

QR CODE



CA No. 33204  
16521 SW 297 TERRACE  
MIAMI, FL 33033  
305.785.3300

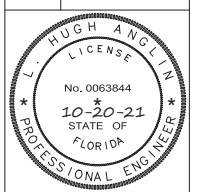
OWNER:

333 JEFFERSON HOLDING LLC  
NATHANIEL COHEN MBR  
2800 BISCAYNE BLVD PH FLOOR  
MIAMI, FL, 33137

JOB TITLE &  
ADDRESS:

JEFFERSON APARTMENTS/HOTEL  
333 JEFFERSON AVENUE  
MIAMI BEACH, FL 33139

SHEET TITLE : ELEVATIONS (BUILDING 345)



L. HUGH ANGLIN, P.E.  
P.E. #63844

REVISION DATE:

REV 10/20/21  
ELEVATIONS

CAD FILE:

SCALE:

DRAWN:

JOB:

SHEET:

**A1.19**  
OF: SHEETS

PROPOSED BUILDING 345

A

B

C

D

E

F

A

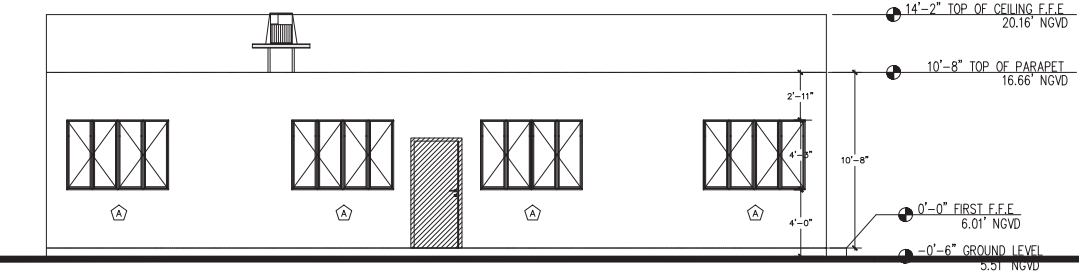
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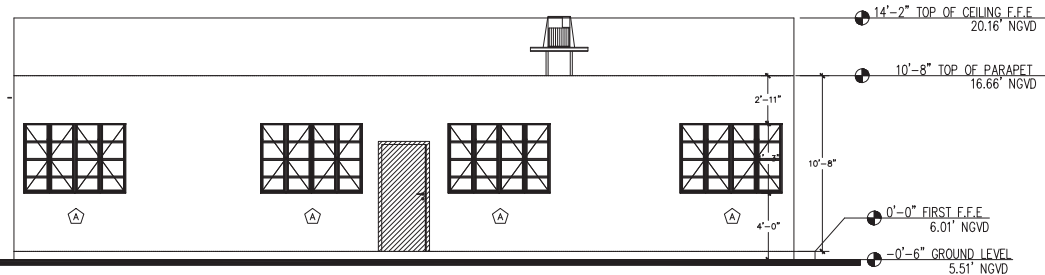
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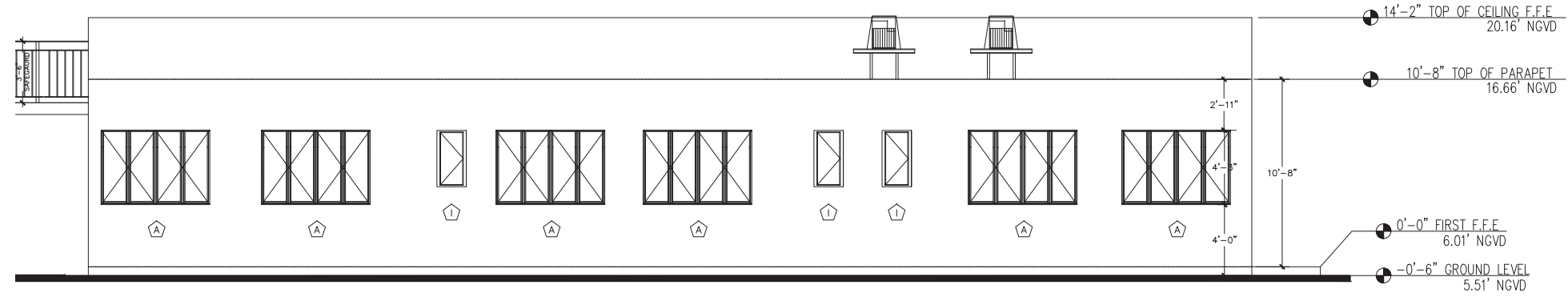
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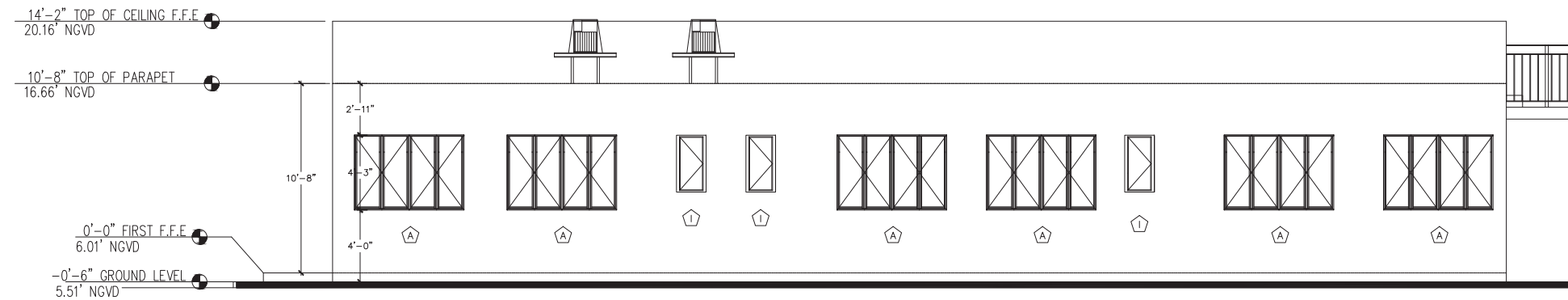
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EAST  
SCALE: 3/16" = 1'-0"



SOUTH  
SCALE: 1/4" = 1'-0"



NORTH  
SCALE: 1/4" = 1'-0"

QR CODE



CA No. 33204  
16521 SW 297 TERRACE  
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305.785.3300

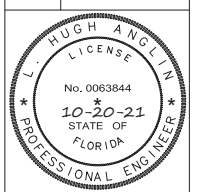
OWNER:

333 JEFFERSON HOLDING LLC  
NATHANIEL COHEN MBR  
2800 BISCAYNE BLVD PH FLOOR  
MIAMI, FL, 33137

SHEET TITLE : ELEVATIONS (BUILDING 345)

JOB TITLE & ADDRESS:

JEFFERSON APARTMENTS/HOTEL  
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MIAMI BEACH, FL 33139



L. HUGH ANGLIN, P.E.  
P.E. #63844

REVISION DATE:

REV 10/20/21  
ELEVATIONS

CAD FILE:

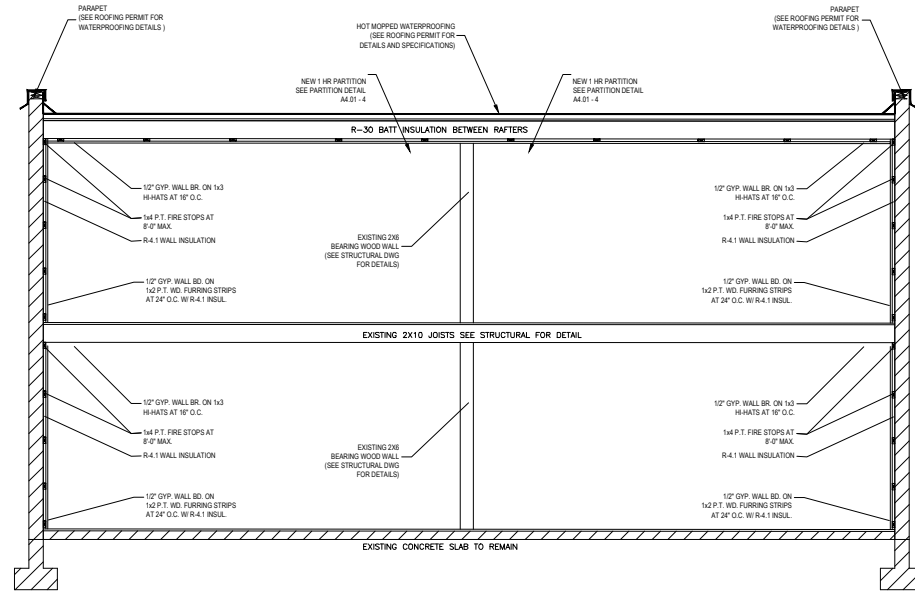
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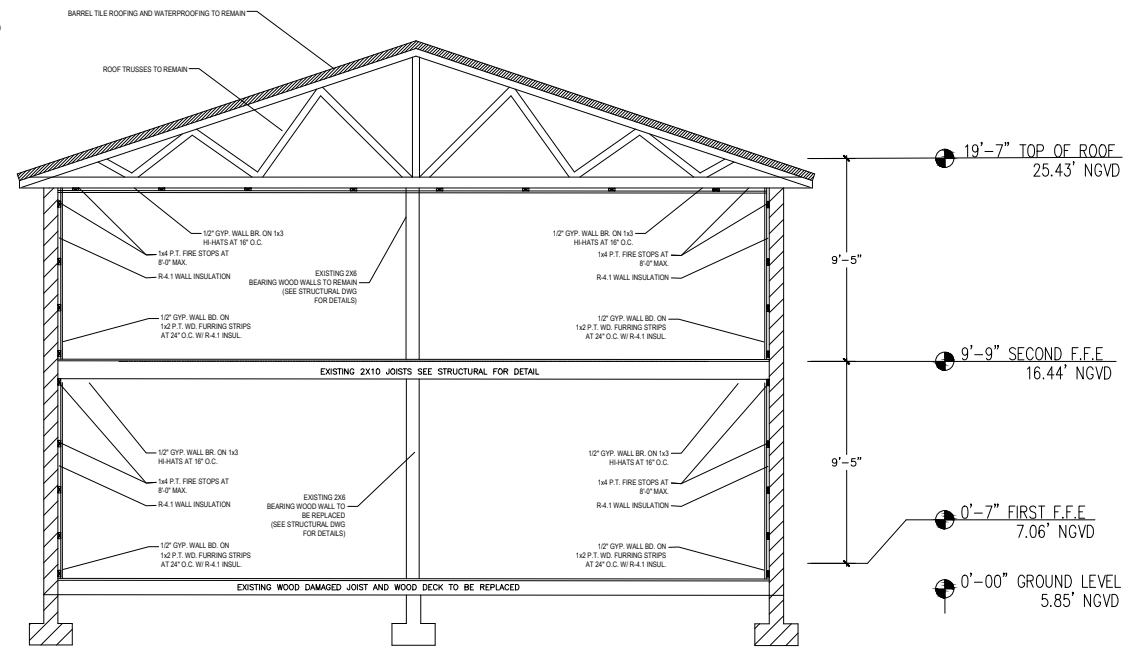
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SHEET: **A1.19A**  
OF: SHEETS

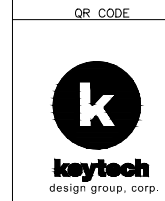
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**BUILDING 343 SECTION**  
SCALE: 1/2" = 1'-0"



**BUILDING 333 SECTION**  
SCALE: 1/2" = 1'-0"

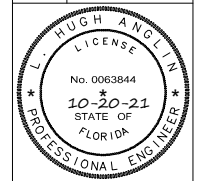


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333 JEFFERSON HOLDING LLC  
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MIAMI, FL. 33137

JOB TITLE &  
ADDRESS:  
JEFFERSON APARTMENTS/HOTEL  
333 JEFFERSON AVENUE  
MIAMI BEACH, FL. 33139

SHEET TITLE : BUILDING SECTIONS 333-343 BUILDINGS



L. HUGH ANGLIN, P.E.  
P.E. #63844

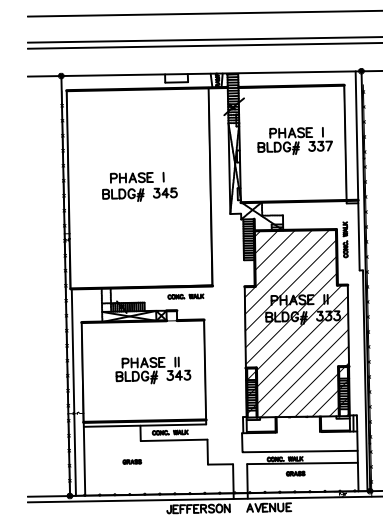
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REV 10/20/21  
ELEVATIONS

CAD FILE:  
SCALE:  
DRAWN:  
JOB:

SHEET:  
OF: **A1.20** SHEETS



# 333 BUILDING EXTERIOR CURRENT (2021)



LOCATION MAP  
SCALE : NTS

QR CODE



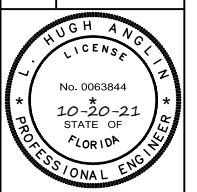
**keytech**  
design group, corp.

CA No. 33204  
16521 SW 297 TERRACE  
MIAMI, FL 33033  
305.785.3300

OWNER:  
333 JEFFERSON HOLDING LLC  
NATHANIEL COHEN MBR  
2800 BISCAYNE BLVD PH FLOOR  
MIAMI, FL. 33137

JOB TITLE &  
ADDRESS:  
JEFFERSON APARTMENTS/HOTEL  
333 JEFFERSON AVENUE  
MIAMI BEACH, FL 33139

SHEET TITLE : IMAGES 333



L. HUGH ANGLIN, P.E.  
P.E. #63844

REVISION DATE:

CAD FILE:

SCALE:

DRAWN:

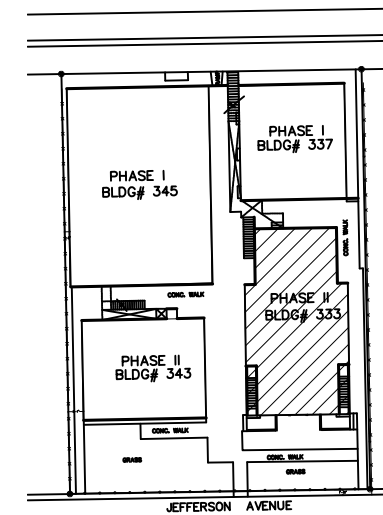
JOB:

SHEET:

**A2.01**  
SHEETS



# 333 BUILDING INTERIOR PICTURES CURRENT (2021)



LOCATION MAP  
SCALE : NTS

QR CODE

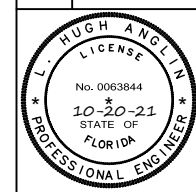
**keytech**  
design group, corp.

CA No. 33204  
16521 SW 297 TERRACE  
MIAMI, FL 33033  
305.785.3300

OWNER:  
333 JEFFERSON HOLDING LLC  
NATHANAEEL COHEN MBR  
2800 BISCAYNE BLVD PH FLOOR  
MIAMI, FL. 33137

JOB TITLE &  
ADDRESS:  
JEFFERSON APARTMENTS/HOTEL  
333 JEFFERSON AVENUE  
MIAMI BEACH, FL 33139

SHEET TITLE : IMAGES 333



L. HUGH ANGLIN, P.E.  
P.E. #63844

REVISION DATE:

CAD FILE:

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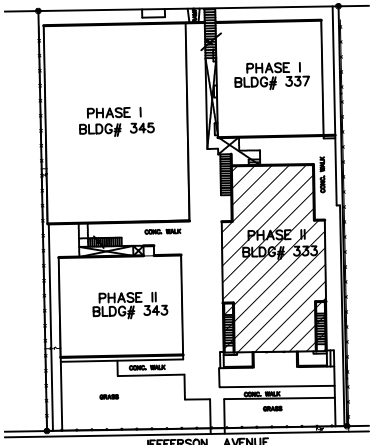
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OF: SHEETS



333 BUILDING ORIGINAL PICTURES (2017)



LOCATION MAP  
SCALE : NTS

QR CODE

keytech  
design group, corp.

CA No. 33204  
16521 SW 297 TERRACE  
MIAMI, FL 33033  
305.785.3300

OWNER:  
333 JEFFERSON HOLDING LLC  
NATHANIEL COHEN MBR  
2800 BISCAYNE BLVD PH FLOOR  
MIAMI, FL. 33137

JOB TITLE & ADDRESS:  
JEFFERSON APARTMENTS/HOTEL  
333 JEFFERSON AVENUE  
MIAMI BEACH, FL 33139

SHEET TITLE : IMAGES 333

L. HUGH ANGLIN, P.E.  
P.E. #63844

REVISION DATE:

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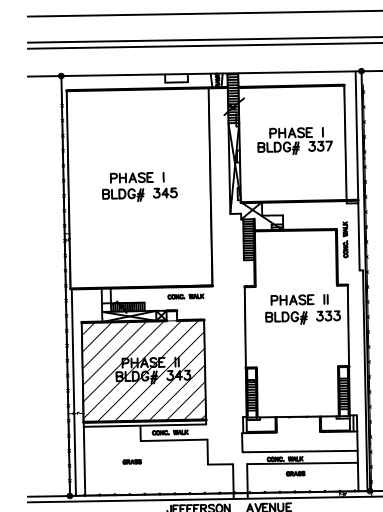
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**A2.01B**

OF: SHEETS



# 343 BUILDING EXTERIOR CURRENT (2021)



LOCATION MAP  
SCALE : NTS



QR CODE



**keytech**  
design group, corp.

CA No. 33204  
16521 SW 297 TERRACE  
MIAMI, FL 33033  
305.785.3300

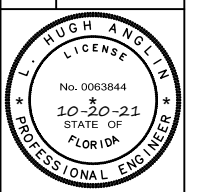
OWNER:

333 JEFFERSON HOLDING LLC  
NATHANAEEL COHEN MBR  
2800 BISCAYNE BLVD PH FLOOR  
MIAMI, FL. 33137

JOB TITLE &  
ADDRESS:

JEFFERSON APARTMENTS/HOTEL  
333 JEFFERSON AVENUE  
MIAMI BEACH, FL 33139

SHEET TITLE : IMAGES 343



L. HUGH ANGLIN, P.E.  
P.E. #63844

REVISION DATE:

CAD FILE:

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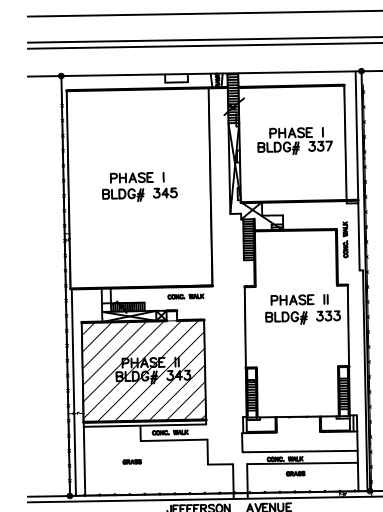
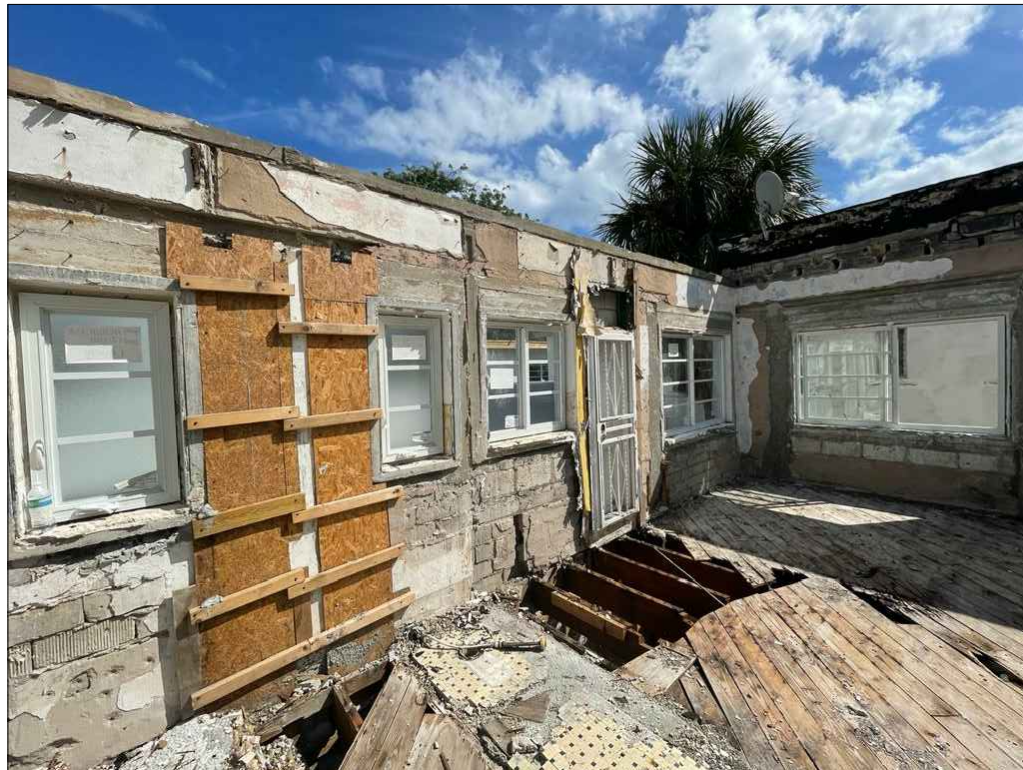
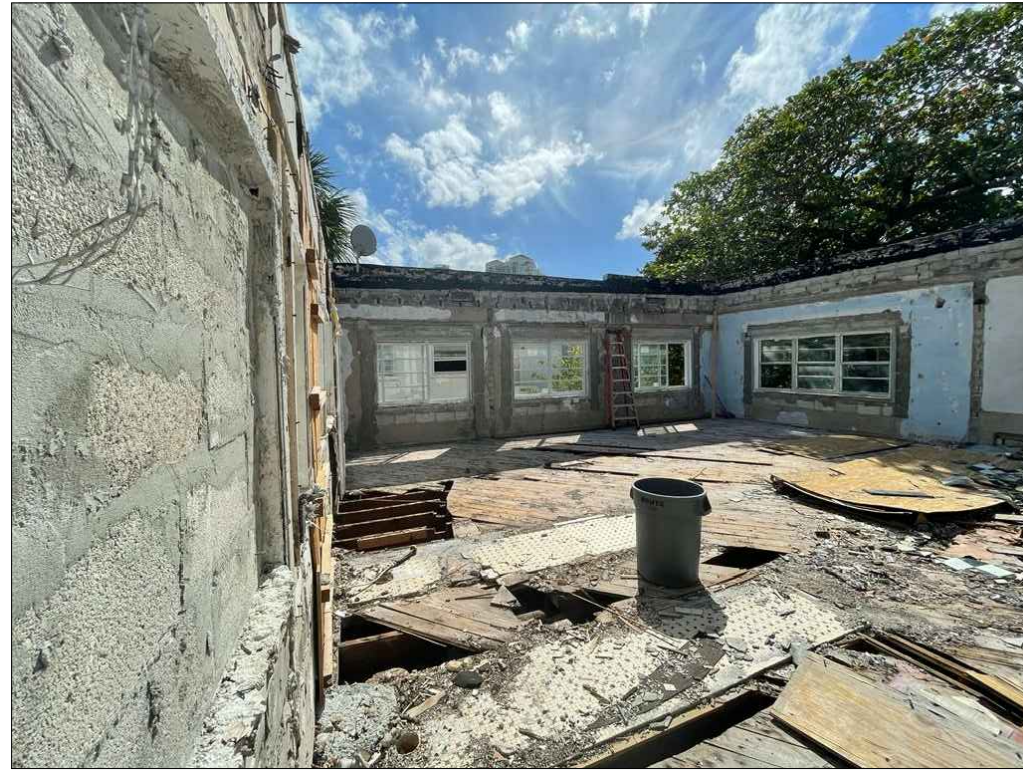
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OF: SHEETS



