

REQUEST FOR DRB APPROVAL FOR: FLAHERTY RESIDENCE

FINAL SUBMITTAL 02/07/2022 APRIL 2022 AGENDA

400 N. Hibiscus Dr., Miami Beach, Florida 33139

DRB22-0786



CLIENT

MR. KEVIN FLAHERTY

ARCHITECT

CHOEFF LEVY FISCHMAN
ARCHITECTURE + DESIGN
8425 BISCAYNE BLVD. SUITE 201
MIAMI, FL 33138
(305) 434-8338

LANDSCAPE ARCHITECT

CHRISTOPHER CAWLEY LANDSCAPE ARCHITECTURE LLC
180 NE 69TH ST. STE 1106
MIAMI, FL 33138
(305) 979-1585

CHOEFF LEVY FISCHMAN
ARCHITECTURE + DESIGN
8425 Biscayne Blvd. suite 201
Miami, Florida 33138
(305) 434-8338
(305) 692-5292
www.clarchitects.com

FLAHERTY RESIDENCE
400 N. HIBISCUS DR.
MIAMI BEACH, FLORIDA, 33141

seal

Ralph Choeff
registered architect
AR0009679
AA26003009

comm no.
2176

date:
12/15/2021

revised:

sheet no.

SCOPE OF WORK
REQUEST FOR DRB APPROVAL FOR THE PROPERTY
LOCATED AT 400 N. HIBISCUS DR, MIAMI BEACH, FL 33140
WAIVERS:
1. REQUEST TO WAIVE THE ELEVATION REQUIREMENTS FOR
THE OPEN-SPACE COURTYARD FOR THE SOUTH
ELEVATION.

January 31st, 2021

City of Miami Beach
Planning Department- Second Floor
1700 Convention Center Drive
Miami Beach, Florida 33139

Attention: Planning Staff and Design Review Board

**Re: Proposed new two-story residence to be located at 400 N. Hibiscus Drive on Miami Beach, FL.
Architect's Letter of Intent.**

Planning Staff and Design Review Board,

We have designed a new two-story residence to be located at 400 N. Hibiscus Drive on Miami Beach. The property has 9,500 square feet and is in an AE-10 flood zone. This is a corner property, thus both street elevations must read as front elevations. We feel we have achieved this combining shifting architectural planes with the careful use of materials. The estimated cost of construction is 2,064,780.00.

We feel we comply with all zoning requirements except one. We are seeking a waiver from the maximum allowed 60' length on the South side elevation that has an adjacent property. We have a continuous run of about 68' but have circumvented the elevation with shifting plans and the use of materials and fenestration.

We are compliant with the unit size at 48.2%, the lot coverage at 25.9%, the front yard pervious area at 60.4%, the rear pervious area at 80.1% and our maximum finished first floor to top of roof height is 24'-0". The existing residence on site to be demolished was constructed in 1956. Since the flood zone is AE-10, we are required to go at a minimum of the flood zone elevation plus 1'-0", this our finished first floor will be at +11'-0" NGVD.

We hope that the Planning Staff and the Design Review Board will grant us the one waiver that we seek here.

