



333 JEFFERSON AVENUE – PROPERTY HISTORY



343 Jefferson Avenue (front), 1955

343 Jefferson Avenue (front)

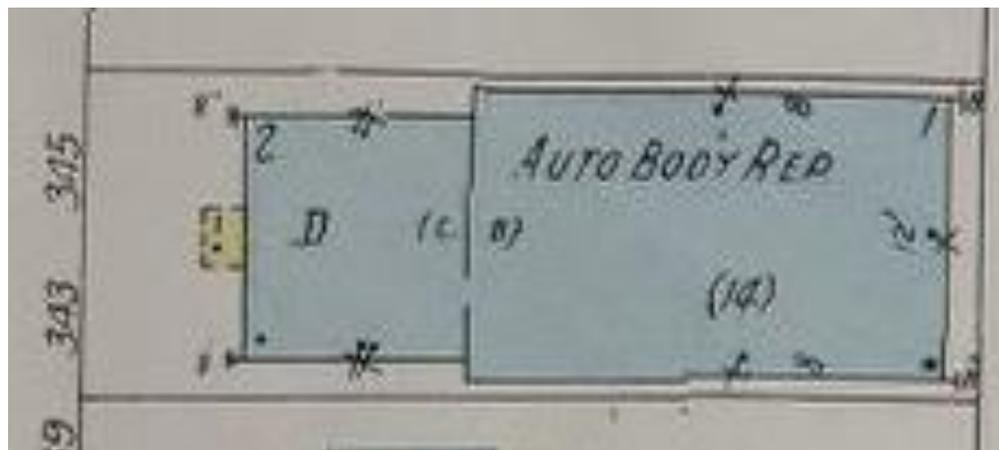
- **Original construction 1922**
 - **Architect Rowan & Schaffer**
 - **Not listed in City Directory until 1927**
 - **Three apartment units**
- **Remodeled into four apartments 1948**
 - **Architect August Swarz**
 - **Known as Bonnie Apartments**



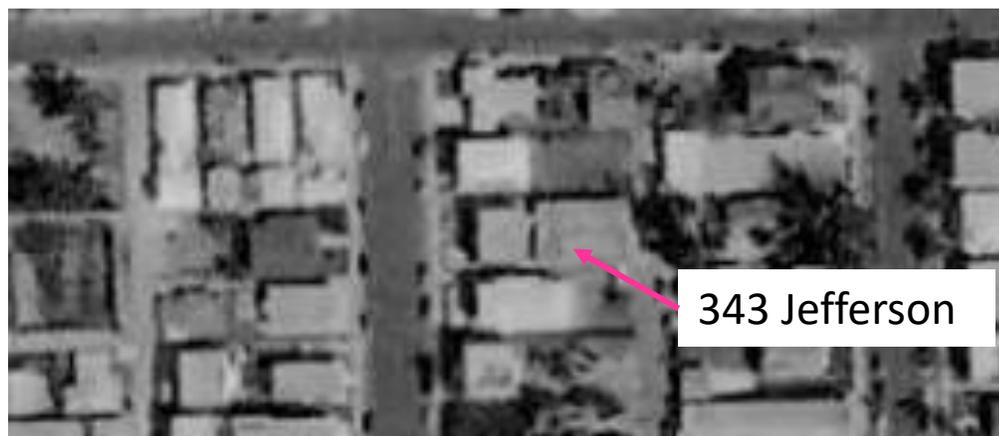
343 Jefferson Avenue (rear), 1955

343 Jefferson Avenue (rear)

- **Original construction 1922**
 - **Architect unknown**
 - **Occupied by commercial enterprises**
- **Converted into six efficiency apartments 1952**
 - **Architect T. Hunter Henderson**



Sanborn Map, 1947



Aerial Photo, 1952

343 Jefferson Avenue

- Front and rear buildings originally connected
- May have been separated in 1948
- Were definitely separated by 1952



333 Jefferson Avenue (front), 1955

333 Jefferson Avenue (front)

- **Original construction 1939**
 - **Architect H. George Fink**
 - **Four apartments and four hotel rooms**
 - **Hotel rooms converted into two apartments 1955**
 - **Known as the Jerome Apartments, then Rob-Hana Apartments, then Mitchell Apartments**



333 Jefferson Avenue (rear), 1955

333 Jefferson Avenue (rear)

- **Original construction 1955**
 - **Architect T. Hunter Henderson**
 - **Six efficiency apartments**



333 & 343 Jefferson Avenue, 1955

333 Jefferson Avenue

- Under single ownership 1955
- Staggered ownership 1958-1987
- Single ownership 1987-2016
- United into one parcel 2017
- Only maintenance and minor improvements since 1955

Architects

- **Rowan & Schaffer**
 - **No information found**
- **H. George Fink (1890-1975)**
 - **One of the original architects of Coral Gables**
 - **Created the term “Mediterranean” to describe Florida architecture, but never added “Revival”**
 - **Designed mostly in Mediterranean style**
- **T. Hunter Henderson (1894-1976)**
 - **Designed in Art Deco, Streamline, Mediterranean Revival and Modern styles**



343 Jefferson Avenue, (1955)



343 Jefferson Avenue, (Proposed)



333 Jefferson Avenue, (1955)



333 Jefferson Avenue, (Proposed)



333 JEFFERSON AVENUE – INSPECTION HISTORY

Understanding the meaning of a “Partial Pass” Inspection”?

- *As you progress in construction of an existing and deteriorated building, conditions uncovered at the site requires revisions and approval, and*
- *When a permit covers multiple buildings a “partial” is issued to that specific building understanding that related inspections will follow to the pending buildings.*

History:

In 2020, the Florida Americans with Disabilities Accessibility Act, Section 553-509, waiver was granted by the State. This section requires vertical accessibility to all levels. The waiver was granted based on substantial financial costs. The applicant is still required to comply and provide access to ground level structures in compliance with the American with Disabilities Act of 1990.

Inspection Summary:

- ❖ **2/10/21 – PLUMBING INSPECTION – “Correction Required”** .
 - Requested that the foundation inspection must be passed.
- ❖ **2/10/21 – BUILDING** Window Inspection: **“Partial Pass”** buildings 345 and 337
- ❖ **2/10/21 – BUILDING INSPECTION**– Building Foundation
 - Inspector requested footers to be open for inspection.

Inspection Summary:

- ❖ **2/11/21 BUILDING INSPECTION** – Bldg. columns **“Re-inspection”** . Columns added to the plans because of the condition found at the “site” was unidentified at the time of plan submittal. Stucco on the south side of bldg. 343 had excessive deterioration and the stucco completely dilapidated and windows needed reinforcement.
- ❖ **2/24/21 Structure Revision** – pages S-06.1 revision to the front and rear building 343 and 337.

Inspection Summary:

- ❖ **3/19/21 BUILDING** – Columns Inspection “**Partial Pass**” Bldg. 343
reinforce the second floor completely. First floor reinforcement upon completion of the plumbing underground. The first level the floor had to saw cut to accommodate the plumbing work.
- ❖ **3/24/21 BUILDING** – Bldg. Columns Inspection “**Partial Pass**”
 - Re-inspection of building 345- footer and foundation

Inspection Summary:

- ❖ **3/24/21 BUILDING** – Plumbing Undergrounds Inspection **“Partial Pass.”**
Rear buildings 334 and 345
- ❖ **3/24/21 BUILDING** – Bldg. Foundation Inspection **“Partial Pass”** bldg. 345
footer and wood joists passed.
- ❖ **5/21/21 BUILDING** – Bldg. Framing Inspection. **“Re-inspection Required”**
 - *Inspector requested to pass all MEP rough before calling building inspections. Made all corrections began plumbing underground.*

Inspection Summary:

- ❖ **5/21/21 BUILDING** – Plumbing Undergrounds Inspection **“Partial Pass.”**
Rough underground for building 343 because the slab floor was reinforced and the underground plumbing was complete, and the slab re-poured. As we moved to bldg. 343, we realized that the wood joists and top beam was completely disintegrated and rotted by termites and the elements.
- ❖ **8/27/21 BUILDING** – Plumbing Underground Inspection. **“Re-inspection Required.”** Inspection canceled on-site by the Plumber

Inspection Summary:

- ❖ **9/8/21 BUILDING** – Plumbing Underground Inspection. **“Partial Pass.”**
Underground building 333.
Note: Because the plumbing sanitary lines are gravity feed the rear building were complete first. The final connection is in the front of the building.
- ❖ **2/17/2022 BUILDING** – Plumbing Underground Inspection. **“Partial Pass.”**



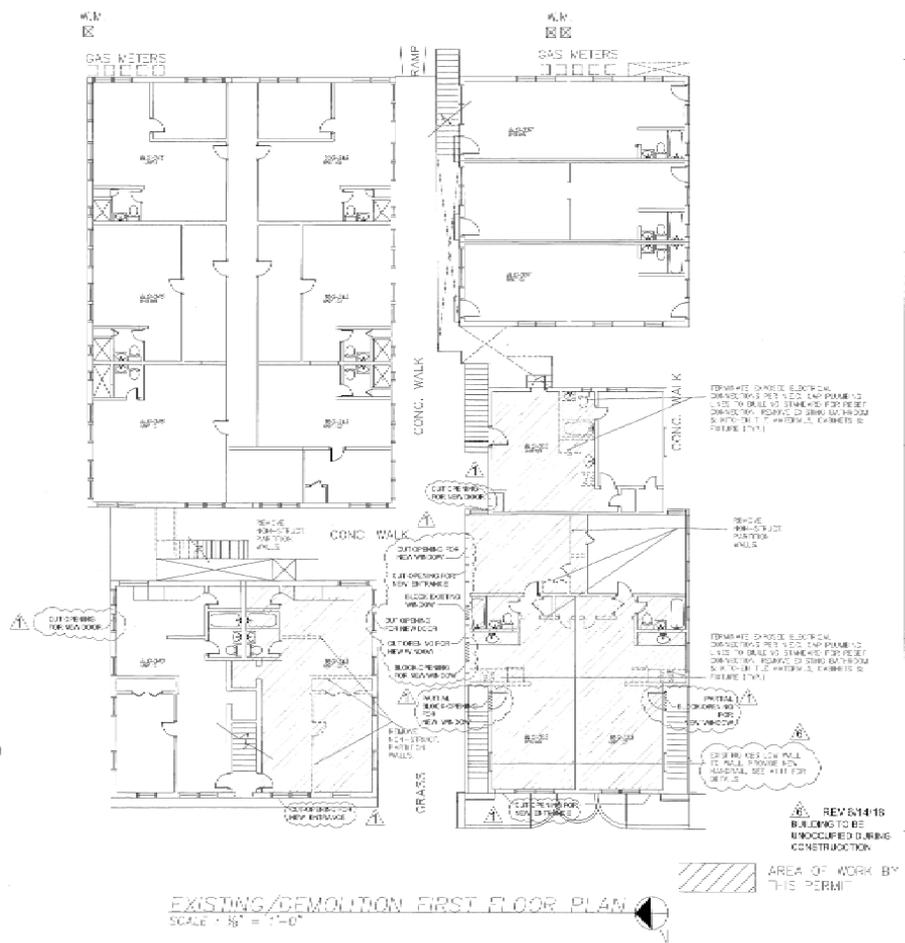
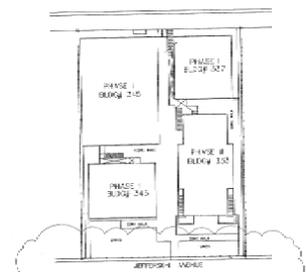
**333 JEFFERSON AVENUE –
STRUCTURAL CONDITIONS
-APPROVED DEMOLITION-
-APPROVED STRUCTURALS-
-REVISED STRUCTURAL & SHORING DRAWINGS-**



