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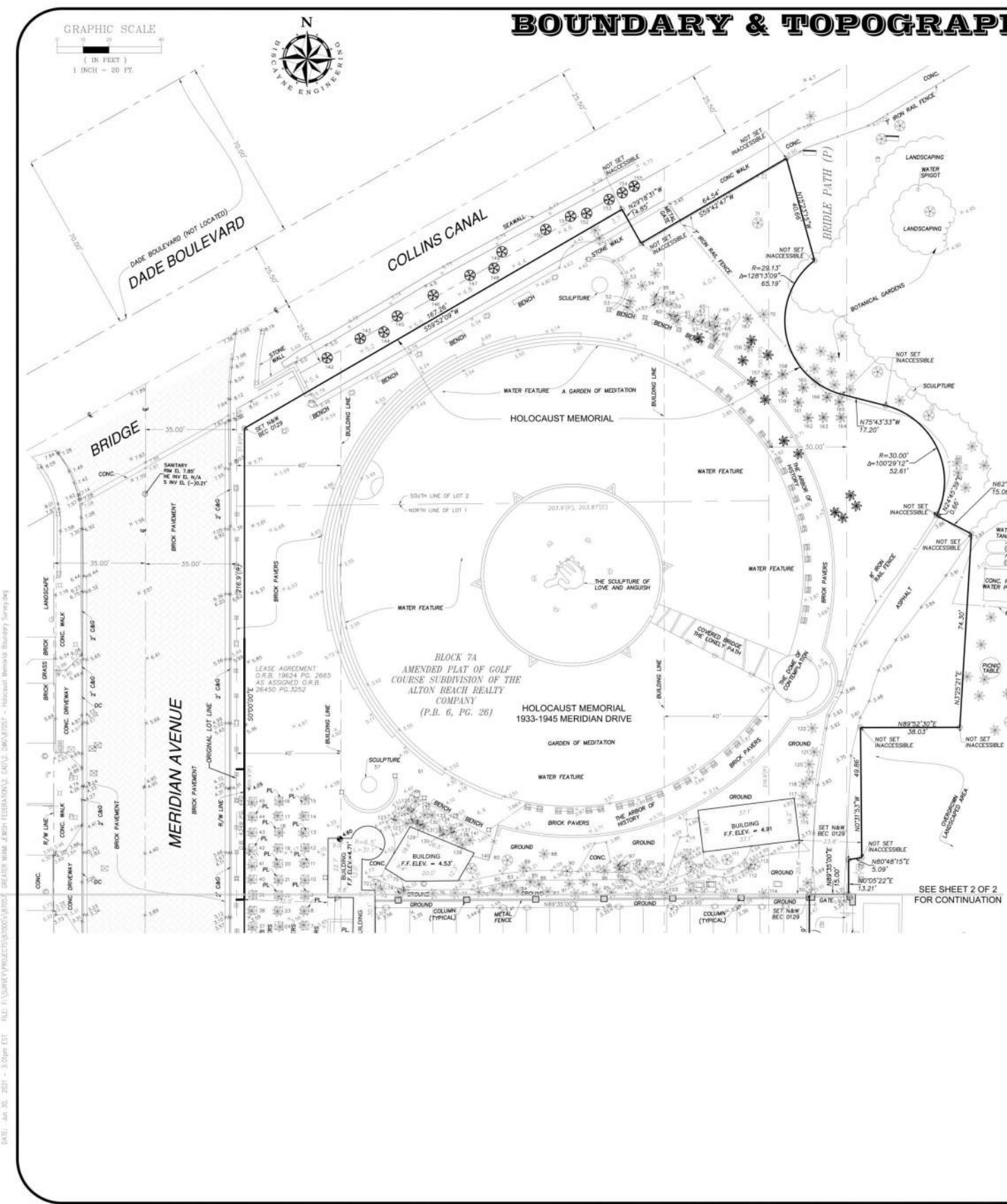


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THE EDUCATION CENTER AT THE HOLOCAUST MEMORIAL
DESIGN REVIEW BOARD RESUBMISSION
1933-1945 Meridian Avenue, Miami Beach, Fl 33139

DRAWING: COVER SHEET
SCALE:
DATE: March 1, 2022

A-00



LEGAL DESCRIPTION ("ORIGINAL LEASE PREMISES AND ADDITIONAL LEASE PREMISES" AT THE HOLOCAUST MEMORIAL):

ORIGINAL LEASE PREMISES:

COMMENCE at the intersection of the center line of 19th Street and Meridian Avenue; thence run South East along the center line of 19th Street for a distance of 35.00 feet to a point; thence run North for a distance of 20.00 feet to a point, said point located in the west line of lot 1, Block 7A, AMENDED PLAT OF GOLF COURSE SUBDIVISION, according to the plat thereof recorded in Plat Book 6, Page 26, Public Records of Dade County, Florida; thence run South East for a distance of 3.00 feet to the POINT OF BEGINNING, said point of beginning located in the east Right-of-Way line of Meridian Avenue, according to the Deed Book 4349, Pages 439, 440, 442, and 443 of the Public Records of Dade County, Florida; thence run South East along the North Right-of-Way line of 19th Street, for a distance of 36.05 feet to a point; thence run North West for a distance of 83.26 feet to a point; thence run North East for a distance of 195.95 feet to a point; thence run North East for a distance of 13.21 feet to a point; thence run North East for a distance of 5.09 feet to a point; thence run North West for a distance of 49.86 feet to a point; thence run North East for a distance of 38.03 feet to a point; thence run North East for a distance of 74.30 feet to a point; thence run North West for a distance of 15.06 feet to a point; thence run North East for a distance of 0.66 feet to a point; thence run along a circular curve, concave to the southwest, having a central angle of and a radius of 30.00 feet for an arc distance of 52.62 feet to a point; thence run North West for a distance of 17.20 feet to a point; thence run along a circular curve, concave to the Northeast, having a central angle of and a radius of 29.13 feet for an arc distance of 65.19 feet to a point; thence run North West for a distance of 40.66 feet to a point; thence run South West for a distance of 64.54 feet to a point; thence run North West for a distance of 14.85 feet to a point; thence run South West for a distance of 167.26 feet to a point, said point located in the east Right-of-Way line of Meridian Avenue, according to the Deed Book 4349, Pages 439, 440, 442, and 443 of the Public Records of Dade County, Florida; thence run South along the East Right-of-Way line of Meridian Avenue and parallel to the West line of the above mentioned Block 7A for a distance of 243.25 feet to the POINT OF BEGINNING.

Said LANDS located, lying and being in the CITY OF MIAMI BEACH, FLORIDA, and containing an area of 61,277 square feet or 1.407 acres more or less.

TOGETHER WITH:

ADDITIONAL LEASE PREMISES:

A portion of Lot 1, Block 7A, together with a portion of the 30 foot wide BRIDLE PATH (PRIVATE PROPERTY) lying east of and adjacent thereto, all as shown on AMENDED PLAT OF GOLF COURSE SUBDIVISION, according to the plat thereof, as recorded in Plat Book 6, of the Public Records of Miami-Dade County, Florida, being more particularly described as follows:

Commence at the intersection of the centerlines of 19th Street and Meridian Avenue; thence South 89°59'40" East along the centerline of 19th Street a distance of 35.00 feet; thence North 00°00'00" East, departing said centerline a distance of 20.00 feet to the intersection of the southerly prolongation of the West line of said Lot 1 with the westerly prolongation of the South line of said Lot 1; thence South 89°59'40" East along the westerly prolongation of said South line, a distance of 3.00 feet to a point on the East Right-of-Way line of Meridian Avenue, according to the Deed Book 4349, Pages 439, 440, 442, and 443 of the Public Records of Dade County (now Miami-Dade County), Florida; thence continue South 89°59'40" East along said westerly prolongation and along the South line of said Lot 1, a distance of 36.05 feet to the POINT OF BEGINNING of the herein described parcel of land; the following two courses are along the Limits of the Original Lease Premises: (1) thence North 00°25'00" West, a distance of 63.26 feet; (2) thence North 89°35'00" East, across a portion of said Lot 1 and a portion of said BRIDLE PATH (PRIVATE PROPERTY), a distance of 180.35 feet; thence South 00°25'00" West, across said BRIDLE PATH a distance of 64.59 feet; thence North 89°59'40" West, along the South line of said Lot 1 and the westerly prolongation thereof, a distance of 180.38 feet to the POINT OF BEGINNING.