Sincerely,

Ralph Choeff, President
Choeff Levy Fischman PA

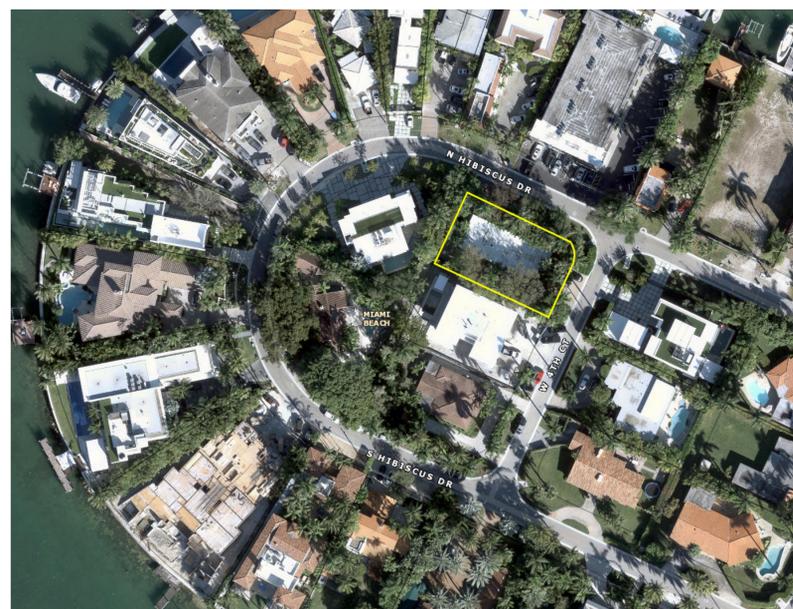
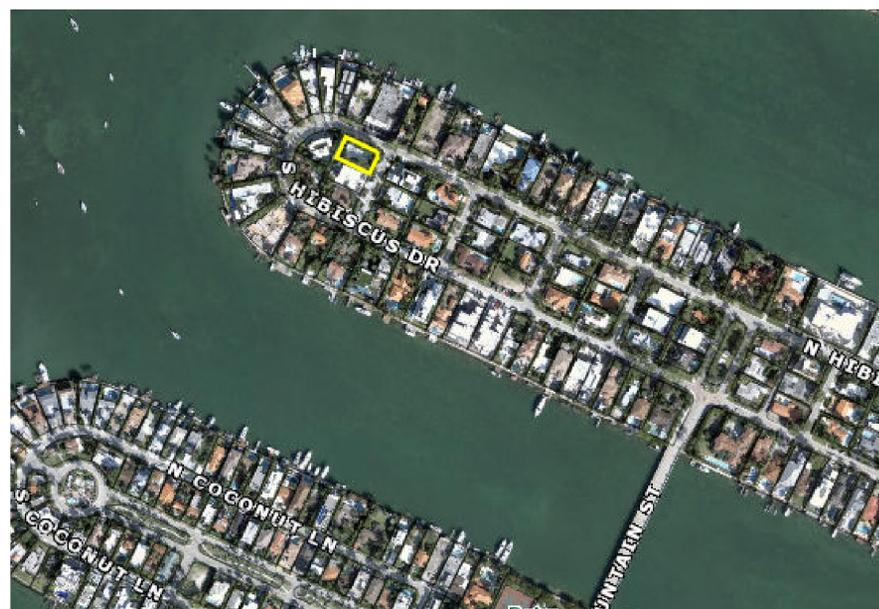


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by Ralph Choeff
Date:
2022.02.04
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400 N. Hibiscus Dr., Miami Beach, Florida 33139

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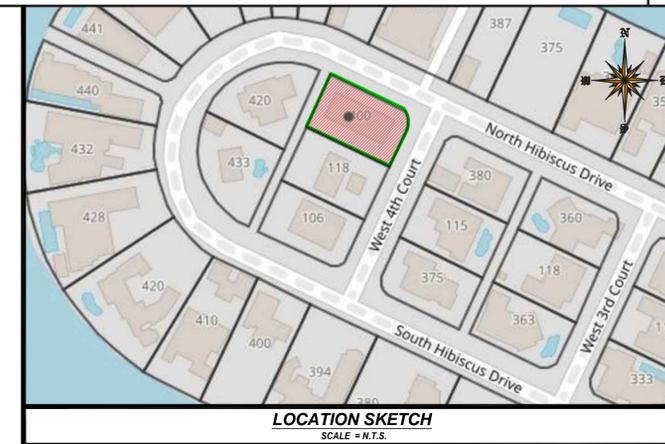
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JOHN IBARRA & ASSOCIATES, INC.
 Professional Land Surveyors & Mappers