**333 JEFFERSON AVENUE –
STRUCTURAL CONDITIONS**

- DEMOLITION GENERAL NOTES**
1. THE CONTRACTOR SHALL OBTAIN A DEMOLITION PERMIT AND ANY OTHER REQUIRED APPROVAL PRIOR TO THE DEMOLITION OF ANY DEMOLITION AND FURNISH ALL NECESSARY MATERIALS REQUIRED TO COMPLETE THE DEMOLITION, SELECTED MATERIALS AND DEMOLITION OFF THE PROJECT. ALL DEMOLITION OF ALL ITEMS WITHIN THE PROJECT AREA AS SHOWN SHALL BE SUBMITTED TO OWNER AND NOT THE DEMOLITION PERMIT.
 2. THE CONTRACTOR SHALL COORDINATE DEMOLITION WITH ALL LANDLORD OWNERS, LEASING AGENTS AND OTHERS AND SHALL MEET THE RULES AND REGULATIONS SET FORTH BY THE LANDLORD OWNERS, LEASING AGENTS AND OTHERS.
 3. THE CONTRACTOR SHALL NOTIFY THE LANDLORD & CLIENT WITH ALL DEMOLITION PROCEEDINGS.
 4. THE CONTRACTOR SHALL COORDINATE THE DEMOLITION WITH THE PROPERTY OWNER PRIOR TO PLACING THE CONTRACTOR SHALL PROTECT THE ADJACENT BUILDING EXTERIOR, FINISHES, AND LANDSCAPE FROM DAMAGE DURING DEMOLITION.
 5. THE PROJECT AREA SHALL BE MAINTAINED IN A SAFE AND CLEAN CONDITION AT ALL TIMES.
 6. IF ANY HAZARDOUS MATERIALS ARE DISCOVERED DURING DEMOLITION, CONTRACTOR SHALL NOTIFY ALL APPLICABLE REGULATORY AGENCIES AND OTHERS RELATIVE TO REMOVAL, HANDLING AND PROTECTION AGAINST CONSTRUCTION ENVIRONMENTAL PROTECTION AGENCY, LANDLORD AND OWNER IMMEDIATELY.
 7. ALL ITEMS OF VALUE SHALL BE AS DETERMINED BY THE CLIENT. ALL ITEMS OF VALUE SHALL BE PROTECTED AND SHALL BE REMOVED, SURFACE CLEANED, LABELLED, STORED AND TURNED OVER TO THE OWNER AND/OR LANDLORD.
 8. RECONNECT ELECTRICAL OUTLETS AFFECTED BY DEMOLITION TO HAVE AS BE REMOVED BY NEW LAYOUT, REINSTATE EXISTING CONNECTIONS AS NECESSARY.
 9. ANY PILING OR ENCLOSURE IN AREA AFFECTED BY DEMOLITION SHALL BE CARRIED TO BUILDING STANDARDS FOR RESET CONNECTIONS.
 10. REMOVE EXISTING INTERIOR PARTITIONS AS INDICATED ON THE DEMOLITION PLAN.
 11. CONTRACTOR SHALL COORDINATE DEMOLITION WITH CLIENT SPECIFICATIONS AND EXISTING DEMOLITION.
 12. CONTACT ENGINEER AND DESIGN PRIOR TO DEMOLISHING ITEMS NOT SPECIFIED ON THESE PLANS.
 13. COORDINATE WITH CONSTRUCTION DRAWINGS PRIOR TO BEGINNING DEMOLITION.
 14. CONTRACTOR SHALL PATCH AND REPAIR ALL HOLES IN THE SLAB TO AN AS NEW ACCEPTABLE FINISH TO ALLOW FOR PROPER INSTALLATION OF FLOORING.
 15. CONTRACTOR SHALL PATCH AND REPAIR ALL CURTAIN WALLS AND WINDOWS AFTER REMOVAL OF EXISTING FRAMES.

- DEMOLITION SCOPE OF WORK**
- DEMO AREA TO ACCOMMODATE NEW LOBBY & 2ND FLOOR
 - ALL WALLS, PARTITIONS, DOORS, ETC. REPRESENTED BY A DOTTED LINE ARE TO BE REMOVED ONLY.
 - DEMO & REPAIR THE DASHED BATHROOM & KITCHEN EXISTING FLOOR SLAB ONLY.
 - CONCEPTUAL FLOOR PLANS INDICATED PHASED DEMO AREA, NO THE PLAIN AND STRIKER SYSTEM.
 - CONCEPTUAL FIRE ALARM DRAWINGS WILL BE PROVIDED BY UNDESIGNED ARCHITECTURAL SHEETS.
 - NO STRUCTURAL WORK ON THESE PLANS.
 - STRUCTURAL PARTITIONS TO REMAIN.
 - EXISTING AND DEMO PLANS INDICATED AS REQUIRED BY THE PERMIT.
 - ALL CONSTRUCTION TESTS AND STANDARDS SHALL NOT BE SUBJECT OF PROPOSED REQUIRED MEANS OF EGRESS AS A RESULT.
- DEMO NOTE**
- BUILDINGS INDICATED WILL NOT BE RE-OCCUPIED UNTIL A FINAL TO BE APPROVAL FROM FIRE DEPARTMENT.
 - EACH BUILDING WILL BE CLEARED OFF FROM EITHER BUILDING AS CONSTRUCTION IS IN PROGRESS.
 - PHASE I BUILDING WILL BE DONE BY PHASES:
 - PHASE I BLOCK # 209 & 211
 - PHASE II BLOCK # 204 & 205

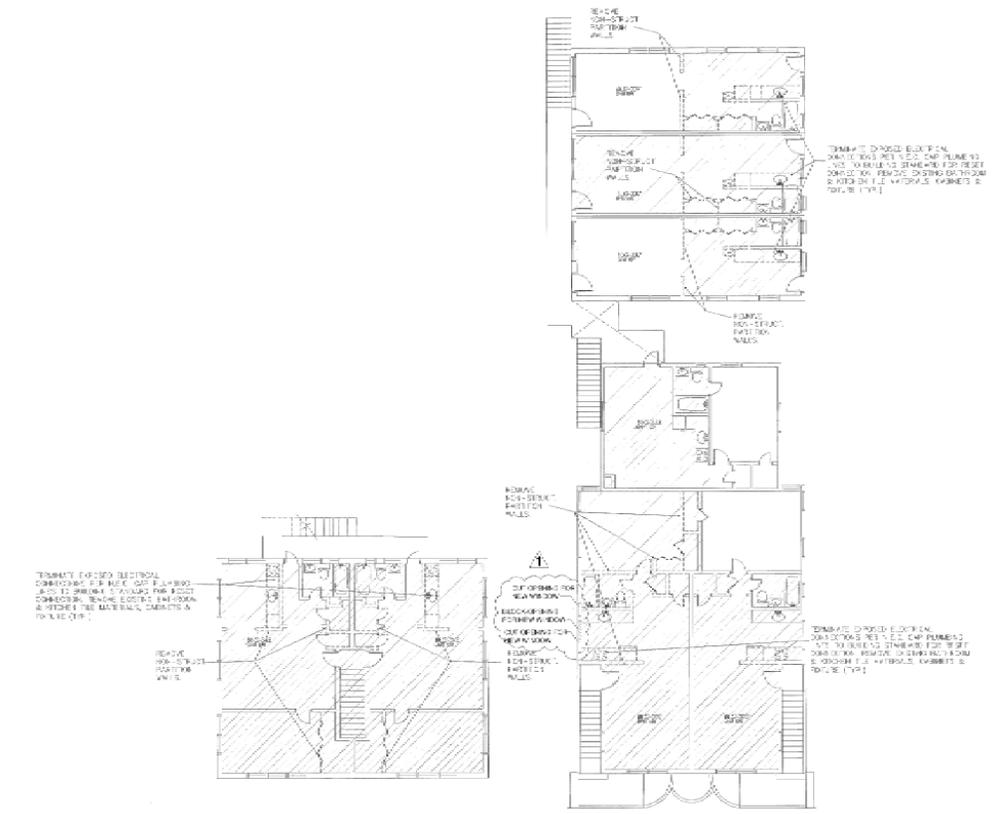


Design-Build	
GROSS, INC. Contracting Engineers	
1011 N. FLORIDA AVE. SUITE 1000 MIAMI BEACH, FL 33139 (305) 531-1000	
OWNER	333 JEFFERSON HOLDING LLC NATIONAL COHEN MFR 2880 US HIGHWAY 1 SOUTH MIAMI, FL 33133
JOB TITLE & ADDRESS	333 JEFFERSON AVE. SUITE 1000 MIAMI BEACH, FL 33139
PROJECT TITLE	333 JEFFERSON AVE. SUITE 1000 MIAMI BEACH, FL 33139
DESIGNER	GROSS, INC. P.E. POLYMERMAN
REVISIONS	REV 01/18 BUILDING TO BE OCCUPIED DURING CONSTRUCTION
DATE	07/24/2020
SCALE	D1.01