Said LANDS located, lying and being in the CITY OF MIAMI BEACH, FLORIDA, and containing an area of 11,549 square feet or 0.265 acres more or less.

SURVEYOR'S NOTES:

- THE LEGAL DESCRIPTION OF THE SUBJECT PROPERTY WAS DETERMINED BY THE CLIENT.
- THIS SITE LIES IN SECTION 34, TOWNSHIP 53 SOUTH, RANGE 42 EAST, MIAMI-DADE COUNTY, FLORIDA.
- BOUNDARY SHOWN HEREON IS BASED ON THE LEGAL DESCRIPTION PROVIDED BY THE CLIENT.
- LANDS SHOWN HEREON CONTAINING THE FOLLOWING AREAS:
 - (1) ORIGINAL LEASE PREMISES: 61,277 SQUARE FEET, OR 1.407 ACRES, MORE OR LESS.
 - (2) ADDITIONAL LEASE PREMISES: 11,549 SQUARE FEET, OR 0.265 ACRES, MORE OR LESS.
 - ALL OF THE FOREGOING CONTAINING AN AGGREGATE AREA OF 72,826 SQUARE FEET, OR 1.672 ACRES, MORE OR LESS.
- RIGHT-OF-WAY LINES, LOT LINES, AND CENTERLINES SHOWN HEREON ARE BASED ON THE DOCUMENTS AND PLATS CONTAINED IN THE PUBLIC RECORDS OF MIAMI-DADE COUNTY IN CONJUNCTION WITH FIELD SURVEYED MONUMENTS.
- BISCAYNE ENGINEERING COMPANY DID NOT PERFORM A TITLE SEARCH.
- SURVEYOR MAKES NO STATEMENT AS TO OWNERSHIP.
- OWNERSHIP IS SUBJECT TO AN OPINION OF TITLE.
- ALL MEASUREMENTS HEREON ARE IN U.S. SURVEY FEET AND DECIMAL PARTS THEREOF UNLESS OTHERWISE SPECIFIED.
- THIS SURVEY MAP OR REPORT (OR COPY THEREOF) IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- SURVEY MEASUREMENTS ARE IN ACCORDANCE WITH UNITED STATES STANDARD SURVEY FEET AND DECIMALS THEREOF. MEASUREMENTS AND COMPUTATION RECORDS SUBSTANTIATE THE SURVEY MAP.
- THE ACCURACY OF THE SURVEY MEASUREMENTS SHOWN HEREON IS BASED ON THE TYPE OF SURVEY AND EXPECTED USE OF THE SURVEY. REDUNDANT MEASUREMENTS AND COMPUTATION RECORDS SUBSTANTIATE THE SURVEY MAP. REDUNDANCY OF MEASUREMENTS WAS OBTAINED BY MULTIPLE OCCUPATIONS OF FOUND AND SET CONTROL POINTS. THESE METHODS HAVE BEEN TESTED BY REC AND FOUND TO HAVE AN EXPECTED ACCURACY OF ± 0.07 FEET HORIZONTALLY, ± 0.03 FEET VERTICALLY, AND ± 0.1 FEET VERTICALLY ON SOFT SURFACES.
- ELEVATIONS SHOWN HEREON ARE IN U.S. SURVEY FEET, AND ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD-88), AND ARE REFERENCED TO THE FOLLOWING BENCHMARKS: (1) CITY OF MIAMI BEACH BENCHMARK "M 12", ELEVATION 7.56', PK NAIL AND WADDER, LOCATED ON TRAFFIC SEPARATOR AT THE INTERSECTION OF DADE BOULEVARD AND MERIDIAN AVENUE.; (2) CITY OF MIAMI BEACH BENCHMARK "DB 03", ELEVATION 5.36', PK NAIL AND WADDER, LOCATED AT THE SOUTH END OF TRAFFIC SEPARATOR AT THE INTERSECTION OF DADE BOULEVARD AND PRAIRIE AVENUE.
- THE INTENDED DISPLAY SCALES ARE SHOWN HEREON. SYMBOLS SHOWN HEREON ARE FOR REFERENCE AND ARE NOT SHOWN TO SCALE.
- LANDS SHOWN HEREON ARE LOCATED IN FEDERAL FLOOD ZONE "AE", ELEVATION 8', PER COMMUNITY PANEL NO. 120651-0317-L, MAP REVISED SEPTEMBER 11, 2009.
- THE TOPOGRAPHIC FEATURES SHOWN HEREON WERE LOCATED ON THE GROUND.
- TREES WERE IDENTIFIED TO THE BEST OF OUR ABILITY. IT IS RECOMMENDED THAT CLIENT CONSULT AN ARBORIST FOR VERIFICATION OF SCIENTIFIC NAMES, AND TREES THAT ARE UNKNOWN TO THIS SURVEYOR.
- DIMENSIONS AND DIRECTIONS INDICATED HEREON ARE CALCULATED FROM FIELD MEASUREMENTS USING A TOTAL STATION ELECTRONIC DISTANCE MEASUREMENT (EDM), LEVELING INSTRUMENT AND A MEASURING TAPE, UNLESS OTHERWISE NOTED.
- BEARINGS SHOWN HEREON ARE BASED ON LEGAL DESCRIPTION OF THE ORIGINAL LEASE PREMISES RECORDED IN O.R.B. 19624, PG. 2665, ASSIGNED O.R.B. 26450, PG. 3252, AND ARE REFERENCED TO THE NORTH RIGHT-OF-WAY LINE OF 19TH STREET, HAVING AN ASSUMED BEARING OF N89°59'40"E.
- ADDITIONS OR DELETIONS TO THIS SURVEY OTHER THAN BY BISCAYNE ENGINEERING COMPANY, INC. ARE PROHIBITED WITHOUT THE WRITTEN CONSENT OF BISCAYNE ENGINEERING COMPANY, INC.
- THERE MAY BE ADDITIONAL RESTRICTIONS AFFECTING THIS PROPERTY FOUND IN THE LAWS OF THE CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, AND THE STATE OF FLORIDA.

SURVEYOR'S CERTIFICATION:

I hereby certify that the attached "Boundary & Topographic Survey" was prepared under my responsible charge and complies with the Standards of Practice for Surveying and Mapping as set forth by the State of Florida Board of Professional Surveyors and Mappers in Chapter 53-17, Florida Administrative Code, pursuant to Chapter 472.027, Florida Statutes.

This survey also was prepared under my responsible charge, in accordance with the Standards of Practice for Surveying and Mapping set forth by the State of Florida Board of Professional Surveyors and Mappers in chapter 53-17, Florida Administrative Code, pursuant to chapter 472.027, Florida Statutes.

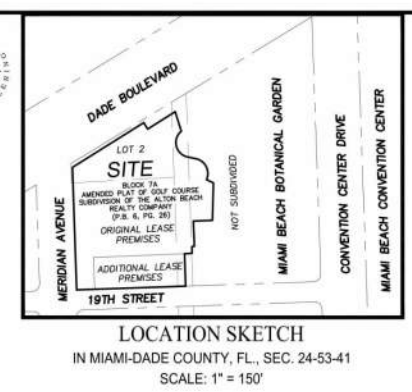
THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 5J-17-062, F.A.C.

