREA OF SIGNAGE INDICATED W DASHED LINE SIGNAGE TO BE METAL HELD OFF HISTORIC FACADE AND BACKLIT.
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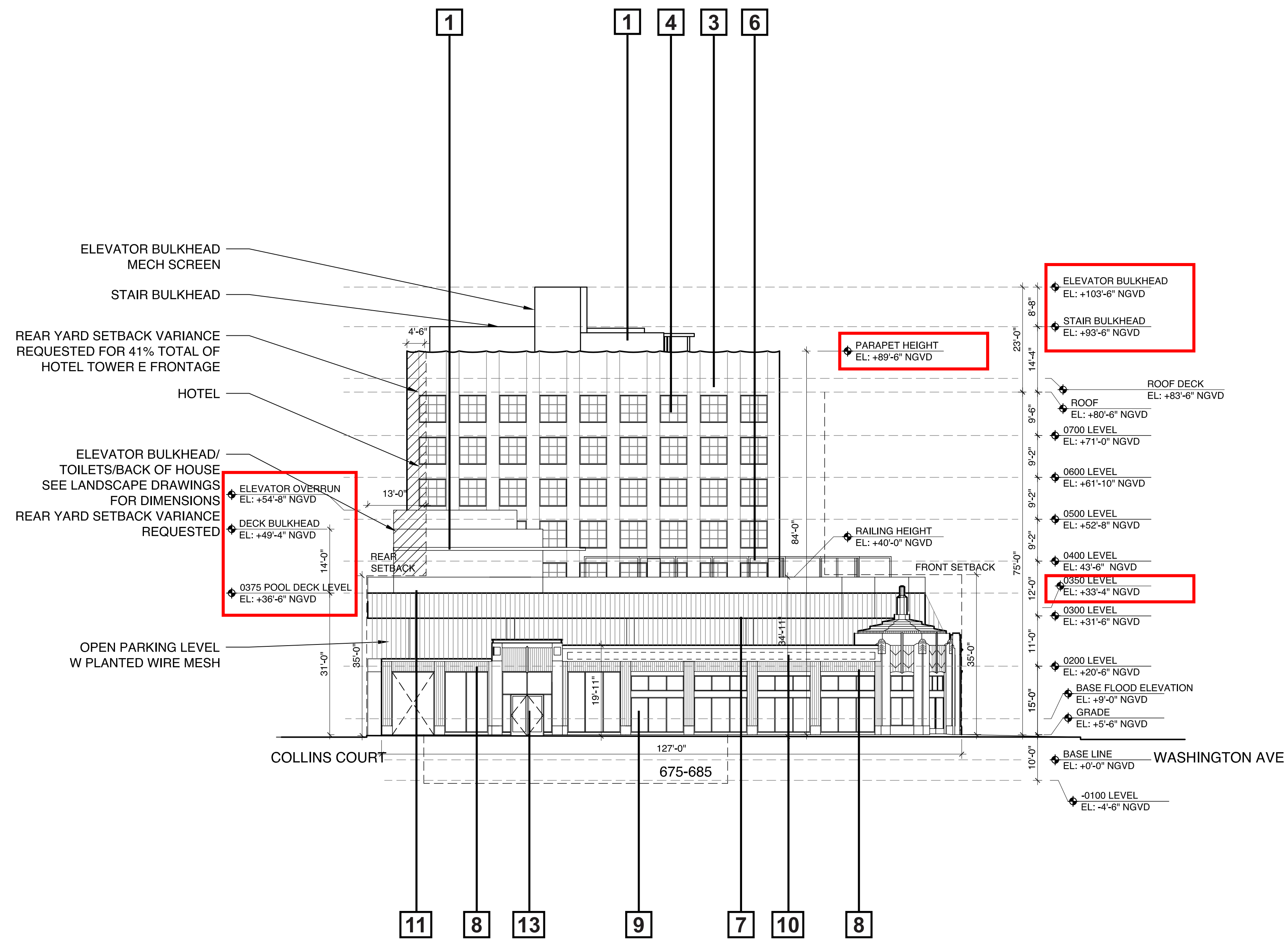
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Associates

601-685 Washington Ave.  
Miami Beach, FL

Enlarged Building Elevation

Planning Board Final Submittal / 2 March 2016

**APPROVED**



NORTH ELEVATION

LEGEND

1. MASONRY - CMU OR CIP SUBSTRATE W/ SMOOTH STUCCO FINISH CUSTOM COLOR TO BE SELECTED BY ARCHITECT.	5. PRE-ENGINEERED CANOPY WITH TENSILE FABRIC <sup>3</sup>	10. AREA OF SIGNAGE INDICATED W DASHED LINE SIGNAGE TO BE METAL HELD OFF HISTORIC FACADE AND BACKLIT.
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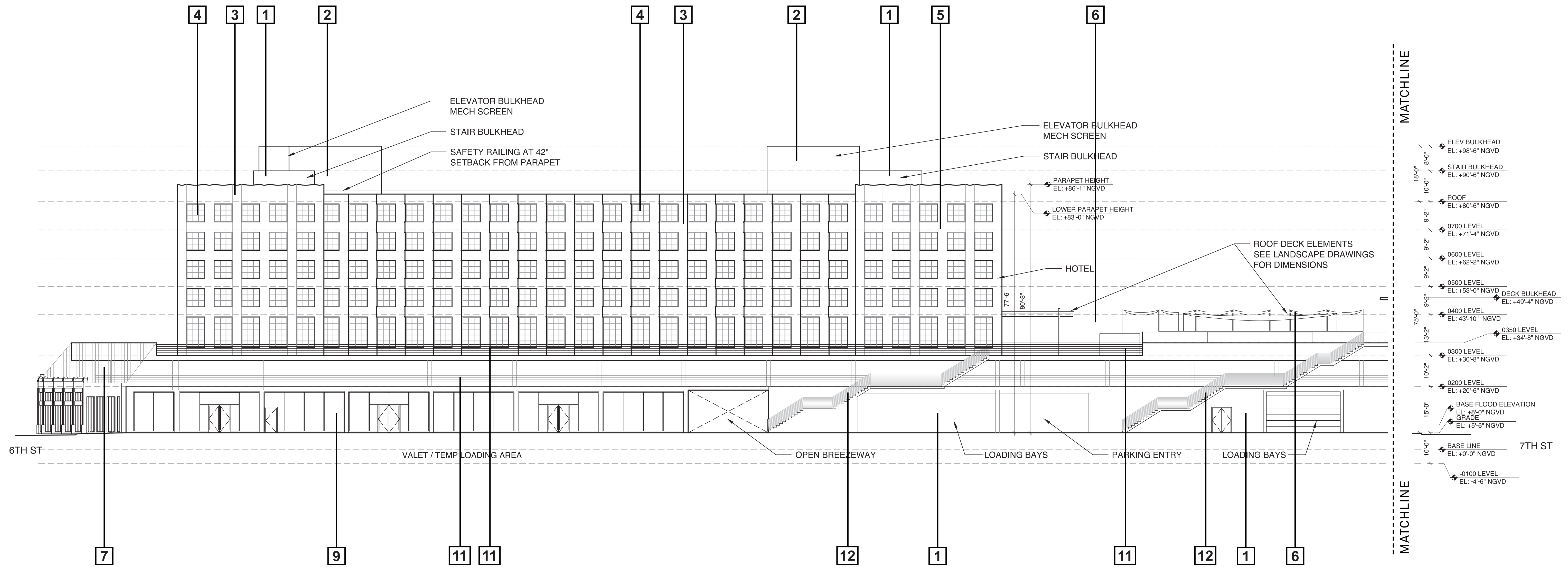
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Building Elevation