-APPROVED DEMOLITION BUILDING 343 & 337 – DATED 07/24/2020

- GENERAL NOTES:**
1. THE CONTRACTOR SHALL OBTAIN A DEMOLITION PERMIT AND ANY OTHER REQUIRED APPROVAL PRIOR TO THE EXECUTION OF ANY DEMOLITION AND ERECTION. ALL LABOR AND MATERIALS ALLOWED TO COMPLETE THE DEMOLITION, SELECTIVE DEMOLITION AND SUBSEQUENT SITE DISPOSAL OR STORAGE BY ALL ITEMS SET ON THE PROJECT AREA. A SCHEDULE SHALL BE SUBMITTED TO OWNER ALONG WITH THE DEMOLITION BID.
 2. THE CONTRACTOR SHALL COORDINATE DEMOLITION WITH THE LANDLORD, OWNER, LEASING AGENT AND/OR TENANT. LAND SHALL MEET THE RULES AND REGULATIONS SET FORTH BY THE LANDLORD, OWNER, AND/OR LEASING AGENT.
 3. THE CONTRACTOR SHALL SUPPLY THE LANDLORD & CLIENT WITH ALL INFORMATION REQUESTED.
 4. THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION DIRECTION AND/OR SITE LOCATION WITH LANDLORD PRIOR TO DEMOLITION. THE CONTRACTOR SHALL PROTECT THE ADJACENT BUILDING EXTERIOR, TOWNSHIP, AND LANDSCAPE FROM DAMAGE DURING DEMOLITION.
 5. THE PROJECT AREA SHALL BE MAINTAINED BY A DATE AND CLEAN CONDITION AT ALL TIMES.
 6. IF ANY CONTAMINATED MATERIALS ARE DISCOVERED DURING DEMOLITION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LOCAL HEALTH DEPARTMENT AND THE ENVIRONMENTAL AGENCY. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LOCAL HEALTH DEPARTMENT AND THE ENVIRONMENTAL AGENCY.
 7. ALL ITEMS OF SALVAGEABLE VALUE AS DETERMINED BY THE CLIENT, LANDLORD, LEASING AGENT AND/OR TENANT SHALL BE CAREFULLY REMOVED, STORED, AND REPAIRED. ITEMS SHALL BE STORED IN THE OWNER'S STORAGE AREA.
 8. RECONNECTED ELECTRICAL OUTLETS, SWITCHES, AND PANELS AS REQUIRED BY PLAN LAYOUT. TERMINATE EXPOSED CONNECTIONS PER CODE.
 9. ANY PLUMBING EXPOSED IN AREA AFFECTED BY DEMOLITION SHALL BE CAPPED TO BUILDING STANDARDS FOR REUSE CONNECTION.
 10. DEMOLISH EXISTING INTERIOR PARTITIONS AS INDICATED ON THE DEMOLITION PLAN.
 11. CONTRACTOR SHALL COORDINATE DEMOLITION WITH CLIENT SPECIFICATIONS AND TENANT'S DEMANDS.
 12. CONTACT ENGINEER AND CLIENT FIRST TO DEMOLISH ITEMS NOT SPECIFIED ON THE PLANS.
 13. COORDINATE WITH CONSTRUCTION DRAWINGS PRIOR TO BEGINNING DEMOLITION.
 14. CONTRACTOR SHALL PATCH AND REPAIR ALL HOLES IN THE SLAB TO AN ACCEPTABLE FINISH TO ALLOW FOR A PROPER INSTALLATION OF FLOORING.
 15. CONTRACTOR SHALL PATCH AND REPAIR ALL CURBS AND WALLS AFTER REMOVAL OF EXISTING FINISHING.
 16. GENERAL CONTRACTOR SHALL WORK WITH THE BUILDING ENGINEER TO DETERMINE WHAT MATERIALS SHALL BE TESTED AND WHAT MATERIALS SHALL BE REPOSED OF. PARTICULARLY DOORS AND HARDWARE. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO PROPERLY REMOVE OF ANY AND ALL MATERIALS NOT DEMO PERMITTED BY THE BUILDING.
 17. SOUP DEMOLITION SHALL BE PROVIDED BY THE ENGINEER.

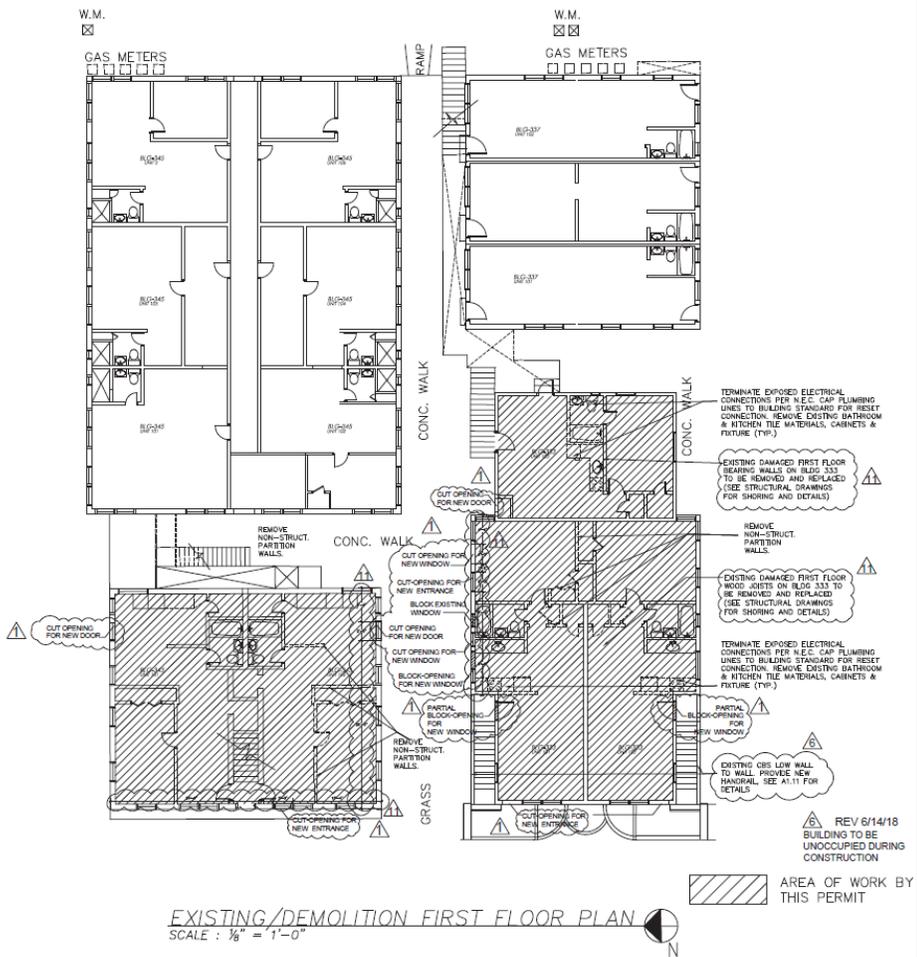
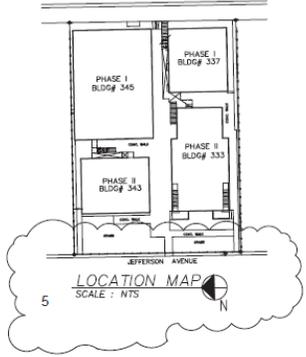
- DEMOLITION SCOPE OF WORK:**
- DEMO WORK TO ACCOMMODATE NEW LOBBY & "JOB" ROOMS
 - ALL WALLS, PARTITIONS, EXTERIOR, DOORS, ETC. DEMOLISHED BY A LIGHT DASHED LINE ARE TO BE REMOVED ONLY.
 - DEMO & REPAIR THE DASHED BATH-ROOM & KITCHEN PARTITIONS PER PLAN ONLY.
 - EXISTING BUILDING WILL BE UNOCCUPIED DURING FINISHED DEMO WORK. NO FIRE ALARMS AND SMOKE DETECTORS SHALL BE OPERATIONAL. THE KITCHEN EXTERIORS WILL BE PROVIDED BY ENGINEER SEE A TOWNSHIP PERMITS.
 - NO STRUCTURAL WORK ON THESE PLANS.
 - STRUCTURAL PARTITIONS TO REMAIN.
 - EXTERIOR AND INTERIOR FINISHES TO BE DEMOLISHED BY THE CONTRACTOR.
 - ALL CONSTRUCTION DEBRIS AND STAGING SHALL NOT EXCEED 10 FEET HEIGHT. EXPOSED HEADS OF BOLTS AT ALL TIME.



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 3. THE CONTRACTOR SHALL SUPPLY THE LANDLORD & CLIENT WITH ALL DOCUMENTATION REQUESTED.
 4. THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION DUMPSTER AND/OR CHUTE LOCATION WITH LANDLORD PRIOR TO PLACEMENT. THE CONTRACTOR SHALL PROTECT THE ARCADE, BUILDING EXTERIOR, ROADWAY, AND LANDSCAPE FROM DAMAGE DURING DEMOLITION.
 5. THE PROJECT AREA SHALL BE MAINTAINED IN A SAFE AND CLEAN CONDITION AT ALL TIMES.
 6. IF ANY HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION, COMPLY WITH APPLICABLE REGULATIONS, LAWS AND ORDINANCES RELATIVE TO REMOVAL, HANDLING, AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION. NOTIFY LANDLORD AND OWNER IMMEDIATELY.
 7. ALL ITEMS OF SALVAGEABLE VALUE AS DETERMINED BY THE CLIENT, LANDLORD, LEASING AGENT AND/OR TENANT SHALL BE CAREFULLY REMOVED, SURFACE CLEANED, LABELED, STORED AND TURNED OVER TO THE OWNER AND/OR LANDLORD.
 8. RECONNECT ELECTRICAL OUTLETS AFFECTED BY DEMOLITION TO PANELS AS REQUIRED BY NEW LAYOUT. TERMINATE EXPOSED CONNECTIONS PER N.E.C.
 9. ANY PLUMBING ENCOUNTERED IN AREA AFFECTED BY DEMOLITION SHALL BE CAPPED TO BUILDING STANDARD FOR RESET CONNECTION.
 10. REMOVE EXISTING INTERIOR PARTITIONS AS INDICATED ON THE DEMOLITION PLAN.
 11. CONTRACTOR SHALL COORDINATE DEMOLITION WITH CLIENT SPECIFICATIONS AND TENANTS' DRAWINGS.
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 14. CONTRACTOR SHALL PATCH AND REPAIR ALL HOLES IN THE SLAB TO AS NEW ACCEPTABLE FINISH TO ALLOW FOR A PROPER INSTALLATION OF FLOORING.
 15. CONTRACTOR SHALL PATCH AND REPAIR ALL CURTAIN WALL MULLIONS AFTER REMOVAL OF EXISTING FRAMING.
- GENERAL CONTRACTOR SHALL WORK WITH THE BUILDING ENGINEER TO DETERMINE WHAT MATERIALS SHALL BE KEPT AND WHAT MATERIALS SHALL BE DISPOSED OF, PARTICULARLY DOORS AND HARDWARE. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO PROPERLY DISPOSE OF ANY AND ALL MATERIALS NOT BEING KEPT BY THE BUILDING.
- SHOP DRAWINGS SHALL BE PROVIDED BY FIRE ENGINEER