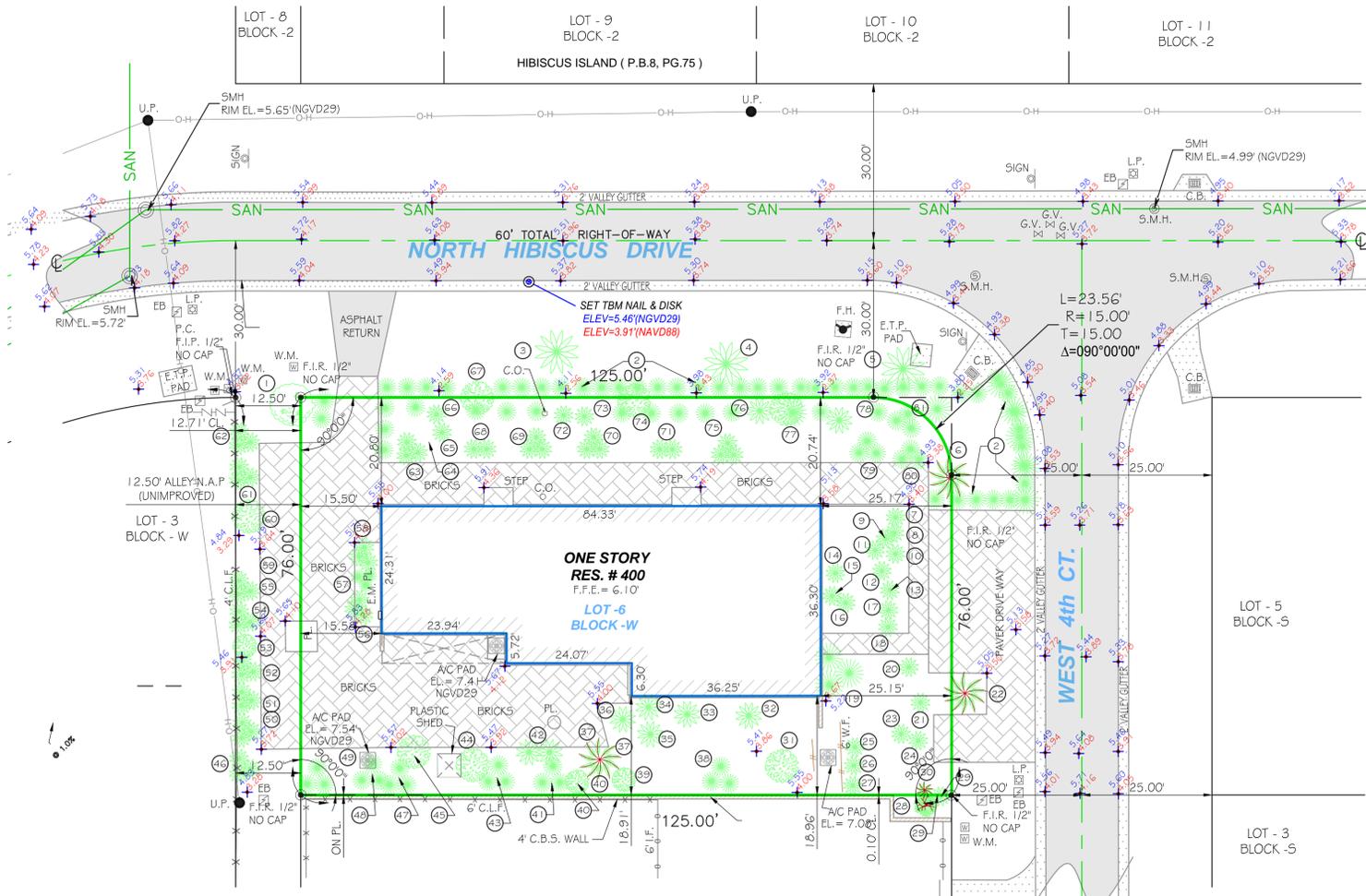
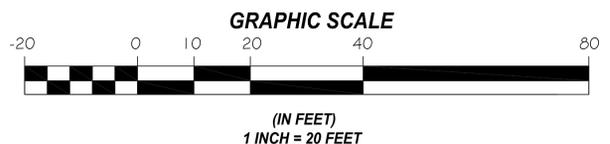
WWW.IBARRALANDSURVEYORS.COM
 777 N.W. 72nd AVENUE SUITE 3025 MIAMI, FLORIDA 33126
 PH: (305) 262-0400 FAX: (305) 262-0401

3725 DEL PRADO BLVD. S. SUITE 823 CAPE CORAL, FL 33904
 PH: (239) 540-2660 FAX: (239) 540-2664

MAP OF BOUNDARY AND TOPOGRAPHIC SURVEY



TREE TABLE				
No.	Name	Diameter (Ft.)	Height (Ft.)	Spread (Ft.)
1	TREE	10.0	35.0	30.0
2	EDGE	10.0	6.0	3.0
3	PALM	0.3	10.0	8.0
4	PALMS CLUSTER	1.5	12.0	10.0
5	PALMS CLUSTER	1.5	12.0	10.0
6	PALM	1.5	60.0	15.0
7	PALM	0.6	15.0	8.0
8	PALM	0.6	30.0	12.0
9	PALM	0.6	30.0	10.0
10	PALM	0.6	12.0	10.0
11	PALM	0.6	20.0	10.0
12	PALM	0.7	25.0	8.0
13	PALM	0.6	30.0	8.0
14	PALM	0.6	30.0	10.0
15	PALM	0.7	20.0	15.0
16	PALM	0.6	35.0	10.0
17	PALM	0.6	35.0	10.0
18	PALM	0.8	35.0	10.0
19	ARECA CLUSTER	7.0	30.0	15.0
20	PALM	0.6	30.0	10.0
21	PALM	0.6	30.0	10.0
22	PALM	1.3	70.0	15.0
23	PALM	0.6	30.0	12.0
24	PALM	0.6	25.0	12.0
25	PALM	0.6	25.0	15.0
26	PALM	0.5	27.0	10.0
27	PALM	0.6	40.0	8.0
28	FIGUS	5.0	70.0	25.0
29	PALM	0.8	70.0	10.0
30	PALM	2.0	70.0	15.0
31	TREE	3.0	70.0	40.0
32	PALM	0.7	30.0	12.0
33	PALM	0.7	30.0	10.0
34	PALM	0.7	33.0	10.0
35	PALM	0.6	28.0	8.0
36	PALM	0.6	28.0	10.0
37	PALM	1.5	55.0	15.0
38	ARECA CLUSTER	2.0	25.0	15.0
39	TREE	1.5	60.0	20.0
40	TREE	2.5	60.0	20.0
41	ARECA CLUSTER	1.0	15.0	8.0
42	PALMS CLUSTER (2)	0.4	45.0	8.0
43	ARECA CLUSTER	2.5	20.0	10.0
44	TREE	2.5	70.0	30.0
45	TREE	1.0	28.0	15.0
46	PALMS CLUSTER	3.0	30.0	10.0
47	ARECA CLUSTER	2.0	20.0	10.0
48	ARECA CLUSTER	2.0	20.0	10.0
49	ARECA CLUSTER	1.5	12.0	6.0
50	PALMS CLUSTER	3.0	30.0	10.0
51	PALMS CLUSTER	3.0	25.0	10.0
52	PALMS CLUSTER	2.5	25.0	10.0
53	TREE	1.3	50.0	20.0
54	PALMS CLUSTER	3.0	25.0	10.0
55	PALMS CLUSTER	3.0	25.0	10.0
56	PALMS CLUSTER	1.5	30.0	12.0
57	ARECA CLUSTER	2.0	8.0	8.0
58	PALMS CLUSTER	1.5	25.0	15.0
59	PALM	1.5	60.0	15.0
60	TREE	1.5	50.0	20.0
61	PALMS CLUSTER	3.0	28.0	12.0
62	PALMS CLUSTER	3.0	25.0	10.0
63	PALMS CLUSTER	1.5	30.0	15.0
64	PALM	1.5	60.0	15.0
65	PALM	0.4	30.0	12.0
66	PALM	0.4	30.0	8.0
67	TREE	1.5	65.0	35.0
68	PALMS CLUSTER (2)	1.5	30.0	12.0
69	PALMS CLUSTER (3)	1.5	30.0	15.0
70	PALMS CLUSTER (3)	1.5	30.0	15.0
71	PALMS CLUSTER (2)	1.0	30.0	10.0
72	PALM	0.4	35.0	8.0
73	PALM	2.0	35.0	15.0
74	TREE	2.0	35.0	35.0
75	PALMS CLUSTER (3)	1.0	30.0	10.0
76	PALM	0.7	33.0	12.0
77	PALM	2.0	60.0	15.0
78	TREE CLUSTER	1.0	10.0	8.0
79	TREE CLUSTER	1.0	10.0	6.0
80	TREE CLUSTER	1.0	10.0	6.0
81	ARECA CLUSTER	5.0	25.0	15.0



LEGAL DESCRIPTION:
 LOT 6, BLOCK W OF HIBISCUS ISLAND ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 34, PAGE 87 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

ABBREVIATIONS

- A = ARC
- AC = AIR CONDITIONER PAD
- A.E. = ANCHOR EASEMENT
- A.R. = ALUMINUM ROOF
- A.S. = ALUMINUM SHED
- ASW = ASHWALL
- B.C. = BLOCK CORNER
- B.L.D. = BUILDING
- B.M. = BENCH MARK
- B.C.R. = BROWARD COUNTY RECORDS
- B.O.B. = BASIS OF BEARING
- B.O.S. = BOTTOM OF STRUCTURE
- B.S. = BUILDING SETBACK LINE
- IC = CALCULATED
- C.B. = CONCRETE BLOCK STRUCTURE
- C.B.W. = CONCRETE BLOCK WALL
- CH = CHORD
- CH.B. = CHORD BEARING
- CH.L. = CHORD LENGTH
- CL = CLEAR
- C.D. = CLEAN OUT
- C.F. = CHAIN LINK FENCE
- C.M.E. = CANAL MAINTENANCE EASEMENT
- CONC. = CONCRETE
- C.U.P. = CONCRETE UTILITY POLE
- C.P. = CONCRETE PORCH
- C.S. = CONCRETE SLAB
- C.W. = CONCRETE WALK
- C.E. = CURB EASEMENT
- D.M.E. = DRAINAGE MAINTENANCE EASEMENT
- DRIVE = DRIVEWAY
- DRIVE = DRIVEWAY
- EB = EASEMENT
- EB = ELECTRIC TRANSFORMER PAD
- EL = ELEVATION
- ENCR. = ENCROACHMENT
- F.F. = FREE HYDRAULIC
- F.I.P. = FOUND IRON PIPE
- F.I.R. = FOUND IRON ROD
- F.F.E. = FINISHED FLOOR ELEVATION
- F.N.D. = FOUND NAIL & DISK
- FT. = FEET
- F.N.P. = FEDERAL NATIONAL INSURANCE PROGRAM
- FWID = NUMBER
- OS = OFFSET
- O.H. = OVERHEAD
- O.H. = OVERHEAD UTILITY LINES
- O.R.B. = OFFICIAL RECORDS BOOK
- O.V.F. = OVERLAYS
- P.M.T. = PAVEMENT
- P.L. = PROPERTY LINE
- P.C. = POINT OF CURVATURE
- P.O.T. = POINT OF TANGENCY
- P.O.C. = POINT OF COMMENCEMENT
- P.O.B. = POINT OF BEGINNING
- P.O.R. = POINT OF REVERSE CURVATURE
- P.W. = PARAWAY
- P.R.M. = PERMANENT REFERENCE MONUMENT
- P.L.S. = PROFESSIONAL LAND SURVEYOR
- P.P. = POWER POLE
- P.P.S. = POOL PUMP SLAB
- P.U.E. = PUBLIC UTILITY EASEMENT
- R.R. = RAIL ROAD
- RES. = RESIDENCE
- R.W. = RIGHT-OF-WAY
- RAD. = RADIUS OR RADIAL
- RGE. = RANGE
- R.O.E. = ROOF OVERHANG EASEMENT
- SEC. = SECTION
- STY. = STORY
- SWK. = SIDEWALK
- S.I.P. = SET IRON PIPE
- S. = SOUTH
- STW. = STORM WATER MANHOLE
- SMH. = SANITARY MANHOLE
- S.P. = SCREENED PORCH
- S.V. = SEWER VALVE
- S. = SECONDS
- T. = TANGENT
- T.B. = TELEPHONE BOOTH
- T.B.M. = TEMPORARY BENCHMARK
- T.U.E. = TECHNOLOGY UTILITY EASEMENT
- T.S.B. = TRAFFIC SIGNAL BOX
- T.S.P. = TRAFFIC SIGNAL POLE
- TWP. = TOWNSHIP
- UTL. = UTILITY
- U.E. = UTILITY EASEMENT
- U.P. = UTILITY POLE
- W.M. = WATER METER
- W.F. = WOOD FENCE
- W.P. = WOOD PORCH
- W.R. = WOOD ROOF
- W.V. = WATER VALVE
- M. = MONUMENT LINE
- C. = CENTER LINE
- DELTA = DELTA

PROPERTY ADDRESS:

400 N HIBISCUS DRIVE MIAMI BEACH, FLORIDA 33139

CERTIFICATION:

ZEUS S HIBISCUS HOUSE LLC

LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY:

- THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY.
- EXAMINATIONS OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY.
- THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD.
- LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.
- BOUNDARY SURVEY MEANS A DRAWING AND/OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE; THE WALLS OR FENCES MAY BE EXAGGERATED FOR CLARITY PURPOSES.
- EASEMENTS AS SHOWN ARE PER PLAT BOOK, UNLESS DEPICTED OTHERWISE.
- THE TERM "ENCROACHMENT" MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS.
- ARCHITECTS SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS, SETBACKS AND WILL BE RESPONSIBLE FOR SUBMITTING PLOT PLANS WITH CORRECT INFORMATION FOR "APPROVAL FOR AUTHORIZATION" TO THE PROPER AUTHORITIES IN NEW CONSTRUCTION.
- UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS.
- FENCE OWNERSHIP NOT DETERMINED.
- THIS PLAN OF SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON, THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTY.

FLOOD ZONE INFORMATION:

THE NFIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN FLOOD ZONE: "AE"
 BASE FLOOD ELEVATION: 10 FT
 COMMUNITY: 120635
 PANEL: 0316
 SUFFIX: L
 DATE OF FIRM: 09/11/2009
 THE SUBJECT PROPERTY DOES NOT LIE IN A SPECIAL FLOOD HAZARD AREA.

SURVEYOR'S NOTES:

1. IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY, IF NOT, BEARINGS ARE THEN REFERRED TO COUNTY, TOWNSHIP MAPS.
2. THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT.
3. CERTIFICATE OF AUTHORIZATION LB 1780.
4. ALL ELEVATIONS SHOWN ARE REFERRED TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 MIAMI-DADE COUNTY BENCH MARK # CMAB H101. LOCATION INTERSECTION OF W. PALM MIDWAY & S. HIBISCUS DRIVE; ELEVATION IS 4.07 FEET OF N.A.V.D. OF 1988, CONVERTED TO NGVD (29) USING CORPSCON, USING CONVERSION FORMULA = (4.07 + 1.55 = 5.62') RESULTS = 5.62' FEET NGVD 29.

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY: THIS "BOUNDARY SURVEY" OF THE PROPERTY DESCRIBED HEREON, HAS RECENTLY BEEN SURVEYED AND DRAWN UNDER MY SUPERVISION, AND COMPLIES WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

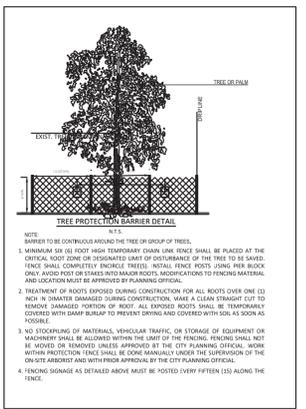
BY: JOHN IBARRA 12/10/2021 (DATE OF FIELD WORK)

PROFESSIONAL LAND SURVEYOR NO.: 5204 STATE OF FLORIDA (NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER).

REVISED ON: _____

DRAWN BY:	LK
FIELD DATE:	12/10/2021
SURVEY NO.:	21-004151
SHEET:	1 OF 1

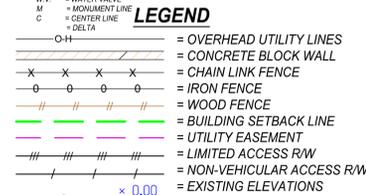
SURVEYOR'S NOTE:
 AN ARBORIST MUST CONFIRM ALL THE TREE NAMES, CONDITION AND SPECIES, WHAT IS SHOWN ON THE SURVEY MAY NOT BE THE CORRECT NAME OF THE TREES. LAND SURVEYORS ARE NOT ARBORIST.



ADDITIONAL SURVEYOR'S NOTES:

- ELEVATIONS DATUM REFERS TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29)
- ELEVATIONS DATUM REFERS TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)

ELEVATION CONVERSION NOTE:
 NGVD 1929 TO NAVD 1988 =
 SUBTRACT 1.55 FEET FROM NGVD
 1929 = NAVD 1988;



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SITE



RESIDENCE 1



RESIDENCE 2



RESIDENCE 3



RESIDENCE 4



RESIDENCE 5



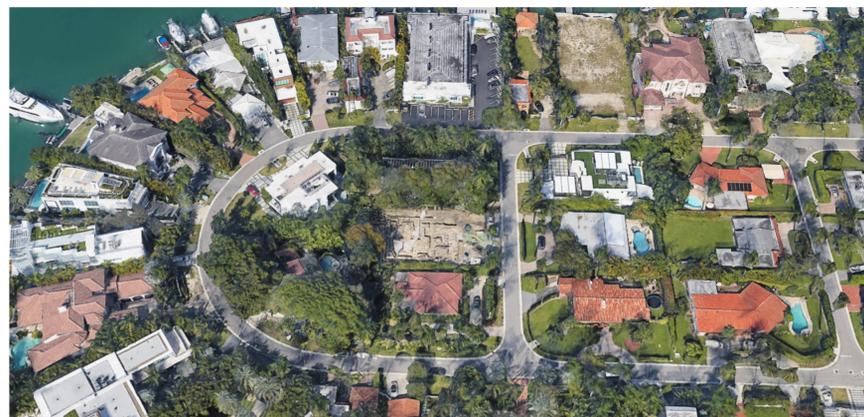
AERIAL PLAN OF PROPERTY AND SURROUNDING PROPERTIES



RESIDENCE 6



RESIDENCE 7



AERIAL PHOTOGRAPH OF PROPERTY AND SURROUNDING PROPERTIES

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