# 343 BUILDING INTERIOR PICTURES CURRENT (2021)



LOCATION MAP  
SCALE : NTS

QR CODE



CA No. 33204  
16521 SW 297 TERRACE  
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305.785.3300

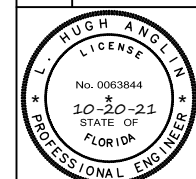
OWNER:

333 JEFFERSON HOLDING LLC  
NATHANAEEL COHEN MBR  
2800 BISCAYNE BLVD PH FLOOR  
MIAMI, FL. 33137

JOB TITLE &  
ADDRESS:

JEFFERSON APARTMENTS/HOTEL  
333 JEFFERSON AVENUE  
MIAMI BEACH, FL 33139

SHEET TITLE : IMAGES 343



L. HUGH ANGLIN, P.E.  
P.E. #63844

REVISION DATE:

CAD FILE:

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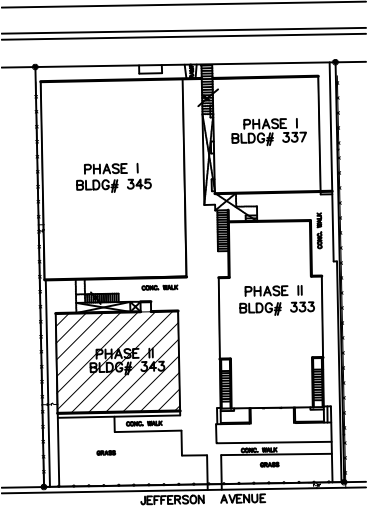
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OF:

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343 BUILDING ORIGINAL PICTURES (2017)



LOCATION MAP  
SCALE : NTS

QR CODE

**keytech**  
design group, corp.

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16521 SW 297 TERRACE  
MIAMI, FL 33033  
305.785.3300

OWNER:  
333 JEFFERSON HOLDING LLC  
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MIAMI, FL. 33137

JOB TITLE &  
ADDRESS:  
JEFFERSON APARTMENTS/HOTEL  
333 JEFFERSON AVENUE  
MIAMI BEACH, FL 33139

SHEET TITLE : IMAGES 343



L. HUGH ANGLIN, P.E.  
P.E. #63844

REVISION DATE:

CAD FILE:

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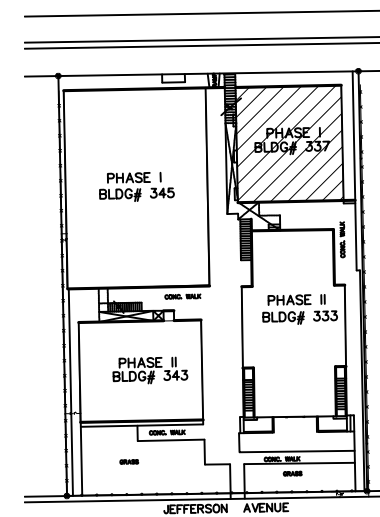
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**A2.02B**

OF: SHEETS



# 337 BUILDING EXTERIOR CURRENT (2021)



LOCATION MAP  
SCALE : NTS



QR CODE



CA No. 33204  
16521 SW 297 TERRACE  
MIAMI, FL 33033  
305.785.3300

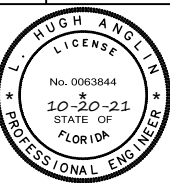
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333 JEFFERSON HOLDING LLC  
NATHANIEL COHEN MBR  
2800 BISCAYNE BLVD PH FLOOR  
MIAMI, FL. 33137

JOB TITLE &  
ADDRESS:

JEFFERSON APARTMENTS/HOTEL  
333 JEFFERSON AVENUE  
MIAMI BEACH, FL 33139

SHEET TITLE : IMAGES 337



L. HUGH ANGLIN, P.E.  
P.E. #63844

REVISION DATE:

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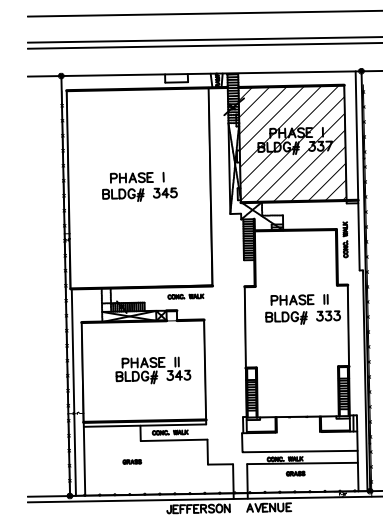
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# 337 BUILDING INTERIOR PICTURES CURRENT (2021)



LOCATION MAP  
SCALE : NTS

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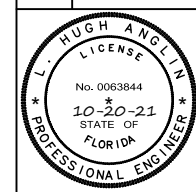


**keytech**  
design group, corp.

CA No. 33204  
16521 SW 297 TERRACE  
MIAMI, FL 33033  
305.785.3300

OWNER:  
333 JEFFERSON HOLDING LLC  
NATHANIEL COHEN MBR  
2800 BISCAYNE BLVD PH FLOOR  
MIAMI, FL. 33137

JOB TITLE &  
ADDRESS:  
JEFFERSON APARTMENTS/HOTEL  
333 JEFFERSON AVENUE  
MIAMI BEACH, FL 33139



L. HUGH ANGLIN, P.E.  
P.E. #63844

REVISION DATE:

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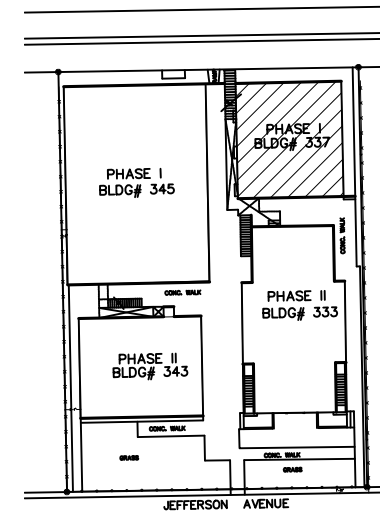
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OF: SHEETS

SHEET TITLE : IMAGES 337



# 337 BUILDING ORIGINAL PICTURES (2017)



LOCATION MAP  
SCALE : NTS

QR CODE



**keytech**  
design group, corp.

CA No. 33204  
16521 SW 297 TERRACE  
MIAMI, FL 33033  
305.785.3300

OWNER:  
333 JEFFERSON HOLDING LLC  
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MIAMI, FL. 33137

JOB TITLE &  
ADDRESS:  
JEFFERSON APARTMENTS/HOTEL  
333 JEFFERSON AVENUE  
MIAMI BEACH, FL 33139

SHEET TITLE : IMAGES 337

L. HUGH ANGLIN, P.E.  
P.E. #63844

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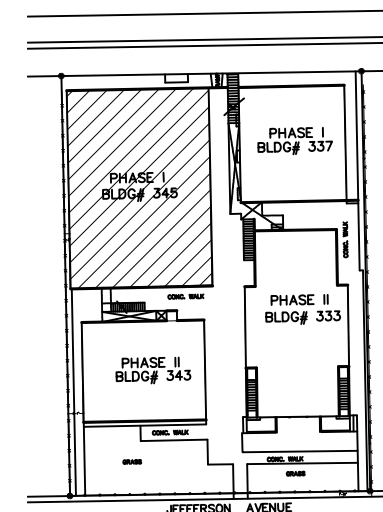
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**A2.03B**

OF: SHEETS



# 345 BUILDING EXTERIOR CURRENT (2021)



LOCATION MAP  
SCALE : NTS

QR CODE




**keytech**  
design group, corp.

CA No. 33204  
16521 SW 297 TERRACE  
MIAMI, FL 33033  
305.785.3300

OWNER:  
333 JEFFERSON HOLDING LLC  
NATHANAEEL COHEN MBR  
2800 BISCAYNE BLVD PH FLOOR  
MIAMI, FL. 33137

JOB TITLE & ADDRESS:  
JEFFERSON APARTMENTS/HOTEL  
333 JEFFERSON AVENUE  
MIAMI BEACH, FL 33139

SHEET TITLE : IMAGES 345



L. HUGH ANGLIN, P.E.  
P.E. #63844

REVISION DATE:

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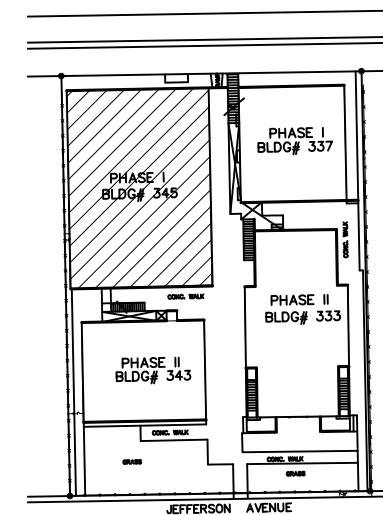
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# 345 BUILDING INTERIOR PICTURES CURRENT (2021)



LOCATION MAP  
SCALE : NTS

QR CODE




**keytech**  
design group, corp.

CA No. 33204  
16521 SW 297 TERRACE  
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305.785.3300

OWNER:  
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JOB TITLE &  
ADDRESS:  
JEFFERSON APARTMENTS/HOTEL  
333 JEFFERSON AVENUE  
MIAMI BEACH, FL 33139

SHEET TITLE : IMAGES 345



L. HUGH ANGLIN, P.E.  
P.E. #63844

REVISION DATE:

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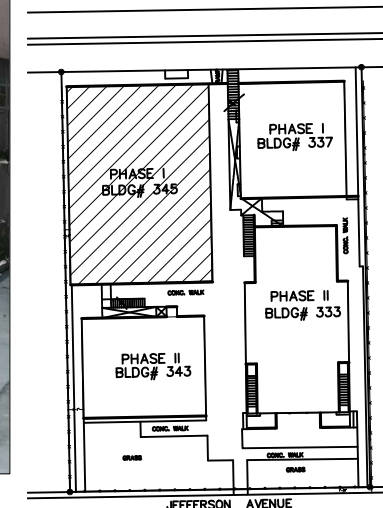
JOB:

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OF: SHEETS



# 345 BUILDING ORIGINAL PICTURES (2017)



LOCATION MAP  
SCALE : NTS



QR CODE

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MIAMI, FL. 33137

JOB TITLE & ADDRESS:  
JEFFERSON APARTMENTS/HOTEL  
333 JEFFERSON AVENUE  
MIAMI BEACH, FL 33139

SHEET TITLE : IMAGES 345

L. HUGH ANGLIN, P.E.  
P.E. #63844

REVISION DATE:

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OF: SHEETS



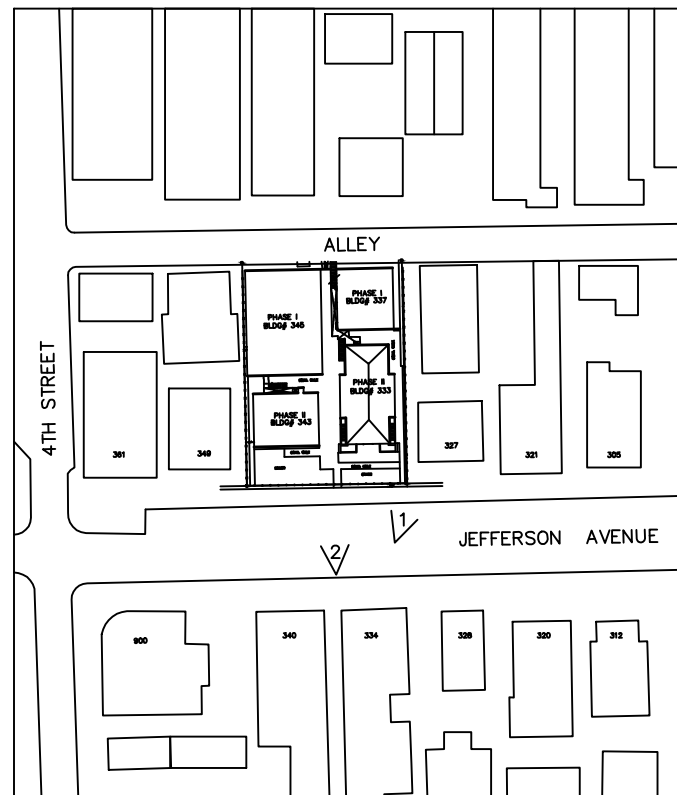
# SURROUNDING PROPERTIES PICTURES (2021)



**WEST VIEW (1)**



**WEST VIEW (2)**



**DIRECTIONAL PLAN**

GR CODE



CA No. 33204  
16521 SW 297 TERRACE  
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305.785.3300

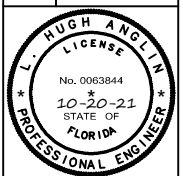
OWNER:

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NATHANIEL COHEN MBR  
2800 BISCAYNE BLVD PH FLOOR  
MIAMI, FL. 33137

JOB TITLE &  
ADDRESS:

JEFFERSON APARTMENTS/HOTEL  
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MIAMI BEACH, FL 33139

SHEET TITLE : SURROUNDING PROPERTIES PICTURES



L. HUGH ANGLIN, P.E.  
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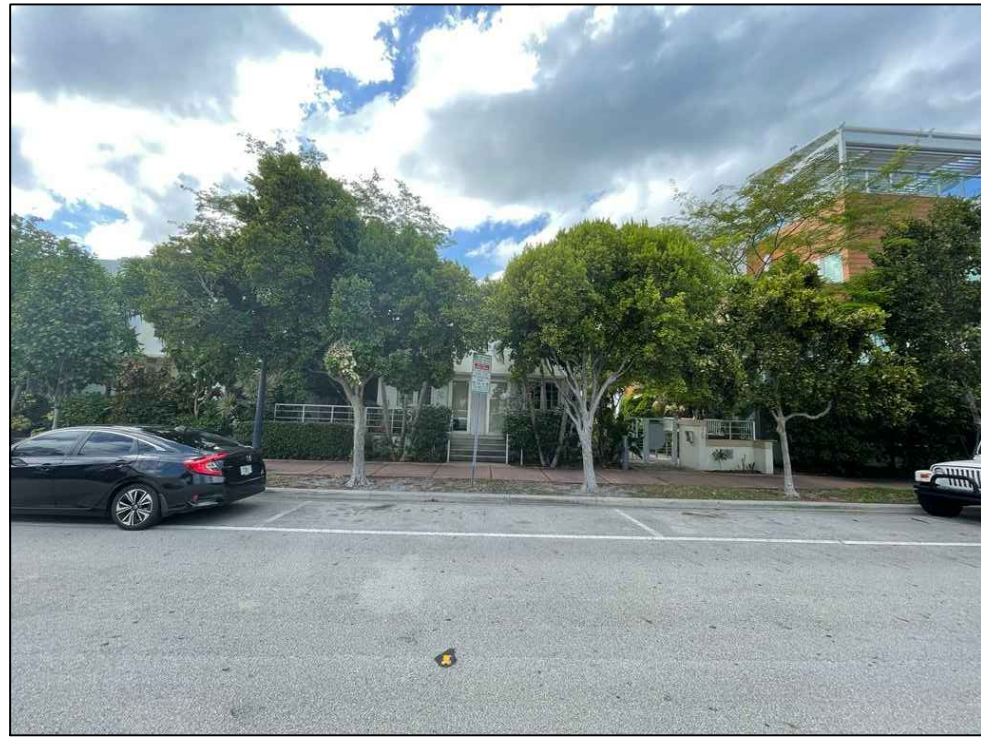
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OF SHEETS



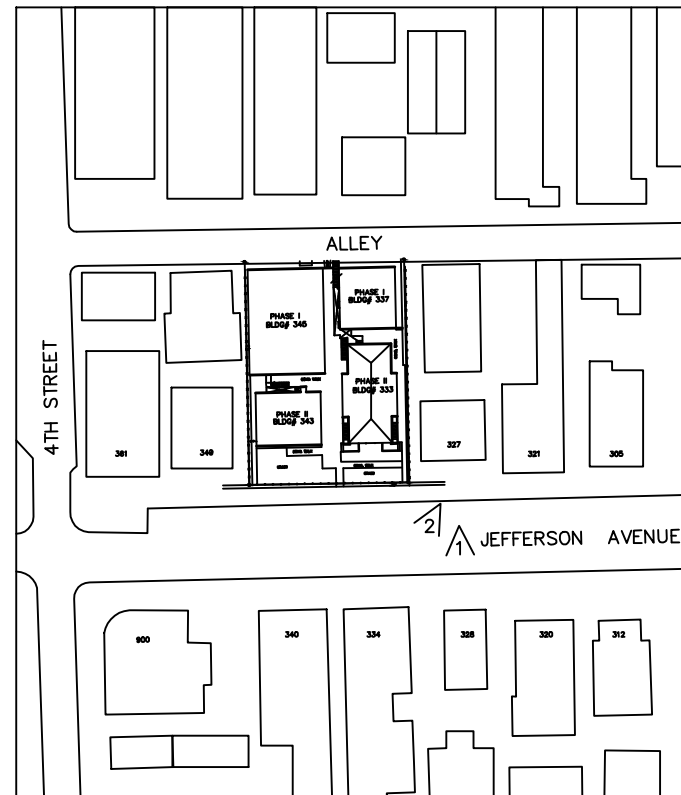
# SURROUNDING PROPERTIES PICTURES (2021)



**EAST VIEW (1)**



**EAST VIEW (2)**



GR CODE



CA No. 33204  
16521 SW 297 TERRACE  
MIAMI, FL 33033  
305.785.3300

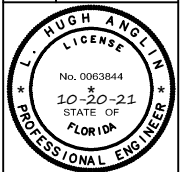
OWNER:

333 JEFFERSON HOLDING LLC  
NATHANIEL COHEN MBR  
2800 BISCAYNE BLVD PH FLOOR  
MIAMI, FL. 33137

SHEET TITLE : SURROUNDING PROPERTIES PICTURES

JOB TITLE & ADDRESS:

JEFFERSON APARTMENTS/HOTEL  
333 JEFFERSON AVENUE  
MIAMI BEACH, FL 33139



L. HUGH ANGLIN, P.E.  
P.E. #63844

REVISION DATE:

CAD FILE:

SCALE:

DRAWN:

JOB:

SHEET:  
**A2.06**  
OF: SHEETS



INDEX TABLE	
SHEET NUMBER	SHEET TITLE
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1	S-5
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4	S-7
5	S-8



Design-Build

Group, Inc.

Consulting Engineers  
CA #6609  
16521 SW 297 Terrace  
Miami, Florida 33033  
Tel: (305) 785-3300

OWNER:

333 JEFFERSON HOLDING LLC  
NATHANAEI COHEN MBR  
2800 BISCAYNE BLVD PH FLOOR  
MIAMI, FL. 33137

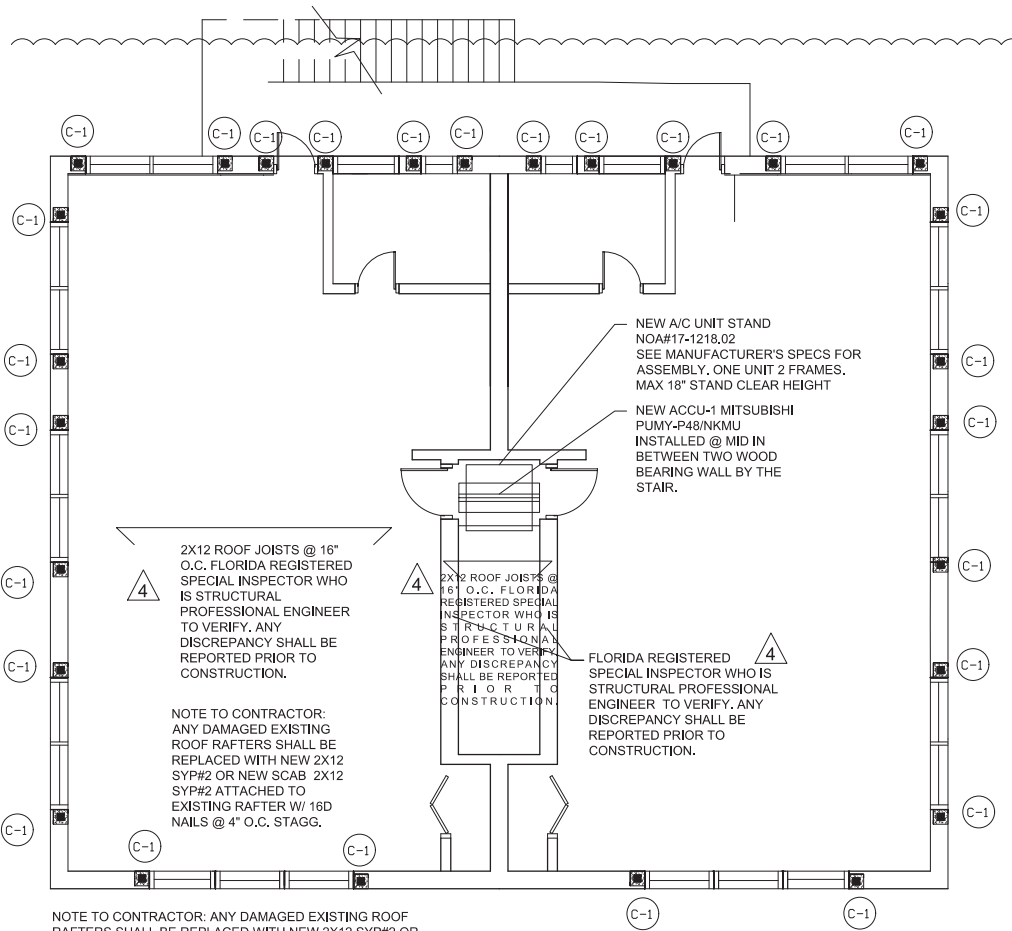
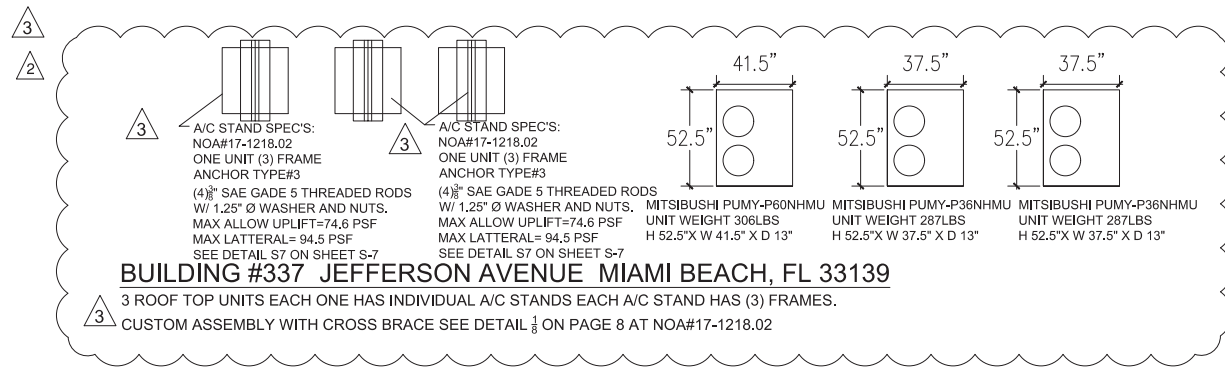
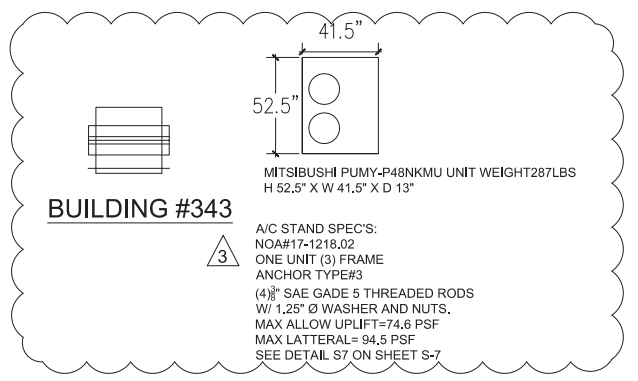
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ADDRESS:

JEFFERSON APARTMENTS/HOTEL  
333 JEFFERSON AVENUE  
MIAMI BEACH, FL 33139

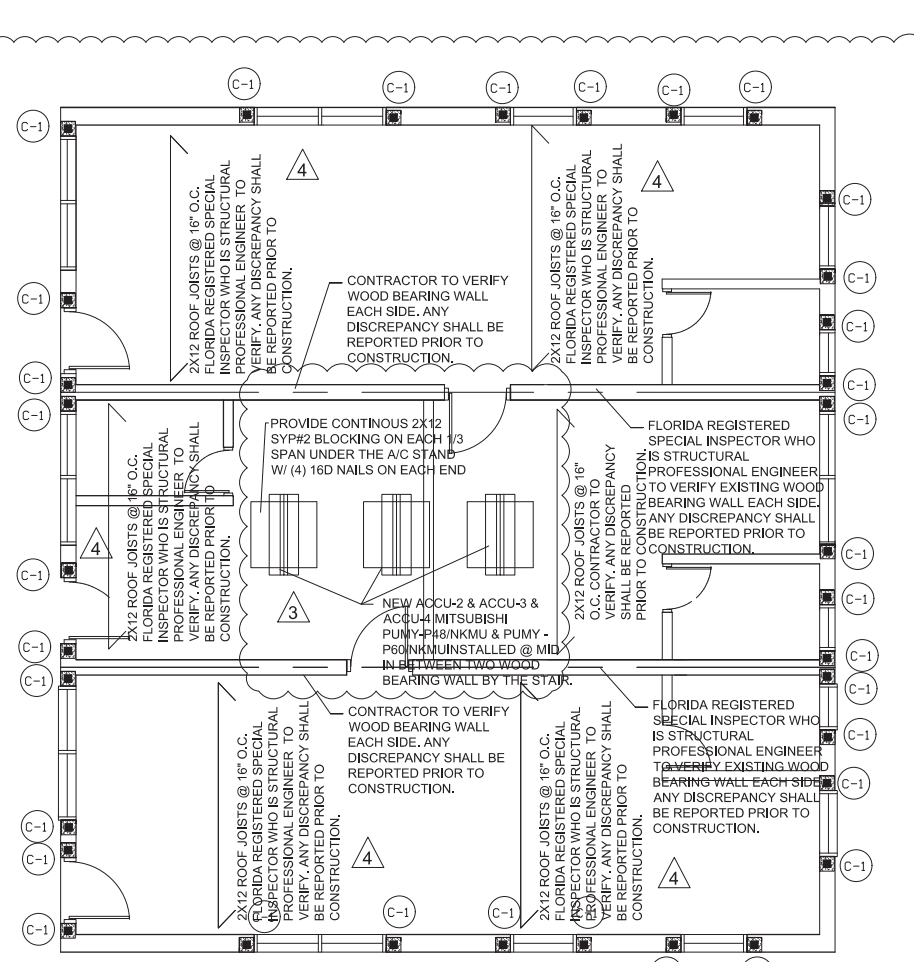
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REVISION DATE:	
1	COMMENTS 10/2/18
2	COMMENTS 6/18/19
3	COMMENTS 10/8/19
4	COMMENTS 1/10/20
CAD FILE:	
SCALE:	
DRAWN:	
JOB:	
SHEET:	<b>S-5</b>



**BUILDING #343**  
**EXISTING ROOF FRAMING PLAN & NEW ROOF TOP UNIT LOCATION**



**BUILDING #337 EXISTING ROOF FRAMING PLAN & NEW  
ROOF TOP UNIT LOCATION AT THE ROOF**



Design-Build  
Group, Inc.  
Consulting Engineers

CA #8609  
16521 SW 297 Terrace  
Miami, Florida 33033  
Tel: (305) 785-3300

OWNER:  
333 JEFFERSON HOLDING LLC  
NATHANAEAL COHEN MBR  
2800 BISCAYNE BLVD PH FLOOR  
MIAMI, FL. 33137

JOB TITLE &  
ADDRESS:

JEFFERSON APARTMENTS/HOTEL  
333 JEFFERSON AVENUE  
MIAMI BEACH, FL 33139

SHEET TITLE :

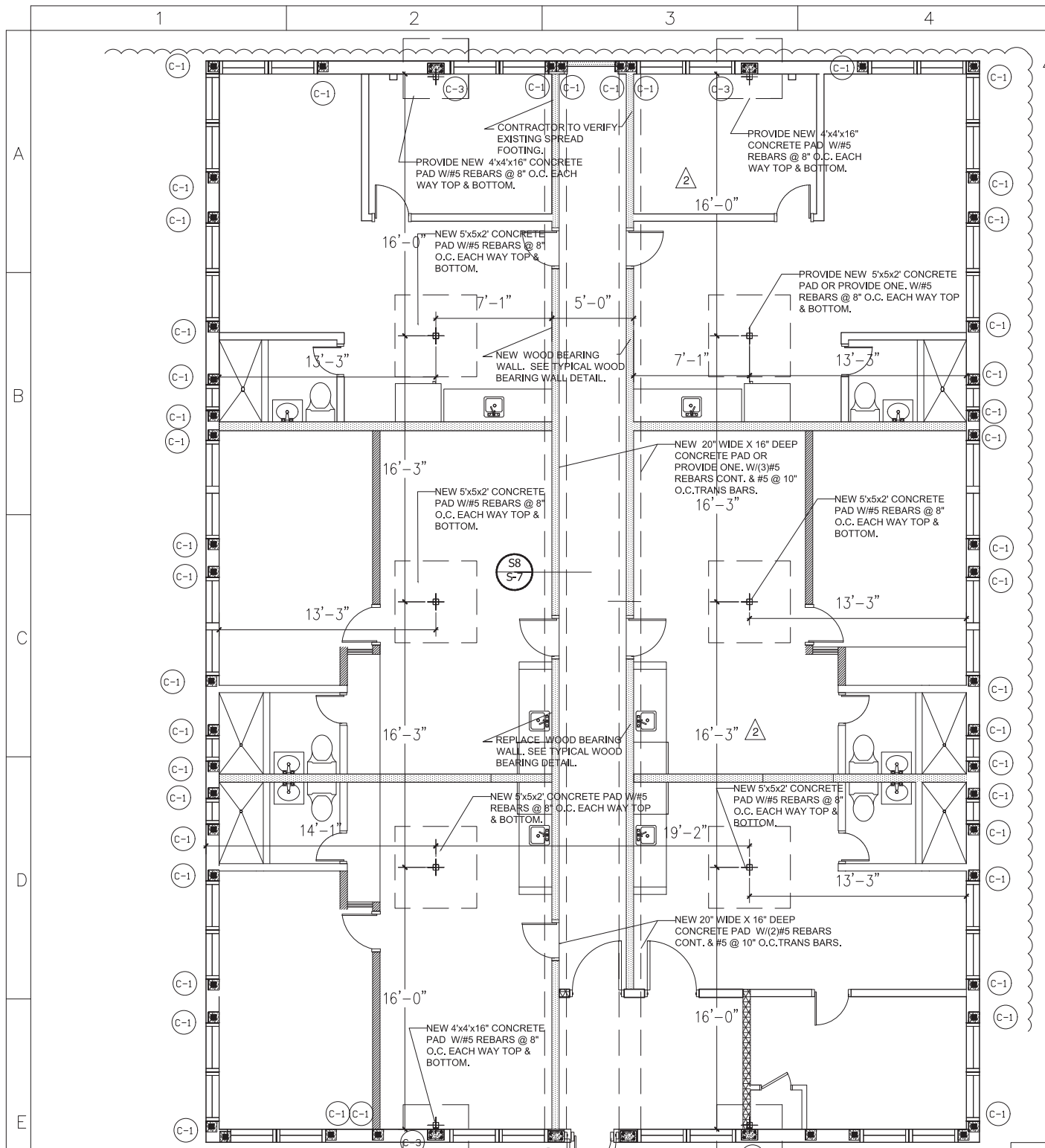


REVISION DATE:

1	COMMENTS 10/2/18
2	COMMENTS 6/18/19
3	COMMENTS 10/8/19
4	COMMENTS 1/10/20

CAD FILE:  
SCALE:  
DRAWN:  
JOB:  
SHEET:

**S-06**

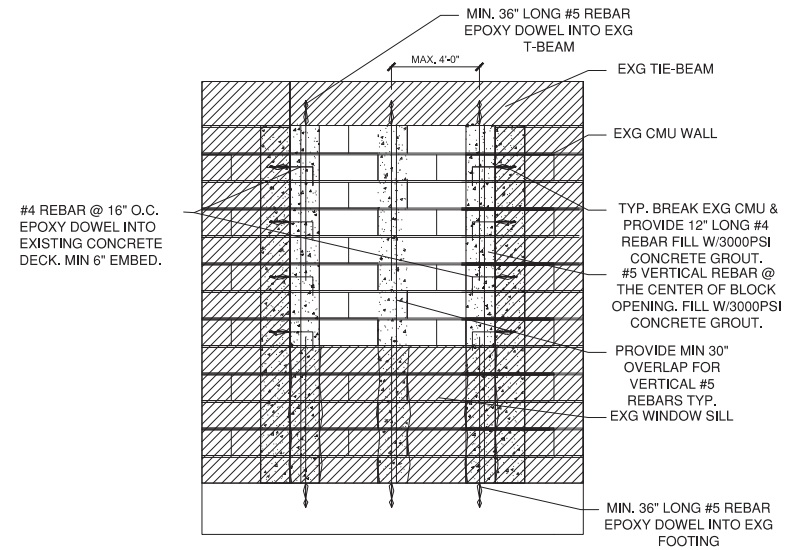
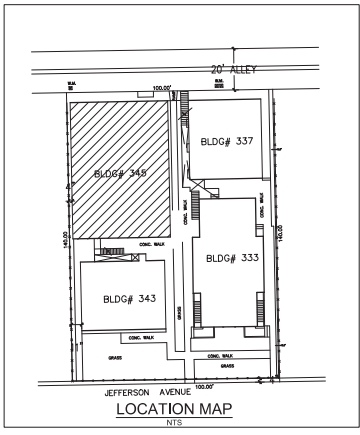


**BUILDING #345 EXISTING FOUNDATION PLAN**

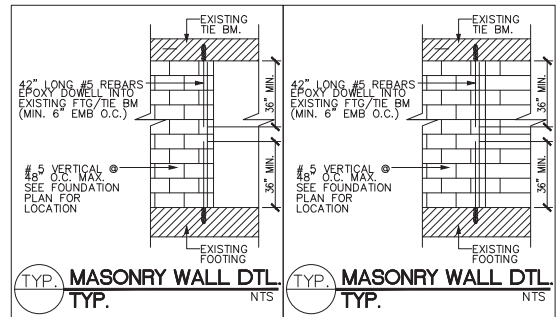
DIAPHRAGM SCHEDULE						
NOTE: THE USE OF PNEUMATIC FASTENERS SHALL BE USED AS SPECIFIED FOR THE FOLLOWING APPLICATIONS:						
LOCATION	PANEL GRADE	PANEL THICKNESS	FRAMING SPACING	DIAPHRAGM NAILING		REMARKS
				DIAPHRAGM EDGES	ZONE 1 & 3 INT.	
ROOF	APA RATED SHEATHING EXT. STRUCTURAL II	19/32"	24" D/C MAX	10d 4" D/C	10d 4" D/C	
EXTERIOR WALL	APA RATED SHEATHING EXT. STRUCTURAL II	19/32"	16" D/C MAX	10d 6" D/C	10d 12" D/C	
INTERIOR WALL	APA RATED SHEATHING EXT. STRUCTURAL I	19/32"	16" D/C MAX	8d 6" D/C	8d 12" D/C	
INTERIOR FLOOR	APA RATED SHEATHING EXT. STRUCTURAL I	3/4" T & G	24" D/C MAX	8d 4" D/C	8d 6" D/C	

EXTERIOR WINDOWS & DOORS ARE UNDER SEPARATE PERMIT.

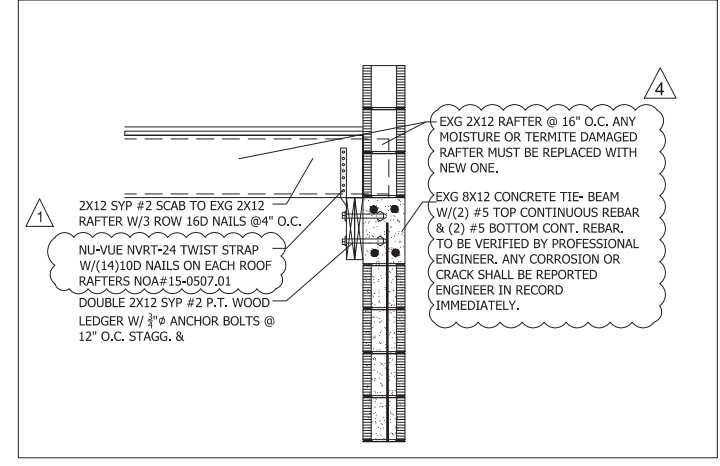
SCOOP OF WORK:  
-REPAIR STRUCTURAL INTERIORS AND ROOFTOP



A TYPICAL EXG MASONRY OPENING BLOCKING DETAIL



TYP. MASONRY WALL DTL



Z WOOD LEDGER DETAIL  
SCALE : 3/4" = 1'-0"

COLUMN SCHEDULE				f'c=3,000psi
MARK	SIZE	TYPE	DESCRIPTION	SYMBOL
C-1	8"x8"	BLOCK	CONC. BLK. W/FULLY GROUTED CELLS W/(1)#5 REBAR	■
C-2	3.5"x3.5"x1/4"	HSS	STEEL COLUMN	⊕
C-3	8"x12"	CONC. COL.	w/(4) #5 REBARS #3 STIRRUPS @ 8" O.C.	■
C-4	HSS4"x4"x1/4"	STEEL COLUMN		⊕



Design-Build

Group, Inc.  
Consulting Engineers

CA #6609  
16521 SW 297 Terrace  
Miami, Florida 33033  
Tel: (305) 785-3300

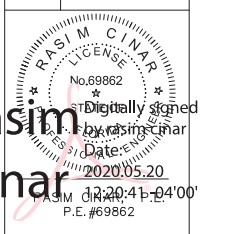
OWNER:

333 JEFFERSON HOLDING LLC  
NATHANAELE COHEN MBR  
2800 BISCAYNE BLVD PH FLOOR  
MIAMI, FL 33137

JOB TITLE &  
ADDRESS:

JEFFERSON APARTMENTS/HOTEL  
333 JEFFERSON AVENUE  
MIAMI BEACH, FL 33139

SHEET TITLE :



rasim cinar  
Digitally signed by rasim cinar  
Date: 2020.05.20 12:20:41 -0400  
P.E. #69862

REVISION DATE:

- △ COMMENTS 10/2/18
- △ COMMENTS 6/18/19
- △ COMMENTS 10/8/19
- △ COMMENTS 1/10/20

CAD FILE:

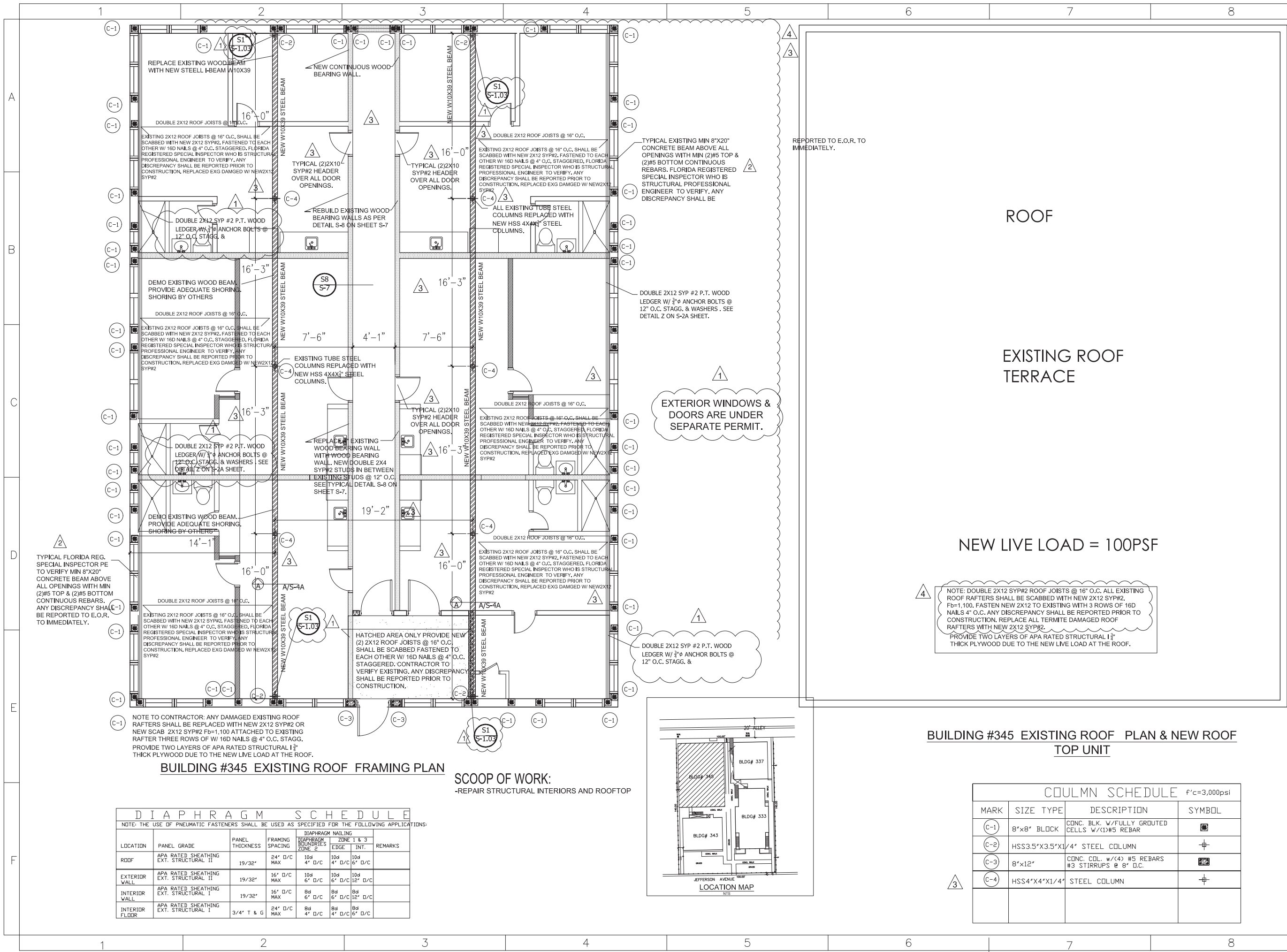
SCALE:

DRAWN:

JOB:

SHEET:

**S-6A**



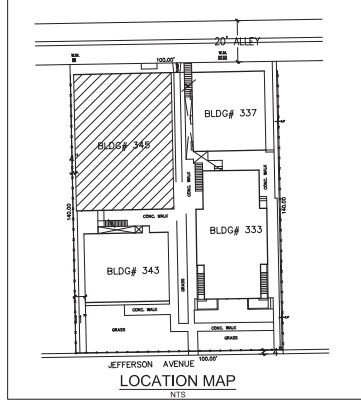
TYPICAL FLORIDA REG. SPECIAL INSPECTOR PE TO VERIFY MIN 8"X20" CONCRETE BEAM ABOVE ALL OPENINGS WITH MIN (2)#5 TOP & (2)#5 BOTTOM CONTINUOUS REBARS. ANY DISCREPANCY SHALL BE REPORTED TO E.O.R. TO IMMEDIATELY.

NOTE TO CONTRACTOR: ANY DAMAGED EXISTING ROOF RAFTERS SHALL BE REPLACED WITH NEW 2X12 SYP#2 OR NEW SCAB 2X12 SYP#2 Fb=1,100 ATTACHED TO EXISTING RAFTER THREE ROWS OF W/ 16D NAILS @ 4" O.C. STAGG. PROVIDE TWO LAYERS OF APA RATED STRUCTURAL 1 3/4" THICK PLYWOOD DUE TO THE NEW LIVE LOAD AT THE ROOF.