- DEMOLITION SCOPE OF WORK:**
- DEMO WORK TO ACCOMMODATE NEW LOBBY & JOINT ROOMS
 - ALL WALLS, PARTITIONS, FIXTURES, DOORS, ETC. REPRESENTED BY A LIGHT DASHED LINE ARE TO BE REMOVED ONLY.
 - DEMO & REMOVE THE DASHED BATHROOM & KITCHEN FIXTURES PER PLAN ONLY.
- ⚠️ EACH BUILDING WILL BE UNOCCUPIED DURING PHASED DEMO WORK. NO FIRE ALARM AND SPRINKLER SYSTEM.
- CONCEPTUAL FIRE ALARM DRAWINGS WILL BE PROVIDED BY ENGINEER SEE ATTACHED FA SHEETS
 - NO STRUCTURAL WORK ON THESE PLANS
 - STRUCTURAL PARTITIONS TO REMAIN
 - EXISTING AND DEMO PLANS COORDINATED AS REQUIRED IN FIG 107
 - ALL CONSTRUCTION DEBRIS AND STAGING SHALL NOT OBSTRUCT OR HINDER REQUIRED MEANS OF EGRESS AT ANY TIME

- DEMO NOTE**
- BUILDINGS EVACUATED WILL NOT BE RE-OCCUPIED UNTIL A FINAL CO OR APPROVAL FROM FIRE MARSHALL
 - EACH BUILDING WILL BE CLOSED OFF FROM OTHER BUILDINGS AS CONSTRUCTION IS IN PROGRESS
 - DEMO ON BUILDING WILL BE DONE BY PHASES:
 - PHASE I: BLVD. # 345 & 337
 - PHASE II: BLVD. #343 & 333



QR CODE

CA No. 13254
16221 SW 297 TERRACE
MIAMI, FL 33133
305.785.3300

OWNER:
333 JEFFERSON HOLDING LLC
NATHANIEL COHEN MBR
2800 BISCAYNE BLVD PH FLOOR
MIAMI, FL 33137

JOB TITLE & ADDRESS:
JEFFERSON APARTMENTS/SHOTEL
333 JEFFERSON AVENUE
MIAMI BEACH, FL 33139

SHEET TITLE :
EXISTING & DEMOLITION PLANS

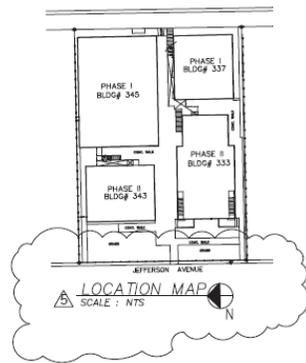
L. HUGH ANGLIN, P.E.
No. 003844
10-30-22
STATE OF
FLORIDA
PROFESSIONAL ENGINEER

REVISION DATE:
12/4/17 CHANGES
5/8/18
DEMOLITION NOTES
REV 10/20/21 ELEVATIONS
CAD FILE
SCALE:
DRAWN:
JOB:
SHEET:
D1.01
OF SHEETS

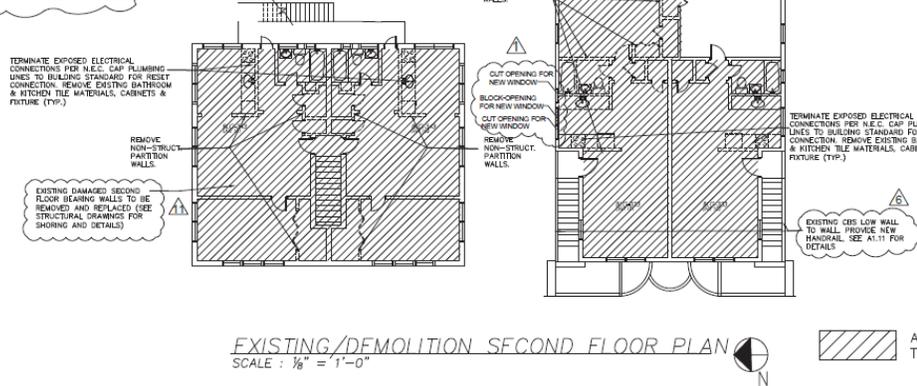
-REVISED DEMOLITION BUILDING 343 & 337 -

- DEMOLITION GENERAL NOTES:**
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 8. RECONNECT ELECTRICAL OUTLETS AFFECTED BY DEMOLITION TO PANELS AS REQUIRED BY NEW LAYOUT. TERMINATE EXPOSED CONNECTIONS PER N.E.C.
 9. ANY PLUMBING ENCOUNTERED IN AREA AFFECTED BY DEMOLITION SHALL BE CAPPED TO BUILDING STANDARD FOR RESET CONNECTION.
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- SHOP DRAWINGS SHALL BE PROVIDED BY FIRE ENGINEER

- DEMOLITION SCOPE OF WORK:**
- DEMO WORK TO ACCOMMODATE NEW LOBBY & JOINT ROOMS
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 - DEMO & REMOVE THE DASHED BATHROOM & KITCHEN FIXTURES PER PLAN ONLY.
 - EACH BUILDING WILL BE UNOCCUPIED DURING PHASED DEMO WORK. NO FIRE ALARM AND SPRINKLER SYSTEM.
 - CONCEPTUAL FIRE ALARM DRAWINGS WILL BE PROVIDED BY ENGINEER. SEE ATTACHED FA SHEETS
 - NO STRUCTURAL WORK ON THESE PLANS
- STRUCTURAL PARTITIONS TO REMAIN:**
- EXISTING AND DEMO PLANS COORDINATED AS REQUIRED IN FBC 107
 - ALL CONSTRUCTION DEBRIS AND STAGING SHALL NOT OBSTRUCT OR HINDER REQUIRED MEANS OF EGRESS AT ANY TIME



- DEMO NOTE**
- BUILDINGS EVACUATED, WILL NOT BE RE-OCCUPIED UNTIL A FINAL CO OR APPROVAL FROM FIRE MARSHALL.
 - EACH BUILDING WILL BE CLOSED OFF FROM OTHER BUILDINGS AS CONSTRUCTION IS IN PROGRESS.
 - DEMO ON BUILDING WILL BE DONE BY PHASES.
 - PHASE I: BLDG. # 345 & 333
 - PHASE II: BLDG. #343 & 333



GR. CODE

CA No. 33204
16121 SW 287 TERRACE
MIAMI, FL 33193
305.783.3300

OWNER:
333 JEFFERSON HOLDING LLC
NATHANAEEL COHEN MBR
2800 BISCAYNE BLVD PH FLOOR
MIAMI BEACH, FL 33137

JOB TITLE & ADDRESS:
JEFFERSON APARTMENTS/HOTEL
333 JEFFERSON AVENUE
MIAMI BEACH, FL 33139

SHEET TITLE :
EXISTING & DEMOLITION PLANS

L. HUGH ANGLIN, P.E.
P.E. #003844

REVISION DATE:
12/14/17 CHANGES
5/8/18 DEMOLITION NOTES
REV 10/20/21 ELEVATIONS

CAD FILE

SCALE:

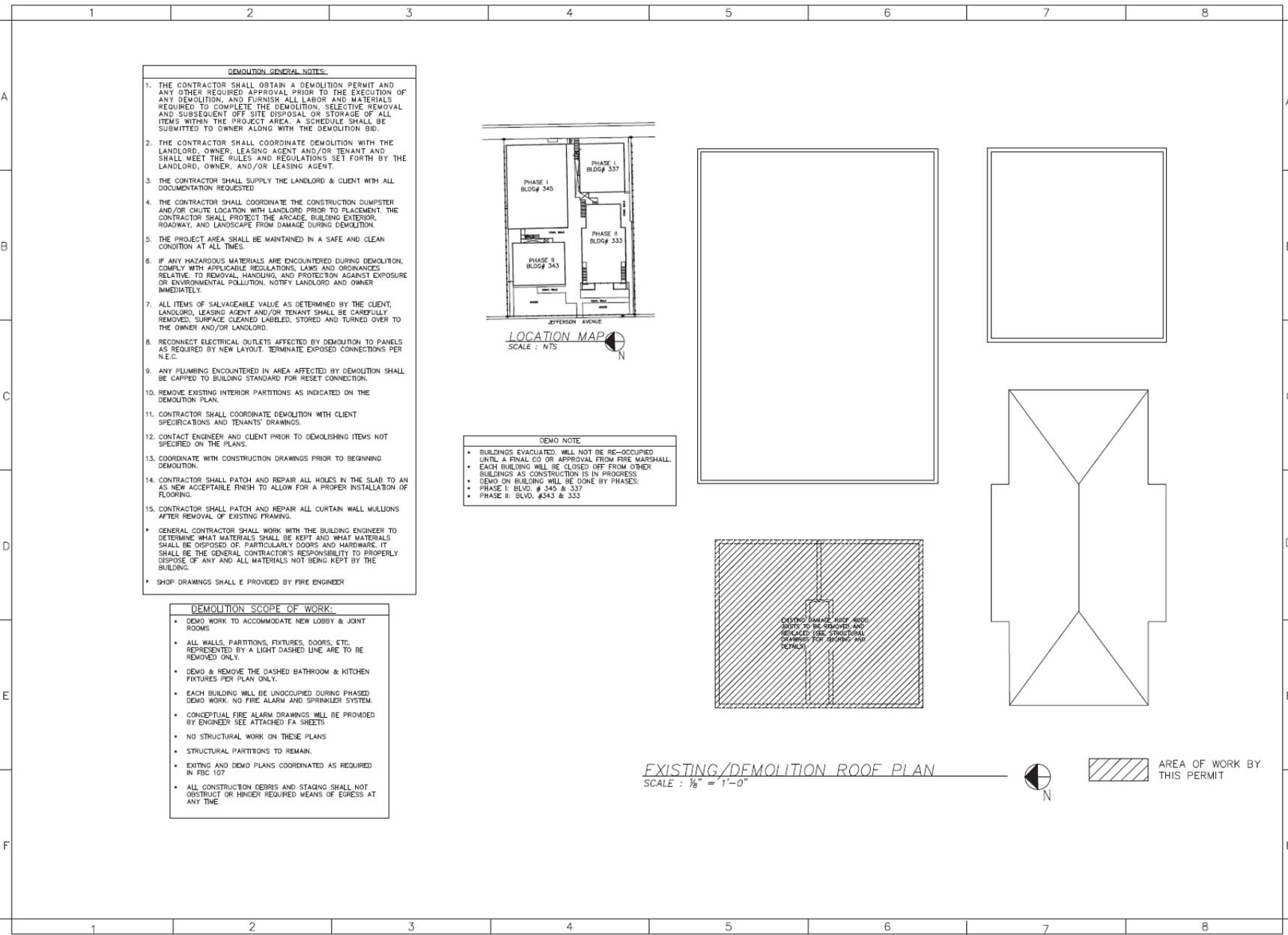
DRAWN:

JOB:

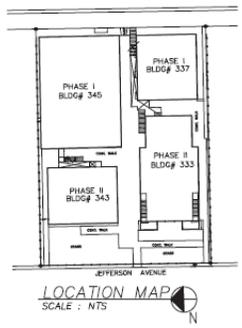
SHEET: **D1.02**

OF: SHEETS

-REVISED DEMOLITION BUILDING 343 & 337 -

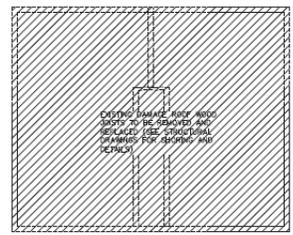


- DEMOLITION GENERAL NOTES:**
1. THE CONTRACTOR SHALL OBTAIN A DEMOLITION PERMIT AND ANY OTHER REQUIRED APPROVAL PRIOR TO THE EXECUTION OF ANY DEMOLITION, AND FURNISH ALL LABOR AND MATERIALS REQUIRED TO COMPLETE THE DEMOLITION. SELECTIVE REMOVAL AND SUBSEQUENT OFF SITE DISPOSAL OR STORAGE OF ALL ITEMS WITHIN THE PROJECT AREA, A SCHEDULE SHALL BE SUBMITTED TO OWNER ALONG WITH THE DEMOLITION BID.
 2. THE CONTRACTOR SHALL COORDINATE DEMOLITION WITH THE LANDLORD, OWNER, LEASING AGENT AND/OR TENANT AND SHALL MEET THE RULES AND REGULATIONS SET FORTH BY THE LANDLORD, OWNER, AND/OR LEASING AGENT.
 3. THE CONTRACTOR SHALL SUPPLY THE LANDLORD & CLIENT WITH ALL DOCUMENTATION REQUESTED.
 4. THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION DUMPSTER AND/OR CHUTE LOCATION WITH LANDLORD PRIOR TO PLACEMENT. THE CONTRACTOR SHALL PROTECT THE ARCADE, BUILDING EXTERIOR, ROADWAY, AND LANDSCAPE FROM DAMAGE DURING DEMOLITION.
 5. THE PROJECT AREA SHALL BE MAINTAINED IN A SAFE AND CLEAN CONDITION AT ALL TIMES.
 6. IF ANY HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION, COMPLY WITH APPLICABLE REGULATIONS, LAWS AND ORDINANCES RELATIVE TO REMOVAL, HANDLING, AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION. NOTIFY LANDLORD AND OWNER IMMEDIATELY.
 7. ALL ITEMS OF SALVAGEABLE VALUE AS DETERMINED BY THE CLIENT, LANDLORD, LEASING AGENT AND/OR TENANT SHALL BE CAREFULLY REMOVED, SURFACE CLEANED, LABELED, STORED AND TURNED OVER TO THE OWNER AND/OR LANDLORD.
 8. RECONNECT ELECTRICAL OUTLETS AFFECTED BY DEMOLITION TO PANELS AS REQUIRED BY NEW LAYOUT. TERMINATE EXPOSED CONNECTIONS PER N.E.C.
 9. ANY PLUMBING ENCOUNTERED IN AREA AFFECTED BY DEMOLITION SHALL BE CAPPED TO BUILDING STANDARD FOR RESET CONNECTION.
 10. REMOVE EXISTING INTERIOR PARTITIONS AS INDICATED ON THE DEMOLITION PLAN.
 11. CONTRACTOR SHALL COORDINATE DEMOLITION WITH CLIENT SPECIFICATIONS AND TENANTS' DRAWINGS.
 12. CONTACT ENGINEER AND CLIENT PRIOR TO DEMOLISHING ITEMS NOT SPECIFIED ON THE PLANS.
 13. COORDINATE WITH CONSTRUCTION DRAWINGS PRIOR TO BEGINNING DEMOLITION.
 14. CONTRACTOR SHALL PATCH AND REPAIR ALL HOLES IN THE SLAB TO AN AS NEW ACCEPTABLE FINISH TO ALLOW FOR A PROPER INSTALLATION OF FLOORING.
 15. CONTRACTOR SHALL PATCH AND REPAIR ALL CURTAIN WALL MULLIONS AFTER REMOVAL OF EXISTING FRAMING.
- GENERAL CONTRACTOR SHALL WORK WITH THE BUILDING ENGINEER TO DETERMINE WHAT MATERIALS SHALL BE KEPT AND WHAT MATERIALS SHALL BE DISPOSED OF. PARTICULARLY DOORS AND HARDWARE. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO PROPERLY DISPOSE OF ANY AND ALL MATERIALS NOT BEING KEPT BY THE BUILDING.
 - SHOP DRAWINGS SHALL BE PROVIDED BY FIRE ENGINEER



- DEMO NOTE**
- BUILDINGS EVACUATED. WILL NOT BE RE-OCCUPIED UNTIL A FINAL CO OR APPROVAL FROM FIRE MARSHALL
 - EACH BUILDING WILL BE CLOSED OFF FROM OTHER BUILDINGS AS CONSTRUCTION IS IN PROGRESS
 - DEMO ON BUILDING WILL BE DONE BY PHASES:
 - PHASE I: BLDG. # 345 & 337
 - PHASE II: BLDG. #343 & 333

- DEMOLITION SCOPE OF WORK:**
- DEMO WORK TO ACCOMMODATE NEW LOBBY & JOINT ROOMS
 - ALL WALLS, PARTITIONS, FIXTURES, DOORS, ETC. REPRESENTED BY A LIGHT DASHED LINE ARE TO BE REMOVED ONLY.
 - DEMO & REMOVE THE DASHED BATHROOM & KITCHEN FIXTURES PER PLAN ONLY.
 - EACH BUILDING WILL BE UNOCCUPIED DURING PHASED DEMO WORK. NO FIRE ALARM AND SPRINKLER SYSTEM.
 - CONCEPTUAL FIRE ALARM DRAWINGS WILL BE PROVIDED BY ENGINEER. SEE ATTACHED FA SHEETS
 - NO STRUCTURAL WORK ON THESE PLANS
 - STRUCTURAL PARTITIONS TO REMAIN.
 - EXISTING AND DEMO PLANS COORDINATED AS REQUIRED IN FBC 107
 - ALL CONSTRUCTION DEBRIS AND STAGING SHALL NOT OBSTRUCT OR HINDER REQUIRED MEANS OF EGRESS AT ANY TIME



EXISTING/DEMOLITION ROOF PLAN
SCALE : 1/8" = 1'-0"