Planning Board Modification - Final Submittal / 28 November 2016

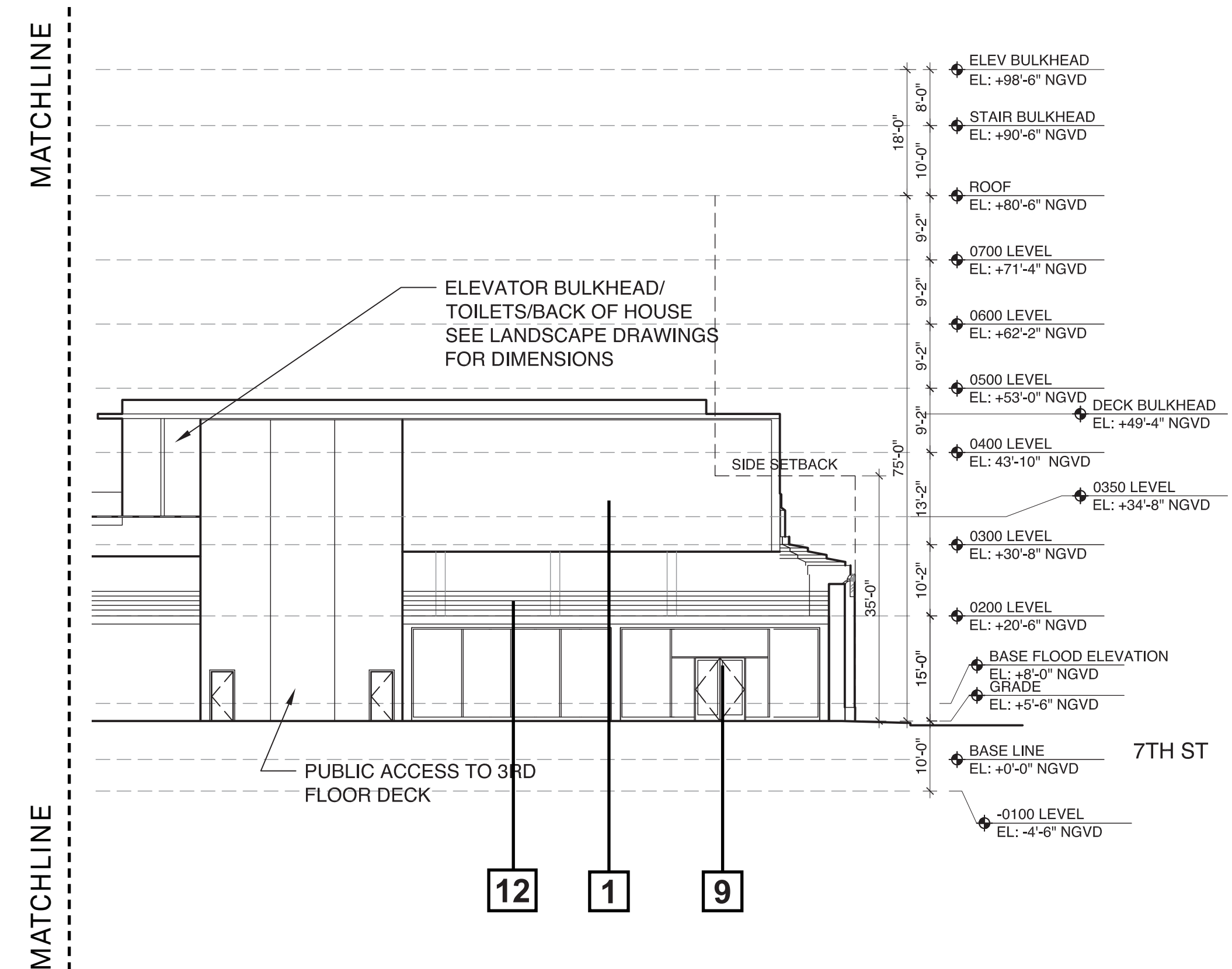
**REVISED**



EAST ELEVATION

LEGEND

- |  |   |   |
|--|---|---|
| 1. MASONRY - CMU OR GIP SUBSTRATE W/ SMOOTH STUCCO FINISH CUSTOM COLOR TO BE SELECTED BY ARCHITECT.                                  | 5. PRE-ENGINEERED CANOPY WITH TENSILE FABRIC <sup>3</sup>       | 10. AREA OF SIGNAGE INDICATED W DASHED LINE SIGNAGE TO BE METAL HELD OFF HISTORIC FACADE AND BACKLIT. |
| 2. LOUVER ASSEMBLY WITH INSECT SCREENS IN EXTRUDED ALUMINUM FRAME  | 6. TRELIS WITH FABRIC COVERING                                  | 11. CABLE RAILING   |
| 3. WALL CONSTRUCTION - GFRC PANELS OVER HEAVY GAUGE METAL FRAMING. GFRC PANELS TO HAVE CUSTOM COLOR AND FINISH SELECTED BY ARCHITECT | 7. WIRE SCREEN WITH PLANTINGS                                   | 12. STEEL STAIR ASSEMBLY WITH CABLE GUARDRAILS  |