PRELIMINARY

Biscayne Engineering Company, Inc.
529 West Flagler Street, Miami, FL 33130
305-324-7671
State of Florida Department of Agriculture
LE-0000129

Survey Date: 06-17-21
SURVEYOR OF RECORD:
WOLFGANG S. HUECK, PSM FOR THE FIRM
PROFESSIONAL SURVEYOR AND MAPPER No. 6519
STATE OF FLORIDA

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 5J-17-062, F.A.C. THIS ITEM HAS BEEN DIGITALLY SIGNED. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



LOCATION SKETCH
IN MIAMI-DADE COUNTY, FL., SEC. 24-53-41
SCALE: 1" = 150'

BISCAYNE ENGINEERING
SURVEYORS • ENGINEERS
PLANNERS
• SINCE 1898 •

MIAMI-DADE
529 W. FLAGLER ST., MIAMI, FL 33130
TEL (305) 324-7671 FAX (305) 324-6868
440 NW 35TH ST. BOCA RATON, FL 33431
E-MAIL: INFO@BISCAYNEENGINEERING.COM
WEB: WWW.BISCAYNEENGINEERING.COM

1933-1945 MERIDIAN AVENUE, MIAMI BEACH, FL
FOR GREATER MIAMI JEWISH FEDERATION
DESIGNED BY: A.J.R./R.H.L. CHECKED BY: A.J.R.
SCALE: 1"=20' DRAWN BY: R.H./D.G. DATE: 06-17-21
DATE: 06-17-21 APPROVED BY: W.H. F.B./P.G. 3061/12.14.15.18

SHEET No.
1 of 2

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DESIGN REVIEW BOARD RESUBMISSION

1933-1945 Meridian Avenue, Miami Beach, Fl 33139

DRAWING: BOUNDARY SURVEY
SCALE:
DATE: March 1, 2022

V-01

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GRAPHIC SCALE
(IN FEET)
1 INCH = 20 FT.



BOUNDARY & TOPOGRAPHIC SURVEY

TREE TABLE

ID NUMBER	COMMON NAME	HEIGHT (FEET)	SPREAD (FEET)	DIAMETER (INCHES)
1	Queen Palm	7	5	8
2	Queen Palm	12	6	12
3	Queen Palm	10	6	10
4	Queen Palm	8	6	12
5	Queen Palm	6	6	10
6	Queen Palm	5	6	10
7	Queen Palm	5	6	5
8	Queen Palm	8	6	5
9	Queen Palm	12	8	7
10	Queen Palm	8	7	6
11	Queen Palm	8	7	8
12	Queen Palm	10	7	6
13	Queen Palm	12	7	10
14	Queen Palm	6	3	7
15	Queen Palm	7	6	8
16	Queen Palm	10	7	12
17	Queen Palm	7	6	8
18	Queen Palm	6	6	6
19	Queen Palm	8	2	8
20	Queen Palm	6	6	6
21	Queen Palm	6	6	12
22	Queen Palm	7	6	8
23	Queen Palm	7	7	8
24	Queen Palm	8	7	8
25	Queen Palm	8	4	9
26	Queen Palm	6	7	7
27	Queen Palm	9	7	12
28	Queen Palm	7	7	7
29	Queen Palm	6	6	4
30	Queen Palm	8	7	8
31	Queen Palm	7	5	12
32	Queen Palm	8	7	12
33	Queen Palm	8	7	12
34	Queen Palm	8	7	6
35	Queen Palm	7	7	7
36	Queen Palm	7	7	6
37	Queen Palm	7	7	7
38	Queen Palm	6	6	8
39	Queen Palm	8	7	6
40	Queen Palm	7	7	8
41	Queen Palm	6	7	6
42	Queen Palm	9	6	8
43	Removed	x	x	x
44	Queen Palm	7	7	8
45	Queen Palm	6	7	9
46	Mahogany	30	25	18
47	Mahogany	20	30	16
48	Mahogany	20	30	14
49	Mahogany	25	35	26
50	Cuban Palm	30	6	4
51	Cuban Palm	45	20	6
52	Royal Palm	25	15	5
53	Cuban Palm	35	10	4
54	Cuban Palm	30	7	4
55	Cuban Palm	30	7	4
56	Cuban Palm	25	8	4
57	Cuban Palm	20	10	4
58	Cuban Palm	30	7	4
59	Cuban Palm	30	7	4
60	Cuban Palm	25	7	4
61	Cuban Palm	25	7	4
62	Butterfly Palm	20	10	4
63	Royal Palm	20	6	14
64	Cuban Palm	25	7	8
65	Cuban Palm	25	7	8
66	Cuban Palm	30	7	4
67	Cuban Palm	30	7	4
68	Cuban Palm	30	7	4
69	Cuban Palm	30	7	4
70	Cuban Palm	30	7	4
71	Ficus Tree	35	80	120
72	African Baobab	40	30	120
73	Cuban Palm	30	7	4
74	Cuban Palm	30	7	4
75	Butterfly Palm	25	7	3
76	Butterfly Palm	25	7	3
77	Butterfly Palm	25	7	3
78	Butterfly Palm	25	7	3
79	Butterfly Palm	25	7	3
80	Black Oak	25	20	8
81	Black Oak	25	20	8
82	Royal Palm	20	8	8
83	Cuban Palm	25	7	4
84	Cuban Palm	30	10	8
85	Cuban Palm	30	8	8
86	Cuban Palm	30	8	8

TREE TABLE

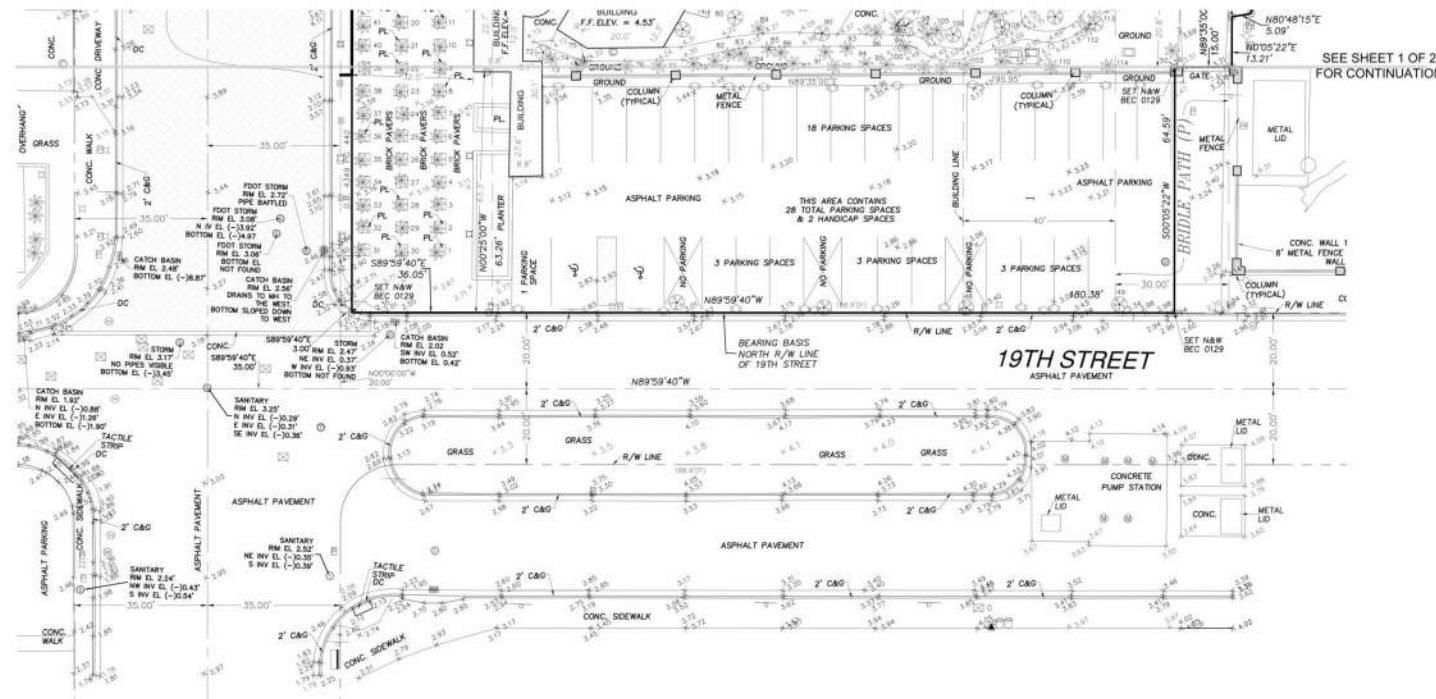
ID NUMBER	COMMON NAME	HEIGHT (FEET)	SPREAD (FEET)	DIAMETER (INCHES)
87	Cuban Palm	30	7	4
88	Cuban Palm	30	7	4
89	Queen Palm	30	10	8
90	African Baobab	35	35	120
91	Cuban Palm	30	7	8
92	Butterfly Palm	25	12	4
93	Cuban Palm	30	6	4
94	Butterfly Palm	25	8	4
95	Butterfly Palm	25	8	4
96	Cuban Palm	25	7	4
97	Black Oak	45	10	14
98	Cuban Palm	25	8	4
99	Cuban Palm	25	7	4
100	Cuban Palm	25	7	4
101	Cuban Palm	25	7	4
102	Cuban Palm	25	7	4
103	Cuban Palm	25	7	4
104	Cuban Palm	25	7	4
105	Cuban Palm	25	7	4
106	African Baobab	35	20	16
107	Cuban Palm	30	7	4
108	Black Oak	30	12	12
109	Cuban Palm	30	7	4
110	Butterfly Palm	20	12	4
111	African Baobab	30	30	180
112	Cuban Palm	30	7	4
113	Black Oak	30	30	16
114	Butterfly Palm	25	6	4
115	Cuban Palm	25	7	4
116	Cuban Palm	25	6	4
117	Cuban Palm	25	7	4
118	Cuban Palm	25	7	4
119	Cuban Palm	25	7	4
120	Cuban Palm	30	10	8
121	Cuban Palm	30	10	8
122	Cuban Palm	35	12	14
123	Cuban Palm	35	15	7
124	Cuban Palm	35	12	12
125	Cuban Palm	30	12	8
126	Cuban Palm	20	15	12
127	Cuban Palm	20	15	12
128	Cuban Palm	30	12	6
129	Cuban Palm	30	8	6
130	Cuban Palm	25	8	4
131	Cuban Palm	25	8	4
132	Cuban Palm	25	8	4
133	Cuban Palm	25	7	4
134	Cuban Palm	20	76	2
135	Cuban Palm	20	7	2
136	Cuban Palm	20	6	2
137	Cuban Palm	20	7	2
138	Cuban Palm	20	7	2
139	Cuban Palm	20	7	2
140	Cuban Palm	20	7	2
141	Cuban Palm	20	7	2
142	Gumbo Combo	12	6	3
143	Button Mangrove	15	7	3
144	Button Mangrove	15	7	3
145	Button Mangrove	15	7	3
146	Willow Oak	15	7	4
147	Button Mangrove	12	7	3
148	Button Mangrove	12	7	3
149	Button Mangrove	12	7	3
150	Gumbo Combo	12	7	4
151	Button Mangrove	10	7	3
152	Button Mangrove	10	6	3
153	Button Mangrove	10	7	3
154	Button Mangrove	10	7	3
155	Button Mangrove	10	7	3
156	Cuban Palm	30	7	4
157	Cuban Palm	30	15	4
158	Cabbage Palm	25	7	10
159	Cabbage Palm	25	7	10
160	Cabbage Palm	25	7	10
161	Cabbage Palm	25	7	10
162	Cabbage Palm	25	7	10
163	Cabbage Palm	25	7	10
164	Cabbage Palm	25	7	10
165	Cuban Palm	35	10	20
166	Cuban Palm	35	10	20

