CUBE 3

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111 SW 3rd Street, Floor 4
Miami, Florida 33133
License No. L18000278579

Jonathan W. Cardello, AIA

FL License No. AR93391

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Date: 2021.12.03 11:00:56 -05'00'

0' 20' 40' 80'

411 Michigan Avenue
Miami Beach, Florida

Existing Site Plan
Scale: 1" = 20'-0"

Final Submittal
6 December 2021

A1.5

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Date: 2021.12.03 11:01:42 -05'00'

0' 20' 40' 80'

411 Michigan Avenue
Miami Beach, Florida

Proposed Site Plan
Scale: 1" = 20'-0"

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A1.6

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Date: 2021.12.03 10:49:33 -05'00'

A2 Zoning Tabulations | Zoning Diagrams

411 Michigan Avenue
Miami Beach, Florida

Final Submittal
6 December 2021

A2.0

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Project Information			
1	Address:	411-419 Michigan Ave, 944 5 Street		
2	Board and file numbers :	HPB21-0486		
3	Folio number(s):	02-4203-010-0030, 02-4203-009-6170, 02-4203-009-6160		
4	Year constructed:	N/A	Zoning District:	CPS-2
5	Based Flood Elevation:	8	Grade value in NGVD:	4
6	Adjusted grade (Flood+Grade/2):	6	Lot Area:	21,000
7	Lot width:	140'	Lot Depth:	150'
8	Minimum Unit Size	N/A	Average Unit Size	N/A
9	Existing use:	N/A	Proposed use:	Commercial

	Zoning Information / Calculations	Maximum	Existing	Proposed	Deficiencies
10	Height	75'	0'	75'	*Pursuant to in-process Code Amendment*
11	Number of Stories	N/A	N/A	5	
12	**FAR**	42,000	0	41,377	
13	Gross square footage	N/A	9,500	92,356	
14	Square Footage by use	N/A	9,500	3,125 Retail, 38,252 Office	
15	Number of units Residential	N/A	N/A	N/A	
16	Number of units Hotel	N/A	N/A	N/A	
17	Number of seats	N/A	N/A	N/A	
18	Occupancy load	N/A	N/A	N/A	

	Setbacks	Required	Existing	Proposed	Deficiencies
	Subterranean:				
19	Front Setback facing Michigan:	0	0	0	
20	Side Setback:	0	0	0	
22	Side Setback facing 5th street:	0	0	0	
23	Rear Setback facing Alley:	5'	10'	9'	
	At Grade Parking:				
24	Front Setback facing Michigan:	0	0	0	
25	Side Setback:	0	0	0	
27	Side Setback facing 5th street:	0	0	0	
28	Rear Setback Facing Alley:	5'	10'	9'	
	Pedestal and Tower:				
29	Front Setback facing Michigan:	0	0	4"	
30	Side Setback:	0	1'-6"	0	
31	Side Setback facing 5th street:	0	0	4"	
32	Rear Setback Facing Alley:	5'	10'	9'	
	Parking	**Required**	**Existing**	**Proposed**	**Deficiencies**
39	Parking District	**1**	**1**	**1**	
40	Total # of parking spaces	**85**	**0**	**85**	*106 Required before Reductions (see chart A2.2)*
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)	**see chart A2.2**	**0**	**see chart A2.2**	
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)	**N/A**	**0**	**Basement - 58 Ground Floor -27**	
43	Parking Space Dimensions	**8.5' x 18'**	**0**	**8.5' x 18'**	
44	Parking Space configuration (45o, 60o, 90o, Parallel)	**90**	**0**	**90**	
45	ADA Spaces				
46	Tandem Spaces	**N/A**	**0**	**15**	
47	Drive aisle width	**22'**	**0**	**22'**	
48	Valet drop off and pick up	**Y**	**N**	**Y**	
49	Loading zones and Trash collection areas	**3**	**0**	**1 in alley**	*Waiver Requested*
50	Bicycle parking, location and Number of racks	**0**	**0**	**25 Long Term in Basement**	

	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51	Type of use				
52	Number of seats located outside on private property	N/A	N/A	N/A	
53	Number of seats inside	N/A	N/A	N/A	
54	Total number of seats	N/A	N/A	N/A	
55	Total number of seats per venue (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	
56	Total occupant content	N/A	N/A	N/A	
57	Occupant content per venue (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	

58	Proposed hours of operation	8am-8pm and security controlled access for after-hours for office tenants
59	Is this an NIE? (Neighboot Impact stablishment, see CMB 141-1361)	N
60	Is dancing and/or entertainment proposed ? (see CMB 141-1361)	N
61	Is this a contributing building?	Yes
62	Located within a Local Historic District?	Yes

Notes:

If not applicable write N/A N/A

Beach, Florida 33139, www.miamibeachfl.g

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0' 20' 40' 80'

411 Michigan Avenue
Miami Beach, Florida

CMB Zoning
Scale: 1" = 40'-0"