| 4. ALUMINUM FRAME WINDOWS WITH CUSTOM KYNAR FINISH. SIMULATED DIVIDED LITES, CLEAR GLASS   | 8. EXISTING STUCCO AND CAST ELEMENTS TO BE RESTORED AND PAINTED | 13. NEW ALUMINUM DOUBLE DOOR WITHIN RECESSED NICHE FINISH TO MATCH STOREFRONT MULLIONS.               |



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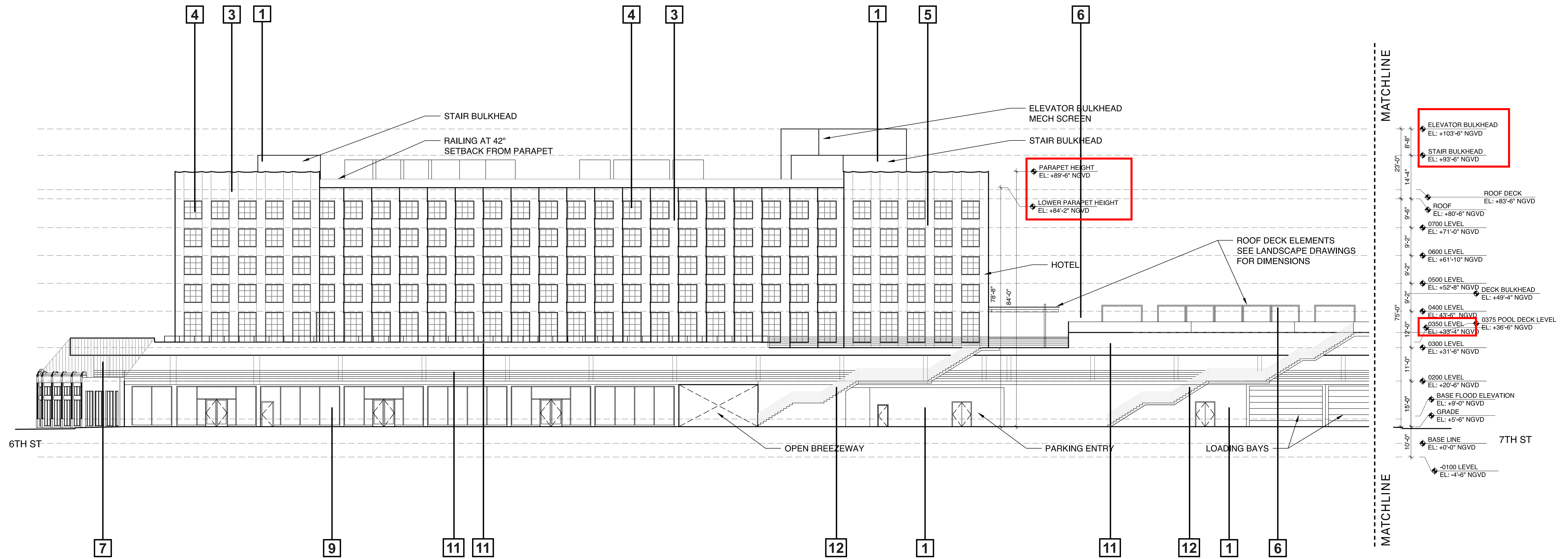
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Nichols Brosch  
Wurst Wolfe &  
Associates

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Enlarged Building Elevation

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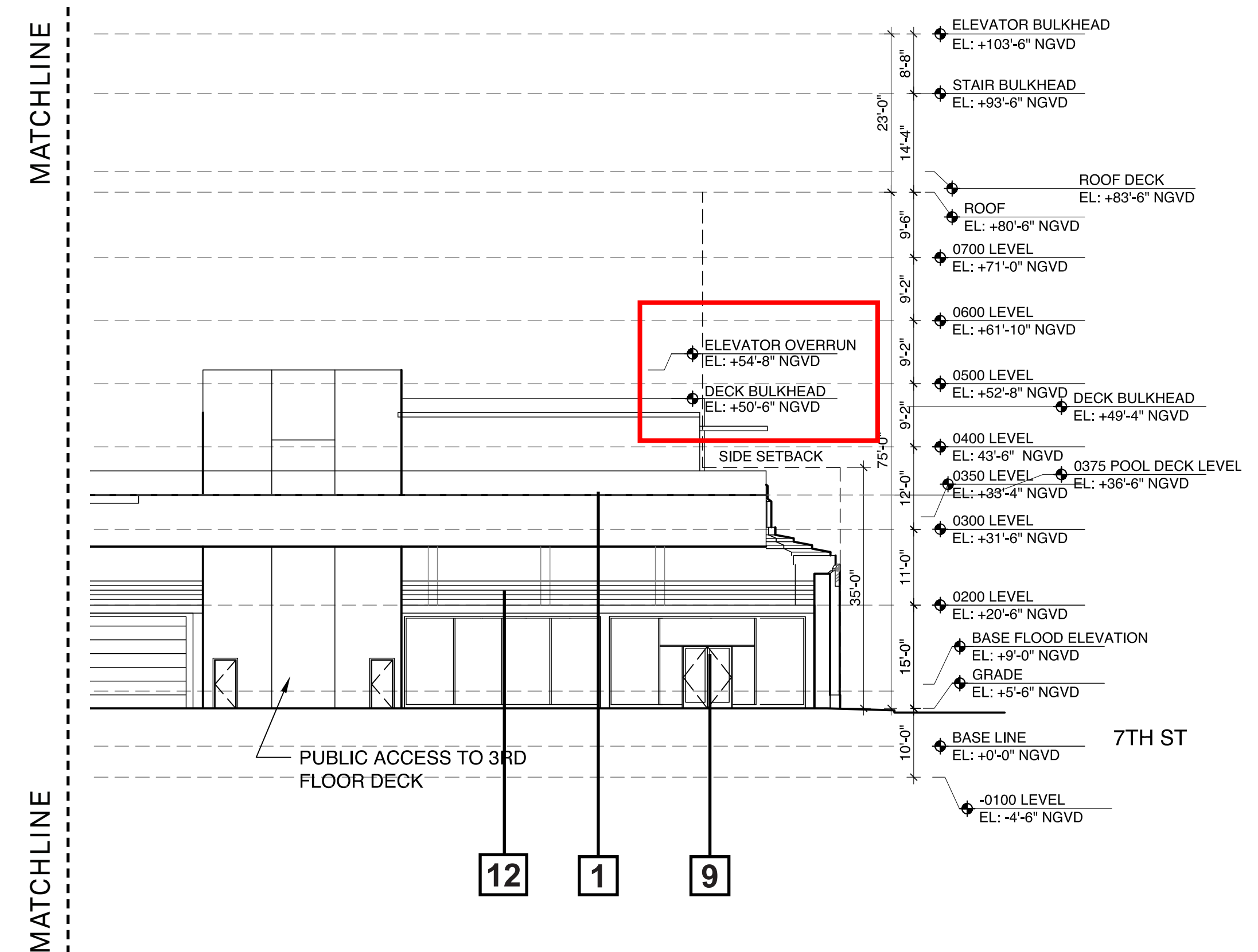
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EAST ELEVATION