AREA OF WORK BY THIS PERMIT

SR CODE

CA No. 33204
1627 SW 207 TERRACE
MIAMI, FL 33133
305.785.3300

OWNER:
333 JEFFERSON HOLDING LLC
NATHANIEL COHEN MFR
2800 BISCAYNE BLVD PH FLOOR
MIAMI, FL 33137

JOB TITLE & ADDRESS:
JEFFERSON APARTMENTS/HOTEL
333 JEFFERSON AVENUE
MIAMI BEACH, FL 33139

SHEET TITLE :
EXISTING & DEMOLITION PLANS

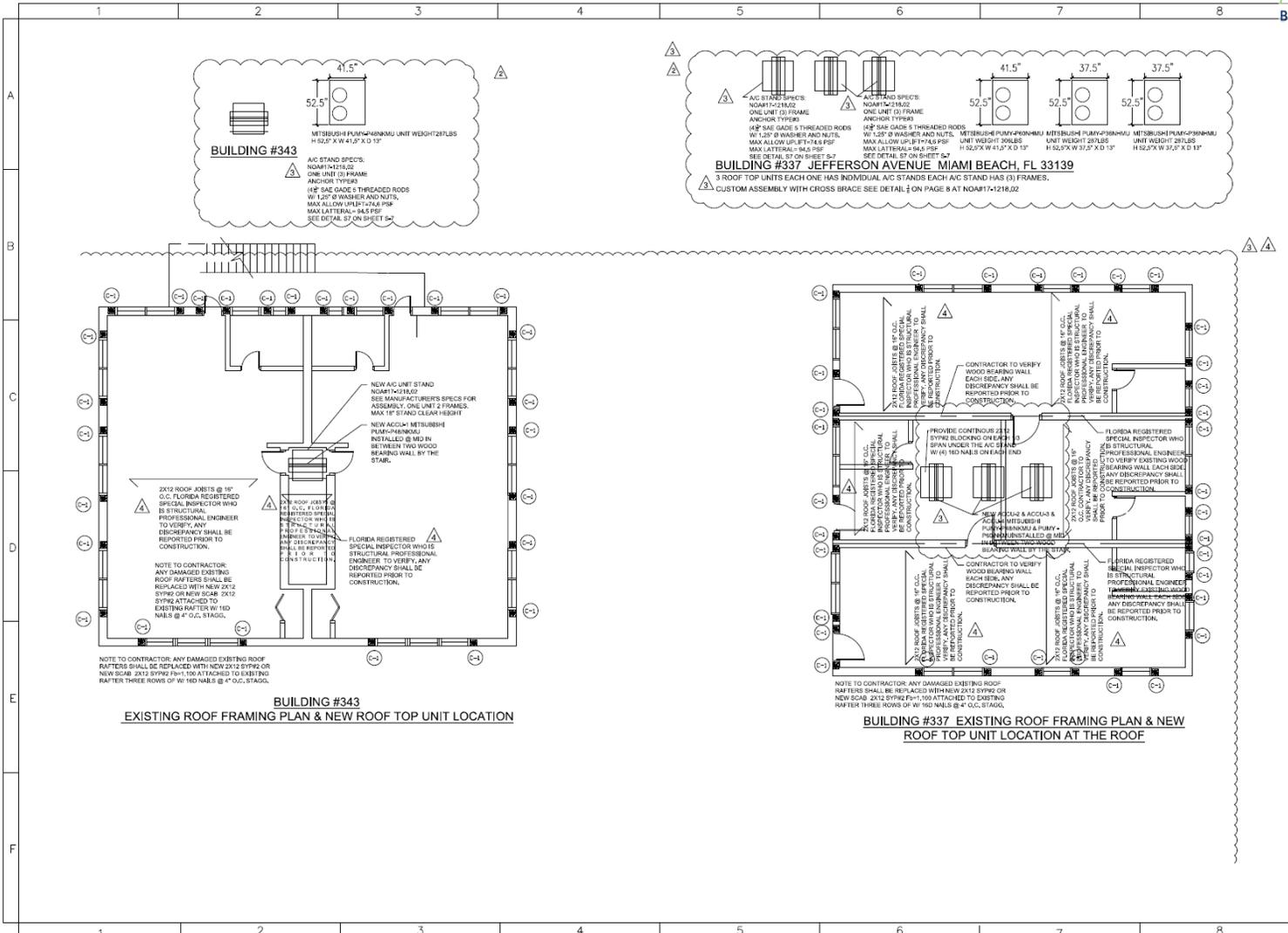
L. HUGH ANCLIN, P.E.
FL. #0093844

REVISION DATE:
Z11 REV 10/20/21
ELEVATIONS

CAD FILE:
SCALE:
DRAWN:
JOB:
SHEET:
OF:

D1.03
SHEETS

-REVISED DEMOLITION BUILDING 343 & 337 -



Design-Build Group, Inc. Consulting Engineers
1831 SW 117 Terrace
Miami, Florida 33135
Tel: (305) 765-3300

OWNER:
333 JEFFERSON HOLDINGS, LLC
NATHANIEL COHEN, MGR
2800 ESCOVE BLVD 9TH FLOOR
MIAMI, FL 33137

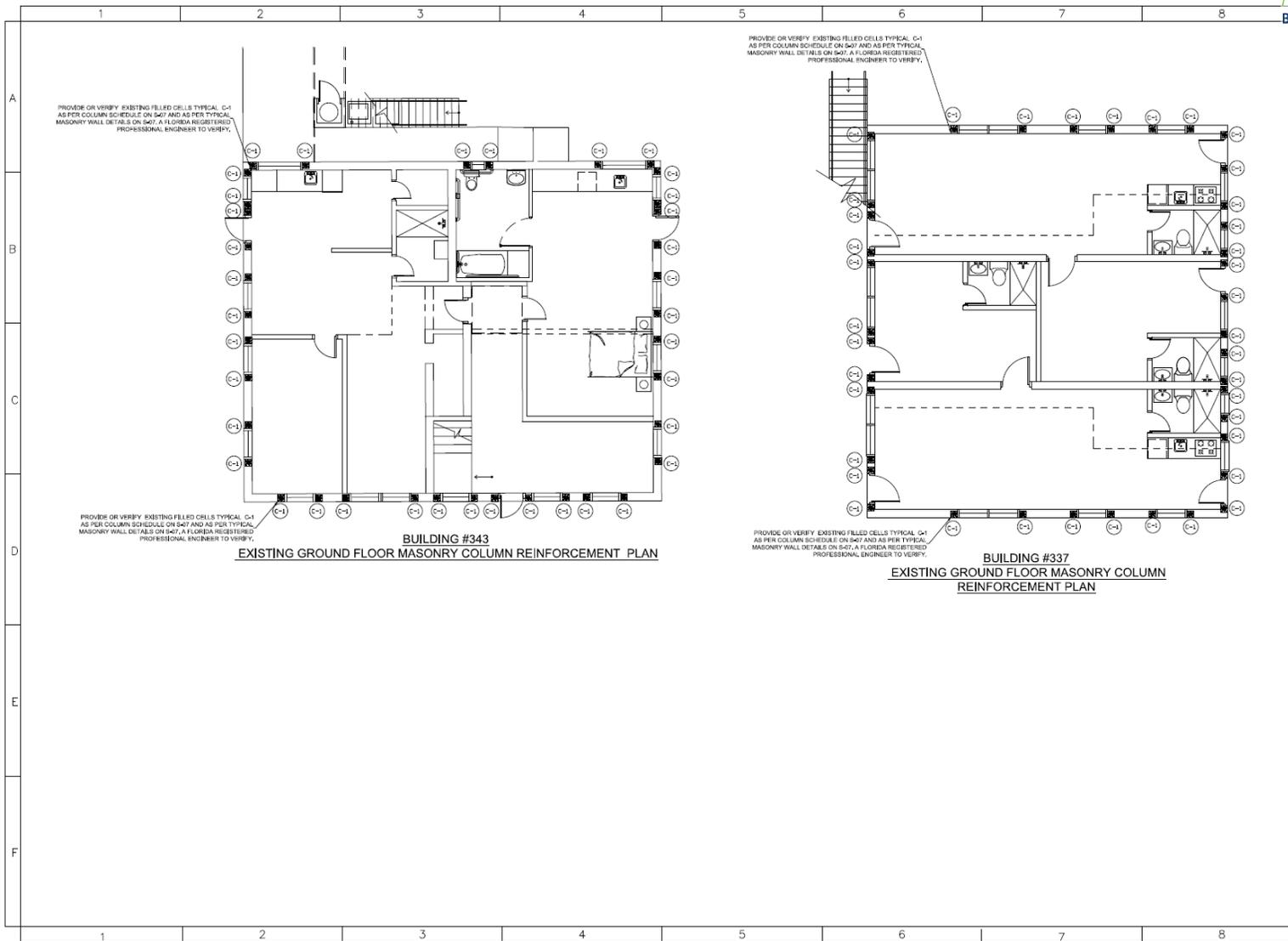
JOB TITLE & ADDRESS:
JEFFERSON APARTMENTS/HOTEL
333 JEFFERSON AVENUE
MIAMI BEACH, FL 33139

SHEET TITLE:
BUILDING #343 & #337
EXISTING ROOF FRAMING PLAN & NEW ROOF TOP UNIT LOCATION

REVISION DATE:
COMMENTS 10/2/18
COMMENTS 6/18/19
COMMENTS 10/8/19
COMMENTS 1/10/20

CAD FILE:
SCALE:
DRAWN:
JOB:
SHEET:
S-5

-APPROVED STRUCTURALS BUILDING 343 & 337 – (ROOF JOIST REPLACEMENT IF NEEDED AND FILL CELLS) DATED 7/24/2020



Design-Build Group, Inc.
Consulting Engineers
CA #6629
1803 N.W. 27th Terrace
Miami, Florida 33133
Tel: (305) 780-2200

OWNER:
333 JEFFERSON HOLDING, LLC
NATHANIEL COHEN MFR
2800 BISCAYNE BLVD 14TH FLOOR
MIAMI, FL 33137

JOB TITLE & ADDRESS:
JEFFERSON APARTMENTS/HOTEL
333 JEFFERSON AVENUE
MIAMI BEACH, FL 33139

SHEET TITLE:
JEFFERSON APARTMENTS/HOTEL
EXISTING GROUND FLOOR MASONRY COLUMN REINFORCEMENT PLAN

MIAMI BEACH BUILDING DEPARTMENT
No. 09802
STATE OF FLORIDA
Professional Engineer
Date: 2021.02.22
RASHI CHANDRAN
P.E. #09802

REVISION DATE:

CAD FILE:

SCALE:

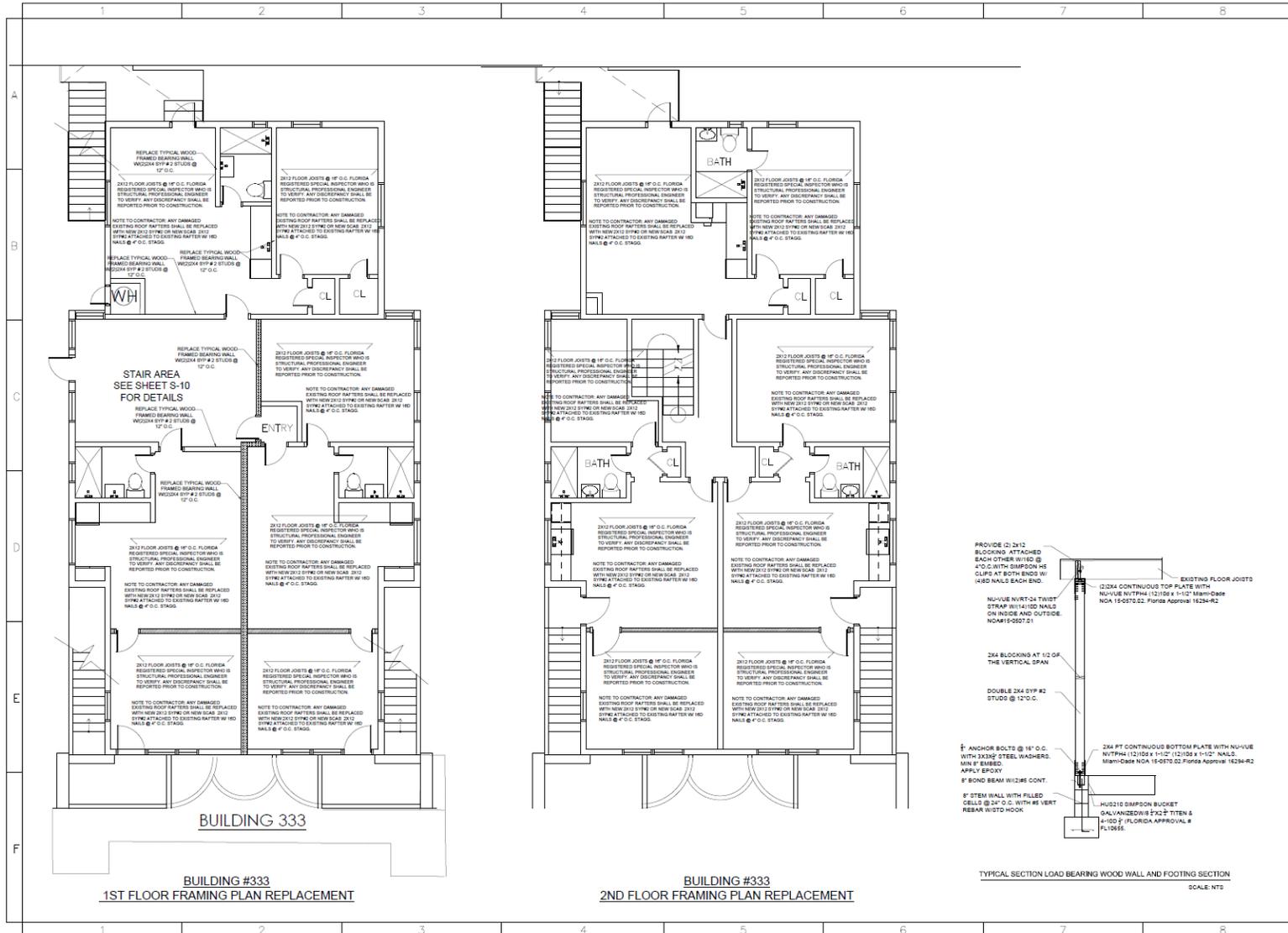
DRAWN:

JOB:

SHEET:

S-06.1

**-APPROVED STRUCTURALS BUILDING 343 & 337 – (FILL CELLS
ADDITION TO REINFORCE BUILDING)
DATED 3/10/2021**



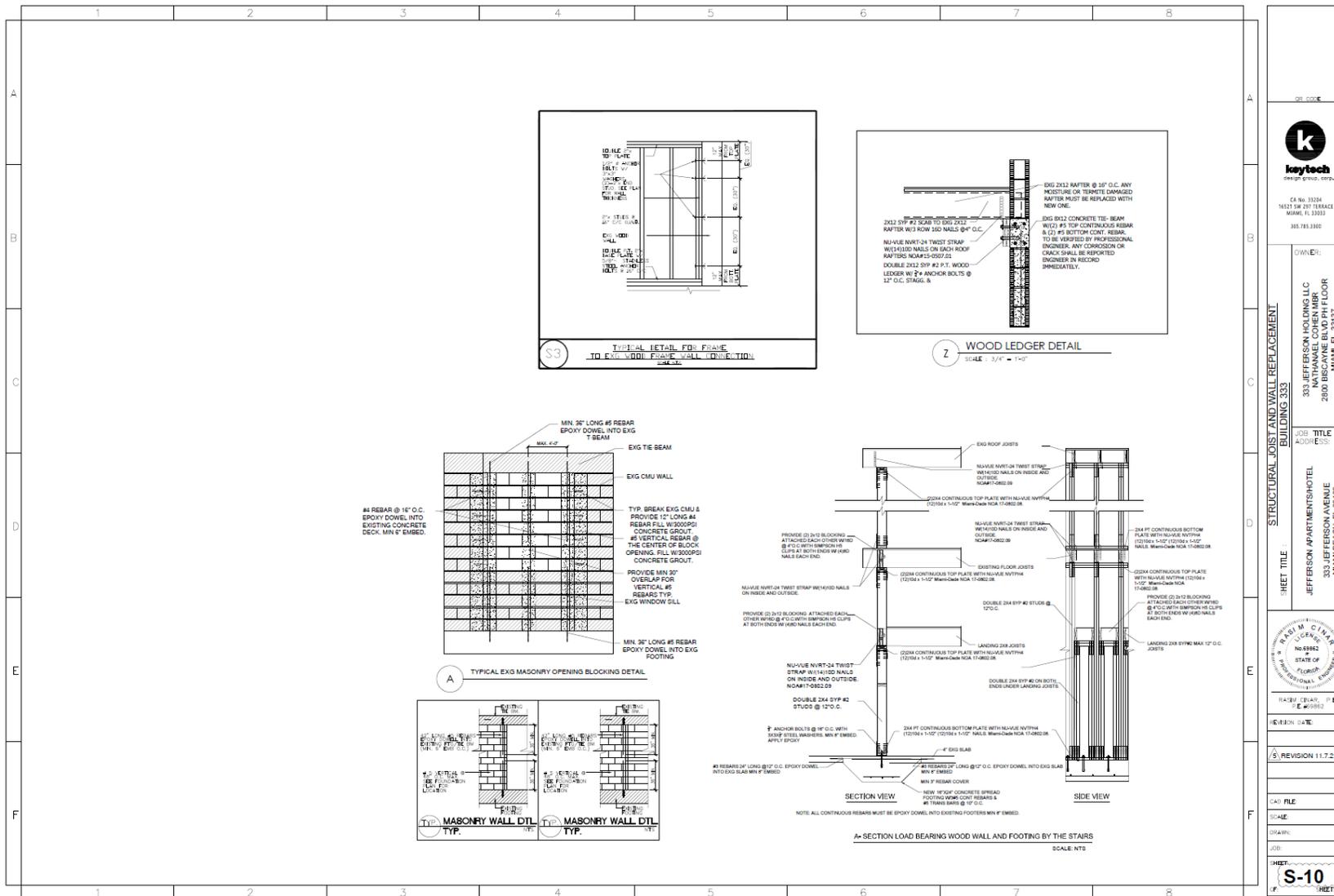
BUILDING #333
1ST FLOOR FRAMING PLAN REPLACEMENT

BUILDING #333
2ND FLOOR FRAMING PLAN REPLACEMENT

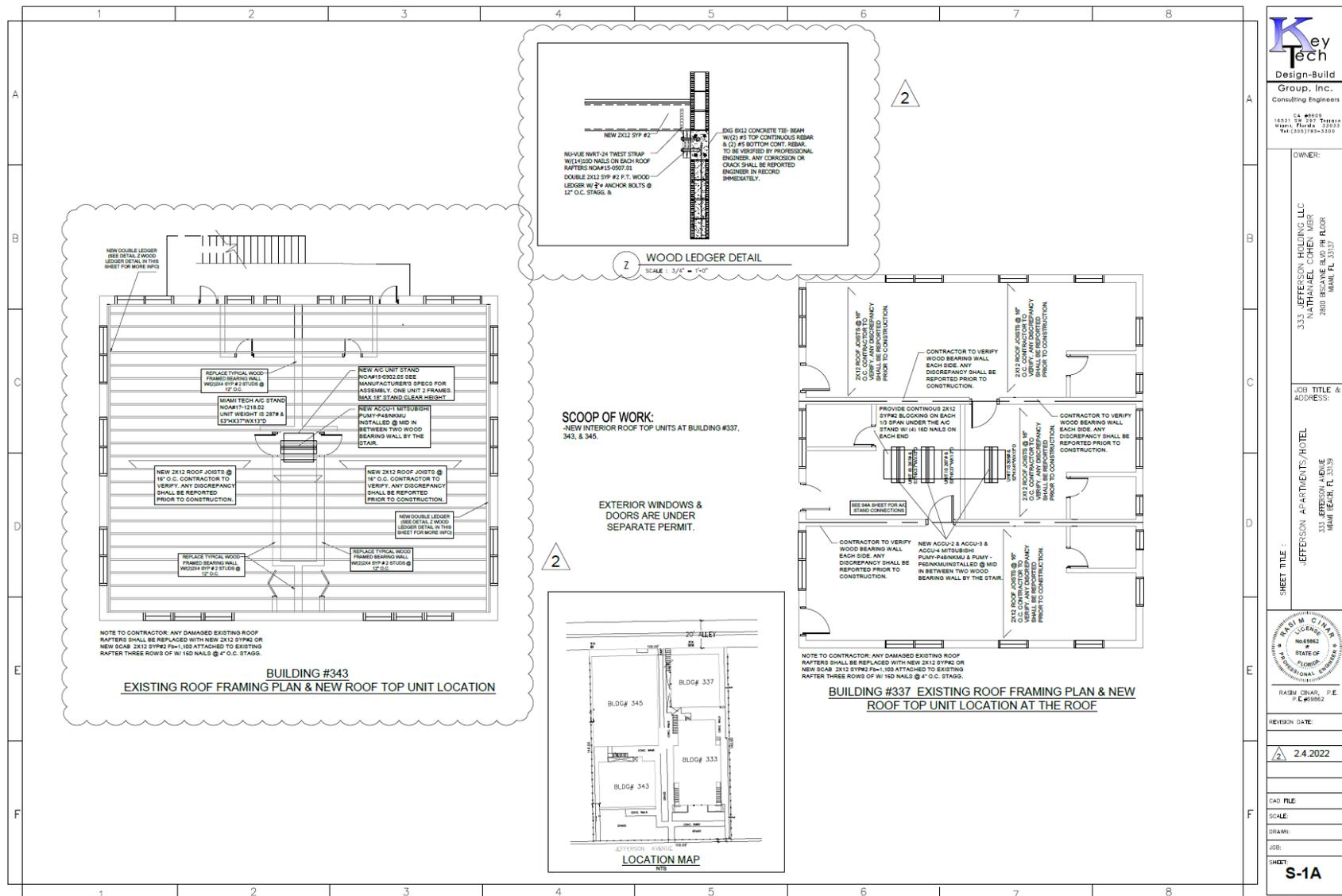
TYPICAL SECTION LOAD BEARING WOOD WALL AND FOOTING SECTION
SCALE: NTS

- STRUCTURAL REVISION BUILDING 333- (FIRST FLOOR AND SECOND FLOOR JOIST AND INTERIOR BEARING WALLS REPLACEMENT) DATED 11/7/2021

 CA No. 3334 1627 SW 217 TERRACE MIAMI, FL 33133 305.751.3300	
OWNER:	
333 JEFFERSON HOLDINGS LLC 333 JEFFERSON AVENUE MIAMI BEACH, FL 33137	
JOB ADDRESS:	TITLE:
STRUCTURAL JOIST AND WALL REPLACEMENT BUILDING 333	JEFFERSON APARTMENTS HOTEL 333 JEFFERSON AVENUE MIAMI BEACH, FL 33139
	
