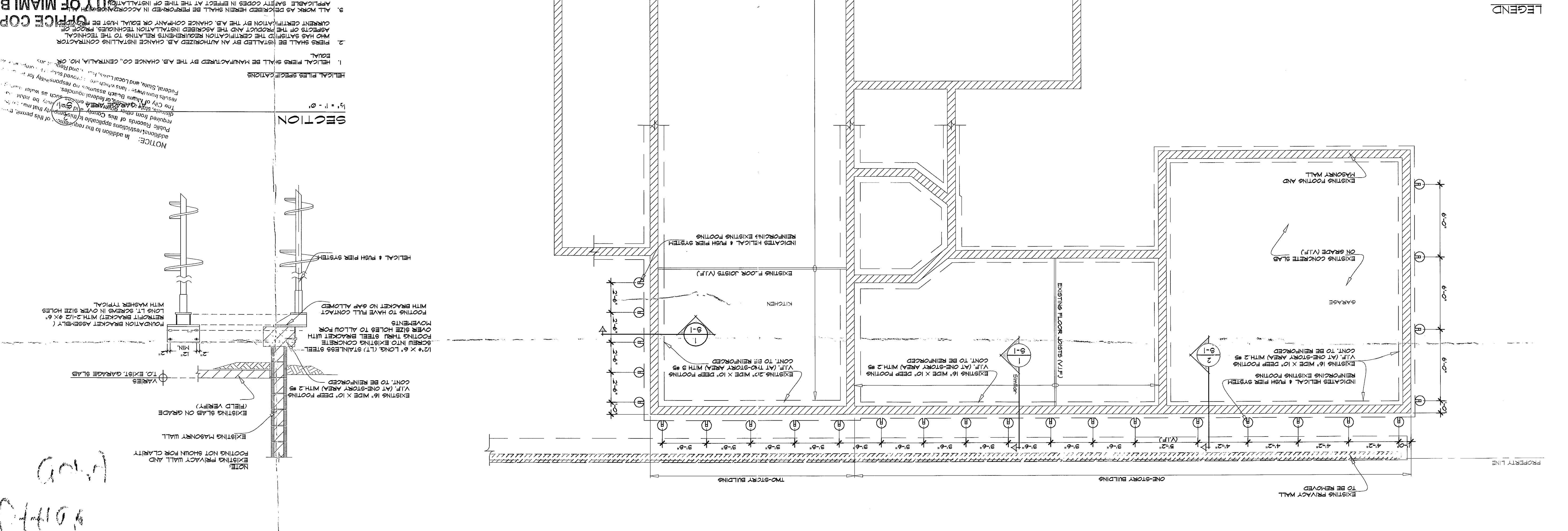
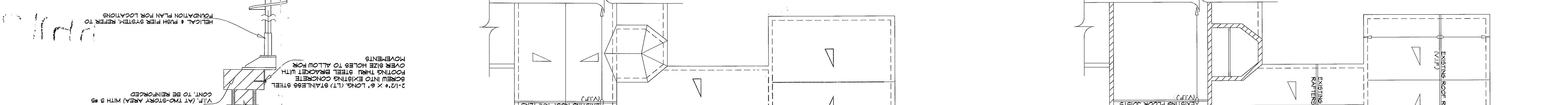


LEGEND

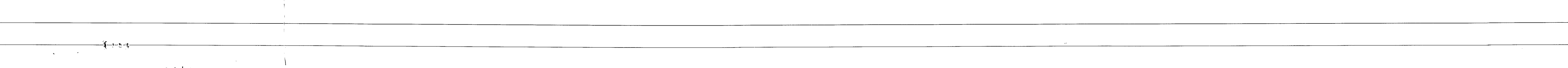
- ① INDICATES EXISTING STRUCTURE TO REMAIN
- ② INDICATES STRUCTURE TO BE REMOVED
- ③ HELICAL & PUSH PIER SYSTEM WITH 12 TON COMPRESSION CAPACITY



EXISTING FOUNDATION PLAN
SCALE: 1/2" = 1'-0"



PARTIAL EXISTING SECOND FL & LOW ROOF FRAMING PLANS
SCALE: 1/8" = 1'-0"



PARTIAL EXISTING ROOF FRAMING PLAN
SCALE: 1/8" = 1'-0"

SECTION

1. HELICAL PIERS SHALL BE MANUFACTURED BY THE A.B. CHANCE CO., CENTRALIA, MO. OR EQUAL.

2. PIERS SHALL BE INSTALLED BY AN AUTHORIZED A.B. CHANCE INSTALLING CONTRACTOR WHO HAS OBTAINED THE CERTIFICATION RELATING TO THE TECHNICAL ASPECTS OF THE PRODUCT AND THE RELEVANT INSTALLATION TECHNIQUES FROM A CURRENT CERTIFICATION BY THE A.B. CHANCE COMPANY OR EQUAL MUST BE INSTALLED IN ACCORDANCE WITH THE A.B. CHANCE COMPANY'S A.B. CHANCE SYSTEM INSTALLATION MANUAL (MAY 2014 EDITION) OR LATEST REVISION THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULTS OF THESE FIELD VERIFICATION TESTS AND SHALL MAINTAIN RECORDS OF ALL FIELD VERIFICATION TESTS AND RECORDS OF ALL FIELD VERIFICATION TESTS. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FIELD VERIFICATION TESTS AND RECORDS OF ALL FIELD VERIFICATION TESTS.

3. ALL WORK AS DESCRIBED HEREIN SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF MIAMI, FLORIDA CODES IN EFFECT AT THE TIME OF INSTALLATION AND APPLICABLE SAFETY CODES IN EFFECT AT THE TIME OF INSTALLATION.

4. HELICAL PIERS AS SPECIFIED SHALL CONFORM TO FCC 2007 APPROVED FOR PERMIT BY THE CITY OF MIAMI BEACH.

7801 ATLANTIC WAY
MIAMI BEACH, FL 33141-2120

SECTION

NOTE: EXISTING PRIVATE WALL AND FOOTING NOT SHOWN FOR CLARITY.

EXISTING MASONRY WALL

EXISTING STEM WALL

EXISTING 20" WIDE X 10" DEEP FOOTING V.I.F. (AT TWO-STORY AREA) WITH 2 #5 CONT. TO BE REINFORCED.

2-1/2" X 6" LONG (L1) STAINLESS STEEL SCREW INTO EXISTING CONCRETE FOOTING THROUGH STEEL BRACKET WITH OVER SIZE HOLES TO ALLOW FOR MOVEMENTS.

FOUNDATION PLAN FOR LOCATIONS

HELICAL & PUSH PIER SYSTEM, REFER TO FOUNDATION PLAN FOR LOCATIONS.