LEGEND

- |  |  |   |
|--|--|---|
| 1. MASONRY - CMU OR GIP SUBSTRATE W/ SMOOTH STUCCO FINISH CUSTOM COLOR TO BE SELECTED BY ARCHITECT.                                  | 5. PRE-ENGINEERED CANOPY WITH TENSILE FABRIC3  | 10. AREA OF SIGNAGE INDICATED W DASHED LINE SIGNAGE TO BE METAL HELD OFF HISTORIC FACADE AND BACKLIT. |
| 2. LOUVER ASSEMBLY WITH INSECT SCREENS IN EXTRUDED ALUMINUM FRAME  | 6. TRELLIS WITH FABRIC COVERING  | 11. CABLE RAILING   |
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|  | 9. ALUMINUM STOREFRONT ASSEMBLY WITH KYNAR FINISH AND TINTED CLEAR GLASS WITHIN EXISTING MASONRY OPENINGS. TO MEET WIND LOAD REQUIREMENTS. |   |



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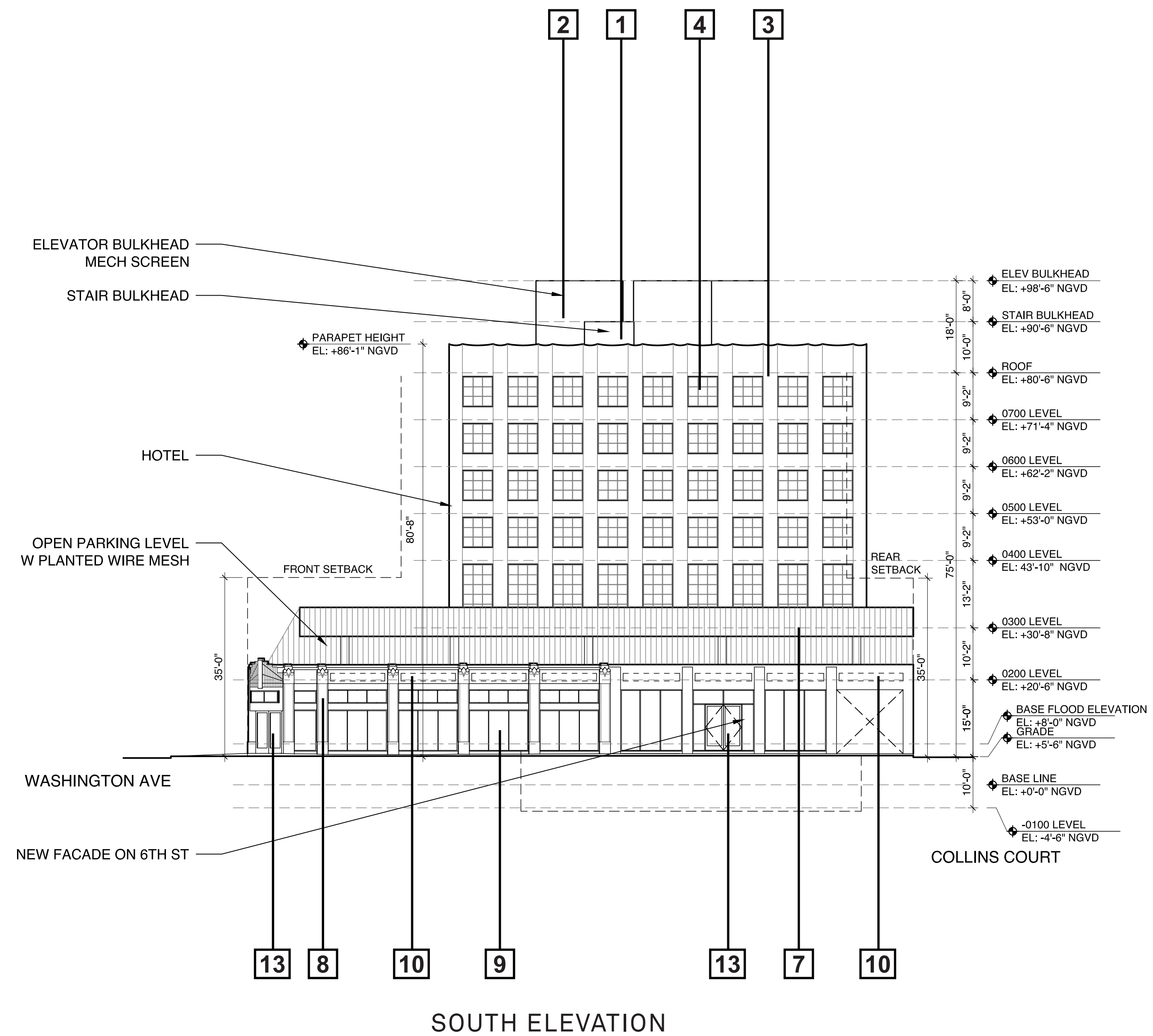
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Building Elevation