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A2.1

Parking District		Parking District No. 01		
Office or Office Building	Ground Floor | One Space per 300 square feet of floor area	2,904 SF 10 Parking Spaces		
	Upper Floors | One Space per 400 square feet of floor area	35,310 SF 88 Parking Spaces		
	Historic Property Ground Floor | One Space per 300 square feet of floor area	681 SF 2 Parking Spaces		
	Office or Office Building Required Parking =	**98 Parking Spaces**		
Retail Parking	Ground Floor | One Space per 300 square feet of floor area	2,444 SF 8 Parking Spaces		
	Retail Required Parking =	**8 Parking Spaces**		
	Total Parking Required =	**106 Parking Spaces**		
	Total Parking Required (after reductions) =	**85 Parking Spaces**		
Mechanical Parking - Sec. 130-38	Two Sets of Schematics must be presented showing traditional parking and parking utilizing Mechanical Lifts		**85 Parking Spaces Provided**	
Electric Vehicle Parking - Sec. 130-39	2.00% of the Required Parking	**2 Electric Vehicle Parking Spaces**	**5 Electric Vehicle Parking Spaces**	
Alternative Parking Incentives - Sec. 130-40	**Minimum off-street parking may be reduced as follows:**			
Bicycle Parking - Long-Term	off-street parking may be reduced by one off-street parking space for every five long-term bicycle parking spaces; not to exceed 15 percent of the off-street parking spaces that would otherwise be required		**25 Bicycle Parking - Long-Term**	**Reduction = 5 spaces**
Bicycle Parking - Short-Term	off-street parking may be reduced by one off-street parking space for every ten short-term bicycle parking spaces; not to exceed 15 percent of the off-street parking spaces that would otherwise be required		**0 Bicycle Parking - Short-Term**	
Carpool/Vanpool Parking	off-street parking may be reduced by three off-street parking space for every one parking space reserved for carpool or vanpool vehicle registered with South Florida Commuter Services; not to exceed 10 percent of the off-street parking spaces that would otherwise be required		**3 Carpool/Vanpool Parking**	**Reduction = 9 spaces**
Drop-off and loading for transportation for compensation vehicles	Not Applicable		**0 Transportation Loading**	
Scooter, Moped and Motorcycle Parking	off-street parking may be reduced by one off-street parking space for every three scooter, moped or motorcyble parking space; not to exceed 15 percent of the off-street parking spaces that would otherwise be required		**3 Scooter, Moped and Motorcycle**	**Reduction = 1 space**
Showers	The minimum off-street parking requirements for noresidential uses that provide showers or changing facilities for bicyclists may be reduced by two off-street parking spaces for each separate shower facility up to a maximum of eight parking spaces.		**3 Showers**	**Reduction = 6 spaces**
				Total Reduction = 21 Spaces
Off-street parking space dimensions	**Minimum off-street parking may be reduced as follows:**			
Standard Space Dimensions	8'-6" x 18'–0"		**8'-6" x 18'-0"**	
Standard Parrallel Parking Space Dims.	8'-6" x 21'-0"			
Interior Drive Aisles	**Minimum off-street parking may be reduced as follows:**			
90 degree parking	22 feet, with columns parallel to the interior drive on each side of the required drive, set back an additional one foot six inches, measured from the edge of the required drive to the face of the columns			
45 degree parking	11'-0"			
60 degree parking	17'-0"			
Drives	**Minimum off-street parking may be reduced as follows:**			
	Drives shall have a minimum width of 22 feet for two-way traffic		**22'-0"**	

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0' 20' 40' 80'

411 Michigan Avenue
Miami Beach, Florida

Parking Reductions Chart
Scale: 1" = 40'-0"

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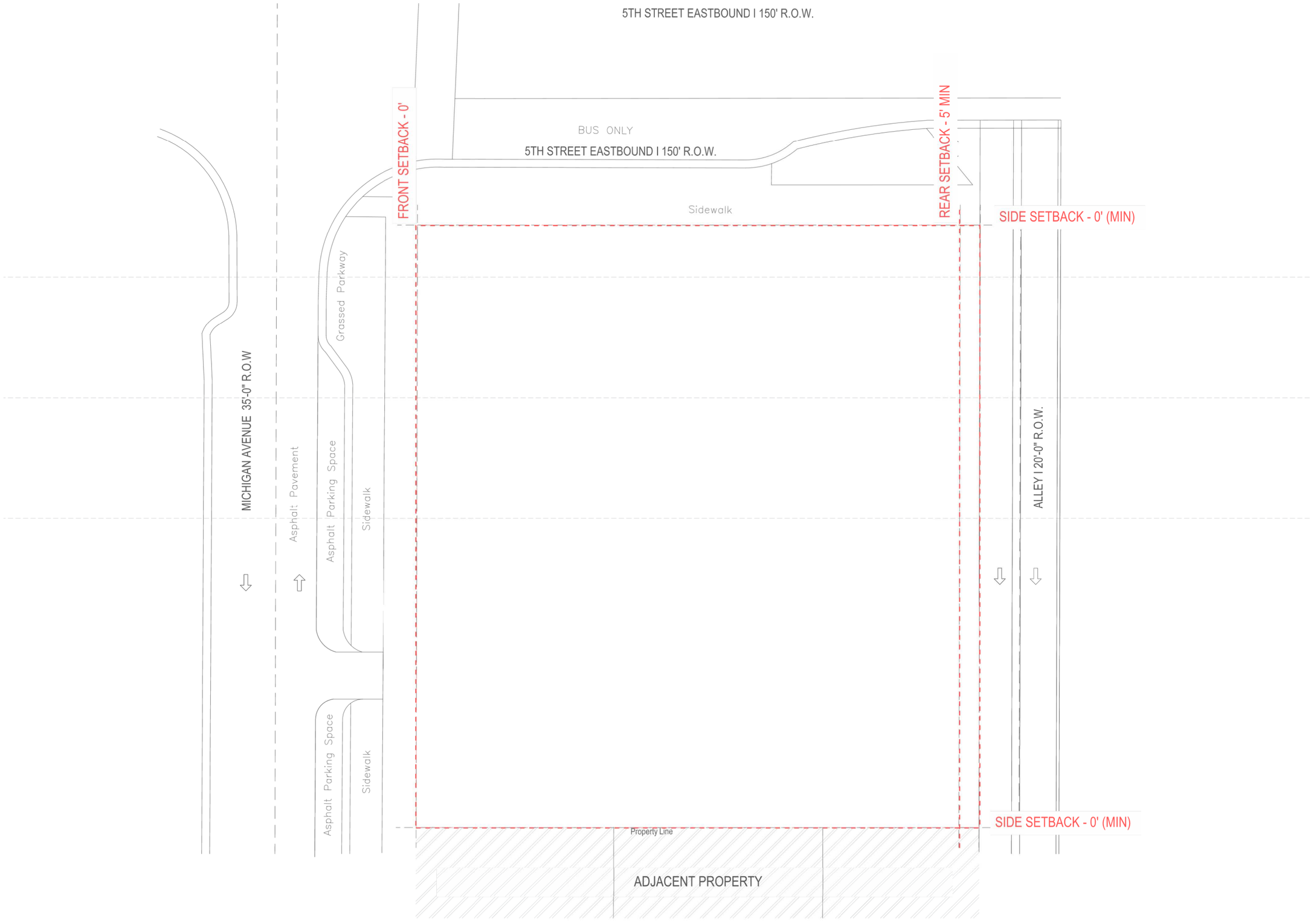
6 December 2021