ABBREVIATIONS:

AVE = AVENUE
BEC = BISCAYNE ENGINEERING COMPANY
BM = BENCHMARK
(C) = CALCULATED FROM FIELD MEASUREMENTS
C.L.F. = CHAIN LINK FENCE
CONC. = CONCRETE
D.H. = DRILL HOLE
ELEV. = ELEVATION
FND = FOUND
GPS = GLOBAL POSITIONING SYSTEM
ID = IDENTIFICATION
I.P. = IRON PIPE
I.R. = IRON ROD
L = LENGTH (WHEN USED IN CURVE DATA)
(L) = PER LEGAL DESCRIPTION
LB = LICENSED BUSINESS
N&W = NAIL AND WASHER
NAD = NORTH AMERICAN DATUM
NAV88 = NORTH AMERICAN VERTICAL DATUM OF 1988
NOV29 = NATIONAL GEODETIC VERTICAL DATUM OF 1929
O.R.B. = OFFICIAL RECORDS BOOK
(P) = PER PLAT
P.B. = PLAT BOOK
PC = POINT OF CURVATURE
PG. = PAGE
P.O.B. = POINT OF BEGINNING
P.O.C. = POINT OF COMMENCEMENT
PT = POINT OF TANGENCY
R = RADIUS (WHEN USED IN CURVE DATA)
R&C = REBAR AND CAP
R/W = RIGHT OF WAY
SEC. = SECTION
C = CENTERLINE
Δ = DELTA ANGLE
Ø = DIAMETER
± = MORE OR LESS
• = HARD SURFACE SPOT ELEVATION (NAV88)
• = SOFT SURFACE SPOT ELEVATION (NAV88)

LEGEND:

● CATCH BASIN TYPE "B"
○ ELECTRICAL MANHOLE
○ FIRE HYDRANT
○ GUY WIRE AND ANCHOR
○ HOSE
○ LIGHT POLE
○ PALM
○ FIRE
○ PARKING METER
○ POWER POLE (EXISTING)
○ POWER AND TELEPHONE POLE (EXIST.)
○ STAND PIPE
○ FLOOD LIGHT
○ BENCH
○ BIKE RACK
○ BRUSH CAN
○ FLAG POLE
○ MAILBOX
○ FORCE MAIN VALVE BOX
○ GAS VALVE
○ EXISTING VALVE
○ WATER VALVE BOX
○ WATER METER BOX
● MONITORING WELL
▲ POST
○ CLEAN OUT
● SANITARY VALVE
○ DRAIN
○ BACKFLOW PREVENTER
○ WATER VALVE
○ FIRE DEPARTMENT CONNECTION
○ IRRIGATION VALVE
○ GAS METER
○ GAS MANHOLE
○ COMMUNICATION BOX
○ TELEPHONE BOX
○ ELECTRICAL BOX
○ SERVICE BOX
○ ELECTRICAL METER
○ ELECTRICAL OUTLET
○ WOOD POWER POLE
○ STORM DRAINAGE MANHOLE
○ SANITARY SEWER MANHOLE
○ SIGN
○ SIGNAL CONTROL PANEL
○ TELEPHONE MANHOLE
○ WIRE PULL BOX
○ CENTER LINE