**BUILDING #345 EXISTING ROOF FRAMING PLAN**

**SCOOP OF WORK:**  
-REPAIR STRUCTURAL INTERIORS AND ROOFTOP

DIAPHRAGM SCHEDULE						
NOTE: THE USE OF PNEUMATIC FASTENERS SHALL BE USED AS SPECIFIED FOR THE FOLLOWING APPLICATIONS:						
LOCATION	PANEL GRADE	PANEL THICKNESS	FRAMING SPACING	DIAPHRAGM NAILING		REMARKS
				DIAPHRAGM ZONE 2	DIAPHRAGM ZONE 1 & 3	
				EDGE	INT.	
ROOF	APA RATED SHEATHING EXT. STRUCTURAL II	19/32"	24" D/C MAX	10d 4" D/C	10d 6" D/C	
EXTERIOR WALL	APA RATED SHEATHING EXT. STRUCTURAL II	19/32"	16" D/C MAX	10d 6" D/C	10d 12" D/C	
INTERIOR WALL	APA RATED SHEATHING EXT. STRUCTURAL I	19/32"	16" D/C MAX	8d 6" D/C	8d 12" D/C	
INTERIOR FLOOR	APA RATED SHEATHING EXT. STRUCTURAL I	3/4" T & G	24" D/C MAX	8d 4" D/C	8d 6" D/C	



**BUILDING #345 EXISTING ROOF PLAN & NEW ROOF TOP UNIT**

COLUMN SCHEDULE f'c=3,000psi			
MARK	SIZE TYPE	DESCRIPTION	SYMBOL
C-1	8"x8" BLOCK	CONC. BLK. W/FULLY GROUTED CELLS W/(1)#5 REBAR	■
C-2	HSS3.5"x3.5"x1/4"	STEEL COLUMN	⊕
C-3	8"x12"	CONC. COL. W/(4) #5 REBARS #3 STIRRUPS @ 8" O.C.	■
C-4	HSS4"x4"x1/4"	STEEL COLUMN	⊕

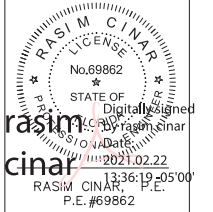
**NEW LIVE LOAD = 100PSF**

NOTE: DOUBLE 2X12 SYP#2 ROOF JOISTS @ 16" O.C. ALL EXISTING ROOF RAFTERS SHALL BE SCABBED WITH NEW 2X12 SYP#2. Fb=1,100. FASTEN NEW 2X12 TO EXISTING WITH 3 ROWS OF 16D NAILS 4" O.C. ANY DISCREPANCY SHALL BE REPORTED PRIOR TO CONSTRUCTION. REPLACE ALL TERMITE DAMAGED ROOF RAFTERS WITH NEW 2X12 SYP#2. PROVIDE TWO LAYERS OF APA RATED STRUCTURAL 1 3/4" THICK PLYWOOD DUE TO THE NEW LIVE LOAD AT THE ROOF.

EXTERIOR WINDOWS & DOORS ARE UNDER SEPARATE PERMIT.

REPORTED TO E.O.R. TO IMMEDIATELY.





REVISION DATE:

CAD FILE:

SCALE:

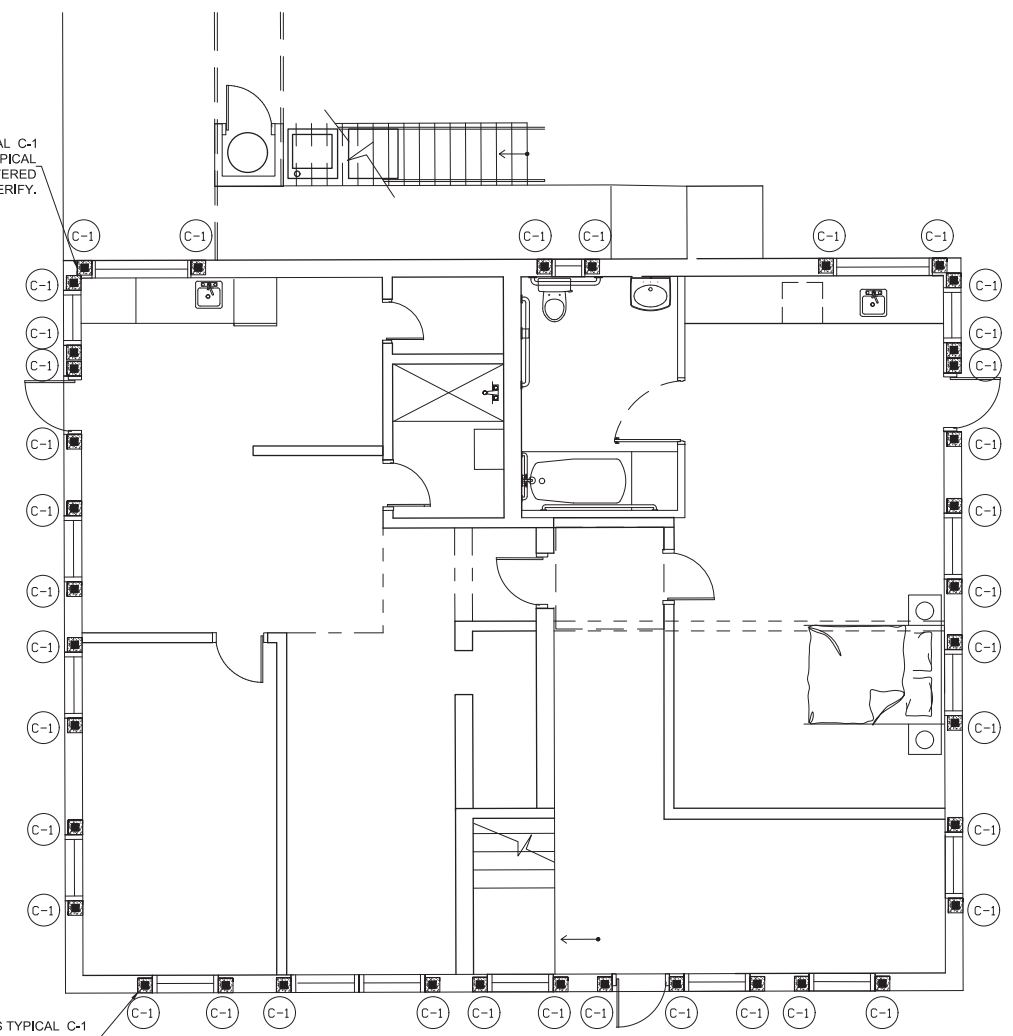
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SHEET:

**S-06.1**

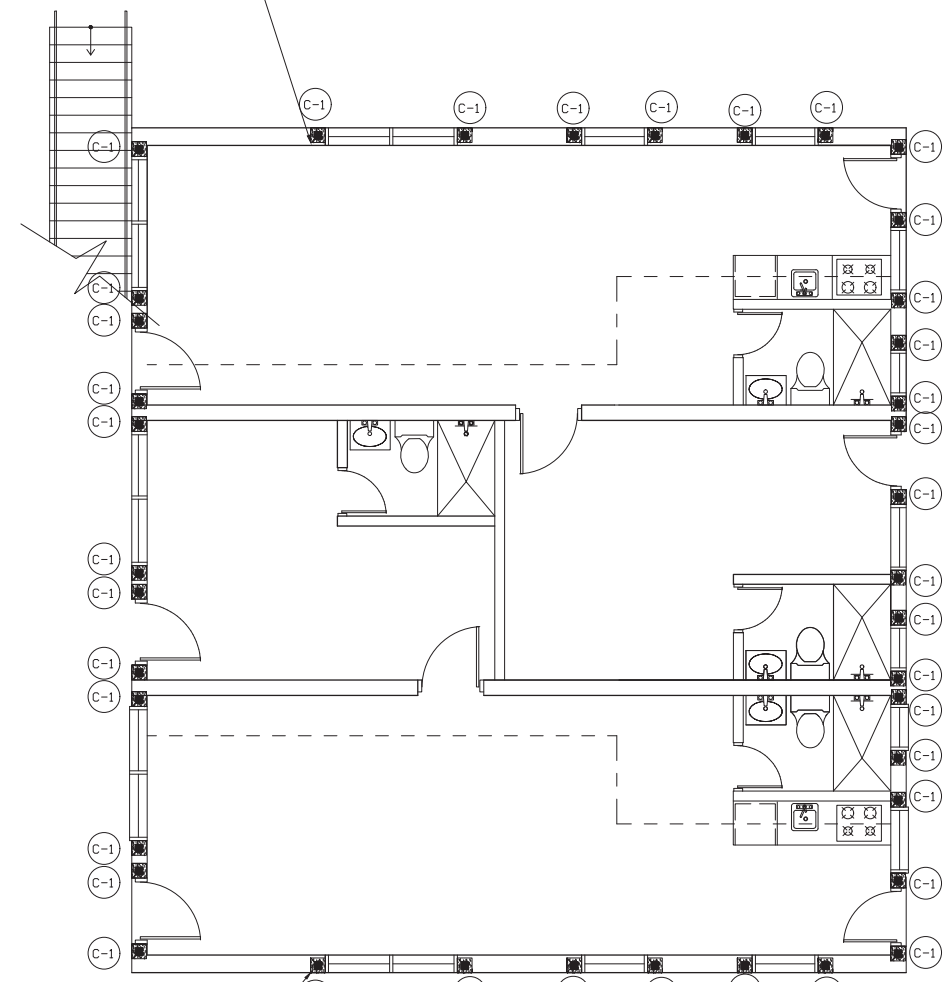
PROVIDE OR VERIFY EXISTING FILLED CELLS TYPICAL C-1 AS PER COLUMN SCHEDULE ON S-07 AND AS PER TYPICAL MASONRY WALL DETAILS ON S-07. A FLORIDA REGISTERED PROFESSIONAL ENGINEER TO VERIFY.



PROVIDE OR VERIFY EXISTING FILLED CELLS TYPICAL C-1 AS PER COLUMN SCHEDULE ON S-07 AND AS PER TYPICAL MASONRY WALL DETAILS ON S-07. A FLORIDA REGISTERED PROFESSIONAL ENGINEER TO VERIFY.

**BUILDING #343**  
**EXISTING GROUND FLOOR MASONRY COLUMN REINFORCEMENT PLAN**

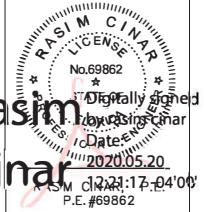
PROVIDE OR VERIFY EXISTING FILLED CELLS TYPICAL C-1 AS PER COLUMN SCHEDULE ON S-07 AND AS PER TYPICAL MASONRY WALL DETAILS ON S-07. A FLORIDA REGISTERED PROFESSIONAL ENGINEER TO VERIFY.



PROVIDE OR VERIFY EXISTING FILLED CELLS TYPICAL C-1 AS PER COLUMN SCHEDULE ON S-07 AND AS PER TYPICAL MASONRY WALL DETAILS ON S-07. A FLORIDA REGISTERED PROFESSIONAL ENGINEER TO VERIFY.

**BUILDING #337**  
**EXISTING GROUND FLOOR MASONRY COLUMN REINFORCEMENT PLAN**

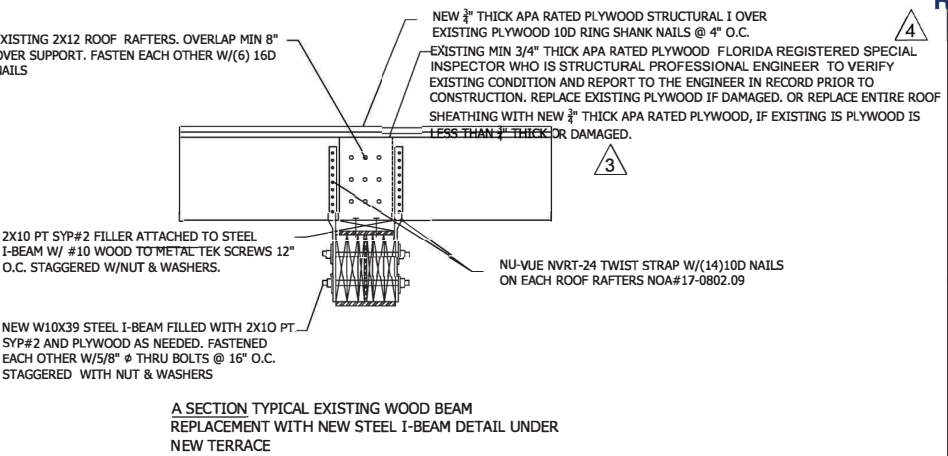




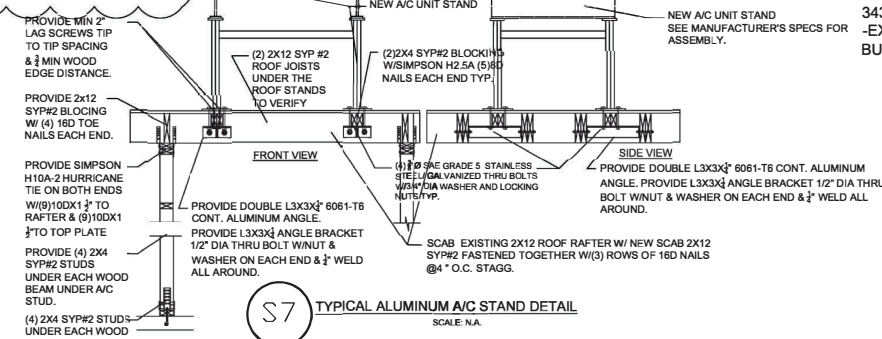
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1	COMMENTS 10/2/18
2	COMMENTS 6/18/19
3	COMMENTS 10/8/19
4	COMMENTS 1/10/20
CAD FILE:	
SCALE:	
DRAWN:	
JOB:	
SHEET:	S-7

**SCOOP OF WORK:**  
-NEW INTERIOR ROOF TOP UNITS AT BUILDING #337, 343  
-EXISTING ROOF CONVERSION TO TERRACE AT BUILDING #345 LIVE LOAD=100PSF

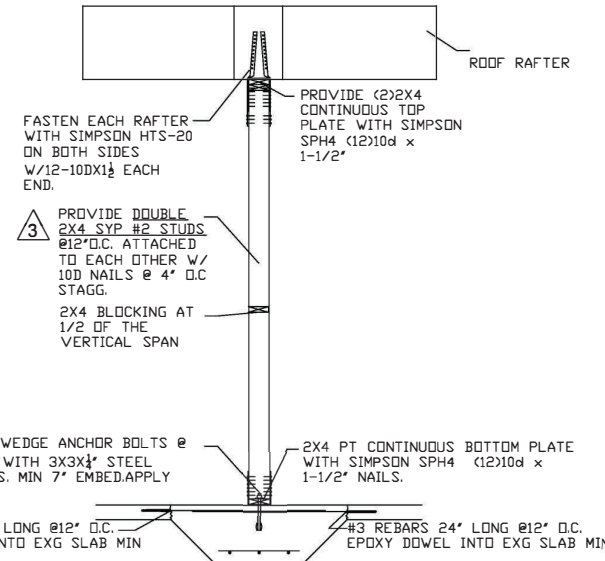
EXTERIOR WINDOWS & DOORS ARE UNDER SEPARATE PERMIT.



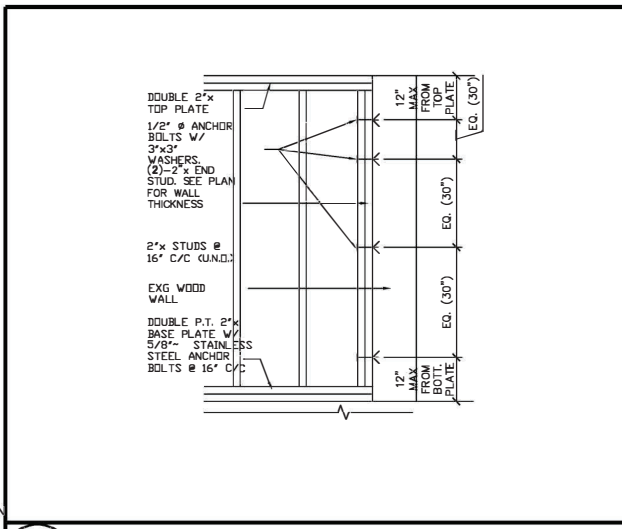
MIAMI TECH A/C STAND NOA#17-1218.02 ALL STANDS ARE 24" HEIGHT IN COMPLIANCE WITH FBC 2017, 6TH ED.  
PUMY-P48NKMJU, EACH UNIT WEIGHT IS 287# & DIMENSIONS 53"HX37"WX13"D  
PUMY-P36NHMU, EACH UNIT WEIGHT IS 287# & DIMENSIONS 53"HX37"WX13"D  
PUMY-P60NKMJU, UNIT WEIGHT IS 306# & DIMENSIONS 52"HX41"WX13"D



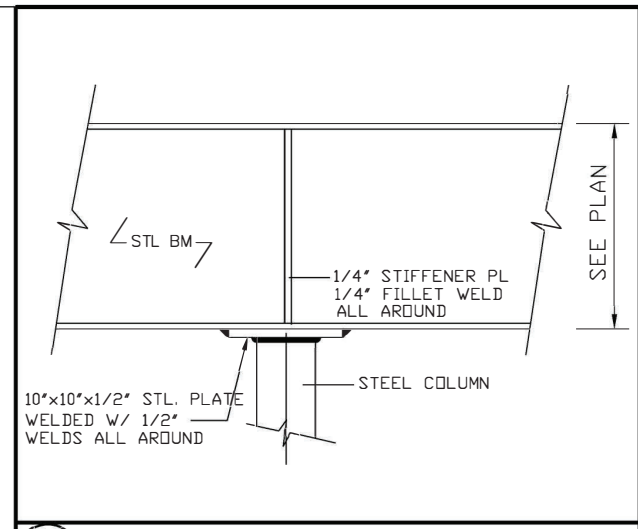
TYPICAL ALUMINUM A/C STAND DETAIL  
TYPICAL EACH ROOF TOP UNITS MUST HAVE INDIVIDUAL A/C STANDS EACH A/C STAND HAS (3) FRAMES. CUSTOM ASSEMBLY WITH CROSS BRACE SEE DETAIL 1 ON PAGE 8 AT NOA#17-1218.02 ALL STANDS ARE 24" HEIGHT.



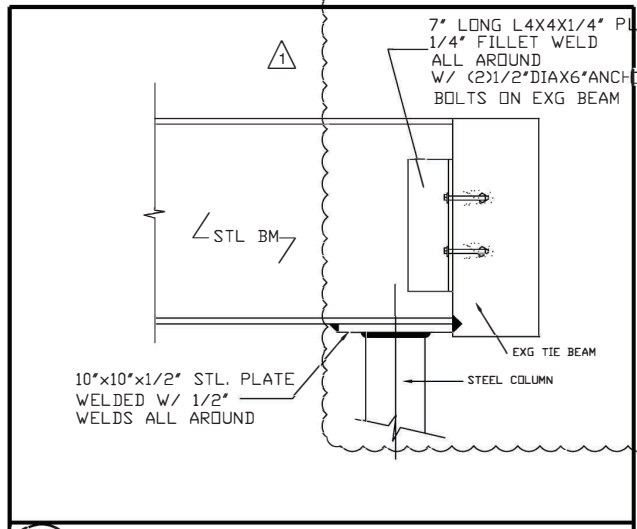
S8 TYPICAL BEARING WALL DETAIL SCALE: N.T.S.



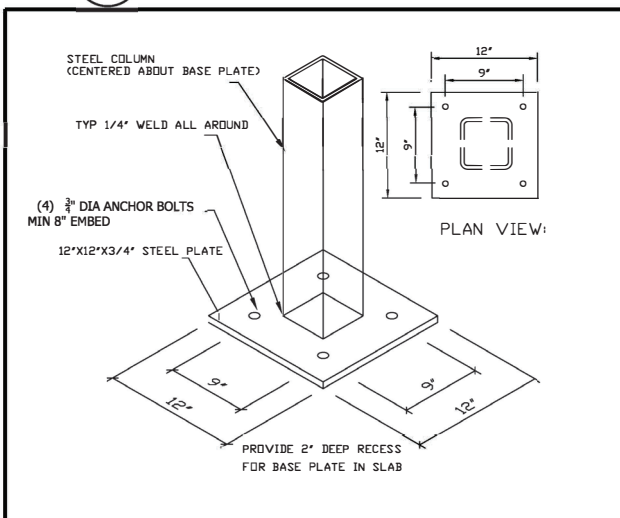
S3 TYPICAL DETAIL FOR FRAME TO EXG WOOD FRAME WALL CONNECTION SCALE: N.T.S.



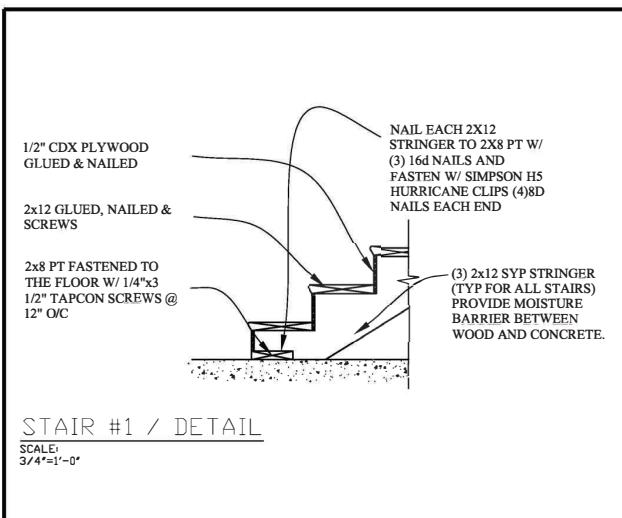
S2 TYPICAL STEEL BM. CONNECTIONS SCALE: N.T.S.



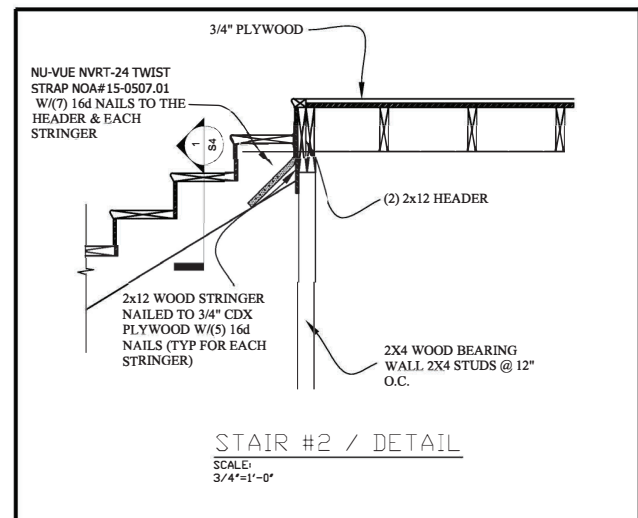
S1 TYPICAL STEEL BM. CONNECTIONS SCALE: N.T.S.



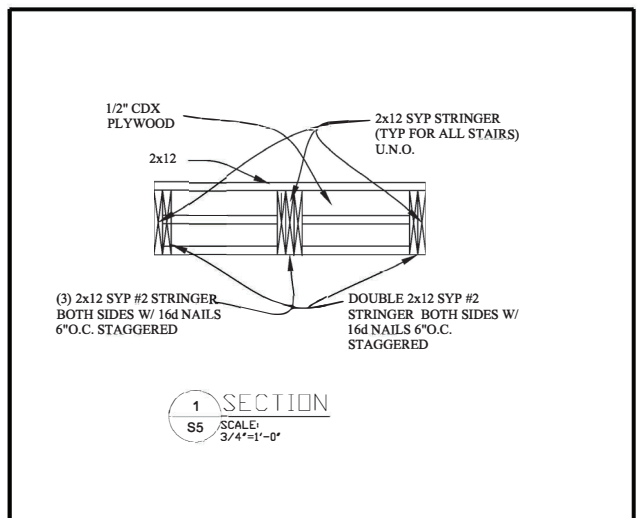
S9 TYPICAL STEEL COL. BASE PLATE SCALE: N.T.S.