REVISION DATE:	
1/5 REVISION 11.7.21	
CAD FILE:	
SCALE:	
DRAWN:	
JOB:	
SHEET: S-9	



- STRUCTURAL REVISION BUILDING 333- (FIRST FLOOR AND SECOND FLOOR JOIST AND INTERIOR BEARING WALLS REPLACEMENT) DATED 11/7/2021



Key Tech
Design-Build
Group, Inc.
Consulting Engineers

04 0000
10521 SW 19TH TERRACE
MIAMI, FL 33187
TEL: 305/778-3300

OWNER:
333 JEFFERSON HOLDING LLC
NATHANIEL COHEN, MBR
2800 BISCAYNE BLVD PH FLOOR
MIAMI, FL 33137

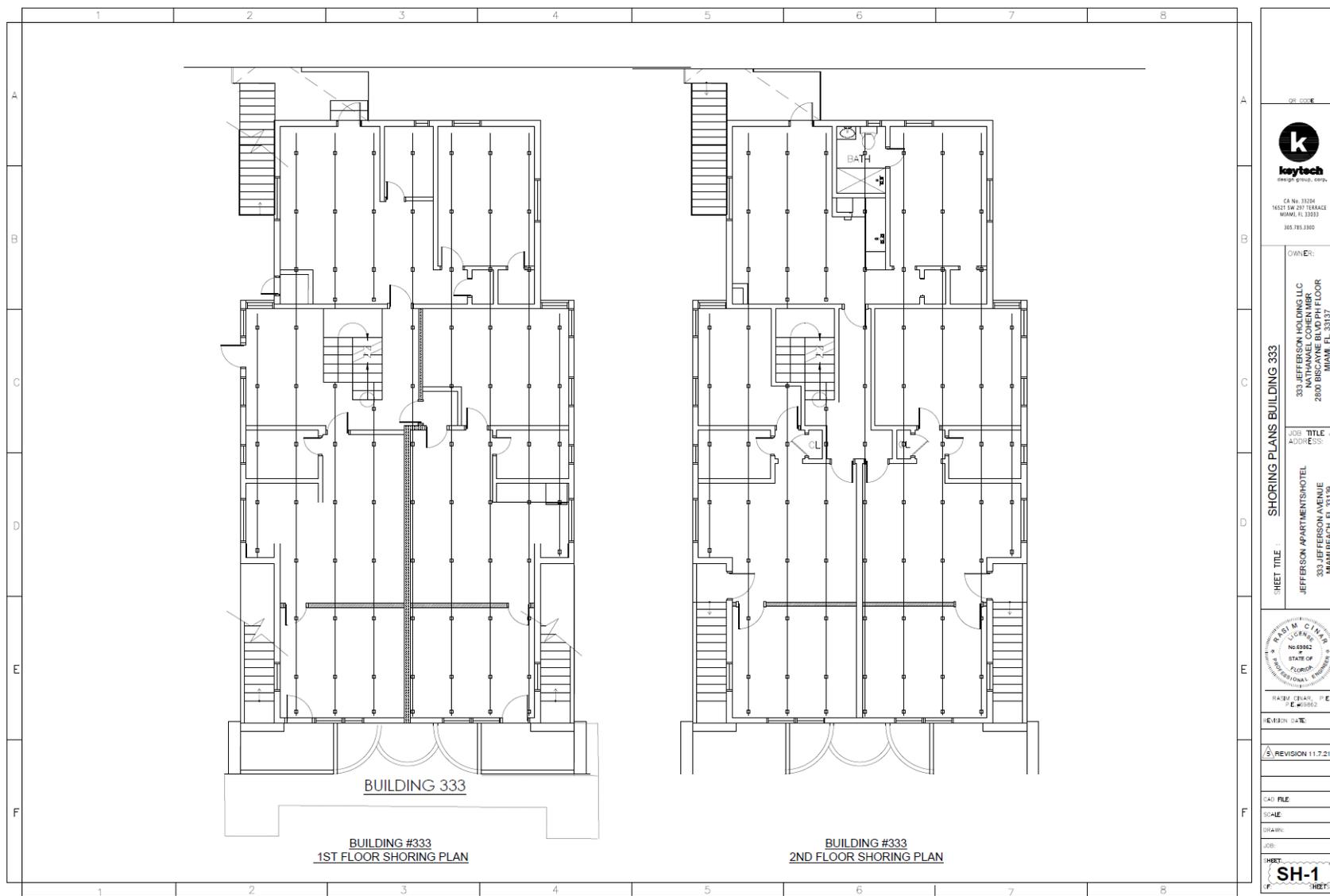
JOB TITLE & ADDRESS:
JEFFERSON APARTMENTS/HOTEL
333 JEFFERSON AVENUE
MIAMI BEACH, FL 33139

SHEET TITLE:
RASHM CHAKRABORTY, P.E.
P.E.#05862

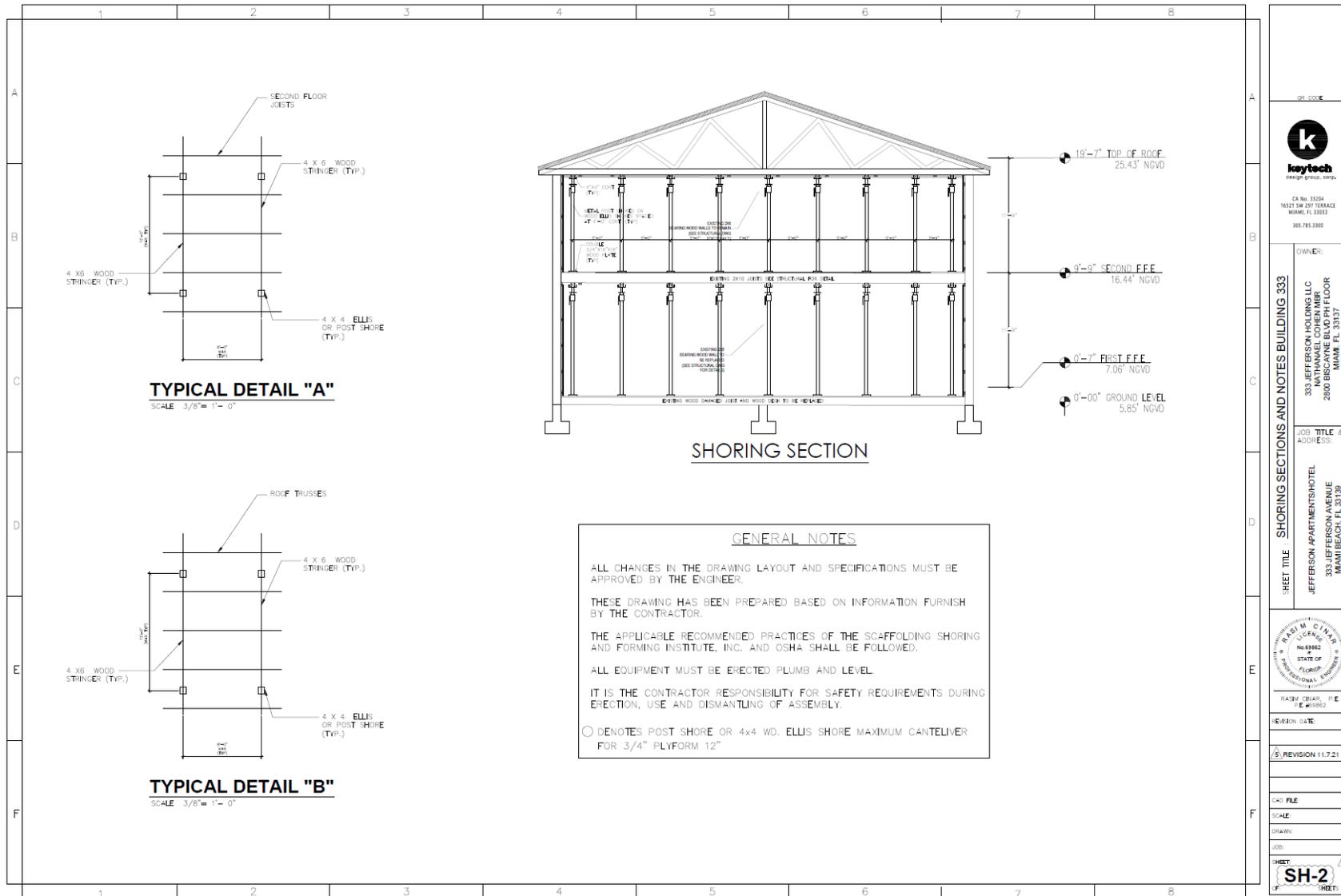
REVISION DATE:
2.4.2022

CAD FILE:
DRAWN:
JOB:
SHEET:
S-1A

- STRUCTURAL REVISION BUILDING 343- (ROOF JOIST AND INTERIOR BEARING WALLS REPLACEMENT)



**- SHORING PLAN BUILDING 333, FOR FIRST FLOOR AND SECOND FLOOR
JOIST AND INTERIOR BEARING WALLS REPLACEMENT
DATED 11/7/2021**



**- SHORING PLAN BUILDING 333, FOR FIRST FLOOR AND SECOND FLOOR
JOIST AND INTERIOR BEARING WALLS REPLACEMENT
DATED 11/7/2021**

OR CODE



keytech
design group, corp.

CA No. 33284
16521 SW 207 TERRACE
MIAMI, FL 33133
305.785.3300

OWNER:

SHORING SECTIONS AND NOTES BUILDING 333

333 JEFFERSON HOLDING LLC
NATHANIEL COHEN NIKK
2800 BISCAYNE BLVD PH FLOOR
MIAMI, FL 33137

JOB TITLE & ADDRESS:

JEFFERSON APARTMENTS/HOTEL
333 JEFFERSON AVENUE
MIAMI BEACH, FL 33139



RAVI CHINN
No. 12103
STATE OF
FLORIDA
PROFESSIONAL ENGINEER

TRAINING: P E
(E-61010)

EXPIRES DATE:

REVISION 11.7.21

CAD FILE:

SCALE:

DRAWN:

JOB:

SHEET: **SH-2** (3)

OF SHEETS: