

The legal description of this property is: Lots 5, 6, 8, 9, 10 and part of Lots 4 & 7, Block 1, FISHER'S FIRST and part of Lots 3 & 1, Block B, M.B. IMPR. CO. OCEAN FRONT

SHORE CLUB HOTEL

c/o Wolf Muller

Owner 1906 COLLINS CORP Mailing Address I. Kipnis Permit No 29975 Cost \$ 595,000.

* Lot See survey Block 1 Subdivision FISHER'S FIRST Address 1901 Collins avenue

Team Kipnis
Frederic Schaefer
Ralph McEntyre

General Contractor Robert L. Turchin 5002 Bond No. 4108

Architect Albert Anis Engineer A. Oboler & Henry J. Nelson

Zoning Regulations: Use RE Area 12 & 15 Lot Size 192 x 536
Building Size: Front 180' Depth 265' Height 40' Stories 3,
Certificate of Occupancy No. Use HOTEL (150 Rooms) DINING RM & COCKTAIL LOUNGE
Type of Construction #2 CBS Foundation Spread footing Roof Flat Date May 20, 1949

Plumbing Contractor #28213 Markowitz Bros: Sewer Connection 1, Date May 18, 1949

#28358 Markowitz Bros: 1 6" Sewer - -6/20/49 Temporary Closet 2,

Plumbing Contractor #28358: Date

Water Closets 163 Bath Tubs 150 Floor Drains 8, Safe wastes 6,
Lavatories 163 Showers 6 Grease Traps Down Spouts 6,
Urinals 2 Sinks (slop) 6 Drinking Fountains 1, Sewer Lift --- 1,
Fire Standpipes 4,
Gas Stoves Gas Heater Rough Approved T. A. O'Neill Date Nov. 22, 1949
Gas Radiators Gas Turn On Approved T. A. O'NEILL Dec. 9, 1949

Septic Tank Contractor Tank Size Date

Oil Burner Contractor #28747 Belcher Oil Co: 1----- Tank Size 4,000 gals ----- Date Sept. 20, 1949

Sprinkler System

Electrical Contractor #29074 Angler Electric Address Date June 30, 1949

Switch 570 Range Motors 19, Fans 3, Temporary Service #28819--5/19/1949
OUTLETS Light 1025 HEATERS Water Angler Electric:
Receptacles 785 Space Centers of Distribution 39, Service 1,

#29325 -Claude Southern Corp: Refrigerators 3 Appliances 8, Radio 150,
34 Neon transformers : Irons Sign Outlets 12,
August 8, 1949

No. FIXTURES 1025 Electrical Contractor Date

FINAL APPROVED BY Woodmansee Date of Service January 11, 1950

elevators Building Per...

Building Permits: # 31832 Galvanized wire fence 6 ft. high- on north lot line-Chastain Fence Co., contr. \$ 330. Jan. 11, 1950

33144 Baffle wall for "Noise" from cooling tower -A. Oboler, engr.: J. Y. Gooch Co. Inc., contr. \$ 1,460..... July 24, 1950

34082 Replace 110' of 3' high wall on ocean front- J. Y. Gooch \$ 684..... Nov. 9, 1950

34448 Re-roofing - Giffen Industries, Inc., contr. \$ 1,743..... Dec. 5, 1950

35060 Re-roofing - Giffen Industries, Inc., contr. \$ 188..... Feb. 2, 1951

42724 Remodeling: Enlarge existing 3-ft. doors to 6-ft. opening in laundry room - to \$ 100: Sept 21, 1953

43069 Remodeling: be used as accessory to hotel (see plan): owner: \$ 500: Oct 26, 1953

43069 Remodeling: New Location for Cocktail Lounge: Albert Anis, arch: owner builds: \$ 500: Dec 1, 1953

43458 Painting: Morris Mudick: \$ 100: April 20, 1954

44377 Owner: PAINTING..(Insurance with Danross Agent) \$ 2,000 pound capacity.

48404 Westinghouse Electric Corp: One elevator - passenger, \$ 26,000 August 23, 1955

(Eastern Elevator Co) This elevator in new addition \$ 24 000 Oct. 6, 1955

K, Plaag 2/16/66 48788 Hill York Corp: Install 80 tons of A. C. System

49397 ADDITION OF WALK-WAY AND TERRACE: Note: --Gates inside yard and five foot set-

back on south lot line. M. Grossman, architect: M. Fellman, engineer: \$ 4 000 December 8, 1955

Feldman Building Corp, contractor \$ 450.00 Dec. 22, 1955

50002 Claude Neon Sign Co: Sign on Covered Driveway

#66394 Rite Way Painting Co.: Paint front of building - \$600. - 11/20/61

#67241 Amber Fuel Oil, Inc.: Replace 4,000 gallon fuel oil tank - Fire Dept. location approval #8047 - \$500. - 5/10/62

#70291 Louis T. Jones: Approx. 100' of decorative block railing 34" high at Collins Ave. entry; remove parapet wall

over rear lobby. - \$1400. - 10/3/63

#76310 Giffen Industries, Inc.: Reroofing - \$1650 - 5/18/66 OK McLaughlin 1/19/67

#76951 Giffen Industries, Inc.: Reroof - \$542 - 8/29/66

#77345 - Edw. Powers: Paint exterior - \$2390. - 11/9/66

#77605 Claude Southern: Vert. wall sign SHORE CLUB - \$1800 - 12/28/66

#81254 Edward Powers: Exterior painting, must comply with ord. #1060 \$1200 10/29/68

#05639-Gelfand Roofing-Re-roof 5 sqs-\$300-5-29-74

#06556-Joseph Morano-Install 4 triple aluminum windows into existing openings-\$850-11-25-74

#07514-Hicks Signs-Paint 3 sign-1905 Collins Ave-El Dorado Travel Agency-\$250-6-27-75

#07741-Owner-1901 Collins-Painting plaster and tile floor in kitchen-\$3000-8-7-75

#3596-Say Service Inc.- 1 15ton cooling towers-\$5500-5-4-76

#09198-Chastain Fence- install 573' of 42" chain link on top of cabanas-\$1100-6-1-76

#09886-Owner-Painting and paneling and clean up-\$600-9-30-76

#17048-Gordon Roofing and Sheet Metal - Re-roof 200 sqs-\$15,000-11-12-79

M 04575-Evercool A/C- 1 65ton cooling tower-1-28-80

#20777--Owner--Paneling and replace old wood--\$2,000.00--8/26/81

Plumbing Permits:

1901 Collins Ave-#52781-Sully Rapkin- pool repairs-7-29-75

#56687-Silver Plumbing- general repairs-11-27-78

1901 Collins-#57331-Pitsch Plumbing- hot water piping overhead-6-11-79

#57832-S and R Plumbing- gas line 250 ft-11-2-79

#58437 Ringerman repipe 1 gas pipe 5-13-80

7/7/80 #58629 S.&R. Plumbing gas piping

7/21/80 #58702 Silver Plumbing Repipe water

#58901 sewer utility, soakage pit-1000'/Nautilus/10=1-80

#58935 Action Septic/soakage pit/10-10-80

#58964 RRepublic Plumbing/gas burns/10-23-80

12-11-80/#59070/1 gas meter set/Peoples Gas System/\$5

#MO6303 7/19/83 Hill York Sales & Services - 2-75 ton cooling towers (elevauation 12,000. replacement of exist tower in same location

#27360 8/28/85 Germain Canvas & Awning erect awnings over entrance of hotel only \$1,400.

Electrical Permits:

#64285 Claude Southern: 2 neon transformers - 12/28/66

#77445 9/8/81 Carmen Electric Inc - 2 receptacles - 1 a/c window - 5 fixtures

ALTERATIONS OR REPAIRS

30029 Two Elevators: 2,000 lbs. each: \$ 40,000... May 26, 1949
 Westinghouse Electric Corporation.

AIR CONDITIONING: #30384 150--ton Air Conditioning: James Owens, engineer: Airtemp Construction Corporation: \$ 100,470... July 20, 1949
 #30488 Four Flat Wall Signs: (2--- 94 sq ft each and Claude Neon Corp.: (2--- 60 sq ft each) \$ 1,450... Aug. 8, 1949
 # 30785 Room to be used as a solarium(not to be used as an apartment) Albert Anis, Architect: R. Turchin, contr: \$ 2,000... Sept. 19, 1949

SWIMMING POOL: (Note - this pool was built to be an accessory use for the Cromwell Hotel on Lot 1, Block B. M.B.I.C.O.F. -It is now (1949) a part of the SHORE CLUB HOTEL)
 Lots 5 & 6 --- #13128 Swimming Pool 30' x 80' Robt. A. Taylor, architect: \$ 10,000... Oct. 20, 1939...
 W.B.T. Roney --- Fred Howland, contractor: \$ 5,000... Dec. 7, 1938
 # 13420 Garden paving -- Fred Howland, contractor: \$

#21372 Painting: I. Moskowitz, painter \$ 1,250... Nov. 17, 1945
 #21418 Painting & Sandblasting: A.L. Milenski, painter: \$ 900... Nov. 23, 1945
 #21952 Pole Sign: M. Landesman \$ 50... Feb. 15, 1946
 #23667 Pole Sign: 4' x 7' Carney Neon: \$ 300... Nov. 22, 1946
 #27771 Painted sign - Karl Zaret \$ 25... July 13, 1948

CABANAS #30884 22 Cabanas - 2 buildings - North side Type #1 construction 19x136x9 - South side Type #2 construction 19 x 130 x 9 - and One life guard station - 1 building- Spread Footing 12x27 - Flat roof - Albert Anis, architect: Robert L. Turchin, contr. \$ 65,000... Sept. 28, 1949
 LIFE GUARD STATION

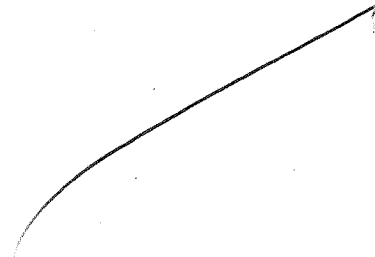
#31442 Pole sign - all on private property-Fennell Neon Corp. \$ 1,200.... Nov. 17, 1949

Plumbing Permits:

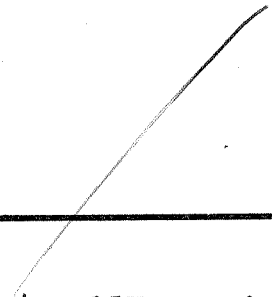
TREATMENT ROOM: #28750 Markowitz Bros: 2 Water closets: 4 Lavatories: 2 Bath tubs: Sept. 21, 1949:
 SWIMMING POOL : #12708 P.M. Levi: 13 Drains, Nov. 13, 1939
 #29071 Markowitz Bros: 7 Gas ranges, Nov. 22, 1949
 #34627 N & R Plumbing Co: 1 Water Treatment Tank: March 3, 1953 OK, E.Cox, 3/13/53
 #35486 N & R Plumbing Co: 1 Floor Drain, 2 Safe Waste Drains: Oct 27, 1953 Cox, 11/3/53
 CANCEL 11-7-55 ~~37484~~ F. Chastain (Apex Plumbing) one swimming pool trap October 26, 1955 CANCEL
 37524 Hohauser Plumbing: one swimming pool trap November 7, 1955
 #58935 Action Septic/soakage pit/10-10-80

ALTERATIONS & ADDITIONS

Building Permits:



Plumbing Permits: #63423 - Federico Bonillo - Water repair - 7-14-87



Electrical Permits:
#74209-Courtesy Electric- 7 1/2 aa/c; 15KW strip heater-7-18-77

ALTERATIONS & ADDITIONS

Building Permits: #MO6913 8/22/84 Demotts Boiler & Burner 1 steam boiler replace damaged boiler
#30602 - 6-21-87 - Owner - Interior painting & patching minor repairs - \$2,640.00
#92326 - 11-16-87 - Owner - Interior Remodeling - \$3,000.00 *ct.*

Plumbing Permits: #61171 8/19/83 Hernandez Plumb - piping repairs

Electrical Permits: #80908 3/10/86 Mesa Brothers Inc 10 switch outlets, 2 water heater, 4 motor 0-1 hp
10 fixtures
#80964 4/3/86 Anchor Elec - 1 service temp
#80963 4/3/86 Anchor Elec - 18 switch outlets, 86 light outlets, 64 recept, 400 amp serv size, 2 motor 0-1 hp, 25 ton
air cond, 319 lamps fixtures
#80965 4/3/86 Mesa Bros - 10 switch outlets, 20 light outlets, 1-50 hp motor, 1 special purpose, 1-100 amp subfeeder,
2 exist replace panels 200 amps, 1 disconnect motor 50 hp,
#80999 4/18/86 Ocean Elec - violation repair

FRIDAY, OCTOBER 7, 1988 -9:00 A.M.
1700 Convention Center Drive
Commission Chambers -Third Floor
Miami Beach, Florida 33139

J. W.

JAM
OCT 18 1988

1. FILE NO. 1890-C OTTOMAN RESTAURANT
1903 COLLINS AVENUE
LOTS 2 & 3; BLOCK B
OCEAN FRONT SUBDIVISION; PB 5/7
PART OF LOT 7; BLOCK I
ALTON BEACH FIRST SUBDIVISION; PB 2/77

"THIS CASE WAS DEFERRED BY THE APPLICANT FROM THE MEETING OF AUGUST 19, 1988."

APPLICANT REQUESTS THE FOLLOWING VARIANCE IN ORDER TO OPERATE A RESTAURANT WITH INDOOR/OUTDOOR TABLE SERVICE:

1. Applicant wishes to waive 7 of the required 8 off-street parking spaces in order to operate a restaurant with a total of 30 seats (15 indoor and 15 outdoor).

APPROVED with the following conditions, as agreed to by the applicant:

1. The applicant and his successors shall contribute an amount of money equivalent to the purchase of three and one-half parking decals (cash in lieu of parking decal program) on an annual basis. The first payment shall be received by the City prior to the issuance of a building permit and subsequent payment shall be received annually on the anniversary date that the Certificate of Occupancy for the restaurant was issued. Funds generated through the receipt of the cash-in-lieu of parking decal program shall be placed in a City account entitled, "Lower Collins Avenue Improvement Program", which is dedicated towards the construction of improvements in the vicinity of the site and which are consistent with the Department's neighborhood plan for this area;
2. The project shall reflect the improvements shown on the plans. The awning shall be canvas and the sign limited to 20 square feet; however, it shall not be box or panel type sign;
3. The applicant shall submit plans to the Department which indicate all the exterior improvements. A building permit shall not be issued until the Department approves the improvements to the exterior of the building and an Occupational License shall not be issued until the Department approves the installed materials; and,
4. The applicant shall provide proper grease interceptor and garbage facilities.

1903 Collins Ave
#5002

COASTAL CONTROL ZONE

CUMULATIVE COST OF CONSTRUCTION OF PERMITS ISSUED

DATE	PROCESS	DESCRIPTION	WORK	CUMULATIVE	APPRAISED BLDG.			BUILDING
ISSUED	NO.	OF WORK	COST	WORK COST	VALUE BEFORE REMODEL	%	COMMENTS	PERMIT NO.
11-16-87		Interior Remodeling	\$3,000.00					92326

3. FILE NO. 1890-B OTTOMAN RESTAURANT, INC.
 5002 1903 COLLINS AVENUE
LOTS 2 & 3; BLOCK B
*OCEAN FRONT SUBDIVISION; PB 5/7
PART OF LOT 7; BLOCK 1
ALTON BEACH FIRST SUBDIVISION; PB 2/77

"THIS CASE WAS DEFERRED BY THE APPLICANT FROM THE MEETING OF MAY 6, 1988".

APPLICANT REQUESTS THE FOLLOWING VARIANCE IN ORDER TO OPERATE A RESTAURANT WITH INDOOR/OUTDOOR TABLE SERVICE:

1. Applicant wishes to waive 7 of the required 8 off-street parking spaces in order to operate a restaurant with a total of 30 seats (15 indoor and 15 outdoor).

DEFERRED by request of applicant to the meeting of October 7, 1988.

DATE	PROCESS	DESCRIPTION	WORK COST	CUMULATIVE	APPRAISED BLDG.	VALUE BEFORE REMODEL %	COMMENTS	PERMIT NO.

CITY OF MIAMI BEACH

CITY HALL 1700 CONVENTION CENTER DRIVE MIAMI BEACH, FLORIDA 33139



DEPARTMENT OF PLANNING

5002

CITY HALL
1700 CONVENTION CENTER DRIVE
TELEPHONE: 673-7550

TO: CHAIRMAN & BOARD MEMBERS
ZONING BOARD OF ADJUSTMENT

AUGUST 12, 1988

FROM: JUD KURLANCHEER
PLANNING & ZONING DIRECTOR

SUBJECT: PLANNING DEPARTMENT RECOMMENDATION: AUGUST 19, 1988 MEETING

FILE NO. 1890-B OTTOMAN RESTAURANT, INC.
1903 COLLINS AVENUE
LOTS 2 & 3; BLOCK B
OCEAN FRONT SUBDIVISION; PB5/7
PART OF LOT 7; BLOCK 1
ALTON BEACH FIRST SUBDIVISION; PB 2/77

It is recommended that the request be approved with the following conditions:

1. The applicant and his successors shall contribute an amount of money equivalent to the purchase of three and one-half parking decals (cash in lieu of parking decal program) on an annual basis. The first payment shall be received by the City prior to the issuance of a building permit and subsequent payment shall be received annually on the anniversary date that the Certificate of Occupancy for the restaurant was issued. Funds generated through the receipt of the cash-in-lieu of parking decal program shall be placed in a City account entitled, "Lower Collins Avenue Improvement Program", which is dedicated towards the construction of improvements in the vicinity of the site and which are consistent with the Department's neighborhood plan for this area; and,
2. The project shall reflect the improvements shown on the plans. The awning shall be canvas and the sign limited to 20 square feet; however, it shall not be box or panel type sign;
3. The applicant shall submit plans to the Department which indicate all the exterior improvements. A building permit shall not be issued until the Department approves the improvements to the exterior of the building and an Occupational License shall not be issued until the Department approves the installed materials.

JK:hm
Variance

- BUILDING PERMITS: #M8801022 - International Equipment Co. - Violation, double fine, commercial hood 8', mandatory 303.3 - 6-7-88 *OK*
 #SB881185 - 7-7-88 - Eddy's Painting - Pressure cleaning only - \$2,000.00 *OK*
 #B8801116 - 7-8-88 - Owner - Restaurant with no seats, remodeling take out only - \$3,000.00 *OK*
 #5358 - Certificate of Occupancy - Ottoman Restaurant, Inc. - Temporary - 7-7-88 *OK*
 #5385 - Certificate of Occupancy - Ottoman Restaurant, Inc. - Temporary Extn. - 8-24-88 *OK*
 #5422 - Certificate of Occupancy - Ottoman Restaurant, Inc. - 11-30-88 *OK*

ELECTRICAL PERMITS: #83237 - Holloway Electric - 4 Light outlets-, 6 receptacles, 1 service size in amp
 1 motors - 5-10-88 *OK*

PLUMBING PERMITS: #65384 - Serota Plumbing - Gas piping - 5-19-88 *OK*

CUMULATIVE COST OF CONSTRUCTION OF PERMITS ISSUED

DATE	PROCESS	DESCRIPTION	WORK	CUMULATIVE	APPRAISED BLDG.			BUILDING
ISSUED	NO.	OF WORK	COST	WORK COST	VALUE BEFORE REMODEL	%	COMMENTS	PERMIT NO.
7-7-88		PRESSURE CLEANING ONLY.	\$2,000.00					B881185
7-7-88		RESTAURANT WITH NO SEATS	\$3,000.00					B880116

Electrical Permits:

	# 21751	Astor Electric:	8 Light outlets:	3 Receptacles,	8 Fixtures,	Dec. 4, 1945
	# 22114	Astor Electric:	1 Switch outlet,	1 Light outlet,	1 Fixture,	Feb. 1, 1946
SHORE CLUB	# 22602	Astor Electric:	1 Appliance outlet:	3 Motors,	3 Centers:	May 28, 1946
1901 Collins	# 26781	B. Haskell:	3 Centers of distribution,	1 Service equipment,	1 temporary,	7-16-48
1901 Collins	# 29748	Angler Electric:	1 Temporary service:	October 10,	1949	
1901 "	# 30175	Fennell Neon Corp:	4 Neon transformers,	Nov. 17,	1949	
	# 30368	Angler Electric:	1 temporary service -	Dec. 9,	1949	
1903 Collins	# 35241	Claude Southern Corp:	2 Neon transformers:	Oct. 15, 1951	HOR 10/18/51	
1901 Collins	# 46385	Astor Electric:	1 center of distribution,	2 motors,	1 motor,	6-10, 1 motor,
			OK, Rosser 1/24/1956			over 25hp Dec. 13, 1955
1901 Collins	# 46451	Claude Southern Corp:	two neon transformers	December 22,	1955	
1901 Collins	# 46528	Angler Electric:	1 switch outlet,	1 receptacle,	10 light outlets,	10 fixtures,
OK 5/22/57 Fidler			1 center of distribuion,	1 motor,	2-5hp,	1 motor,
1901 Collins	46562	Astor Electric:	2 switch outlets,	4 receptacles,	2 light outlets,	2 fixtures
			OK, Rosser 1/24/1956			Jan. 16, 1956
1901 Collins	47647	Jones Electric Service:	one telephone booth	June 4, 1956	OK, Meginniss 6/25/5	



BUILDING

#19206 Cercas Isla Island Fence/chain link fence/\$2,500/11-4-80

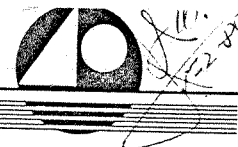
#M05381 8/12/81 Amber Boiler retune 60 hp steam boiler value 1,800.

LOT: _____ BLOCK: _____ SUBDIVISION: _____ ADDRESS: _____

ALTERATIONS & ADDITIONS

CITY OF MIAMI BEACH

CITY HALL 1700 CONVENTION CENTER DRIVE MIAMI BEACH FLORIDA 33139



BUILDING PERMITS

DEPARTMENT OF PLANNING

CITY HALL
1700 CONVENTION CENTER DRIVE
TELEPHONE: 673-7550

TO: CHAIRMAN & BOARD MEMBERS
ZONING BOARD OF ADJUSTMENT

APRIL 29, 1988

FROM: JUD KURLANCHEK
PLANNING & ZONING DIRECTOR

5002

SUBJECT: PLANNING & ZONING DEPARTMENT RECOMMENDATION:
MAY 7, 1988 MEETING

FILE NO. 1890A

OTTOMAN RESTAURANT, INC.
1903 COLLINS AVENUE

It is recommended that the request be approved with the following conditions:

1. The applicant and his successors shall contribute an amount of money equivalent to the purchase of three and one-half parking decals (cash in lieu of parking decal program) on an annual basis. The first payment shall be received by the City prior to the issuance of a building permit and subsequent payment shall be received annually on the anniversary date that the Certificate of Occupancy for the restaurant was issued. Funds generated through the receipt of the cash-in-lieu of parking decal program shall be placed in a City account entitled, "Lower Collins Avenue Improvement Program", which is dedicated towards the construction of improvements in the vicinity of the site and which are consistent with the Department's neighborhood plan for this area; and,
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PLUMBING PERMITS

ELECTRICAL PERMITS

JK:cmf
VAR 1

RECEIVED
MAY 11 1988

LOT: _____ BLOCK: _____ SUBDIVISION: _____ ADDRESS: _____

ALTERATIONS & ADDITIONS

TO: CHAIRMAN & BOARD MEMBERS
ZONING BOARD OF ADJUSTMENT

MARCH 25, 1988

BUILDING PERMITS

FROM: JUD KURLANCHEEK
PLANNING & ZONING DIRECTOR

SUBJECT: PLANNING & ZONING DEPARTMENT RECOMMENDATION:
APRIL 7, 1988 MEETING

5002

FILE NO. 1890

OTTOMAN RESTAURANT, INC.
1903 COLLINS AVENUE

It is recommended that the request be approved with the following conditions:

1. The applicant and his successors shall contribute an amount of money equivalent to the purchase of three and one-half parking decals (cash in lieu of parking decal program) on an annual basis. The first payment shall be received by the City prior to the issuance of a building permit and subsequent payment shall be received annually on the anniversary date that the Certificate of Occupancy for the restaurant was issued. Funds generated through the receipt of the cash-in-lieu of parking decal program shall be placed in a City account entitled, "Lower Collins Avenue Improvement Program", which is dedicated towards the construction of improvements in the vicinity of the site and which are consistent with the Department's neighborhood plan for this area; and,

PLUMBING PERMITS

2. The project shall reflect the improvements shown on the plans. The awning shall be canvas and the sign limited to 20 square feet; however, it shall not be box or panel type sign;
3. The applicant shall submit plans to the Department which indicate all the exterior improvements. A building permit shall not be issued until the Department approves the improvements to the exterior of the building and an Occupational License shall not be issued until the Department approves the installed materials.

ELECTRICAL PERMITS

2-3-56

Owner SHORE CLUB HOTEL

Lot 5,6,7,8,9 Block 1

Subdivision FISHER'S FIRST

Permit No. 47831 (addition) Cost \$ 350 000:

General Contractor Feldman Building Corp: 5002

Address 1901 Collins avenue

Bond No. 5995 POOL see over

Architect Melvin G. Grossman

Engineer

Zoning Regulations: Use REE Area 12 & 15

Lot Size

Building Size: addition Front 100' Depth 52'

Height 84' Stories 8

Certificate of Occupancy No. Temp. #2832 January 11, 1956 Final C. O. #2846 Feb. 2, 1956

Use ADDITION of 72 rooms & 72 baths, Elevator and Basement---

Type of Construction #1 CBS Foundation Spread Footing

Roof Flat Date June 20, 1955

PLUMBING Contractor #37217 Dade Plumbing Company

Sewer Connection 1 - 6"

Date July 13, 1955

Temporary Water Closet

Water Closets 78
Lavatories 78
Bath Tubs 78

#2730

Swimming Pool Traps

Down Spouts 4

Steam or Hot Water Boilers 1

Wells

ROUGH APPROVAL OK, Rothman 8/4/1955

FINAL APPROVAL OK, Rothman 12/4/1955

Showers

Urinals

Sinks 1 - 8 slop sinks

GAS Contractor

Date

Dish Washing Machine

Gas Ranges

Gas Frylators

Laundry Trays

Gas Water Heaters

Gas Pressing Machine

Dry Washing Machines

Gas Space Heaters

Gas Vents for Stove

Drinking Fountains

Gas Refrigerators

Floor Drains 2

Gas Steam Tables

Grease Traps

Gas Broilers

GAS Rough APPROVAL

Safe Wastes 1

GAS FINAL APPROVAL

AIR CONDITIONING Contractor

1 sill cock

SEPTIC TANK Contractor

OIL BURNER Contractor

SPRINKLER Contractor

METRO ORD. #75-34

REPERIFICATION DATE: 9-25-89 (A)

ELECTRICAL Contractor #45292 Astor Electric Ser. Date August 5, 1955

OK, Rosser 1/24/1956

Switches 104 Ranges

Temporary Service #45000/

OUTLETS Lights 160 Irons

Neon Transformers 45022

Receptacles 288 Refrigerators

Sign Outlets

OK, Rosser 7/7/1955

Fans
Motors

Meter Change

Centers of Distributions 12

HEATERS Water

Appliances

Service 1

Space

12 radio outlets

Violations

FIXTURES 160

Electrical Contractor

Date

FINAL APPROVAL

By OK, Rosser

Date 1/24/1956

Alterations or Repairs—Over

ALTERATIONS & ADDITIONS

Building Permits:

SWIMMING POOL #48854 ADDITION OF POOL 30' x 80' D. E. Britt, architect: Mr. Houha, engineer
Bunnell Pools, contractor \$ 35 000 October 13, 1955
#55225 Morris Mudrick: Exterior Painting - \$400 - December 19, 1957

#37470 Hurst Drilling & Equipment Co: one, 3" supply well for A. C. October 21, 1955

Plumbing Permits:

Electrical Permits:

PERMIT #

B9900133

BMS 0000585

~~BMS 010466~~

BMS 0101204

BMS 0100185

BMS 0100206

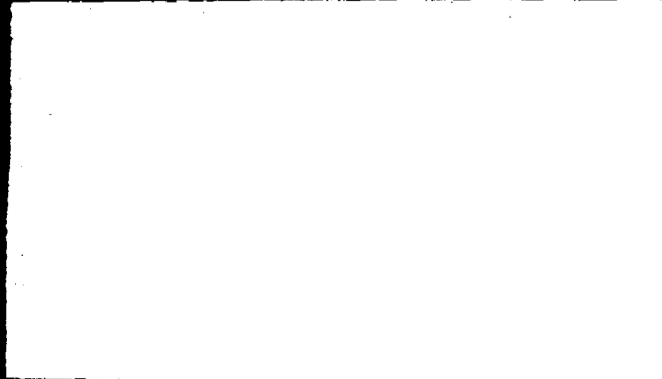
BMS 0100398

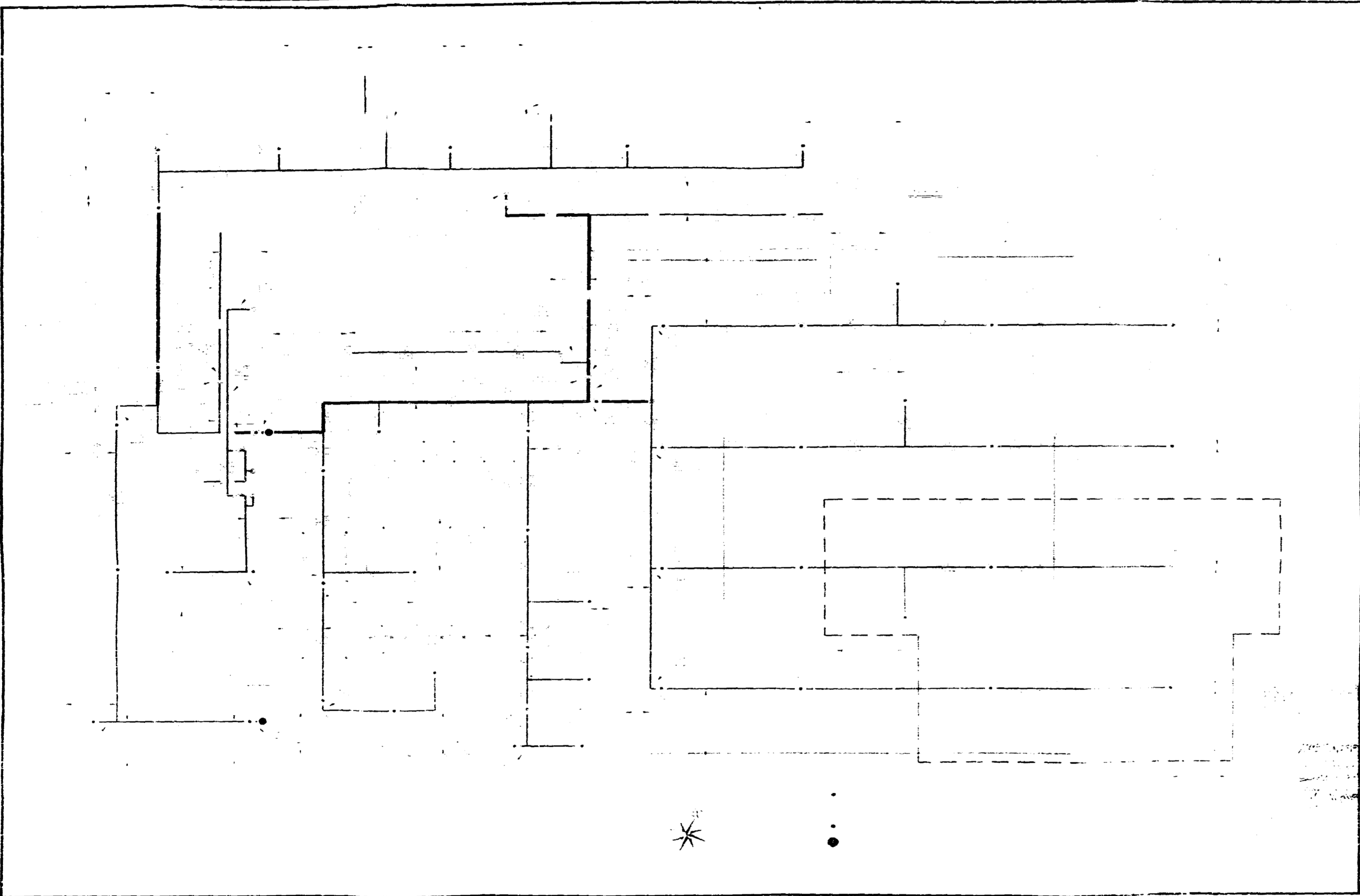
BMS 0100798, BMS0002709

ADDRESS

1901 COLLINS AV.

00200





SHORE CLUB
1901 COLLINS AVE
MIAMI BEACH

firepak

SPRAY PAINT

511200



BUILDING WORK PERMIT

11-22-2009

Activity Number: **B9900133**

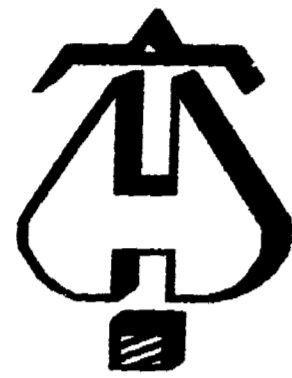
Name: 30393713
 No. Address: 11421 N.W. 11th St
 City: MIAMI BEACH

Issued By: J. J. S. G. M.
 Approval: 11/23/09
 Contract: 11/23/09
 Contract No: 0820241

Value: \$572,000.00
 System: 30393713
 Project Name: 11421 N.W. 11th St
 11421 N.W. 11th St
 MIAMI BEACH, FL 33139

Description: REINFORCEMENT BEARING AND NEW 21 STORY TOWER
 Remarks: 11-22-2009

Total of All Fees: \$120.00
 Total of Payments: \$120.00
 Balance Due: \$0.00



Fire Protection by Computer Design

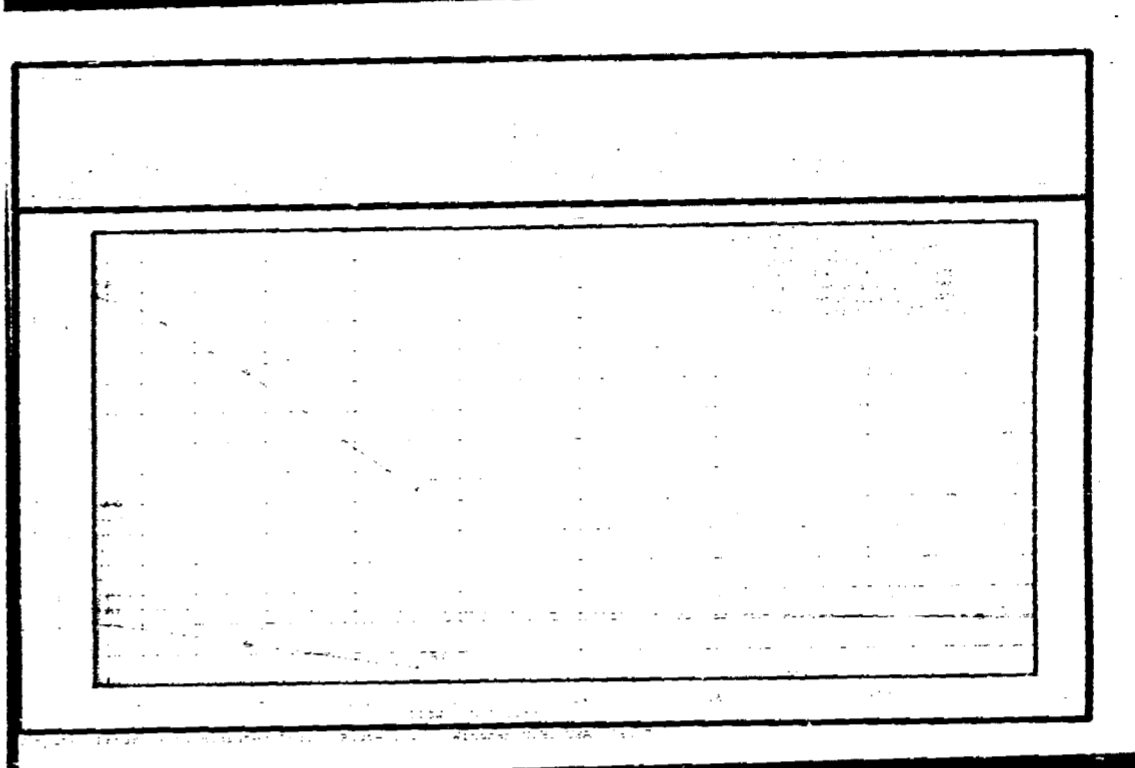
1. THE PERMITTEE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF MIAMI BEACH AND ALL AFFECTED AGENCIES AND DEPARTMENTS.

2. THE PERMITTEE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF MIAMI BEACH AND ALL AFFECTED AGENCIES AND DEPARTMENTS.

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5. THE PERMITTEE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF MIAMI BEACH AND ALL AFFECTED AGENCIES AND DEPARTMENTS.



Item	Description	Amount
1	Permit Fee	120.00
2	Inspection Fee	0.00
3	Plan Review Fee	0.00
4	Field Inspection Fee	0.00
5	Final Inspection Fee	0.00
6	Other Fees	0.00
Total		120.00

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DATE	DESCRIPTION	AMOUNT	BALANCE
11-22-2009
11-23-2009
11-24-2009
11-25-2009
11-26-2009
11-27-2009
11-28-2009
11-29-2009
11-30-2009
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12-30-2009
12-31-2009

DATE	DESCRIPTION	AMOUNT	BALANCE
11-22-2009
11-23-2009
11-24-2009
11-25-2009
11-26-2009
11-27-2009
11-28-2009
11-29-2009
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12-28-2009
12-29-2009
12-30-2009
12-31-2009

CITY OF MIAMI BEACH
Miami Beach, Florida 33139
Receipt of Payment

Building Work Permit

11-22-2009 Permit Number: 0910722
 Permit Status: VOID
 Date Applied: 11-21-2009 Date Issued: Entered By: B.H.W.L.R.
 Date Completed: Date Date Date

Site Address: 190 COLLINS AVENUE Balance Due: \$0.00
 Parcel #: 2209010020 Valuation: \$0.00

Applicant: ARBON CONSTRUCTION GROUP INC PHILIPS SOUTH BEACH 11110 DR SHOP
 16214 SOUTHWAY WAY
 MIAMI BEACH, FL 33140
 784-427-9600

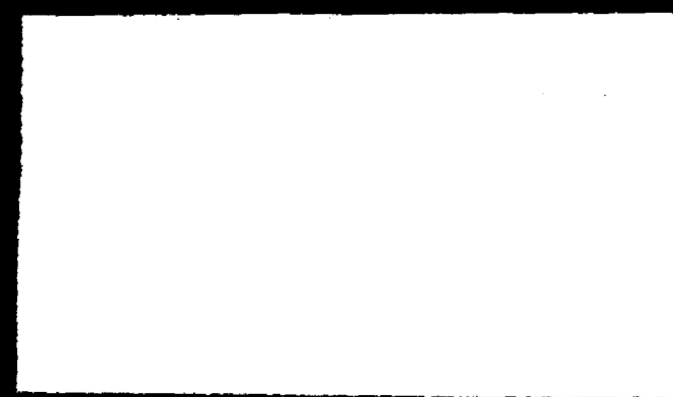
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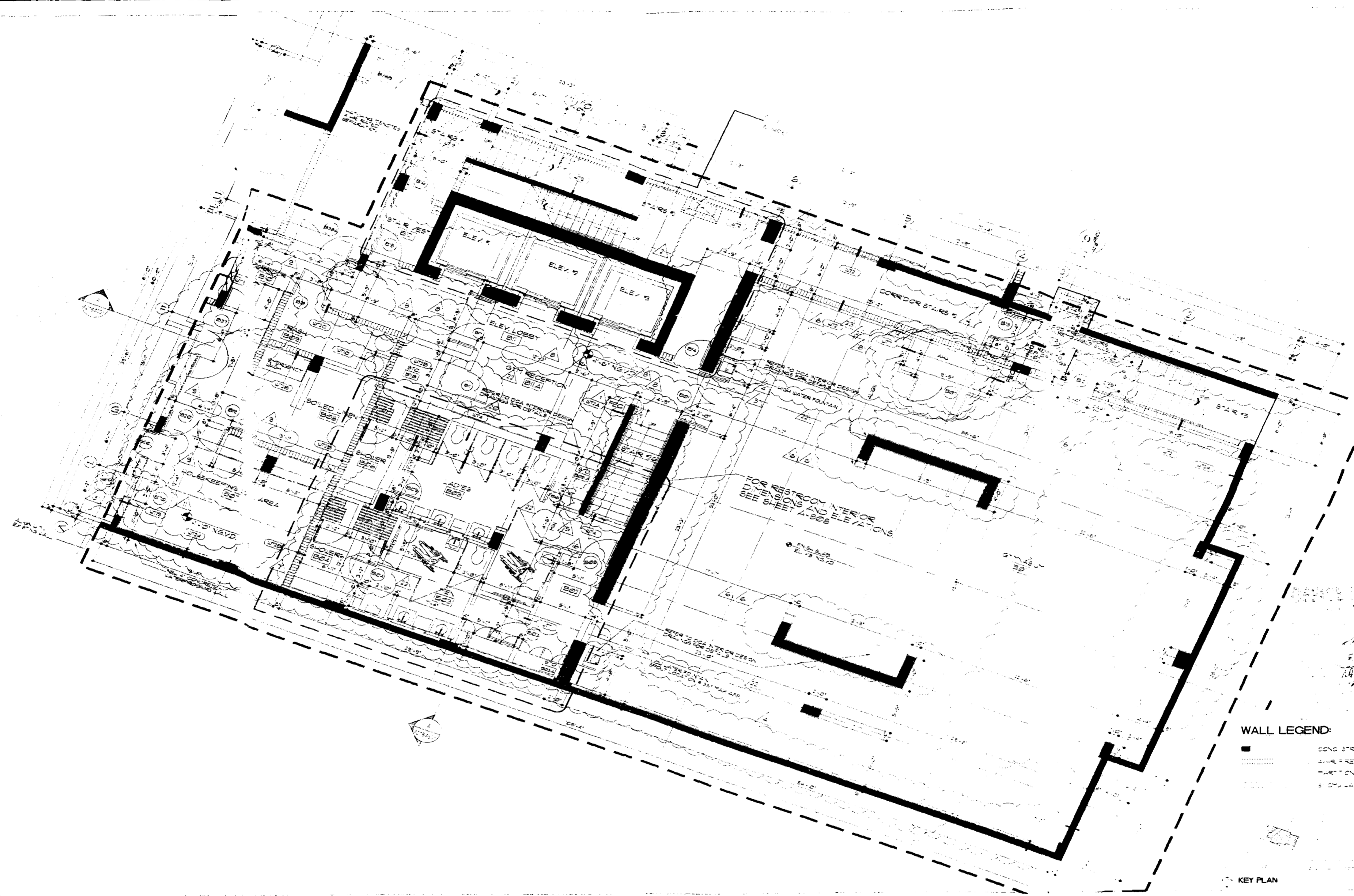
Payments made for this receipt:

Current Payment Made on the Following Dates:

Account Numbers for Fees and Payments:

00271





SHORE CLUB MIAMI BEACH FLORIDA

AREA D BASEMENT LEVEL FLOOR PLAN

<p>REVISIONS</p> <table border="1"> <tr><td>1</td><td>ISSUED FOR PERMIT</td></tr> <tr><td>2</td><td>REVISED PER COMMENTS</td></tr> <tr><td>3</td><td>REVISED PER COMMENTS</td></tr> <tr><td>4</td><td>REVISED PER COMMENTS</td></tr> <tr><td>5</td><td>REVISED PER COMMENTS</td></tr> <tr><td>6</td><td>REVISED PER COMMENTS</td></tr> <tr><td>7</td><td>REVISED PER COMMENTS</td></tr> <tr><td>8</td><td>REVISED PER COMMENTS</td></tr> <tr><td>9</td><td>REVISED PER COMMENTS</td></tr> <tr><td>10</td><td>REVISED PER COMMENTS</td></tr> </table>	1	ISSUED FOR PERMIT	2	REVISED PER COMMENTS	3	REVISED PER COMMENTS	4	REVISED PER COMMENTS	5	REVISED PER COMMENTS	6	REVISED PER COMMENTS	7	REVISED PER COMMENTS	8	REVISED PER COMMENTS	9	REVISED PER COMMENTS	10	REVISED PER COMMENTS	<p>FULLERTON DIAZ ARCHITECTS</p> <p>DAVIDCHIPPERFIELDARCHITECTS</p>	<p>KEY PLAN</p>
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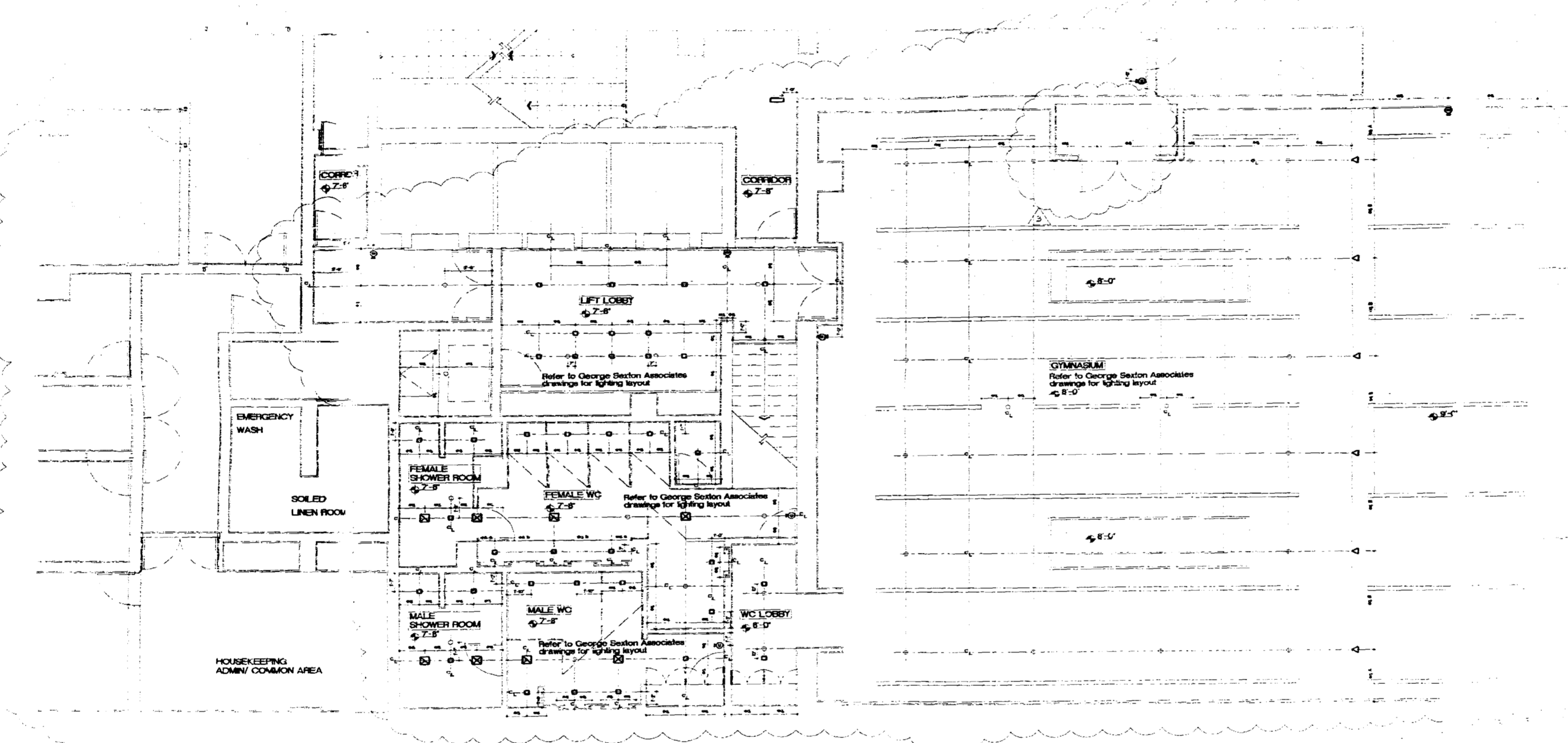
WALL LEGEND:

- CONCRETE STRUCTURAL WALL
- - - - FIRE SEPARATION WALL
- PARTITION
- STUCCO WALL

A-218

000218

100211



- Fire Exit Sign
- Smoke Detector
- Speaker
- Wall mounted sprinkler head
- Extract grille
- Air supply grille
- Air supply slot grille
- Fan coil grille

- INTERNAL LIGHTING
- Bathroom mirror light
- Downlight
- Luminaire light SCP-16
- Pendant light SCP-18
- Wall mounted springer
- Recessed ceiling mounted sprinker
- Fluorescent ampe

Handwritten notes:
 2-11-1980
 100211
 H. G. G.

KEY PLAN

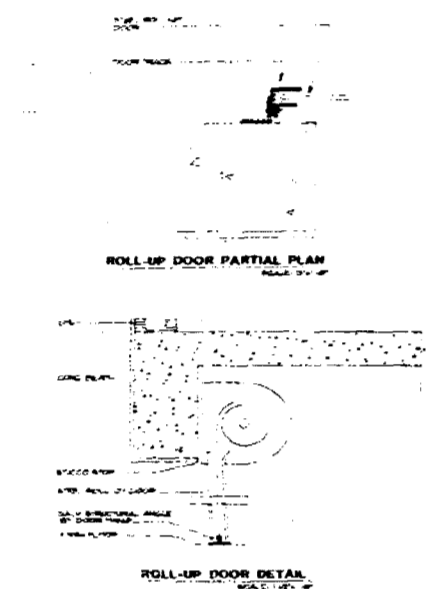
SHORE CLUB MIAMI BEACH FLORIDA

AREA D BASEMENT LEVEL REF. CEILING PLAN

See

FULLERTON DIAZ ARCHITECTS DAVID CHIPPERFIELD ARCHITECTS

A-314



ROLL-UP DOORS

1. ALL ROLL-UP DOOR PANELS SHALL BE FRAMES LARGER THAN THE PANELS AND SHALL BE PROVIDED WITH A ROLLER TRACK AND ROLLERS. THE ROLLERS SHALL BE OF A TYPE WHICH WILL OPERATE SILENTLY AND WITHOUT SHOCK.
2. SUBMIT CALCULATIONS AND ENGINEERING DRAWINGS TO THE ARCHITECT DESIGNER FOR REVIEW. THE ARCHITECT DESIGNER SHALL SEAL AND SIGN OF ALL CALCULATIONS AND DRAWINGS BY A LICENSED PROFESSIONAL ENGINEER.
3. SUBMIT DETAILED SHOP DRAWINGS AND PROJECT MANUAL APPROVAL TO THE ARCHITECT DESIGNER FOR REVIEW AND APPROVAL.
4. VERIFY ALL SIZES BY FIELD MEASUREMENT BEFORE FABRICATION.

NOTES

1. DOOR AND EXTERIOR FINISH SHALL MEET THE ARCHITECT'S REQUIREMENTS FOR WEAR AND TEAR. THE ARCHITECT DESIGNER SHALL BE RESPONSIBLE FOR THE SELECTION OF MATERIALS AND FINISHES.
2. PROVIDE DOOR WITH A PROTECTIVE FINISH TO PREVENT RUSTING AND CORROSION.
3. PROVIDE DOOR WITH A FINISH TO PREVENT DISCOLORATION AND STAINING.
4. PROVIDE DOOR WITH A FINISH TO PREVENT SCRATCHES AND SCUFFS.
5. PROVIDE DOOR WITH A FINISH TO PREVENT IMPRESSIONS AND DENTS.
6. PROVIDE DOOR WITH A FINISH TO PREVENT CHIPPING AND FLAKING.
7. PROVIDE DOOR WITH A FINISH TO PREVENT CRACKING AND SPLITTING.
8. PROVIDE DOOR WITH A FINISH TO PREVENT WEAR AND TEAR.
9. PROVIDE DOOR WITH A FINISH TO PREVENT DISINTEGRATION AND DESTRUCTION.
10. PROVIDE DOOR WITH A FINISH TO PREVENT COLLAPSE AND FAILURE.
11. PROVIDE DOOR WITH A FINISH TO PREVENT BURNING AND CHarring.
12. PROVIDE DOOR WITH A FINISH TO PREVENT MELTING AND MASHING.
13. PROVIDE DOOR WITH A FINISH TO PREVENT BLEEDING AND OILING.
14. PROVIDE DOOR WITH A FINISH TO PREVENT SMELING AND ODORING.
15. PROVIDE DOOR WITH A FINISH TO PREVENT TOXICITY AND POISONING.
16. PROVIDE DOOR WITH A FINISH TO PREVENT IRRITATION AND BURNING.
17. PROVIDE DOOR WITH A FINISH TO PREVENT SICKNESS AND DEATH.
18. PROVIDE DOOR WITH A FINISH TO PREVENT CONFINEMENT AND RESTRAINT.
19. PROVIDE DOOR WITH A FINISH TO PREVENT ABUSE AND MISUSE.
20. PROVIDE DOOR WITH A FINISH TO PREVENT VANDALISM AND THEFT.

DOOR SCHEDULE

LEVEL	ROOM NAME	ROOM NO.	SIZE	DESCRIPTION	FRAME	DET	TRG	REMARKS
1ST FLOOR	ENTRANCE			WOOD				
	RECEPTION			WOOD				
2ND FLOOR	CONFERENCE			WOOD				
	OFFICE			WOOD				
	OFFICE			WOOD				
	OFFICE			WOOD				
	OFFICE			WOOD				
	OFFICE			WOOD				
	OFFICE			WOOD				
	OFFICE			WOOD				
	OFFICE			WOOD				
	OFFICE			WOOD				
3RD FLOOR	OFFICE			WOOD				
	OFFICE			WOOD				
	OFFICE			WOOD				
	OFFICE			WOOD				
	OFFICE			WOOD				
	OFFICE			WOOD				
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	OFFICE			WOOD				
	OFFICE			WOOD				
	OFFICE			WOOD				
	OFFICE			WOOD				

DOOR SCHEDULE

LEVEL	ROOM NAME	ROOM NO.	SIZE	DESCRIPTION	FRAME	DET	TRG	REMARKS
1ST FLOOR	ENTRANCE			WOOD				
	RECEPTION			WOOD				
2ND FLOOR	CONFERENCE			WOOD				
	OFFICE			WOOD				
	OFFICE			WOOD				
	OFFICE			WOOD				
	OFFICE			WOOD				
	OFFICE			WOOD				
	OFFICE			WOOD				
	OFFICE			WOOD				
	OFFICE			WOOD				
	OFFICE			WOOD				
3RD FLOOR	OFFICE			WOOD				
	OFFICE			WOOD				
	OFFICE			WOOD				
	OFFICE			WOOD				
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	OFFICE			WOOD				

SHORE CLUB 1901 COLLINS AVENUE MIAMI BEACH FLORIDA

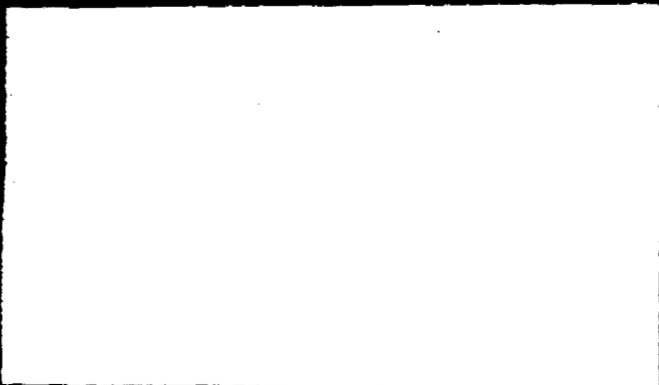
FULLERTON DIAZ ARCHITECTS DAVID CHIFFERFIELD ARCHITECTS A-800

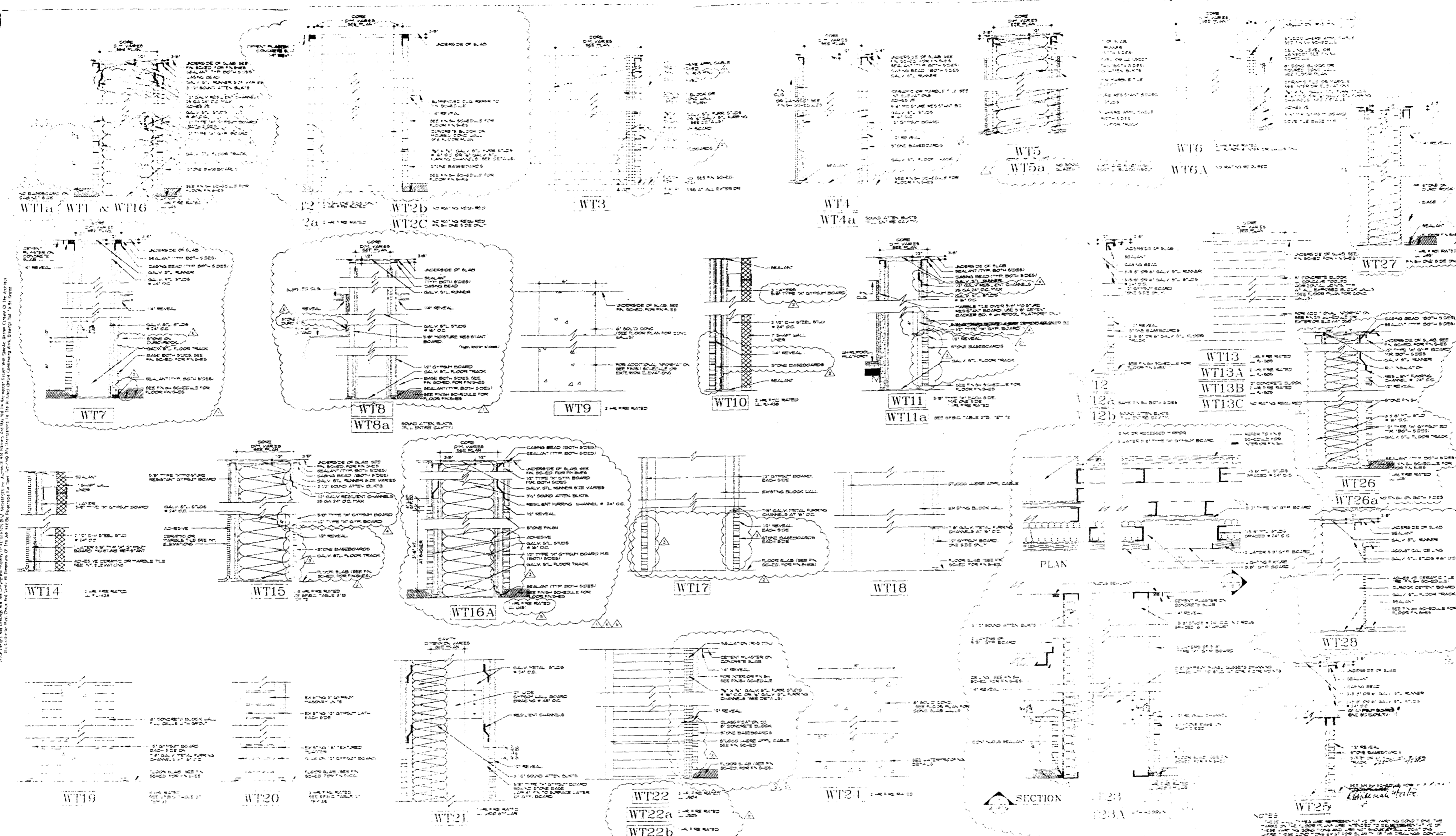
DOOR SCHEDULE

08/20/02

06/12/02

05/10/02





WALL TYPES

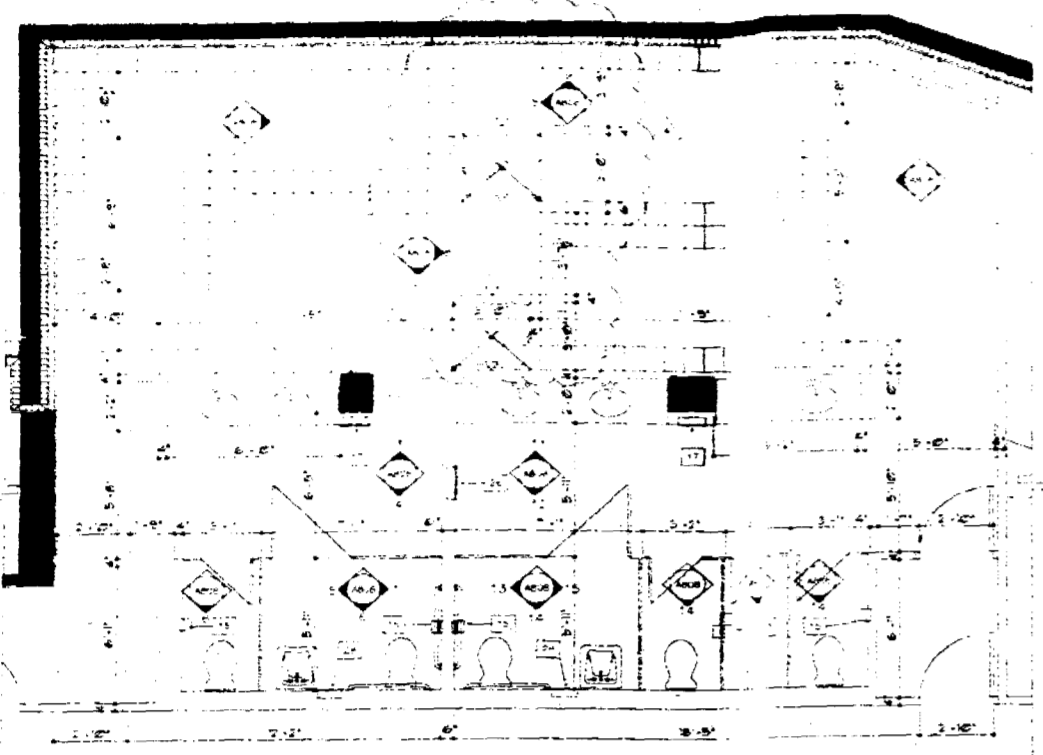
SHORE CLUB MIAMI BEACH FLORIDA

WALL TYPES

SCALE: 3'-1-0"

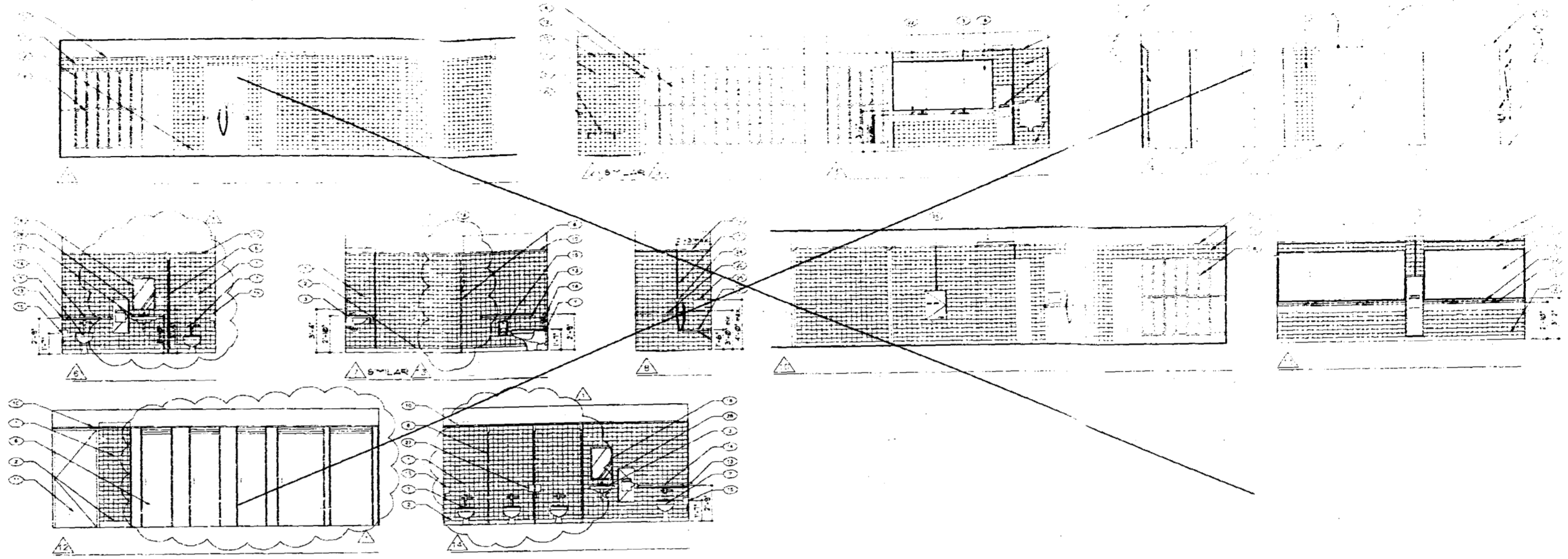
FULLERTON DIAZ ARCHITECTS
DAVID CHIFFERFELD ARCHITECTS

A-805

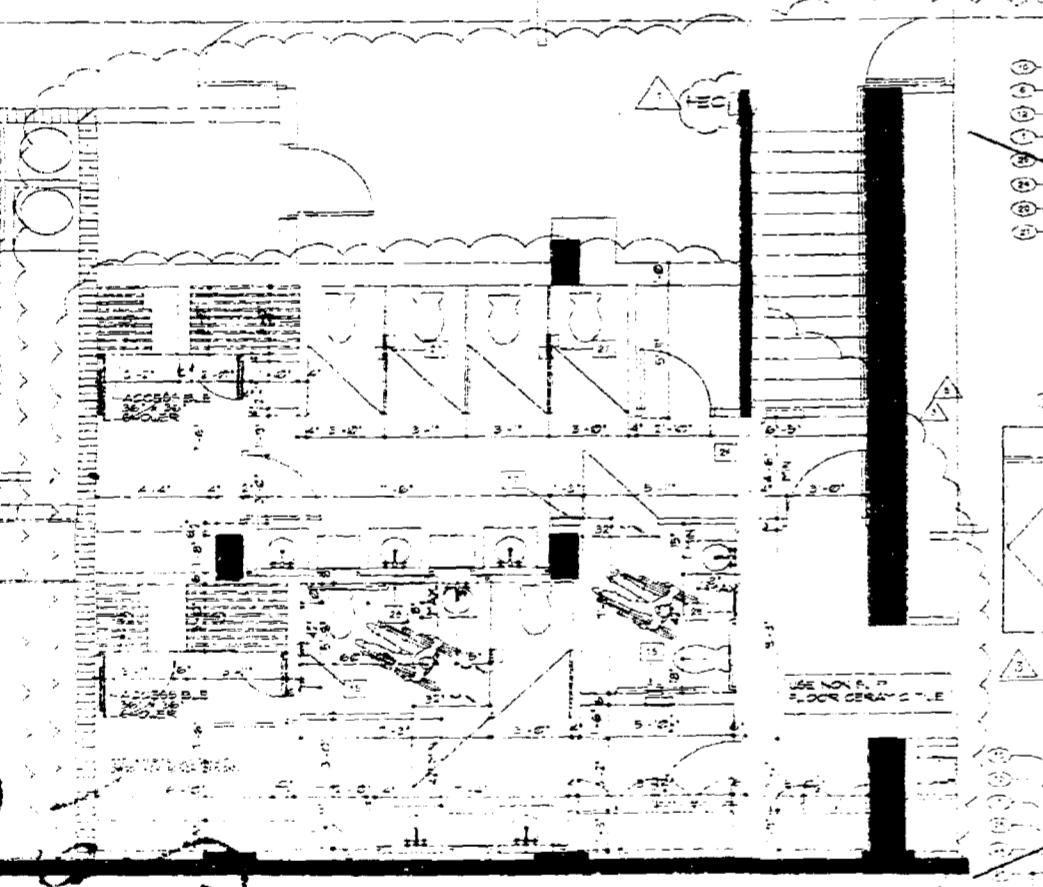


FLOOR PLAN

SCALE 1/4" = 1'-0"

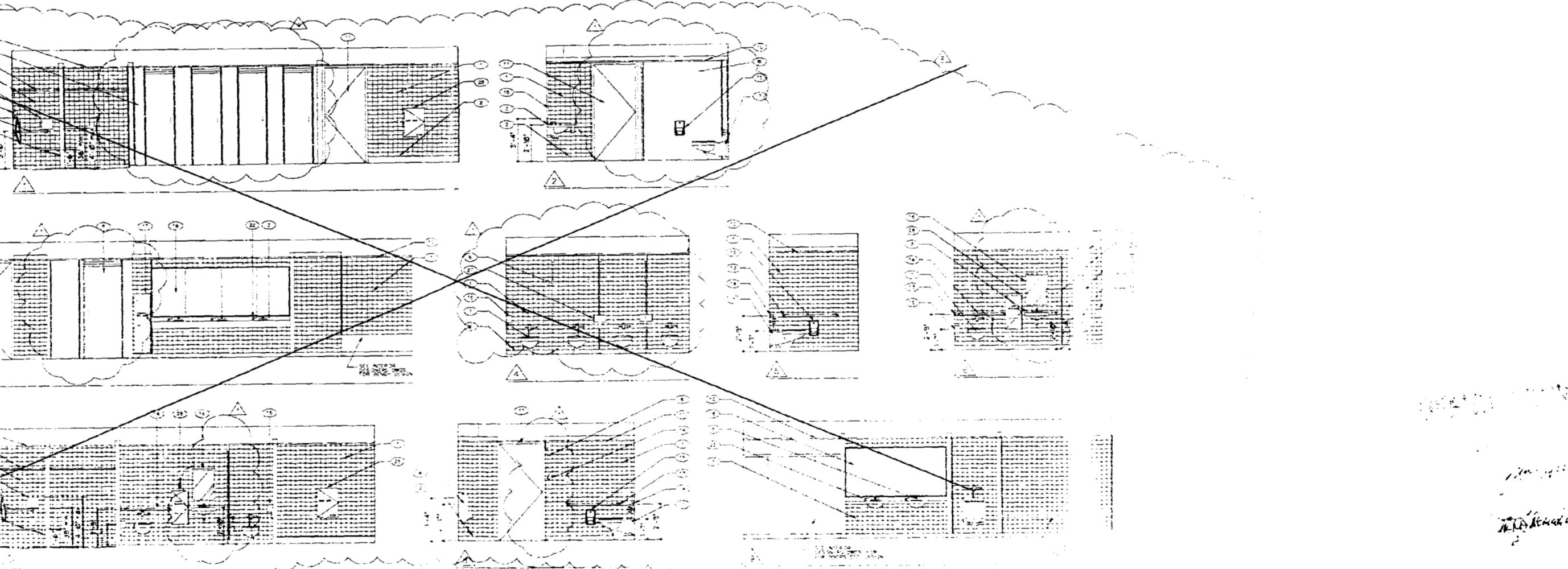


AREA B BASEMENT BATHROOM INTERIOR ELEVATIONS



FLOOR PLAN

SCALE 1/4" = 1'-0"



TOWER BASEMENT BATHROOM INTERIOR ELEVATIONS

SHORE CLUB MIAMI BEACH FLORIDA

PUBLIC BATHROOM INTERIOR ELEVATIONS

FULLERTON DIAZ ARCHITECTS DAVID CHIPPERFIELD ARCHITECTS

A-808

200

BMS0000585
B0000133

1901 COLLINS AVE

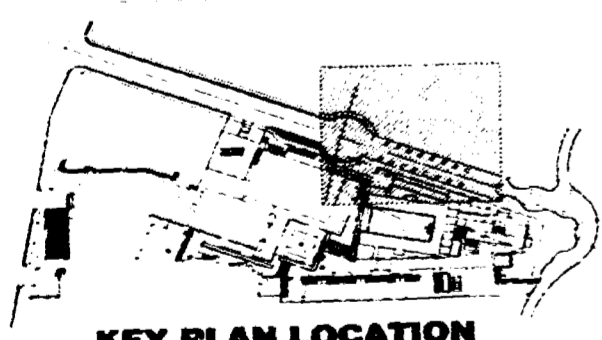
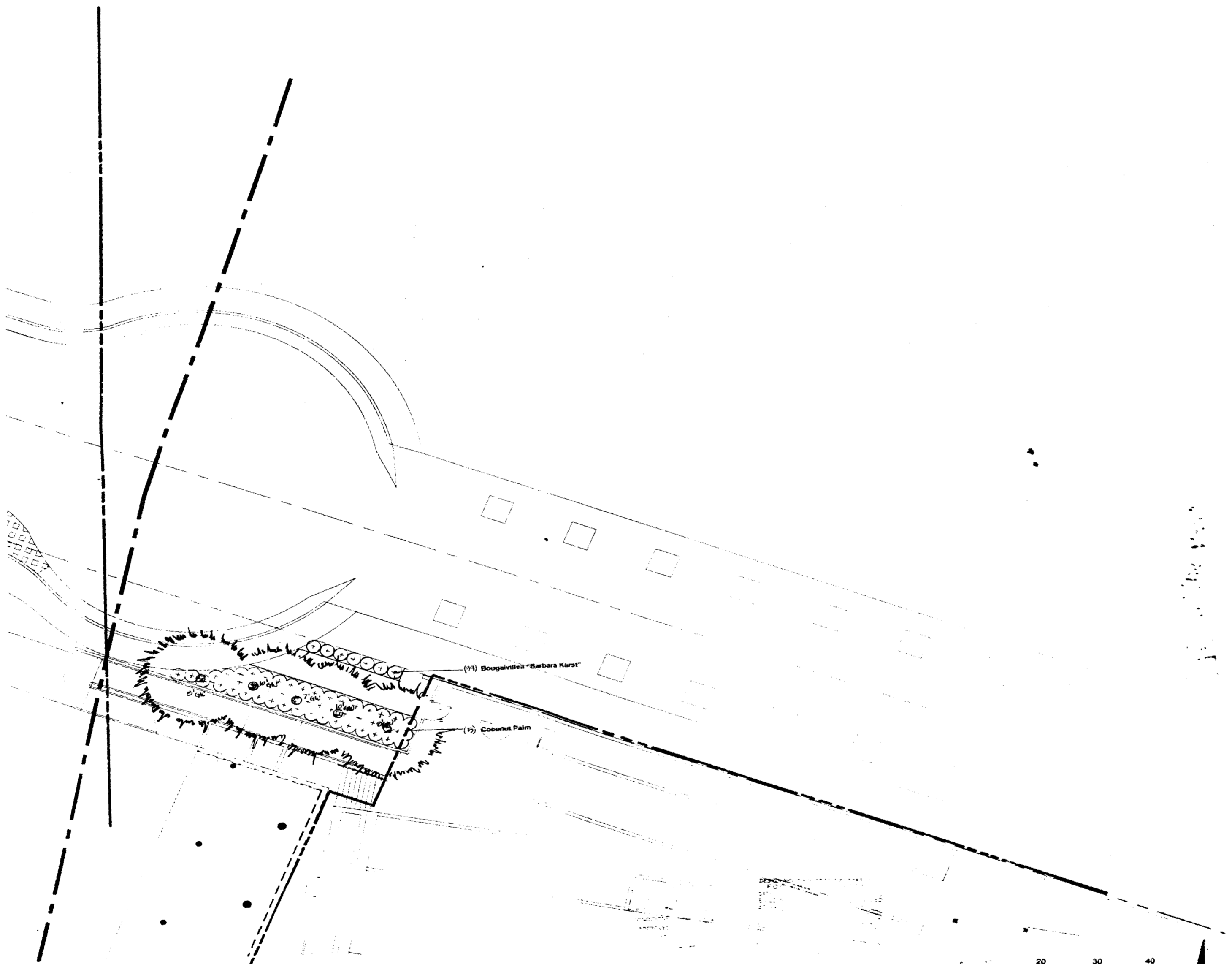
1901
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Shore Club

00283





KEY PLAN LOCATION

THE SHORE CLUB HOTEL
MIAMI BEACH, FLORIDA

PLANTING PLAN

SCALE: 1" = 10'
SHEET LS-0
DATE: 4-19-99
9-2-98

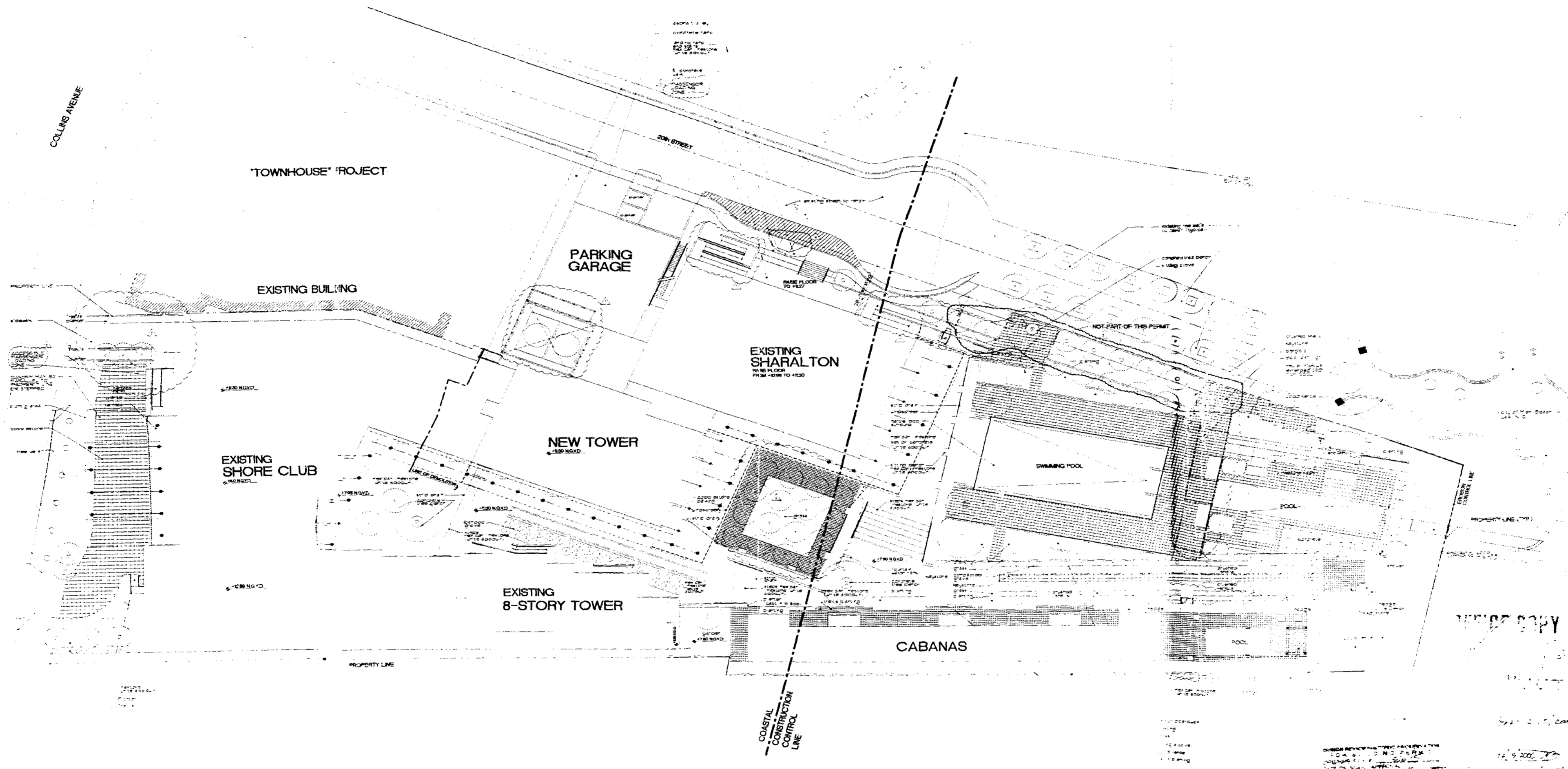


Hall & Bell, P.A.
LANDSCAPE ARCHITECTURE

1001 Brickell Avenue, Suite 1000
Miami, Florida 33131
Tel: 305.372.1111
Fax: 305.372.1112

48200

58200



SHORE CLUB MIAMI BEACH FLORIDA

SITE PLAN

Handwritten signature

FULLERTON DIAZ ARCHITECTS

DAVID CHIPPERFIELD ARCHITECTS

A-101



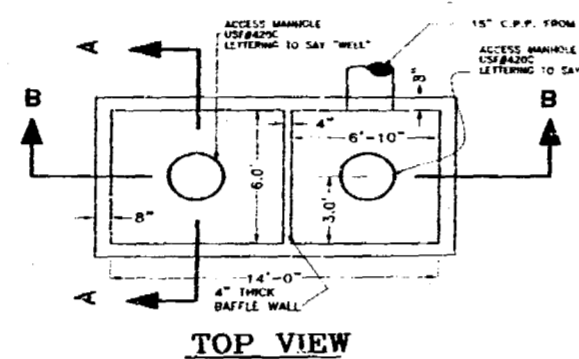
STRUCTURE No.	STRUCTURE TYPE
1	24" DRAIN BASIN
2	24" DRAIN BASIN
3	24" DRAIN BASIN
4	24" DRAIN BASIN
5	24" DRAIN BASIN
6	24" DRAIN BASIN
7	24" DRAIN BASIN
8	24" DRAIN BASIN
9	24" DRAIN BASIN
10	24" DRAIN BASIN
11	24" DRAIN BASIN
12	24" DRAIN BASIN
13	24" DRAIN BASIN
14	24" DRAIN BASIN
15	24" DRAIN BASIN
16	ZURN Z-154, 11" GRATE, ZB FINISH
17	18" DRAIN BASIN
18	18" DRAIN BASIN
19	18" DRAIN BASIN
20	18" DRAIN BASIN
21	18" DRAIN BASIN
22	18" DRAIN BASIN
23	18" DRAIN BASIN
24	18" DRAIN BASIN
25	18" DRAIN BASIN
26	18" DRAIN BASIN
27	18" DRAIN BASIN
28	ZURN Z-154, 11" GRATE, ZB FINISH
29	ZURN Z-154, 11" GRATE, ZB FINISH
30	ZURN Z-154, 11" GRATE, ZB FINISH
31	ZURN Z-1456, W/ ZAB FINISH
32	18" DRAIN BASIN
33	18" DRAIN BASIN
34	ZURN Z-154, 11" GRATE, ZB FINISH
35	ZURN Z-1456, W/ ZAB FINISH
36	ZURN Z-1456, W/ ZAB FINISH
37	ZURN Z-1456, W/ ZAB FINISH
38	ZURN Z-1456, W/ ZAB FINISH
39	ZURN Z-1456, W/ ZAB FINISH
40	ZURN Z-1456, W/ ZAB FINISH
41	ZURN Z-1456, W/ ZAB FINISH
42	ZURN Z-124, 11" GRATE, ZB FINISH
43	ZURN Z-1456, W/ ZAB FINISH
44	ZURN Z-1456, W/ ZAB FINISH
45	24" DRAIN BASIN
46	24" DRAIN BASIN
47	24" DRAIN BASIN
48	24" DRAIN BASIN
49	24" DRAIN BASIN
50	24" DRAIN BASIN, W/ SOLID COVER
51	ZURN Z-1457, W/ ZAB FINISH
52	ZURN Z-1457, W/ ZAB FINISH
53	ZURN Z-1457, W/ ZAB FINISH
54	ZURN Z-1457, W/ ZAB FINISH
55	ZURN Z-1457, W/ ZAB FINISH

MANHOLE FRAME & LID
USE# 420 C

MISCELLANEOUS NOTES:

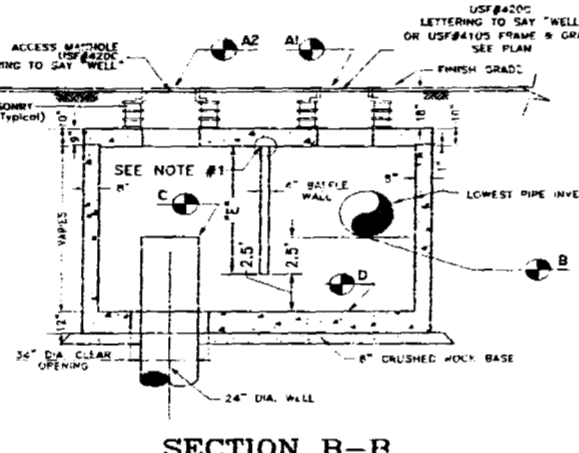
1. ALL STORM DRAINAGE STRUCTURES SHALL BE EQUIPPED WITH FILTER CLOTH SUPPORTED BELOW THE GRATE. THE FILTER CLOTH SHALL BE REFINED OR PERFORATED/DISTURBED FROM THE BASIN UNITS, MANHOLES, SIDING, INSTALLATION, MAINTENANCE, DEMOLITION, STORAGE, AND OVERTING IS COMPLETED ON THE EXISTING.
2. ALL STRUCTURES SHALL BE MAINTAINED CLEAN AT ALL TIMES, AND DEBRIS DEPTH SHALL BE ACCEPTABLE BY THE ENGINEER AND THE OWNER.
3. ALL STORM DRAINAGE PIPE (PERFORATED OR NON-PERFORATED) SHALL BE INSTALLED AND MAINTAINED CLEAN AND CLEAR OF DEBRIS, ROCK, SAND AND SILT.
4. CONTRACTORS SHALL BE EQUIPPED WITH PROVISIONS OF SUCH MATERIALS AS CONSTRUCTION MATERIALS, CONCRETE AND SILLICUM SLURRY OR WASHOFF MATERIALS FROM THESE OPERATIONS, PAINT AND PAINTING ACTIVITIES, OILS, HYDRAULIC FLUIDS, FUELS AND OIL ANY OTHER SUCH DEPLETERIOUS MATERIALS WHEN INTRODUCED INTO THE STORM DRAINAGE SYSTEM CAN AND WILL RENDER IT USELESS, POLLUTE THE SITE AND SURROUNDING SITES OR HARM THE SYSTEM'S PERFORMANCE LEVEL.

DRAINAGE WELL & INLET
N.T.S.



DRAINAGE WELL NOTES:

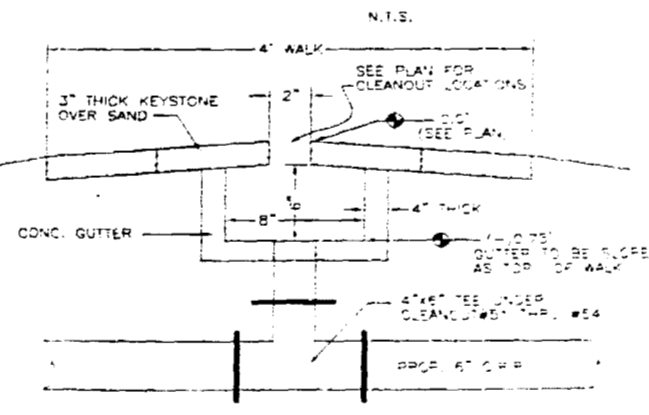
- 1) THE DRAINAGE WELL SHALL BE CONSTRUCTED TO THE DEPTH NECESSARY TO RECEIVE THE REQUIRED DISCHARGE AND SUPPORT TO A MINIMUM OF 24" TO 36" FROM THE FINISH GRADE. AN OPEN HOLE SHALL BE DEVELOPED BELOW GRADE AS REQUIRED TO AVOID REQUIRED DISCHARGE OR 500 CWP PER FOOT OF DISCHARGE.
- 2) WELLS ARE TO BE AS PLUMB AND TRUE TO THE FINISH GRADE THROUGHOUT.
- 3) COMPLETED WELLS ARE TO BE THOROUGHLY CLEANED.
- 4) EACH COMPLETED WELL SHALL MEET OR EXCEED THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATION.
- 5) THE CONTRACTOR SHALL PROVIDE ALL NECESSARY EQUIPMENT FOR CONDUCTING WELL TESTS AND PROTECTIVE COVERING OF THE WELLS FROM THE WELL. THE CONTRACTOR SHALL NOTIFY THE OWNER REPRESENTATIVE AND THE ENGINEER IMMEDIATELY IN WRITING PRIOR TO THE INITIATION OF SUCH TESTING.
- 6) IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SECURE ALL NECESSARY PERMITS AND TO COMPLY WITH ALL PROVISIONS THEREOF.
- 7) TEMPORARY SOIL LIES SHALL BE HELD ON THE TOP OF EACH COMPLETED WELL TO PREVENT CONSTRUCTION MATERIALS OR DEBRIS FROM ENTERING THE WELL. THESE LIES SHALL BE REMOVED AFTER THE INSTALLATION OF THE MANHOLE, INLET PIPE, AND THE GRATE ON TOP.
- 8) CONTRACTOR SHALL TEST FOR THE WELL TO DETERMINE EXISTING GRADE OF SURROUNDING AREAS TO BE HELD TO ACCURATELY DETERMINE THE SLOPE GRADE OF SAID WELLS.



SECTION B-B
NOTE #1:
CONTRACTOR SHALL GROUT BETWEEN 4" CONC. BAFFLE AND SID OF STRUCTURE TO INSURE WATER PROOF SEAL

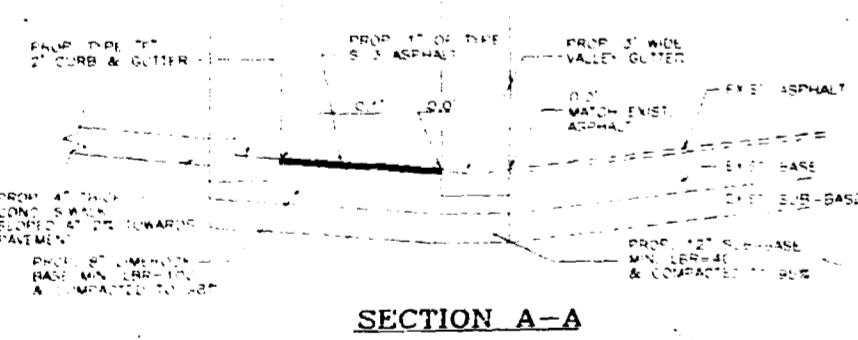
WELL #	A1	A2	B	C	D	E
1	+7.00	+7.00	+2.30	+2.50	+2.70	+4.97
2	+9.00	+9.00	+2.00	+2.50	+3.00	+7.17
3	+8.00	+8.00	+2.20	+2.50	+2.80	+5.97

USE # 4105
FRAME & GRATE



SECTION A-A
N.T.S.

SECTION B-B
N.T.S.



GENERAL NOTES:

1. ALL ELEVATIONS REFER TO THE FINISH GRADE UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION AND HIGHWAYS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND TO COMPLY WITH ALL PROVISIONS THEREOF.
4. MATERIAL HANDLING AND STORAGE SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION AND HIGHWAYS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
5. BASE MATERIAL SHALL BE COMPACTED TO THE DEPTH OF THE MIXTURE PROPORTION CONSTRUCTION TEST, AND SHALL MEET THE MIXTURE PROPORTION CONSTRUCTION TEST, PER AASHTO METHOD.
6. FINISH GRADE ON THE WORK SHALL BE TO THE STANDARD SPECIFICATIONS AS SET FORTH IN SECTION 331.
7. ASPHALTIC CONCRETE SHALL BE OF TYPE "A" TYPE AND SHALL MEET THE STANDARD SPECIFICATIONS AS SET FORTH IN SECTION 331.
8. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE ONLY. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITIES BY ELECTRONIC MEANS AND/OR BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES. PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED BY THE ENGINEER AND THE OWNER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS.
9. TRAFFIC MARKING, STOPPING AND SIGNS TO BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION AND HIGHWAYS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
10. IN THE EVENT THAT UNDESIRABLE SOILS (MUCK) ARE FOUND A MINIMUM OF 12 INCHES OF THE PROPOSED GRADE SHALL BE REMOVED. THE CONTRACTOR SHALL REMOVE SAID SOILS TO ITS PROPER LOCATION. THE EXCAVATED MATERIAL SHALL BE SUBSTITUTED WITH 40 LB PER YARD (1.5 TON) OF 2 1/2" LAYERS.
11. CONTRACTOR SHALL COORDINATE WITH WATER & SWEET CONTRACTOR TO AVOID POTENTIAL CONFLICTS.
12. IF EXISTING IMPROVEMENTS ARE DAMAGED, REPAIR THEM TO THE ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
13. NOTIFY ALL UTILITY COMPANIES BEFORE STARTING WORK.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND DOWN NOTICE OF REQUIRED INSPECTIONS. IN SOING THIS HONOR THE LEAD TIME OF THE RESPECTIVE AGENCIES.
15. ALL DISPOSAL MATERIAL, RUBBISH AND DEBRIS SHALL BE MADE AT LEGAL DISPOSAL SITE OR AT OTHER FROM APPROVED MANHOLE CLEARANCE FROM THE SITE AND DEPOSITED ON ADJACENT OR NEARBY PROPERTY WILL NOT BE CONSIDERED AS HAVING BEEN DISPOSED SATISFACTORILY. NO SEPARATE PAYMENT WILL BE MADE FOR THIS.
16. WORK PERFORMED UNDER THIS PROJECT WILL NOT BE CONSIDERED AS COMPLETE UNTIL THE SIGN ACCEPTANCE OF THE OWNER, ENGINEER, DEPT AND PUBLIC WORKS.
17. DENSITY TEST SHALL BE PERFORMED EVERY FOUR SET, FOR EACH AND SUB BASE. SAID TEST SHALL BE SUBMITTED TO THE ENGINEER FOR RECORD FOR THE APPROVAL.
18. CORE DRILLED SAMPLES WILL BE PERFORMED TO INSURE THAT THE THICKNESS OF MATERIAL ARE MET AS CALLED FOR IN THIS PLANS. THE CONTRACTOR WILL BE RESPONSIBLE TO INSURE THAT THE SIGN THICKNESS ARE MET.
19. ALL REINFORCE CONCRETE PIPE (R.C.P.) SHALL MEET FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AS SET FORTH IN SECTIONS 341, 470 & 480.
20. ALL DRAINAGE STRUCTURES SHALL HAVE A MINIMUM OF 12" ADJACENT PLUMB OVER 12" TO 18" AMERICAN.
21. ALL PIPE BEDDING SHALL BE OF GOOD QUALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND TO COMPLY WITH ALL PROVISIONS THEREOF.
22. FRESHNESS SHALL BE MAINTAINED AT ALL TIMES. MATERIALS SHALL BE STORED IN A DRY PLACE AND SHALL BE PROTECTED FROM WEATHER. ALL MATERIALS SHALL BE USED WITHIN THE SPECIFIED PERIOD OF TIME.
23. RETENTION AREAS ARE NOT TO BE USED AS BORROW AREAS. ALL MATERIAL SHALL BE USED WITHIN THE SPECIFIED PERIOD OF TIME.
24. ALL PIPE SHALL BE OF GOOD QUALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND TO COMPLY WITH ALL PROVISIONS THEREOF.

Schwabe-Shelton & Associates, Inc.
ENGINEERS
1450 W. PALM BEACH BLVD. SUITE 200
PALM BEACH, FLORIDA 33480
PHONE: 561-833-1111
FAX: 561-833-1112

REVISIONS

NO.	DESCRIPTION	DATE

DRAINAGE DETAILS

CITY OF MIAMI BEACH, FLORIDA, SECTION 34-69-02

102-184



SHORE CLUB MIAMI BEACH FLORIDA

SITE PLAN COLONNADE DIMENSIONS

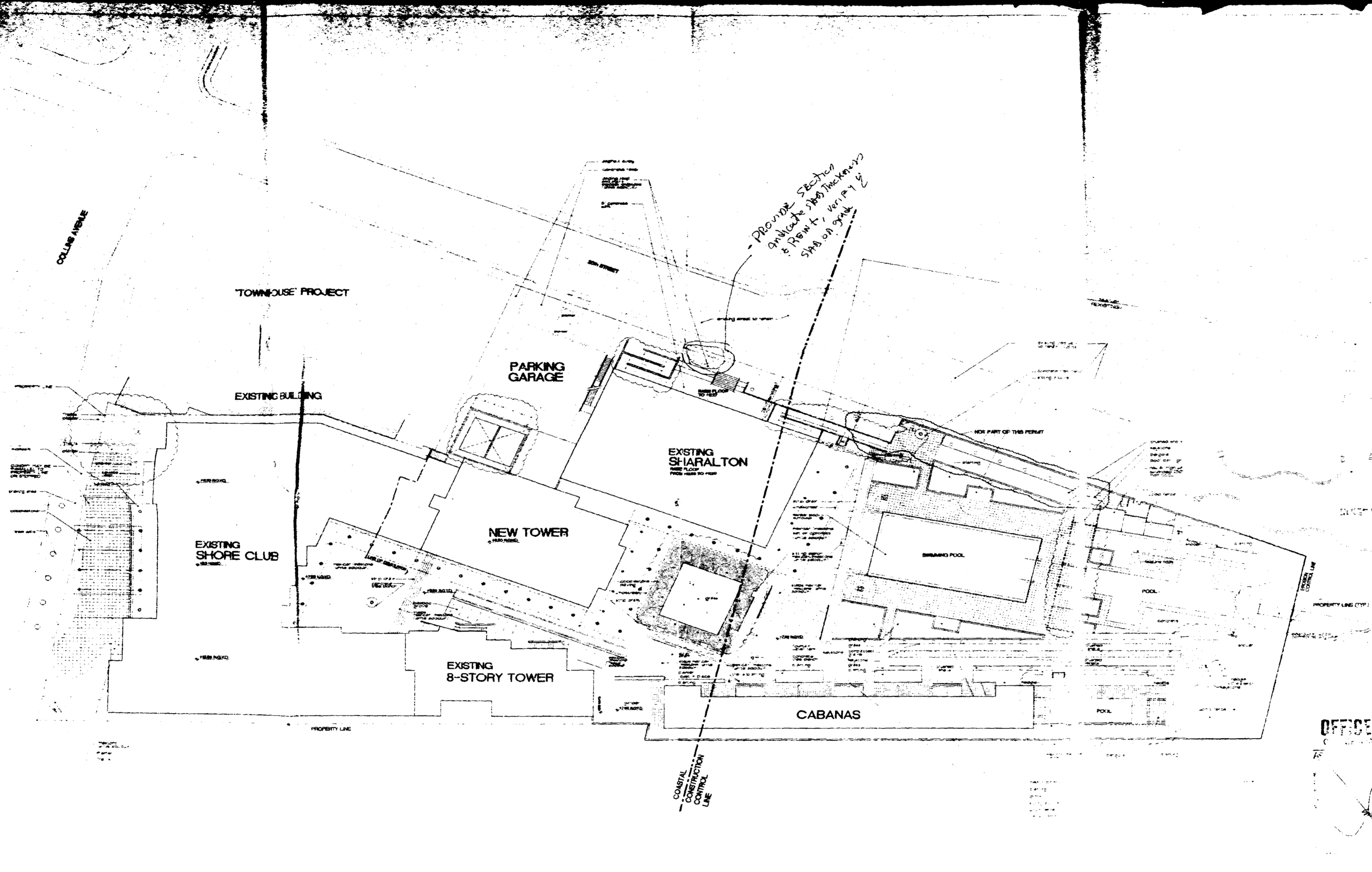
Kiefer

DATE	1/12/12
SCALE	AS SHOWN
PROJECT	SHORE CLUB
CLIENT	SHORE CLUB
ARCHITECT	FULLERTON DIAZ ARCHITECTS
ENGINEER	DAVID CHIPPERFIELD ARCHITECTS

FULLERTON DIAZ ARCHITECTS

DAVID CHIPPERFIELD ARCHITECTS

198200



SHORE CLUB MIAMI BEACH FLORIDA

SITE PLAN

rhaka

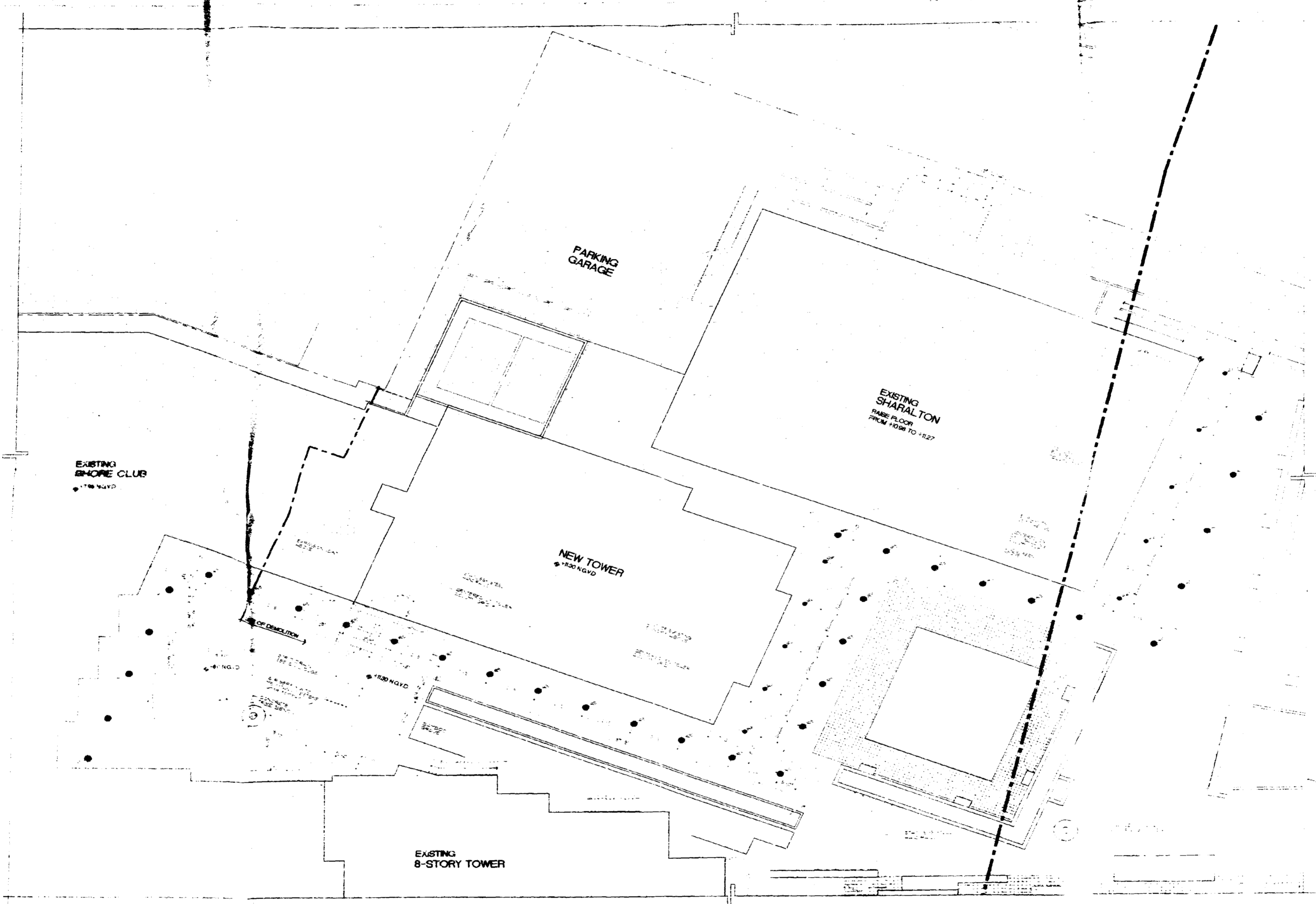
PALLERTON DIAZ ARCHITECTS DAVID CHIPPERFIELD ARCHITECTS

OFFICE COPY
MIAMI BEACH

A-101

158200

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[Signature]

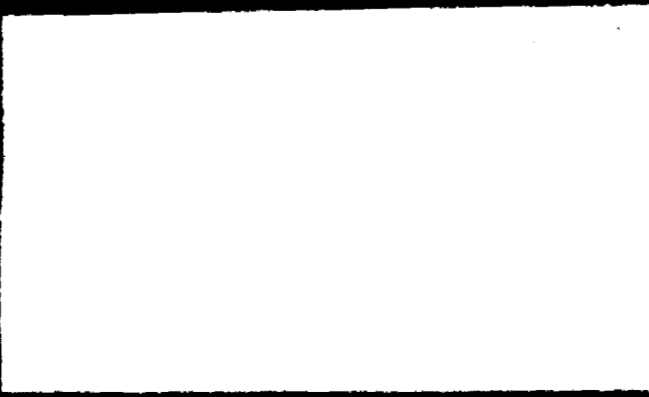
SHORE CLUB MIAMI BEACH FLORIDA

SITE PLAN COLONNADE DIMENSIONS

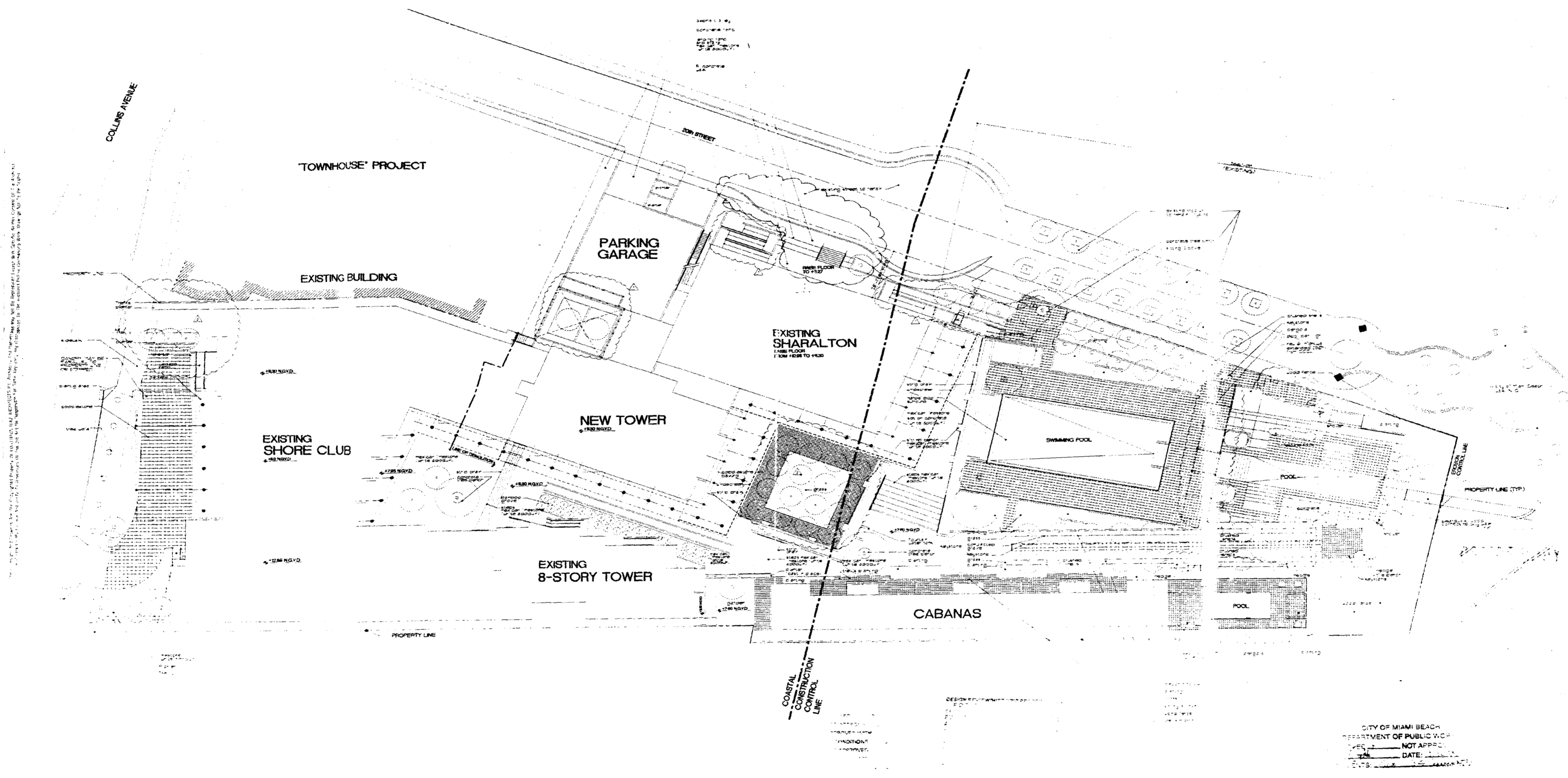





06200



15200



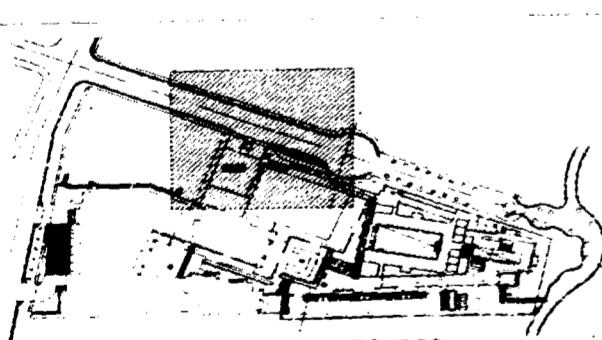
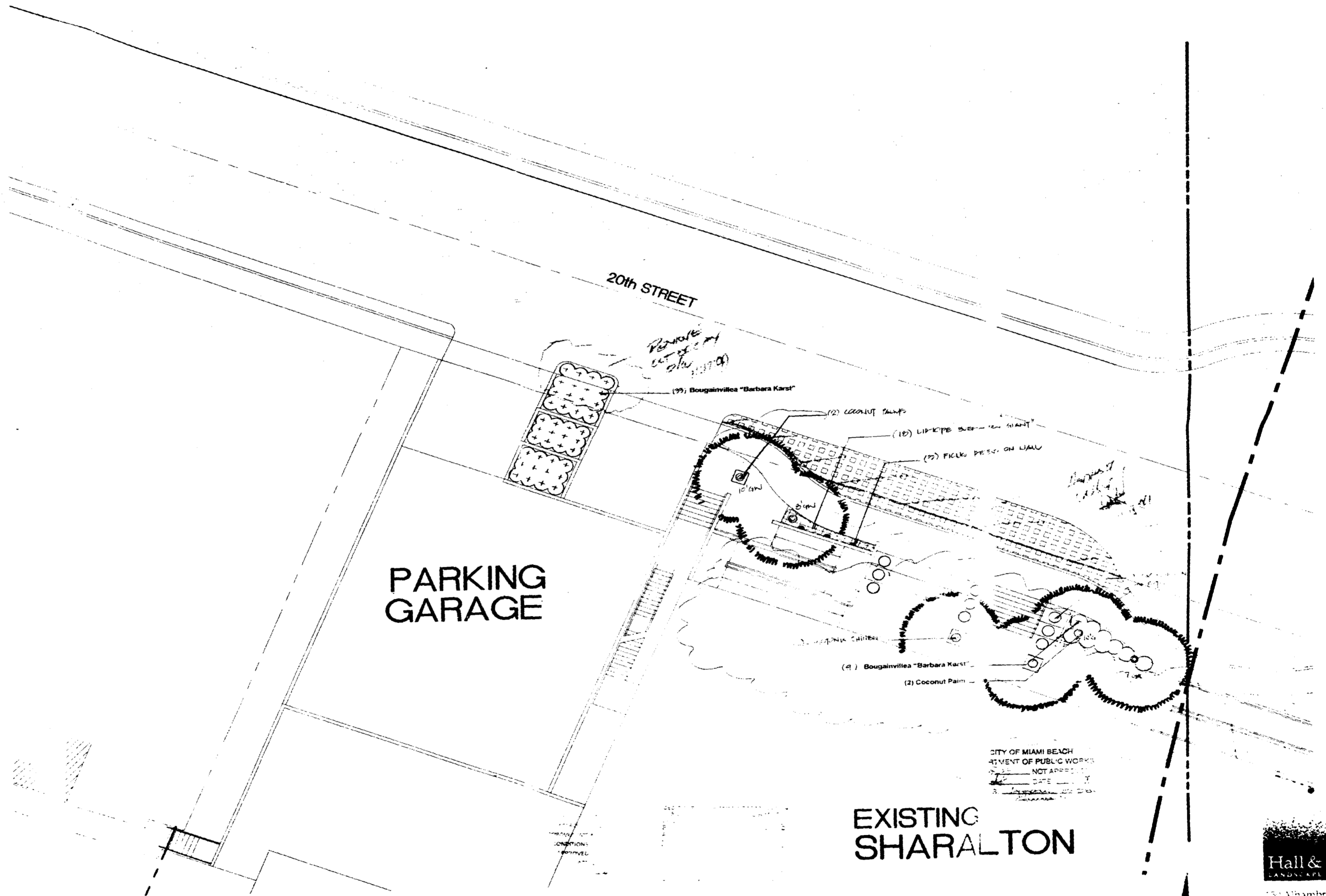
SHORE CLUB MIAMI BEACH FLORIDA

SITE PLAN

FULLETON DIAZ ARCHITECTS
 DAVID CHIPPERFIELD ARCHITECTS

A-101





THE SHORE CLUB HOTEL
MIAMI BEACH, FLORIDA

PLANTING PLAN

CITY OF MIAMI BEACH
DEPT. OF PUBLIC WORKS
NOT APPLICABLE
DATE: 4-19-99
BY: [Signature]

SCALE: 1/8" = 1'-0"
SHEET LS-5
DATE: 4-19-99
DATE: 9-3-98
REV: 10-16-11

Hall & Bell, P.A.
LANDSCAPE ARCHITECTS

150 Alhambra Circle
Suite 1250
Miami Beach, Florida 33139
Tel: 305.673.1111

16200

Bm5010466
B9900133
1901 Collins Ave

00291



ALL STEEL SHALL BE A36 UNLESS OTHERWISE SPECIFIED.
 ALL WELDS SHALL BE E70XX UNLESS OTHERWISE SPECIFIED.
 ALL DIMENSIONS SHALL BE IN FEET AND INCHES UNLESS OTHERWISE SPECIFIED.
 ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.

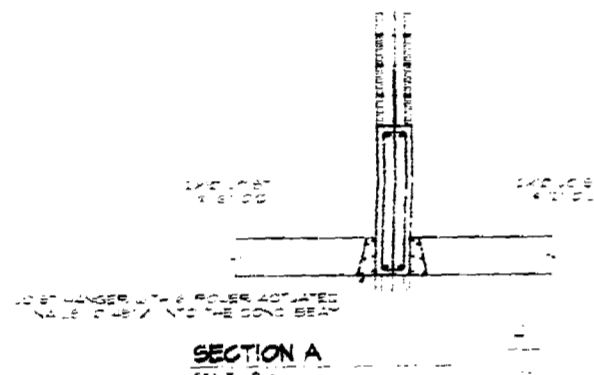
ROOF SHEETING SHALL BE 22 GA. GALVALUM.
 ROOF SHEETING SHALL BE LAPPED 12" AND SEAM SHALL BE WELDED.
 ROOF SHEETING SHALL BE SUPPORTED BY 2" X 4" JOISTS.
 ROOF SHEETING SHALL BE SUPPORTED BY 2" X 4" JOISTS.
 ROOF SHEETING SHALL BE SUPPORTED BY 2" X 4" JOISTS.

Sheathing Notes:

1. ROOF SHEETING SHALL HAVE A NET THICKNESS OF NOT LESS THAN 0.0157 IN. (22 GA.) UNLESS OTHERWISE SPECIFIED.
 2. JOISTS SHALL BE 2" X 4" UNLESS OTHERWISE SPECIFIED.
 3. JOISTS SHALL BE SUPPORTED BY 4" X 4" POSTS UNLESS OTHERWISE SPECIFIED.

4. THE ALLOWABLE SPAN SHALL NOT EXCEED THOSE SET FORTH IN TABLE 1601 OF THE 2001 INTERNATIONAL BUILDING CODE (IBC).

5. ALL JOIST ROOF SHEATHING SHALL BE SECURED WITH SNAGBARS AT THE 5' X 8' JOIST JOIST HEAD UNLESS OTHERWISE SPECIFIED.
 6. SPACING NOT TO EXCEED 12" O.C. AT ALL EDGES AND AT ALL SUPPORTS.



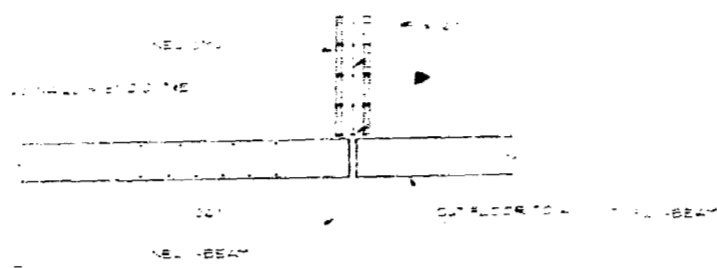
SECTION A
SCALE: 1/4" = 1'-0"



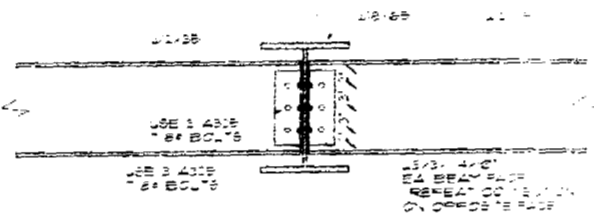
SECTION B
SCALE: 1/4" = 1'-0"



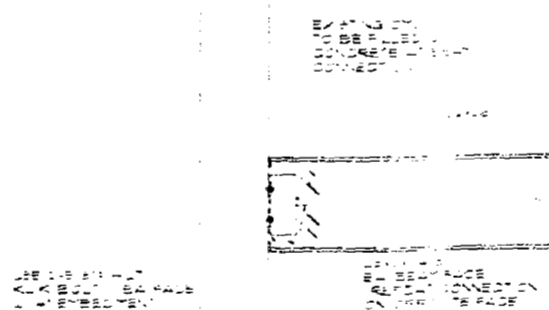
SECTION C
SCALE: 1/4" = 1'-0"



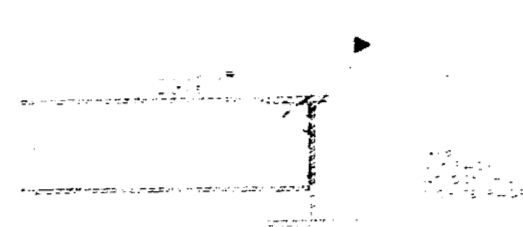
SECTION D
SCALE: 1/4" = 1'-0"



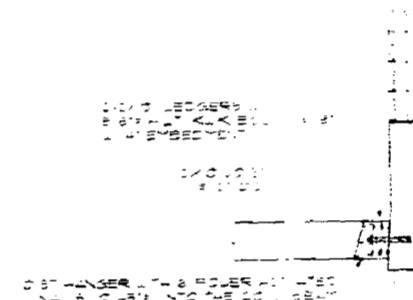
SECTION E
SCALE: 1/4" = 1'-0"



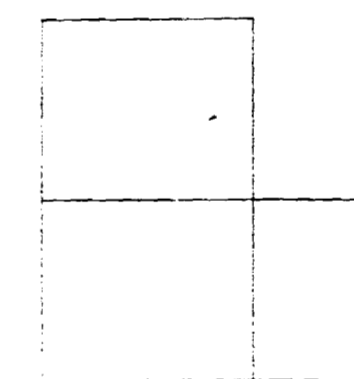
SECTION F
SCALE: 1/4" = 1'-0"



SECTION G
SCALE: 1/4" = 1'-0"



SECTION H
SCALE: 1/4" = 1'-0"



SHEATING DETAIL
SCALE: 1/4" = 1'-0"

OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY:
THE FOLLOWING:

DISCIPLINE	NAME	DATE
BUILDING		
ZONING		
ENGINEERING		
ELECTRICAL		
Mechanical		
PRE-PRESENTATION		
ENGINEERING		
STRUCTURAL		
ACCESSIBILITY		
ESTIMATE		



NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	2/6/04
2	ISSUED FOR PERMIT	2/6/04
3	ISSUED FOR PERMIT	2/6/04
4	ISSUED FOR PERMIT	2/6/04
5	ISSUED FOR PERMIT	2/6/04
6	ISSUED FOR PERMIT	2/6/04
7	ISSUED FOR PERMIT	2/6/04
8	ISSUED FOR PERMIT	2/6/04
9	ISSUED FOR PERMIT	2/6/04
10	ISSUED FOR PERMIT	2/6/04

Bm80101204

B9900133

1901 collins

152011

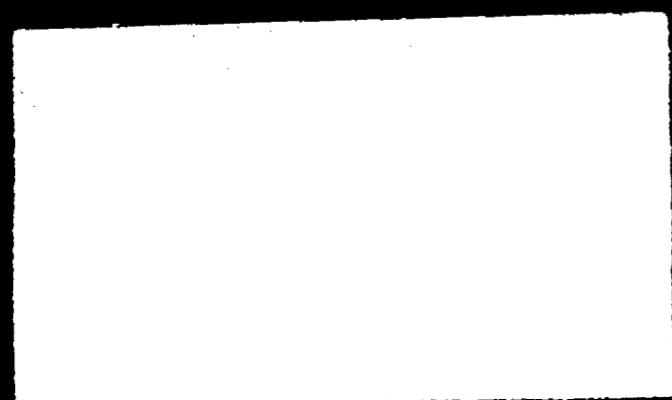


Table with columns: PANEL, AMP, VOLTAGE, CIRCUITS, WIRE PHASE, MAN/AT, MOUNTING, LOCATION, CATALOG NUMBER. This table contains the header information for the first electrical schedule on the page.

Table with columns: COND, WIRE, SIZE, POL, SERVICING, WATTS, CT, WIRE, SIZE, POL, SERVICING, WATTS. This table lists the individual circuit details for the first panel, including wire size and load wattage.

Table with columns: COND, WIRE, SIZE, POL, SERVICING, WATTS, CT, WIRE, SIZE, POL, SERVICING, WATTS. This table continues the list of individual circuit details for the first panel.

Table with columns: COND, WIRE, SIZE, POL, SERVICING, WATTS, CT, WIRE, SIZE, POL, SERVICING, WATTS. This table continues the list of individual circuit details for the first panel.

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Table with columns: COND, WIRE, SIZE, POL, SERVICING, WATTS, CT, WIRE, SIZE, POL, SERVICING, WATTS. This table continues the list of individual circuit details for the first panel.

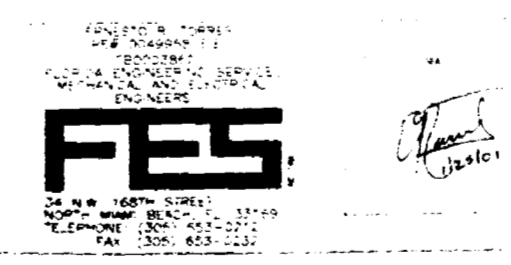
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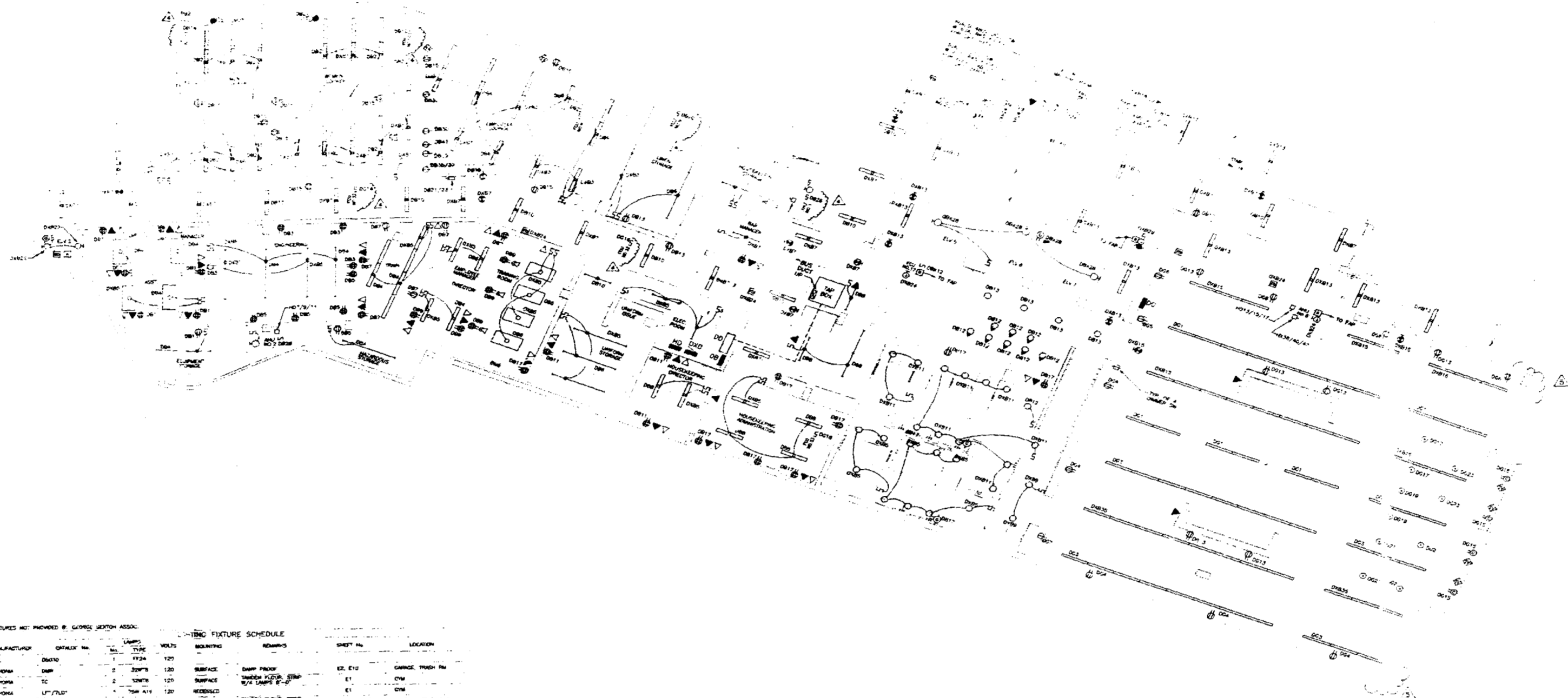
Table with columns: PANEL, AMP, VOLTAGE, CIRCUITS, WIRE PHASE, MAN/AT, MOUNTING, LOCATION, CATALOG NUMBER. This table contains the header information for the second electrical schedule on the page.

Table with columns: COND, WIRE, SIZE, POL, SERVICING, WATTS, CT, WIRE, SIZE, POL, SERVICING, WATTS. This table lists the individual circuit details for the second panel.

Table with columns: COND, WIRE, SIZE, POL, SERVICING, WATTS, CT, WIRE, SIZE, POL, SERVICING, WATTS. This table lists the individual circuit details for the third panel.

Table with columns: COND, WIRE, SIZE, POL, SERVICING, WATTS, CT, WIRE, SIZE, POL, SERVICING, WATTS. This table lists the individual circuit details for the fourth panel.

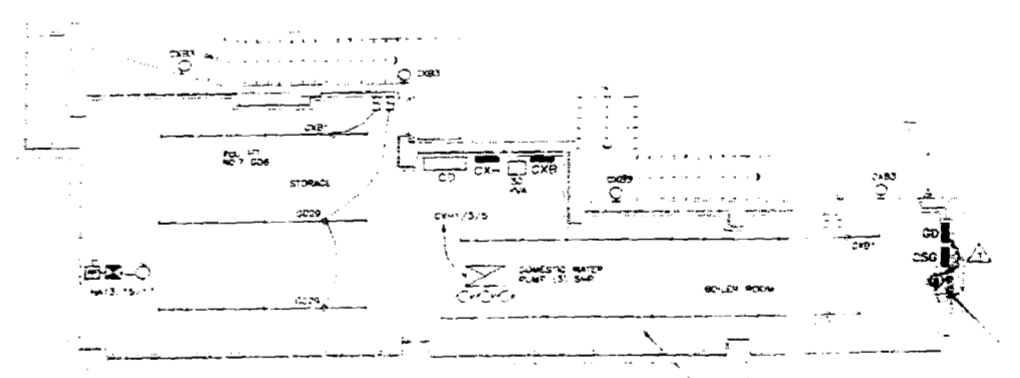




NOT FINISHED AND PROVIDED BY OTHERS (SEE ARCH)

NO.	DESCRIPTION	QTY	UNIT	REMARKS	REVISION	DATE	BY
1	MANUFACTURING	1	100				
2	CONCRETE	1	100				
3	MECHANICAL	1	100				
4	ELECTRICAL	1	100				
5	PLUMBING	1	100				
6	PAINTING	1	100				
7	FINISHING	1	100				
8	LANDSCAPING	1	100				
9	CONCRETE	1	100				
10	MECHANICAL	1	100				
11	ELECTRICAL	1	100				
12	PLUMBING	1	100				
13	PAINTING	1	100				
14	FINISHING	1	100				
15	LANDSCAPING	1	100				

ALL ELECTRICAL SYMBOLS SHALL CORRELATE WITH
 PLANS AND SPECIFICATIONS FOR ELECTRICAL, MECHANICAL,
 AND PLUMBING WORK AND THE ALARM CONTROL TO
 BE INSTALLED.

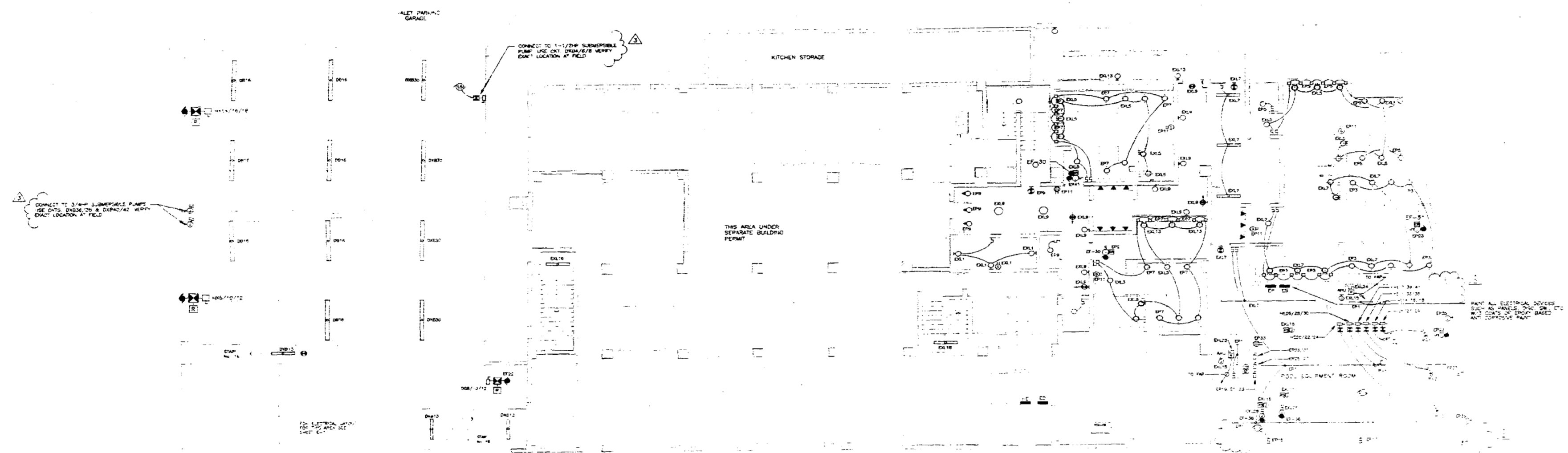


AREAS B, C, D BASEMENT LEVEL PLAN
 SCALE: 1/8" = 1'-0"

SHORE CLUB 1901 COLLINS AVENUE MIAMI BEACH FLORIDA

CONCRETE, MECHANICAL,
 ELECTRICAL, PLUMBING,
 PAINTING, FINISHING,
 LANDSCAPING, AND
 ARCHITECTURAL
FES
 54 1/2 16th STREET
 MIAMI BEACH, FLORIDA 33139
 TELEPHONE 305 344 1111
 FAX 305 344 1111

NO.	DESCRIPTION	QTY	UNIT	REMARKS
1	CONCRETE	1	100	
2	MECHANICAL	1	100	
3	ELECTRICAL	1	100	
4	PLUMBING	1	100	
5	PAINTING	1	100	
6	FINISHING	1	100	
7	LANDSCAPING	1	100	



AREAS E AND F BASEMENT LEVEL PLAN
SCALE: 1/8" = 1'-0"

NOTE:
THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH THE
LANDING THE LOCATION OF PRELIMINARY LIGHTING & SHOW
120V EMERGENCY POWER AND FIRE ALARM CONTROL TO
SEE SHEET 401

SHORE CLUB 1901 COLLINS AVENUE MIAMI BEACH FLORIDA



NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	11/15/01
2	ISSUED FOR CONSTRUCTION	11/15/01
3	ISSUED FOR AS-BUILT	11/15/01

NOBU RESTAURANT
1901 COLLINS AVENUE
MIAMI BEACH, FLORIDA

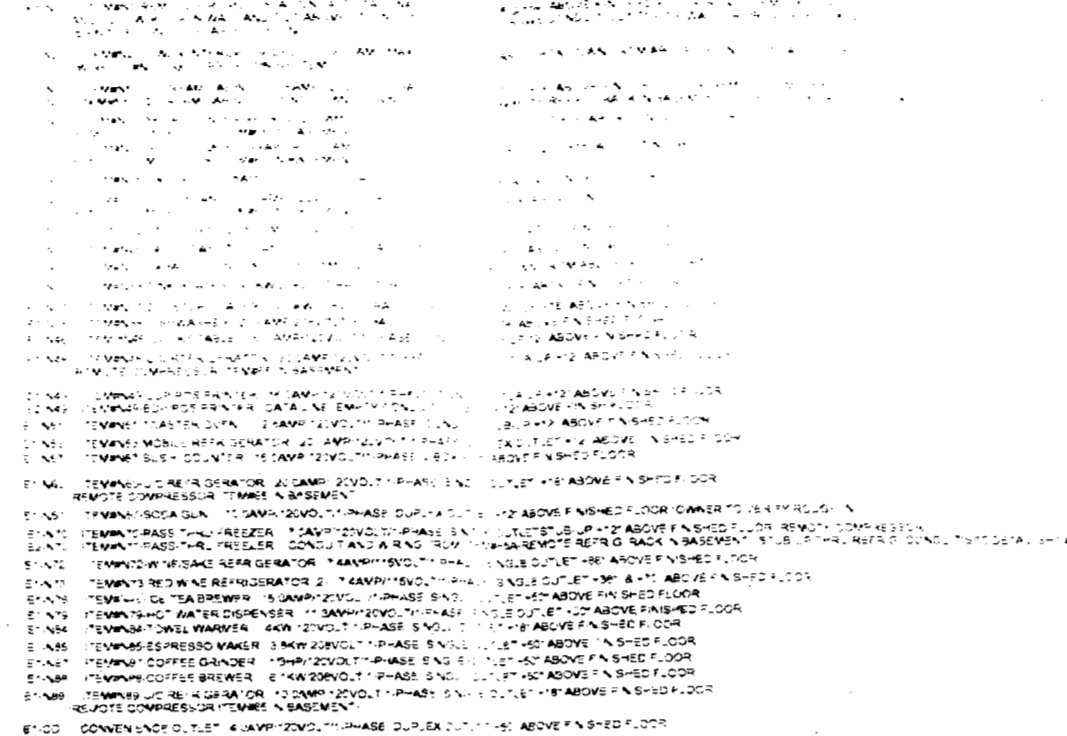
NOBU RESTAURANT

TWO SECTIONAL PANEL OF 40 CIRTS EACH SECTION

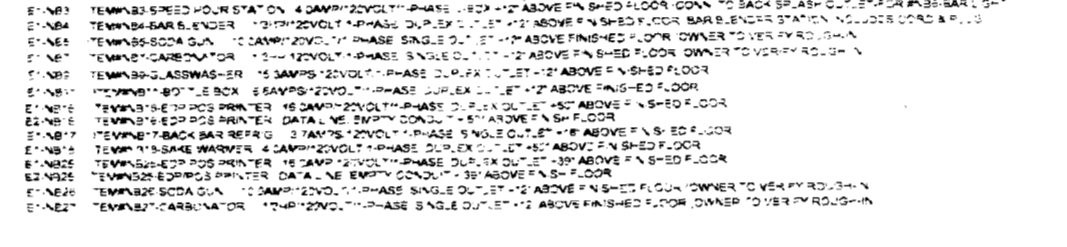
PANEL	AMPS	VOLTS	DISC	WIRE PHASE	MAX. KW	MOUNTING	LOCATION	CATALOG NUMBER
1	225	208	3	4	2	FLUSH	NOBU REST	LOAD CENTER

NOBU REST	NOBU BAR
1	1
2	2
3	3
4	4
5	5
6	6
7	7
8	8
9	9
10	10
11	11
12	12
13	13
14	14
15	15
16	16
17	17
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37	37
38	38
39	39
40	40

NOBU KITCHEN

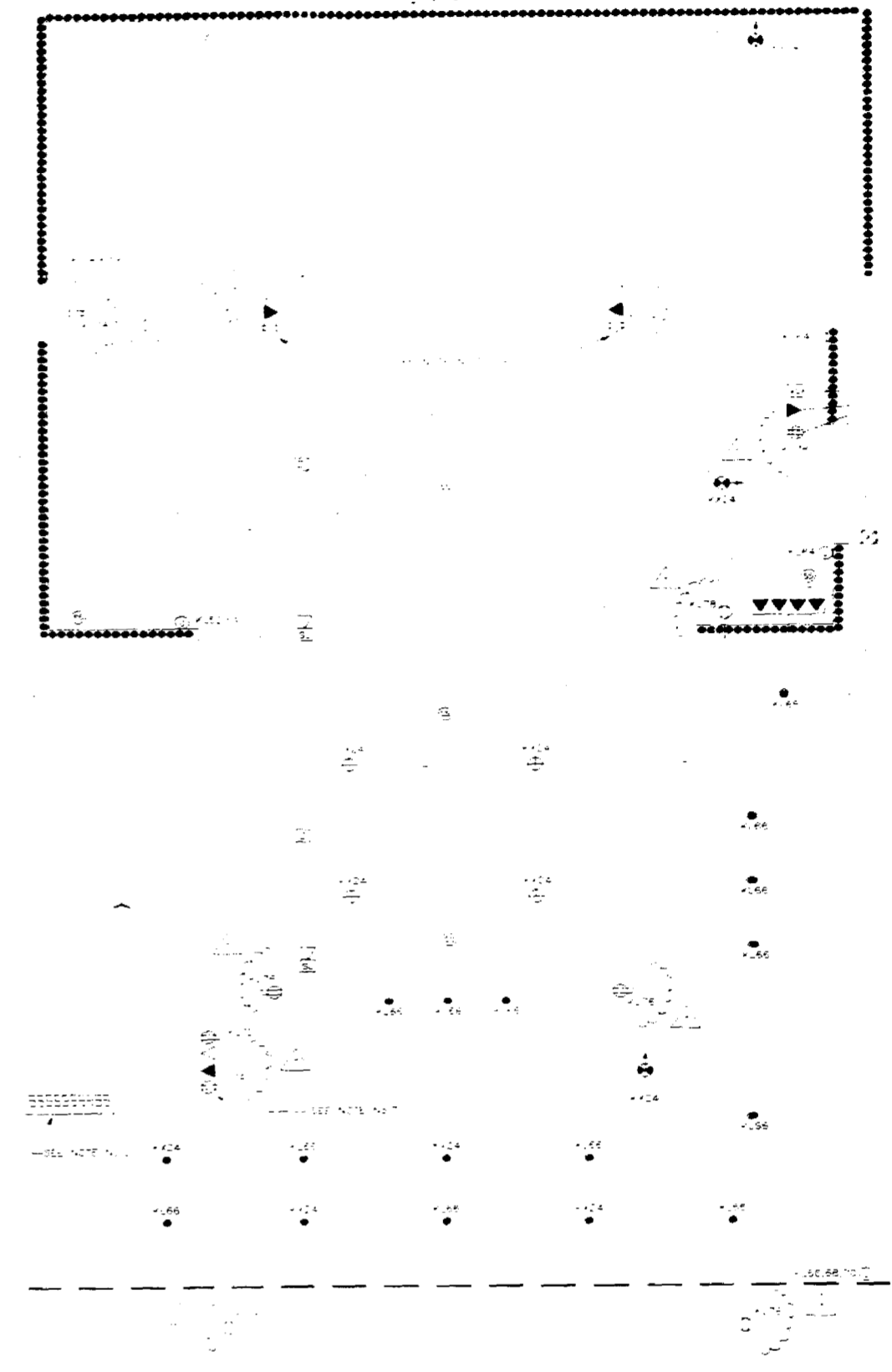


NOBU BAR



ELECTRICAL NOTES

ELECTRICAL SYSTEM IS DESIGNED FOR 120/208V 3-PHASE 4-WIRE SYSTEM.
ALL WIRING SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

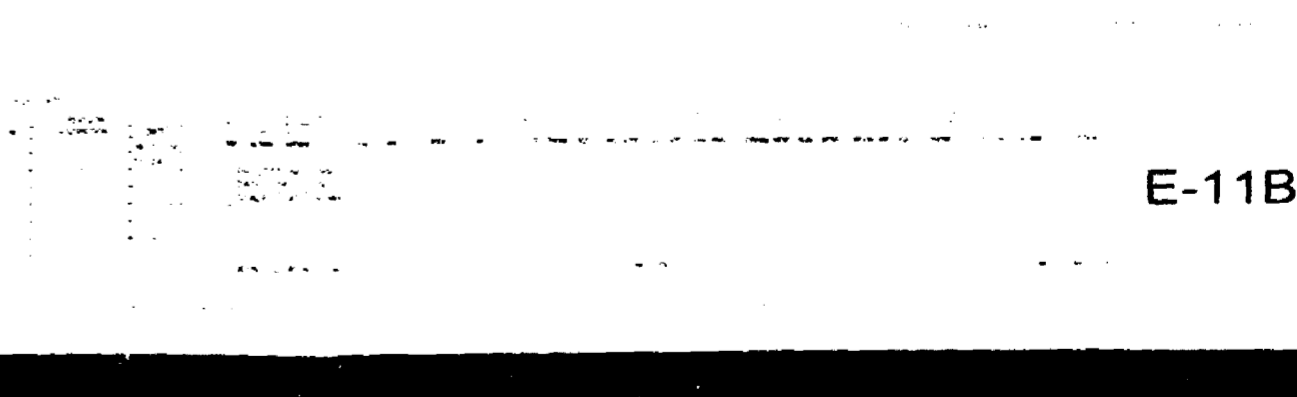


NOBU RESTAURANT LIGHTING PLAN

ELECTRICAL LEGEND

- RECESSED CAN LIGHT
- TRACK LIGHT
- PENDANT LIGHT
- SWITCH
- OUTLET
- CONDUIT
- TRAY
- TRUNKING
- WIRE BUNDLE
- WIRE BUNDLE WITH GROUNDING
- WIRE BUNDLE WITH GROUNDING AND IDENTIFICATION
- WIRE BUNDLE WITH GROUNDING AND IDENTIFICATION AND LABELING
- WIRE BUNDLE WITH GROUNDING AND IDENTIFICATION AND LABELING AND IDENTIFICATION

PARTIAL RISER DIAGRAM



SHORE CLUB 1901 COLLINS AVENUE MIAMI BEACH FLORIDA



E-11B

PANEL	AMPS	VOLTAGE	CIRCUITS	WIRE	PHASE	MAN	MOUNTING	LOCATION	CATALOG NUMBER
HD	250	277/480	42	4	3	250A/2200A	SWR	GRD FL AREA B	SENTRON 52

PANEL	AMPS	VOLTAGE	CIRCUITS	WIRE	PHASE	MAN	MOUNTING	LOCATION	CATALOG NUMBER
HD	250	277/480	42	4	3	250A/2200A	SWR	GRD FL AREA B	SENTRON 52

PANEL	AMPS	VOLTAGE	CIRCUITS	WIRE	PHASE	MAN	MOUNTING	LOCATION	CATALOG NUMBER
EXL	250	120/208	42	4	3	225A/2200A	SWR	GRD FL AREA B	SENTRON 52

PANEL	AMPS	VOLTAGE	CIRCUITS	WIRE	PHASE	MAN	MOUNTING	LOCATION	CATALOG NUMBER
EXL	250	120/208	42	4	3	225A/2200A	SWR	GRD FL AREA B	SENTRON 52

PANEL	AMPS	VOLTAGE	CIRCUITS	WIRE	PHASE	MAN	MOUNTING	LOCATION	CATALOG NUMBER
HD	250	277/480	42	4	3	250A/2200A	SWR	GRD FL AREA B	SENTRON 52

PANEL	AMPS	VOLTAGE	CIRCUITS	WIRE	PHASE	MAN	MOUNTING	LOCATION	CATALOG NUMBER
HD	250	277/480	42	4	3	250A/2200A	SWR	GRD FL AREA B	SENTRON 52

PANEL	AMPS	VOLTAGE	CIRCUITS	WIRE	PHASE	MAN	MOUNTING	LOCATION	CATALOG NUMBER
EXL	250	120/208	42	4	3	225A/2200A	SWR	GRD FL AREA B	SENTRON 52

PANEL	AMPS	VOLTAGE	CIRCUITS	WIRE	PHASE	MAN	MOUNTING	LOCATION	CATALOG NUMBER
EXL	250	120/208	42	4	3	225A/2200A	SWR	GRD FL AREA B	SENTRON 52

PANEL	AMPS	VOLTAGE	CIRCUITS	WIRE	PHASE	MAN	MOUNTING	LOCATION	CATALOG NUMBER
HD	250	277/480	42	4	3	250A/2200A	SWR	GRD FL AREA B	SENTRON 52

PANEL	AMPS	VOLTAGE	CIRCUITS	WIRE	PHASE	MAN	MOUNTING	LOCATION	CATALOG NUMBER
HD	250	277/480	42	4	3	250A/2200A	SWR	GRD FL AREA B	SENTRON 52

PANEL	AMPS	VOLTAGE	CIRCUITS	WIRE	PHASE	MAN	MOUNTING	LOCATION	CATALOG NUMBER
EXL	250	120/208	42	4	3	225A/2200A	SWR	GRD FL AREA B	SENTRON 52

PANEL	AMPS	VOLTAGE	CIRCUITS	WIRE	PHASE	MAN	MOUNTING	LOCATION	CATALOG NUMBER
EXL	250	120/208	42	4	3	225A/2200A	SWR	GRD FL AREA B	SENTRON 52

PANEL	AMPS	VOLTAGE	CIRCUITS	WIRE	PHASE	MAN	MOUNTING	LOCATION	CATALOG NUMBER
HD	250	277/480	42	4	3	250A/2200A	SWR	GRD FL AREA B	SENTRON 52

PANEL	AMPS	VOLTAGE	CIRCUITS	WIRE	PHASE	MAN	MOUNTING	LOCATION	CATALOG NUMBER
HD	250	277/480	42	4	3	250A/2200A	SWR	GRD FL AREA B	SENTRON 52

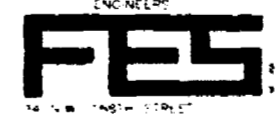
PANEL	AMPS	VOLTAGE	CIRCUITS	WIRE	PHASE	MAN	MOUNTING	LOCATION	CATALOG NUMBER
EXL	250	120/208	42	4	3	225A/2200A	SWR	GRD FL AREA B	SENTRON 52

PANEL	AMPS	VOLTAGE	CIRCUITS	WIRE	PHASE	MAN	MOUNTING	LOCATION	CATALOG NUMBER
EXL	250	120/208	42	4	3	225A/2200A	SWR	GRD FL AREA B	SENTRON 52

SHORE CLUB 1901 COLLINS AVENUE

MIAMI BEACH FLORIDA

AREA B PANELS



PANEL	AMPS	VOLTAGE	CIRCUITS	WIRE	PHASE	MAN/AC	MOUNTING	LOCATION	CATALOG NUMBER
C2	200	120/208	42	4	3	LUGS ONLY/10,000	SURFACE	4TH FL AREA C	CORNER LOAD CENTER

PANEL	AMPS	VOLTAGE	CIRCUITS	WIRE	PHASE	MAN/AC	MOUNTING	LOCATION	CATALOG NUMBER
C3	200	120/208	42	4	3	LUGS ONLY/10,000	SURFACE	4TH FL AREA C	CORNER LOAD CENTER

PANEL	AMPS	VOLTAGE	CIRCUITS	WIRE	PHASE	MAN/AC	MOUNTING	LOCATION	CATALOG NUMBER
C4	200	120/208	42	4	3	LUGS ONLY/10,000	SURFACE	4TH FL AREA C	CORNER LOAD CENTER

PANEL	AMPS	VOLTAGE	CIRCUITS	WIRE	PHASE	MAN/AC	MOUNTING	LOCATION	CATALOG NUMBER
C5	200	120/208	42	4	3	LUGS ONLY/10,000	SURFACE	4TH FL AREA C	CORNER LOAD CENTER

PANEL	AMPS	VOLTAGE	CIRCUITS	WIRE	PHASE	MAN/AC	MOUNTING	LOCATION	CATALOG NUMBER
C6	200	120/208	42	4	3	LUGS ONLY/10,000	SURFACE	4TH FL AREA C	CORNER LOAD CENTER

CIRCUIT NO.	COND	WIRE	PHASE	POLE	AMPS	SERVING	WATTS
1	1	12	1/2	1	20	RECEPTACLES	720
2	1	12	1/2	2	20	RECEPTACLES	720
3	1	12	1/2	3	20	RECEPTACLES	720

CIRCUIT NO.	COND	WIRE	PHASE	POLE	AMPS	SERVING	WATTS
4	1	12	1/2	1	20	RECEPTACLES	720
5	1	12	1/2	2	20	RECEPTACLES	720
6	1	12	1/2	3	20	RECEPTACLES	720

CIRCUIT NO.	COND	WIRE	PHASE	POLE	AMPS	SERVING	WATTS
7	1	12	1/2	1	20	RECEPTACLES	720
8	1	12	1/2	2	20	RECEPTACLES	720
9	1	12	1/2	3	20	RECEPTACLES	720

CIRCUIT NO.	COND	WIRE	PHASE	POLE	AMPS	SERVING	WATTS
10	1	12	1/2	1	20	RECEPTACLES	720
11	1	12	1/2	2	20	RECEPTACLES	720
12	1	12	1/2	3	20	RECEPTACLES	720

CIRCUIT NO.	COND	WIRE	PHASE	POLE	AMPS	SERVING	WATTS
13	1	12	1/2	1	20	RECEPTACLES	720
14	1	12	1/2	2	20	RECEPTACLES	720
15	1	12	1/2	3	20	RECEPTACLES	720

PANEL	AMPS	VOLTAGE	CIRCUITS	WIRE	PHASE	MAN/AC	MOUNTING	LOCATION	CATALOG NUMBER
C7	200	120/208	42	4	3	LUGS ONLY/10,000	SURFACE	4TH FL AREA C	CORNER LOAD CENTER

PANEL	AMPS	VOLTAGE	CIRCUITS	WIRE	PHASE	MAN/AC	MOUNTING	LOCATION	CATALOG NUMBER
C8	200	120/208	42	4	3	LUGS ONLY/10,000	SURFACE	4TH FL AREA C	CORNER LOAD CENTER

PANEL	AMPS	VOLTAGE	CIRCUITS	WIRE	PHASE	MAN/AC	MOUNTING	LOCATION	CATALOG NUMBER
C9	200	120/208	42	4	3	LUGS ONLY/10,000	SURFACE	4TH FL AREA C	CORNER LOAD CENTER

PANEL	AMPS	VOLTAGE	CIRCUITS	WIRE	PHASE	MAN/AC	MOUNTING	LOCATION	CATALOG NUMBER
C10	200	120/208	42	4	3	LUGS ONLY/10,000	SURFACE	4TH FL AREA C	CORNER LOAD CENTER

PANEL	AMPS	VOLTAGE	CIRCUITS	WIRE	PHASE	MAN/AC	MOUNTING	LOCATION	CATALOG NUMBER
C11	200	120/208	42	4	3	LUGS ONLY/10,000	SURFACE	4TH FL AREA C	CORNER LOAD CENTER

CIRCUIT NO.	COND	WIRE	PHASE	POLE	AMPS	SERVING	WATTS
16	1	12	1/2	1	20	RECEPTACLES	720
17	1	12	1/2	2	20	RECEPTACLES	720
18	1	12	1/2	3	20	RECEPTACLES	720

CIRCUIT NO.	COND	WIRE	PHASE	POLE	AMPS	SERVING	WATTS
19	1	12	1/2	1	20	RECEPTACLES	720
20	1	12	1/2	2	20	RECEPTACLES	720
21	1	12	1/2	3	20	RECEPTACLES	720

CIRCUIT NO.	COND	WIRE	PHASE	POLE	AMPS	SERVING	WATTS
22	1	12	1/2	1	20	RECEPTACLES	720
23	1	12	1/2	2	20	RECEPTACLES	720
24	1	12	1/2	3	20	RECEPTACLES	720

CIRCUIT NO.	COND	WIRE	PHASE	POLE	AMPS	SERVING	WATTS
25	1	12	1/2	1	20	RECEPTACLES	720
26	1	12	1/2	2	20	RECEPTACLES	720
27	1	12	1/2	3	20	RECEPTACLES	720

CIRCUIT NO.	COND	WIRE	PHASE	POLE	AMPS	SERVING	WATTS
28	1	12	1/2	1	20	RECEPTACLES	720
29	1	12	1/2	2	20	RECEPTACLES	720
30	1	12	1/2	3	20	RECEPTACLES	720

SHORE CLUB 1901 COLLINS AVENUE MIAMI BEACH FLORIDA



AREA C PANELS

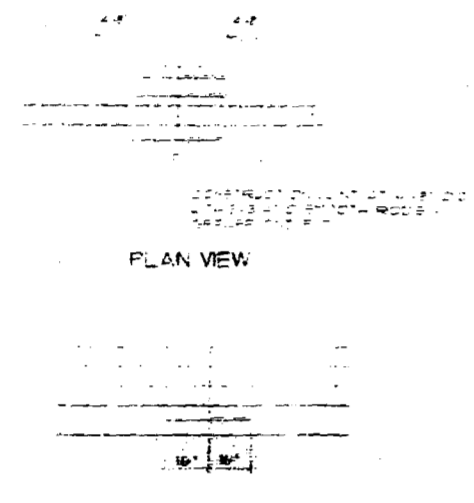
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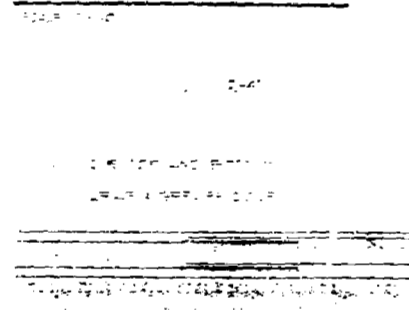


PLAN VIEW

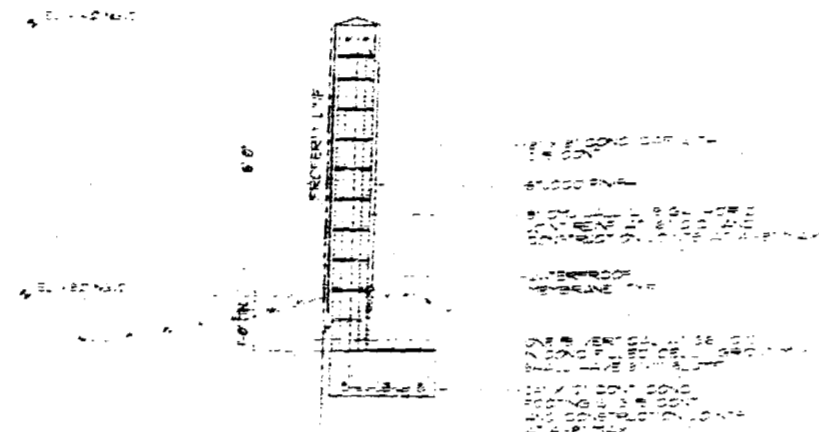
SECTION 'A'
TYP. FRANGIBLE WALL DETAIL
SCALE: 1/4" = 1'-0"



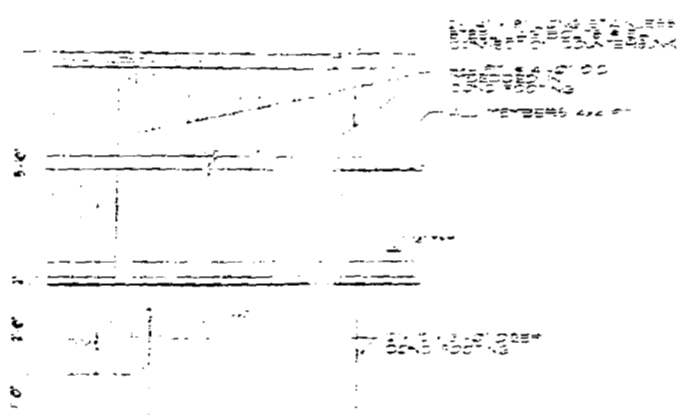
BIRD CAGE FOUNDATION
SCALE: 1/4" = 1'-0"



TYP. BREAK-AWAY FOUNDATION JOINT
SCALE: 1/4" = 1'-0"



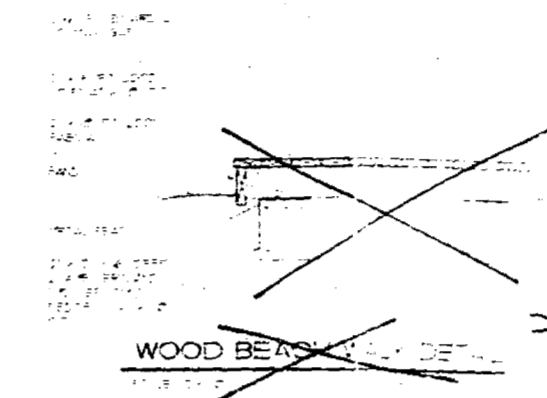
CMU WALL SECTION
SCALE: 1/4" = 1'-0"



TYPICAL PERIMETER FENCE DETAIL
SCALE: 1/4" = 1'-0"

CONCRETE SLAB
SCALE: 1/4" = 1'-0"

TYP. KEYSTONE ON CONCRETE DETAIL
SCALE: 1/4" = 1'-0"

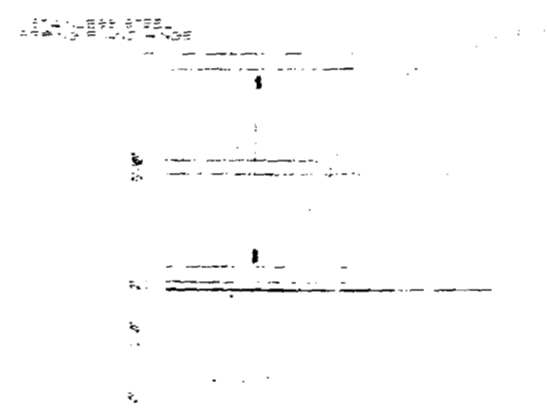


~~WOOD BEAM WALKWAY DETAIL~~

NOTE: WOODEN WALKWAY IS NOT INCLUDED IN PERMIT

BWB

TYPICAL PERIMETER FENCE DETAIL

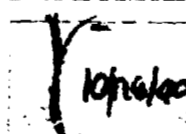


TYPICAL GATE FENCE DETAIL
SCALE: 1/4" = 1'-0"

TYP. KEYSTONE ON CONCRETE DETAIL
SCALE: 1/4" = 1'-0"

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INDUSTRIAL SYSTEMS



DA-363M2

50500

400300

TOWNHOUSE PROJECT

PARKING GARAGE

EXISTING SHARALTON

SHORE CLUB

CABANAS

LEGEND

APPROVED AS SHOWN
PLANNING BOARD
APPROVED FOR
CONSTRUCTION

RECEIVED

SITE PLAN



SHARALTON, INC.

1111 HERRINGWOOD BLVD



STING
HARALTON

CABANAS

LEGEND:

VEGETATION
EXISTING
CONCRETE
PAVING
ASPHALT
GRAVEL
WOOD
STEEL
BRICK
GLASS
METAL
PLASTER
GYP. BOARD
CEILING
FLOORING
ROOFING
MECHANICAL
ELECTRICAL
PLUMBING
PAINTING
FINISHES

APPROVED AS PERMITTED
BY THE BOARD OF HEALTH
AND ENVIRONMENTAL
PROTECTION
ON THE BASIS OF THE
FINDINGS OF THE
HEALTH AND ENVIRONMENTAL
COMMISSIONERS
AND THE BOARD OF HEALTH
AND ENVIRONMENTAL
PROTECTION
ON THE BASIS OF THE
FINDINGS OF THE
HEALTH AND ENVIRONMENTAL
COMMISSIONERS
AND THE BOARD OF HEALTH
AND ENVIRONMENTAL
PROTECTION

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FEB 11 1968
OFFICE OF HEALTH
AND ENVIRONMENTAL
PROTECTION

SHORE CLUB KAY BEACH FLORIDA

SITE PLAN



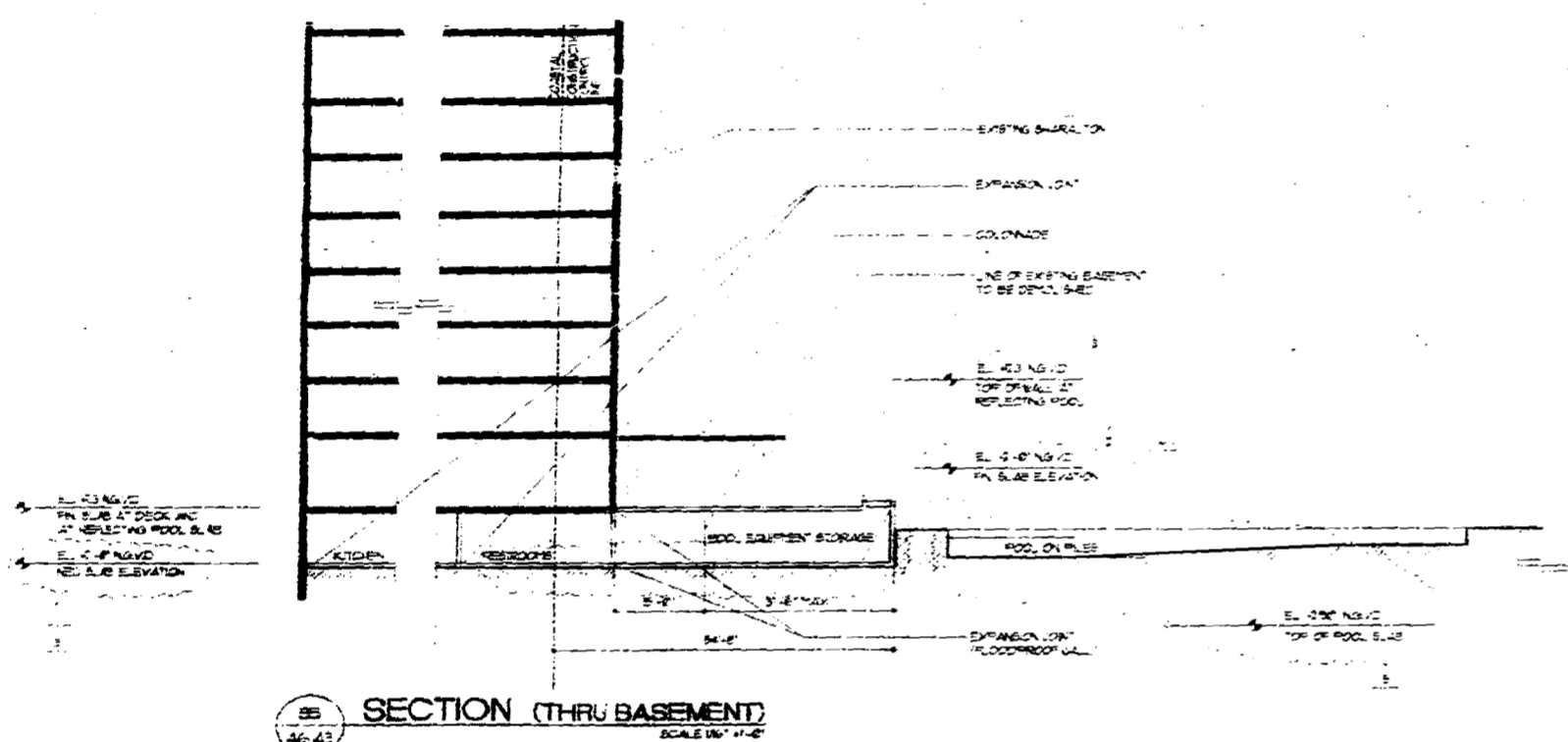
FULLERTON, DAVE ARCHITECTS
1000 N. W. 10th St.
Miami, Florida 33136

DAVIDOFFER, DAVE ARCHITECTS
1000 N. W. 10th St.
Miami, Florida 33136

4-2

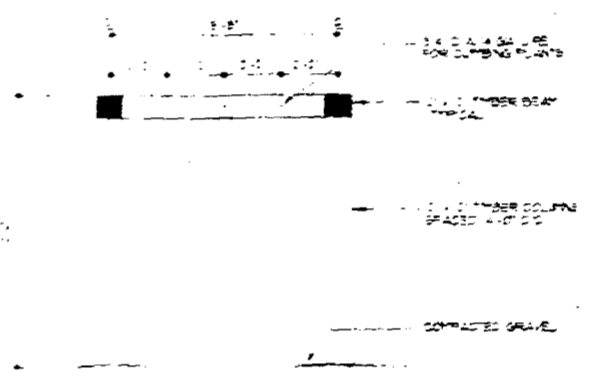
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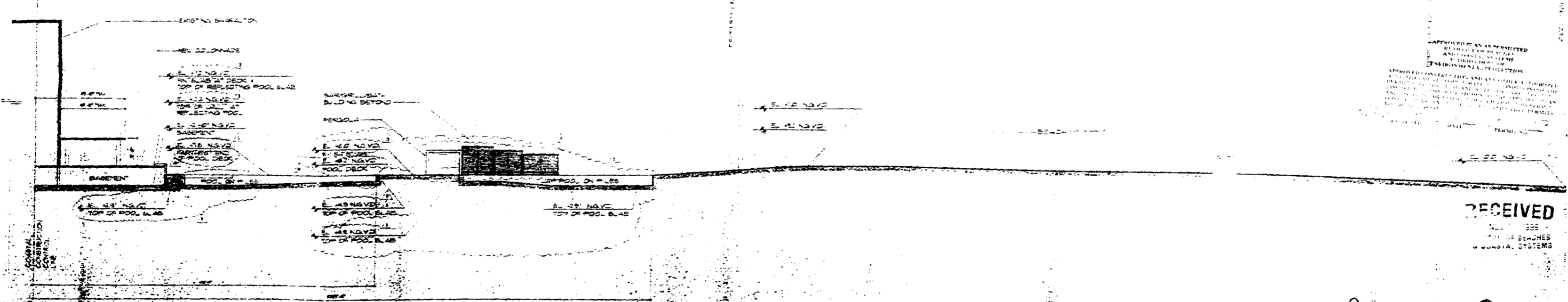


SECTION (THRU BASEMENT)
SCALE 1/4" = 1'-0"

SECTION - SITTING ALCOVE (TYP.)



SECTION AT PERGOLA
(NEXT TO CABANA LAP POOL)



SECTION (THRU BASEMENT)

RECEIVED
MAY 19 1988
DAVID CHAMBERLAIN ARCHITECTS

DA-363 M2

SHORE CLUB MIAMI BEACH FLORIDA

Y. Lopez

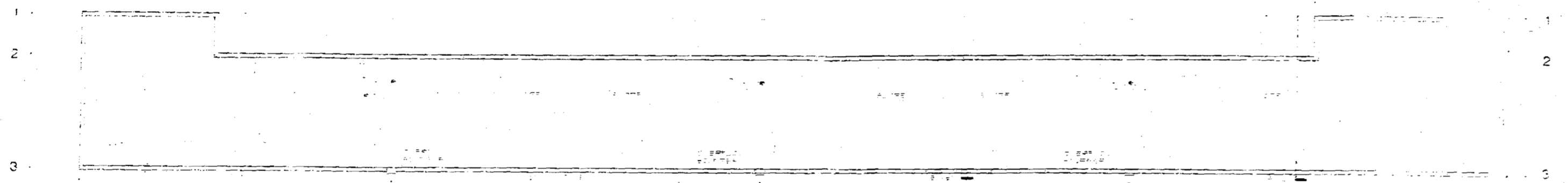
FULLERTON DIAZ ARCHITECTS

DAVID CHAMBERLAIN ARCHITECTS

A-3

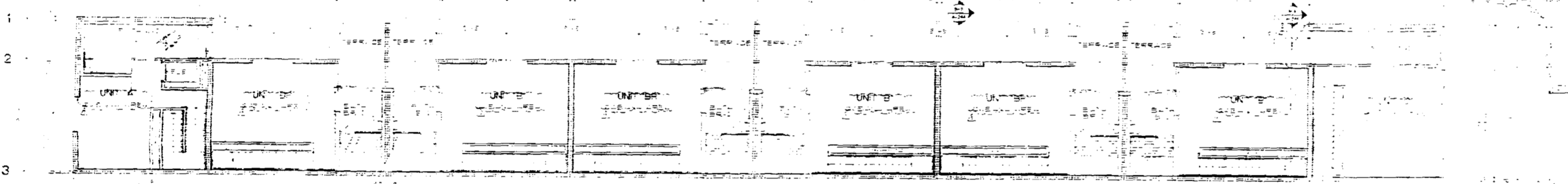
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B C D E F G H J K L M



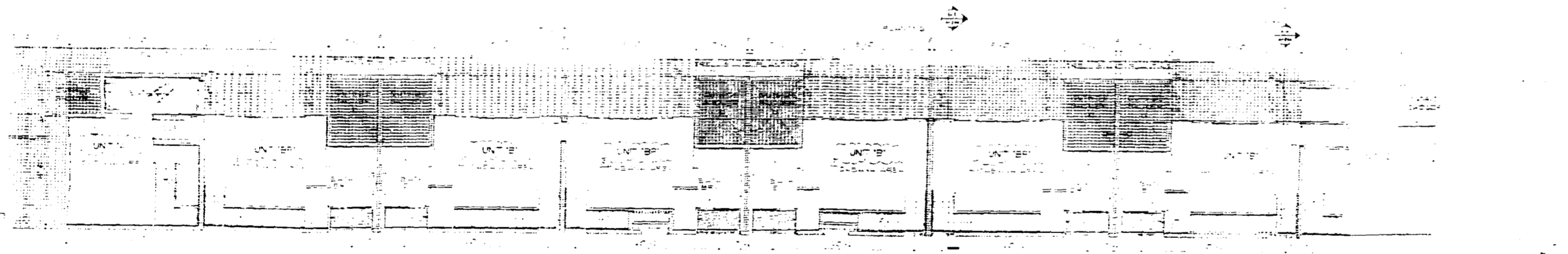
(ROOF PLAN)

A B C D E F G H J K L M N



(SECOND FLOOR)

A B C D E F G H J K L M N



(FIRST FLOOR)

NOTES

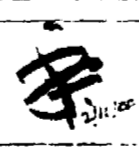
1. ALL DIMENSIONS ARE IN FEET AND INCHES.
2. ALL WALLS ARE 8" THICK UNLESS NOTED OTHERWISE.
3. ALL FLOORS ARE CONCRETE ON GRADE UNLESS NOTED OTHERWISE.
4. ALL ROOFS ARE FLAT UNLESS NOTED OTHERWISE.
5. ALL DOORS ARE 36" WIDE UNLESS NOTED OTHERWISE.
6. ALL WINDOWS ARE 48" WIDE UNLESS NOTED OTHERWISE.
7. ALL STAIRS ARE 36" WIDE UNLESS NOTED OTHERWISE.
8. ALL ELEVATIONS ARE TO FINISH UNLESS NOTED OTHERWISE.
9. ALL FINISHES ARE TO BE DETERMINED BY THE OWNER.
10. ALL MATERIALS AND METHODS OF CONSTRUCTION ARE TO BE APPROVED BY THE ARCHITECT.

APPROVED FOR AN ALTERNATE
BY THE ARCHITECT
DATE: 10/15/00
ENVIRONMENTAL ENGINEER

RECEIVED
FEB 14 2002
OFFICE OF BEACHES
& COASTAL SYSTEMS

SHORE CLUE MIAMI BEACH FLORIDA

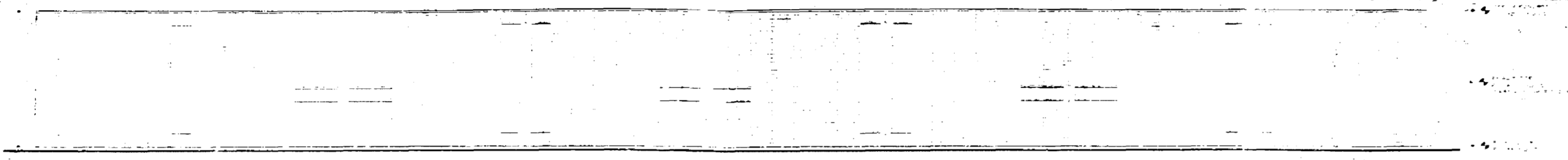
CABANAS FLOOR PLANS



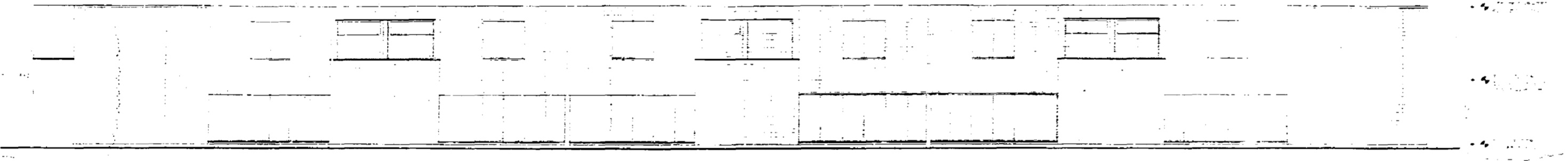
FULLERTON DIAZ ARCHITECTS

DAVID CHIFFERFIELD ARCHITECTS

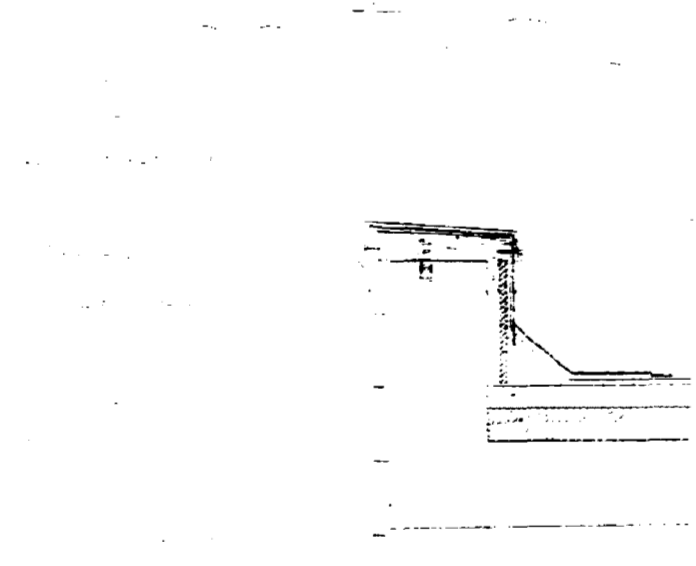
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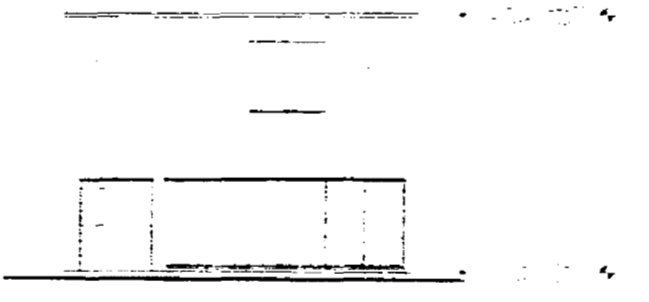
SOUTH ELEVATION



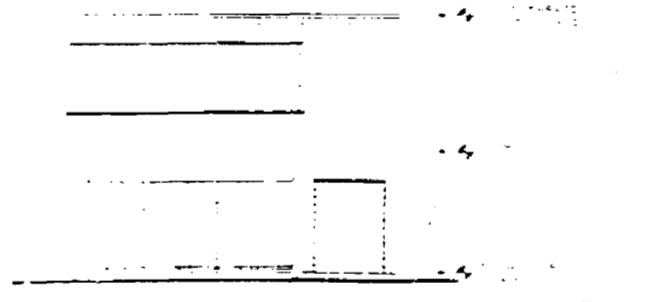
NORTH ELEVATION



SECTION DABANA BOUND



EAST ELEVATION



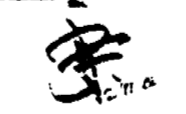
WEST ELEVATION

NOT TO SCALE
DATE: 01/14/2002
PROJECT: CABANAS
DRAWN BY: [Signature]
CHECKED BY: [Signature]

RECEIVED
FEE: \$1,000.00
OFFICE OF BEACHES
& COASTAL SYSTEMS

SHORE CLIVE MIAMI BEACH FLORIDA

CABANAS ELEVATIONS



FULLERTON DAC ARCHITECTS

DAVID CHAPPEL ARCHITECTS

4-5

FLOOR PLAN

LATTICE SCREEN DETAIL

TYPICAL CONCRETE CURB

TREE BENCH DETAIL

WEST ELEVATION

NORTH ELEVATION

EAST ELEVATION

SOUTH ELEVATION

PERGOLA ROOF DETAIL

SECTION

SECTION

NOTES:

1. REFER TO SHEET A-5 FOR GENERAL NOTES.
2. REFER TO SHEET A-7 FOR MATERIAL SCHEDULE.
3. REFER TO SHEET A-8 FOR FINISH SCHEDULE.
4. REFER TO SHEET A-9 FOR LIGHTING SCHEDULE.
5. REFER TO SHEET A-10 FOR FURNITURE SCHEDULE.
6. REFER TO SHEET A-11 FOR LANDSCAPE SCHEDULE.
7. REFER TO SHEET A-12 FOR SIGNAGE SCHEDULE.
8. REFER TO SHEET A-13 FOR SPECIAL NOTES.

DA-36 3M2

SHORE CLUB MIAMI BEACH FLORIDA

BAR/GRILL
PLANS, ELEVATIONS, DETAILS AND SECTIONS.

Vidaleq

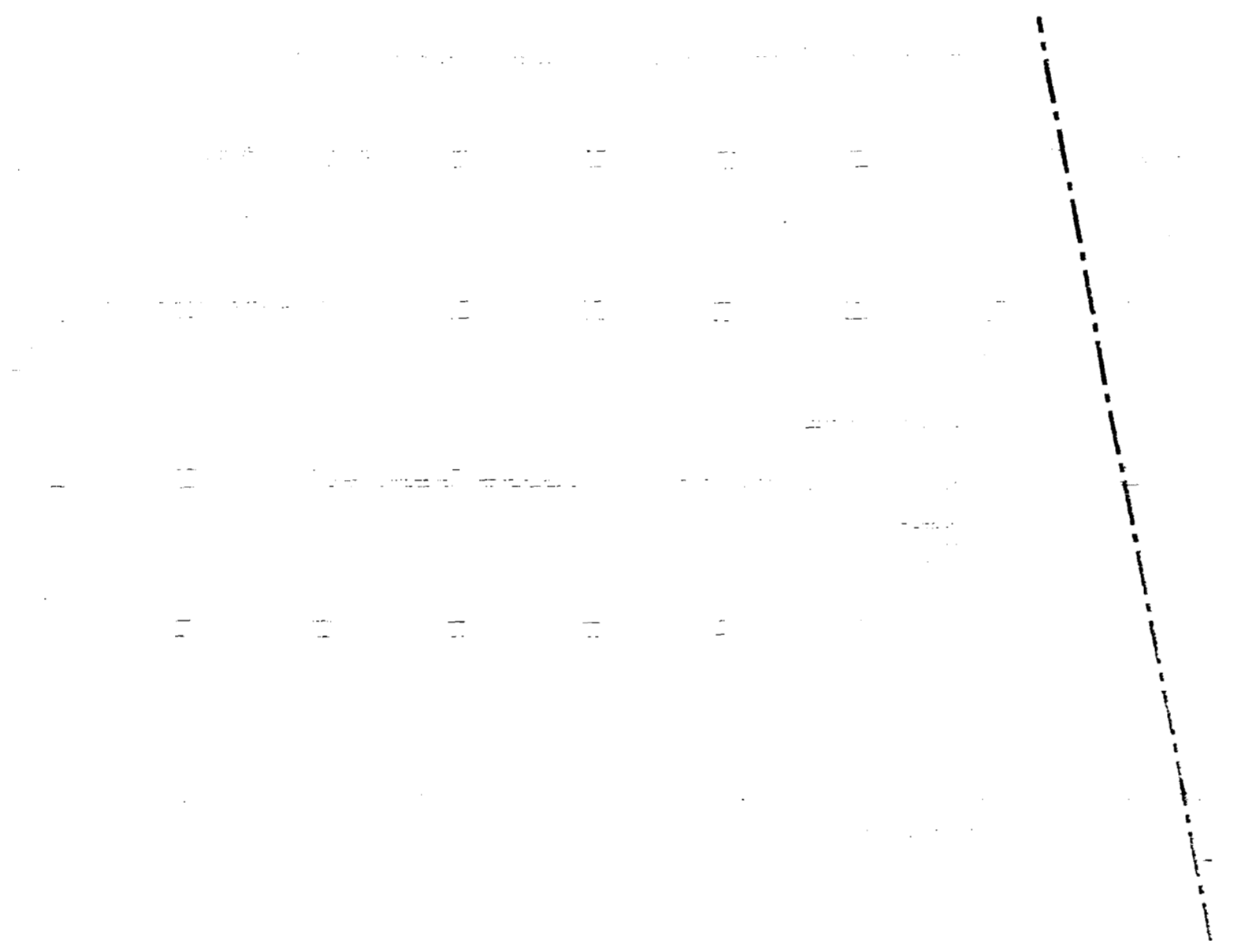
FULLERTON DIAZ ARCHITECTS

DAVIDCOPPERFIELDARCHITECTS

A-6

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00312



DAVID CHIFFERFIELD ARCHITECTS
 1000 BAYVIEW BLVD
 SUITE 1000
 MIAMI BEACH, FL 33139
 TEL: 305.673.1100
 FAX: 305.673.1101
 WWW.DAVIDCHIFFERFIELDARCHITECTS.COM

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 & COASTAL SYSTEMS

KEY PLAN

SHORE OULE MIAMI BEACH FL 33139

SHARALTON EXISTING BASEMENT LEVEL PLAN

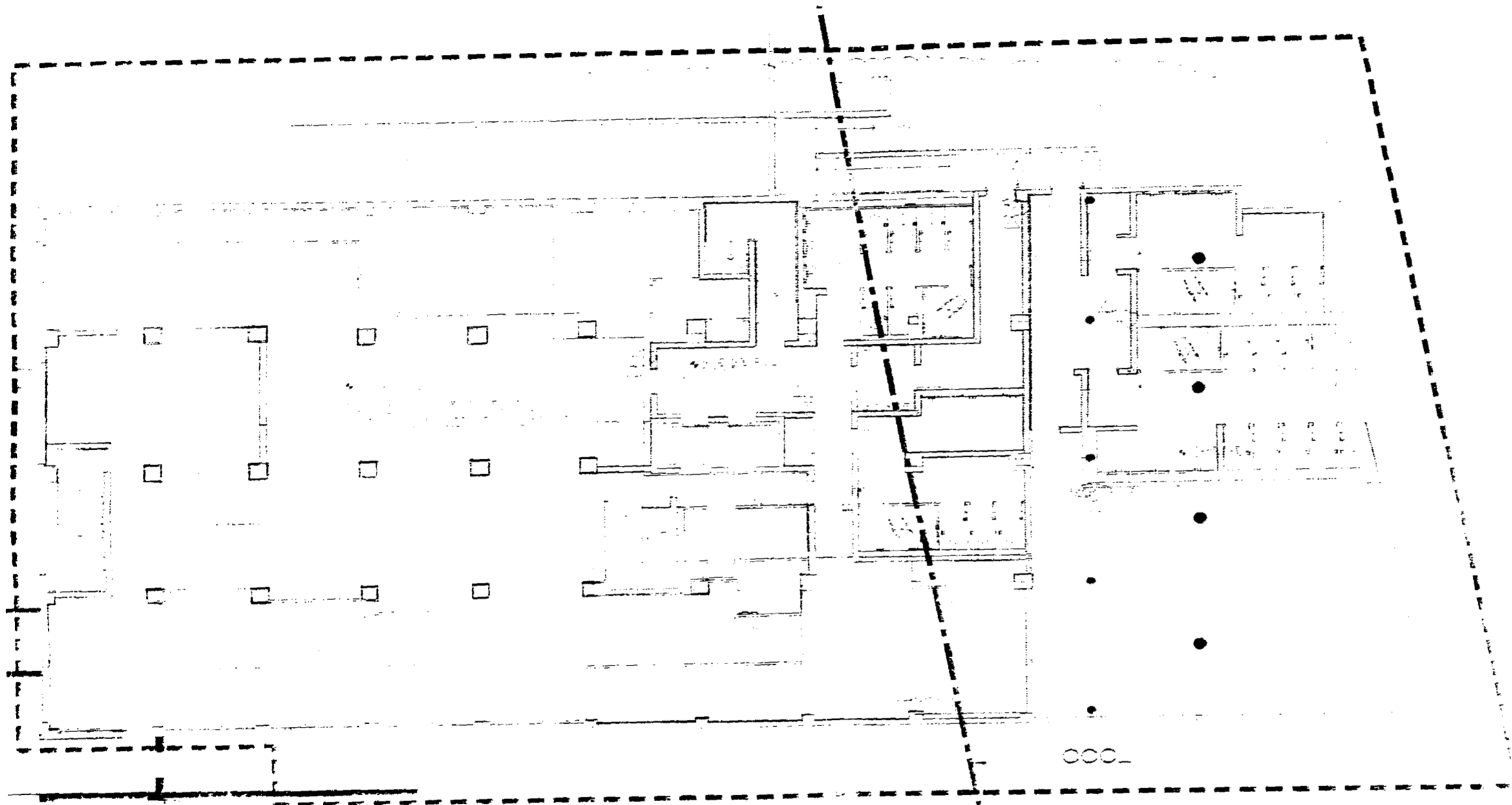
Chiff

DAVID CHIFFERFIELD ARCHITECTS

DAVID CHIFFERFIELD ARCHITECTS

A-7





ALL LEGEND
 AREA E
 KEY PLAN

SCALE 1/8" = 1'-0" M.I.A.M. BEACH, FLORIDA

SHARALTON PROPOSED BASEMENT LEVEL PLAN

Handwritten signature

SHARALTON ARCHITECTS DAY DOCK PERFECTION ARCHITECTS

DA-363M2 A-8

FILED



1001 number

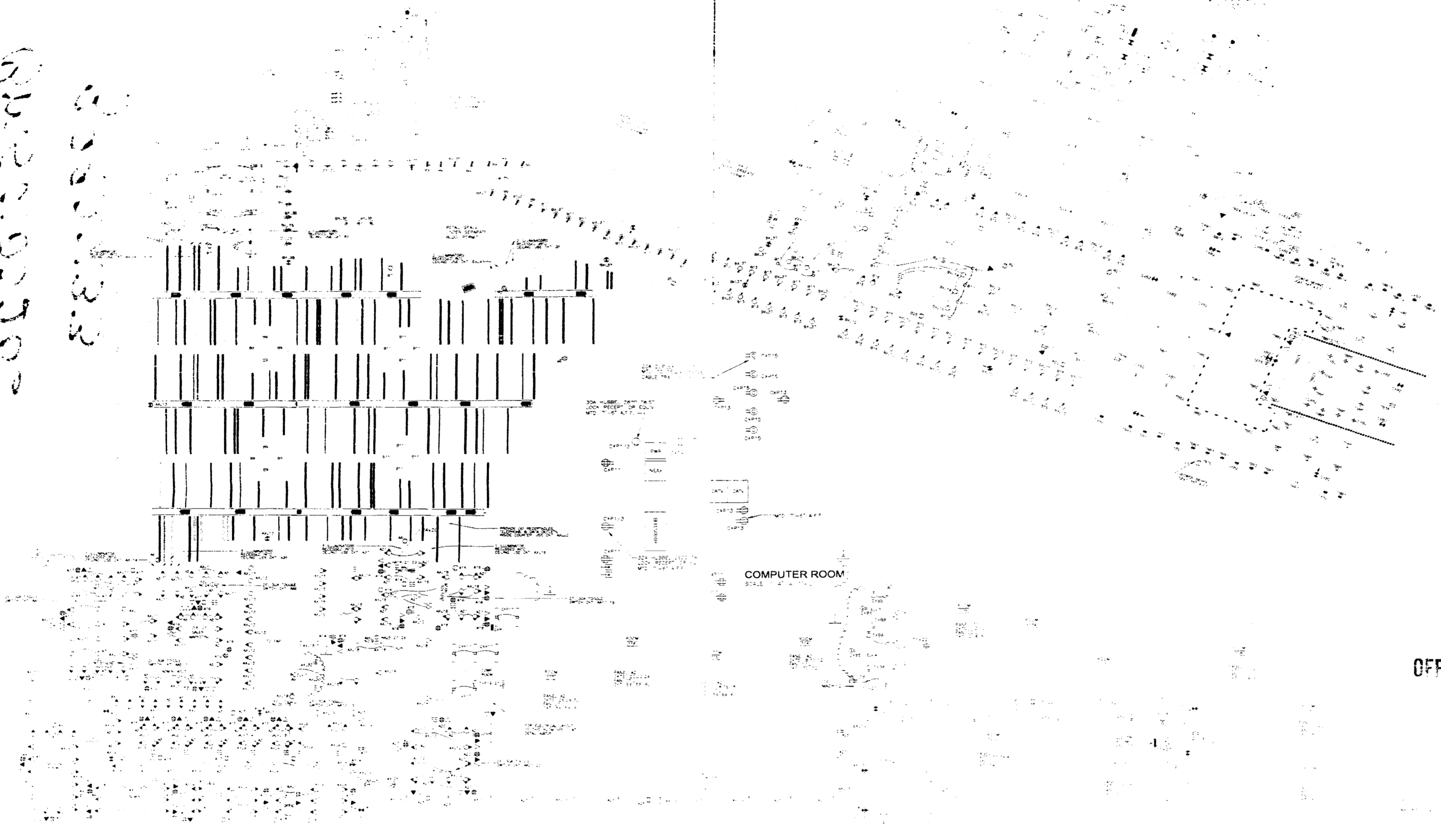
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SHORE CLUB 1901 COLLINS AVENUE MIAMI BEACH FLORIDA

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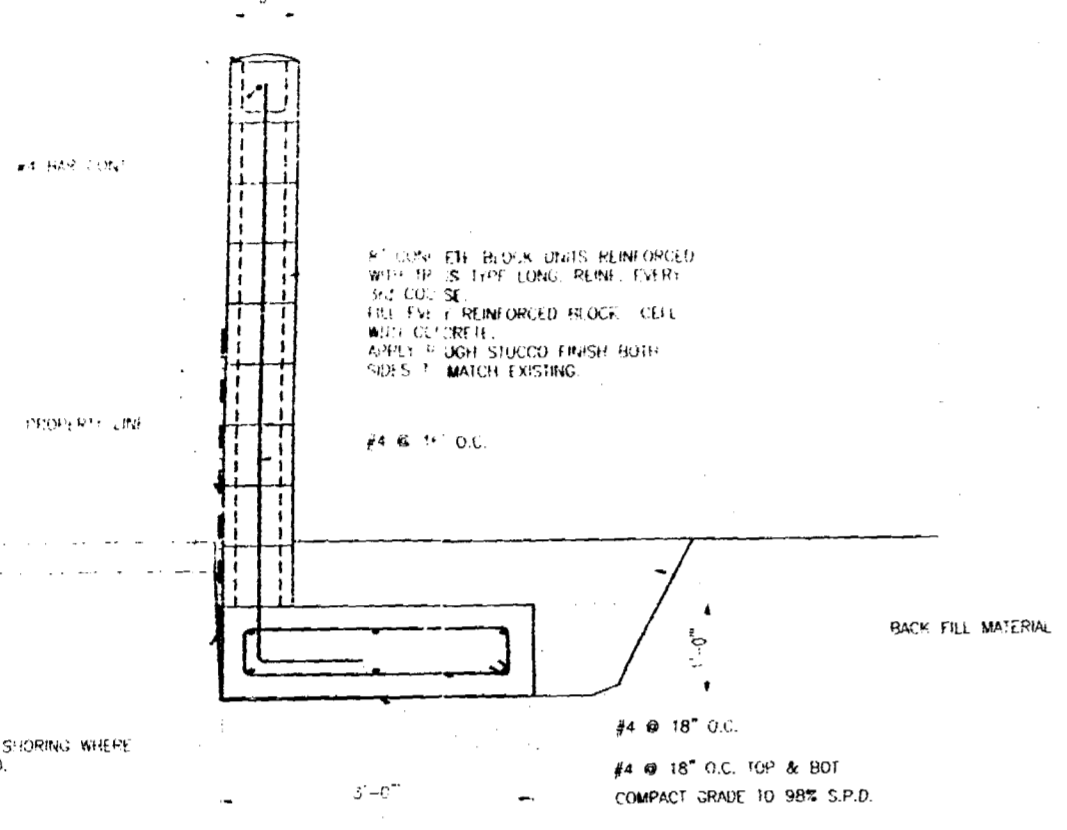
CLAYTON
CLAYTON

AREA B BIDDING GROUND LEVEL PLAN

E-2

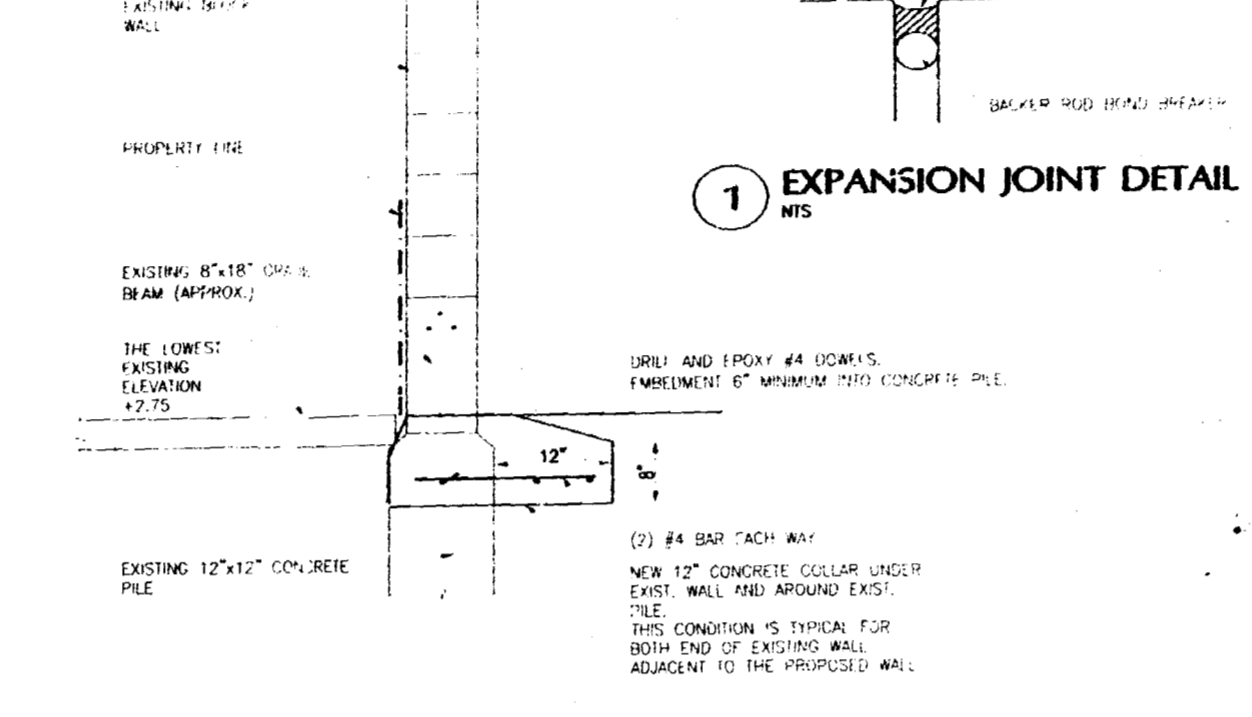
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MATCH EXISTING TOP OF WALL ELEVATION. FILL BOND BEAM W/ CONCRETE AND TROWEL TO MATCH EXISTING SHAPE.



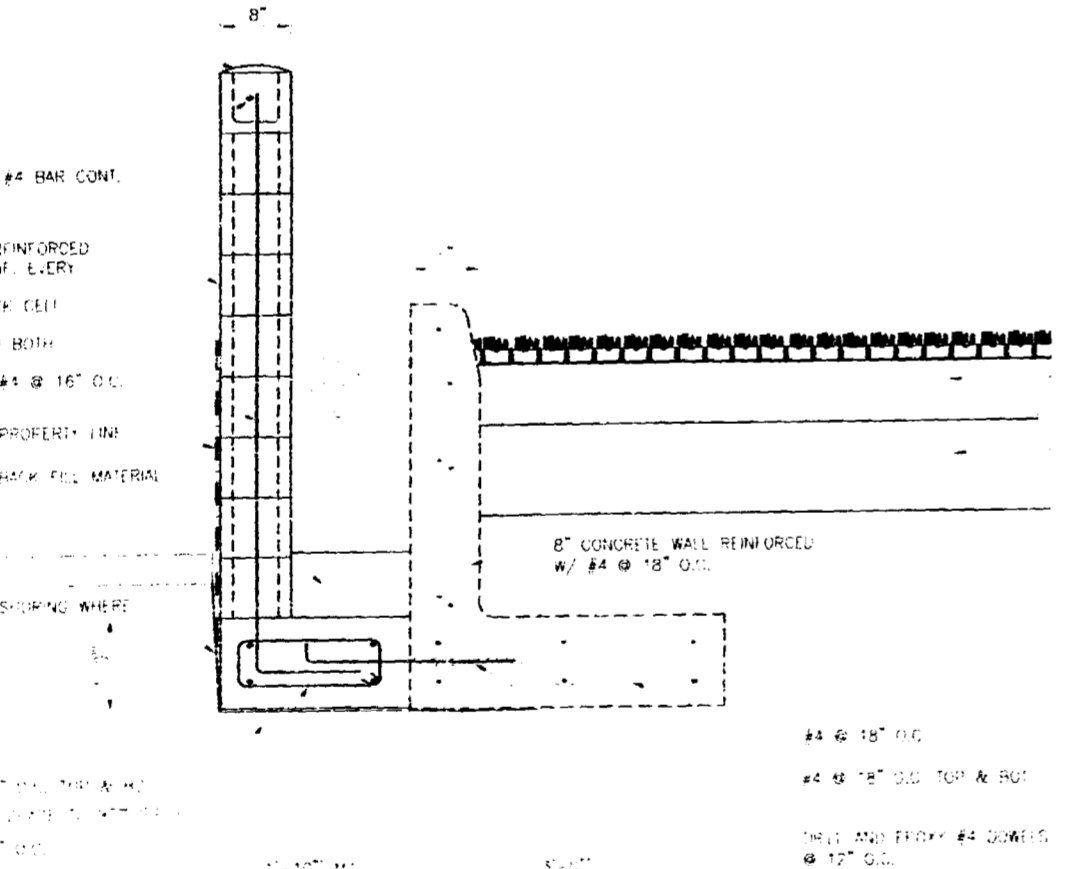
A CONCRETE BLOCK WALL SECTION
NTS

EXISTING 8\"/>



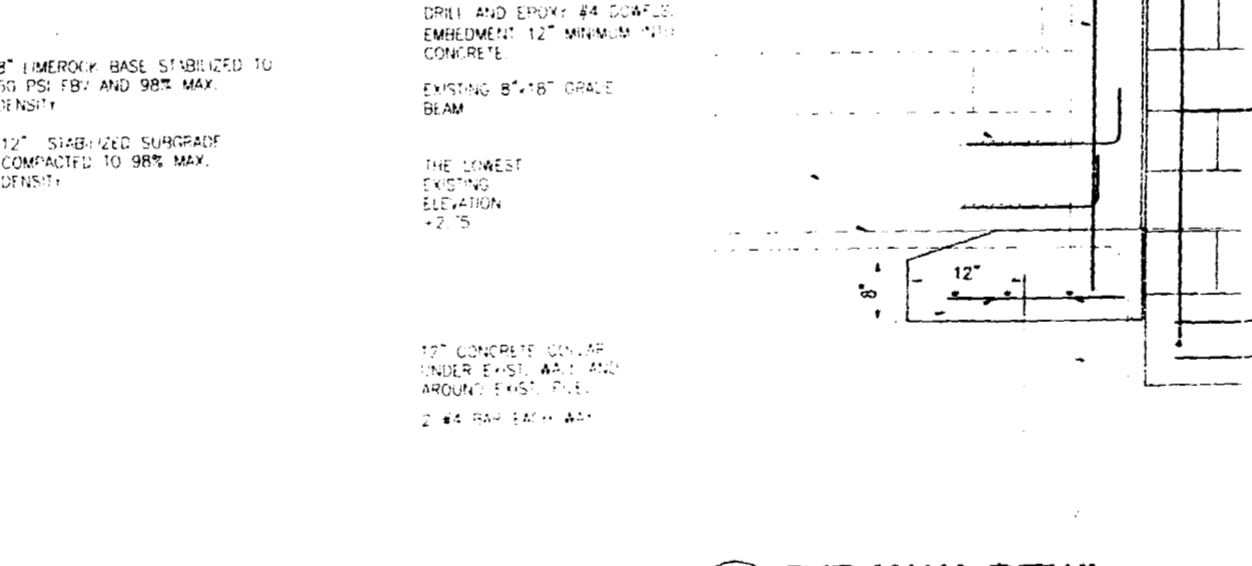
C EXISTING BLOCK WALL SECTION
NTS

MATCH EXISTING TOP OF WALL ELEVATION. FILL BOND BEAM W/ CONCRETE AND TROWEL TO MATCH EXISTING SHAPE.



B CONCRETE BLOCK WALL SECTION
NTS

UTILITY ACCESS WITH GEO BLOCK GRASS PAVER SYSTEM



2 END WALL DETAIL
NTS

1 EXPANSION JOINT DETAIL
NTS

GENERAL NOTES

1. ALL ELEVATIONS ARE REFERENCED TO N.G.D.
2. GEOTECHNICAL ENGINEERING PARAMETERS ARE BASED ON THE SUBSURFACE EXPLORATION REPORT DATED JULY 21st 1997 PREPARED BY KADARAK & BARRERO CONSULTANTS, INC.
3. THE EXISTING PILES LOCATED AT BOTH ENDS OF THE NEW WALL LIMITS, SHALL REMAIN UNDISTURBED. CONSTRUCT A 12\"/>
- 4. DEMOLISH EXISTING PILES (IF ENCOUNTERED) TO A DEPTH OF APPROXIMATELY 6\"/>
- 5. BACKFILL TO MATCH THE EXISTING ELEVATION ON THE ADJACENT PROPERTIES SOUTH OF THE PROPERTY LINE.

CONCRETE NOTES

1. ENVIRONMENT IS CORROSIVE. USE FDOT APPROVED MIX DESIGN FOR AGGRESSIVE MARINE ENVIRONMENT. USE RANKER MIX DESIGNATION T21J130 OR APPROVED EQUIVALENT.
2. ALL CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI, W/P 1 CEMENT AS PER ASTM C150.
3. USE CONCRETE BLOCK UNITS WITH A MINIMUM 1000 PSI CM.
4. USE BONDING AGENT TO ADHERE NEW CONCRETE TO EXISTING CONCRETE SURFACE. APPLY OF CLEAN SURFACE.

STEEL NOTES

1. STEEL FOR ALL REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60.
2. CLEARANCE OF ALL REINFORCING STEEL FROM FACE OF CONCRETE TO THE OUTERMOST TIE OR BAR SHALL BE 3\"/>

18-38-30 PERMIT SET

COASTAL SYSTEMS INTERNATIONAL, INC.
464 South Dale Highway, Coral Gables, Florida 33146
Tel: 305-661-3655 Fax: 305-661-1814 www.CoastalSystems.com

Coastal, Environmental, Civil Engineering and Management

COASTAL SYSTEMS INTERNATIONAL

PARKSHORE DEVELOPMENT
14th STREET and WEST AVENUE
MIAMI BEACH, FLORIDA

SOUTH PROPERTY WALL REPAIR PROJECT

AS SHOWN
154121
6690
8

C-2
2

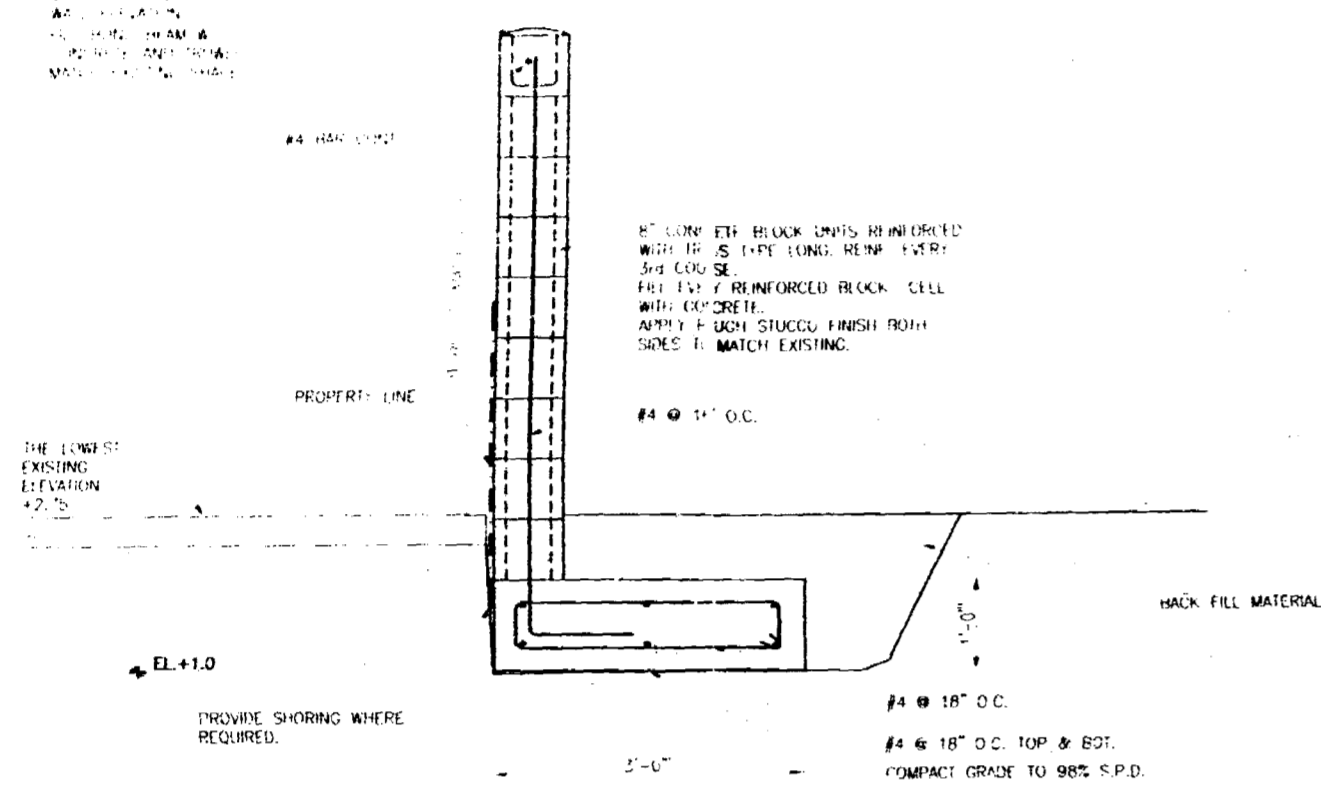
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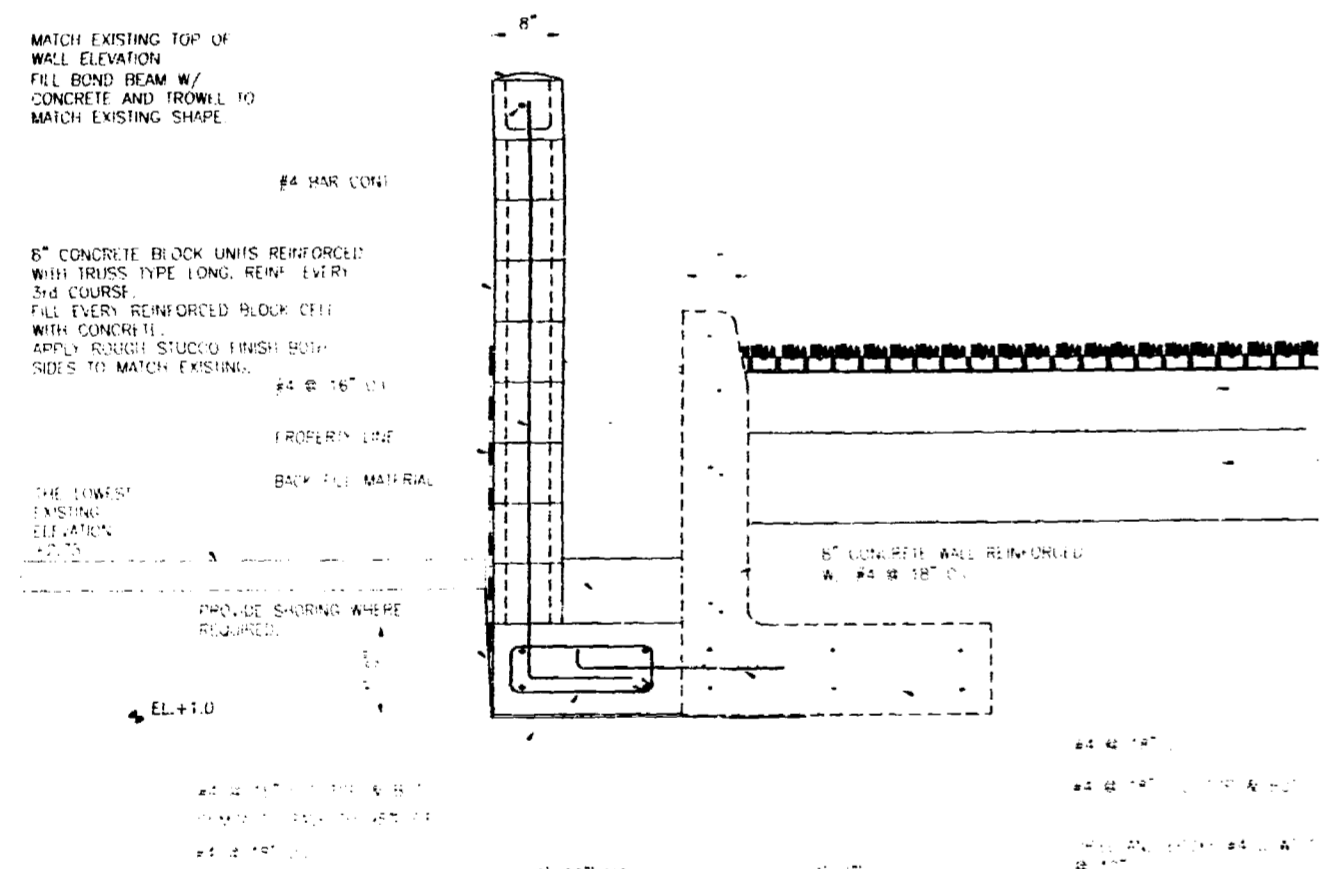
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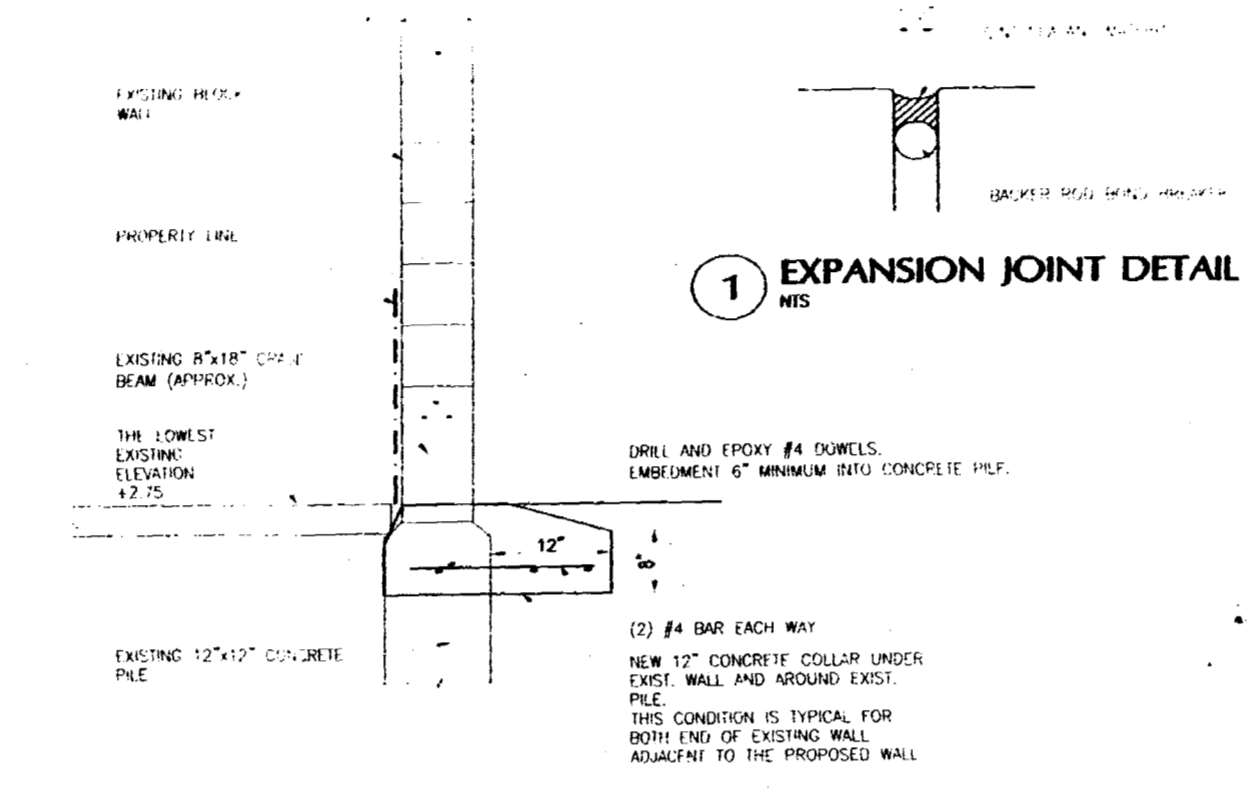
PROJECT: SOUTH BEACH
 ADDRESS: 14th STREET AND WEST AVENUE
 CITY: MIAMI BEACH, FLORIDA



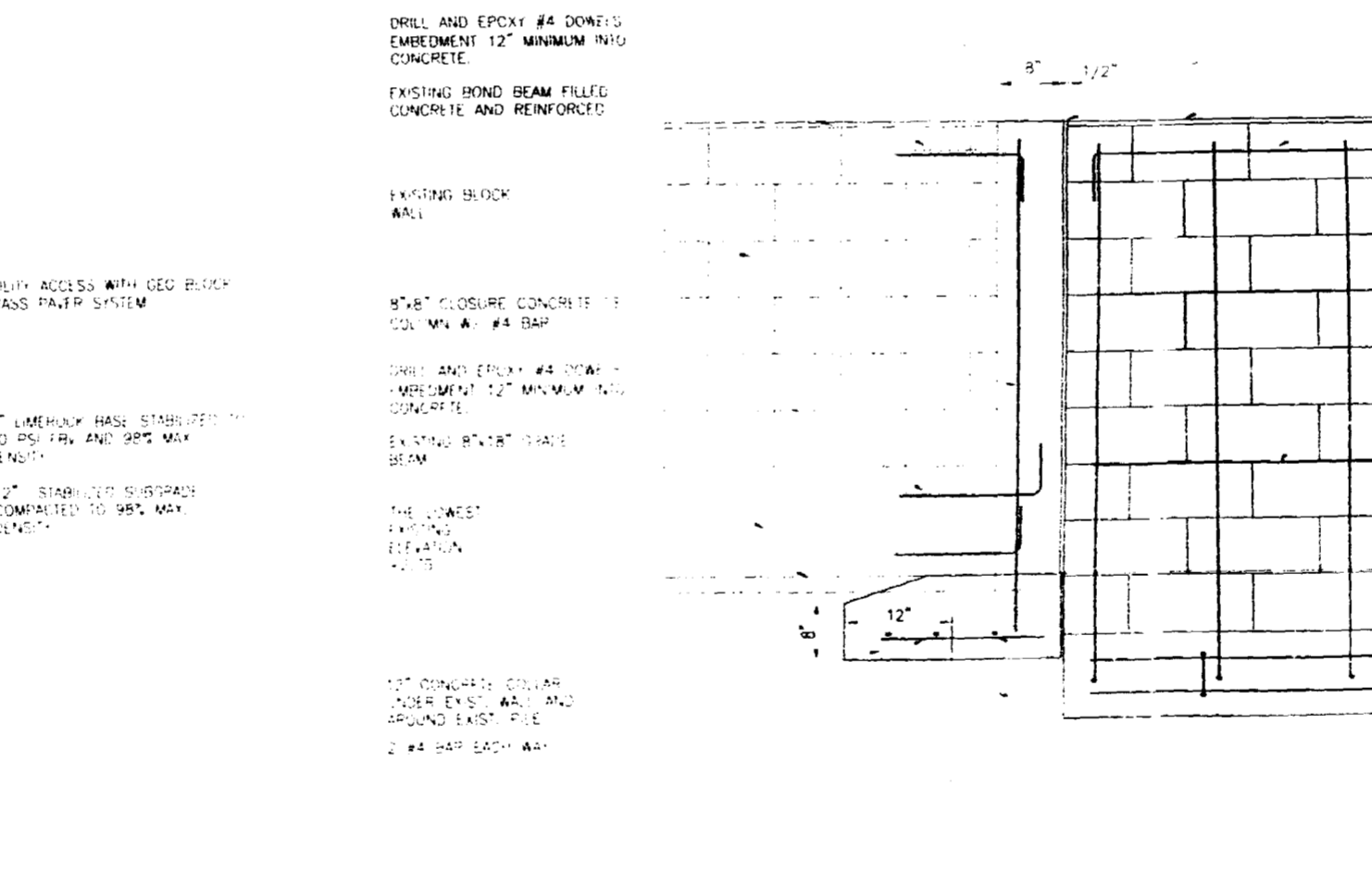
A CONCRETE BLOCK WALL SECTION
 NIS



B CONCRETE BLOCK WALL SECTION
 NIS



C EXISTING BLOCK WALL SECTION
 NIS



2 END WALL DETAIL
 NIS

1 EXPANSION JOINT DETAIL
 NIS

GENERAL NOTES

- ALL ELEVATIONS ARE REFERENCED TO M.G.V.D.
- GEO-TECHNICAL ENGINEERING PARAMETERS ARE BASED ON THE SURFACE EXPLORATION REPORT DATED JULY 21st 1997 PREPARED BY KAUBAR & BARRERO CONSULTANTS, INC.
- THE EXISTING PILES LOCATED AT BOTH ENDS OF THE NEW WALL LIMITS, SHALL REMAIN UNDISTURBED. CONSTRUCT A 12" Ø CONCRETE COLLAR AROUND THESE TWO EXISTING PILES FOR ADDITIONAL SUPPORT.
- DEMOLISH EXISTING PILES (IF ENCOUNTERED) TO A DEPTH OF APPROXIMATELY 6" BELOW PROPOSED FOOTER.
- BACKFILL TO MATCH THE EXISTING ELEVATION ON THE ADJACENT PROPERTIES SOUTH OF THE PROPERTY LINE.

CONCRETE NOTES

- ENVIRONMENT IS CORROSIVE. USE FOOT APPROVED MIX DESIGN FOR AGGRESSIVE MARINE ENVIRONMENT. USE RINKER MIX DESIGNATION 1213130 OR APPROVED EQUIVALENT.
- ALL CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI, TYPE 1 CEMENT AS PER ASTM C150.
- USE CONCRETE BLOCK UNITS WITH A MINIMUM 1000 PSI f'm.
- USE BONDING AGENT TO ADHERE NEW CONCRETE TO EXISTING CONCRETE SURFACE. APPLY OF CLEAN SURFACE.

STEEL NOTES

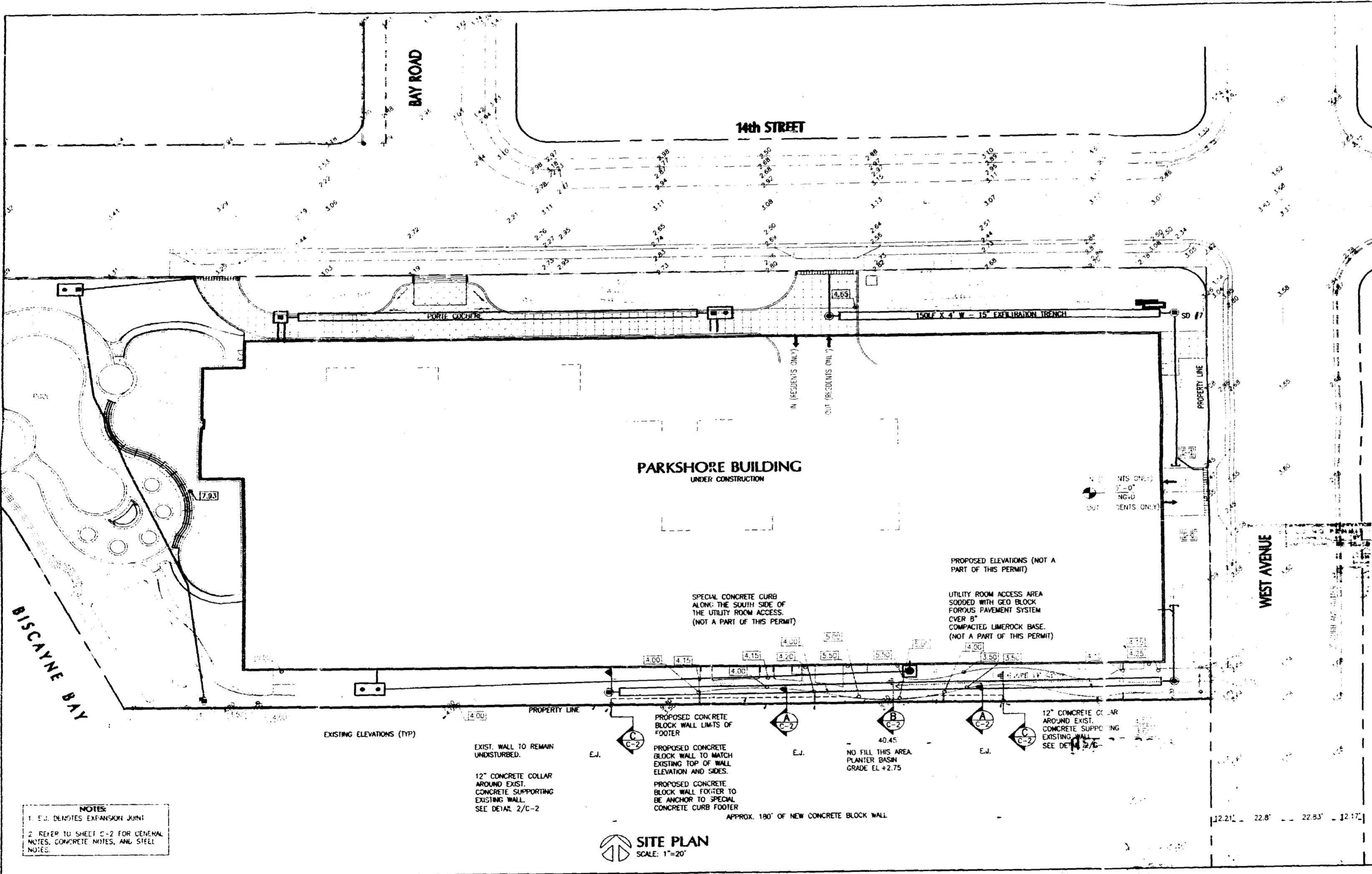
- STEEL FOR ALL REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60.
- CLEARANCE OF ALL REINFORCING STEEL FROM FACE OF CONCRETE TO THE OUTERMOST TIE OR BAR SHALL BE 3" UNLESS OTHERWISE NOTED ON THE DRAWINGS.

COASTAL SYSTEMS INTERNATIONAL, INC.
 404 South Dixie Highway, Coral Gables, Florida 33134
 Tel: 305-581-3333 Fax: 305-581-1911 www.coastalsystems.com

Coastal, Environmental, Civil Engineering and Management
 SYSTEMS INTERNATIONAL

PARKSHORE DEVELOPMENT
 14th STREET AND WEST AVENUE
 MIAMI BEACH, FLORIDA
 SOUTH PROPERTY WALL REPAIR PROJECT

AS SHOWN
 104121
 NCHD
 DB
C-2
 2



NOTES
 1. E.J. DENOTES EXPANSION JOINT
 2. REFER TO SHEET C-2 FOR GENERAL NOTES, CONCRETE NOTES, AND STEEL NOTES

SITE PLAN
 SCALE: 1"=20'

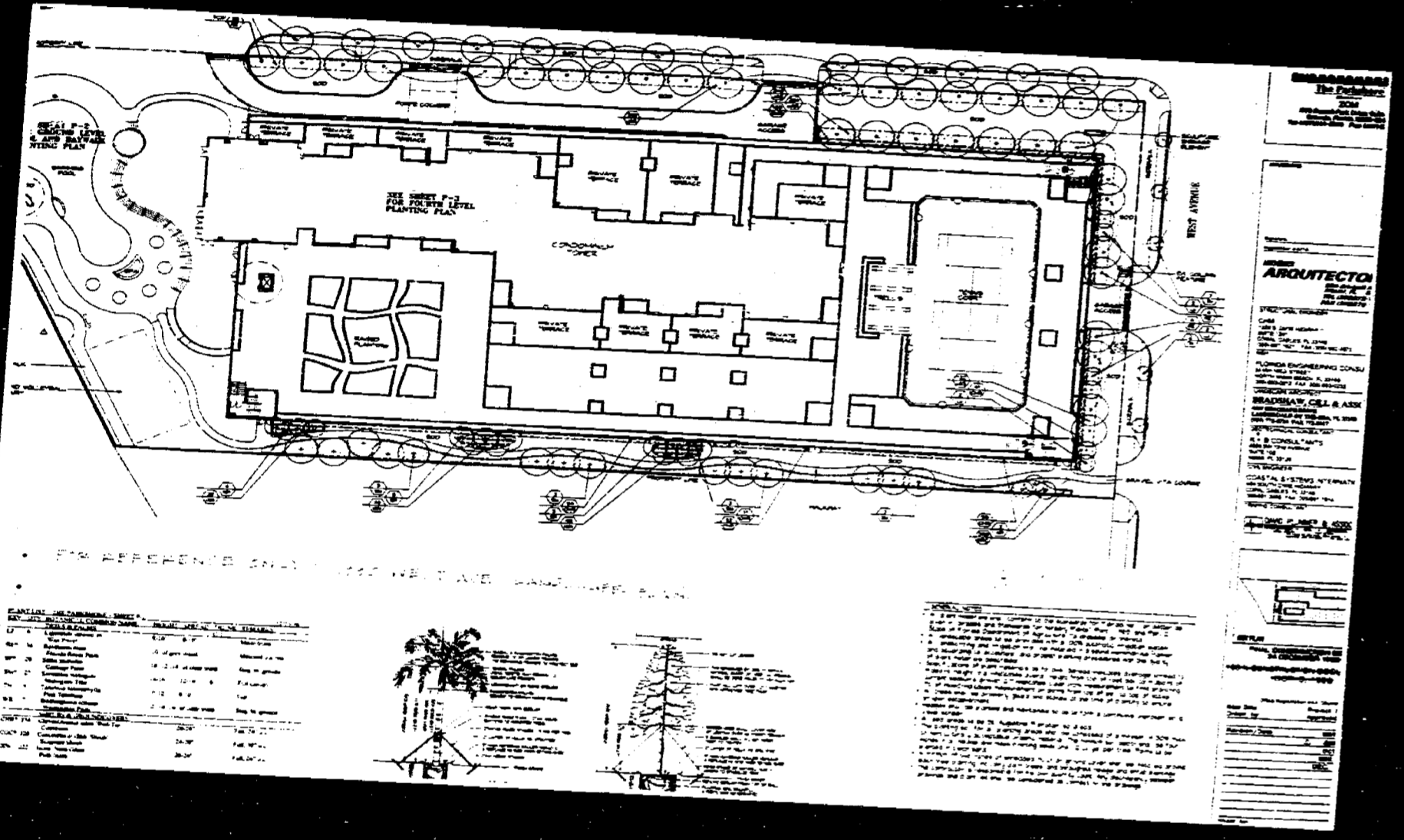
COASTAL SYSTEMS INTERNATIONAL, INC.
 444 South Dixie Highway, Coral Gables, Florida 33146
 Tel: 305-461-3005 Fax: 305-461-1814 www.CoastalSystems.com
 Coastal, Environmental, CM Engineering and Management



PARSHORE DEVELOPMENT
 14th STREET and WEST AVENUE
 MIAMI BEACH, FLORIDA
 SOUTH PROPERTY WALL REPAIR PROJECT

1"=20'
 154121
 MVD
 08
C-1
 2

S.E.O.



02500



BMS0100790

← B9900133

1901 Collins Ave

22E011

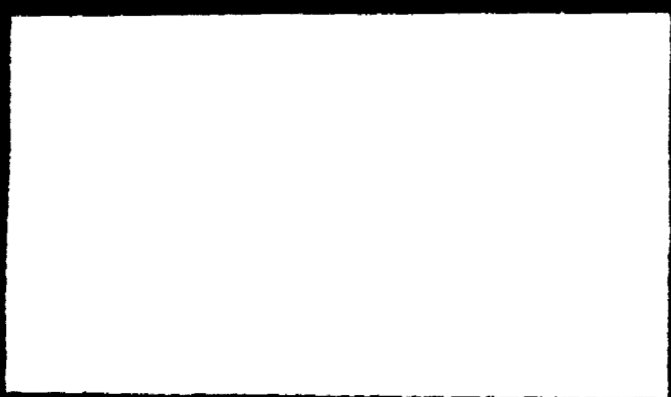


Table with columns: PANEL, AMPS, VOLTAGE, CIRCUITS, WIRE PHASE, MAIN/AC, MOUNTING, LOCATION, CATALOG NUMBER. Includes sub-tables for 'COND. OLT BR' and 'SERVING' with columns for wire size, pole, and amperage.

Table with columns: PANEL, AMPS, VOLTAGE, CIRCUITS, WIRE PHASE, MAIN/AC, MOUNTING, LOCATION, CATALOG NUMBER. Includes sub-tables for 'COND. OLT BR' and 'SERVING' with columns for wire size, pole, and amperage.

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Table with columns: PANEL, AMPS, VOLTAGE, CIRCUITS, WIRE PHASE, MAIN/AC, MOUNTING, LOCATION, CATALOG NUMBER. Includes sub-tables for 'COND. OLT BR' and 'SERVING' with columns for wire size, pole, and amperage.

Table with columns: PANEL, AMPS, VOLTAGE, CIRCUITS, WIRE PHASE, MAIN/AC, MOUNTING, LOCATION, CATALOG NUMBER. Includes sub-tables for 'COND. OLT BR' and 'SERVING' with columns for wire size, pole, and amperage.



CITY OF MIAMI BEACH
 Building Department
 1700 Convention Ctr Drive, 2nd Floor
 Miami Beach, Florida 33139
 Inspections: (305) 673-7370 Office: (305) 673-7610

Miscellaneous Receipt
 12-28-2000

Activity Number: BMS0100790

Status: APPROVED Issued By: BULLIANS
 Site Address: 1901 COLLINS AV MIBCH Applied: 12/29/2000
 Parcel #: 3226001020 Approved: 12/29/2000
 Valuation: \$0.00 Completed To Expire:
 Applicant: MURKIN CONSTRUCTION GROUP INC Property Owner:
 PHILIPS SOUTH BEACH LTD PARTNERSHIP
 1011 CA TOWAY WAY
 MIAMI BEACH FL 33257
 954-432-9850
 Description: REVISION-DRYER-ELECTRICAL
 Inspect Area: E Class Code: RUVIS
 Fee Summary
 Total of All Fees: \$200.00
 Total of Payments: \$200.00
 Balance Due: \$0.00

CITY OF MIAMI BEACH
 Building Department
 1700 Convention Ctr Drive, 2nd Floor
 Miami Beach, Florida 33139
 Inspections: (305) 673-7370 Office: (305) 673-7610

BUILDING WORK PERMIT
 12-28-2000

Activity Number: B9900133

Status: APPROVED Issued By: BULLIANS
 Site Address: 1901 COLLINS AV MIBCH Applied: 10/12/1998
 Parcel #: 3226001020 Approved: 10/13/1998
 Valuation: \$5,720,000.00 Completed To Expire: 06/16/2001
 Applicant: MURKIN CONSTRUCTION GROUP INC Property Owner:
 PHILIPS SOUTH BEACH LTD PARTNERSHIP
 1011 CA TOWAY WAY
 MIAMI BEACH FL 33257
 954-432-9850
 Description: REPAIR EXIST BLDG & ADD NEW 21 STORY TOWER
 Inspect Area: S
 Total of All Fees: \$1,794.21
 Total of Payments: \$1,794.21
 Balance Due: \$0.00

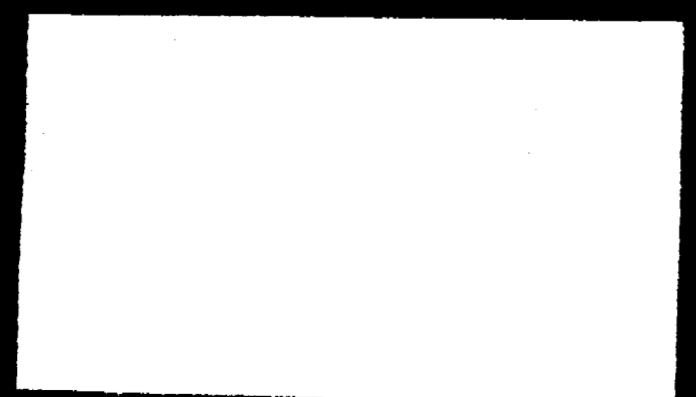
CITY OF MIAMI BEACH
 Building Department
 1700 Convention Ctr Drive, 2nd Floor
 Miami Beach, Florida 33139
 Inspections: (305) 673-7370 Office: (305) 673-7610

BUILDING WORK PERMIT
 12-28-2000

Activity Number: B9000218

Status: VOID Issued By: BULLIANS
 Site Address: 1901 COLLINS AV MIBCH Applied: 10/20/1997
 Parcel #: 3226001020 Approved: 12/04/1997
 Valuation: \$5,720,000.00 Completed To Expire: 10/01/1998
 Applicant: MILLER & SOLOMON GROUP INC Property Owner: PHILIPS SOUTH BEACH LTD PARTNERSHIP
 400 SW 17TH STREET
 MIAMI BEACH FL 33257
 305-392-2444
 Description: REPAIR EXIST BLDG & ADD NEW 21 STORY TOWER
 Inspect Area: S
 Total of All Fees: \$10,666.44
 Total of Payments: \$10,666.44
 Balance Due: \$0.00

3226001020



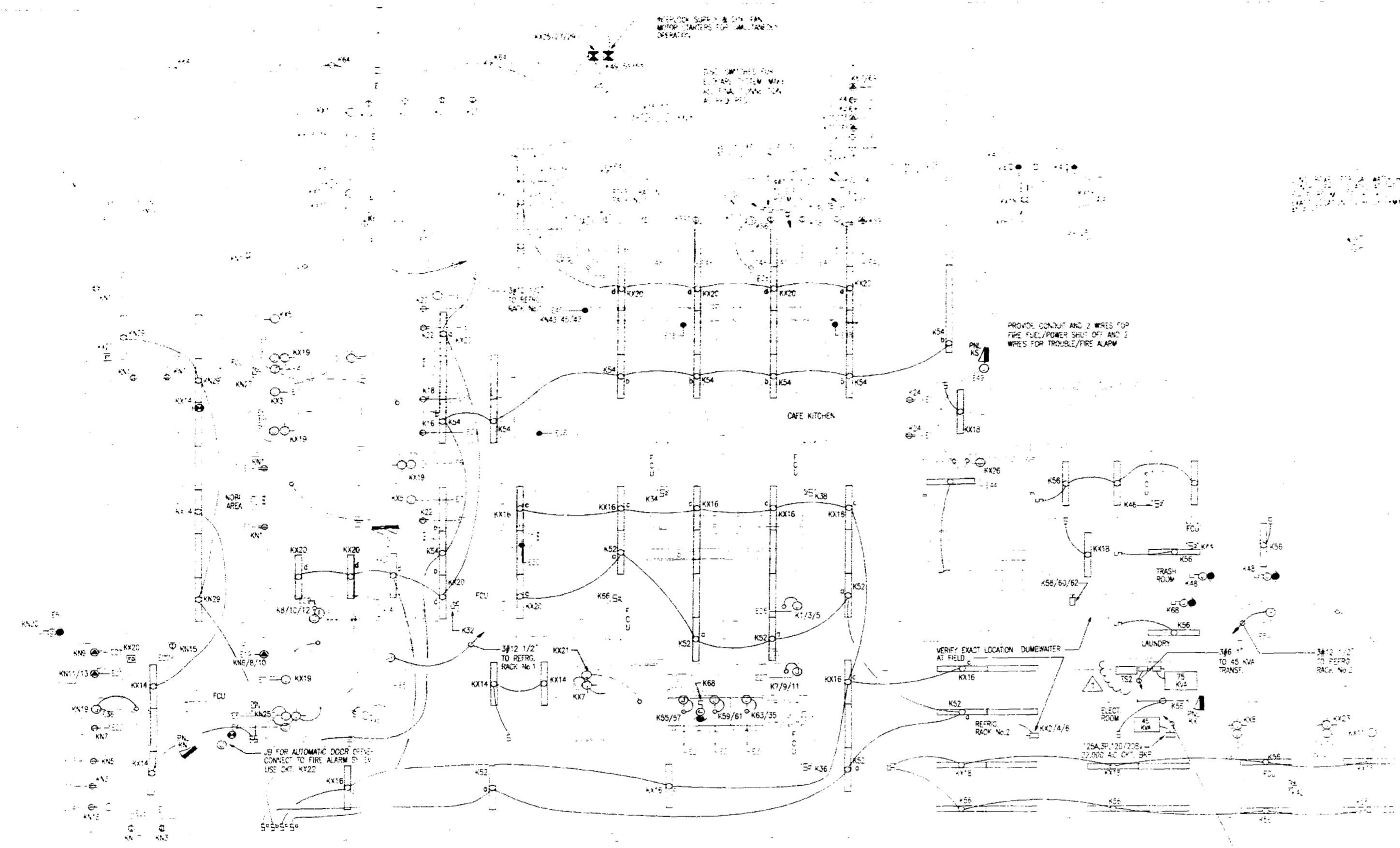


TABLE OF ELECTRICAL LOADS AND CENTER SCHEDULES

NO.	DESCRIPTION	VOLTS	AMPS	WATTAGE
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ELECTRICAL NOTES

1. ALL LIGHT FIXTURES IN THIS AREA SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE MANUFACTURER'S INSTRUCTIONS. ALL LIGHT FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE MANUFACTURER'S INSTRUCTIONS.

2. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE MANUFACTURER'S INSTRUCTIONS.

3. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE MANUFACTURER'S INSTRUCTIONS.

4. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE MANUFACTURER'S INSTRUCTIONS.

5. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE MANUFACTURER'S INSTRUCTIONS.

6. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE MANUFACTURER'S INSTRUCTIONS.

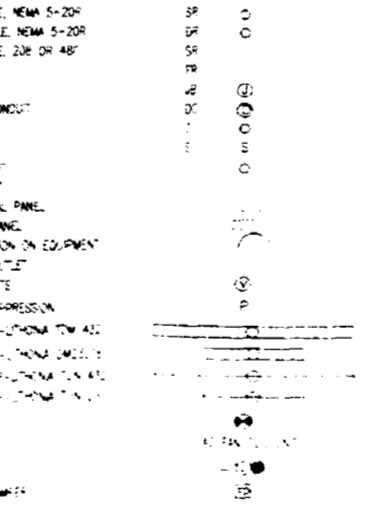
7. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE MANUFACTURER'S INSTRUCTIONS.

8. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE MANUFACTURER'S INSTRUCTIONS.

9. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE MANUFACTURER'S INSTRUCTIONS.

10. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE MANUFACTURER'S INSTRUCTIONS.

ELECTRICAL SYMBOLS



ENTRY TABLE LOAD CENTER SCHEDULE CONNECTION SCHEDULE

NO.	DESCRIPTION	VOLTS	AMPS	WATTAGE
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ENTRY TABLE LOAD CENTER SCHEDULE CONNECTION SCHEDULE

NO.	DESCRIPTION	VOLTS	AMPS	WATTAGE
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PANEL	AMPS	VOLTAGE	CIRCUITS	WIRE	PHASE	MANUFACTURER	MOUNTING	LOCATION	CATALOG NUMBER
1	120	208	4	4	3	200A/10,000	SLURF	KITCHEN	C. 104, LITER
2	120	208	4	4	3	200A/10,000	SLURF	KITCHEN	C. 104, LITER

LINE LOAD	WATTS	NEUTRAL
120V 20A @ 875 (NEC 220-10)	16500	
120V FAN @ 100%	1000	
AC FAN 200% @ 100%	2000	
LIGHTS @ 100%	2400	
2HP DUMMIES @ 100%	2400	
TOTAL	23300	

PANEL	AMPS	VOLTAGE	CIRCUITS	WIRE	PHASE	MANUFACTURER	MOUNTING	LOCATION	CATALOG NUMBER
1	120	208	4	4	3	200A/10,000	SLURF	KITCHEN	C. 104, LITER
2	120	208	4	4	3	200A/10,000	SLURF	KITCHEN	C. 104, LITER

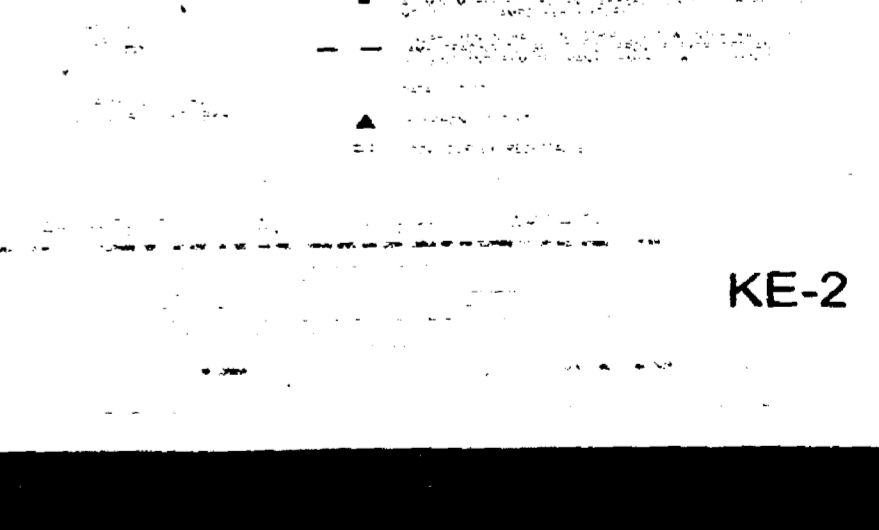
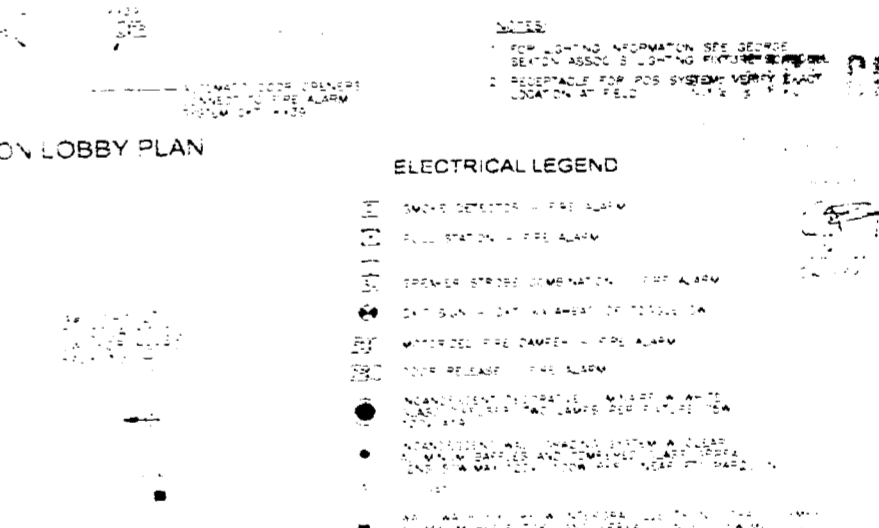
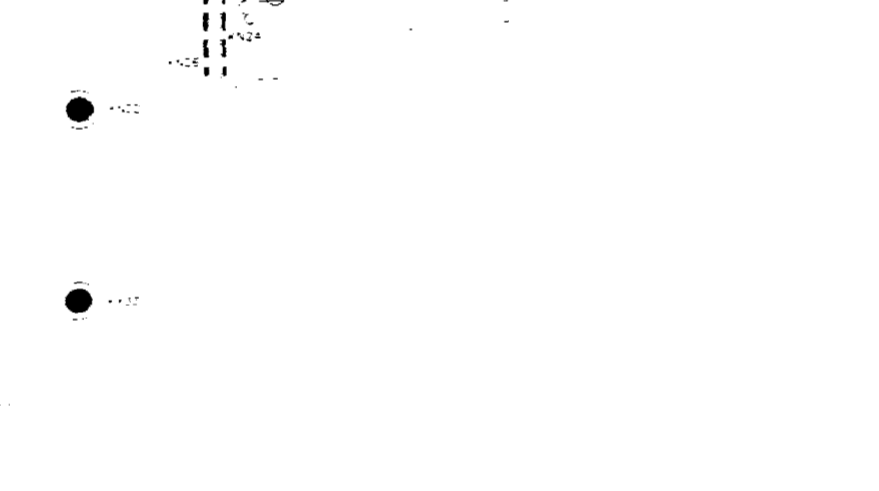
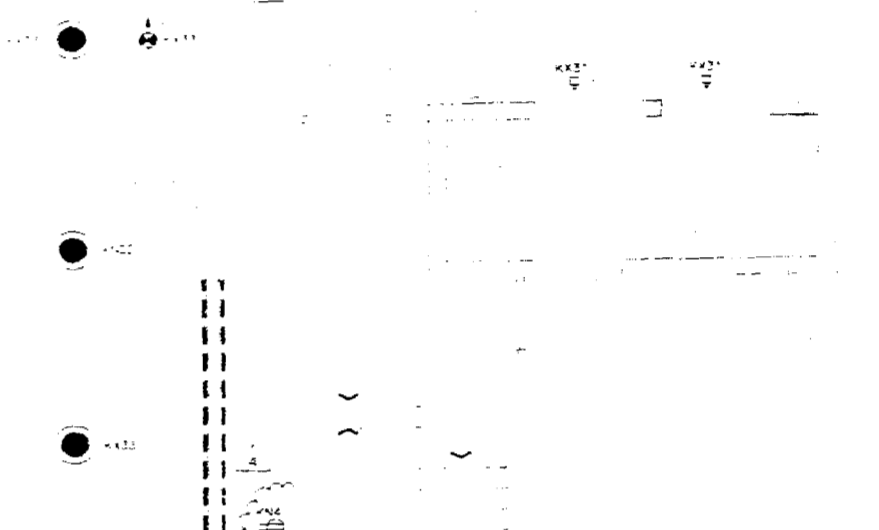
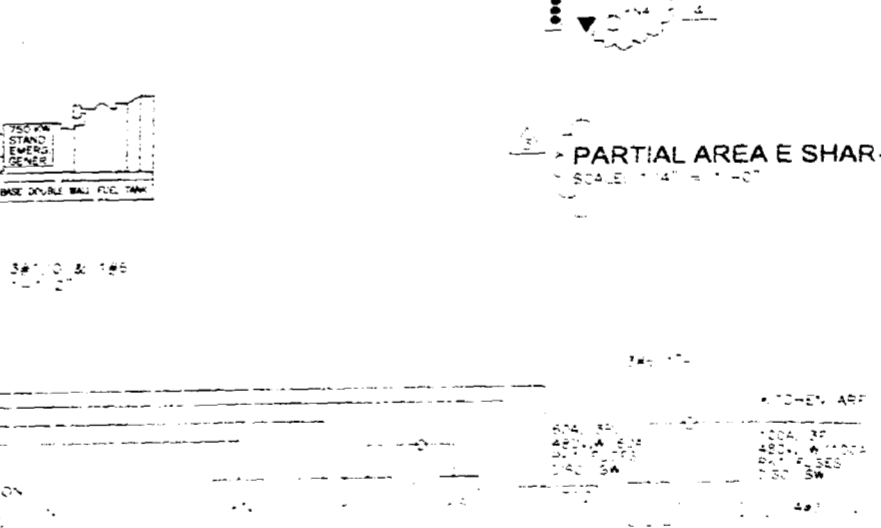
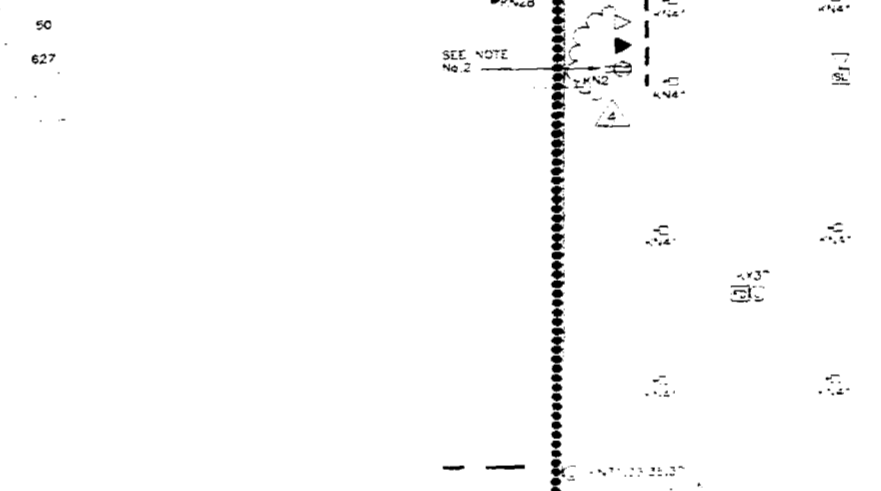
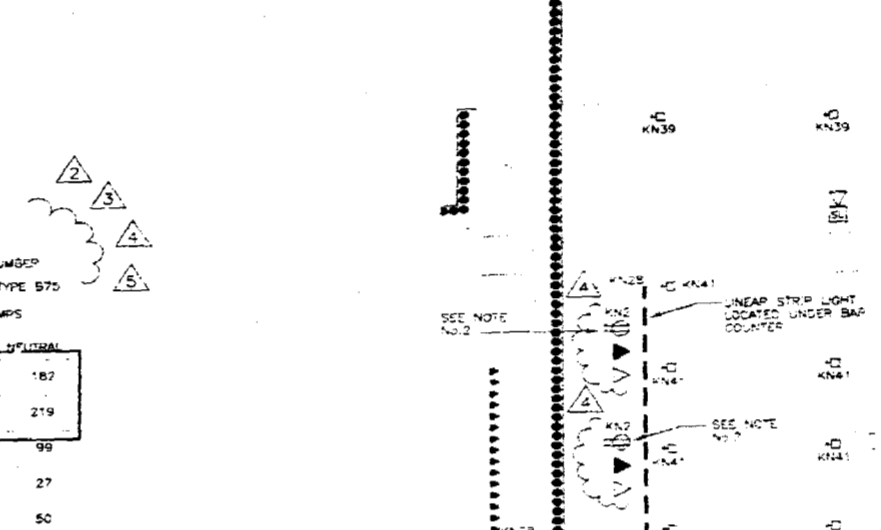
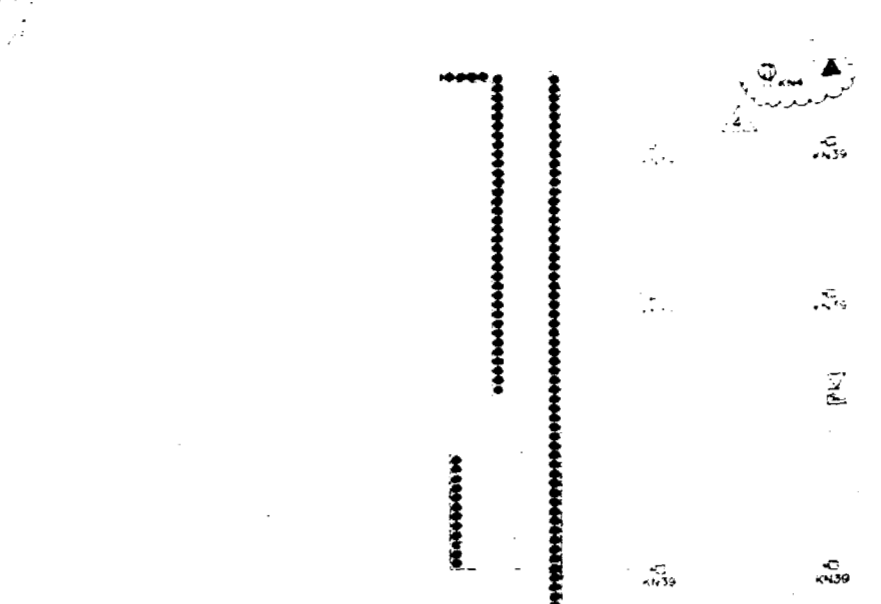
PANEL	AMPS	VOLTAGE	CIRCUITS	WIRE	PHASE	MANUFACTURER	MOUNTING	LOCATION	CATALOG NUMBER
1	120	208	4	4	3	200A/10,000	SLURF	KITCHEN	C. 104, LITER
2	120	208	4	4	3	200A/10,000	SLURF	KITCHEN	C. 104, LITER

PANEL	AMPS	VOLTAGE	CIRCUITS	WIRE	PHASE	MANUFACTURER	MOUNTING	LOCATION	CATALOG NUMBER
1	120	208	4	4	3	200A/10,000	SLURF	KITCHEN	C. 104, LITER
2	120	208	4	4	3	200A/10,000	SLURF	KITCHEN	C. 104, LITER

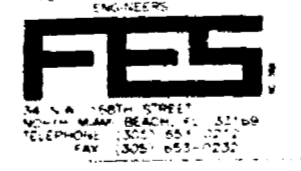
PANEL	AMPS	VOLTAGE	CIRCUITS	WIRE	PHASE	MANUFACTURER	MOUNTING	LOCATION	CATALOG NUMBER
1	120	208	4	4	3	200A/10,000	SLURF	KITCHEN	C. 104, LITER
2	120	208	4	4	3	200A/10,000	SLURF	KITCHEN	C. 104, LITER

PANEL	AMPS	VOLTAGE	CIRCUITS	WIRE	PHASE	MANUFACTURER	MOUNTING	LOCATION	CATALOG NUMBER
1	120	208	4	4	3	200A/10,000	SLURF	KITCHEN	C. 104, LITER
2	120	208	4	4	3	200A/10,000	SLURF	KITCHEN	C. 104, LITER

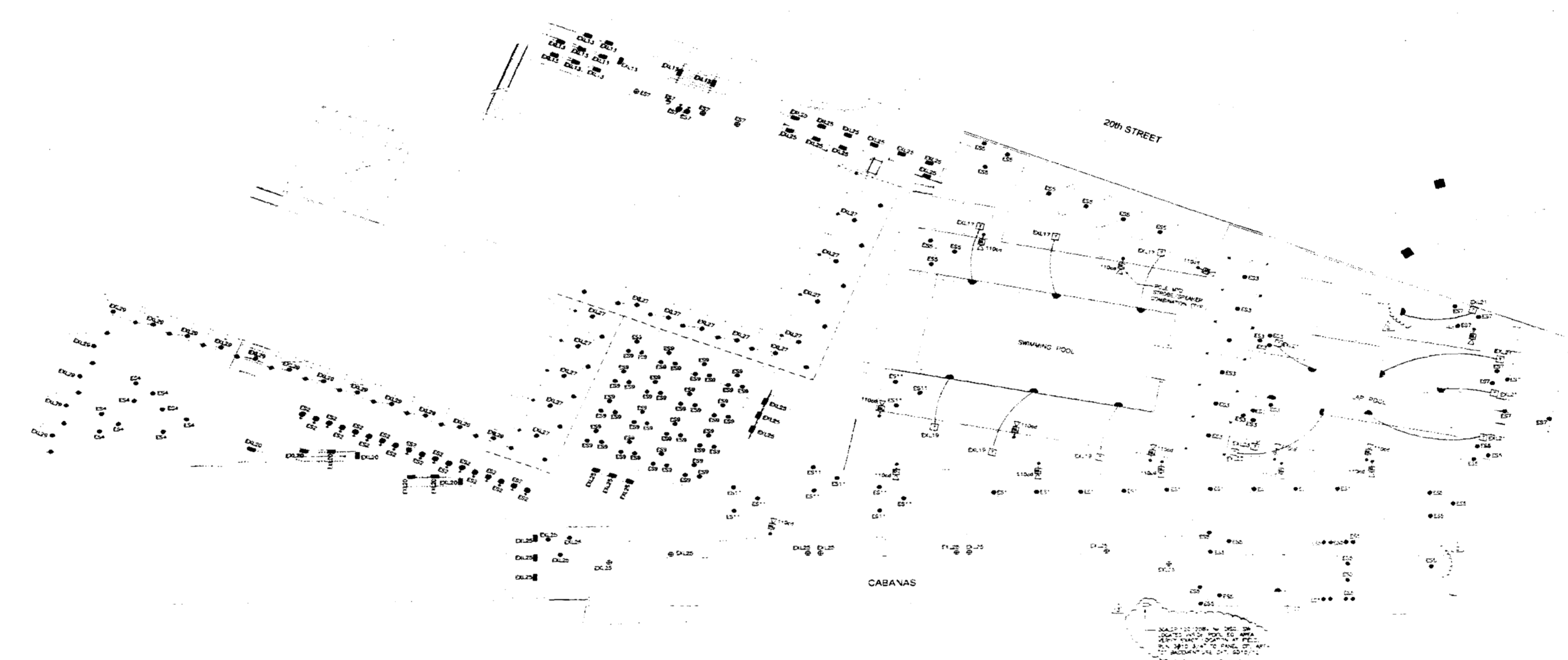
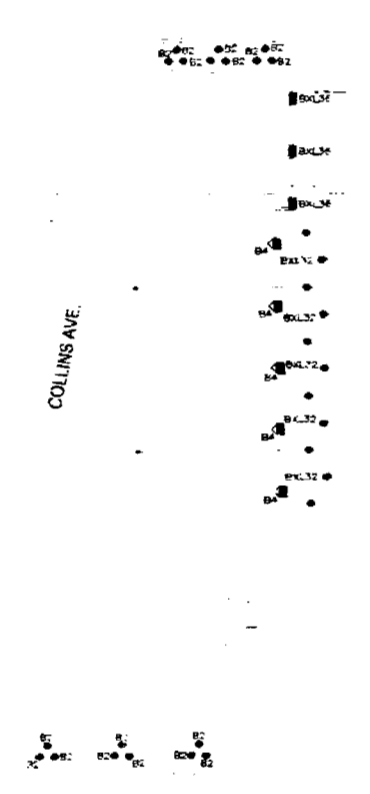
PANEL	AMPS	VOLTAGE	CIRCUITS	WIRE	PHASE	MANUFACTURER	MOUNTING	LOCATION	CATALOG NUMBER
1	120	208	4	4	3	200A/10,000	SLURF	KITCHEN	C. 104, LITER
2	120	208	4	4	3	200A/10,000	SLURF	KITCHEN	C. 104, LITER



SHORE CLUB 1901 COLLINS AVENUE MIAMI BEACH FLORIDA


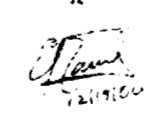


KE-2



ELECTRICAL SITE PLAN
SCALE 1" = 20'-0"

SHORE CLUB 1901 COLLINS AVENUE MIAMI BEACH FLORIDA



 PROJECT NO. 1901 COLLINS AVENUE
 DATE 11/15/11
 DRAWN BY [Name]
 CHECKED BY [Name]
 APPROVED BY [Name]

ES-1



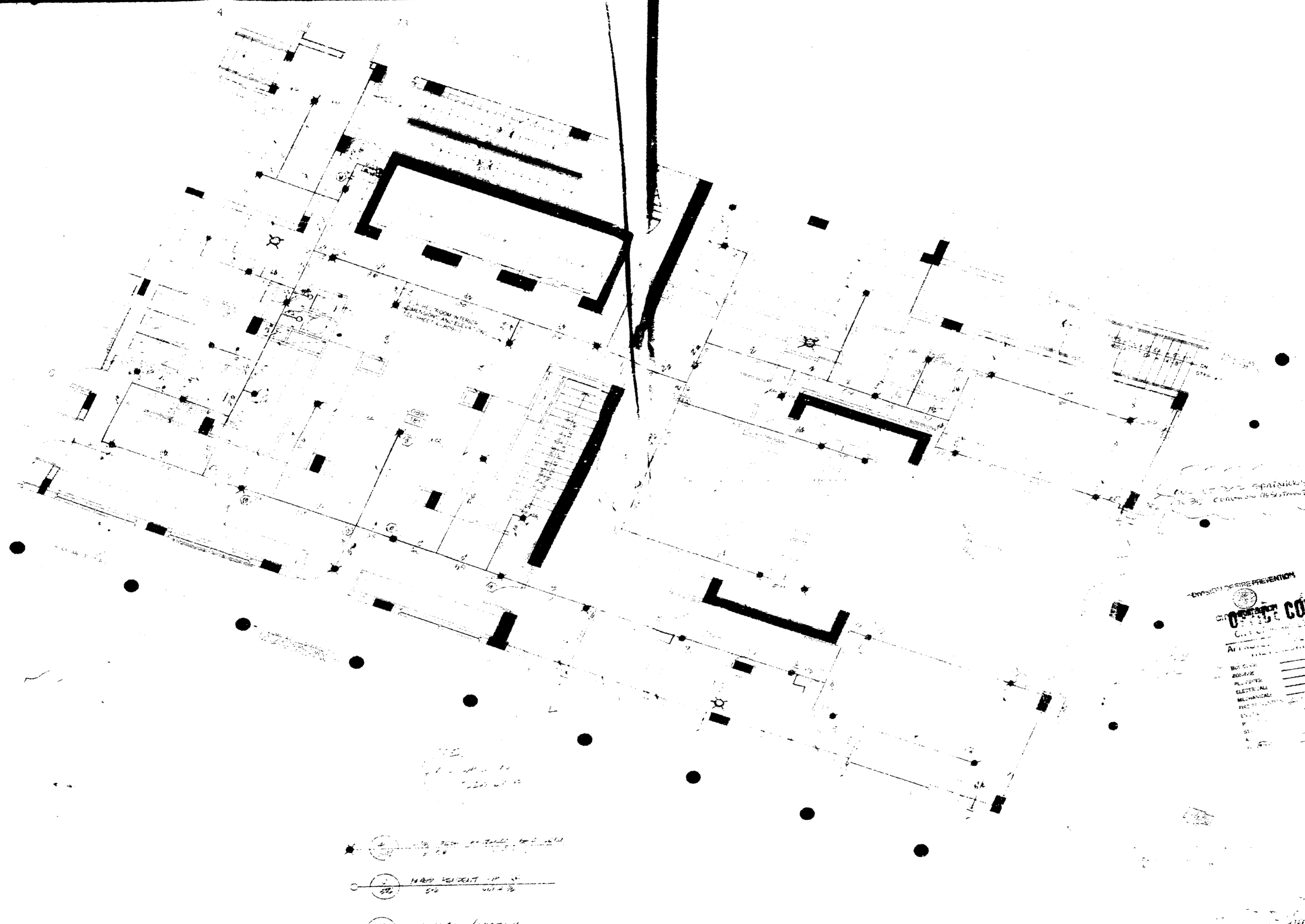
RMS

002709

B9900133

2E00





- 1. 2'-0" RADIUS CIRCULAR WALL
- 2. 1'-0" RADIUS CIRCULAR WALL
- 3. 1'-0" RADIUS CIRCULAR WALL

AREA D GROUND LEVEL FLOOR PLAN

SHORE CLUB
 1901 Collins Ave
 Miami Beach, Fl.

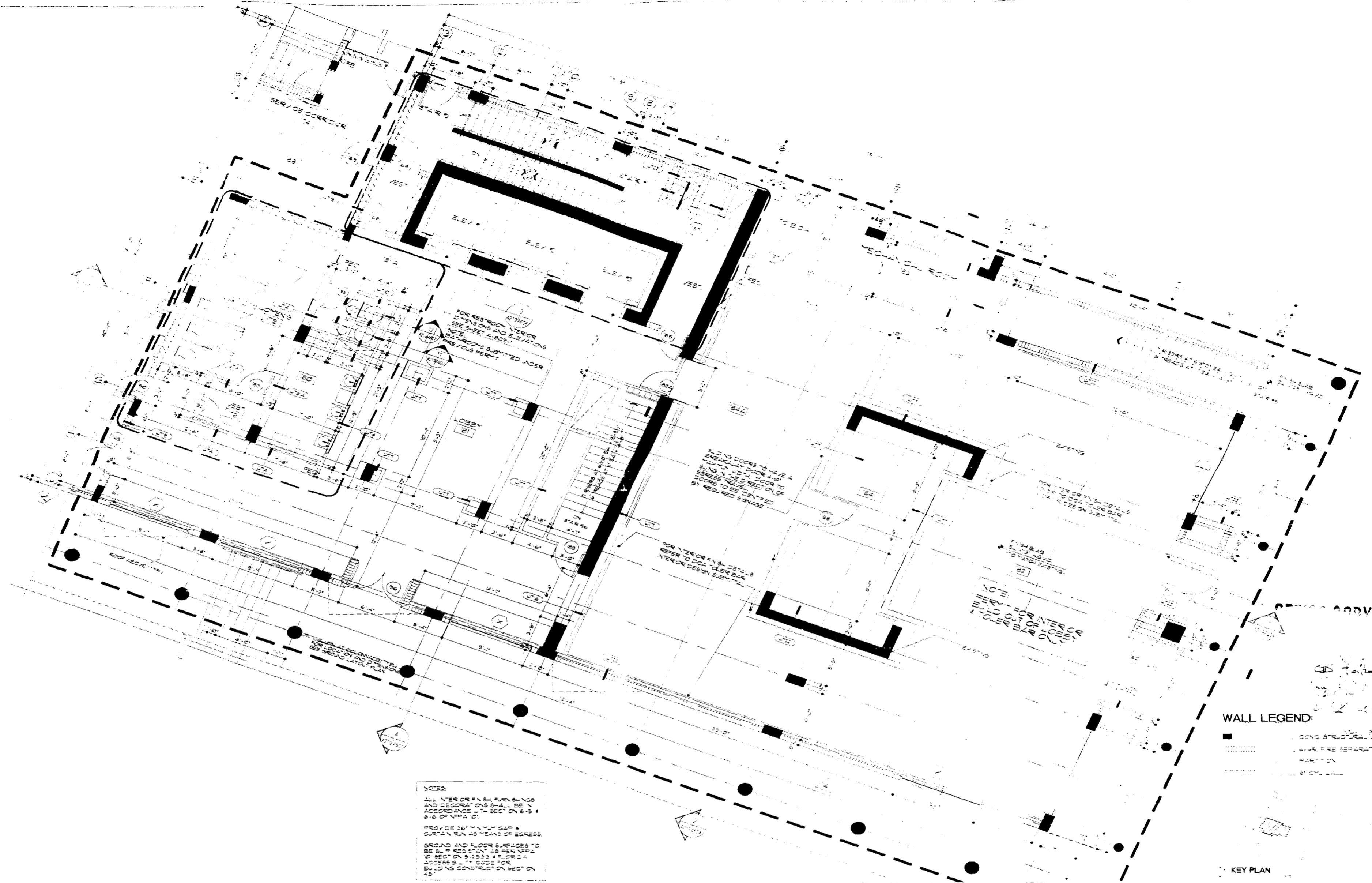
firepol

DIVISION OF FIRE PREVENTION
OFFICE COPY
 APPROVED FOR RECORD
 PROJECT NO. 1736
 DATE 11/15/76
 BY J. J. [Signature]

Project Number
FPK-1736
 CHECKED BY: DATE
 DRAWN BY: DATE
 DATE:
 PLOT FILE:
 SHEET INDEX:

[Signature]
FD-16





NOTES:
 ALL INTERIOR WALLS AND PARTITIONS SHALL BE CONCRETE OR Gypsum BOARD ON METAL LATH AND GYPSUM BOARD ON METAL LATH. ALL INTERIOR WALLS SHALL BE FINISHED WITH GYPSUM BOARD ON METAL LATH AND GYPSUM BOARD ON METAL LATH.
 PROVIDE 18" x 18" x 8" CONCRETE CORNERS AT ALL CORNERS OF EXTERIOR WALLS.
 GROUND AND FLOOR SURFACES TO BE FINISHED WITH POLISHED CONCRETE OR POLISHED TERRAZZO.
 BUILDING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2010 INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL ORDINANCES.

WALL LEGEND:
 ■ CONCRETE STRUCTURAL WALL
 - - - - - FIRE SEPARATION WALL
 - - - - - PARTITION WALL
 - - - - - OTHER WALL

KEY PLAN

SHORE CLUB MIAMI BEACH FLORIDA

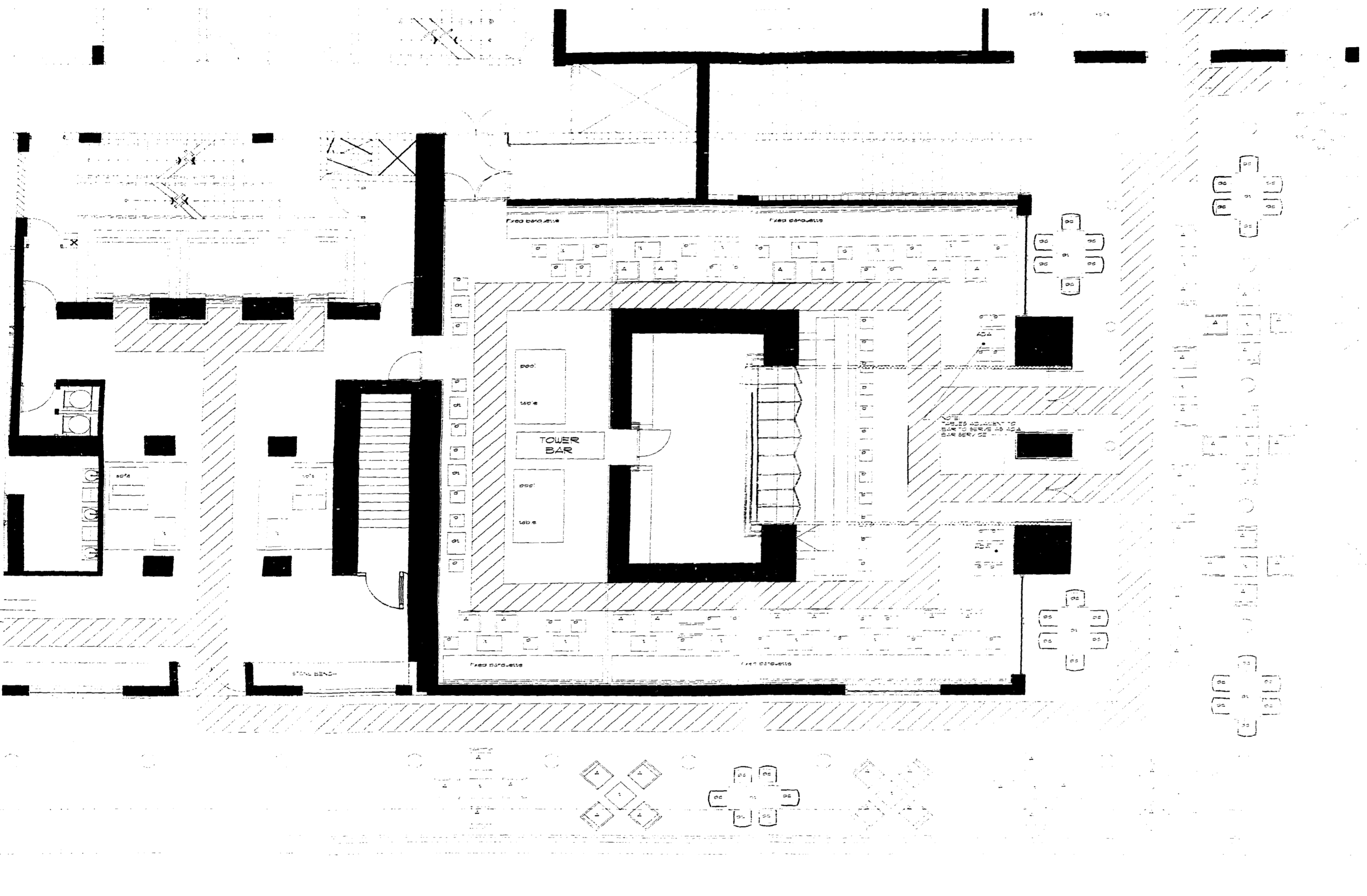
FULLERTON DIAZ ARCHITECTS DAVIDCHIPPERFIELDARCHITECTS

AREA D GROUND LEVEL FLOOR PLAN

A-219

62500

These drawings are prepared as the result of a contract between the Client and the Architect. They are not to be used for any other purpose without the written consent of the Architect. The Architect is not responsible for the construction of the building or the safety of the building. The Client is responsible for the construction of the building and the safety of the building.



TOWER BAR
FREE BAR/STOLE
STONE BENCH
TOTAL NO. OF CHAIRS = 204
TOTAL NO. OF COVERS = 204

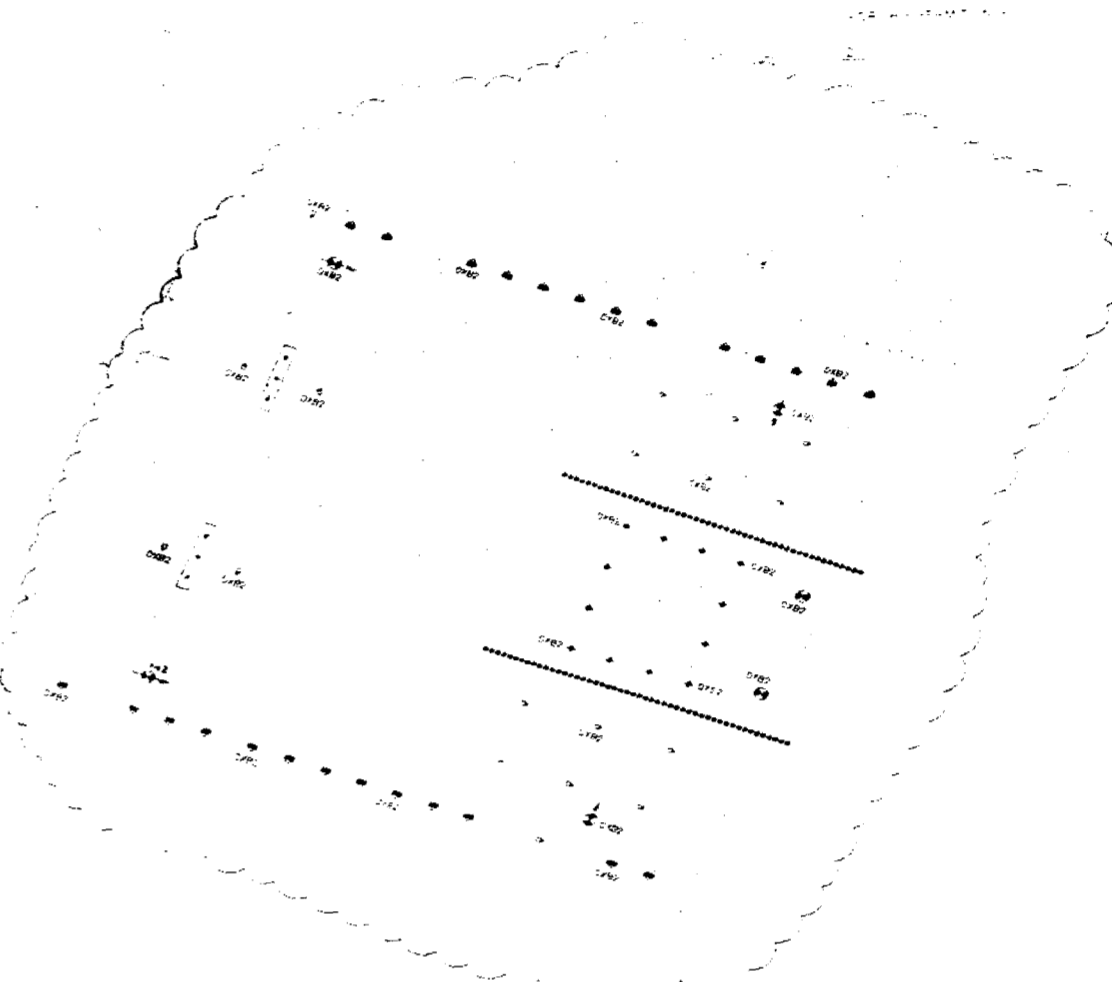
SHORE CLUB MIAMI BEACH FLORIDA

TOWER BAR FURNITURE LAYOUT PLAN

FULLERTON DIAZ ARCHITECTS DAVIDCHPPERFIELDARCHITECTS

A-219F

OFFICE



REVISION COPY
 NO. 1
 DATE 10/10/00
 BY [Signature]
 CHECKED [Signature]
 APPROVED [Signature]

ASABO'S FLOOR LEVEL PLAN

SHORE CLUB MIAMI BEACH FLORIDA

FES
 ARCHITECTS
 1100 BAYVIEW BLVD
 SUITE 100
 MIAMI BEACH, FL 33139
 (305) 866-1100

[Signature]
 10/10/00

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	10/10/00
2	ISSUED FOR CONSTRUCTION	10/10/00
3	ISSUED FOR OCCUPANCY	10/10/00



CITY OF MIAMI BEACH
 Building Department
 1700 Convention Cir Drive, 2nd Floor
 Miami Beach, Florida 33139
 Inspection: (305) 673-7370 Office: (305) 673-7610

Miscellaneous Receipt
 06-16-2000
 Activity Number: BNS0002709

Name: [Redacted] Issued By: BUEHRC
 Approved: [Redacted]
 Completed: [Redacted]
 Inspected: [Redacted]

Address: 1910 SW 25th Ave
 Parcel #: 32204512

Valuation: \$0.00
 Property Owner: PHILIP SORCI BEACH LTD PARTNIP

REPAIRS - OTHER BARNT BILLED OUT ONLY
 Class Code: 2155

Fee Summary

Total Fees:	\$200.00
Total of Payments:	\$0.00
Balance Due:	\$200.00

MCCG 002203
 MICROSAT 0002709
 PAY TO THE ORDER OF CITY OF MIAMI BEACH
 TWO HUNDRED AND 00/100 DOLLARS
 DATE: 03/14/2009 CHECK NO: 1207 AMOUNT: \$200.00

Miami Permit # 04100157

MIAMI BEACH
FIRE DEPARTMENT

FIRE PREVENTION BUREAU
 DEFICIENCY REPORT

1910 SW 25th Ave PERMIT # [Redacted]
 DISTRICT # [Redacted] C.P. # [Redacted]
 REVIEWED BY: [Redacted] DATE: 3/10/2009
 BY: [Redacted] DATE: 3/10/2009

DEFICIENCIES:

- 1. Door swings double hung
- 2. Fire extinguisher not in kitchen
- 3. No fire extinguisher in bedroom
- 4. No fire extinguisher in bathroom

Inspector: [Redacted] Date: 4/10/2009
 Re-inspection: [Redacted]

RECORD



LASON

The International Photocopying Company
4054 N.W. 12 STREET, MIAMI, FLORIDA 33126
305-477-9149 • 800-287-4799 • FAX 305-477-7526

**PREVIOUS
DOCUMENT**

**IS
a photocopy in poor
condition**



PC 017

PREVIOUS DOCUMENT



SHORECLUB CONDO

MIAMI BEACH, FL

SIEMENS
Central Division

SYM	DESCRIPTION	MODEL	MOUNTING
	FIRE ALARM CONTROL PANEL	MXLV	MOUNT 72" A.F.F. TO TOP, PROVIDE 120 VAC
	REMOTE POWER PANEL	PAD-2	MOUNT 72" A.F.F. TO TOP, PROVIDE 120 VAC
	REMOTE ANNUNCIATOR PANEL	RCC-1F	MOUNT 72" A.F.F. TO TOP
	FIRE ALARM SIGNAL CABINET	F.B.O.	SIZE AS REQUIRED OR SPECIFIED
	PHOTOELECTRIC DETECTOR W/ DB-3S BASE	FP-11	CEILING MOUNT ON A 4" OCTAGON BOX
	PHOTOELECTRIC DETECTOR W/ DB-11XRS RELAY BASE	FP-11	CEILING MOUNT ON A 4" OCTAGON BOX
	DUAL SIGNAL CONTROL MODULE	DSC	MOUNT ON A 4" SQUARE BACK BOX
	CEILING THERMAL DETECTOR	FPT-11	CEILING MOUNT ON A 4" OCTAGON BOX
	135 DEGREE FIXED TEMPERATURE THERMAL DETECTOR	DT-135F	FOR CONNECTION TO ELEVATOR SHUNT TRIP
	DUCT SMOKE DETECTOR	AD-11P	FLEX TO DUCT HOUSING FROM A 4" SQUARE BOX
	DUCT SMOKE DETECTOR WITH RELAY MODULE	AD-11PKR	FLEX TO DUCT HOUSING FROM A 4" SQUARE BOX
	MANUAL PULL STATION	MS-10B	MOUNT 48" A.F.F. TO CENTER ON A SINGLE GANG BOX
	DUAL ADDRESSABLE INTERFACE MODULE	TRI-B6D	MOUNT ON A 3 1/2" DEEP DOUBLE GANG BOX
	ADDRESSABLE INTERFACE MODULE RELAY	TRI-B6R	MOUNT ON A 3 1/2" DEEP DOUBLE GANG BOX
	ADDRESSABLE INTERFACE MODULE	TRI-B6	MOUNT ON A 3 1/2" DEEP DOUBLE GANG BOX
	MINIATURE ADDRESSABLE INTERFACE MODULE	TRI-B6M	MOUNT IN A SINGLE GANG BOX
	CONTROL POINT-SPEAKER, STROBE OR PHONE	ICP-1	MOUNT IN A 4" SQUARE DEEP BOX WITH EXTENSION
	FIRE ALARM STROBE	S(-)-F	MOUNT 80" A.F.F. TO BOTTOM ON A 4" SQUARE BOX
	FIRE ALARM STROBE - WEATHERPROOF	S(-)-F	SURFACE 80" A.F.F. TO BOTTOM ON A FWB-2 BOX
	FIRE ALARM SPEAKER STROBE	SM70-S(-)-F	MOUNT 80" A.F.F. TO BOTTOM ON A 4" SQUARE BOX
	FIRE ALARM SPEAKER	SM70-S	MOUNT 80" A.F.F. TO BOTTOM ON A 4" SQUARE BOX
	FIRE ALARM SPEAKER UNIT - WEATHERPROOF	ET-1010R	SURFACE 80" A.F.F. TO BOTTOM ON A WBK-3 BOX
	FIRE ALARM SPEAKER, ROUND, WHITE	SM70-C	WALL OR CEILING MOUNT TO 4" SQUARE DEEP BOX
	FIRE ALARM DOOR HOLDER (BY OTHERS)	VARIES	FIRE ALARM DOOR HOLDER (BY OTHERS)
	FIREFIGHTER'S PHONE JACK	FJ-303	MOUNT 60" A.F.F. TO CENTER ON A SINGLE GANG BOX
	ELEVATOR WARNING LIGHT	SEU62D	MOUNT 60" A.F.F. TO CENTER ON A SINGLE GANG BOX
	MOTORIZED FIRE OR SMOKE DAMPER	F.B.O.	
	TAMPER SWITCH (BY OTHERS)	F.B.O.	
	FLOW SWITCH (BY OTHERS)	F.B.O.	
	PROJECTED BEAM SMOKE DETECTOR, TRANSMITTER	PBA-1191	
	PROJECTED BEAM SMOKE DETECTOR, REFLECTOR	PBR-1191	

SYM	DESCRIPTION	CONNECTIONS
A	2 CONDUCTOR #18 AWG TAILED/SHIELDED FPL	FOR CONNECTION TO ADDRESSABLE DEVICES
B	2 CONDUCTOR #14 AWG TAILED/SHIELDED FPL	FOR CONNECTION TO STROBE CIRCUITS (VOICE SYSTEMS)
C	2 CONDUCTOR #14 AWG FPL	FOR UNSWITCHED 24VDC POWER
D	2 CONDUCTOR #14 AWG FPL	FOR SWITCHED 24VDC POWER
E	2 CONDUCTOR #18 AWG TAILED/SHIELDED FPL	FOR CONNECTION TO PHONE RISER
F	2 CONDUCTOR #18 AWG FPL	FOR MONITOR MODULES TO DETECT SHORTING DEVICES
G	2 CONDUCTOR #18 AWG TAILED/SHIELDED FPL	FOR CONNECTION TO FIREFIGHTER'S PHONE JACKS
H	2 CONDUCTOR #18 AWG FPL	FOR CONNECTION TO SPEAKER CIRCUITS
I	2 CONDUCTOR #18 AWG TAILED/SHIELDED FPL	FOR CONNECTION TO NETWORK DEVICES
J	2 CONDUCTOR #14 AWG FPL	FOR CONNECTION TO HIGH LEVEL ALARM CIRCUITS

FIRE ALARM NOTES - MXLV SYSTEM

- ALL WIRING MUST CONFORM WITH NEC ARTICLE 760 AND LOCAL CODES. ALL EQUIPMENT SHALL BE UL LISTED. ALL DEVICES SHALL BE COMPATIBLE WITH THE CONTROL PANELS. SYSTEM IS POWER LIMITED PER NEC 760 AND UL 864 REQUIREMENTS.
- ALL INITIATING AND INDICATING CIRCUITS MUST BE SUPERVISED. CIRCUIT POLARITY MUST BE OBSERVED.
- WIRE RUNS ARE SHOWN DIAGRAMMATICALLY. EXACT LOCATION OF ALL EQUIPMENT TO BE DETERMINED IN THE FIELD, BUT SHALL CONFORM WITH THE BASIC LAYOUT AS SHOWN ON DRAWINGS TO PREVENT CIRCUIT OVERLOAD.
- IDENTIFYING NUMBERS ADJACENT TO DEVICE SYMBOLS DENOTE DEVICE ADDRESS. DETECTOR 1-02 WILL IDENTIFY THE 2ND DEVICE CONNECTED TO CIRCUIT 1 ON THE A.L.D. CARDS.
- MINIMUM CONDUIT SIZE WILL BE 3/4" CONDUIT SHALL BE NO MORE THAN 40% FILLED PER NEC REQUIREMENTS.
- DO NOT MARK ID NUMBERS ON DEVICES. LABEL BASE ONLY.
- POWER UP & POWER DOWN ON PANEL MUST BE DONE IN PROPER SEQUENCE.
POWER DOWN
A - DISCONNECT BATTERY.
B - TURN OFF AC POWER PRIMARY & SECONDARY.
POWER UP
A - TURN ON AC POWER PRIMARY & SECONDARY.
B - RECONNECT BATTERIES.
- THE FIRE A.A.M. CONTROL PANEL SHALL NOT BE USED TO POWER ANY UNAUTHORIZED EXTERNAL DEVICE.
- ELECTRICAL CONTRACTOR MUST SET ADDRESSES FOR ADDRESSABLE DEVICES PRIOR TO INSTALLING THE DEVICE.
- CEPREF'S PROTOCOL IS RESPONSIBLE FOR FIRE ALARM EQUIPMENT ONLY. ALL OTHER EQUIPMENT SHOWN ARE FOR DIAGRAMMATIC PURPOSES.
- DANGER WATER AND FAN SHUTDOWN CONNECTIONS (IF ANY) ARE TO BE COORDINATED IN FIELD WITH HVAC CONTRACTOR.
- FIRE ALARM POWER SUPPLIES AND ALL REMOTE SUPPLIES MUST BE CONNECTED TO BUILDING OR CO.-D-WATER GROUND VIA GREEN WIRE THROUGH EQUIPMENT GROUNDING BUS.
- ALL SURGE TRANSIENT SUPPRESSERS MUST BE CONNECTED TO BUILDING OR CO.-D-WATER GROUND.
- FIRE ALARM INITIATING DEVICES SHALL NOT BE INSTALLED UNTIL CLEANUP OF ALL TRADES ARE COMPLETE. FAILURE TO COMPLY WITH THIS NOTE WILL VOID ALL WARRANTIES.
- ALL TABLE SHIELDING MUST BE CONTINUOUS AND FREE OF JOINTS OR SPOTS THROUGHOUT ENTIRE CIRCUIT.
- EVACUATION SIGNALS SHALL BE VIA PRE-RECORDED VOICE ANNOUNCEMENTS IN ACCORDANCE WITH NFPA 101 B-3.4.3.
- VERIFY ALL MOUNTING HEIGHTS WITH ARCHITECT HAVING JURISDICTION PRIOR TO INSTALLATION.
- UNDERGROUND WIRING IS ACCEPTABLE PROVIDED RED REMAINS FOR UNDERGROUND AND POWER LIMITED WIRING ARE NOT.
- USE SURGE SUPPRESSERS ON ALL CIRCUIT CONDUIT, FIRE ALARM AND BUILDING SURGE SUPPRESSERS SHALL BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS.
- PLEASE REFER TO THE NOTES ON ALL SHEETS OF THIS SET.

NOTICE TO THE OPERATOR

- ACTIVATION OF ANY MANUAL INITIATION DEVICE WITHIN THE SYSTEM SHALL CAUSE THE FOLLOWING ACTIONS AND INDICATIONS:
1) SOUND THE SPEAKER CIRCUIT WITH THE EVACUATION TONE AND ACTIVATE THE VISUAL SIGNALS ON THE FLOOR OF INCIDENT, FLOOR ABOVE, FLOOR BELOW, STAIRWELL AND ELEVATOR SHAFT.
2) RECORD WITHIN THE MODULE THE SYSTEM HISTORICAL MEMORY THE OCCURRENCE OF THE EVENT, THE TIME AND DATE OF OCCURRENCE AND THE DEVICE INITIATING THE EVENT.
3) ACTIVATE THE ALARM AND SQUALLER AT THE FIRE ALARM CONTROL PANEL AND ANNUNCIATOR AT 107 AVI.
4) DISPLAY A CUSTOM MESSAGE DESCRIBING THE LOCATION OF THE DEVICE INITIATING THE EVENT.
- ACTIVATION OF ANY AUTOMATIC DETECTION DEVICE WITHIN THE SYSTEM SHALL CAUSE THE FOLLOWING ACTIONS AND INDICATIONS:
1) SOUND THE SPEAKER CIRCUIT WITH THE EVACUATION TONE AND ACTIVATE THE VISUAL SIGNALS ON THE FLOOR OF INCIDENT, FLOOR ABOVE, FLOOR BELOW, STAIRWELL AND ELEVATOR SHAFT.
2) RECORD WITHIN THE MODULE THE SYSTEM HISTORICAL MEMORY THE OCCURRENCE OF THE EVENT, THE TIME AND DATE OF OCCURRENCE AND THE DEVICE INITIATING THE EVENT.
3) ACTIVATE THE ALARM AND SQUALLER AT THE FIRE ALARM CONTROL PANEL AND ANNUNCIATOR AT 107 AVI.
4) DISPLAY A CUSTOM MESSAGE DESCRIBING THE LOCATION OF THE DEVICE INITIATING THE EVENT.
5) ACTIVATE THE BUILDING CONTROL SYSTEM, IF AVAILABLE, THROUGH MECHANICAL DRAWINGS TO MAKE CONTROL OPERATOR AND OCCUPANTS AWARE.
- ACTIVATION OF ANY DUCT MOUNTED SMOKE DETECTOR SHALL, BESIDES THE ACTIONS DESCRIBED ABOVE, CAUSE THE SHUTDOWN OF THE ASSOCIATED AIR HANDLER OR DISCONNECT OF THE ASSOCIATED DAMPER. COORDINATE WITH HVAC CONTRACTOR AND CONTRACT DOCUMENTS.
- ACTIVATION OF ANY SMOKE DETECTOR IN A SINGLE ELEVATOR SHAFT OR ELEVATOR EQUIPMENT ROOM OR ELEVATOR HOISTWAY SHALL, BESIDES THE ACTIONS DESCRIBED ABOVE, CAUSE THE SHUTDOWN OF THAT BANK OF ELEVATORS TO THE DESIGNATED LEVEL.
- ACTIVATION OF THE WALKER SIGNAL IN THE DESIGNATED ELEVATOR SHAFT SHALL, BESIDES THE ACTIONS DESCRIBED ABOVE, CAUSE THE SHUTDOWN OF THAT BANK OF ELEVATORS TO THE DESIGNATED LEVEL.
- ACTIVATION OF ANY MANUAL INITIATION DEVICE WITHIN THE SYSTEM SHALL CAUSE THE FOLLOWING ACTIONS AND INDICATIONS:
1) SOUND THE SPEAKER CIRCUIT WITH THE EVACUATION TONE AND ACTIVATE THE VISUAL SIGNALS ON THE FLOOR OF INCIDENT, FLOOR ABOVE, FLOOR BELOW, STAIRWELL AND ELEVATOR SHAFT.
2) RECORD WITHIN THE MODULE THE SYSTEM HISTORICAL MEMORY THE OCCURRENCE OF THE EVENT, THE TIME AND DATE OF OCCURRENCE AND THE DEVICE INITIATING THE EVENT.
3) ACTIVATE THE ALARM AND SQUALLER AT THE FIRE ALARM CONTROL PANEL AND ANNUNCIATOR AT 107 AVI.
4) DISPLAY A CUSTOM MESSAGE DESCRIBING THE LOCATION OF THE DEVICE INITIATING THE EVENT.
5) ACTIVATE THE BUILDING CONTROL SYSTEM, IF AVAILABLE, THROUGH MECHANICAL DRAWINGS TO MAKE CONTROL OPERATOR AND OCCUPANTS AWARE.

FES



FIRE ALARM
GROUND FLOOR PLANS

FBS

SIEMENS
Circuit Division

SIEMENS AG, Postfach 10 15 53, D-5300 Bad Neuenahr-Ahrweiler, Germany

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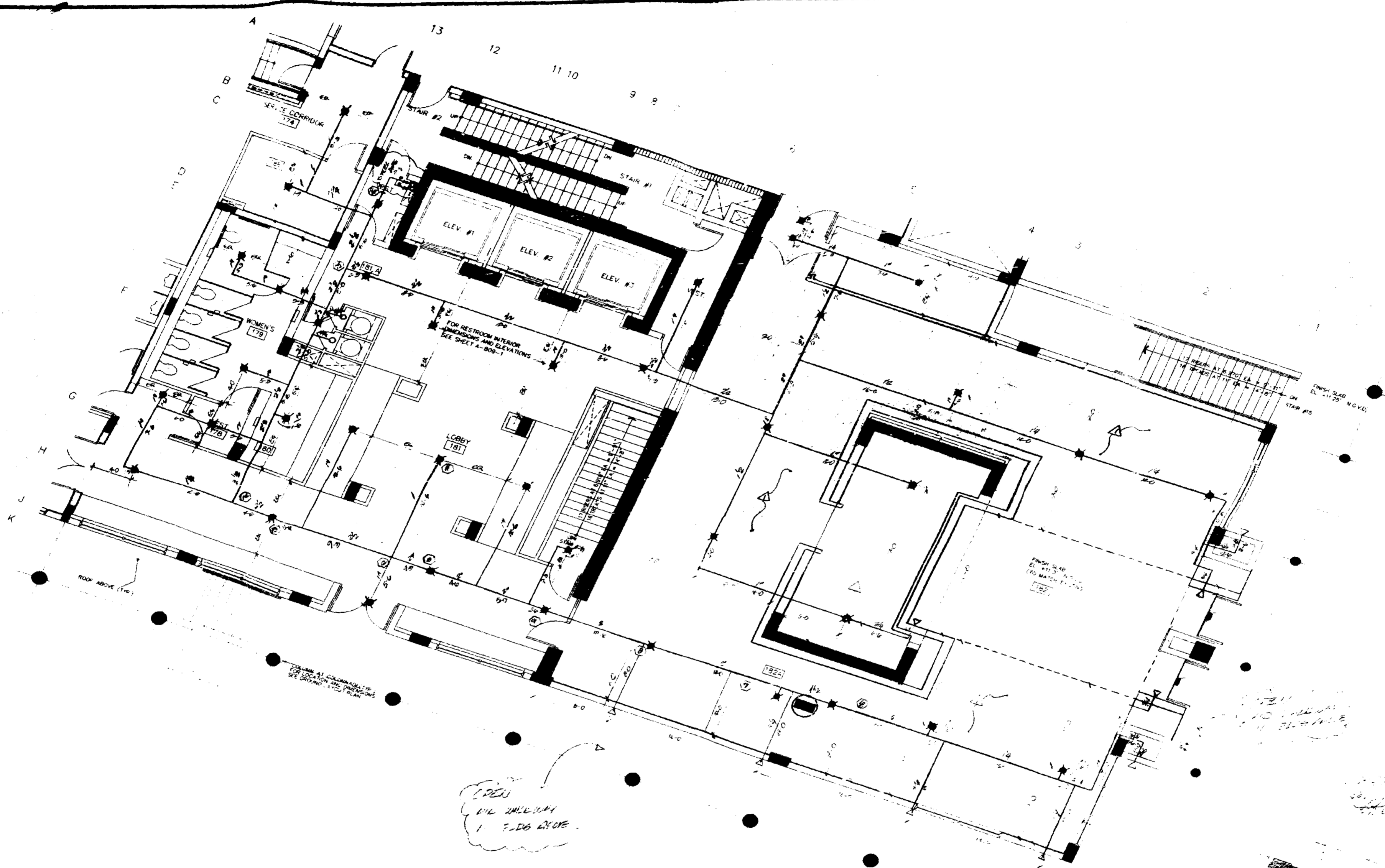
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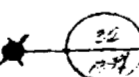
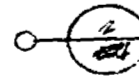



FIRE ALARM
GROUND FLOOR PLANS

FES

95500



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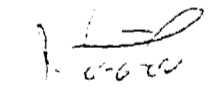
AREA D GROUND LEVEL FLOOR PLAN

NO.	DATE
1	5-24-72
2	7-12-72

SHORE CLUB
 1901 Collins Ave
 Miami Beach, Fl.

firepak
INC.

1911 NEW 22 Ave South P.O. Box 11, Ft. Lauderdale, FL 33304
 Phone 561-581-1111

DESIGNER


Jorge de la Torre
 P.E. Reg. No. 12880

Project Number:
FPK-1736

CHECKED BY: _____ DATE: _____

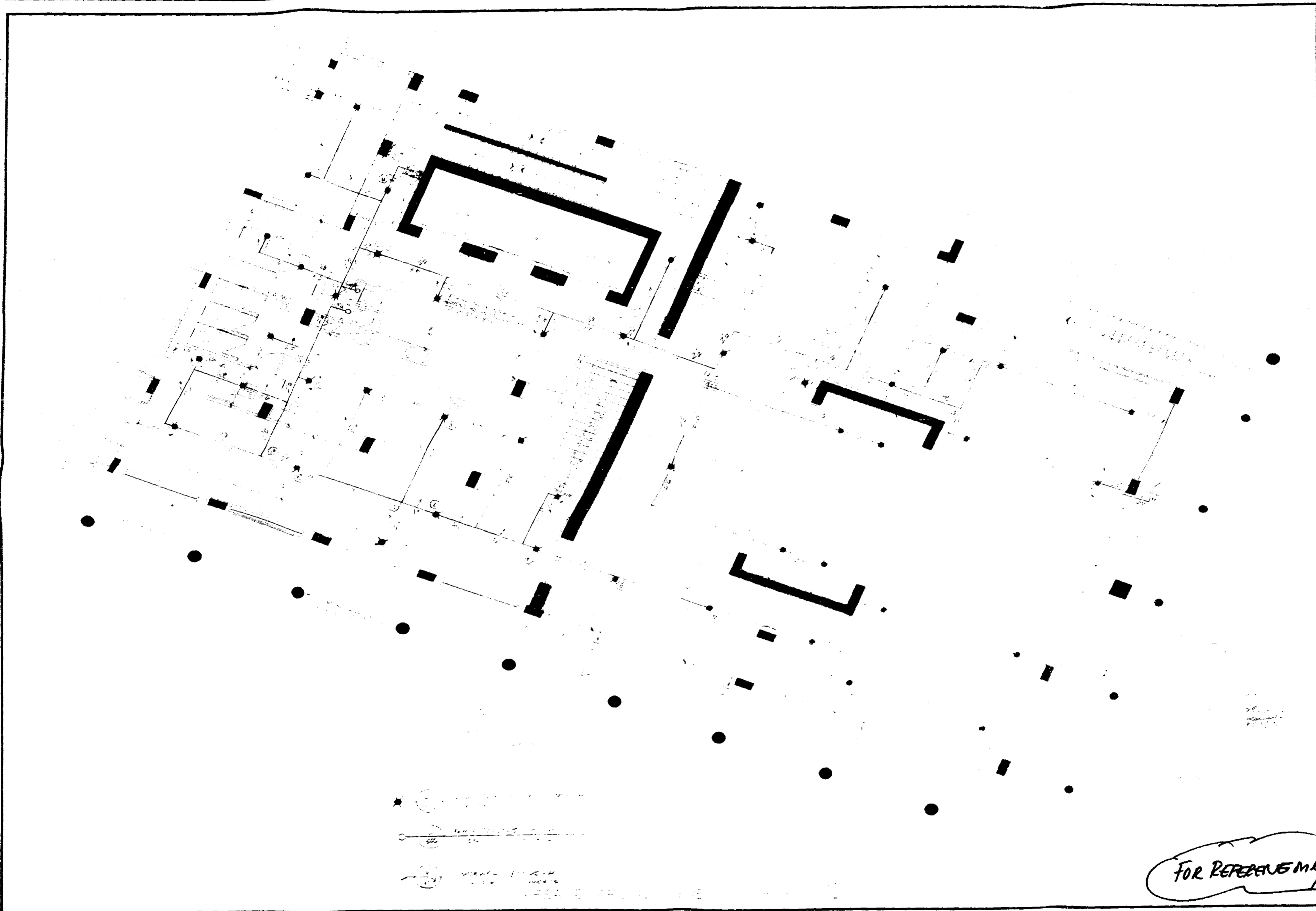
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PLOT FILE: _____

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SHEET NUMBER:
FD-16



REVISIONS	DATE

SHORE CLUB
1901 Collins Ave
Miami Beach, Fl.

firepak

SEAL

Project Number
FPK-1736
 CHECKED BY: DATE
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 PLOT FILE
 SHEET INDEX

SHEET NUMBER
FP-16

FOR REFERENCE ONLY

RECORD



OFFICE COPY

CITY OF MIAMI, FLORIDA
 APPROVED FOR PERMIT BY
 [Signature]

WALL LEGEND

- EXTERIOR WALL
- INTERIOR WALL
- WALL AROUND ELEVATOR

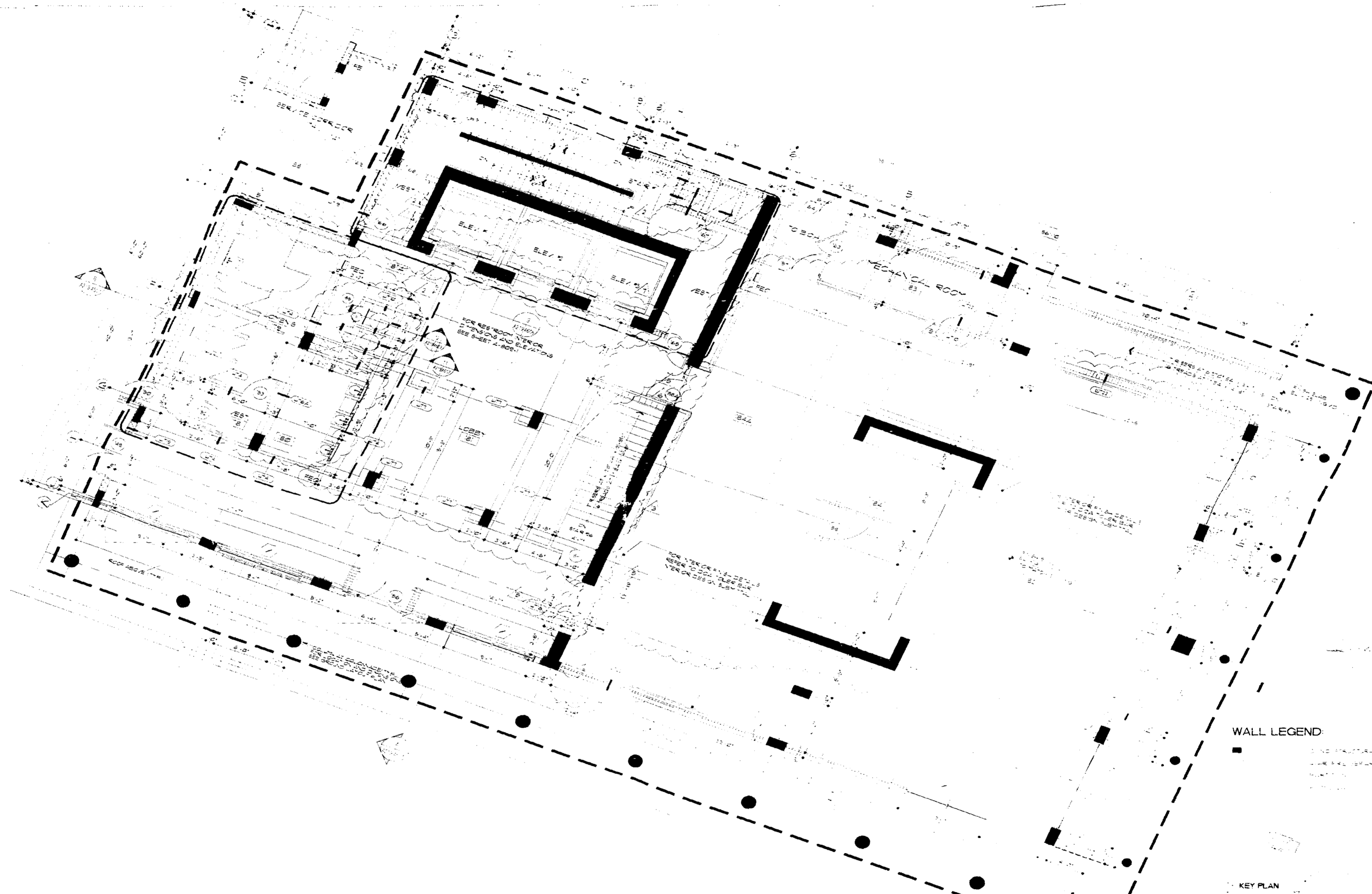
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AREA D GROUND LEVEL FLOOR PLAN

FULLERTON DIAZ ARCHITECTS DAVIDCHIFFERFELDARCHITECTS

A-219



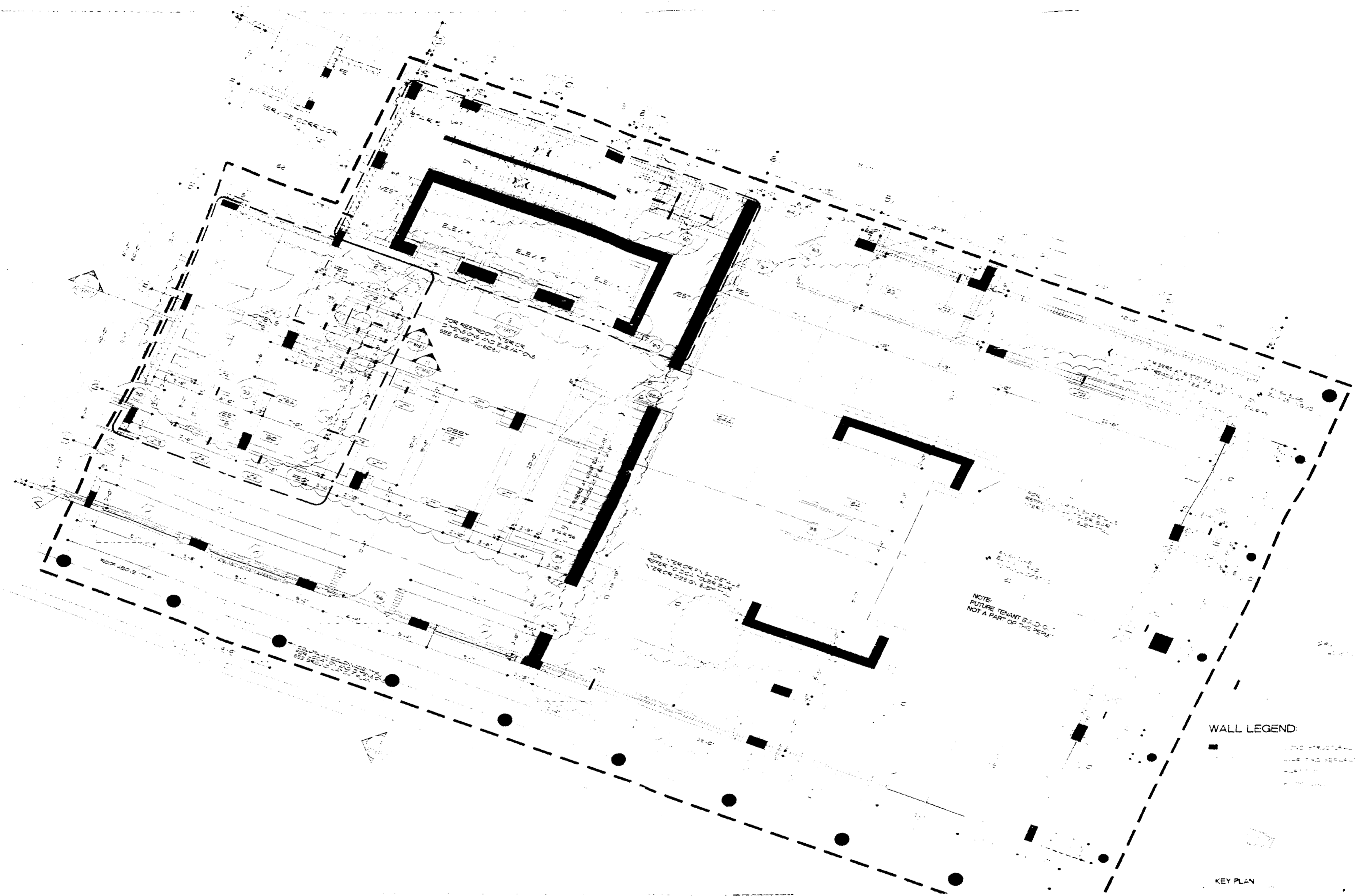


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AREA D GROUND LEVEL FLOOR PLAN

FULLERTON DIAZ ARCHITECTS DAVIDCHPPERFELDARCHITECTS

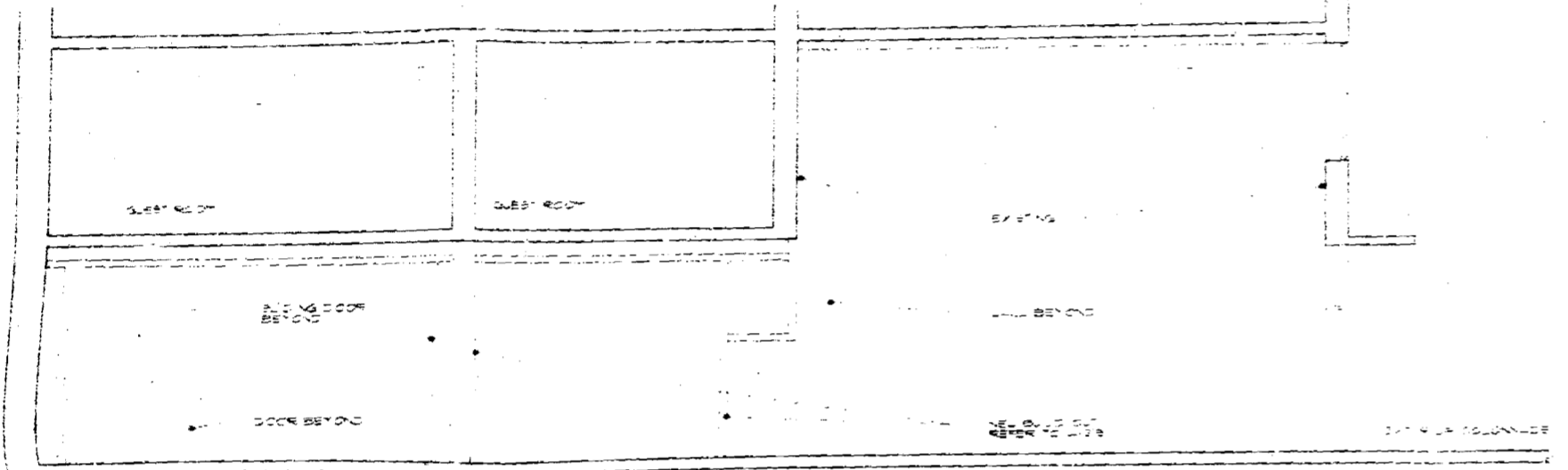
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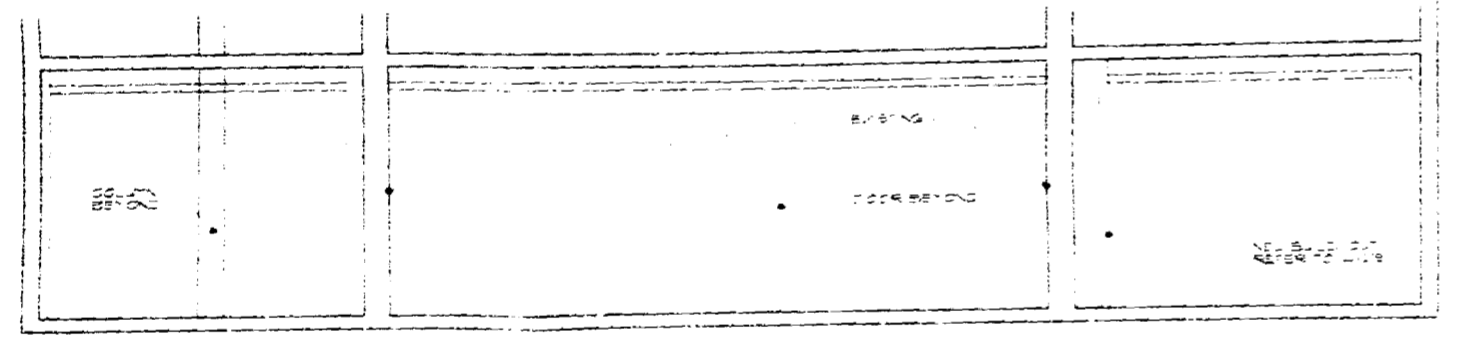
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AREA D GROUND LEVEL FLOOR PLAN

FULLERTON DIAZ ARCHITECTS
 DAVIDCHPPERFIELDARCHITECTS
 A-219



TOWER BAR SECTION
SCALE 1/4" = 1'-0"



TOWER BAR SECTION
SCALE 1/4" = 1'-0"

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Handwritten notes:
9/16/10
7/3/11

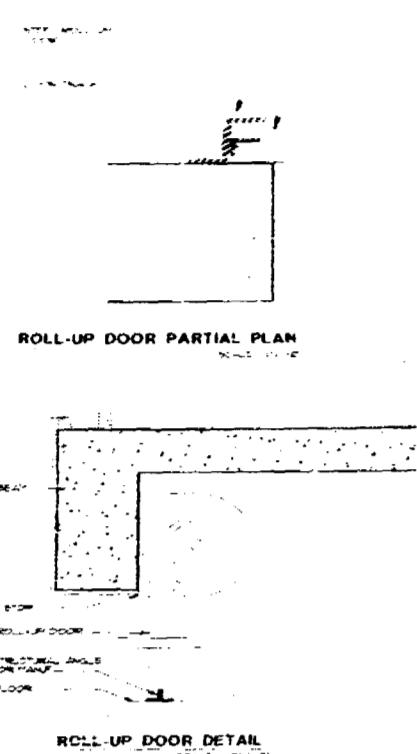
CLUB MIAMI BEACH FLORIDA

AREA D TOWER BAR SECTIONS

<p>7/100</p>	<p>FULLERON DIAZ ARCHITECTS</p>	<p>DAVIDCHIFFERFELDARCHITECTS</p>
	<p>DATE</p> <p>NO.</p> <p>BY</p> <p>CHECKED</p> <p>APPROVED</p>	<p>DATE</p> <p>NO.</p> <p>BY</p> <p>CHECKED</p> <p>APPROVED</p>

A-504

26E00



ROLL UP DOORS

1. ALL STAINLESS STEEL ROLL UP DOORS SHALL BE FINISHED LARGE MESH POLYURETHANE PAINT SYSTEM WITH "FLAT" FINISH. PAINT TO BE APPLIED TO BOTH INTERIOR AND EXTERIOR SURFACES. PAINT SHALL BE APPLIED TO ALL SURFACES EXCEPT WHERE NOTED OTHERWISE.

2. SEISMIC CALCULATIONS AND WINDLOAD PATTERNS DESIGNED TO SUPPORT AND DESIGN PRESSURES TO BE OBTAINED FROM STRUCTURAL ENGINEER AND SEAL BY A LICENSED WEATHERSTRIPING ENGINEER.

3. SEISMIC DETAILED BRACKETING AND PRODUCT CONTROL APPROVALS TO BE OBTAINED FROM STRUCTURAL ENGINEER.

4. VERIFY ALL SIZES BY FIELD MEASUREMENT PRIOR TO FABRICATION.

NOTES

1. ROOFING AND EXTERIOR CLADDING SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.

2. ALL DOOR DOORS TO BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.

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10. ALL DOOR DOORS TO BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.

DOOR SCHEDULE											
LEVEL	ROOM NAME		DOOR NO.	TYPE	SIZE		DESCRIPTION	FRAME	DET.	THR.	REMARKS
	FROM	TO			FIN.	HT.					
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	BASEMENT LEVEL	CONDO	CONDO								
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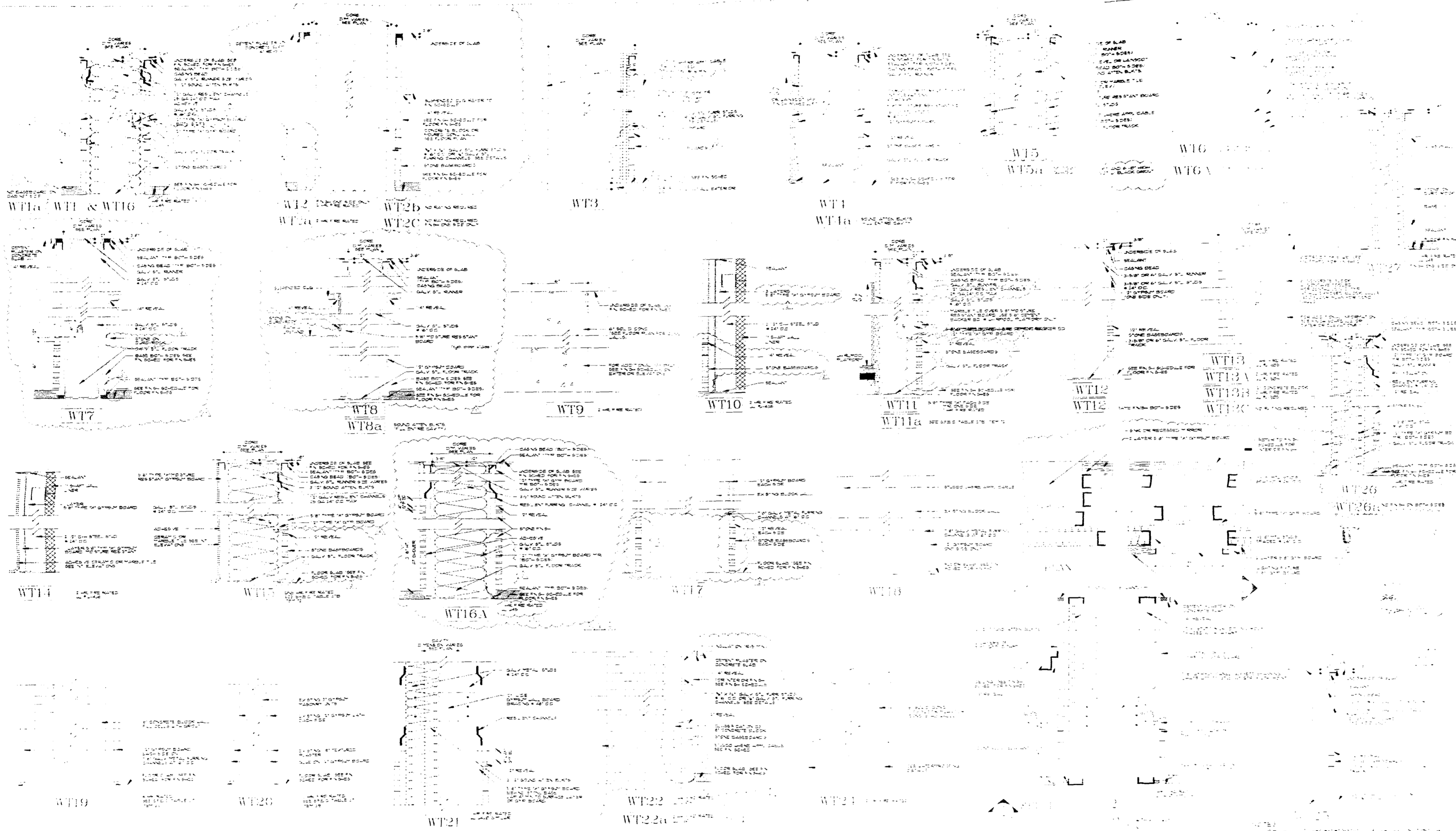
DOOR SCHEDULE											
LEVEL	ROOM NAME		DOOR NO.	TYPE	SIZE		DESCRIPTION	FRAME	DET.	THR.	REMARKS
	FROM	TO			FIN.	HT.					
GROUND FLOOR LEVEL	CONDO	CONDO									
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SHORE CLUB MIAMI BEACH FLORIDA

DOOR SCHEDULE

Fuller Diaz Architects David Chipperfield Architects

A-800



WALL TYPES

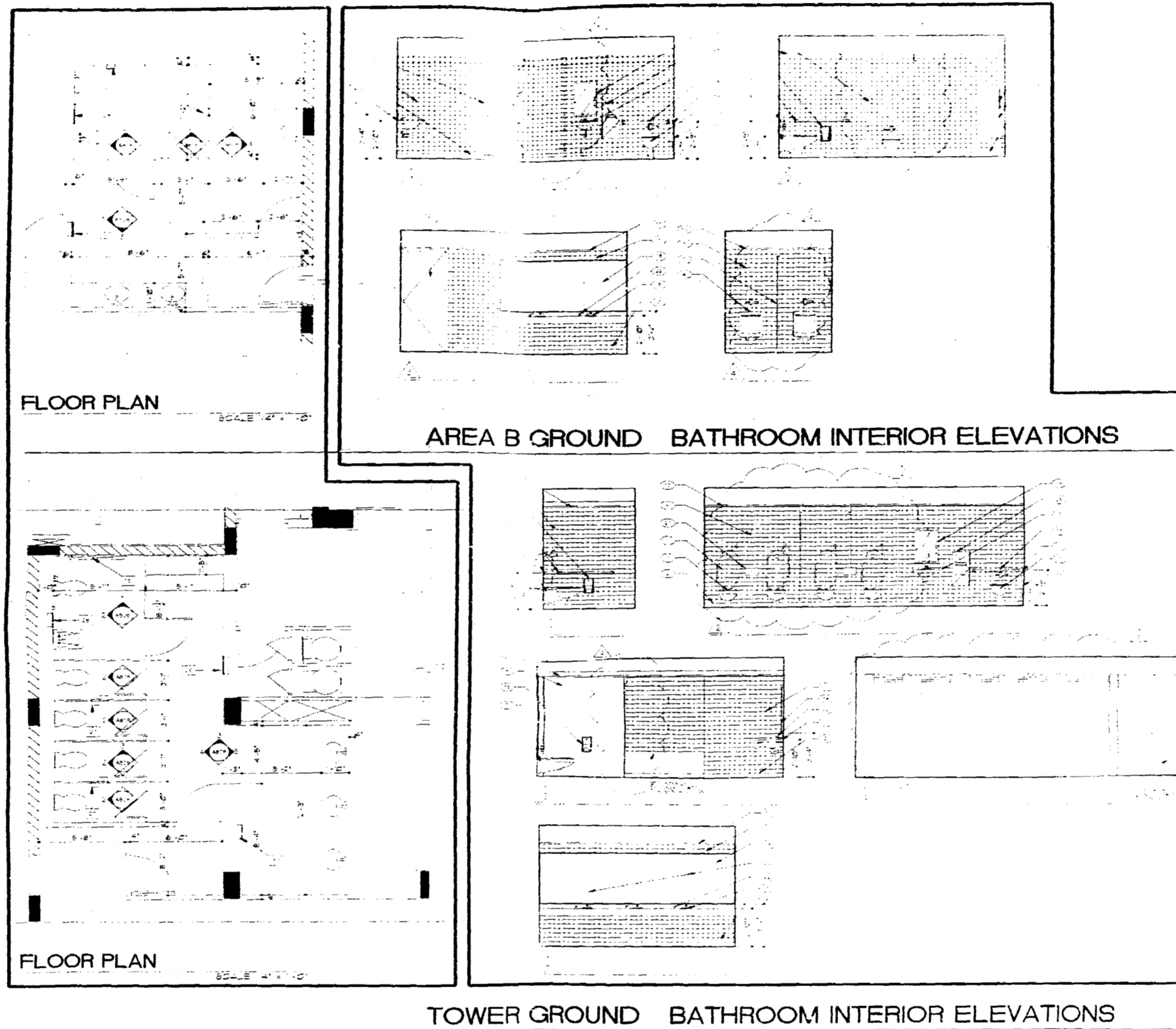
SHORE CLUB MIAMI BEACH FLORIDA

SCALE 3/4"=1'-0"

WALL TYPES

FIELDS V. DIAZ ARCHITECTS
 DAVID CHAPPERFIELD ARCHITECTS
 A-805

SHEED



NOTE

1. PROVIDE CURB CUT EQUIVALENT OF THE FOLLOWING ITEMS:
- ACCESSIBILITY GUIDELINES FOR PHYSICALLY HANDICAPPED**
- FOR THE CONVENIENCE OF THE PHYSICALLY HANDICAPPED, ACCESSIBLE TOILETS SHALL BE PROVIDED FOR THE FOLLOWING LOCATIONS AND SHALL BE CONFORMANT WITH THE FOLLOWING REQUIREMENTS:
1. LOCATION AT EACH LABORATORY SHALL BE:
 - A. A MINIMUM CLEARANCE OF 15'-0" FROM THE CENTERLINE OF THE TOILET TO THE CENTERLINE OF THE ADJACENT WALL OR PARTITION.
 - B. A MINIMUM CLEARANCE OF 48" FROM THE CENTERLINE OF THE TOILET TO THE CENTERLINE OF THE ADJACENT WALL OR PARTITION.
 - C. A MINIMUM CLEARANCE OF 48" FROM THE CENTERLINE OF THE TOILET TO THE CENTERLINE OF THE ADJACENT WALL OR PARTITION.
 - D. A MINIMUM CLEARANCE OF 48" FROM THE CENTERLINE OF THE TOILET TO THE CENTERLINE OF THE ADJACENT WALL OR PARTITION.
 - E. SINGLE USER CONTROL FOR BOTH TOILETS.
 2. TOILET COMPARTMENTS FOR THE HANDICAPPED TOILET SHALL BE 17'-0" CLEAR TO THE TOILET SEAT AND TO THE TOILET FLOOR.
 3. GROUND BATH SHALL BE PROVIDED FOR CONVENIENCE OF THE PHYSICALLY HANDICAPPED. THE GROUND BATH SHALL BE 17'-0" CLEAR TO THE GROUND BATH SEAT AND TO THE GROUND BATH FLOOR.
 4. TOILET SEAT SHALL BE PROVIDED FOR CONVENIENCE OF THE PHYSICALLY HANDICAPPED. THE TOILET SEAT SHALL BE 17'-0" CLEAR TO THE TOILET SEAT AND TO THE TOILET FLOOR.
 5. AT BATHS ALL CONTROLS, VALVES AND THE ENTERANCE SHALL BE LOCATED ON THE SIDE WALL OPPOSITE TO THE SEAT.

SYMBOL LEGEND

- 1. TOILET
- 2. GROUND BATH
- 3. SHOWER
- 4. SINK
- 5. MIRROR
- 6. VANITY
- 7. PARTITION
- 8. WALL
- 9. FLOOR
- 10. CEILING
- 11. DOOR
- 12. WINDOW
- 13. STAIR
- 14. ELEVATOR
- 15. RAMP
- 16. CURB CUT
- 17. SIGN
- 18. LIGHT
- 19. VENT
- 20. RISER
- 21. FINISH
- 22. DIMENSION
- 23. CENTERLINE
- 24. FINISH LINE
- 25. BREAK
- 26. HATCH
- 27. AREA
- 28. VOLUME
- 29. ELEVATION
- 30. SECTION
- 31. DETAIL
- 32. REFERENCE
- 33. SCALE
- 34. TITLE
- 35. SHEET
- 36. PROJECT
- 37. CLIENT
- 38. DATE
- 39. DRAWN BY
- 40. CHECKED BY
- 41. APPROVED BY
- 42. REVISION
- 43. REVISION DATE
- 44. REVISION DESCRIPTION
- 45. REVISION BY
- 46. REVISION DATE
- 47. REVISION DESCRIPTION
- 48. REVISION BY
- 49. REVISION DATE
- 50. REVISION DESCRIPTION

ACCESSIBILITY SCHEDULE

NO.	DESCRIPTION	NO.	NO.	REMARKS
1	TOILET	1	1	REQUIRED
2	GROUND BATH	2	2	REQUIRED
3	SHOWER	3	3	REQUIRED
4	SINK	4	4	REQUIRED
5	MIRROR	5	5	REQUIRED
6	VANITY	6	6	REQUIRED
7	PARTITION	7	7	REQUIRED
8	WALL	8	8	REQUIRED
9	FLOOR	9	9	REQUIRED
10	CEILING	10	10	REQUIRED
11	DOOR	11	11	REQUIRED
12	WINDOW	12	12	REQUIRED
13	STAIR	13	13	REQUIRED
14	ELEVATOR	14	14	REQUIRED
15	RAMP	15	15	REQUIRED
16	CURB CUT	16	16	REQUIRED
17	SIGN	17	17	REQUIRED
18	LIGHT	18	18	REQUIRED
19	VENT	19	19	REQUIRED
20	RISER	20	20	REQUIRED
21	FINISH	21	21	REQUIRED
22	DIMENSION	22	22	REQUIRED
23	CENTERLINE	23	23	REQUIRED
24	FINISH LINE	24	24	REQUIRED
25	BREAK	25	25	REQUIRED
26	HATCH	26	26	REQUIRED
27	AREA	27	27	REQUIRED
28	VOLUME	28	28	REQUIRED
29	ELEVATION	29	29	REQUIRED
30	SECTION	30	30	REQUIRED
31	DETAIL	31	31	REQUIRED
32	REFERENCE	32	32	REQUIRED
33	SCALE	33	33	REQUIRED
34	TITLE	34	34	REQUIRED
35	SHEET	35	35	REQUIRED
36	PROJECT	36	36	REQUIRED
37	CLIENT	37	37	REQUIRED
38	DATE	38	38	REQUIRED
39	DRAWN BY	39	39	REQUIRED
40	CHECKED BY	40	40	REQUIRED
41	APPROVED BY	41	41	REQUIRED
42	REVISION	42	42	REQUIRED
43	REVISION DATE	43	43	REQUIRED
44	REVISION DESCRIPTION	44	44	REQUIRED
45	REVISION BY	45	45	REQUIRED
46	REVISION DATE	46	46	REQUIRED
47	REVISION DESCRIPTION	47	47	REQUIRED
48	REVISION BY	48	48	REQUIRED
49	REVISION DATE	49	49	REQUIRED
50	REVISION DESCRIPTION	50	50	REQUIRED

SHORE CLUB MIAMI BEACH FLORIDA

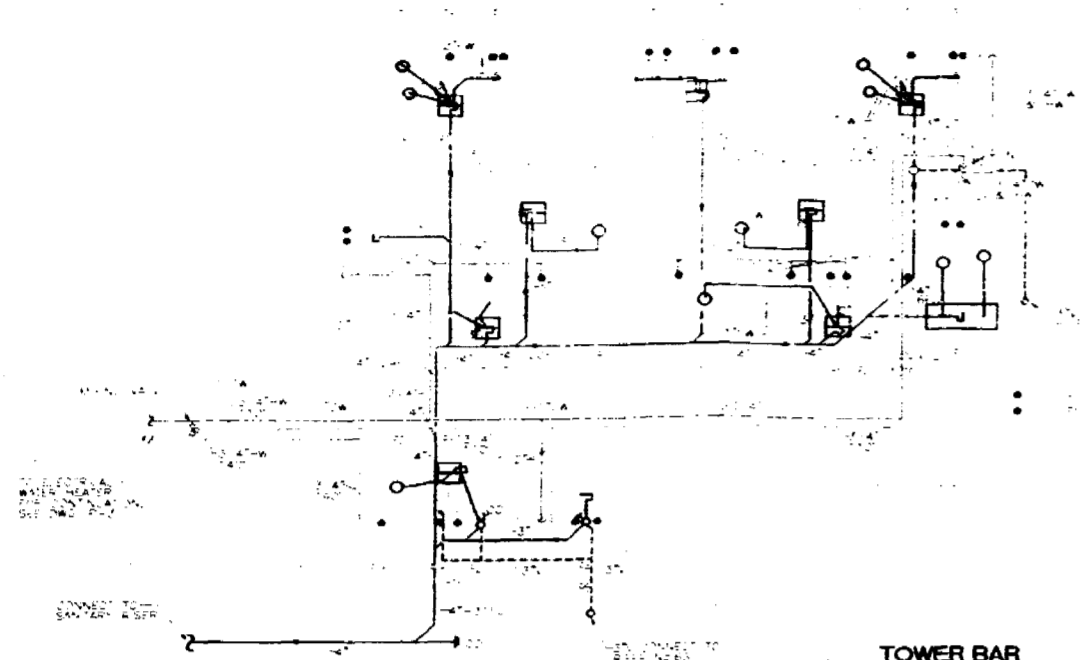
PUBLIC BATHROOM INTERIOR ELEVATIONS

shlo

FULLETON DIAZ ARCHITECTS

DAVID C. PFERFIELD ARCHITECTS

A-809-1



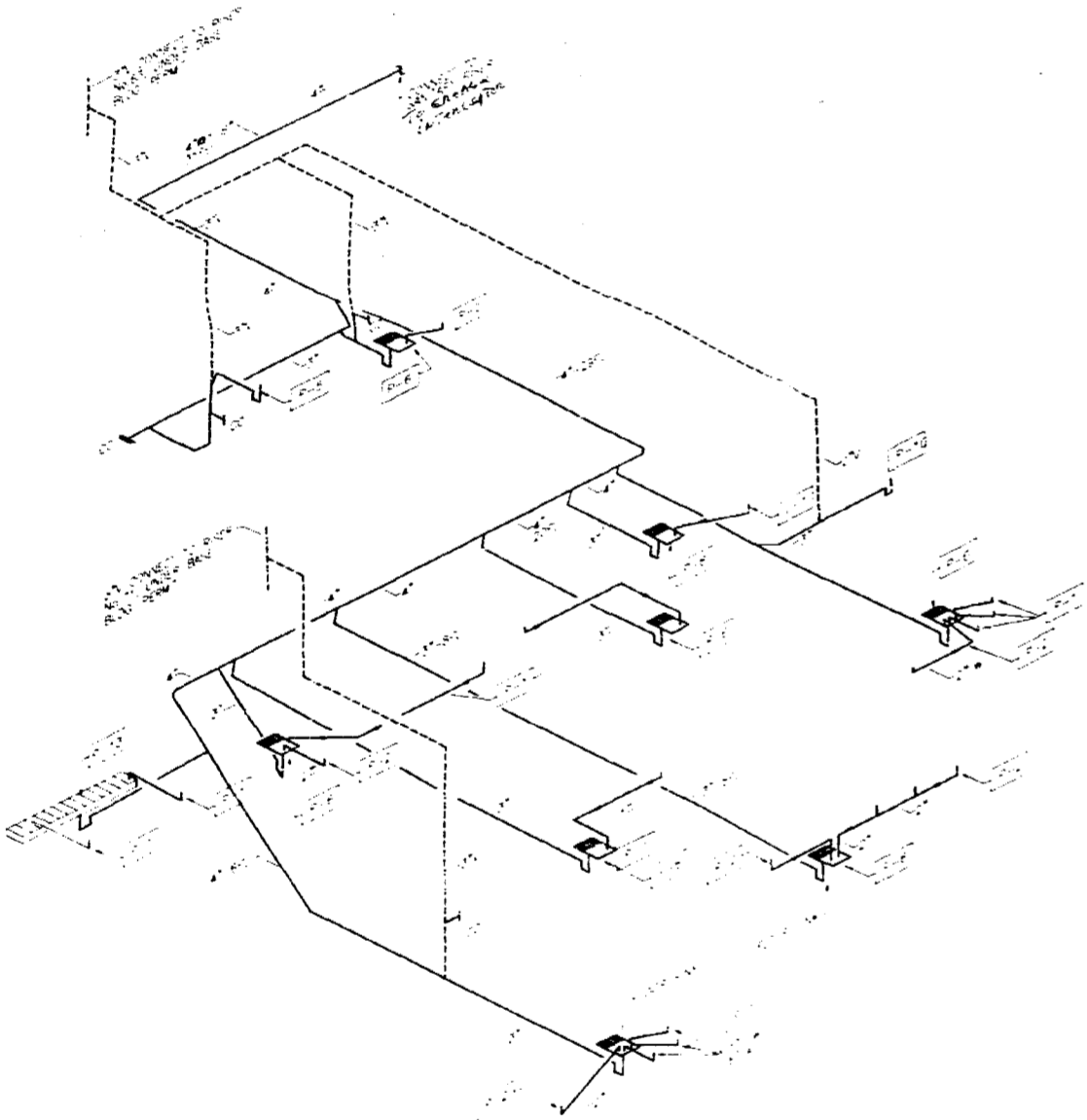
TOWER BAR

PLUMBING SYMBOLS

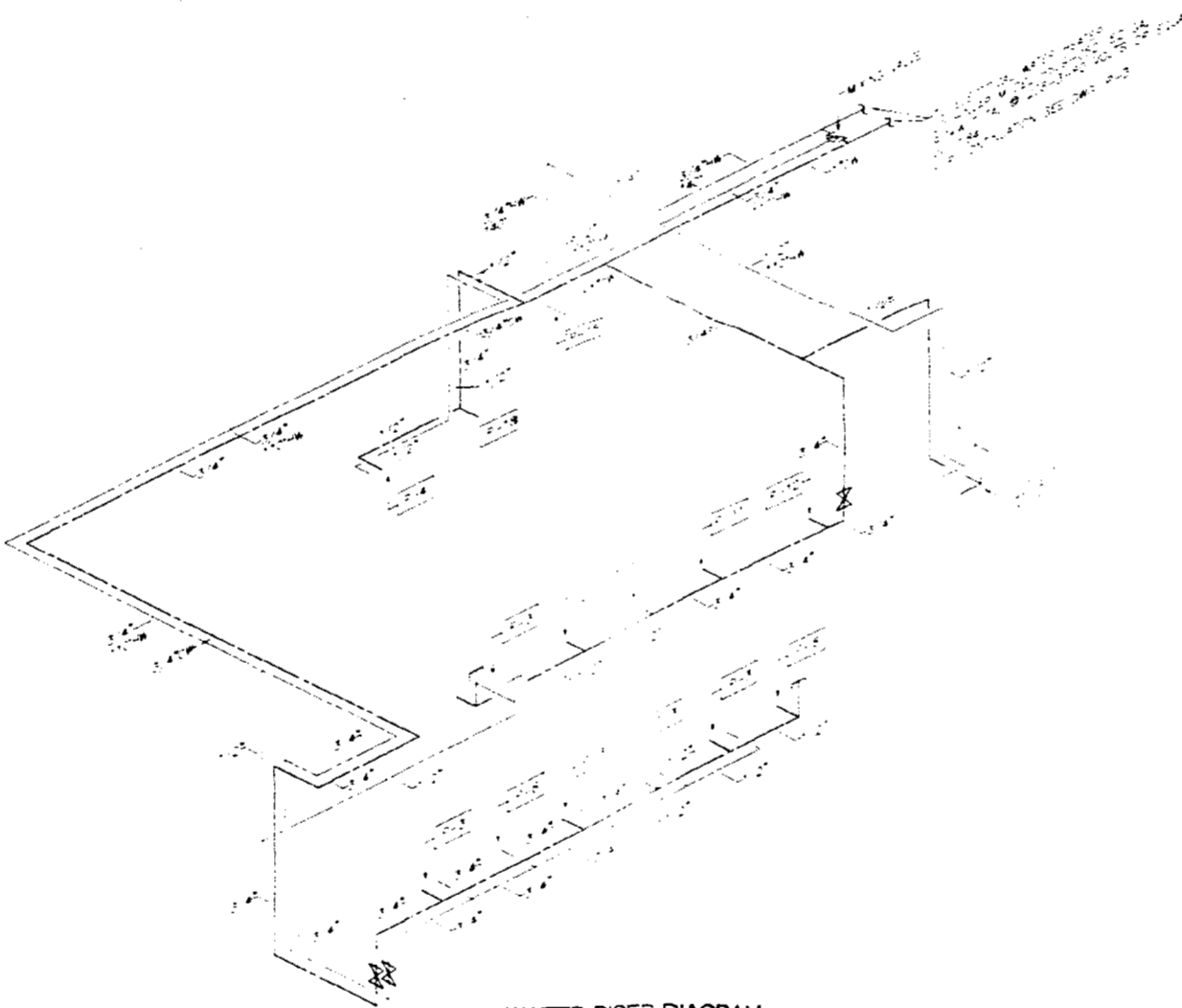
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(Symbol)	(Symbol)
(Symbol)	(Symbol)
(Symbol)	(Symbol)

PLUMBING CONNECTIONS SCHEDULE

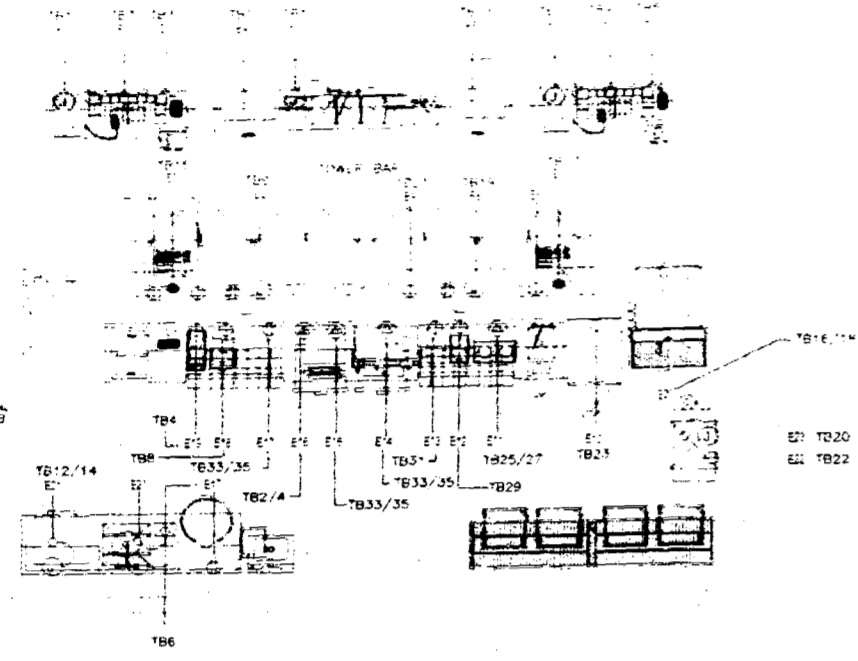
NO.	DESCRIPTION	QTY	UNIT
1	1/2" GALV. STEEL DWV	100	FT.
2	1/2" GALV. STEEL DWV	100	FT.
3	3/4" GALV. STEEL DWV	100	FT.
4	1" GALV. STEEL DWV	100	FT.
5	1 1/2" GALV. STEEL DWV	100	FT.
6	2" GALV. STEEL DWV	100	FT.
7	3" GALV. STEEL DWV	100	FT.
8	4" GALV. STEEL DWV	100	FT.
9	1/2" GALV. STEEL DWV	100	FT.
10	3/4" GALV. STEEL DWV	100	FT.
11	1" GALV. STEEL DWV	100	FT.
12	1 1/2" GALV. STEEL DWV	100	FT.
13	2" GALV. STEEL DWV	100	FT.
14	3" GALV. STEEL DWV	100	FT.
15	4" GALV. STEEL DWV	100	FT.
16	1/2" GALV. STEEL DWV	100	FT.
17	3/4" GALV. STEEL DWV	100	FT.
18	1" GALV. STEEL DWV	100	FT.
19	1 1/2" GALV. STEEL DWV	100	FT.
20	2" GALV. STEEL DWV	100	FT.
21	3" GALV. STEEL DWV	100	FT.
22	4" GALV. STEEL DWV	100	FT.
23	1/2" GALV. STEEL DWV	100	FT.
24	3/4" GALV. STEEL DWV	100	FT.
25	1" GALV. STEEL DWV	100	FT.
26	1 1/2" GALV. STEEL DWV	100	FT.
27	2" GALV. STEEL DWV	100	FT.
28	3" GALV. STEEL DWV	100	FT.
29	4" GALV. STEEL DWV	100	FT.
30	1/2" GALV. STEEL DWV	100	FT.
31	3/4" GALV. STEEL DWV	100	FT.
32	1" GALV. STEEL DWV	100	FT.
33	1 1/2" GALV. STEEL DWV	100	FT.
34	2" GALV. STEEL DWV	100	FT.
35	3" GALV. STEEL DWV	100	FT.
36	4" GALV. STEEL DWV	100	FT.



SANITARY RISER DIAGRAM
TOWER BAR



WATER RISER DIAGRAM
TOWER BAR



TOWER BAR EQUIPMENT PLAN
SCALE 1/4" = 1'-0"

NAME & CONNECTION	ITEM NO.	RATING	VOLTS	PHASE	CODE	AMOUNT
E17 1/2 HP MOTOR	17	40 A	120	1	BL	1
E18 1/2 HP MOTOR	18	40 A	120	1	BL	1
E19 1/2 HP MOTOR	19	40 A	120	1	BL	1
E20 1/2 HP MOTOR	20	40 A	120	1	BL	1
E21 1/2 HP MOTOR	21	40 A	120	1	BL	1
E22 1/2 HP MOTOR	22	40 A	120	1	BL	1
E23 1/2 HP MOTOR	23	40 A	120	1	BL	1
E24 1/2 HP MOTOR	24	40 A	120	1	BL	1
E25 1/2 HP MOTOR	25	40 A	120	1	BL	1
E26 1/2 HP MOTOR	26	40 A	120	1	BL	1

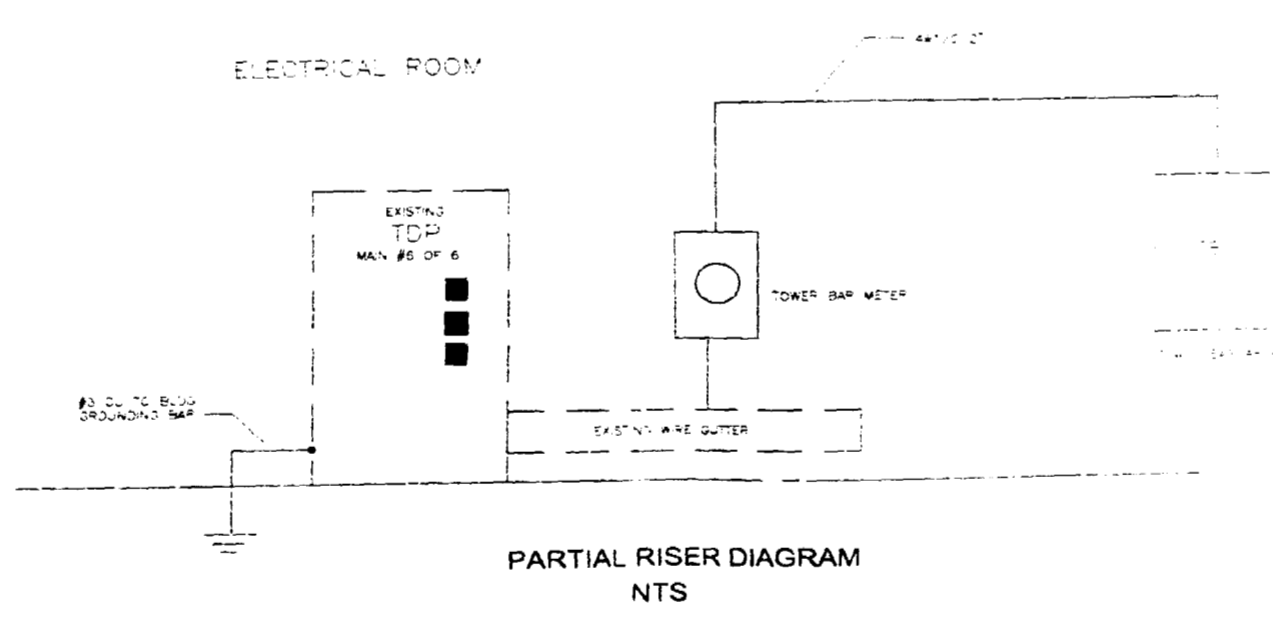
NOTES

- 1. ALL LIGHT FIXTURES A FOOD SERVICE AREAS SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).
- 2. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).
- 3. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).
- 4. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).
- 5. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).

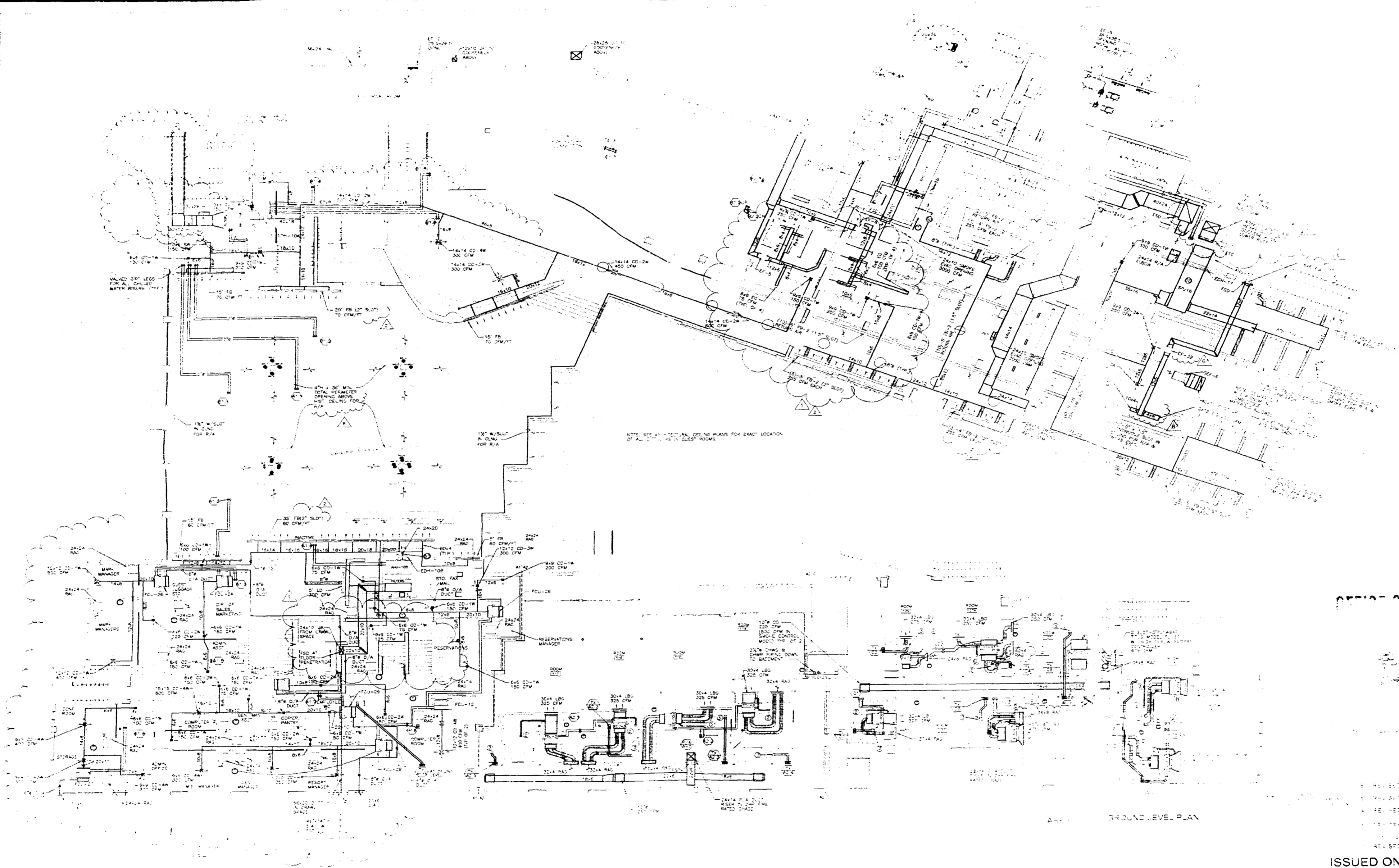
ELECTRICAL SYMBOLS

TYPE RECEPTACLE, NEMA 5-20R	SR	
TYPE RECEPTACLE, NEMA 5-20P	SR	
TYPE RECEPTACLE, 208 VP 40C	SR	
TYPE RECEPTACLE	SR	
CONTROL BOX	CB	
TYPE MOTOR OR CONDUIT	MC	
CONDUIT STUD	C	
SWITCH	SW	
MANUALLY OPERATED LIGHT	ML	
RECESSED LIGHT	RL	
PANEL TERMINAL PANEL	TP	
BUILDING POWER PANEL	BPP	
POINT OF CONNECTION ON EQUIPMENT	PC	
COMMUNICATIONS OUTLET	CO	
WATER-PROOF LIGHTS	WPL	
FIRE EXTINGUISHER SUPPRESSION	FS	

PANEL	AMPS	VOLTAGS	CIRCUITS	WIRE	PHASE	MAK./CAT.	MOUNTING	LOCATION	CATALOG NUMBER
TD	200	120/208	42	4	3	LUIGS ONLY	SURF	TOWER BAR	LOAD CENTER
CY	WIRE	COND	CMT	BR					
1	12	1/2"	1	20				3 COMV. OUTLET	2700
2	12	1/2"	1	20				3 COMV. OUTLET	360
3	12	1/2"	1	20				3 COMV. OUTLET	600
4	12	1/2"	1	20				3 COMV. OUTLET	400
5	12	1/2"	1	20				3 COMV. OUTLET	9500
6	12	1/2"	1	20				3 COMV. OUTLET	1550
7	12	1/2"	1	20				3 COMV. OUTLET	1200
8	12	1/2"	1	20				3 COMV. OUTLET	600
9	12	1/2"	1	20				3 COMV. OUTLET	9000
10	12	1/2"	1	20				3 COMV. OUTLET	
11	12	1/2"	1	20				3 COMV. OUTLET	
12	12	1/2"	1	20				3 COMV. OUTLET	
13	12	1/2"	1	20				3 COMV. OUTLET	
14	12	1/2"	1	20				3 COMV. OUTLET	
15	12	1/2"	1	20				3 COMV. OUTLET	
16	12	1/2"	1	20				3 COMV. OUTLET	
17	12	1/2"	1	20				3 COMV. OUTLET	
18	12	1/2"	1	20				3 COMV. OUTLET	
19	12	1/2"	1	20				3 COMV. OUTLET	
20	12	1/2"	1	20				3 COMV. OUTLET	
21	12	1/2"	1	20				3 COMV. OUTLET	
22	12	1/2"	1	20				3 COMV. OUTLET	
23	12	1/2"	1	20				3 COMV. OUTLET	
24	12	1/2"	1	20				3 COMV. OUTLET	
25	12	1/2"	1	20				3 COMV. OUTLET	
26	12	1/2"	1	20				3 COMV. OUTLET	
27	12	1/2"	1	20				3 COMV. OUTLET	
28	12	1/2"	1	20				3 COMV. OUTLET	
29	12	1/2"	1	20				3 COMV. OUTLET	
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34	12	1/2"	1	20				3 COMV. OUTLET	
35	12	1/2"	1	20				3 COMV. OUTLET	
36	12	1/2"	1	20				3 COMV. OUTLET	
37	12	1/2"	1	20				3 COMV. OUTLET	
38	12	1/2"	1	20				3 COMV. OUTLET	
39	12	1/2"	1	20				3 COMV. OUTLET	
40	12	1/2"	1	20				3 COMV. OUTLET	
41	12	1/2"	1	20				3 COMV. OUTLET	
42	12	1/2"	1	20				3 COMV. OUTLET	
TOTAL									20712



PANEL	AMPS	VOLTAGS	CIRCUITS	WIRE	PHASE	MAK./CAT.	MOUNTING	LOCATION	CATALOG NUMBER
TD	200	120/208	42	4	3	LUIGS ONLY	SURF	TOWER BAR	LOAD CENTER



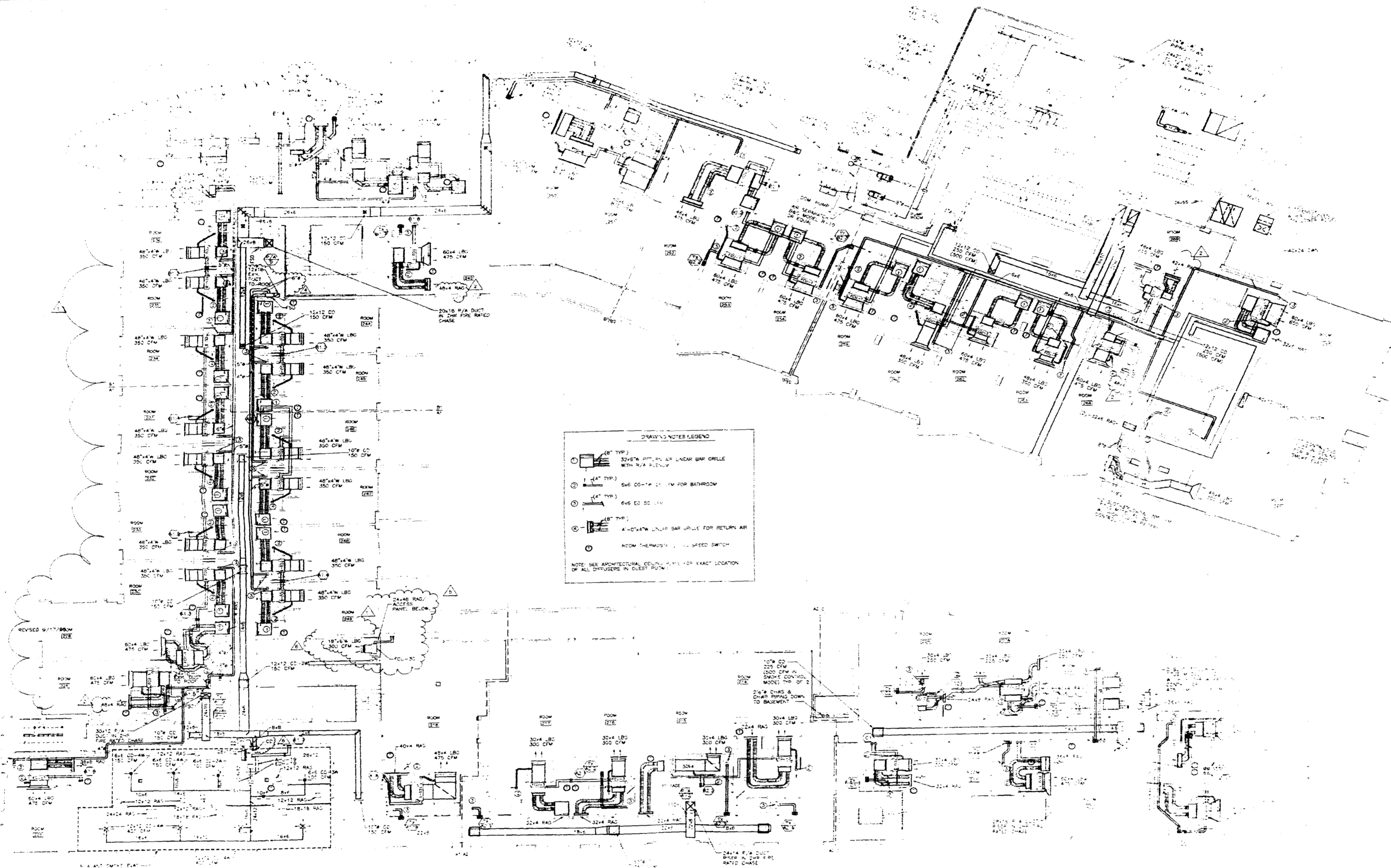
SHORE CLUB MIAMI BEACH FLORIDA

OFFICE COPY

ISSUED ON 07-30-99

AC 2

00349



DRAWING NOTES LEGEND

- 1 (18" TYP.) 30x36" RTN. AIR LINEAR BAR GRILLE WITH R/A BLEND
- 2 (14" TYP.) 6x6 CO-1A 12" TM FOR BATHROOM
- 3 (14" TYP.) 6x6 EO 50 12"
- 4 (18" TYP.) 4-10x14" LINEAR BAR GRILLE FOR RETURN AIR
- 5 ROOM THERMOSTAT 1/2" SPEED SWITCH

NOTE: SEE ARCHITECTURAL CEILING PLANS FOR EXACT LOCATION OF ALL DIFFUSERS IN GUEST POINTS

SHORE CLUB MIAMI BEACH FLORIDA

ALBERT S. B...
 ENGINEER
 MECHANICAL ENGINEER
 1400 BAYVIEW BLVD.
 MIAMI BEACH, FLORIDA

AREAS - NO LEVEL PLAN

ISSUED ON 07-30-99

AC 3

OVERLINE HVAC SPECIFICATIONS

1. ALL WORK SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE, FEDERAL, COUNTY AND MUNICIPAL ORDINANCES GOVERNING THE INSTALLATION OF MECHANICAL AND ELECTRICAL SYSTEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, FEDERAL, COUNTY AND MUNICIPAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, FEDERAL, COUNTY AND MUNICIPAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, FEDERAL, COUNTY AND MUNICIPAL AUTHORITIES.

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4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, FEDERAL, COUNTY AND MUNICIPAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, FEDERAL, COUNTY AND MUNICIPAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, FEDERAL, COUNTY AND MUNICIPAL AUTHORITIES.

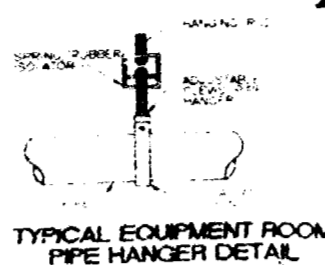
NOTES AND DETAILS

1. ALL DUCT SIZES ARE CLEAR INSIDE DIMENSIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, FEDERAL, COUNTY AND MUNICIPAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, FEDERAL, COUNTY AND MUNICIPAL AUTHORITIES.

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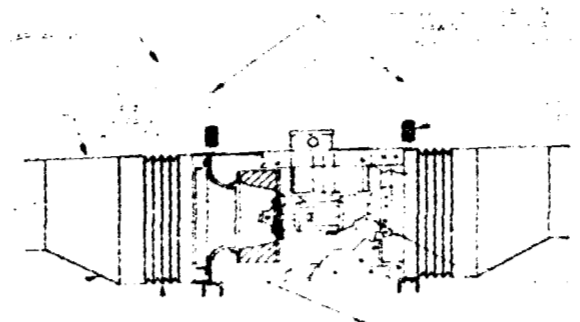
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TYPICAL EQUIPMENT ROOM PIPE HANGER DETAIL

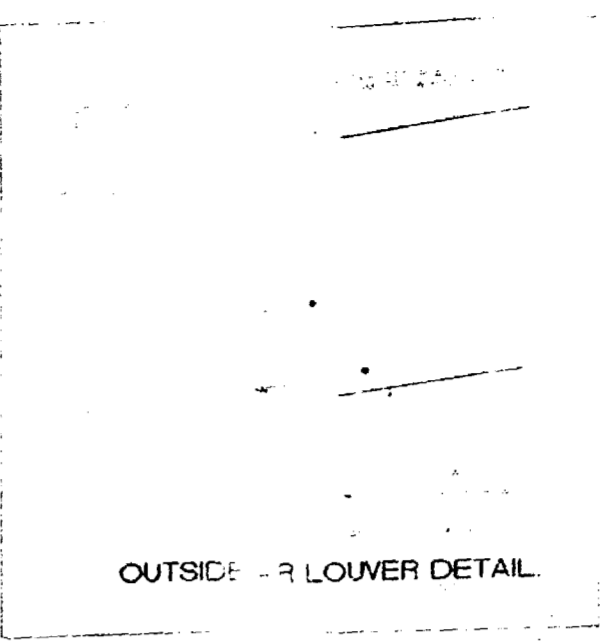
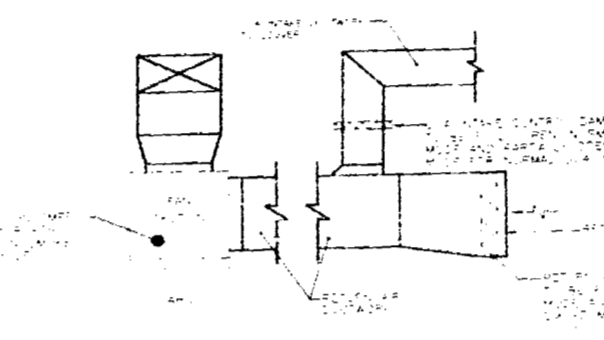


TYPICAL PIPE HANGER DETAIL



IN-LINE FAN DETAIL

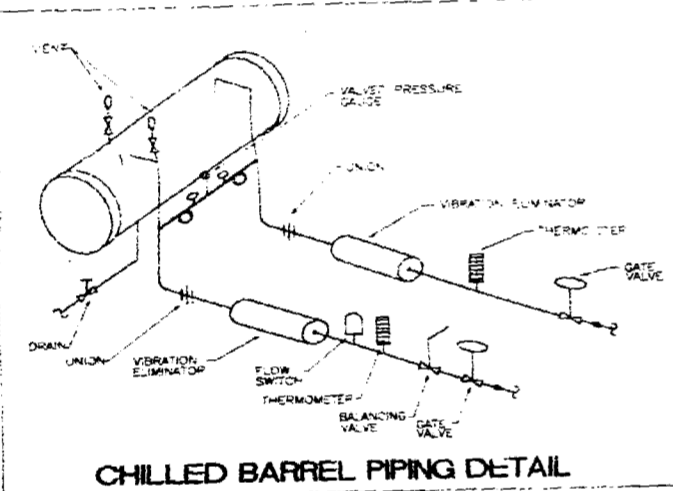
COMMON AREA A/C UNIT RETURN AIR AND SMOKE CONTROL DUCTING DIAGRAM



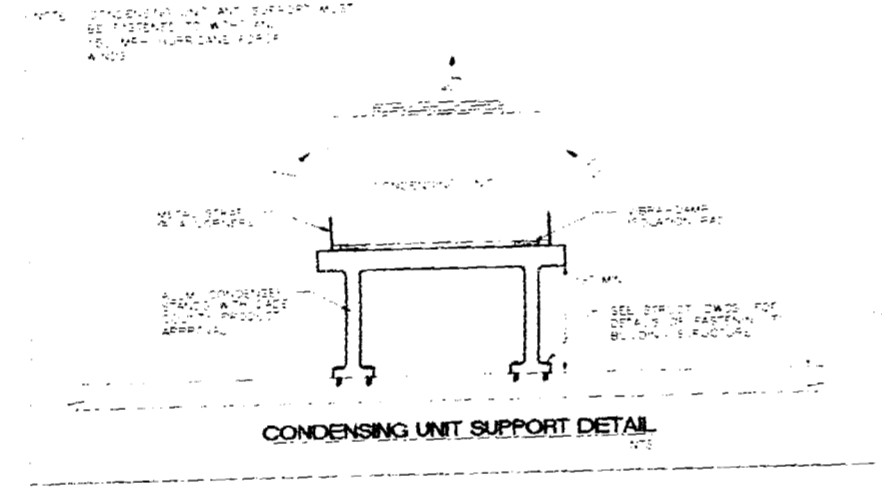
OUTSIDE AIR LOWER DETAIL

EXCERPTS

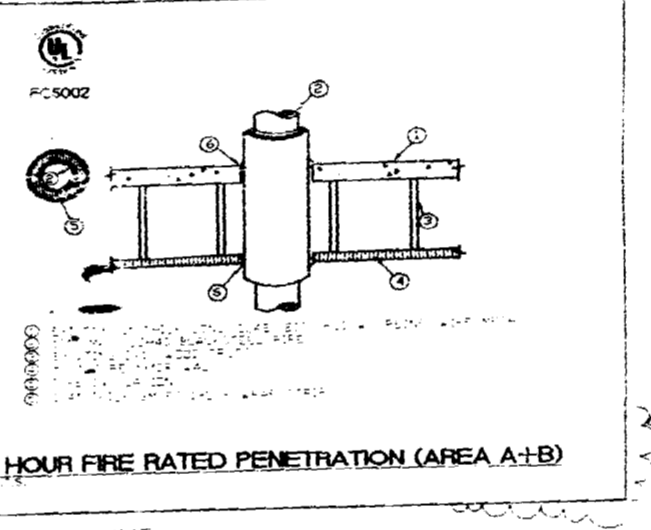
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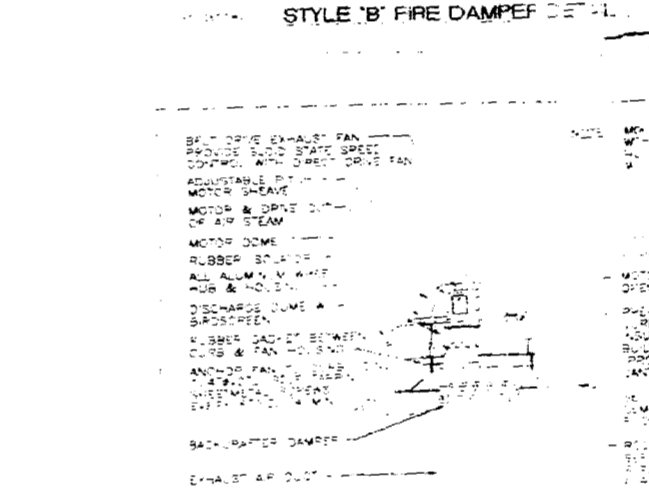
CHILLED BARREL PIPING DETAIL



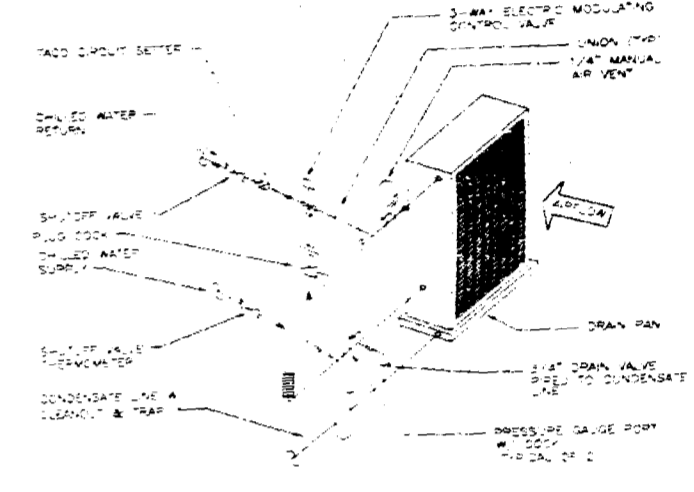
CONDENSING UNIT SUPPORT DETAIL



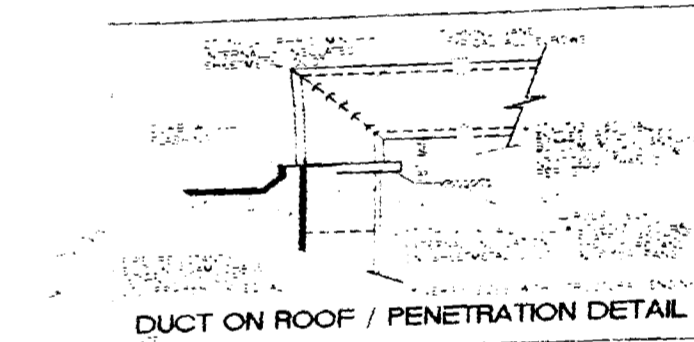
1 HOUR FIRE RATED PENETRATION (AREA A+B)



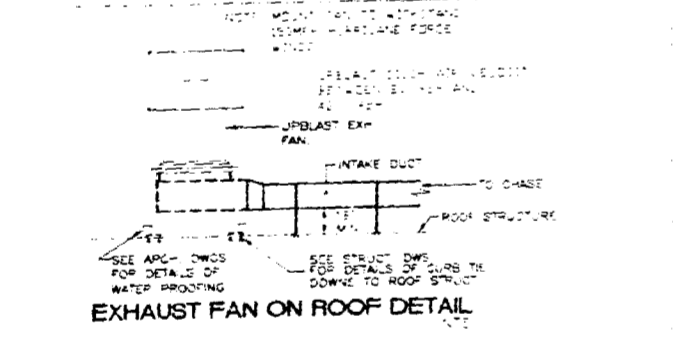
STYLE 'B' FIRE DAMPER DETAIL



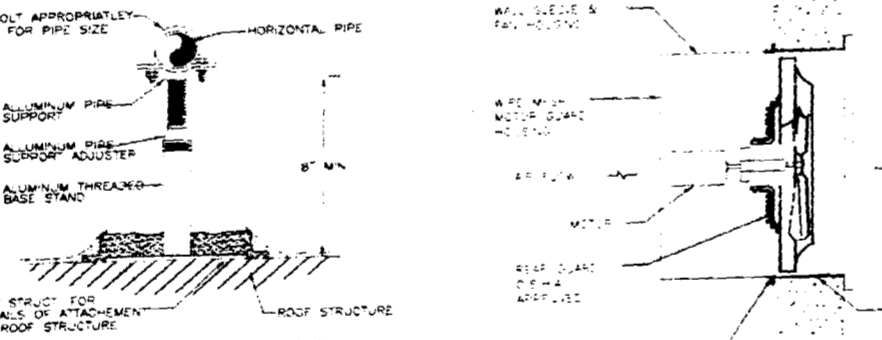
AHU / FCU PIPING DIAGRAM



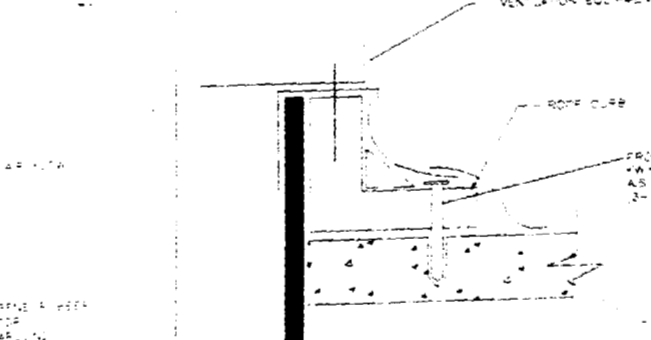
DUCT ON ROOF / PENETRATION DETAIL



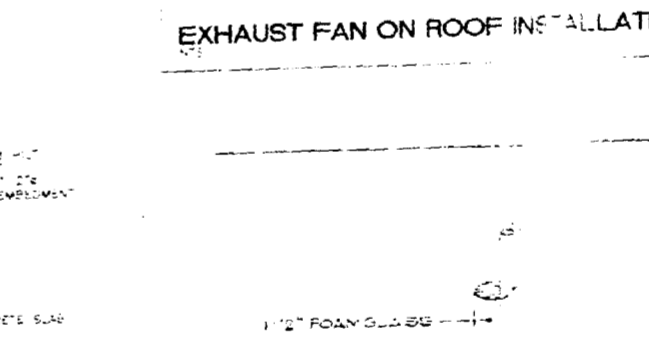
EXHAUST FAN ON ROOF DETAIL



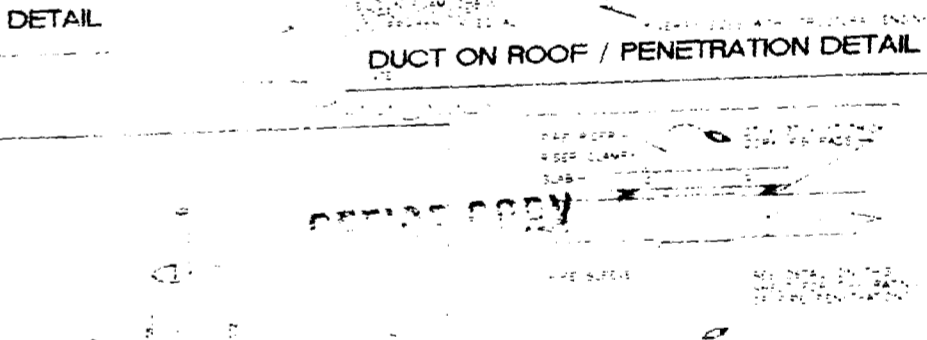
ROOF PIPE SUPPORT DETAIL



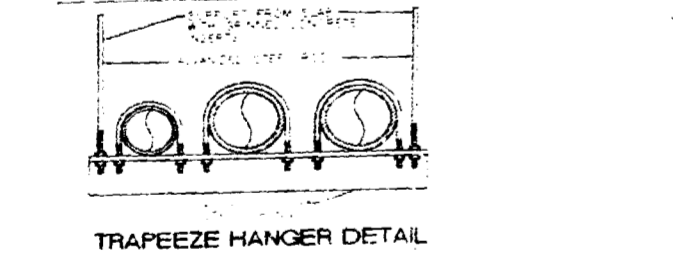
WALL PROP FAN DETAIL



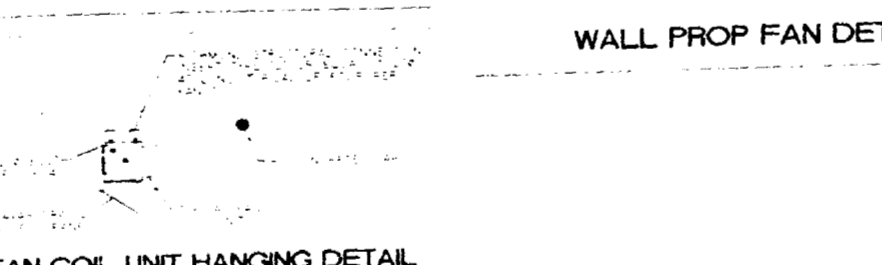
CURB ANCHORING DETAIL



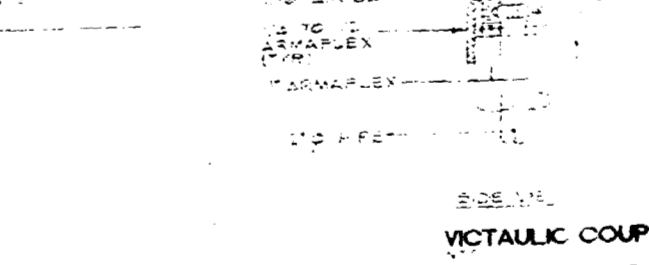
EXHAUST FAN ON ROOF INSTALLATION DETAIL



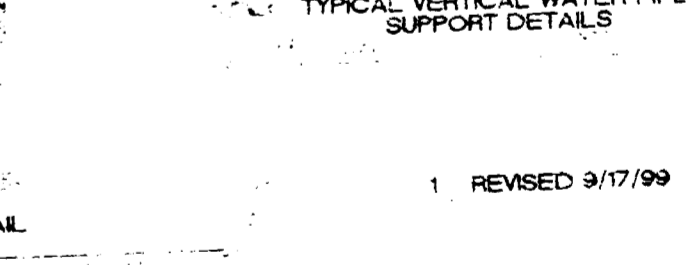
TRAPEZOID HANGER DETAIL



FAN COIL UNIT HANGING DETAIL



VICTAULIC COUPLING INSULATION DETAIL



TYPICAL VERTICAL WATER PIPE SUPPORT DETAILS

NOTES AND DETAILS

1. ALL DUCT SIZES ARE CLEAR INSIDE DIMENSIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, FEDERAL, COUNTY AND MUNICIPAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, FEDERAL, COUNTY AND MUNICIPAL AUTHORITIES.

SHORE CLUB MIAMI BEACH FLORIDA

REVISED 9/17/99