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DATE: March 1, 2022

V-02



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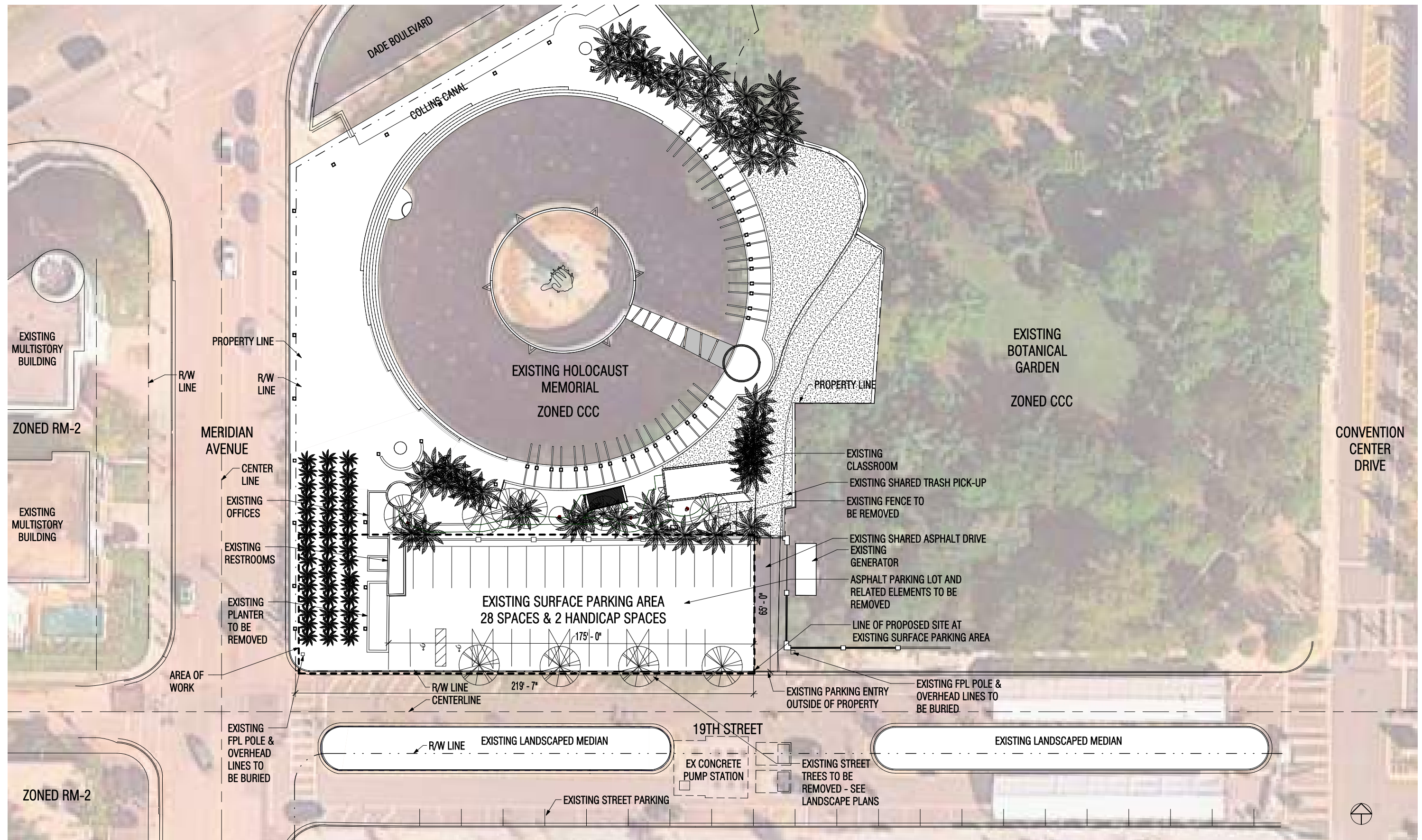
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DESIGN REVIEW BOARD RESUBMISSION

1933-1945 Meridian Avenue, Miami Beach, FL 33139

DRAWING: LOCATION MAP
SCALE: N.T.S.
DATE: March 1, 2022

A-01



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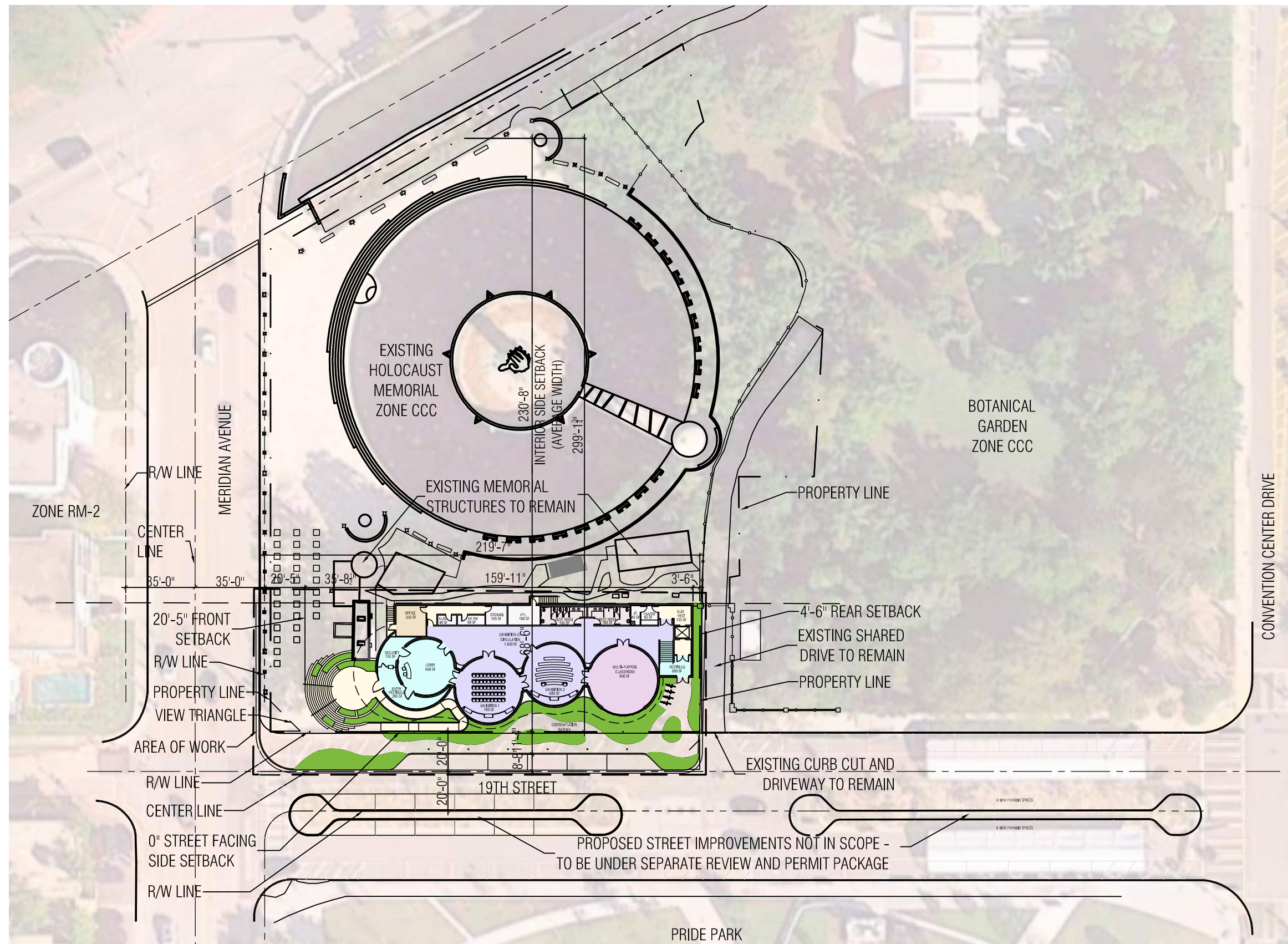
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DRAWING: EXISTING SITE PLAN
 SCALE: 1:20
 DATE: March 1, 2022

A-02



LAND USE STUDY

ZONING: CCC
ADJACENT DEVELOPMENT ZONE: RM-2
FEMA: FLOOD ZONE EL+8
FAR REQ'D: 2.75 MAX
BUILDING HEIGHT: 100' MAX

PROPOSED BUILDING OCCUPANCY: A-3 ASSEMBLY
EXISTING FLOOR AREA: 1,717 SF
PROPOSED NEW FLOOR AREA: 7,690 SF
TOTAL FLOOR AREA: 9,677 SF
SITE AREA: 72,826 SF (1.672 ACRES)
FAR: 0.13

RM-2 LOT STANDARDS:
MIN LOT AREA - 7,000 SF
MIN LOT WIDTH - 50 FT
MIN SIZE - NEW CONSTRUCTION - 550 SF

SETBACK REQUIREMENTS FOR RM-2:
FRONT SETBACK - 20'
SIDE, INTERIOR - 10' MIN OR 8% LOT WIDTH = 23'-11 $\frac{1}{4}$ "
SIDE, STREET FACING - 10' MIN OR 8% LOT WIDTH = 23'-11 $\frac{1}{4}$ "
- TOTAL SIDE YARDS MIN 16% WIDTH
REAR SETBACK - 10% LOT DEPTH MIN = 21'-11 $\frac{1}{2}$ "

PROVIDED SETBACKS:
FRONT SETBACK - 20'-5"
SIDE, INTERIOR - 230'-8" (AVERAGE WIDTH)
SIDE STREET FACING - 0'-0"
REAR SETBACK - 3'-6"
ALLOWED PROJECTIONS INTO YARD: 5' FOR ADA WALKWAYS
- 25% MAX FOR ROOF OVERHANGS

PARKING ANALYSIS - MIAMI BEACH PARKING DISTRICT 1:

NEW CCC REQUIRED PARKING:
AUDITORIUM USE: 1 SPACE PER 1,000 SF AVAILABLE FOR SEATING
1 SPACE / 4,040 SF = 5 ADDITIONAL PARKING SPACES
ACCESSIBLE SPACES - 1 REQUIRED (FOR 1-25 SPACES)

NEW CCC PROVIDED PARKING:
0 SPACES PROVIDED

EXISTING ONSITE PARKING:
30 SPACES INCLUDING 2 ACCESSIBLE SPACES
5 DEDICATED TO THE MEMORIAL, 25 PUBLIC PARKING

DISPLACED PARKING RELOCATION SHALL BE PROPOSED UNDER A SEPARATE STREET IMPROVEMENT PERMIT PACKAGE, AND IS NOT INCLUDED IN THIS REVIEW SUBMISSION



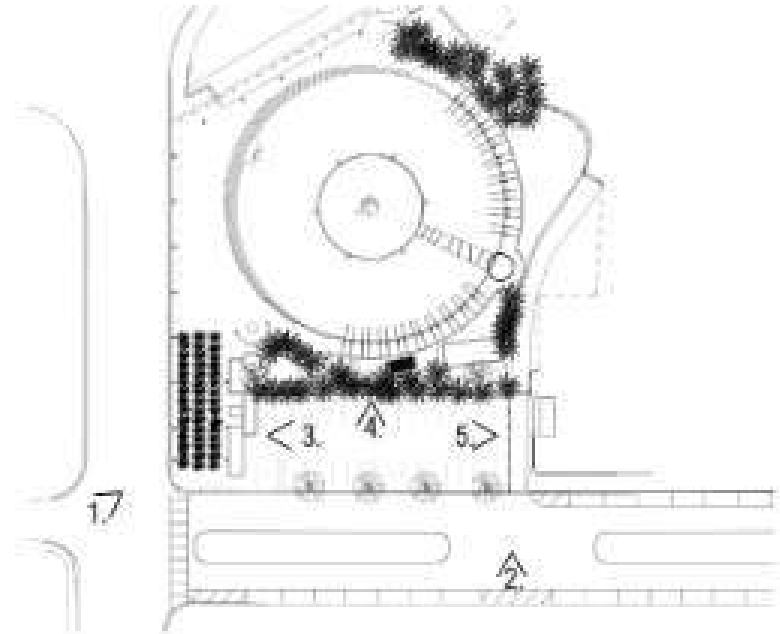
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DRAWING: SITE PLAN
SCALE: 1:40
DATE: March 1, 2022