S6 STAIR #1 / DETAIL SCALE: 3/4"=1'-0"



S5 STAIR #2 / DETAIL SCALE: 3/4"=1'-0"



S4 SECTION SCALE: 3/4"=1'-0"



Design-Build  
Group, Inc.  
Consulting Engineers

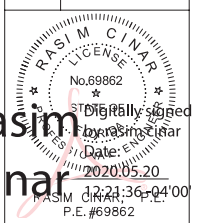
CA #6609  
16521 SW 297 Terrace  
Miami, Florida 33033  
Tel: (305)785-3300

OWNER:  
333 JEFFERSON HOLDING LLC  
NATHANAEI COHEN MBR  
2800 BISCAYNE BLVD PH FLOOR  
MIAMI, FL. 33137

JOB TITLE &  
ADDRESS:

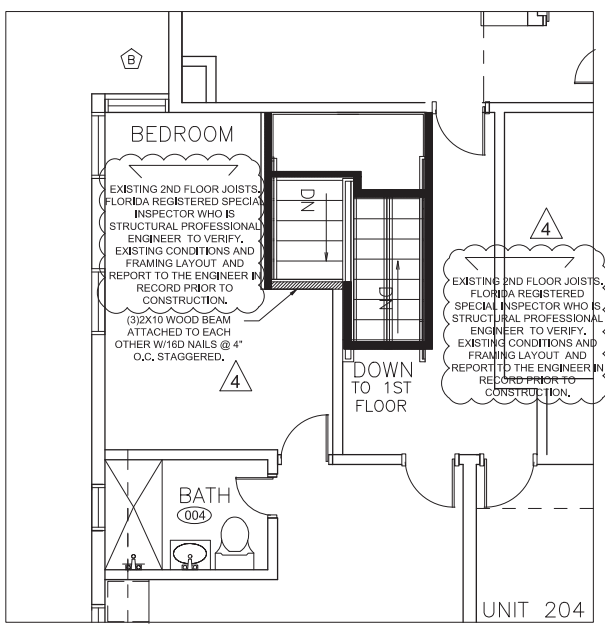
JEFFERSON APARTMENTS/HOTEL  
333 JEFFERSON AVENUE  
MIAMI BEACH, FL 33139

SHEET TITLE :

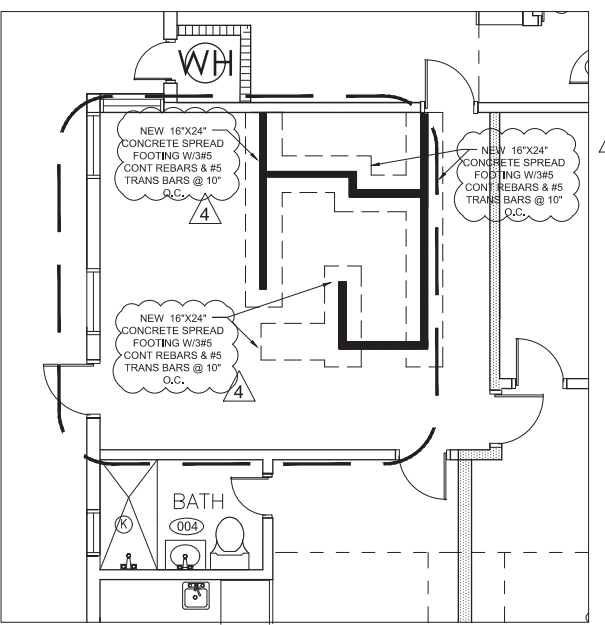


rasim cinar  
Digitally signed by rasim cinar  
Date: 2020.05.20 12:21:36-0400  
P.E. #69862

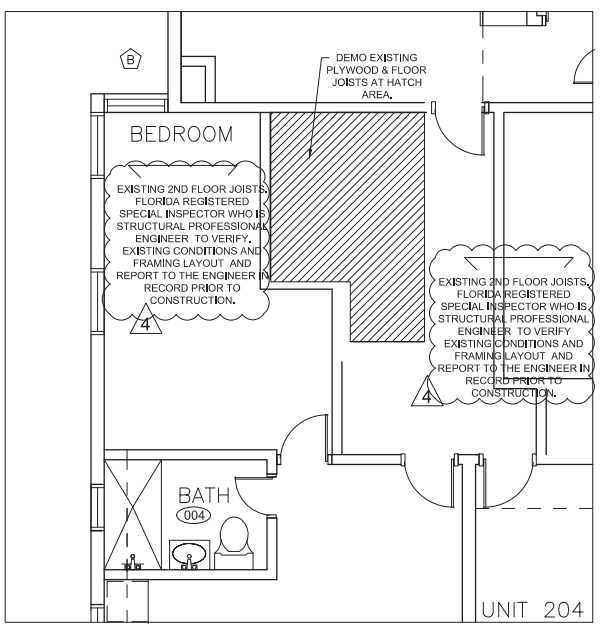
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1	COMMENTS 10/2/18
2	COMMENTS 6/18/19
3	COMMENTS 10/8/19
4	COMMENTS 1/10/20
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SCALE:	
DRAWN:	
JOB:	
SHEET:	<b>S-8</b>



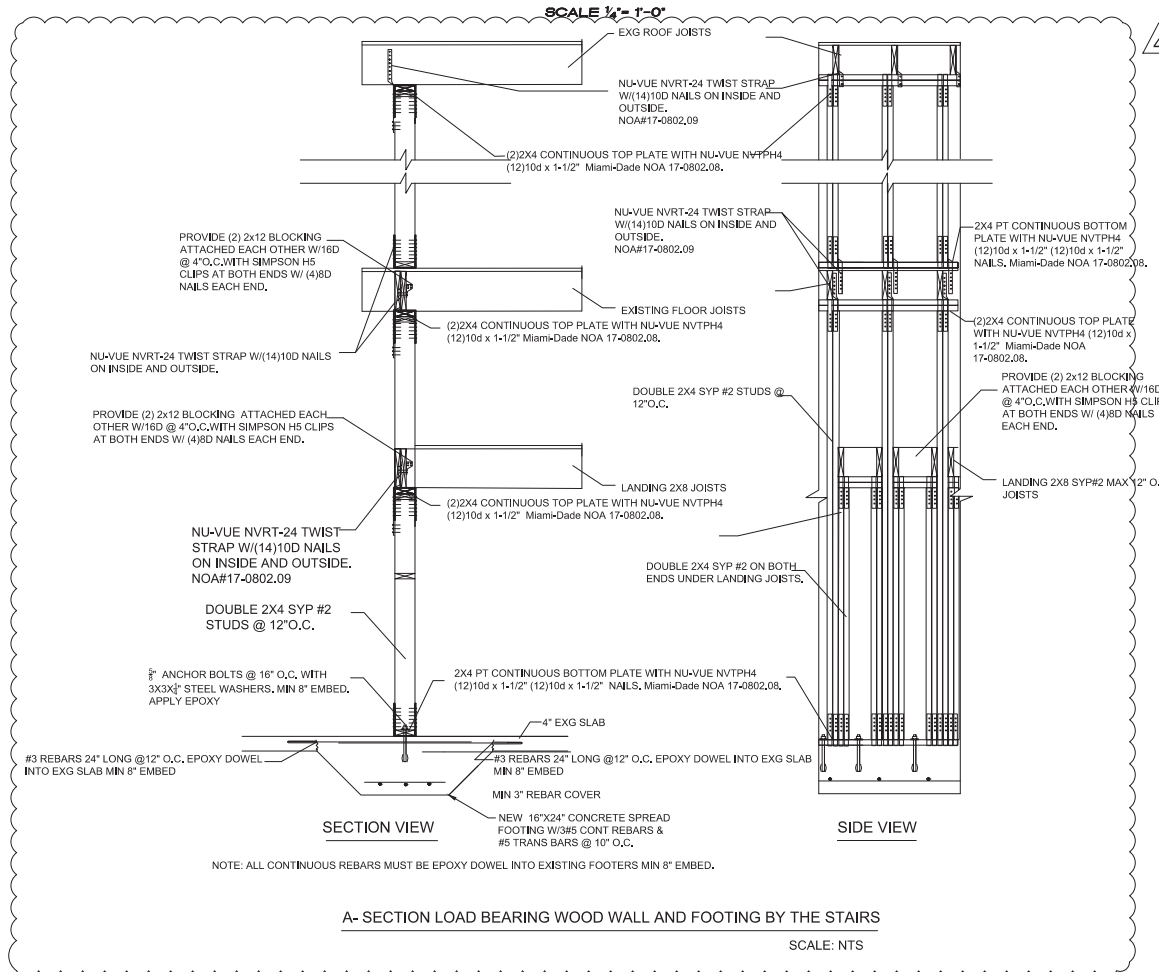
2ND FLOOR FRAMING PLAN



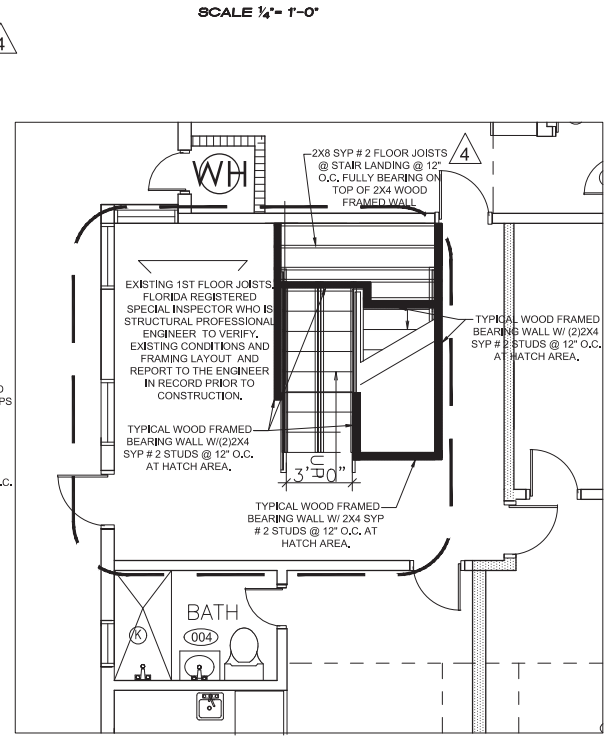
FOUNDATION PLAN



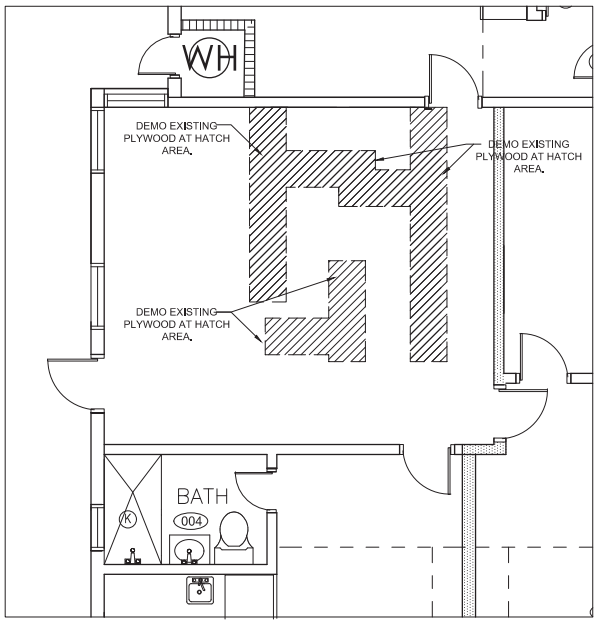
2ND FLOOR DEMO PLAN



A- SECTION LOAD BEARING WOOD WALL AND FOOTING BY THE STAIRS  
SCALE: NTS



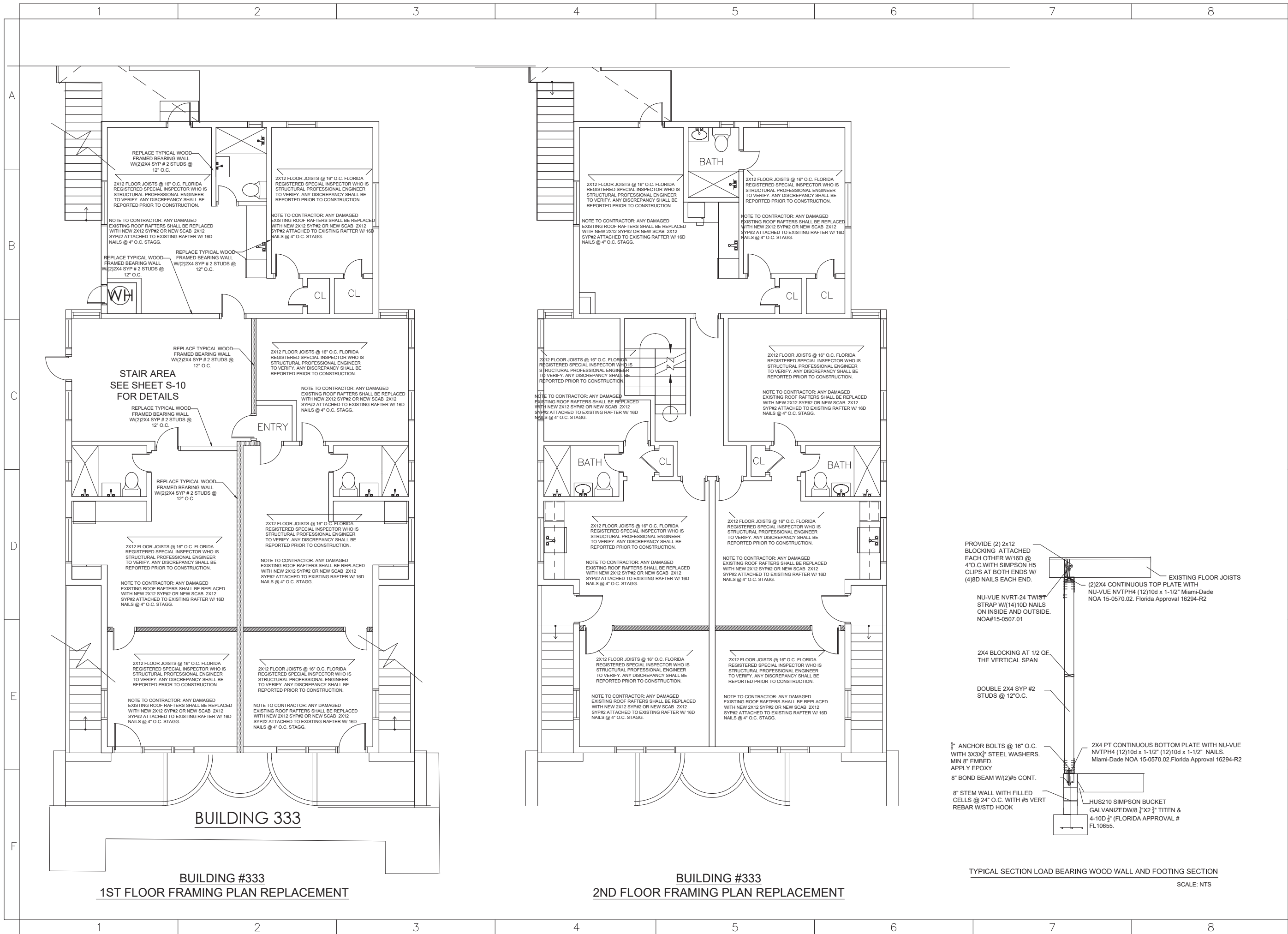
GROUND FLOOR FRAMING PLAN



GROUND FLOOR DEMO PLAN

\*\*\*\*\*WARNING\*\*\*\*\*  
CONTRACTOR TO SHORE EXISTING ROOF RAFTERS/TRUSSES, FLOOR JOISTS/TRUSSES PROPERLY PRIOR ANY STRUCTURAL DEMOLITION.  
  
DO NOT LOAD SHORING POSTS ON EXISTING FLOOR. SHORING SHALL BE LOWERED TO GROUND BELOW CRAWL SPACE IF THERE IS ANY.  
  
ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE VERIFIED BY FLORIDA REGISTERED STRUCTURAL PROFESSIONAL ENGINEER WHOS IS SPECIAL INSPECTOR AND THE CONTRACTOR AT THE FIELD ANY DISCREPANCY SHOULD BE REPORTED TO ENGINEER IN RECORD'S PRIOR TO CONSTRUCTION



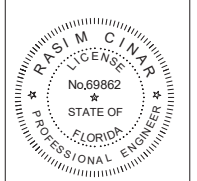


QR CODE

CA No. 33204  
16521 SW 297 TERRACE  
MIAMI, FL 33033  
305.785.3300

OWNER:  
333 JEFFERSON HOLDING LLC  
NATHANIEL COHEN MBR  
2800 BISCAWAYNE BLVD PH FLOOR  
MIAMI, FL 33137

JOB TITLE & ADDRESS:  
JEFFERSON APARTMENTS/HOTEL  
333 JEFFERSON AVENUE  
MIAMI BEACH, FL 33139



RASIM CINAR, P.E.  
P.E. #69862

REVISION DATE:

REVISION 11.7.21

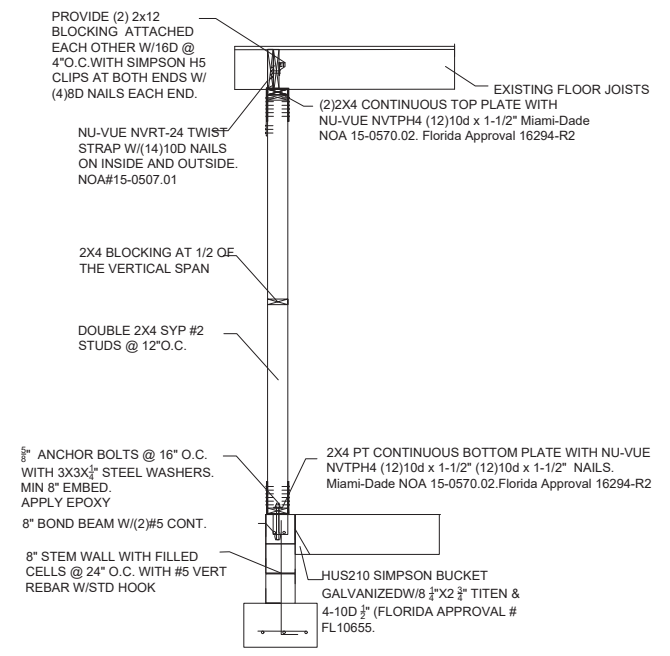
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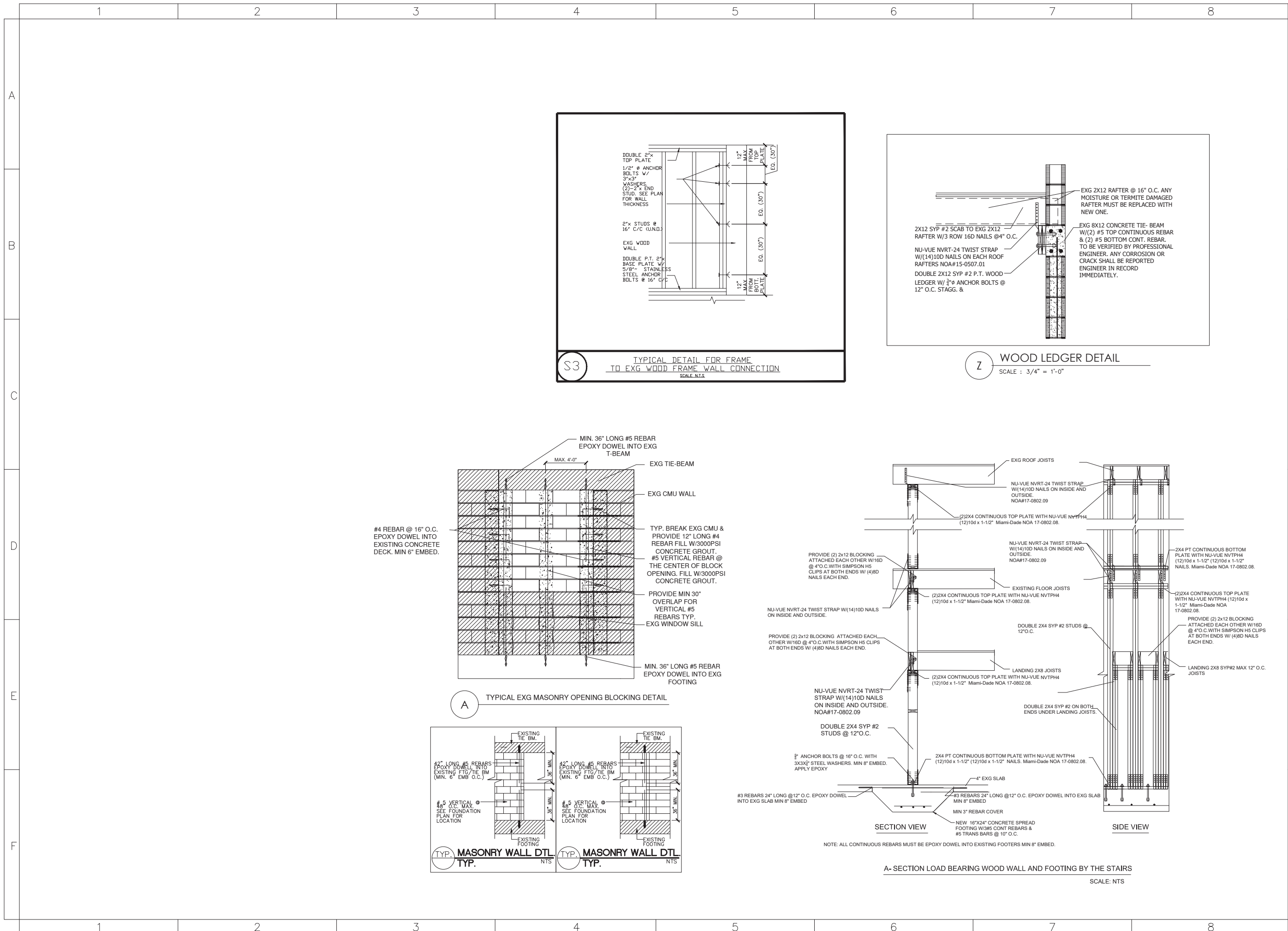
JOB:

SHEET: **S-9** OF 5 SHEETS



TYPICAL SECTION LOAD BEARING WOOD WALL AND FOOTING SECTION  
SCALE: NTS





QR CODE



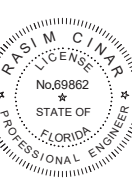
CA No. 33204  
16521 SW 297 TERRACE  
MIAMI, FL 33033  
305.785.3300