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**LEGEND**

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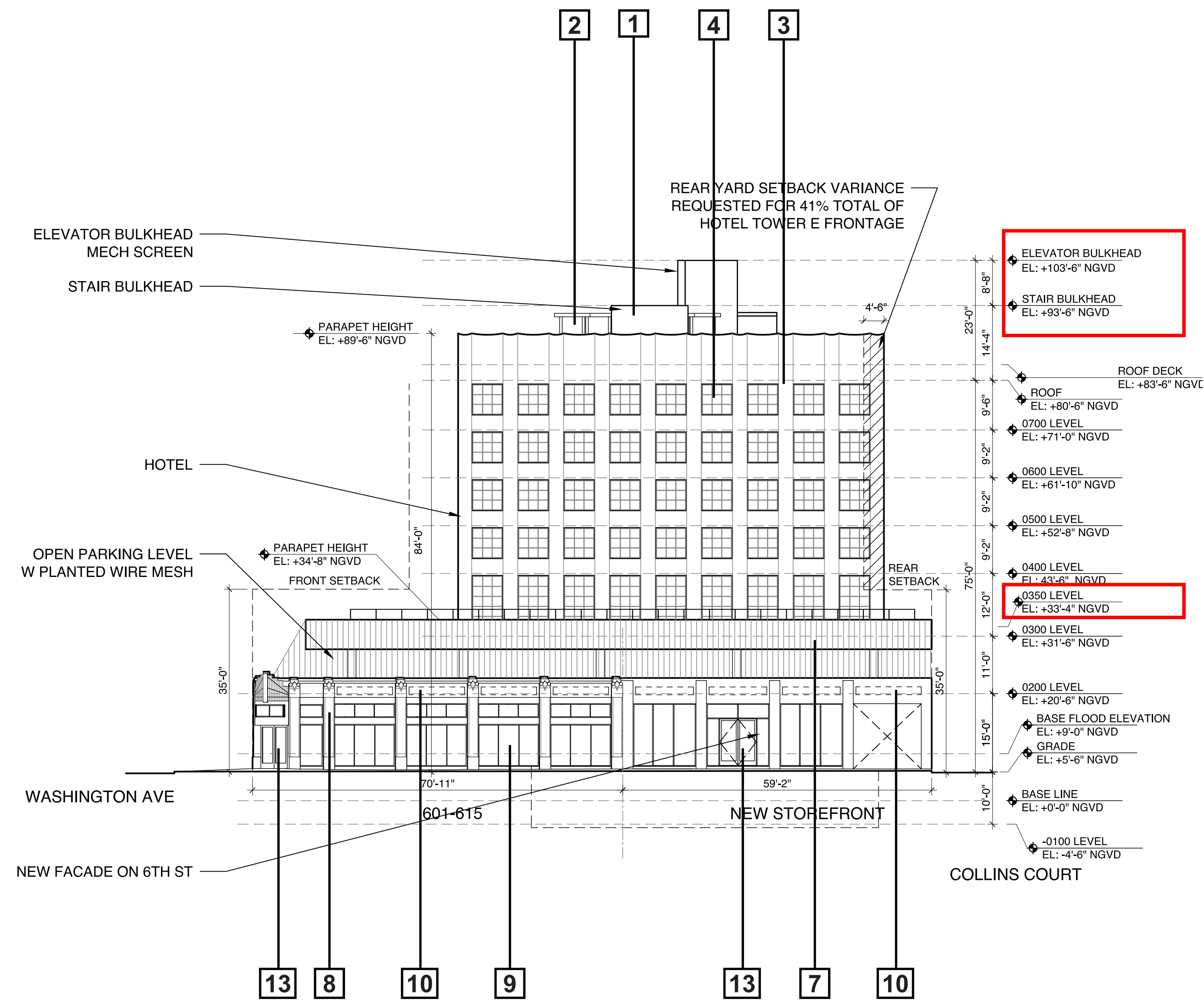
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**Enlarged Building Elevation**