2727 S.W. 8TH ST
CORAL GABLES, FL 33134
(305) 442-2006
WWW.EASTSHORE.net
EASTSHORE INT CORP
License No. AAC001808

LUIS JARAEGUI
LIC. AR 12124
IGNACIO J. ZABALETA
LIC. AR 12101

EASTSHORE ARCHITECTS

7801 ATLANTIC WAY
MIAMI BEACH, FL 33141-2120

SECTION

1/2" = 1'-0"

EXISTING MASONRY WALL

EXISTING SLAB ON GRADE (FIELD VERIFY)

EXISTING 16" WIDE X 10" DEEP FOOTING V.I.F. (AT ONE-STORY AREA) WITH 2 #5 CONT. TO BE REINFORCED.

1/2" X 6" LONG (L1) STAINLESS STEEL SCREW INTO EXISTING CONCRETE FOOTING THROUGH STEEL BRACKET WITH OVER SIZE HOLES TO ALLOW FOR MOVEMENTS.

FOUNDATION BRACKET ASSEMBLY (MESH W/ BRACKET) WITH 2-1/2" X 6" LONG L.T. SCREWS IN OVER SIZE HOLES WITH WASHER TYPICAL.

HELICAL & PUSH PIER SYSTEM

NOTE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES, AND STANDARDS APPLY TO THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL APPLICABLE REGULATIONS, ORDINANCES, AND STANDARDS. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FIELD VERIFICATION TESTS AND RECORDS OF ALL FIELD VERIFICATION TESTS.

7801 ATLANTIC WAY
MIAMI BEACH, FL 33141-2120

MRS. GERALDINE CHAVEZ
7801 ATLANTIC WAY
MIAMI BEACH, FL 33141-2120

REMEDIAL STRUCTURAL WORK FOR:
MRS. GERALDINE CHAVEZ

SECTION

1/2" = 1'-0"

HELICAL PIERS SPECIFICATIONS

1. HELICAL PIERS SHALL BE MANUFACTURED BY THE A.B. CHANCE CO., CENTRALIA, MO. OR EQUAL.

2. PIERS SHALL BE INSTALLED BY AN AUTHORIZED A.B. CHANCE INSTALLING CONTRACTOR WHO HAS OBTAINED THE CERTIFICATION RELATING TO THE TECHNICAL ASPECTS OF THE PRODUCT AND THE RELEVANT INSTALLATION TECHNIQUES FROM A CURRENT CERTIFICATION BY THE A.B. CHANCE COMPANY OR EQUAL MUST BE INSTALLED IN ACCORDANCE WITH THE A.B. CHANCE COMPANY'S A.B. CHANCE SYSTEM INSTALLATION MANUAL (MAY 2014 EDITION) OR LATEST REVISION THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULTS OF THESE FIELD VERIFICATION TESTS AND SHALL MAINTAIN RECORDS OF ALL FIELD VERIFICATION TESTS AND RECORDS OF ALL FIELD VERIFICATION TESTS.

3. ALL WORK AS DESCRIBED HEREIN SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF MIAMI, FLORIDA CODES IN EFFECT AT THE TIME OF INSTALLATION AND APPLICABLE SAFETY CODES IN EFFECT AT THE TIME OF INSTALLATION.

4. HELICAL PIERS AS SPECIFIED SHALL CONFORM TO FCC 2007 APPROVED FOR PERMIT BY THE CITY OF MIAMI BEACH.

7801 ATLANTIC WAY
MIAMI BEACH, FL 33141-2120

MRS. GERALDINE CHAVEZ
7801 ATLANTIC WAY
MIAMI BEACH, FL 33141-2120

REMEDIAL STRUCTURAL WORK FOR:
MRS. GERALDINE CHAVEZ

SECTION

1/2" = 1'-0"

HELICAL PIERS SPECIFICATIONS

1. HELICAL PIERS SHALL BE MANUFACTURED BY THE A.B. CHANCE CO., CENTRALIA, MO. OR EQUAL.

2. PIERS SHALL BE INSTALLED BY AN AUTHORIZED A.B. CHANCE INSTALLING CONTRACTOR WHO HAS OBTAINED THE CERTIFICATION RELATING TO THE TECHNICAL ASPECTS OF THE PRODUCT AND THE RELEVANT INSTALLATION TECHNIQUES FROM A CURRENT CERTIFICATION BY THE A.B. CHANCE COMPANY OR EQUAL MUST BE INSTALLED IN ACCORDANCE WITH THE A.B. CHANCE COMPANY'S A.B. CHANCE SYSTEM INSTALLATION MANUAL (MAY 2014 EDITION) OR LATEST REVISION THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULTS OF THESE FIELD VERIFICATION TESTS AND SHALL MAINTAIN RECORDS OF ALL FIELD VERIFICATION TESTS AND RECORDS OF ALL FIELD VERIFICATION TESTS.

3. ALL WORK AS DESCRIBED HEREIN SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF MIAMI, FLORIDA CODES IN EFFECT AT THE TIME OF INSTALLATION AND APPLICABLE SAFETY CODES IN EFFECT AT THE TIME OF INSTALLATION.

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7801 ATLANTIC WAY
MIAMI BEACH, FL 33141-2120

MRS. GERALDINE CHAVEZ
7801 ATLANTIC WAY
MIAMI BEACH, FL 33141-2120

REMEDIAL STRUCTURAL WORK FOR:
MRS. GERALDINE CHAVEZ

S-1

COORDINATION NOTE

FOUNDATION SETTLEMENT AS PER P.E. GROUP REPORT

APPROVED FOR PERMIT BY THE CITY OF MIAMI BEACH.

MRS. GERALDINE CHAVEZ
7801 ATLANTIC WAY
MIAMI BEACH, FL 33141-2120

PROBLEM

FOUNDATION SETTLEMENT AS PER P.E. GROUP REPORT

SOLUTION:

APPROPRIATE HELICAL PIER SELECTION WILL CONSIDER DESIGN FACTOR, SOIL PARAMETERS AND THE INSTALLATION TORQUE OF EXISTING FOUNDATION. HELICAL PILES SHALL BE MANUFACTURED BY A.B. CHANCE CO., CENTRALIA, MO. OR EQUAL. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF MIAMI, FLORIDA CODES IN EFFECT AT THE TIME OF INSTALLATION AND APPLICABLE SAFETY CODES IN EFFECT AT THE TIME OF INSTALLATION.

PLUMBING:

INSTALLATION EQUIPMENT SHALL CONSIST OF ROTARY-TYPE PUMP AND REVERSE CAPABILITIES THAT CAN ACHIEVE THE REQUIRED TORQUE FOR ALL OPERATIONS.