OWNER:

333 JEFFERSON HOLDING LLC  
NATHANIEL COHEN MBR  
2800 BISCAYNE BLVD PH FLOOR  
MIAMI, FL, 33137

JOB TITLE & ADDRESS:

JEFFERSON APARTMENT/SHOTEL  
333 JEFFERSON AVENUE  
MIAMI BEACH, FL 33139



RASIM CINAR, P.E.  
P.E. #69862

REVISION DATE:

5 REVISION 11.7.21

CAD FILE:

SCALE:

DRAWN:

JOB:

SHEET 5

S-10 SHEETS

STRUCTURAL JOIST AND WALL REPLACEMENT BUILDING 333

SHEET TITLE :

CAD FILE:

SCALE:

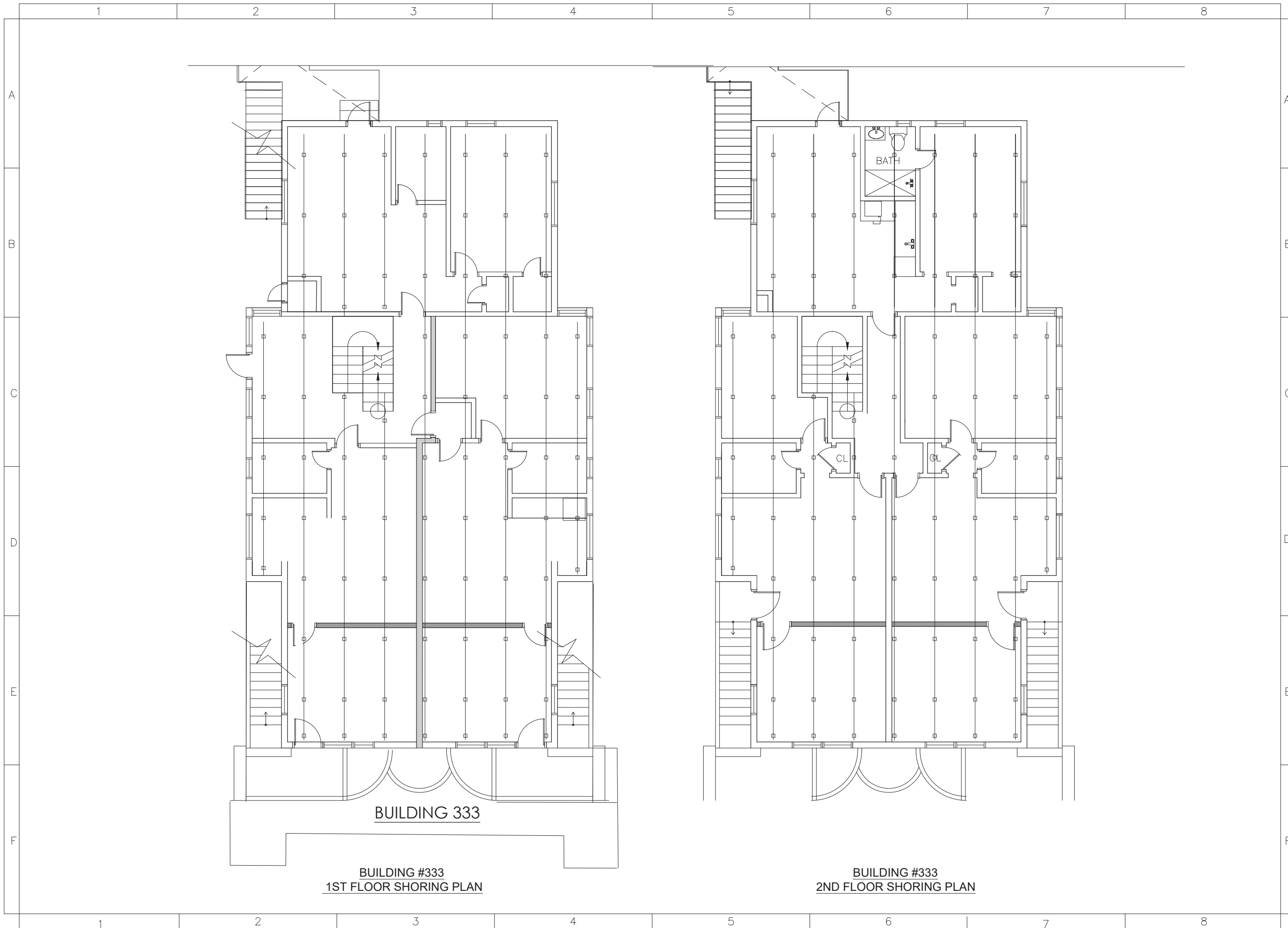
DRAWN:

JOB:

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OF:





QR CODE



CA No. 33204  
16521 SW 297 TERRACE  
MIAMI, FL 33033  
305.785.3300

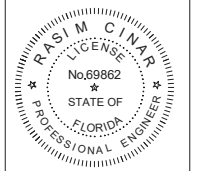
OWNER:

333 JEFFERSON HOLDING LLC  
NATHANIEL COHEN MBR  
2800 BISCAYNE BLVD PH FLOOR  
MIAMI, FL. 33137

JOB TITLE &  
ADDRESS:

JEFFERSON APARTMENTS/HOTEL  
333 JEFFERSON AVENUE  
MIAMI BEACH, FL 33139

SHEET TITLE : SHORING PLANS BUILDING 333



RASIM CINAR, P.E.  
P.E. #69862

REVISION DATE:

REVISION 11.7.21

CAD FILE:

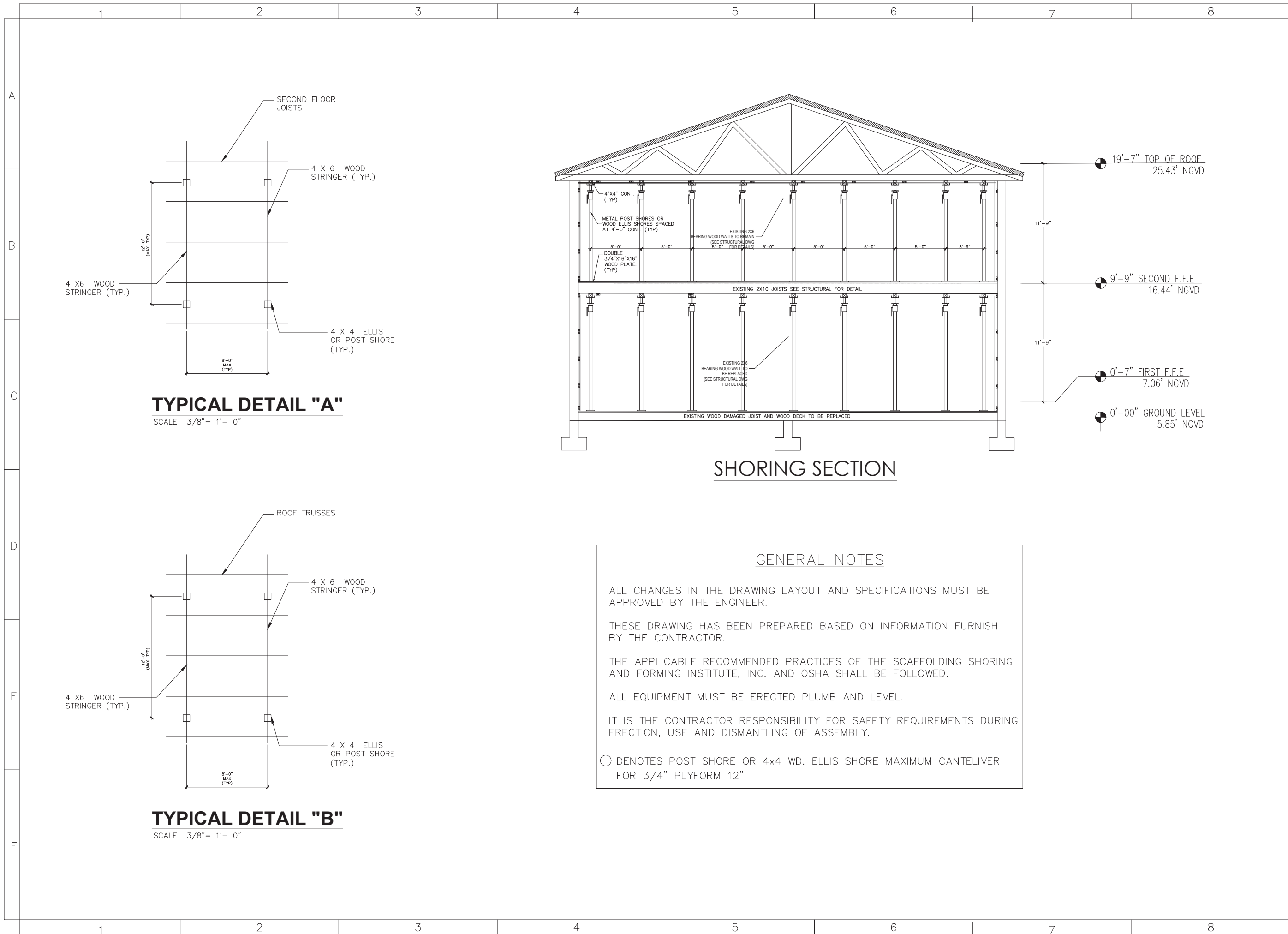
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DRAWN:

JOB:

SHEET: **SH-1**  
OF: SHEETS





**TYPICAL DETAIL "A"**  
SCALE 3/8" = 1' - 0"

**TYPICAL DETAIL "B"**  
SCALE 3/8" = 1' - 0"

**SHORING SECTION**

GENERAL NOTES

ALL CHANGES IN THE DRAWING LAYOUT AND SPECIFICATIONS MUST BE APPROVED BY THE ENGINEER.

THESE DRAWING HAS BEEN PREPARED BASED ON INFORMATION FURNISH BY THE CONTRACTOR.

THE APPLICABLE RECOMMENDED PRACTICES OF THE SCAFFOLDING SHORING AND FORMING INSTITUTE, INC. AND OSHA SHALL BE FOLLOWED.

ALL EQUIPMENT MUST BE ERECTED PLUMB AND LEVEL.

IT IS THE CONTRACTOR RESPONSIBILITY FOR SAFETY REQUIREMENTS DURING ERECTION, USE AND DISMANTLING OF ASSEMBLY.

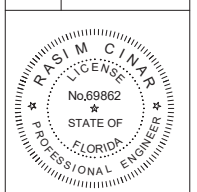
○ DENOTES POST SHORE OR 4x4 WD. ELLIS SHORE MAXIMUM CANTELIVER FOR 3/4" PLYFORM 12"

QR CODE

CA No. 33204  
16521 SW 297 TERRACE  
MIAMI, FL 33033  
305.785.3300

OWNER:  
333 JEFFERSON HOLDING LLC  
NATHANIEL COHEN MBR  
2800 BISCAYNE BLVD PH FLOOR  
MIAMI, FL. 33137

JOB TITLE & ADDRESS:  
JEFFERSON APARTMENTS/HOTEL  
333 JEFFERSON AVENUE  
MIAMI BEACH, FL 33139



REVISION DATE:
5 REVISION 11.7.21
CAD FILE:
SCALE:
DRAWN:
JOB:
SHEET: <b>SH-2</b> OF: SHEETS



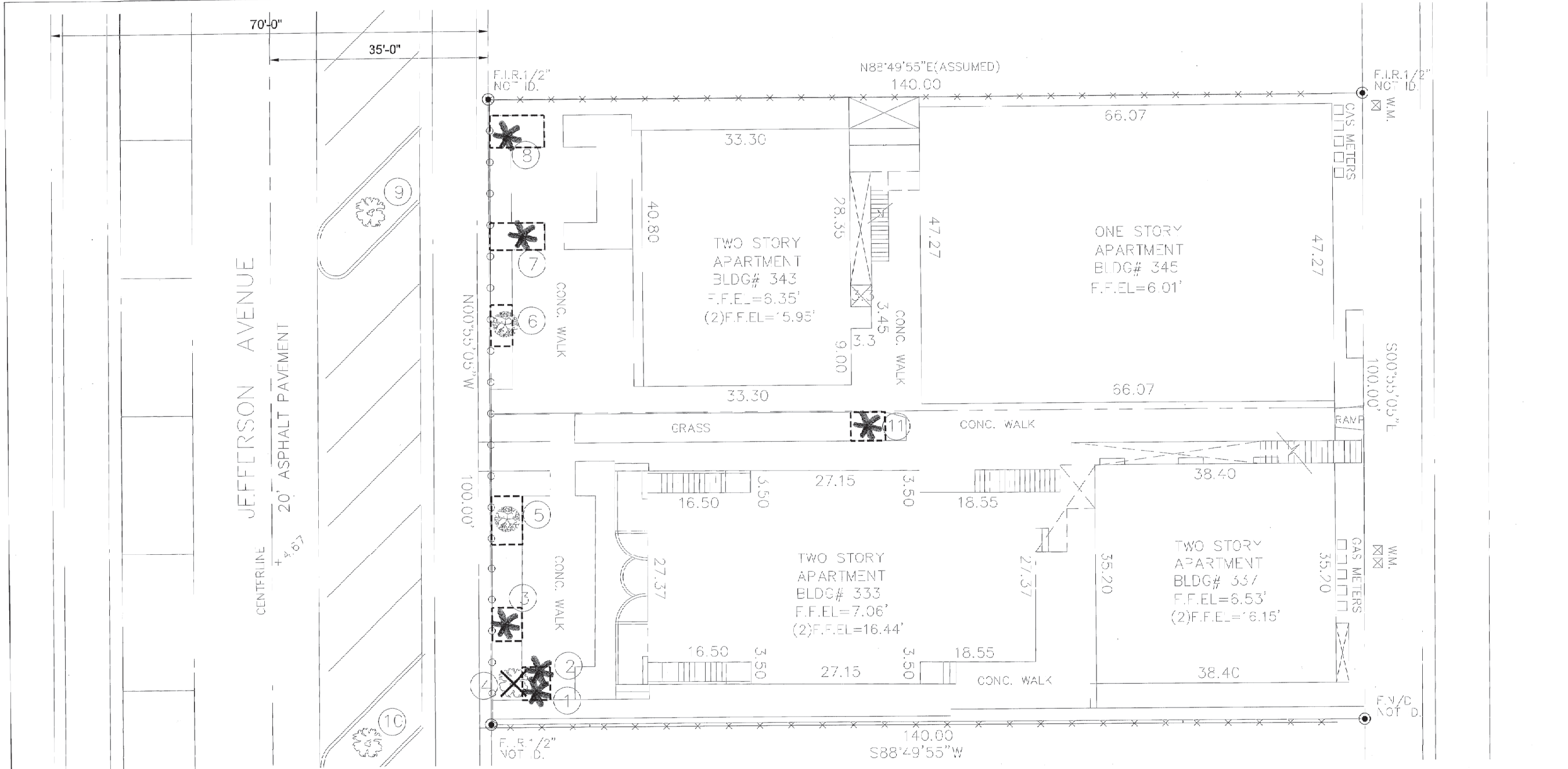
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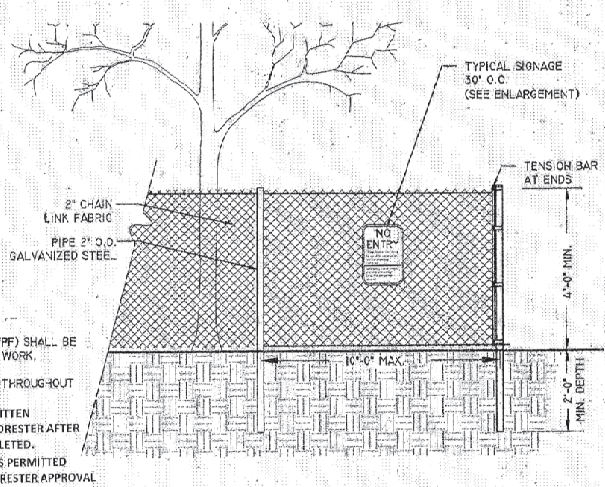
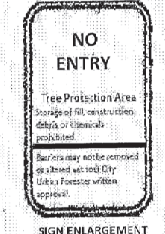
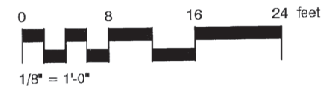
REVISIONS


PROJECT NAME  
**JEFFERSON RESIDENCE**  
333 JEFFERSON AVE.  
MIAMI BEACH, FLORIDA

Drawing Size: 24x36  
Project #: 2018-04-25-ALD  
Drawn By: JV  
Checked By: DL  
Title:  
EXISTING TREE DISPOSITION PLAN  
Sheet Number:  
**L-1**  
Date: - APRIL 12, 2018



1 Existing Tree Disposition Plan  
SCALE:



- 3 Tree & Palm Protection Notes  
SCALE: N.T.S.
- Before beginning work in the ROW, the General Contractor, Landscape Contractor, City Urban Forester and Air Planning Department Staff is required to meet at the site with the Landscape Architect to review all work procedures, access routes, storage areas, and tree and palm protection measures.
  - The General Contractor is required to coordinate with the Landscape Architect to determine the amount of tree canopy or root zone that the General Contractor will be responsible for pruning. The trimming shall be as per the ANSI A-300 Standards. The City Urban Forester shall be consulted.
  - The General Contractor shall erect fences to protect trees or palms to be preserved as per Tree Protection Detail and Tree Disposition Plan. Fences define a specific protection zone for each tree or to be protected. Fences are to remain until all site work has been completed. Fences may not be relocated or removed without the written permission of the Landscape Architect and City Urban Forester.
  - Construction trailers, traffic and storage areas must remain outside fenced areas at all times.
  - All underground utilities and drain or irrigation lines shall be routed outside the tree or palm protection zone. If lines must traverse the protection area, they shall be tunneled or bored under the tree.
  - No construction materials, equipment, spoil, or waste or washwater may be deposited, stored, or parked within the tree or palm protection zone (fenced area).
  - Additional tree pruning required for clearance during construction shall be trimmed as per ANSI A-300 Standards and not by construction personnel. Any corrective pruning required shall be performed by an ISA certified Arborist or ASCA Consulting Arborist and the City Urban Forester shall be consulted.
  - Any herbicides placed under paving materials must be safe for use around trees and labeled for that use. Any pesticides used on site must be safe and not easily transported by water.
  - If any injury should occur to any tree during construction, the General Contractor is responsible for notifying the Landscape Architect as soon as possible for evaluation so that appropriate treatments can be applied. Should any trees or palms be damaged they shall be evaluated by the City Urban Forester to determine corrective actions that may include removal, corrective pruning and/or replacement. Any corrective actions required shall be performed in accordance with Miami Dade County Code, ANSI A-300 Pruning Standards and/or an issued ERM Tree or Environment. Part 1. Any corrective pruning required shall be performed by an ISA certified Arborist or ASCA Consulting Arborist and the City Urban Forester shall be consulted.
  - The General Contractor shall notify the Landscape Architect, and City Urban Forester of any grading, construction, demolition, or other work that is expected to encounter trees or palm roots.
  - All trees to remain on site shall be irrigated three times a week for the duration of construction. At each irrigation procedure shall apply to the soil area within the tree or palm protection zone 2-3 gallons of water per inch of trunk caliper.
  - Erosion control devices such as silt fencing, debris basins, and water diversion structures shall be installed to prevent siltation and/or erosion within the tree and palm protection zone.
  - Before grading, pad preparation or excavation for foundations, footings, walls, or trenching near trees the trees shall be root pruned 12 inches outside the tree protection zone by cutting all roots clearly to a depth of 36 inches. Roots shall be cut manually by digging a trench and cutting exposed roots with a saw, vibrating knife, rock saw, narrow trencher with sharp blades, or other approved root-pruning equipment. A tree and root pruning activities shall be performed by an ISA Certified Arborist and/or an ASCA Consulting Arborist in accordance with ANSI A-300 standards and industry accepted good horticultural practices.
  - Any roots damaged during grading or construction shall be exposed to some tissue and cut cleanly with a saw.
  - If temporary haul or access roads must pass over the root area of trees to be retained, a road bed of 6 inches of mulch or gravel shall be created to protect the soil. The road bed material shall be replenished as necessary to maintain a 6-inch depth.
  - Soil from benches, basements, or other excavations shall not be placed within the tree protection zone, either temporarily or permanently.
  - No burn piles or debris pits shall be placed within the tree protection zone. No ashes, debris, or garbage may be dumped or buried within the tree protection zone.
  - Maintain fire-safe areas around fenced areas. Also, no heat sources, flames, ignition sources, or smoking is allowed near mulch or trees.

EXISTING TREE DISPOSITION LIST

No	BOTANICAL NAME	COMMON NAME	HEIGHT	D.A.	SPREAD	DISPOSITION	COMMENTS
1 thru 3	Cocos nucifera	Coconut Palm	25'	18"	10'	Good	Remain
4	Bursera simaruba	Jumbo Limbo	7'	12"	3'	Dead-Stump	Remove
5	Terminalia catappa	Almond Tree	25'	18"	20'	Fair	Remain
6	Terminalia catappa	Almond Tree	30'	36"	25'	Fair	Remain
7	Cocos nucifera	Coconut Palm	25'	24"	15'	Fair	Remain
8	Cocos nucifera	Coconut Palm	15'	18"	10'	Fair	Remain
9 AND 10	Bursera simaruba	Jumbo Limbo	20'	18"	15'	Fair	Remain
11	Sabal palmetto	Sabal Palm	20'	18"	10'	Good	Remain

TOTAL PROPOSED CANOPY LOSS (in square feet) = 0.00sf

TREE DISPOSITION LEGEND

- Existing tree or palm to be removed
- Existing tree and palm to remain in their existing location and be protected, no construction or excavation shall be permitted within the drip line of the trees.
- LIMITS OF EXISTING TREE & PALM PROTECTION ZONE

Symbols do not show the actual canopy of the trees, for clarity, always cross check with Existing Tree Disposition List for sizes and disposition status. Contact landscape architect.

- NOTES:
- TREE PROTECTION FENCE (TPF) SHALL BE INSTALLED PRIOR TO ANY SITE WORK, CLEARING OR DEMOLITION.
  - TPF SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
  - REMOVE TPF ONLY WITH WRITTEN APPROVAL FROM CITY URBAN FORESTER AFTER ALL SITE WORK HAS BEEN COMPLETED.
  - NO CONSTRUCTION ACTIVITIES PERMITTED WITHIN TPF WITHOUT URBAN FORESTER APPROVAL.