A2.2



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Date: 2021.12.03 11:03:34 -05'00'

0' 10' 20' 40'

411 Michigan Avenue
Miami Beach, Florida

Zoning Setback Diagram
Scale: NTS

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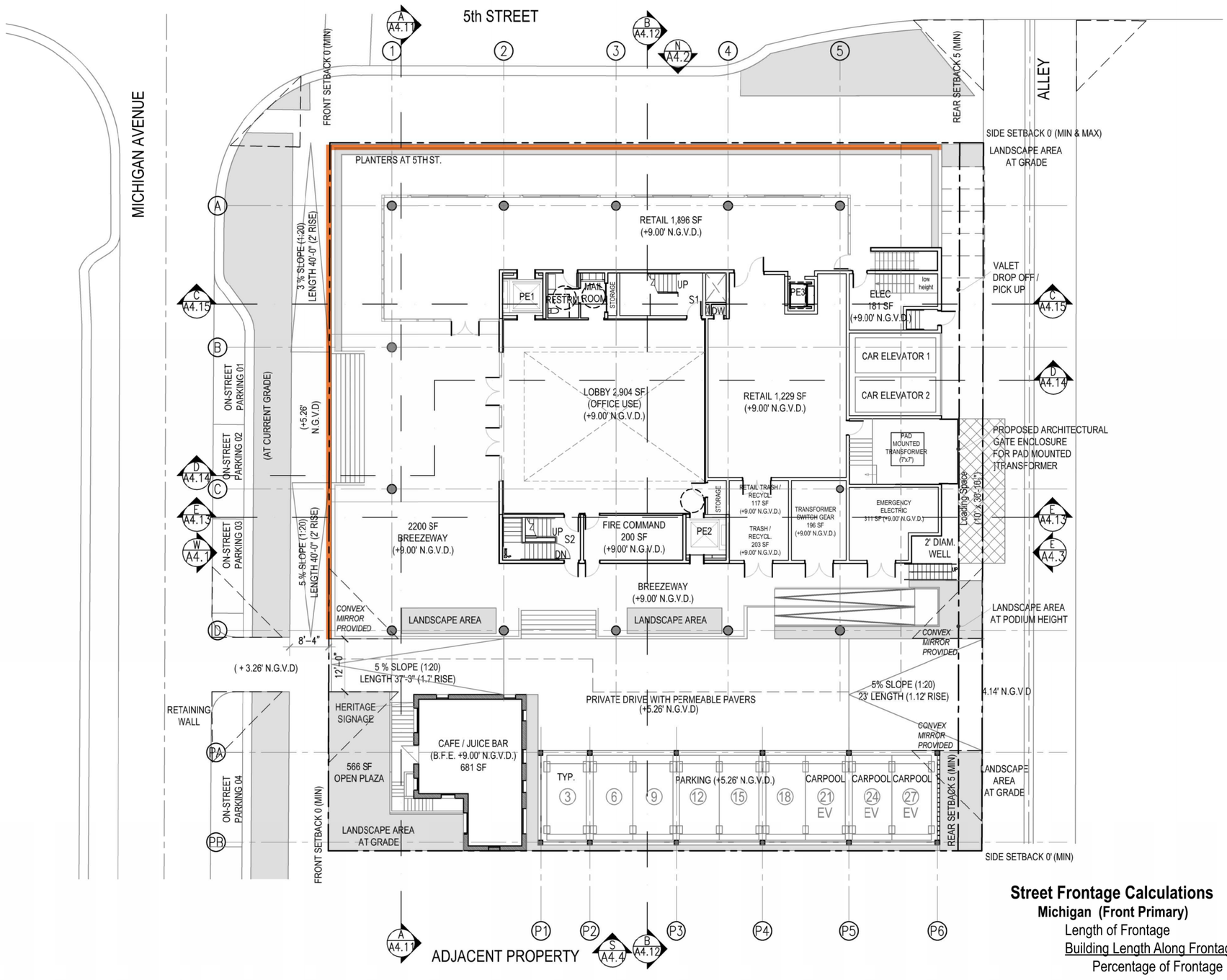
6 December 2021

A2.3



Street Frontage Calculations

Michigan (Front Primary)

Length of Frontage	150'-0"
Building Length Along Frontage	104'-9"
Percentage of Frontage	69.8%

5th Street (Side Secondary)

Length of Frontage	140'-0"
Building Length Along Frontage	130'-2"
Percentage of Frontage	92.9%

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Date: 2021.12.03 11:04:07 -05'00'

0' 20' 40' 80'

411 Michigan Avenue
Miami Beach, Florida

Street Frontage Diagram
NTS

Final Submittal
6 December 2021

A2.4

Methodology of Confirming Existing Building FAR

To Confirm the size of the existing building along 71st Street, we used the following methodology

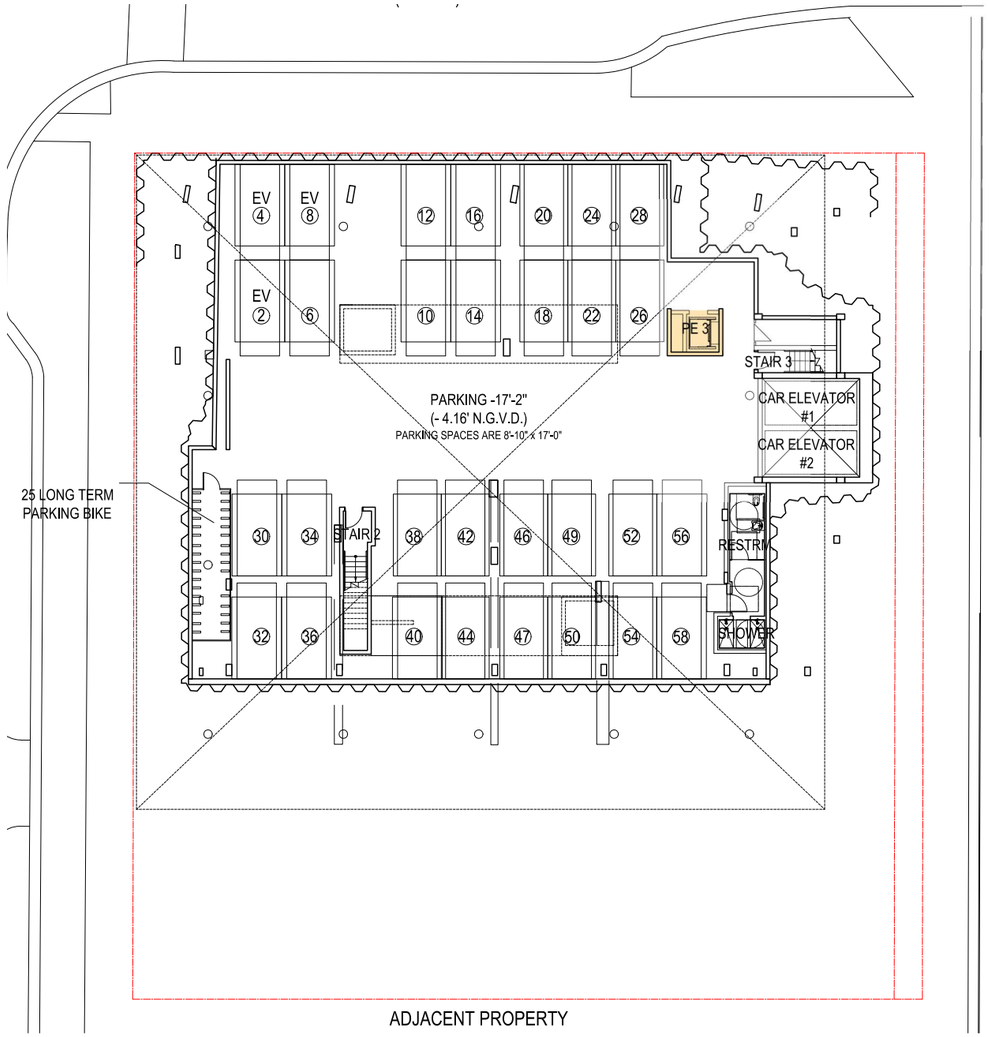
- Per the existing information we drew the structural grids, elevations and floor elevations. Then based on the enlarged details in the drawing set, we established the centerline of column to exterior wall of the building. This overall measurement established the overall building envelope based on those original document.
- Upon completing the FAR As-Built envelope, we walked the perimeter of the building to address at enclosure modifications to the overall massing of the building.

New Development

Calculated FAR

Note:

See Sheet A2.1 for Overall FAR Analysis of Existing Buildings



FAR Calculation

	New Development
Basement	38 FAR SF
Ground Floor	6,029 FAR SF
Mezzanine	2,075 FAR SF
Second Floor	8,440 FAR SF
Third Floor	8,227 FAR SF
Fourth Floor	8,227 FAR SF
Fifth Floor	8,227 FAR SF
Roof Mechanical Penthouse	114 FAR SF
TOTAL FAR	41,378 FAR SF

GSF Calculation

	New Development
Basement	9,508 GSF
Ground Floor	13,705 GSF
Historic Structure	681 GSF
Mezzanine	3,762 GSF
Second Floor	12,940 GSF
Third Floor	12,940 GSF
Fourth Floor	12,940 GSF
Fifth Floor	12,940 GSF
Roof Mechanical Penthouse	12,940 GSF
TOTAL GSF	92,356 GSF

(Includes Terraces, Podium, and Roof Deck)

NSF Calculation

	New Development
Basement	38 NSF
Ground Floor	6,029 NSF
Historic Structure	681 NSF
Mezzanine	2,075 NSF
Second Floor	8,440 NSF
Third Floor	8,227 NSF
Fourth Floor	8,227 NSF
Fifth Floor	8,227 NSF
Roof Mechanical Penthouse	114 NSF
TOTAL NSF	41,377 NSF

Basement Floor - FAR

Scale: 1" = 40'-0"

FAR Calculation

	New Development
Basement	38 FAR SF

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Date: 2021.12.03 11:06:54 -05'00'

0' 20' 40' 80'

411 Michigan Avenue
Miami Beach, Florida

FAR Diagrams
Scale: 1" = 40'-0"

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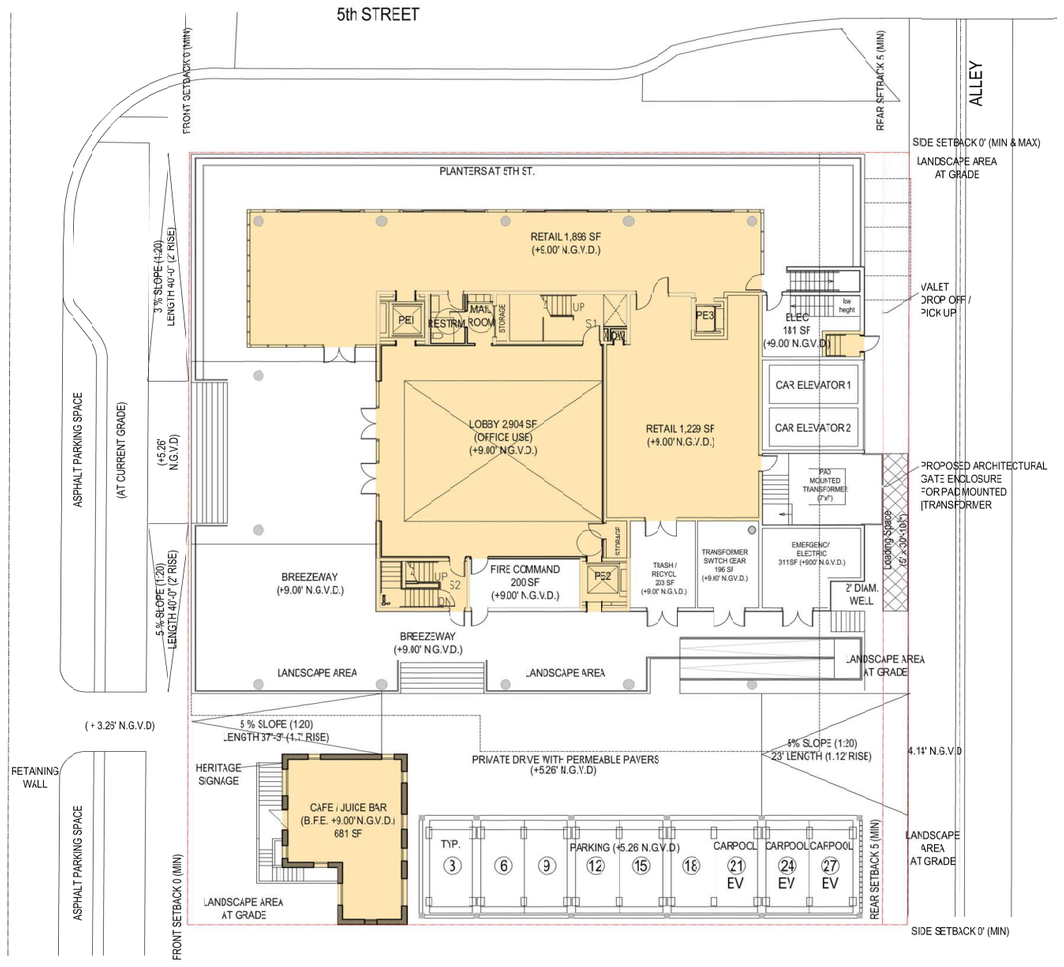
6 December 2021

A2.5

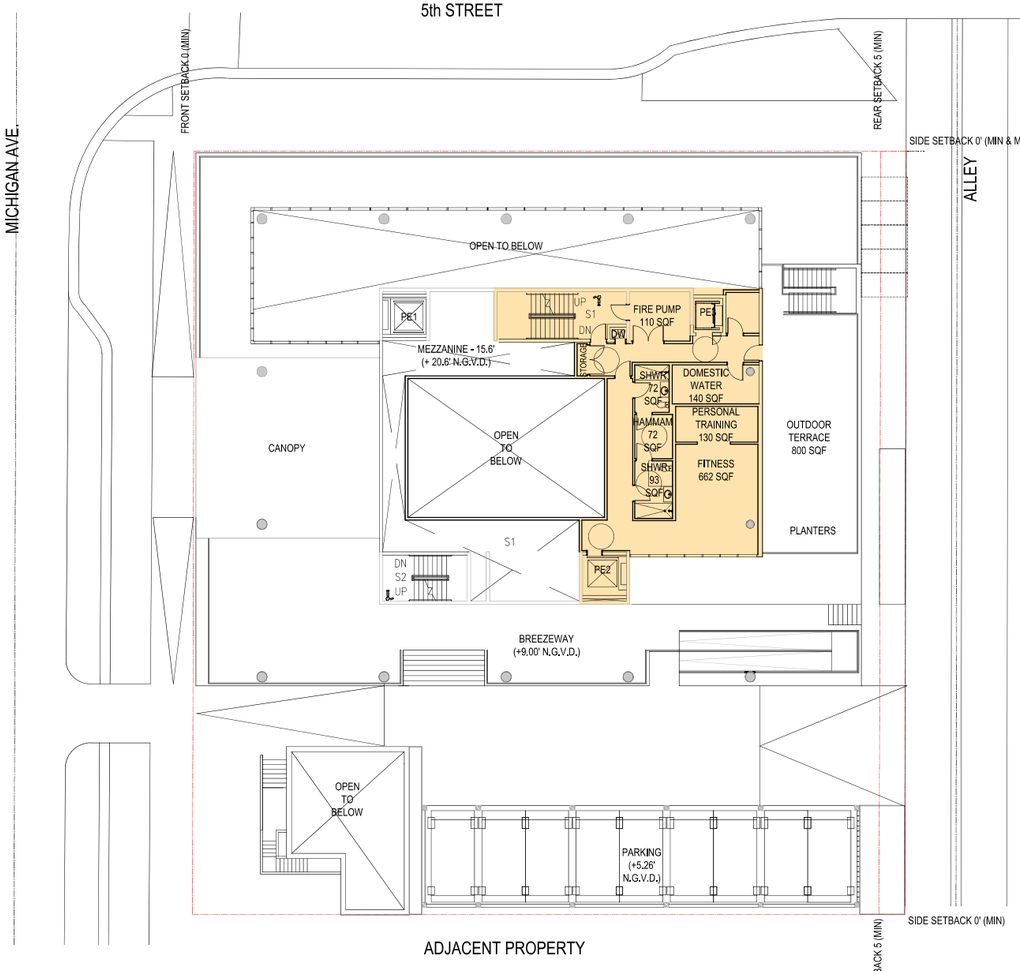


Level 1 - FAR

Scale: 1" = 40'-0"

FAR Calculation

Ground Floor New Building	5,892 FAR SF
Ground Floor Historic Building	681 FAR SF



Level Mezzanine - FAR

Scale: 1" = 40'-0"

FAR Calculation

Mezzanine	2,075 FAR SF

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411 Michigan Avenue

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FAR Diagrams

Scale: 1" = 40'-0"

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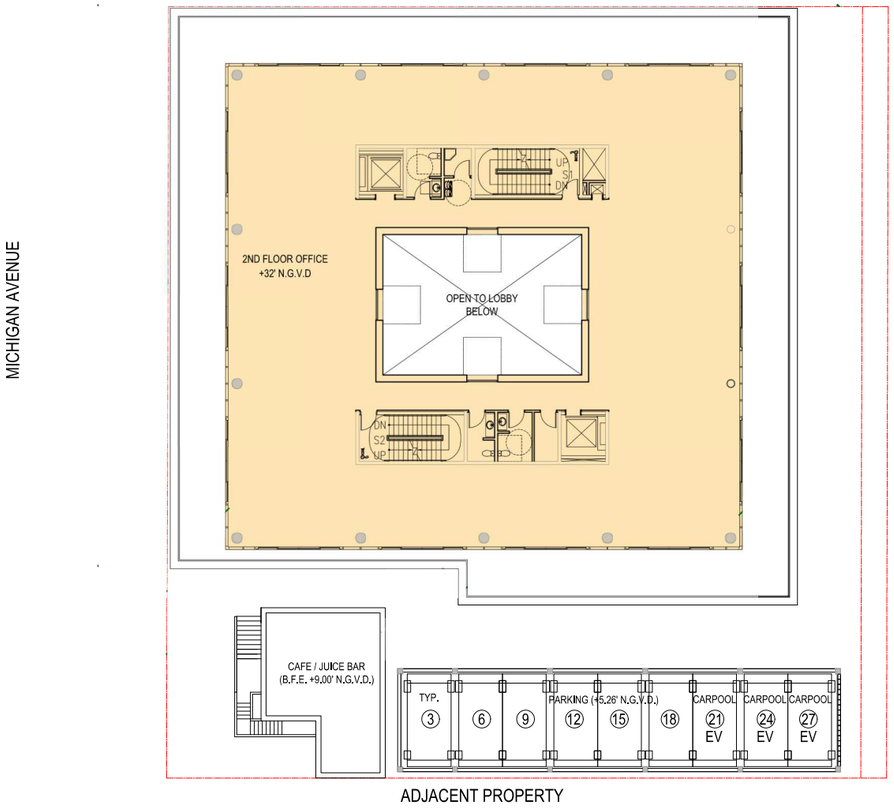
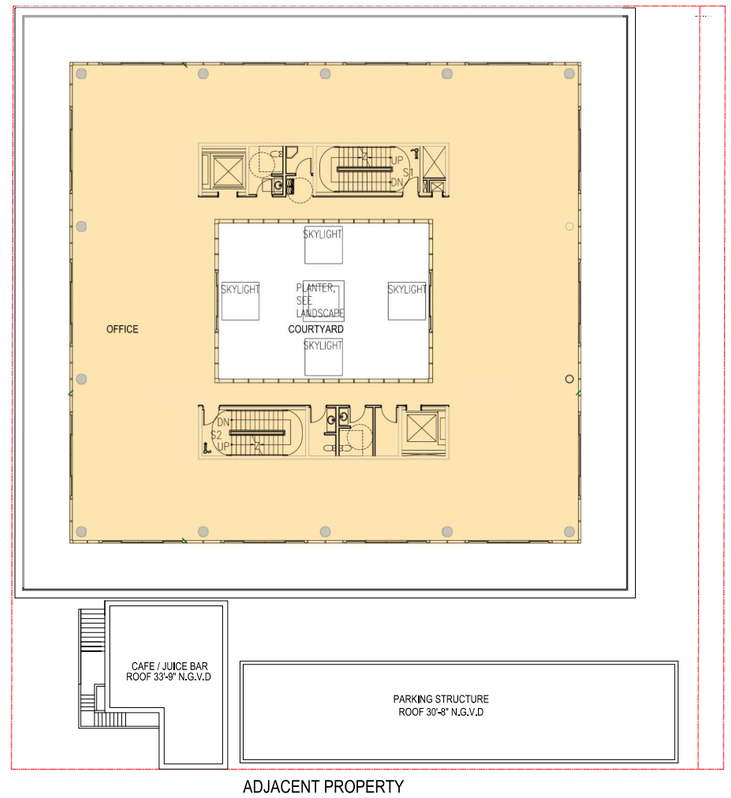
A2.6



Level 2 - FAR
Scale: 1" = 40'-0"

FAR Calculation

Second Floor	8,440 FAR SF



Level 3 - FAR
Scale: 1" = 40'-0"

FAR Calculation

Third Floor	8,227 FAR SF

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Date: 2021.12.03 11:07:48 -05'00'

0' 20' 40' 80'

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FAR Diagrams
Scale: 1" = 40'-0"

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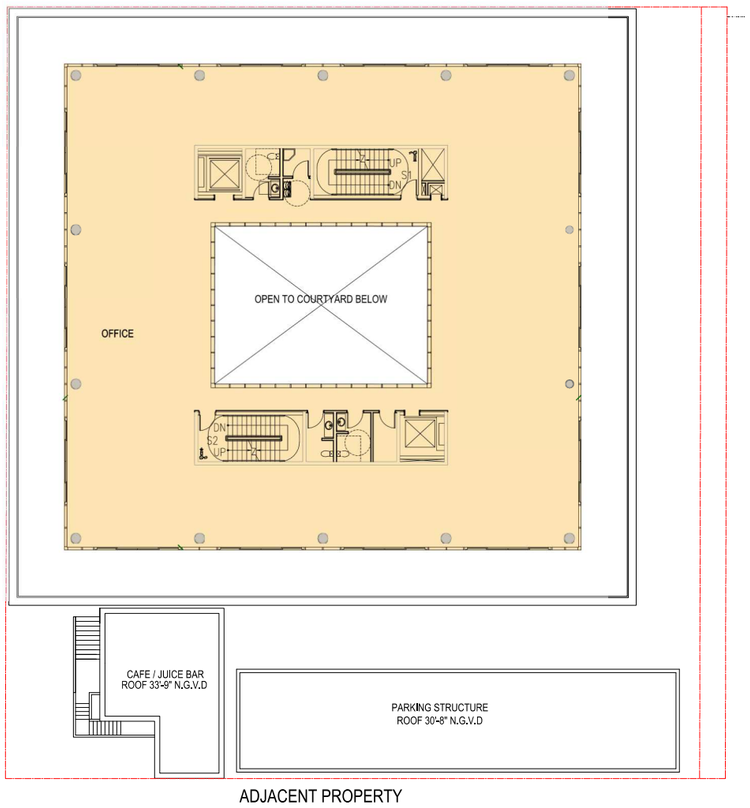
6 December 2021

A2.7



Level 4 - FAR
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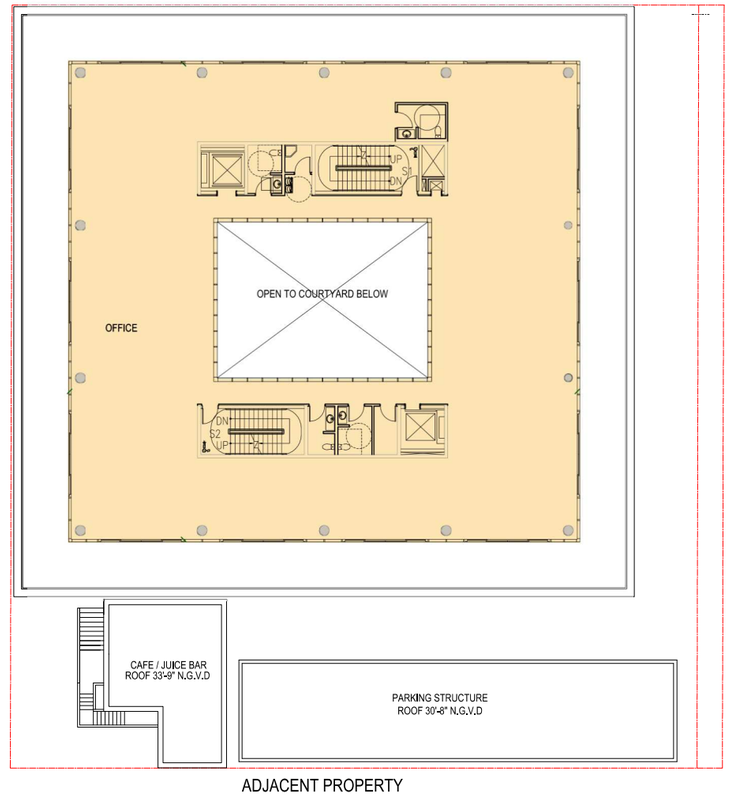
FAR Calculation

Fourth Floor	8,227 FAR SF



Level 5 - FAR
Scale: 1" = 40'-0"

FAR Calculation

Fifth Floor	8,227 FAR SF

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Date: 2021.11.24 10:21:09 -05'00'

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FAR Diagrams
Scale: 1" = 40'-0"

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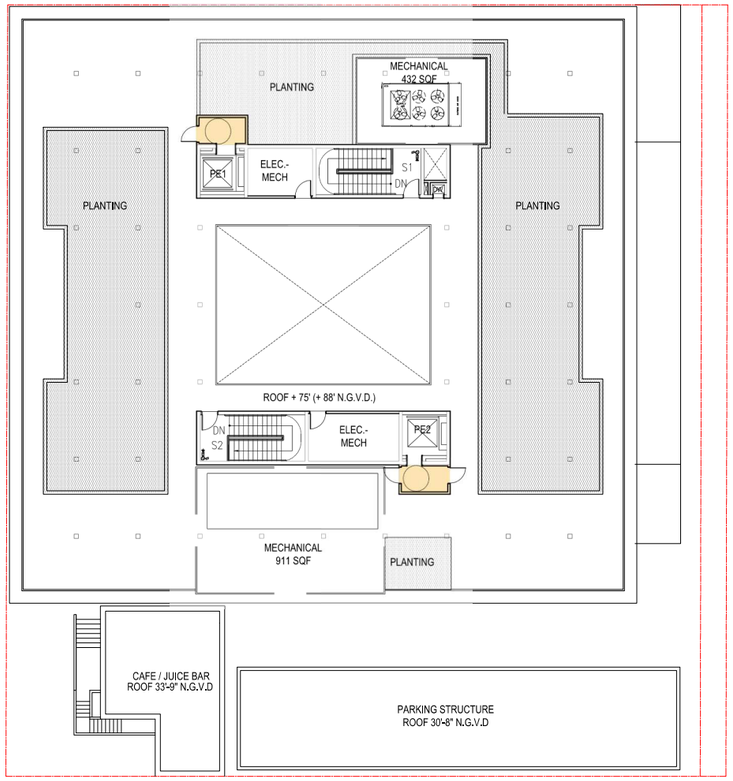
29 November 2021

A2.8



Level 6 Roof - FAR
Scale: 1" = 40'-0"

FAR Calculation

Roof Mechanical Penthouse	114 FAR SF

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Date: 2021.12.03
11:09:20 -05'00'

0' 20' 40' 80'

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FAR Diagrams
Scale: 1" = 40'-0"

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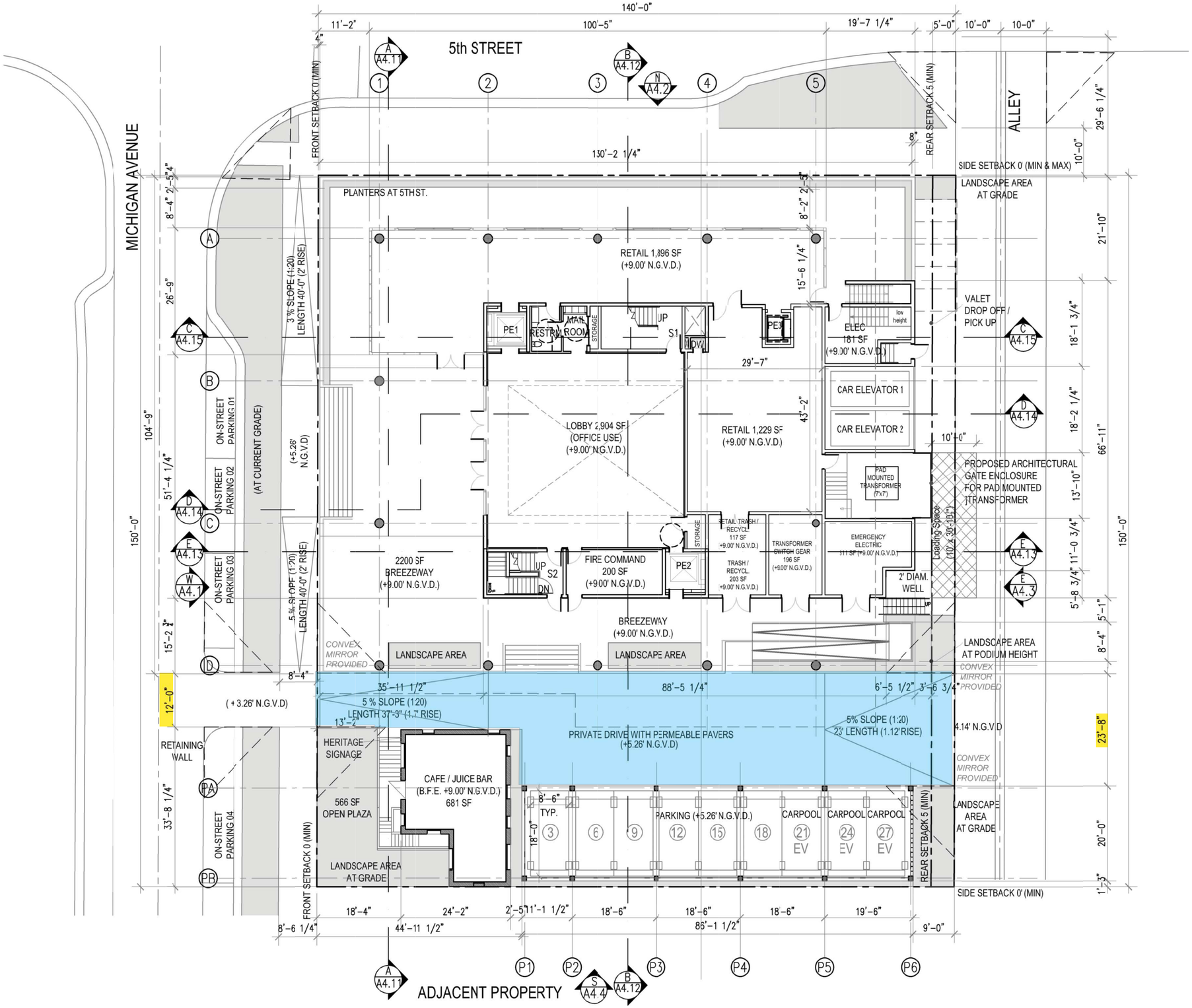
A2.9



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Digitally signed by Jonathan Cardello
Date: 2021.12.03 13:57:44 -05'00'

0' 10' 20' 40'

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Driveway Diagram
Scale: 1" =20'-0"

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A2.10