A-03



KEY PLAN



1. VIEW FROM MERIDIAN AVE



2. ENTRY VIEW FROM 19TH STREET



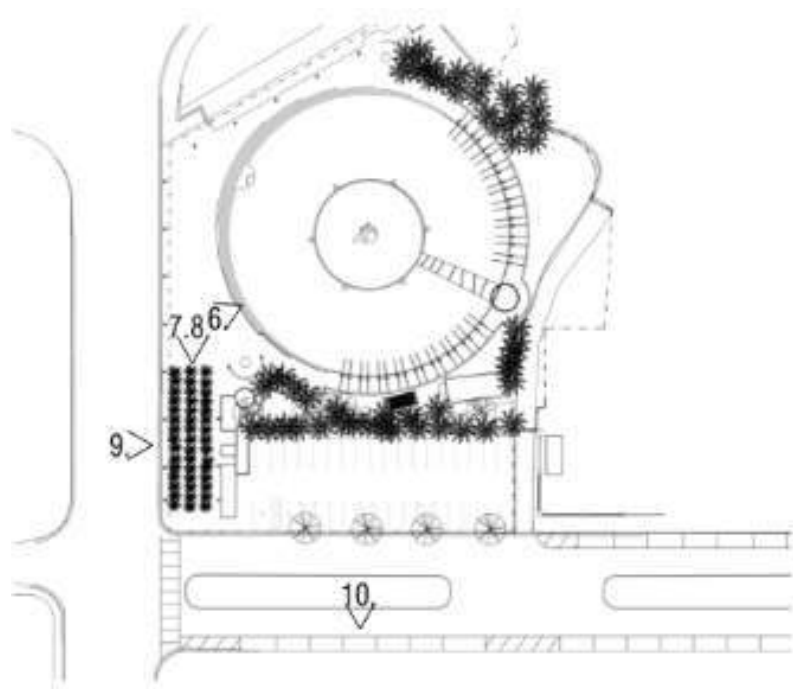
3. SITE WEST VIEW



4. SITE NORTH VIEW



5. SITE EAST VIEW



KEY PLAN



6. EXISTING MEMORIAL



7. EXISTING STRUCTURES



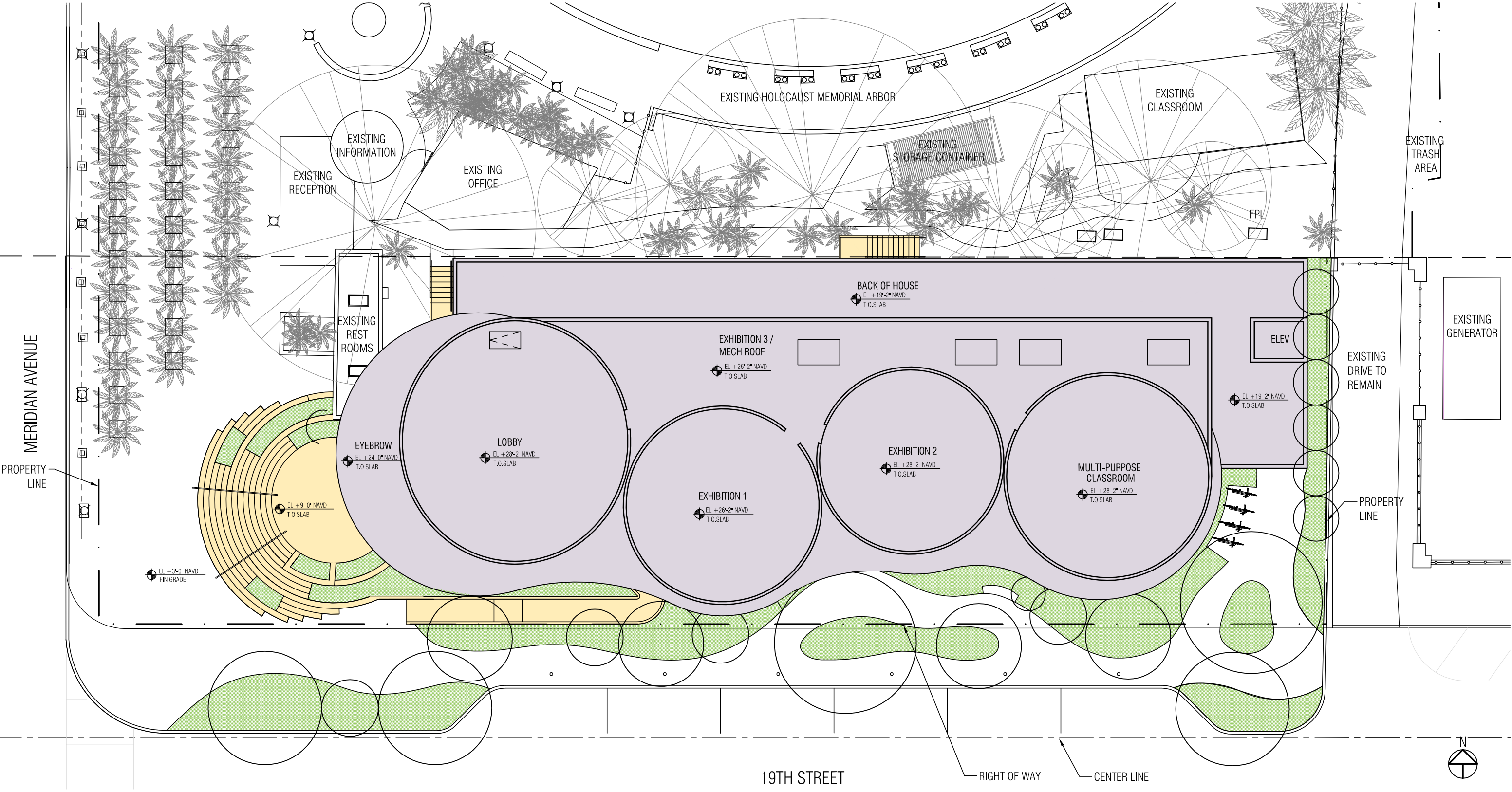
8. APPROACH FROM MEMORIAL



9. EXISTING STRUCTURES



10. VIEW TO PARK



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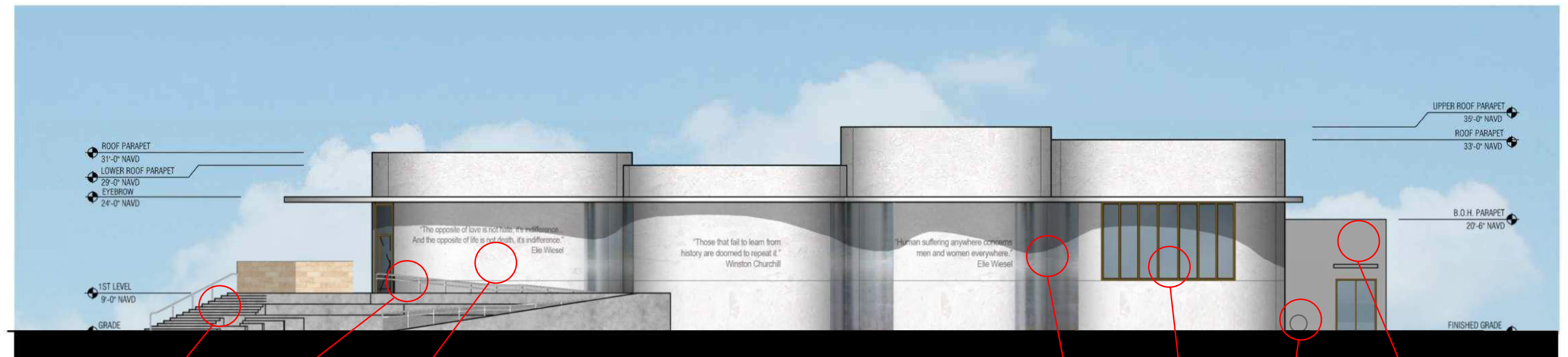
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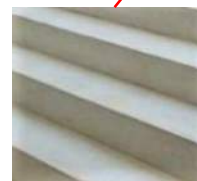
DRAWING: ROOF PLAN
SCALE: 1/16" = 1'-0"
DATE: March 1, 2022

A-11

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SOUTH ELEVATION WITHOUT LANDSCAPE



CONCRETE STAIR AND PLANTERS



42" MESH GUARDRAIL



PRE-CAST WHITE CONCRETE



CURVED REFLECTIVE GLAZING



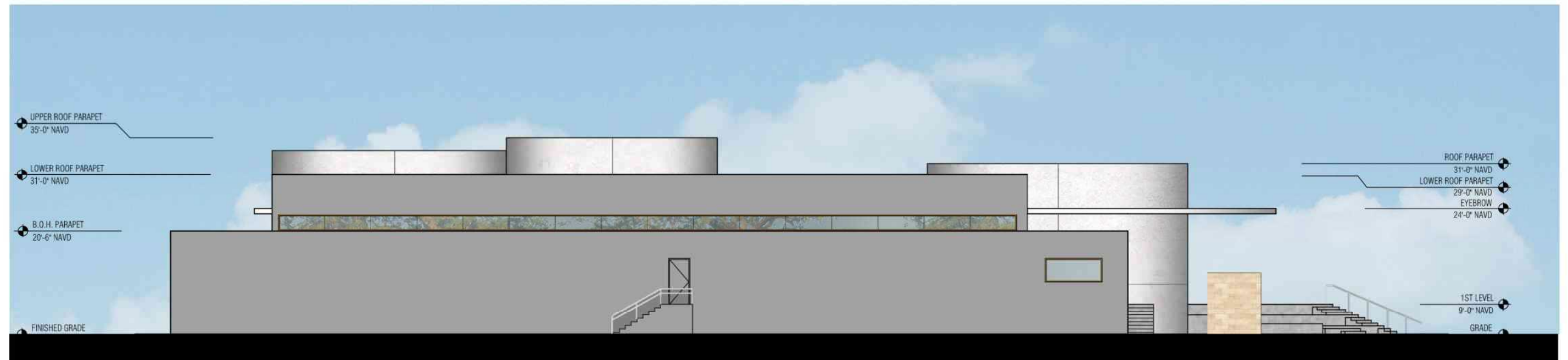
BRONZE STOREFRONT FRAME



BIKE RACK



GRAY STUCCO



NORTH ELEVATION WITHOUT LANDSCAPE

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DRAWING: EXTERIOR ELEVATIONS W/O LANDSCAPE

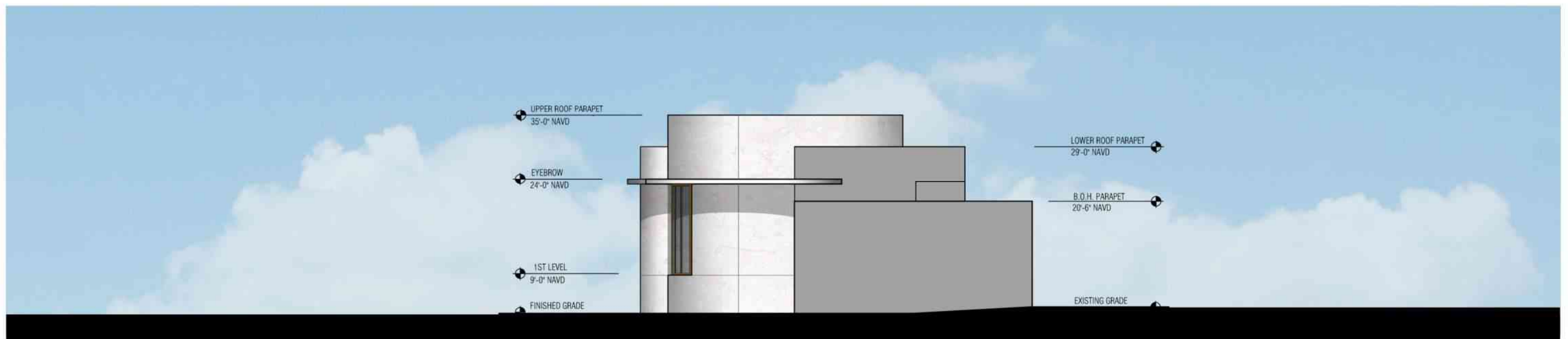
SCALE: 1/16" = 1'-0"

DATE: March 1, 2022

A-20



WEST ELEVATION WITHOUT LANDSCAPE



EAST ELEVATION WITHOUT LANDSCAPE

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DRAWING: EXTERIOR ELEVATIONS W/O LANDSCAPE

SCALE: 1/16" = 1'-0"

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SOUTH ELEVATION WITH LANDSCAPE



NORTH ELEVATION WITH LANDSCAPE

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DRAWING: EXTERIOR ELEVATIONS WITH LANDSCAPE

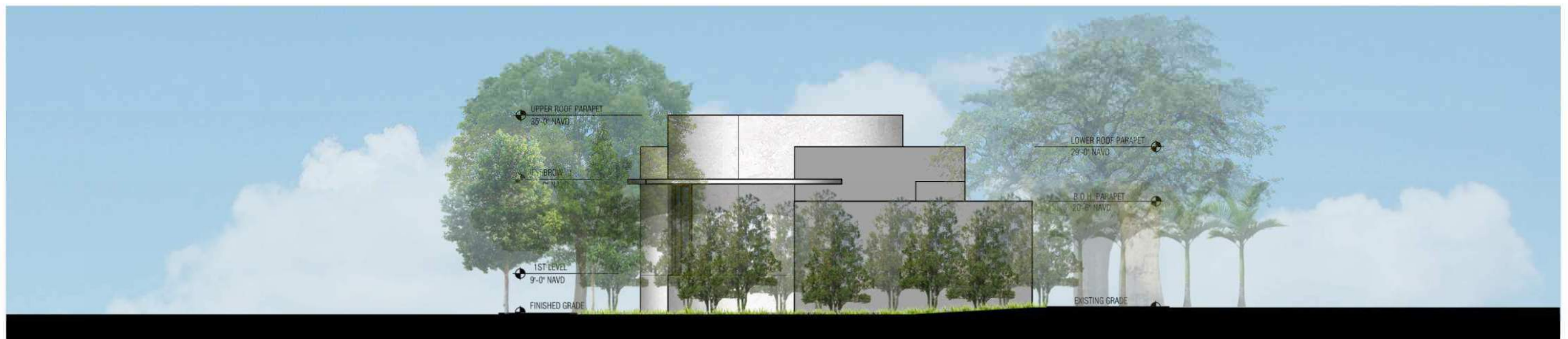
SCALE: 1/16" = 1'-0"

DATE: March 1, 2022

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WEST ELEVATION WITH LANDSCAPE



EAST ELEVATION WITH LANDSCAPE

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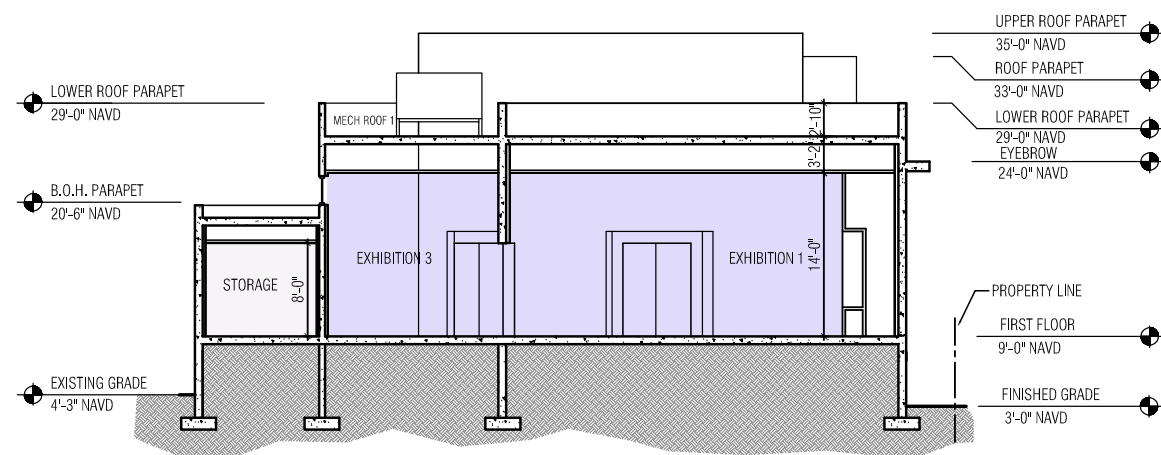
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DRAWING: EXTERIOR ELEVATIONS WITH LANDSCAPE

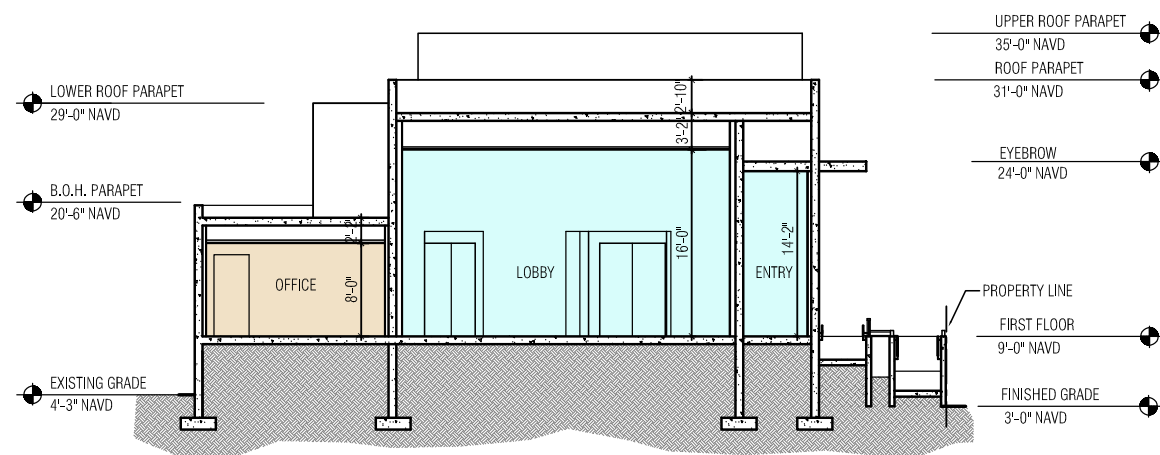
SCALE: 1/16" = 1'-0"

DATE: March 1, 2022

A-23

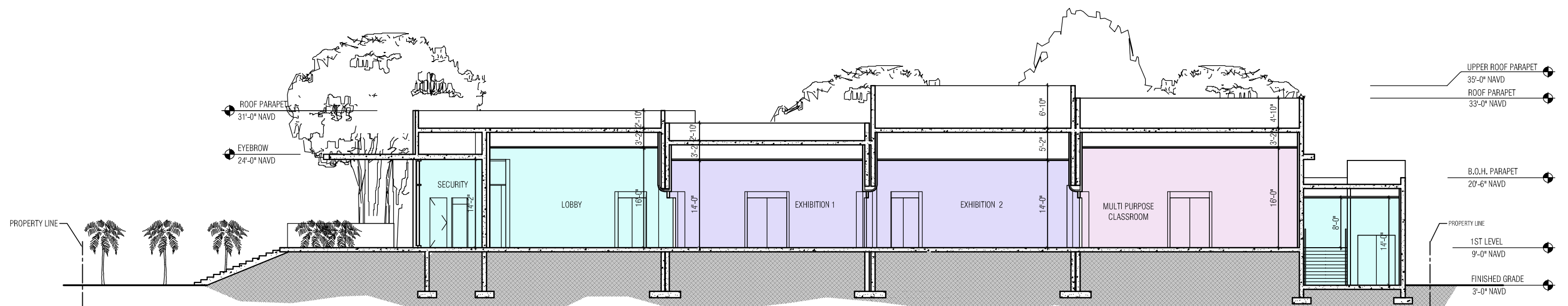


EAST FACING SECTION 1



EAST FACING SECTION 2

- AREA LEGEND
- ADMINISTRATION
 - BACK OF HOUSE
 - EXHIBITION
 - LOBBY
 - MULTI PURPOSE CLASSROOM



NORTH FACING SECTION

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DRAWING: BUILDING SECTIONS

SCALE: 1/16" = 1'-0"

DATE: March 1, 2022

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Lobby
Scheme 4

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DRAWING: LOBBY CONCEPT
SCALE:
DATE: March 1, 2022

A-31



Theater 1 and 2 (Intro AV)
Scheme 4

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DRAWING: EXHIBIT 1 & 2 THEATER INTRODUCTION
SCALE:
DATE: March 1, 2022

A-32



Theater 1 and 2 (Testimonials)
Scheme 4

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DRAWING: EXHIBIT 1 & 2 TESTIMONIALS
SCALE:
DATE: March 1, 2022

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Theater 2
Scheme 2

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DRAWING: EXHIBIT 1 & 2
SCALE:
DATE: March 1, 2022

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Classroom
Scheme 4

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DRAWING: CLASSROOM CONCEPT
SCALE:
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DRAWING: AERIAL RENDERING
 SCALE:
 DATE: March 1, 2022

A-40



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DRAWING: AERIAL RENDERING SOUTH
 SCALE:
 DATE: March 1, 2022

A-41



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DRAWING: RENDERING - DAY VIEW
 SCALE:
 DATE: March 1, 2022

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DRAWING: RENDERING - DAY VIEW WITH LANDSCAPING
 SCALE:
 DATE: March 1, 2022

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DRAWING: RENDERING - NIGHT VIEW
 SCALE:
 DATE: March 1, 2022

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DRAWING: RENDERING - NIGHT VIEW WITH LANDSCAPING
 SCALE:
 DATE: March 1, 2022

A-45