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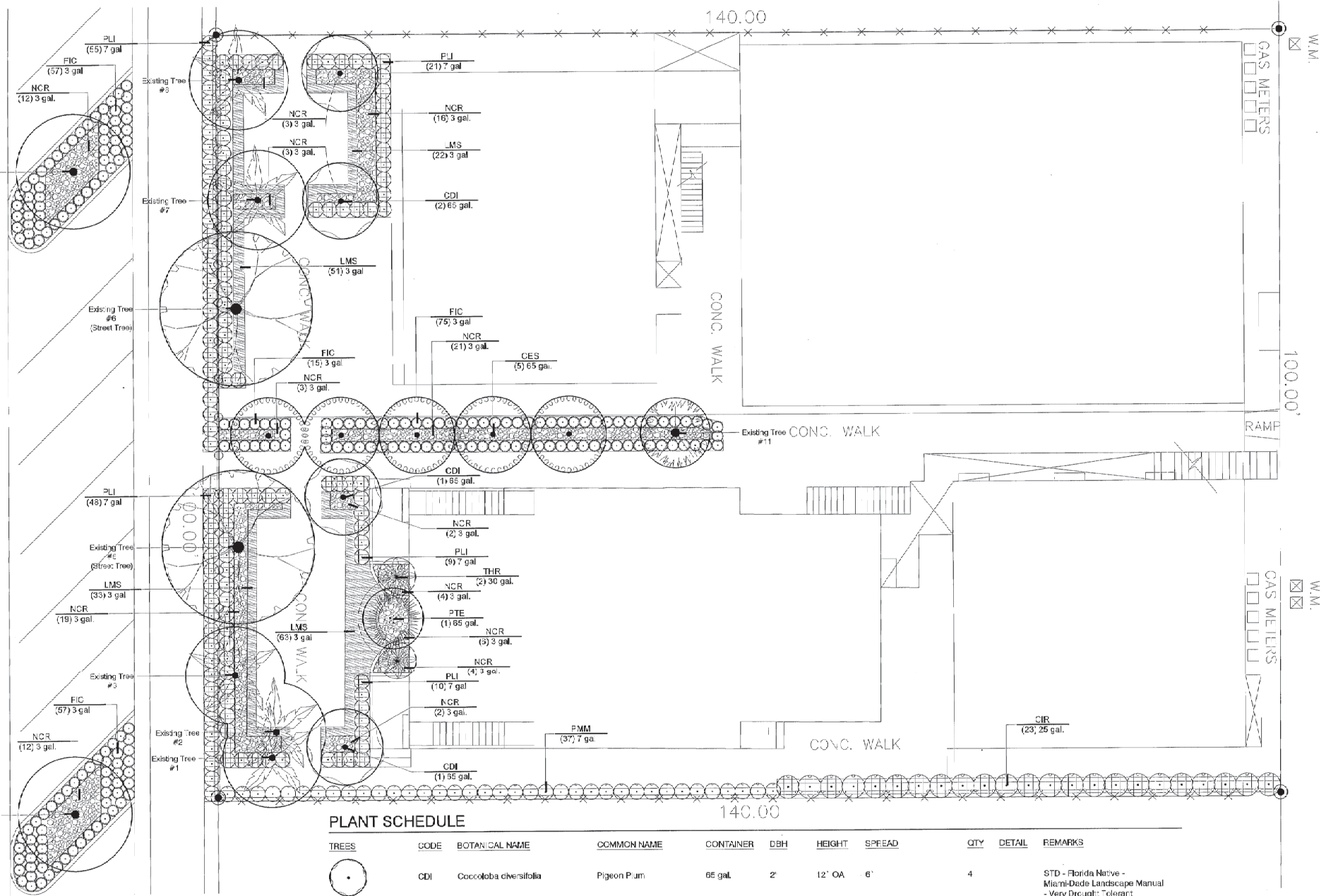
NO.	DATE	DESCRIPTION

PROJECT NAME  
**JEFFERSON RESIDENCE**  
 333 JEFFERSON AVE.  
 MIAMI BEACH, FLORIDA

SHEET INFORMATION:

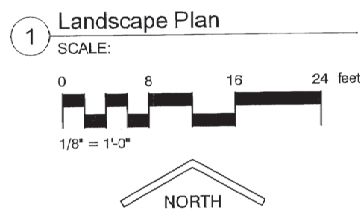
Drawing Size	24x36
Project #	2015-04-25-ALD
Drawn By	JT
Checked By	DL
Title	LANDSCAPE PLAN
Sheet Number	L-2
Date	APRIL 12, 2018

JEFFERSON AVENUE  
 CENTERLINE  
 20' ASPHALT PAVEMENT



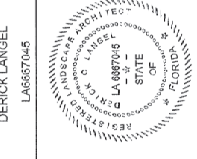
**PLANT SCHEDULE**

TREES	CODE	BOTANICAL NAME	COMMON NAME	CONTAINER	DBH	HEIGHT	SPREAD	QTY	DETAIL	REMARKS
	CDI	<i>Coccoloba diversifolia</i>	Pigeon Plum	65 gal.	2"	12' OA	6'	4		STD - Florida Native - Miami-Dade Landscape Manual - Very Drought Tolerant
	CES	<i>Conocarpus erectus 'serotus'</i>	Silver Buttonwood	65 gal.	2"	12' OA	6'	5		STD - Florida Native - Miami-Dade Landscape Manual - Drought Tolerant
PALM TREES										
CODE	BOTANICAL NAME	COMMON NAME	CONTAINER	DBH	HEIGHT	SPREAD	QTY	DETAIL	REMARKS	
PTE	<i>Ptychosperma elegans</i>	Alexander Palm	65 gal.	2"	12' OA	6'-8'	1			
SHRUBS										
CODE	BOTANICAL NAME	COMMON NAME	CONTAINER	HEIGHT	SPREAD	QTY	DETAIL	REMARKS		
C.R	<i>Chrysobalanus icaco</i>	Red Tip Cocoplum	25 gal.	6' OA	3'	23		Florida Native		
FIC	<i>Ficus microcarpa</i>	'Green Island'	3 gal.	18' OA	12'-18"	207				
FMM	<i>Podocarpus macrophyllus</i>	makii	7 gal.	4' OA	1.5'	37				
FLI	<i>Psychotria ligustrifolia</i>	Bahama Coffee	7 gal.	2'	2'	146		Florida Native - Miami-Dade Landscape Manual		
THR	<i>Thrinax radiata</i>	Florida Thatch Palm	30 gal.	6' CA	4'	2				
SHRUB AREAS										
CODE	BOTANICAL NAME	COMMON NAME	CONTAINER	HEIGHT	SPREAD	SPACING	QTY	DETAIL	REMARKS	
NCR	<i>Neorhiza caryulea</i>	'Regina'	3 gal.	3' CA	2'	24" o.c.	167			
GROUND COVERS										
CODE	BOTANICAL NAME	COMMON NAME	CONTAINER	HEIGHT	SPREAD	SPACING	QTY	DETAIL	REMARKS	
LMS	<i>Liriodenmon muscaris</i>	'Super Blue'	3 gal.	1.5'	1'	15" o.c.	169		Drought Tolerant - Miami-Dade County Landscape Manual	





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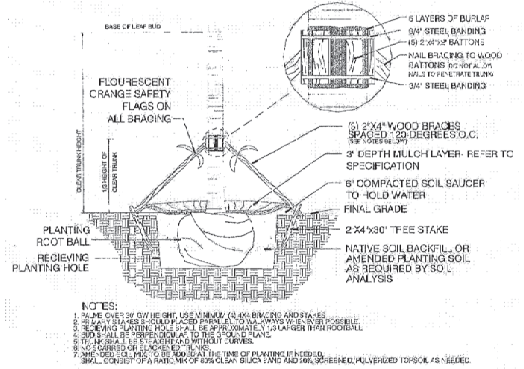
**GENERAL NOTES**

- Landscape Contractor is responsible for verifying locations of all underground and overhead utilities and easements prior to commencing work. All Utility companies and/or the General Contractor shall be notified to verify utility locations prior to digging. Utility trenching is to be coordinated with the Landscape plans prior to beginning of project. The Owner or Landscape Architect shall not be responsible for damage to utility or irrigation lines.
- Landscape Contractor shall examine the site and become familiar with conditions affecting the installation prior to submitting bids. Failure to do so shall not be considered cause for future extras or complaints.
- Landscape Contractor is responsible for verifying all plant quantities prior to bidding and within (7) seven calendar days of receipt of these plans shall notify the Landscape Architect in writing of any and all discrepancies. In case of discrepancies planting plans shall take precedence over plant list.
- No substitutions shall be made without prior consent of the Landscape Architect, City Urban Forester and/or the Planning Department. Plant material supply is the responsibility of the Landscape Contractor, and he/she shall take steps to make availability at time of planting.
- All plant material shall meet or exceed the size on the plant list. In all cases meeting the height and the spread specifications shall take precedence over container size.
- The Landscape Contractor is responsible for coordinating tree and palm removal and transplants shown on the Tree/Palm Disposition Plan. The Landscape Contractor is to remove and discard from site existing unwanted trees, palms, shrubs, groundcovers, sod and weeds within landscape areas.
- All planted areas to be outfitted with automatic irrigation system providing 100% coverage and 50% overlap. A rain sensor must be part of the irrigation system.
- Landscape contractor to provide finish grade 3" lower than FFE of all hardscapes, i.e. roads, walks, curbs, pavers, etc., to accommodate 3" layer of mulch.
- All tree and Palm installations shall be performed in accordance with ANSI A-300 (Part 6) standards and industry accepted good horticulture practices by an ISA Certified Arborist or ASCA Consulting Arborist.

**PLANTING NOTES**

- Landscape Contractor shall finish and install all trees, palms, shrubs, groundcover, sod, planting soil, fertilizer, herbicide, pre-emergence herbicide, seed, and mulch.
- Landscape Contractor shall guarantee all plant material for a period of one year from the day of final acceptance by the Landscape Architect.
- All plant material shall be Florida #1 or better as defined in the Grades and Standards for Nursery Plants, Part I and II by the State of Florida Department of Agriculture.
- Material not meeting Florida #1 or better will not be accepted. Landscape Architect, City Urban Forester and/or the Planning Department shall be approved R.O.W. material before it is planted.
- Landscape Contractor shall coordinate his work with that of the Irrigation and Landscape Lighting Contractor.
- The Landscape Contractor shall treat plant areas with pre-emergence herbicide after weeds and grass have been removed. Landscape Contractor shall wait (7) seven days after pre-emergence treatment prior to planting.
- Planting soil shall be a mix of 30% inland muck and 70% freshwater sand. Planting soil muck/bedfill shall be clean and free of construction debris, weeds, rock and noxious weeds and diseases.
- All soil mix in plant beds for groundcovers, shrubs, palms and trees shall be as per details. All other areas shall be dressed with a minimum of 4" topsoil.
- All planting areas and planting pits shall be tested for sufficient penetration prior to final planting and irrigation installation to ensure proper drainage. Plant beds in parking lots and in areas compacted by heavy equipment shall be de-compacted so that drainage is not impeded.
- All synthetic burlap, string, cords or wire baskets shall be removed before trees are planted. All synthetic ties shall be removed from branches and trunks prior to final acceptance. The top 1/3 of the burlap shall be removed or tucked into the planting pit before the trees are installed.
- Landscape Contractor is responsible for mulching all plant beds and planters with a minimum 3" layer of natural color Eucalyptus or Empronulon immediately after planting. In no case shall Cypress or red mulch be used. Mulch shall not be applied within 6" of any tree or palm trunk that are installed on the project.
- All trees planted in road areas are to receive a 3/4" diameter mulch barrier at the base of the trunk respectively.
- Landscape Contractor shall guy and stake all trees and palms as per specifications and details. No nails, screws or wiring shall penetrate the outer surface of trees and palms. All guying and staking shall be removed twelve months after planting. Exceptions require written authorization from the City Urban Forester.
- All palm and tree guy wires and bracing are to be flagged for visibility, for their duration. All unbraced and unplanted tree pits shall be properly barricaded and flagged during construction.
- All broken branches are to clear trunk branches on street trees are to be pruned according to ANSI A-300 Guidelines for Tree Pruning to a max. 5/4" height clearance to the base of canopy. All tree and root pruning activities shall be performed by ISA Certified Arborist and/or ASCA Consulting Arborist in accordance with ANSI A-300 standards and industry accepted good horticulture practices.
- Landscape Contractor to provide all plants with fertilizer 30 days after installation. Fertilizer shall comply with state fertilizer laws. It shall have a chemical designation as indicated for each type of plant:  
Palms: 12-4-12 N-P-K, Slow Release Form Specified with micronutrients.  
Shrubs, Groundcovers and Trees: 6-6-6 N-P-K, with micronutrients.

1 General Planting Notes  
SCALE: N.T.S.



City of Miami Beach  
Typical Palm Planting Detail  
N.T.S.

2 Palm Planting Detail  
SCALE: N.T.S.

**CITY OF MIAMI BEACH**  
**LANDSCAPE LEGEND**

INFORMATION REQUIRED TO BE PERMANENTLY AFFIXED TO PLANS  
Zoning District: RM- Lot Area: 14,000 SF Acres: 0.32

**OPEN SPACE**

REQUIRED/ALLOWED	PROVIDED
A. Square feet of required Open Space as indicated on site plan: Lot Area = 14,000 s.f. x 25% = 3,500 s.f.	3,500 SF 1,293 SF
B. Square feet of parking lot open space required as indicated on site plan: Number of parking spaces: N/A x 10 s.f. parking space =	N/A N/A
C. Total square feet of landscaped open space required: A+B=	3,500 SF 1,293 SF

**LAWN AREA CALCULATION**

A. Square feet of anticipated open space required	3,500 SF	1,298
B. Maximum lawn area (sod) permitted= 50% x 1,298 s.f.	619 SF	0 SF

**TREES**

A. Number of trees required per lot or net lot acre, less existing number of trees meeting minimum requirements: 23 trees x 0.32 net lot acres - number of existing trees =	9	7 (7 proposed + 2 Existing)
B. % Native required: Number of trees provided x 30% =	3	7
C. % Low maintenance / drought and salt tolerant required: Number of trees provided x 50% =	5	7
D. Street trees (maximum average spacing of 20' o.c.): 107 linear feet along street divided by 20' =	5	4
E. Street tree species allowed directly beneath power lines: (maximum average spacing of 20' o.c.): N/A linear feet along street divided by 20' =	N/A	N/A

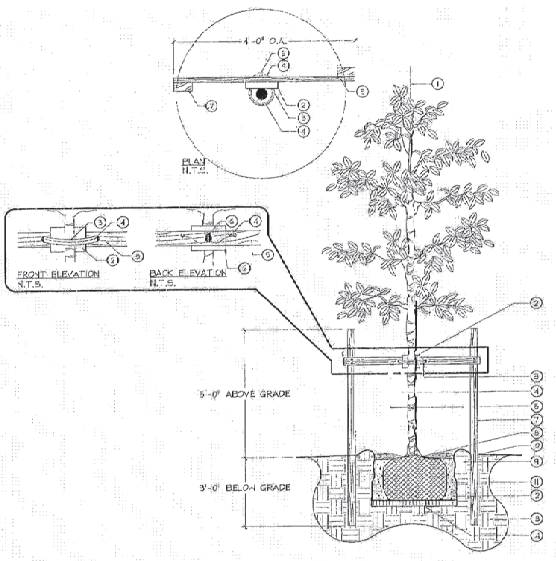
**SHRUBS**

A. Number of shrubs required: Sum of lot and street trees required x 12=	189	231
B. % Native shrubs required: Number of shrubs provided x 50% =	131	133

**LARGE SHRUBS OR SMALL TREES**

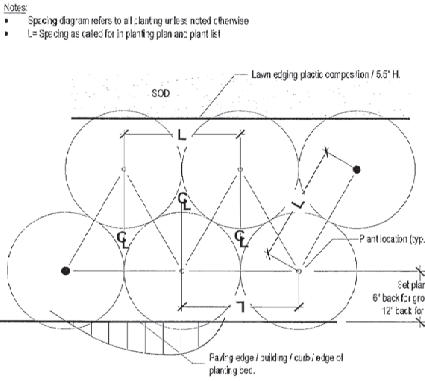
A. Number of large shrubs or small trees required: Number of required shrubs x 10% =	17	23
B. % Native large shrubs or small trees required: Number of large shrubs or small trees provided x 50% =	12	23

3 Landscape Legend  
SCALE: N.T.S.

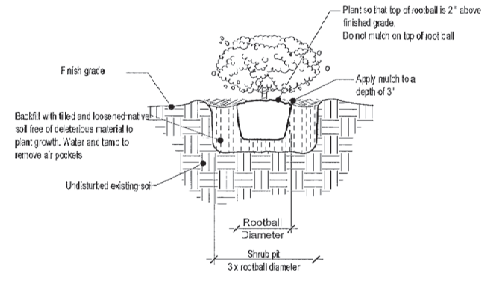


4 Tree Planting Detail  
SCALE: N.T.S.

- KEY**
- SET TREE PLUMB IN PLANTING PIT.
  - PROTECT TREE TRUNK WITH 1" NEOPRENE CITY/STATE/FEDERAL/STATE/AGRICULTURE AND FORESTRY SPECIFIED OR APPROVED SOIL.
  - AMAZON HOSE AND BENDER 1/2" AIR HOSE AND OR APPROVED SOIL, TO COVER 1" GAUGE HOLE.
  - 1/2" GALV. GALVANIZED WIRE MESH PROTECTIVE OR APPROVED SOIL.
  - 1/2" 4" x 4" FINE TREATED LANDSCAPE TIEBER AS SPECIFIED, FASTEN WITH 4 3/8" SIZES SCREWS TO 2" x 2" F.W. LANDSCAPE TIEBER.
  - 1" 1/2" AVAILABLE CLEAR FASTENER FOR WIRE, BRACES, FLORIDA #1 OR APPROVED SOIL.
  - 3 1/2" x 4" x 1/2" LANDSCAPE TIEBER AS SPECIFIED.
  - 1/2" MULCH DEPTH LAYER OR ROOT BALL.
  - 1/2" WATER RING, 1/2" IN ROOTBALL DIA. FILL 1 TIER IF PRELIMINARY AFTER PLANTING. RAKE OUT PRIOR TO MULCHING AND PLANTING.
  - ROOT PLATE 1/2" ABOVE FINISHED GRADE.
  - 1/2" 30 OR CONTAINERIZED ROOTBALL, REMOVE ALL MULCH IF NOT SOIL DISCONTINUES ABOVE SOIL FASTER FROM ROOTBALL PRIOR TO PLANTING.
  - SHOULDER TOP SOLE TYP. OF AREA SHOULDER SHALL BE AMENDED THROUGHOUT ENTIRE SITE WITH FERTILIZER AND COPPER AS REQUIRED.
  - AMENDED SOILGRADE.
  - COMPACT SOIL, PERMANENTLY BENTONITE THE SOIL BALL TO PREVENT SETTLING.
- NOTES:**
- CONTRACTOR TO ASSURE PENETRATION IN TREE PITS.
  - NO MULCH WITHIN 6" OF TRUNK.



5 Shrubs Planting Detail  
SCALE: N.T.S.



REVISIONS:

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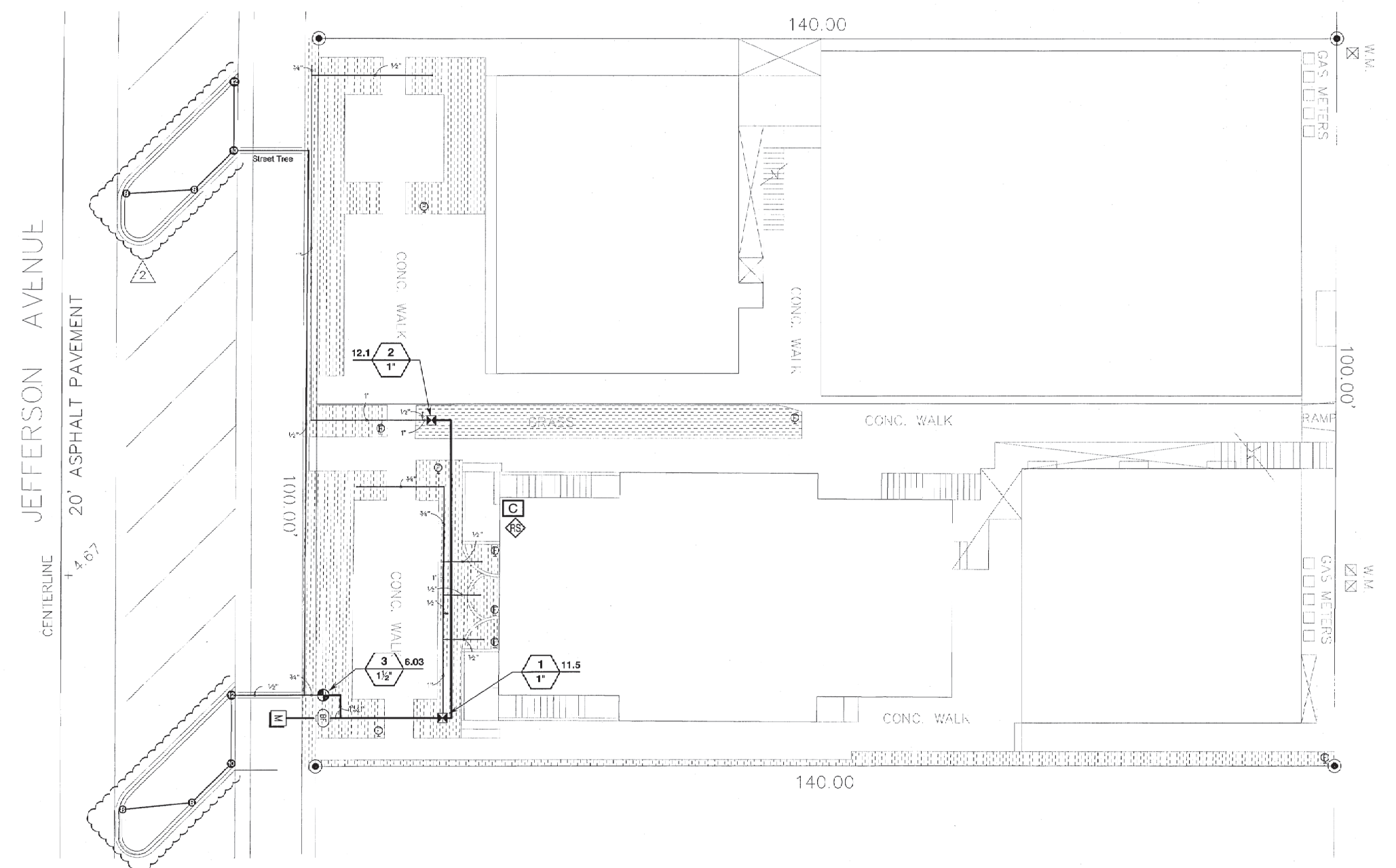
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Project #: 2019.04.25.ALD  
Drawn By: JV  
Checked By: DL  
Title:  
LANDSCAPE NOTES & DETAILS  
Sheet Number:  
**L-3**  
Date: - APRIL 12, 2018



REVISIONS:
1 07-12-2018 - CITY COMMENTS
2 07-09-2019 - CITY COMMENTS

PROJECT NAME  
**JEFFERSON RESIDENCE**  
333 JEFFERSON AVE.  
MIAMI BEACH, FLORIDA

SHEET INFORMATION:
Drawing Size: 24x36
Project #: 2018-0425-ALD
Drawn By: JV
Checked By: DL
Title: IRRIGATION PLAN
Sheet Number: L-4
Date: - APRIL 12, 2018



**1 Irrigation Plan**  
SCALE:  
0 8 16 24 feet  
1/8" = 1'-0"  
NORTH

**GENERAL**

IRRIGATION SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES, CONTRACT DRAWINGS, CONTRACT SPECIFICATIONS, AND APPENDIX 'F' OF THE FLORIDA BUILDING CODE.

IRRIGATION DESIGN BASED ON 'PLANTING PLAN'. CONTRACTOR SHALL REFER TO THIS PLAN TO COORDINATE SPRINKLER LOCATIONS AND PIPE ROUTING WITH NEW AND EXISTING PLANT LOCATIONS.

THIS PLAN SHALL BE USED AS A GUIDE ONLY. IRRIGATION SHALL BE INSTALLED TO MATCH ON-SITE CONDITIONS AND TO OVERCOME THE 'INHERENT INACCURACIES THAT RESULT' WHEN DESIGNING FROM BASE PLANS.

THIS IRRIGATION HAS BEEN DESIGNED AS A TYPICAL BLOCK VALVE TYPE USING TORO SPRINKLERS, IN-LINE VALVES AND CONTROL SYSTEM. A RAIN SENSOR SHALL BE INSTALLED TO CONSERVE WATER.

IRRIGATION SHALL BE INSTALLED AND MAINTAINED TO MINIMIZE UNDESIRABLE OVERTHROW ONTO PAVEMENT, SIDEWALKS, AND BUILDINGS.

CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH SITE CONDITIONS, AND SHALL REFER TO THE PLANS FOR ADDITIONAL INFORMATION.

TO ENSURE PROPER OPERATION, SOURCE SIZE, VALVE SIZES, ZONE CAPACITIES, AND SPRINKLER PIPE AND WIRE SIZES, AND INSTALLATION NOTES AND DETAILS SHALL BE FOLLOWED AS SHOWN.

CONTRACTOR IS TO PROVIDE AN AS-BUILT DRAWING OF THE IRRIGATION SYSTEM TO THE OWNER AND LANDSCAPE ARCHITECT.

**PIPING**

PIPE ROUTING IS SCHEMATIC ONLY AND SHALL BE ADJUSTED FOR ON-SITE CONDITIONS.

PIPE SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES, SECTION 'F' OF THE FLORIDA BUILDING CODE, AND PIPE MANUFACTURER'S INSTRUCTIONS.

PIPE ROUTED UNDER HARDSCAPED AREAS SHALL BE SLEEVED IN SCH 40 PVC. EACH SLEEVE SHALL BE: (1) BURIED TO A MINIMUM DEPTH OF 24"; (2) TWO PIPE SIZES LARGER THAN CARRIER PIPE, AND (3) EXTENDED 3' BEYOND HARDSCAPED AREA ON EACH END. CONTRACTOR SHALL REFER TO LOCATION OF EXISTING SLEEVES.

PIPE SIZED TO LIMIT FLOW VELOCITIES TO 5 FEET/SECOND AND TO LIMIT FRICTION LOSS IN THE PIPING NETWORK.

PIPE SHALL BE INSTALLED AT SUFFICIENT DEPTH BELOW GROUND TO PROTECT IT FROM HAZARD SUCH AS VEHICULAR TRAFFIC OR ROUTINE OCCURRENCES WHICH OCCUR IN THE NORMAL USE AND MAINTENANCE OF THE PROPERTY. DEPTHS OF COVER SHALL MEET OR EXCEED SCS CODE 430-DD. REFER TO THE APPLICABLE DETAIL FOR ADDITIONAL INFORMATION.

BACKFILL SHALL BE OF SUITABLE MATERIAL, FREE OF ROCKS, STONES, AND OTHER DEBRIS THAT WOULD DAMAGE IRRIGATION SYSTEM COMPONENTS.

A GATE VALVE SHALL BE INSTALLED FOR ISOLATION. THIS VALVE SHALL BE TO LINE SIZE AND INSTALLED IN A VALVE BOX. PERCUSS MATERIAL SHALL BE INSTALLED PER BOX TO PROMOTE DRAINAGE.

**SPRINKLERS**

SPRINKLER LOCATIONS ARE SCHEMATIC ONLY AND SHALL BE ADJUSTED FOR LANDSCAPING, FENCES, SITE LIGHTING, PREVAILING WIND, MOUNDING, ETC., TO ENSURE PROPER COVERAGE WITH MINIMAL UNDESIRABLE OVERTHROW. A PRIME OBJECTIVE SHALL BE TO ELIMINATE OVERTHROW ONTO PAVEMENT, SIDEWALKS, AND THE RESIDENCE.

POP-UP TYPE LOCATED IN SOIL, MULCH, AND GROUND COVERS SHALL BE INSTALLED ON FLEXIBLE SWING JOINTS CONSISTING OF THICKWALLED POLY PIPE AND 1/2" INSERT ELBOWS.

EACH SPRINKLER SHALL BE EQUIPPED WITH THE APPROPRIATE PRECISION SPRAY NOZZLE AND SHALL HAVE THE X-FLOW FEATURE.

ADJUSTMENT FEATURES OF SPRINKLERS SPECIFIED SHALL BE UTILIZED TO ENSURE PROPER COVERAGE WITH MINIMAL UNDESIRABLE OVERTHROW, LOW ANGLE, FLAT SPRAY, AND ADJUSTABLE ARC NOZZLES SHALL BE USED TO MINIMIZE OVERTHROW.

SPRINKLERS LOCATED ADJACENT TO HARDSCAPED AREAS SHALL BE INSTALLED AWAY FROM HARDSCAPED AREAS TO MINIMIZE OVERTHROW AND THE CHANCE OF DAMAGE BY VEHICLES, PEDESTRIANS, AND LAWN MAINTENANCE PERSONNEL. AS A GENERAL RULE, 6" POP-UP SPRAY HEADS SHALL BE INSTALLED IN 4' SHRUB HEADS AND 12" POP-UP SPRAY HEADS SHALL BE INSTALLED IN 12'.

**CONTROL SYSTEM**

CONTROLLER SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES AND MANUFACTURER'S INSTRUCTIONS. PROPER GROUNDING EQUIPMENT SHALL BE PROVIDED.

CONTROLLER LOCATION SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE. A 110 VAC ELECTRIC SOURCE IS REQUIRED.

CONTROL LINES FROM AUTOMATIC CONTROLLER TO IN-LINE AUTOMATIC VALVES SHALL BE #14 AWG DIRECT BURIAL UF TYPE WHICH SHALL BE: (1) INSTALLED IN ACCORDANCE WITH LOCAL CODES; (2) INSTALLED IN SCH 40 PVC WIRE CONDUIT; (3) BURIED TO A MINIMUM DEPTH OF 18"; (4) COLORED CODED TO FACILITATE TROUBLESHOOTING; AND (5) SPLICED MOSTLY AT VALVE LOCATIONS. SPLICES SHALL BE MADE WATERPROOF USING APPROVED METHODS. SPARE WIRES SHALL BE ROUTED FROM THE CONTROLLER IN ALL DIRECTIONS TO THE FARTHEST VALVES CONTROLLED.

AN INDIVIDUAL CONTROL WIRE SHALL BE ROUTED TO EACH VALVE AND VALVES WHICH OPERATE SIMULTANEOUSLY SHALL BE TIED TOGETHER AT THE CONTROLLER.

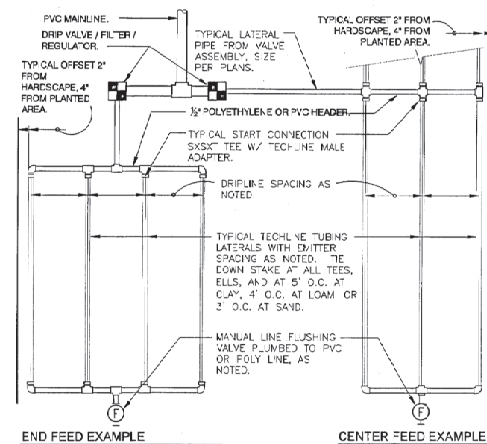
AUTOMATIC VALVE LOCATIONS ARE SCHEMATIC ONLY AND SHALL BE ADJUSTED FOR ON-SITE CONDITIONS. EACH VALVE SHALL BE INSTALLED IN A VALVE BOX. A MINIMUM OF ONE CUBIC FOOT OF GRAVEL SHALL BE PROVIDED PER BOX TO PROMOTE DRAINAGE.

THE RAIN SENSOR SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

**TIMING AND PRECIPITATION**

TIMING OF EACH STATION SHALL BE SET IN THE FIELD TO MATCH LOCAL REQUIREMENTS. REFER TO ZONE SUMMARY CHART FOR RECOMMENDED RUN TIMES TO APPLY 1.0 INCHES/WEEK.

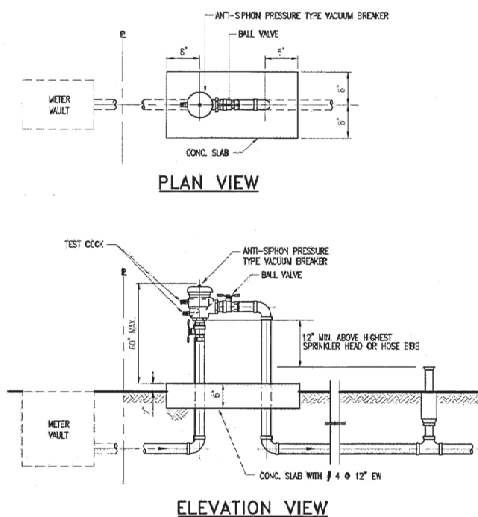
Digitally signed by Derick Langel  
Date: 2019.07.10  
08:57:00 -0400



TECHLINE CV MAXIMUM LENGTH OF SINGLE LATERAL (FEET)		12"			18"			24"			
DRIPPER SPACING	DRIPPER FLOW RATE (GPH)	0.26	0.4	0.6	0.9	0.26	0.4	0.6	0.9	0.6	0.9
15	127	09	88	85	177	151	120	91	152	116	
25	427	325	256	154	604	459	251	274	458	348	
35	539	409	322	244	763	579	456	346	580	440	
45	618	469	359	280	877	664	523	397	666	506	

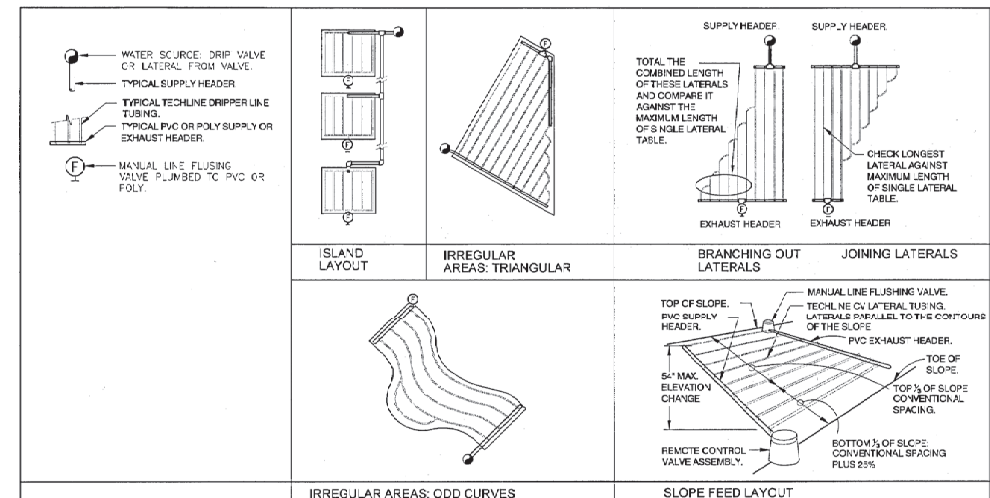
  

TECHLINE CV FLOW PER 100 FEET		12"			18"			24"			
DRIPPER SPACING	0.26 GPH DRIPPER	0.4 GPH DRIPPER	0.6 GPH DRIPPER	0.9 GPH DRIPPER	0.26 GPH DRIPPER	0.4 GPH DRIPPER	0.6 GPH DRIPPER	0.9 GPH DRIPPER	0.26 GPH DRIPPER	0.4 GPH DRIPPER	0.6 GPH DRIPPER
12"	26.40	0.44	40.00	0.57	61.00	1.02	82.00	1.53			
18"	17.58	0.28	25.57	0.44	41.00	0.53	61.00	1.02			
24"	N/A	N/A	17.74	0.33	21.00	0.51	46.00	0.77			

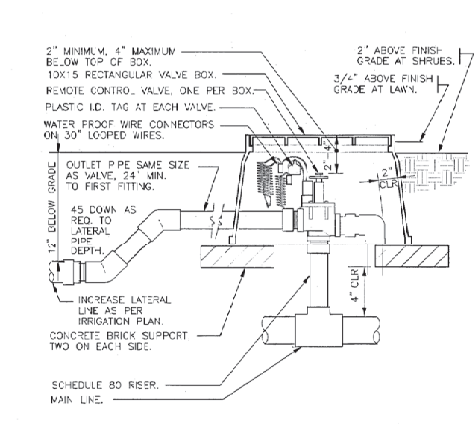


- NOTES:**
- THE ASSEMBLY SHALL BE INSTALLED WITH MINIMUM HORIZONTAL CLEARANCES OF 30 INCHES FREE FROM OBSTRUCTIONS IN ALL DIRECTIONS.
  - GUARD POSTS SHALL BE INSTALLED IF THE ASSEMBLY IS EXPOSED TO POSSIBLE DAMAGE FROM VEHICULAR TRAFFIC, AS DETERMINED BY THE DEPARTMENT.
  - THE ASSEMBLY SHALL BE INSTALLED IN AN ACCESSIBLE LOCATION, APPROVED BY THE DEPARTMENT.
  - PIPING SHALL BE SCHEDULE 40 BRASS OR TYPE K COPPER PIPE WITH THREADED FITTINGS IN ACCORDANCE WITH WSD CONSTRUCTION SPECIFICATIONS FOR DOMESTIC WATER MAINS. PVC PIPING IS NOT ACCEPTED BY WSD.
  - THE DEPARTMENT SHALL HAVE UNRESTRICTED AND CONTINUOUS ACCESS TO THE VACUUM BREAKER ASSEMBLY.
  - SEE SPECIFICATIONS AND CONTACT DEPARTMENT FOR CURRENTLY APPROVED TYPES OF BACKFLOW PREVENTION ASSEMBLIES AND PRESSURE VACUUM BREAKERS (SEE WS 4.18 5-D ET 4 OF 4)

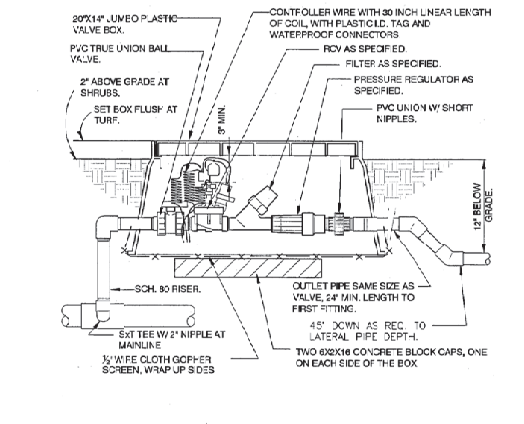
**1 VACUUM BREAKER SCALE:**



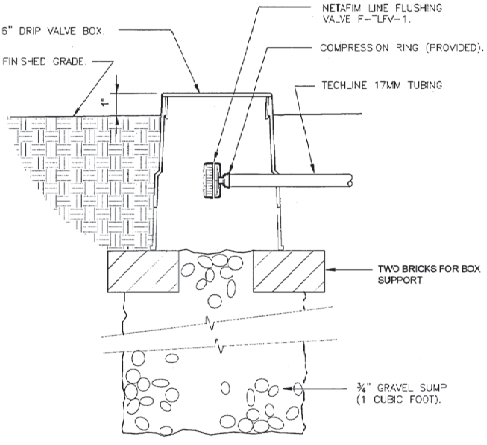
**2 TYPICAL NETAFIM TECHLINE CV REQUIREMENTS**  
3' = 1'-0" 328413.56-39



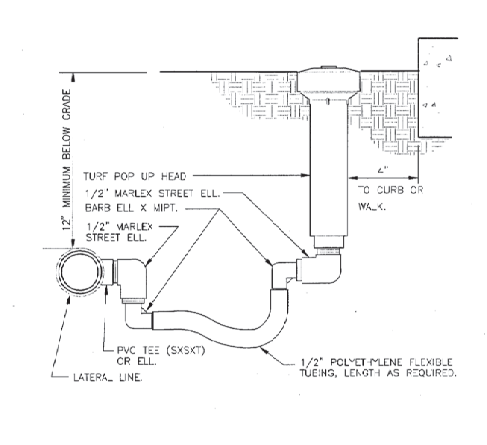
**3 ELECTRIC REMOTE CONTROL VALVE**  
1'-0" = 1'-0" 328405.0-02



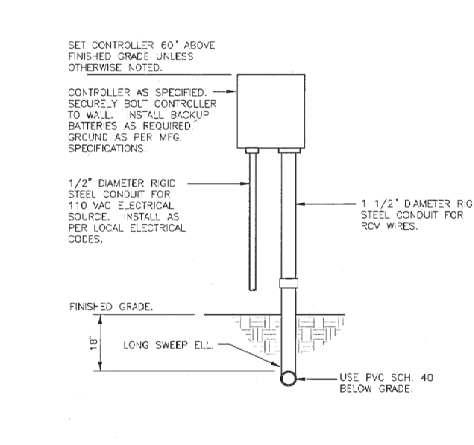
**4 1" DRIP VALVE/FILTER/REGULATOR**  
1 1/2" = 1'-0" 328410.76-03



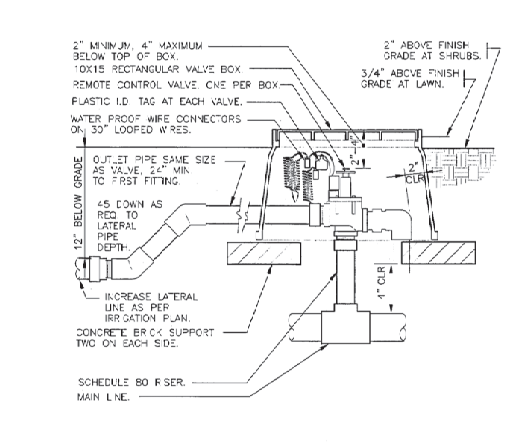
**6 NETAFIM TECHLINE FLUSH VALVE**  
3' = 1'-0" 3284.3.49-23



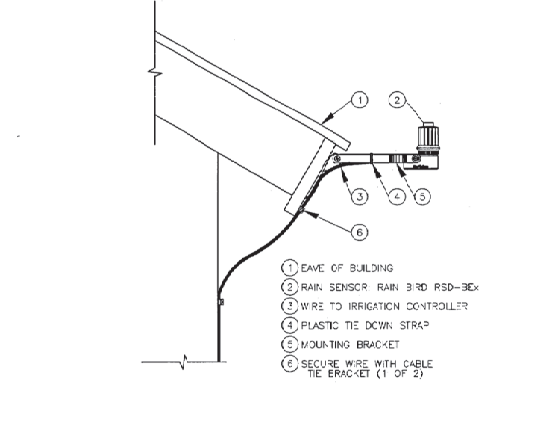
**7 TURF SPRAY FLEX ASSEMBLY**  
3' = 1'-0" 328403.19-03



**8 WALL MOUNT CONTROLLER**  
1' = 1'-0" 328405.0-01



**9 ELECTRIC REMOTE CONTROL VALVE**  
1 1/2" = 1'-0" 328406.13-02



**2 RAIN SENSOR**  
N.T.S. 328406.13-02

**IRRIGATION SCHEDULE**

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	DETAIL
1	Top 670248-20 ADJ Turf Spray 4" Pop-Up, with a Zero Flush Seal, Low Pressure Setting, allowing for pop-up and retraction at lower pressures. 1/2" Female Threaded Inlet. Ideal for small to medium landscape areas.	5	36
2	Rain Bird NCZ-100 RPI 1" Automatic Flush Valve, with Inset Inlet	2	
3	Netfim TLFV-1 Automatic Flush Valve, with Inset Inlet	9	
4	Netfim TLFV-1 Automatic Flush Valve, with Inset Inlet	9	
5	Area to Receive Deline Netfim TLFV-12 (12) Techline Pressure Compensating Landscape Dripline with Creech Valve. 0.9GPH emitters at 12" O.C. Deline laterals spaced at 12" O.C. apart, with emitters offset for triang. pattern. 17mm.	1484	4
6	Topo P202-27.0 GLOBE 1-1/2" Electric, 1", 1-1/2", 2" and 3" Plastic In-Line Remote Control Valve. Equipped to withstand pressure up to 250 PSI. Filter as per on 2" and 3" models. Standard Solenoid. Dacote Body Style, with EZ Reg Pressure Regulator.	1	
7	Fecoco 785 1" Pressure Vacuum Breaker, brass w/ ball valve SOV. Install 12" (30CM) above highest downstream outlet and the highest point in the downstream piping.	1	
8	Hunter FC-8000 Modular Control, 8 stations, outdoor mode, PGM-800 included. Plastic Cabinet. Residential/Light Commercial Use.	1	
9	Water Meter 1"	1	
10	Irrigation Lateral Line: PVC Schedule 40 1/2"	185	1.1
11	Irrigation Lateral Line: PVC Schedule 40 3/4"	232	1
12	Irrigation Lateral Line: PVC Schedule 40 1"	853	1
13	Irrigation Mainline: PVC Schedule 40 2"	55	1
14	Irrigation Mainline: PVC Schedule 40 1"	679	1
15	Pipe Sleeve: PVC Schedule 40	218	1

NUMBER	MODEL	SIZE	TYPE	GPU	WIRE	PSI	PSI @ 20C	P RECP
1	Rain Bird NCZ-100 RPI	1"	Area for Dripline	11.48	54.3	32.56	37.58	1.82/in
2	Rain Bird NCZ-100 RPI	1"	Area for Dripline	12.14	55.6	33.88	40.57	1.82/in
3	Topo P202-27.0 GLOBE	1-1/2"	Turf Spray	6.93	73.1	35.29	39.17	1.7/in
	Common Wire					73.1		

REVISIONS:  
1 07-12-2018 - CITY COMMENTS  
2 07-09-2019 - CITY COMMENTS

PROJECT NAME  
**JEFFERSON RESIDENCE**  
333 JEFFERSON AVE.  
MIAMI BEACH, FLORIDA

Drawing Size: 24x36  
Project #: 20-0-04-25 ALD  
Drawn By: JV  
Checked By: DL

Title:  
IRRIGATION  
DETAILS & SCHEDULE

Sheet Number  
**L-5**

Date: - APRIL 12, 2018