Planning Board Final Submittal / 2 March 2016

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SOUTH ELEVATION

LEGEND

1. MASONRY- CMU OR CIP SUBSTRATE W/ SMOOTH STUCCO FINISH CUSTOM COLOR TO BE SELECTED BY ARCHITECT.	5. PRE-ENGINEERED CANOPY WITH TENSILE FABRIC <sup>3</sup>	10. AREA OF SIGNAGE INDICATED W DASHED LINE SIGNAGE TO BE METAL HELD OFF HISTORIC FACADE AND BACKLIT.
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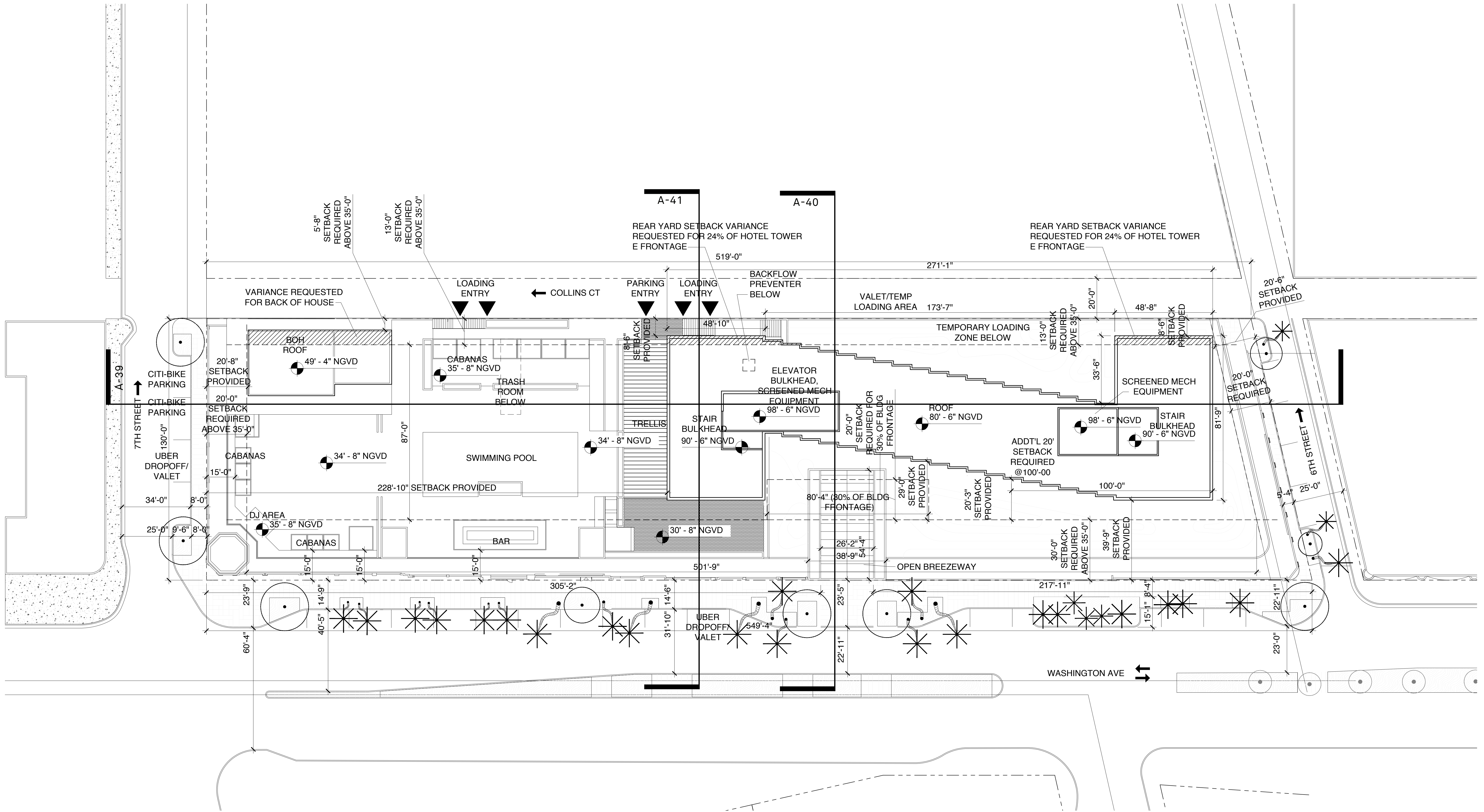
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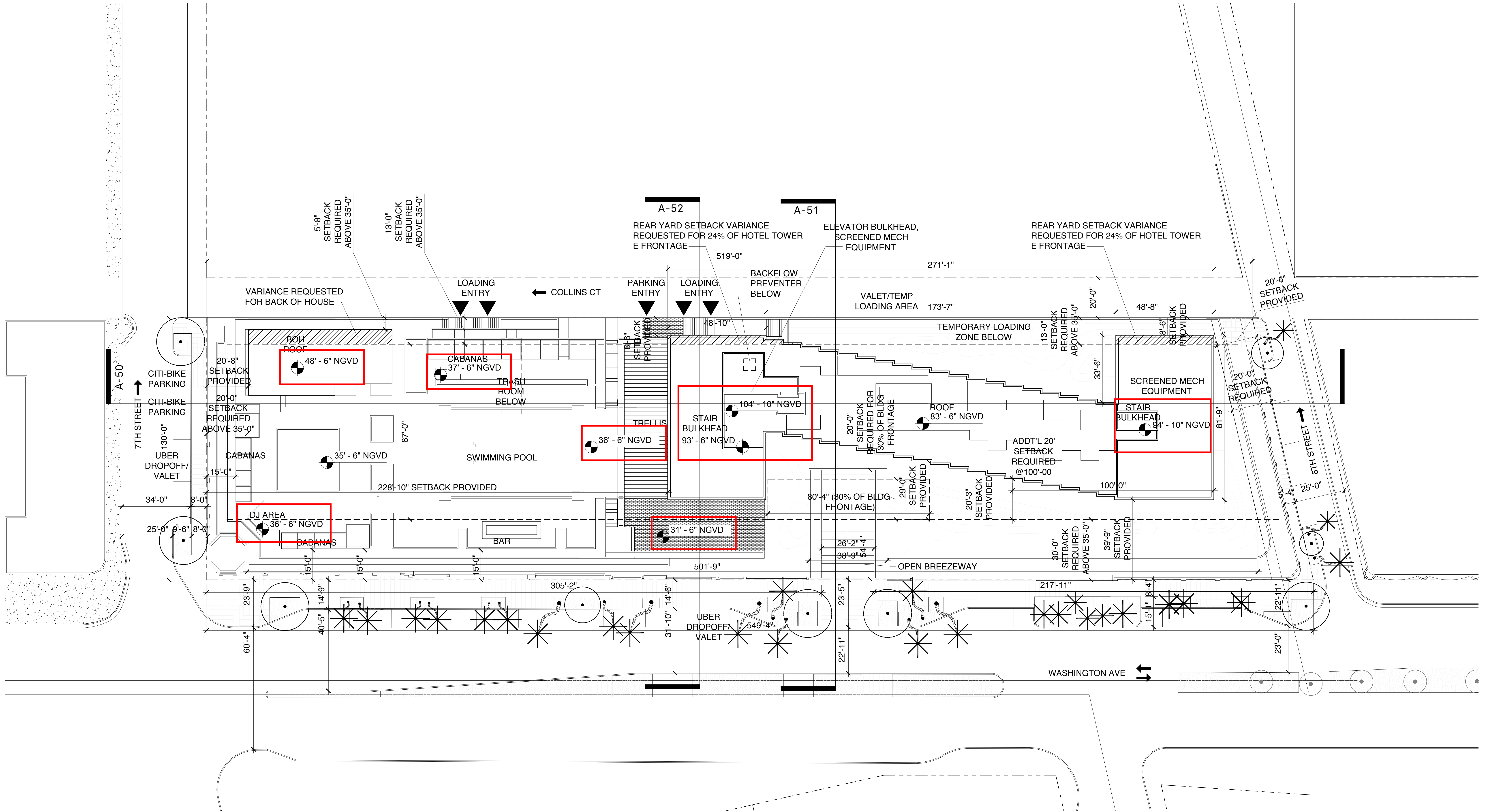
### Proposed Site Plan

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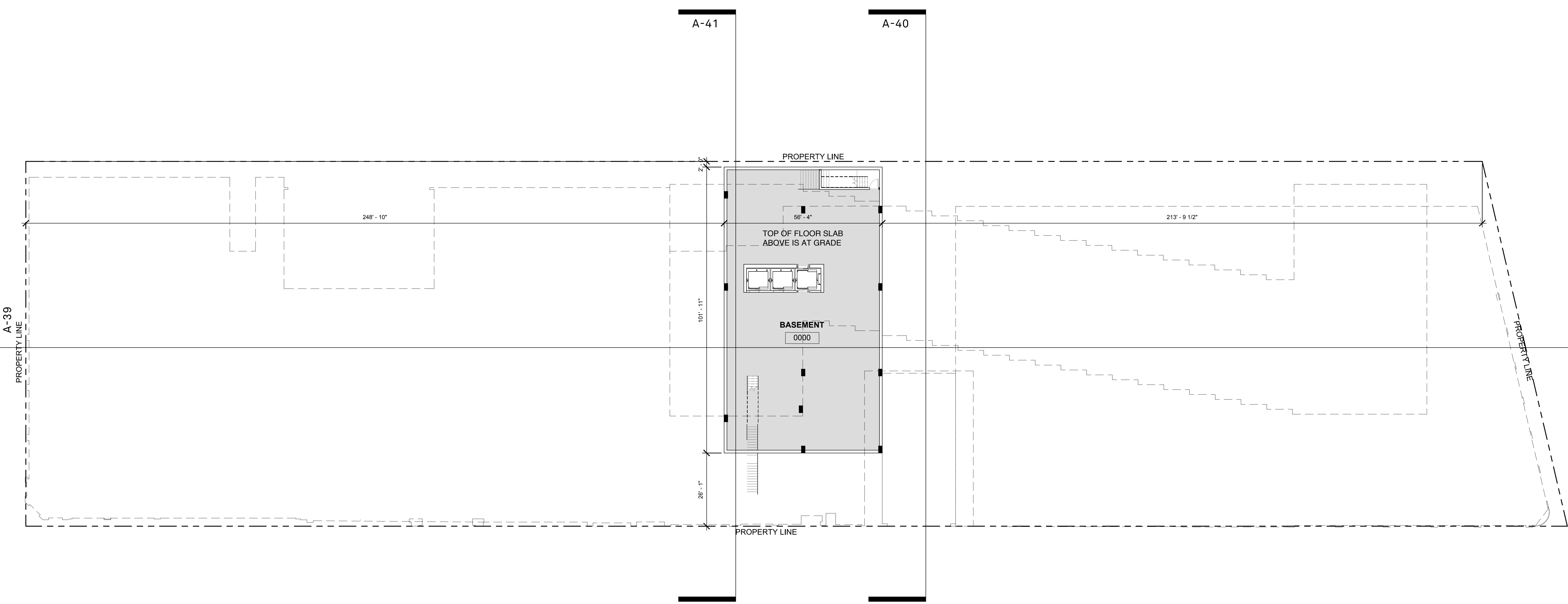
## Proposed Site Plan

Planning Board Modification - Final Submittal / 28 November 2016

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0' 10' 20' 50' 100'





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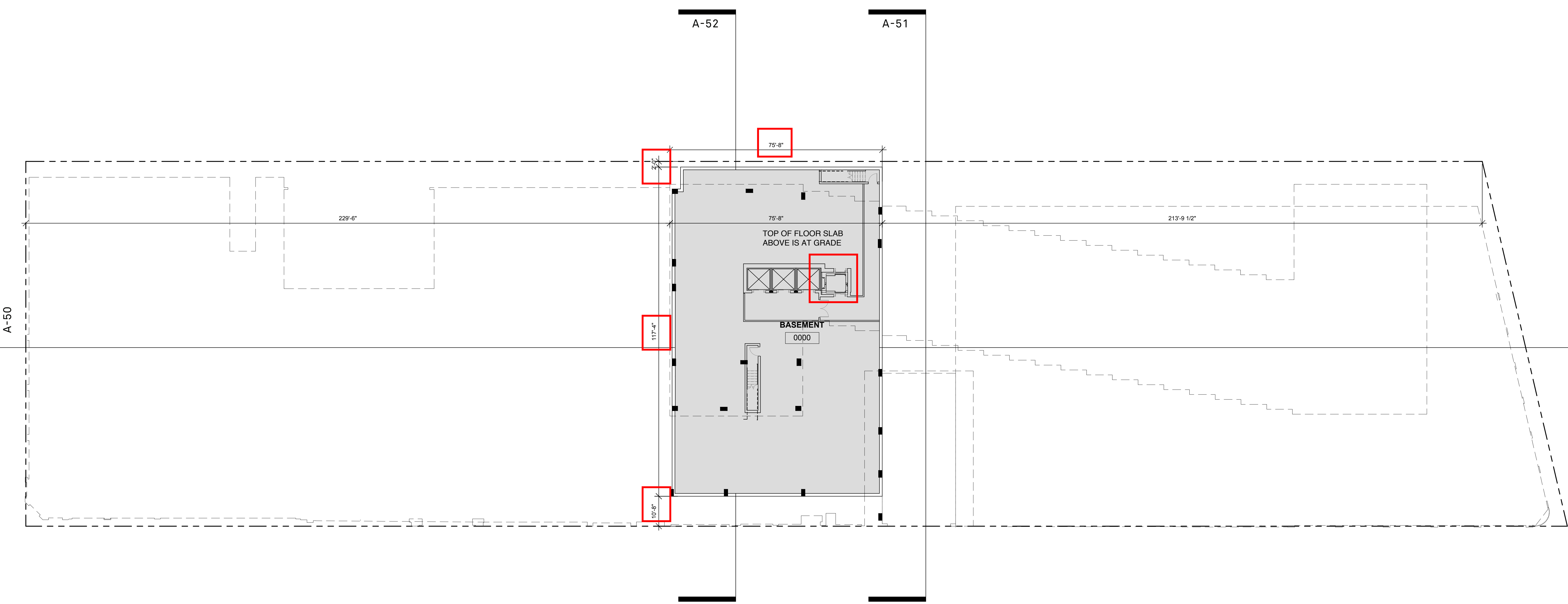
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### Cellar Floor Plan

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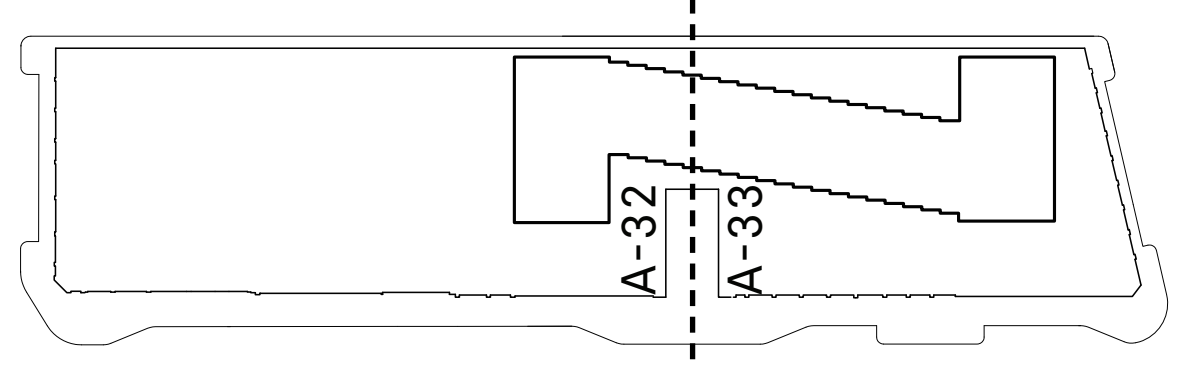
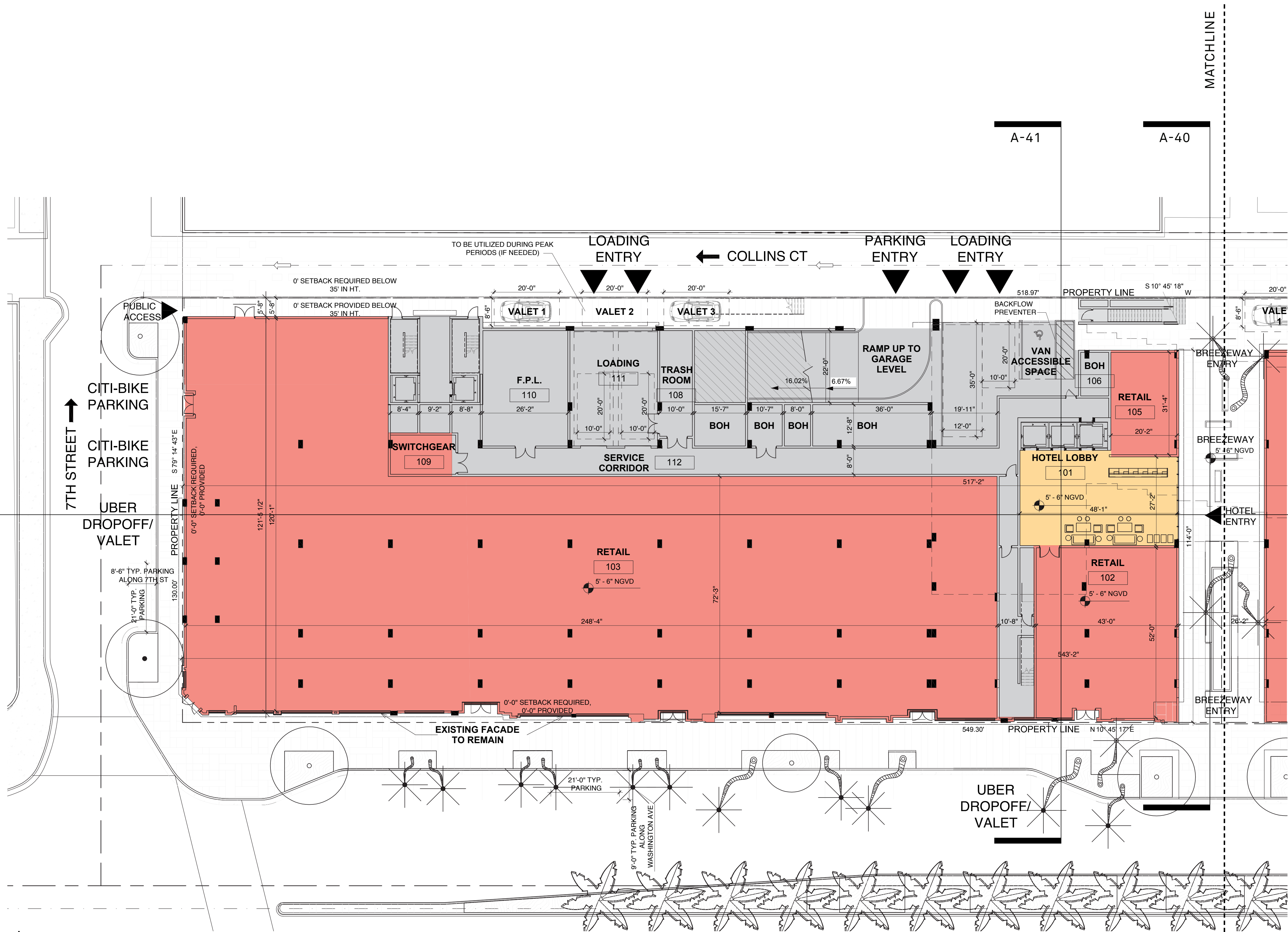
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### Cellar Floor Plan

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### Ground Floor Plan - Part 1

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