ALL PIPES MUST BE CORROSION PROTECTED WITH HOT-DIP GALVANNEALING IN ACCORDANCE WITH THE CITY OF MIAMI, FLORIDA CODES IN EFFECT AT THE TIME OF INSTALLATION AND APPLICABLE SAFETY CODES IN EFFECT AT THE TIME OF INSTALLATION.

MECHANICAL:

HELICAL PIERS SHALL BE INSTALLED TO THE MINIMUM TORQUE REQUIRED TO PROVIDE THE LOAD CAPACITY & TORQUE SPECIFIED IN THE ARCHITECTURAL DRAWINGS (DON'T PROCEED WITH WORK UNLESS ALL DIMENSIONS & DIMENSIONS HAVE BEEN CHECKED AND VERIFIED WITH ARCHITECTURAL DRAWINGS).

GENERAL CONTRACTOR TO COORDINATE ALL VERTICAL AND HORIZONTAL DIMENSIONS AND ALL MATERIALS AND FINISHES WITH ARCHITECT DRAWINGS (DON'T PROCEED WITH WORK UNLESS ALL DIMENSIONS & DIMENSIONS HAVE BEEN CHECKED AND VERIFIED WITH ARCHITECTURAL DRAWINGS).

STRUCTURAL:

ELEVATION AS PER THE MANUFACTURER'S RECOMMENDATIONS.

APPROPRIATE HELICAL PIER SELECTION WILL CONSIDER DESIGN FACTOR, SOIL PARAMETERS AND THE INSTALLATION TORQUE OF EXISTING FOUNDATION. HELICAL PILES SHALL BE MANUFACTURED BY A.B. CHANCE CO., CENTRALIA, MO. OR EQUAL. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF MIAMI, FLORIDA CODES IN EFFECT AT THE TIME OF INSTALLATION AND APPLICABLE SAFETY CODES IN EFFECT AT THE TIME OF INSTALLATION.

FLOOD:

APPROPRIATE HELICAL PIER SELECTION WILL CONSIDER DESIGN FACTOR, SOIL PARAMETERS AND THE INSTALLATION TORQUE OF EXISTING FOUNDATION. HELICAL PILES SHALL BE MANUFACTURED BY A.B. CHANCE CO., CENTRALIA, MO. OR EQUAL. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF MIAMI, FLORIDA CODES IN EFFECT AT THE TIME OF INSTALLATION AND APPLICABLE SAFETY CODES IN EFFECT AT THE TIME OF INSTALLATION.

PERMIT:

APPROVED FOR PERMIT BY THE CITY OF MIAMI BEACH.

MRS. GERALDINE CHAVEZ
7801 ATLANTIC WAY
MIAMI BEACH, FL 33141-2120

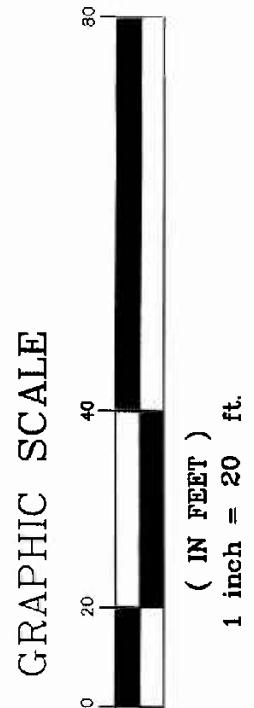
PERMIT:

APPROVED FOR PERMIT BY THE CITY OF MIAMI BEACH.

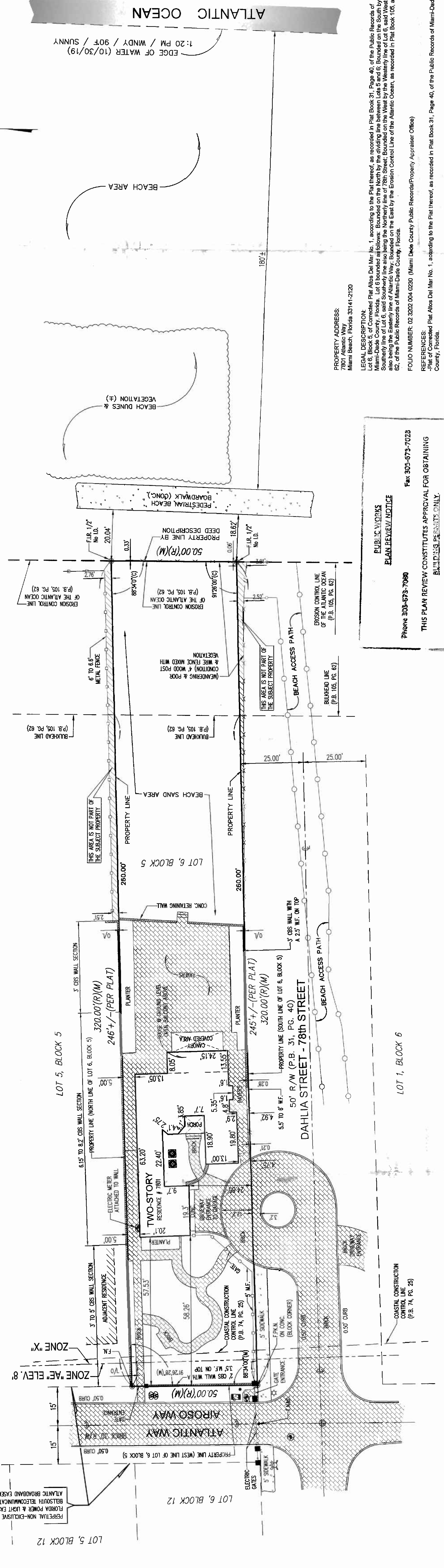
MRS. GERALDINE CHAVEZ
7801 ATLANTIC WAY
MIAMI BEACH, FL 33141-2120

SKETCH OF BOUNDARY SURVEY

BR 1903759



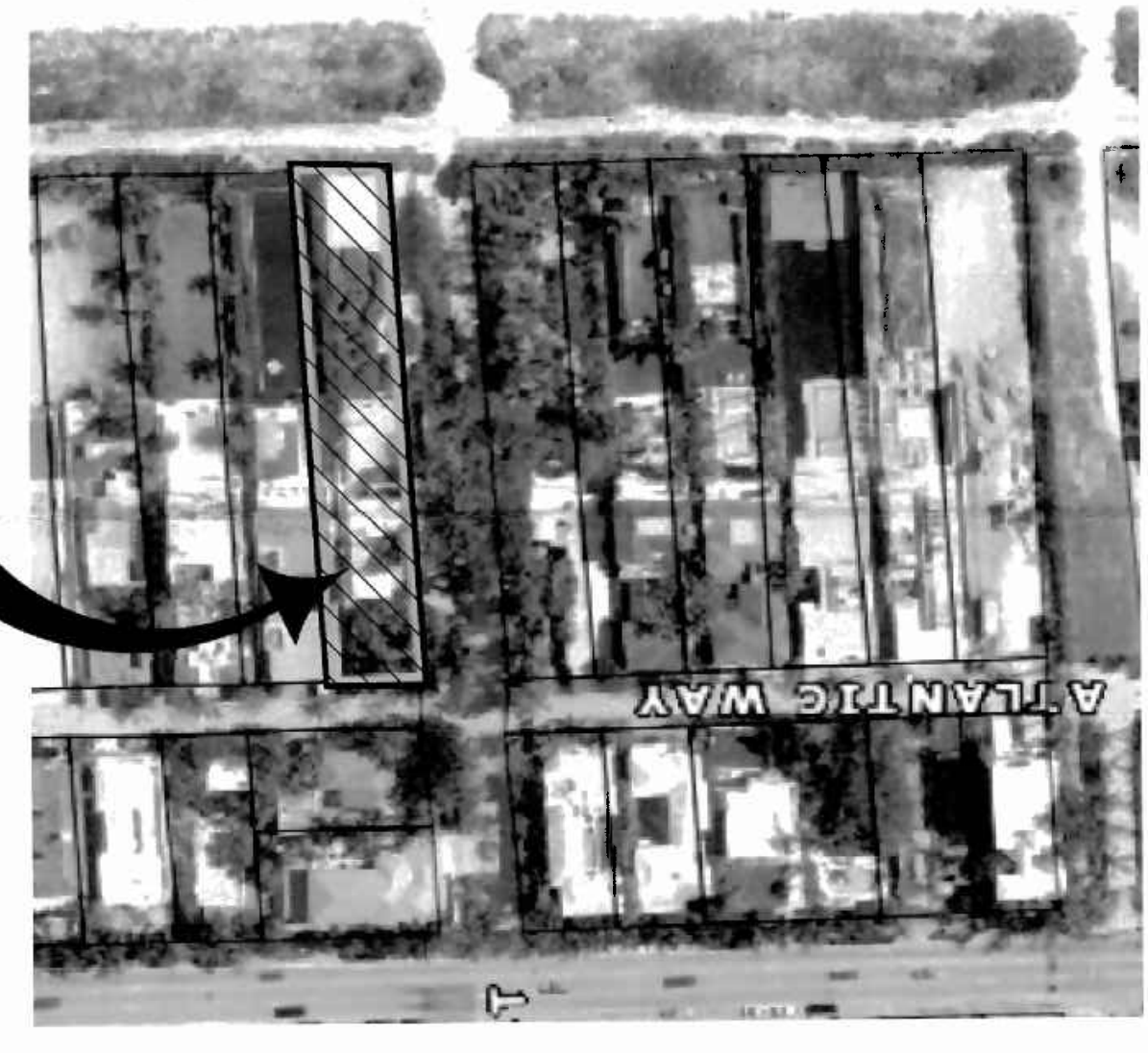
(SEE PAGE 2 OF 2 FOR ELEVATIONS)



City of Miami Beach
 Environment & Sustainability
 Approved Plans
 By: *[Signature]* Date: 11/16/20

PUBLIC WORKS PLAN REVIEW NOTICE
 PHONE 305-673-7980 FAX 305-673-7023
 THIS PLAN REVIEW CONSTITUTES APPROVAL FOR OBTAINING BUILDING PERMITS ONLY.
 -All work, materials and equipment are to be retained within private property.
 -All construction and/or use of equipment in the Right of Way and/or easements will require a separate Public Works Department permit prior to construction.
 -Prior to start any excavation in the right of way, you must contact Suncoke State One Call of Florida (1-800-432-4770) no later than 48 hours prior to the excavation; you cannot start the work if the utilities have not been located at the job site.
 The height of the existing walls and fences as shown on this survey drawing were taken from the trade of the subject property.
 Elevations taken in the sand area of the subject property can fluctuate due to erosion, weather elements like wind, waves, etc.
 In some instances graphic representations have been exaggerated to more clearly illustrate the relationship between physical improvements and the dimensions shown on this drawing. All dimensions shown on this drawing are in feet unless otherwise noted.
 The dimensions and directions shown hereon are in substantial agreement with the legal description and calculated values unless otherwise stated.
 Obstructed property corners are witnessed by improvements.
 There is no visible evidence of any kind of any earth moving or building construction within recent months. Nor is there any other observable evidence of any kind of any earth moving or building construction within recent months.
 There is no observable evidence of recent street or sidewalk construction and or repairs within the Public Right of Way.
 It is unknown to the surveyor if any changes in street right of way lines or additional dedication for road purposes.
 Property is subject to restrictions, conditions, limitations, easements, and reservations of record and existing zoning ordinances.
 There may be restrictions not shown on this survey that may affect the future development of this property. Such restrictions can be found in the Public Records or Building and Zoning Department of Miami-Dade County, Florida and the City of Miami Beach, Florida.
 Any obvious evidence of occupation and/or use of the described parcel for Right-of-Way, Easement or Easement are shown on this survey drawing. However, this survey does not purport to reflect any recorded instruments for Right-of-Way other than shown on the recorded plat or stated hereon.
 Only the visible above ground surface indications of the underground utilities have been located. There may be other underground utilities located on or adjacent to the subject property. The location of these utilities is based on limited information provided to the surveyor. Owner of the property should verify all utility locations with the appropriate utility company or construction as-built records provided to the surveyor. Owner of the property should verify all utility locations with the appropriate utility company or construction as-built records provided to the surveyor.
 No underground borings were located and no subsurface investigation was performed at the time of survey.
 CERTIFIED TO:
 Susan Assaad, P.L.C.
 Old Republic National Title Insurance Company

SURVEY SITE



- LEGEND**
- (C) = Calculated
 - (CL) = Clear Line
 - G = Center Line
 - CONC. = Concrete
 - CBS. = Concrete Block Stucco
 - Δ = Delta
 - ENC. = Encroachment
 - F.FEL. = Finish Floor Elevation
 - F.I.P. = Found Iron Pipe
 - F.N. = Found Nail
 - F.N&D = Found Nail & Disc
 - L = Length
 - I.D. = Identification
 - (M) = Measured
 - O/L = On Line
 - (P) = Plot
 - P.C. = Point of Curvature
 - P.B. = Plot Book
 - P.G. = Page
 - (R) = Record
 - R/W = Right of Way
 - U.E. = Utility Easement

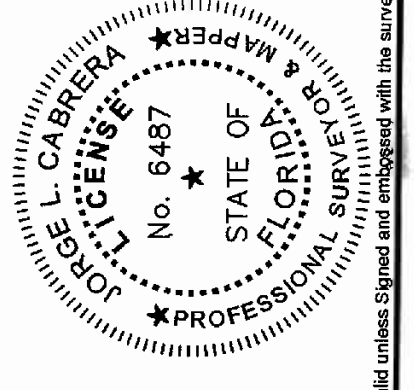
- SYMBOLS**
- AIR CONDITIONER
 - CABLE TV
 - CATCH BASIN
 - CONCRETE POLE
 - ELECTRIC BOX
 - SANITARY SOWER MANHOLE
 - LIGHT POLE
 - WATER HEATER
 - WATER METER
 - WOOD POLE
 - IRRIGATION CONTROL VALVE
 - FPL MANHOLE
 - FIRE HYDRANT
 - EXISTING ELEVATION
 - COVERED AREA
 - CHAIN LINK FENCE (CL.F.)
 - METAL FENCE (M.F.)
 - OVERHEAD LINES
 - WOOD POST
 - WOOD FENCE (W.F.)
 - WIRE FENCE (W.R.F.)
 - CB.S. WALL

JORGE L. CABRERA
 Professional Surveyor and Mapper
 State of Florida
 PLS/PSM License No. 6487
 2852 S.W. 149th Place, Miami, Florida 33185
 Phone: (305) 302-2522 Fax: (305) 207-9537

| No | Date | Description |
|----|------------|---------------------------|
| 1 | 12/18/2019 | REVISED TO ADD ELEVATIONS |

Prepared for:
Susan Assaad

| | |
|--------------------|-------------------|
| CHECKED BY: J.L.C. | 11/03/2019 |
| DRAWN BY: ELF. | 11/03/2019 |
| DATE: | 1" = 20' |
| SCALE: | JOB No. 19-5113-A |
| JOB No. 19-5113-A | SHEET |
| 1 OF 2 | |



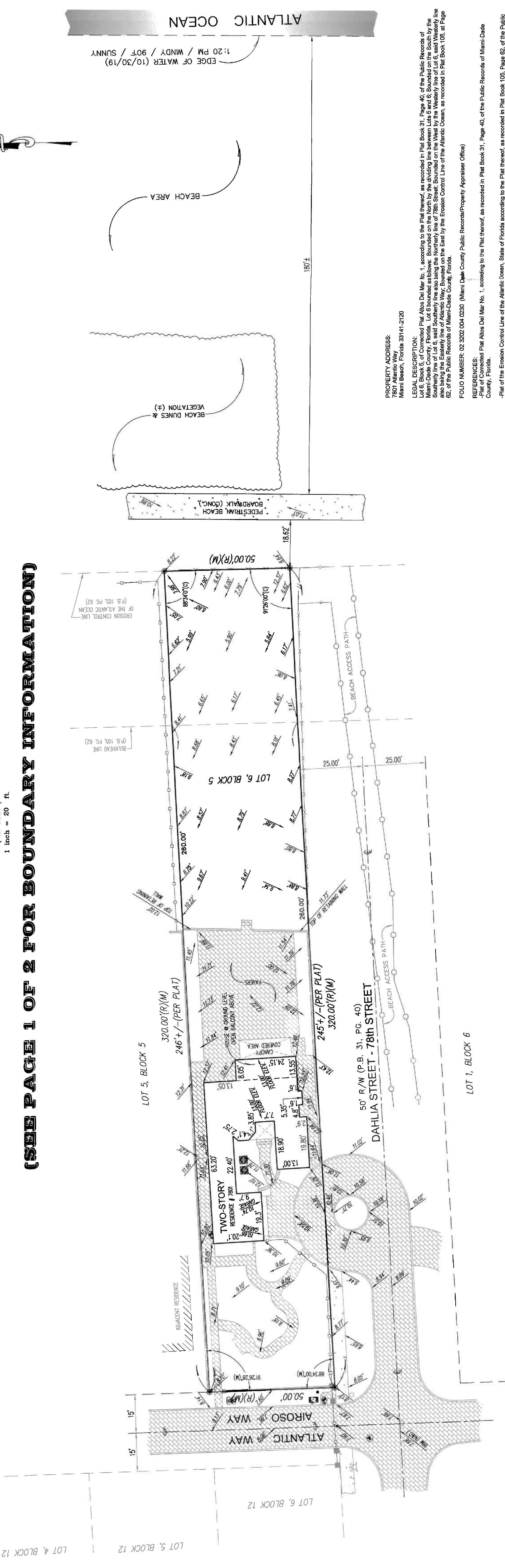
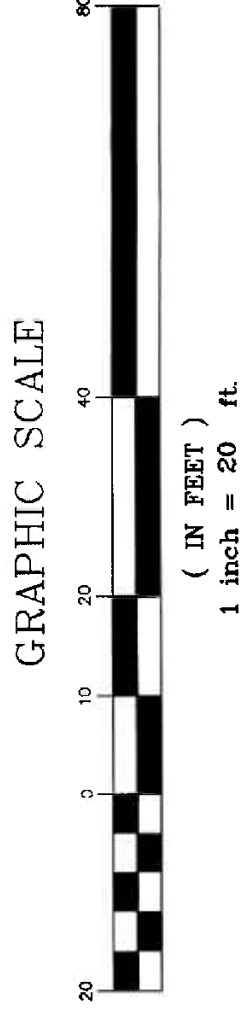
JORGE L. CABRERA
 Professional Surveyor & Mapper, # 6487
 State of Florida

LAST REVISION
 12/18/2019
 JN 19-5113-A

This drawing is the property of Jorge L. Cabrera Professional Surveyor & Mapper. Reproduction of this drawing in any form without the express written consent of the surveyor is prohibited.

SKETCH OF BOUNDARY SURVEY

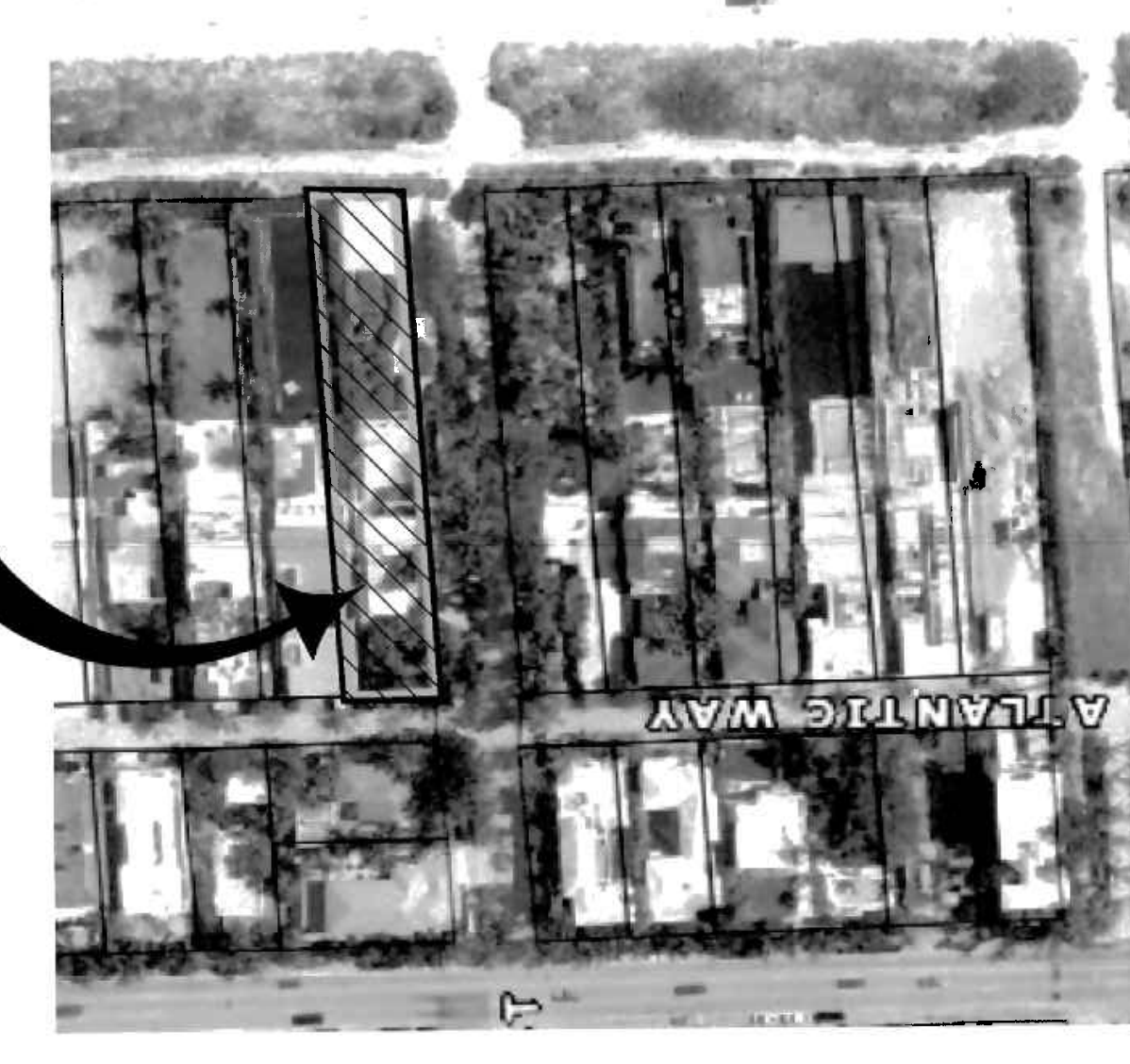
(SEE PAGE 1 OF 2 FOR BOUNDARY INFORMATION)



- LEGEND**
- (C) = Calculated
 - C = Clear
 - CL = Center Line
 - CONC. = Concrete
 - CBS. = Concrete Block Stucco
 - A = Delta
 - ENC. = Encroachment
 - F.F.E.L. = Finish Floor Elevation
 - F.I.P. = Found Iron Pipe
 - F.N.I. = Found Iron Rod
 - FN&D. = Found Nail & Disc
 - I.D. = Identification
 - L = Length
 - (M) = Measured
 - O/L = On Line
 - R = Property Line
 - (P) = Plat
 - P.C. = Plat Book
 - P.B. = Plat Book
 - P.C. = Page
 - R = Record
 - (R/W) = Right of Way
 - U.E. = Utility Easement

- SYMBOLS**
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 - CABLE TV
 - CATCH BASIN
 - CONCRETE POLE
 - ELECTRIC BOX
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 - WATER HEATER
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 - FIRE HYDRANT
 - EXISTING AREA
 - COVERED AREA
 - CHAIN LINK FENCE (C.L.F.)
 - METAL FENCE (M.F.)
 - OVERHEAD LINES
 - WOOD POST
 - WOOD FENCE (W.F.)
 - WIRE FENCE (W.F.F.)
 - CBS. WALL

SURVEY SITE



LOCATION MAP
NOT TO SCALE

The height of the existing walls and fences as shown on this survey drawing were taken from the inside of the subject property. Elevations taken in the sand area of the subject property can fluctuate due to erosion, weather elements like rain, wind, etc. Survey done by occupation, physical evidence, the recovery of existing property corners, field measurements, calculations, adjacent plats and legal description provided to the surveyor and also from the Miami-Dade County Public Records/ Property Appraiser Office and no claims as to ownership are made or implied.

The legal ownership of the fences and/or walls as shown hereon was not determined, and the locations as shown are based on the recovered boundary monumentation and calculations.

Distances from property lines to fences or walls may slightly vary due to their irregularity, width and composition. Fences or walls not always travel on a straight line and in most cases meander through trees, hedges, vines and heavy landscaping usually located along boundary lines. Therefore the resultant of said dimensions as shown hereon may vary slightly within 0.50' to 0.50' or a foot more or less.

Any fencing, walls, entrance features and landscaping could be subject to a "Safe Sight Distance Triangle" rule.

Call 811 or visit www.sunshine811.com before digging.

In some instances graphic representations have been exaggerated to more clearly illustrate the relationship between physical improvements and/or lot lines. In all cases dimensions shall control the location of the improvements over graphic positions.

The dimensions and directions shown hereon are in substantial agreement with the legal description and calculator values unless otherwise noted. Obstructed property corners are witnessed by improvements.

There is no visible evidence of any kind of any earth moving or building construction within recent months. Nor is there any observable evidence of the site being used as a stock water tank, camp or sanitary waste.

There is no observable evidence of recent street or sidewalk construction and/or repairs within the Public Right of Way.

It is unknown to the surveyor if any changes in street right of way lines or additional dedication for road purposes.

Property is subject to restrictions, conditions, limitations, assessments, and reservations of record and existing zoning ordinances.

There may be restrictions not shown on this survey that may affect the future development of this property. Such restrictions could be found in the Public Records or Building and Zoning Department of Miami-Dade County, Florida and the City of Miami Beach, Florida.

Any notorious evidence of occupation and/or use of the described parcel for Right-of-Way, Egress or Easement are shown on this survey drawing. However, this survey does not purport to reflect any recorded instruments for Right-of-Way other than shown on the recorded plat or stated in the legal description, as it appears on this drawing.

Only the visible above ground surface indications of the underground utilities have been located. There may be other underground utilities in addition to those evidenced by visible appearances as shown on this sketch. Underground utility appearances (if any) is based on limited information provided by the property owner or construction data furnished to the surveyor. Owner of the right to build verify all utility locations with the appropriate utility provider before using.

No underground findings were located and no subsurface investigation was performed at the time of survey.

CERTIFIED TO:
Susan Ann Sapiro, PLLC
Husan An Sapiro, P.L.L.C.
Old Republic National Title Insurance Company

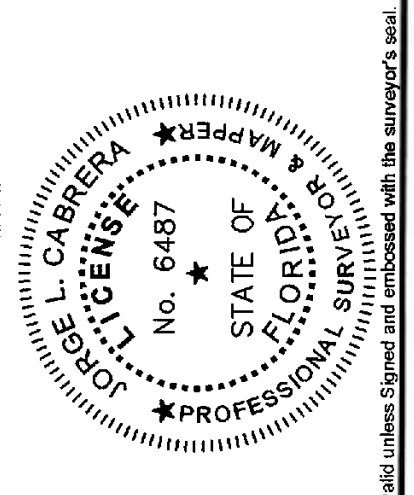
JORGE L. CABRERA
Professional Surveyor and Mapper
State of Florida
PLS/PSM License No: 6487
2852 S.W. 149th Place, Miami, Florida 33185
Phone: (305) 302-2522 Fax: (305) 207-9537

| No | Date | Job No. | Description |
|----|------------|-----------|---------------------------|
| 1 | 12/19/2019 | 19-5113-A | REVISED TO ADD ELEVATIONS |

Prepared for:
Susan Assad

CHECKED BY: J.L.C.
DRAWN BY: E.L.F.
FIELD DATE: 11/01/2019
DATE: 11/03/2019
SCALE: 1" = 20'
JOB No. 19-5113

SHEET: **2** OF 2



JORGE L. CABRERA
Professional Surveyor & Mapper # 6487
State of Florida

LAST REVISION
12/18/2019
JN 19-5113-A

This drawing is the property of Jorge L. Cabrera Professional Surveyor & Mapper. Reproductions of this drawing are not valid unless signed and initialed with the surveyor's seal.

BR1903759

7801 Atlantic Way.

01 33 50
048

| | |
|----------|--|
| Nome | |
| Endereço | |
| Cidade | |
| Estado | |
| País | |
| CEP | |
| Telefone | |
| Fax | |
| E-mail | |
| Site | |
| Outros | |

Application Date: 10/06/2020

Permit #: BOA2003058

Parcel / Folio Number:

0232020040230

Property Address: 7801 ATLANTIC WAY Miami

Unit #:

Master Permit Number (If applicable):

Violation # (If applicable):

Reviewed For Compliance

Permit Type: Building Online Application

Permit Workclass: Building Online Application

Occupancy Classification:

Square Feet: 0.00

Valuation: \$12,000.00

01/26/2021 8:58:06 AM

Description of Work: NEW DRIVEWAY AND WALKWAY TO MATCH EXISTING

Property Owner

Contractor

Name: SUSAN ASSAAD

Company Name: TRI-TECH CONSTRUCTION INC

Email:

Name: SERGIO NICHOLAS VELIKOPOLJSKI

Home Phone: 646-641-7676

Email:

Mobile Phone:

Home Phone:

Business Phone:

Mobile Phone:

Business Phone:

Notice & Certification

This application is hereby made to obtain a permit to do the work and installation as indicated. I certify that all work will be performed to meet the standards of all laws and construction regulations in this jurisdiction. I understand that a separate permit must be secured for Electrical, Elevator, Fire, Mechanical, Plumbing, Signs, Wells, Pools, Furnaces, Boilers, Heaters, Tanks, Air Conditioners, etc.

Owner's Affidavit: I certify that all the forgoing information is correct. Owner Certifies that the aforementioned Contractor has the authorization to perform the work as specified above.

Lessee's Affidavit: Lessee certifies that he has full consent and authorization from owner of subject property to perform the above-mentioned work and to hire above captioned contractor.

In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this country, and there may be additional permits required from other governmental entities such as: the Environmental Division of Miami-Dade County; Permitting, Environment and Regulatory Affairs, Water & Sewer Department, Department of Environmental Protection, South Florida Water Management District, Miami-Dade County Impact Fee, water management districts, state agencies, and/or federal agencies.

Under penalties of perjury, I declare that to the best of my knowledge, the facts stated in this document are true. Any information found to be false may cause the revocation and/or denial of the permit and/or Certificate of Occupancy.

OWNER'S ELECTRONIC SUBMISSION STATEMENT: Under penalty of perjury, I declare that all the information contained in this permit application is true and correct.

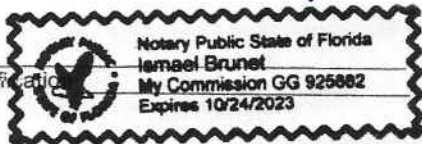
WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT IS REQUIRED FOR ANY WORK WITH COST EXCEEDING \$2,500.00.

Signature of Owner/Agent or GC (for Sub-permits):

Signature of Susan Assaad, PRINT NAME: SUSAN ASSAAD, STATE OF FLORIDA MIAMI-DADE COUNTY, Sworn to and subscribed before me this 6 day of OCTOBER, 20, by SUASN ASSAAD, Signature of Notary Public

Print Name: ISMAEL BRUNET

(SEAL) Personally know or Produced Identification

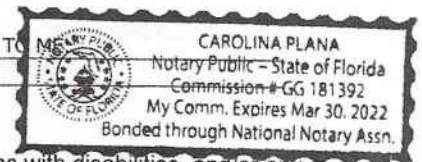


Signature of Qualifier

Signature of Sergio Velikopoljski, PRINT NAME: SERGIO N. VELIKOPOLJSKI, STATE OF FLORIDA MIAMI-DADE COUNTY, Sworn to and subscribed before me this SIXTH day of OCTOBER, 2020, by SERGIO N VELIKOPOLJSKI, Signature of Notary Public

Print Name: CAROLINA PLANA

(SEAL) Personally know WELL KNOWN TO or Produced Identification

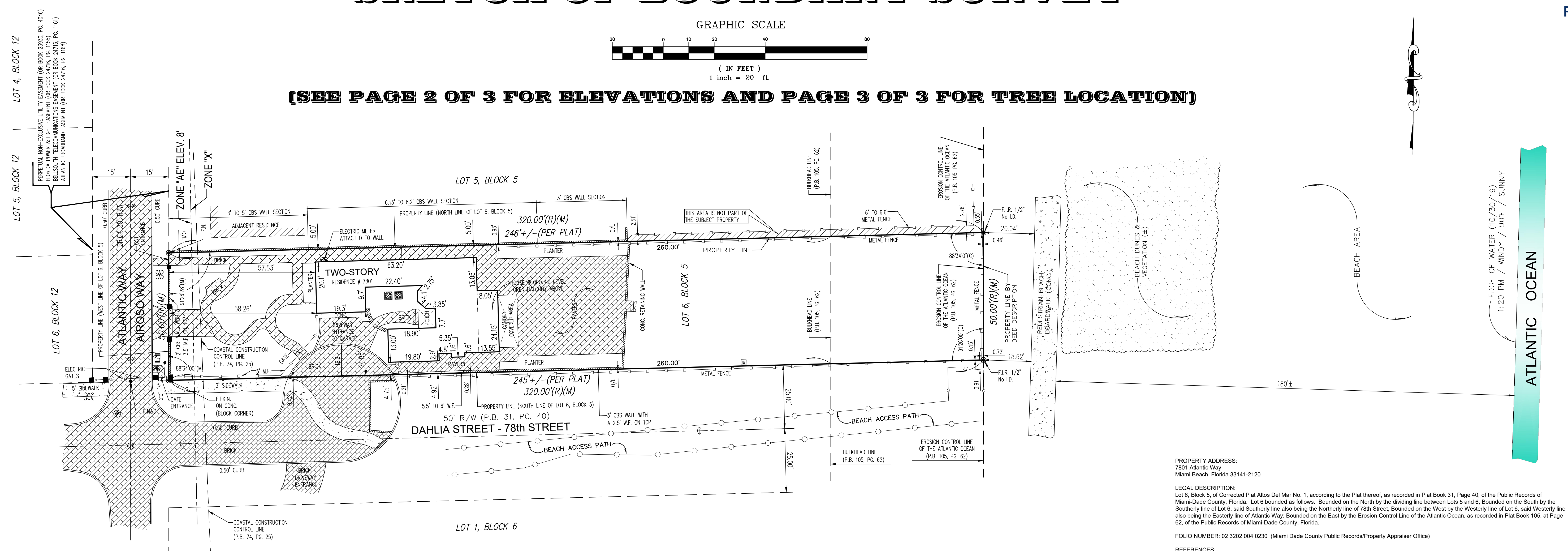
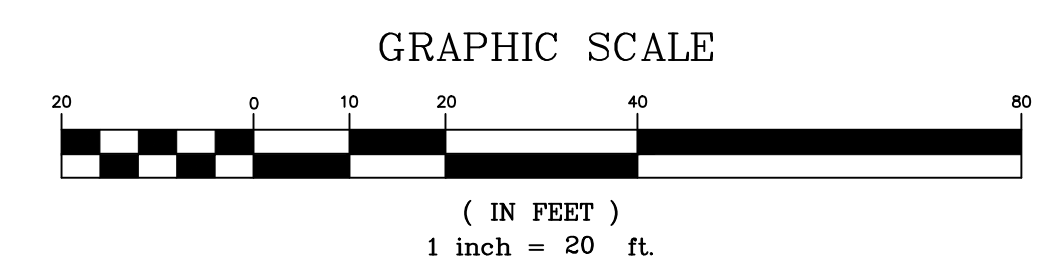


ADA Information

To request this material in accessible format, sign language interpreters, information on access for persons with disabilities, and/or any accommodation to review any document or participate in any city-sponsored proceeding, please contact 305-604-2489 (voice), 305-673-7524 (fax), or 305-673-7218 (TTY) five (5) days in advance to initiate your request. TTY users may also call 711 (Florida Relay Service)

SKETCH OF BOUNDARY SURVEY

(SEE PAGE 2 OF 3 FOR ELEVATIONS AND PAGE 3 OF 3 FOR TREE LOCATION)



- LEGEND**
- (C) = Calculated
 - CL = Clear
 - CL = Center Line
 - CONC. = Concrete
 - CBS. = Concrete Block Stucco
 - Δ = Delta
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 - F.F.E.L. = Finish Floor Elevation
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- SYMBOLS**
- AIR CONDITIONER
 - CABLE TV
 - CATCH BASIN
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 - OVERHEAD LINES
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 - WOOD FENCE (W.F.)
 - WIRE FENCE (W.R.F.)
 - CBS. WALL



LOCATION MAP
NOT TO SCALE

The height of the existing walls and fences as shown on this survey drawing were taken from the inside of the subject property. Elevations taken in the sand area of the subject property can fluctuate due to erosion, weather elements like rain, wind, etc.

Survey done by occupation, physical evidence, the recovery of existing property corners, field measurements, calculations, adjacent plats and legal description provided to the surveyor and also from the Miami-Dade County Public Records/Property Appraiser Office and no claims as to ownership are made or implied.

The legal ownership of the fences and/or walls as shown hereon was not determined, and the locations as shown are based on the recovered boundary monumentation and calculations.

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Any fencing, walls, entrance features and landscaping could be subject to a "Safe Sight Distance Triangle" rule.

Call 811 or visit www.sunshine811.com before digging.

In some instances graphic representations have been exaggerated to more clearly illustrate the relationship between physical improvements and/or lot lines. In all cases dimensions shall control the location of the improvements over scaled positions.

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Obstructed property corners are witnessed by improvements.

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There is no observable evidence of recent street or sidewalk construction and or repairs within the Public Right of Way.

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Property is subject to restrictions, conditions, limitations, easements, and reservations of record and existing zoning ordinances.

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No underground footings were located and no subsurface investigation was performed at the time of survey.

CERTIFIED TO:
 Susan Assaad
 Henskovitz Shapiro, PLLC
 Old Republic National Title Insurance Company

PROPERTY ADDRESS:
 7801 Atlantic Way
 Miami Beach, Florida 33141-2120

LEGAL DESCRIPTION:
 Lot 6, Block 5, of Corrected Plat Altos Del Mar No. 1, according to the Plat thereof, as recorded in Plat Book 31, Page 40, of the Public Records of Miami-Dade County, Florida. Lot 6 bounded as follows: Bounded on the North by the dividing line between Lots 5 and 6; Bounded on the South by the Southerly line of Lot 6, said Southerly line also being the Northerly line of 78th Street; Bounded on the West by the Westerly line of Lot 6, said Westerly line also being the Easterly line of Atlantic Way; Bounded on the East by the Erosion Control Line of the Atlantic Ocean, as recorded in Plat Book 105, at Page 62, of the Public Records of Miami-Dade County, Florida.

FOLIO NUMBER: 02 3202 004 0230 (Miami Dade County Public Records/Property Appraiser Office)

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 -Plat of the State of Florida, Department of Natural Resources, Coastal Construction Control Line as recorded in Plat Book 74, Page 25, of the Public Records of Miami-Dade County, Florida, for the location of the Coastal Construction Control Line.
 -Perpetual Non-Exclusive Utility Easement as recorded in Official Records Book 23930, Page 4046, of the Public Records of Miami-Dade County, Florida.
 -Florida Power & Light Easement as recorded in Official Records Book 24716, Page 1155, of the Public Records of Miami-Dade County, Florida.
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 All recording references noted hereon are referring to the Miami-Dade County Public Records, unless otherwise noted.

SURVEYOR'S NOTES:
 All distances as shown are based on the US Survey foot.

At the time of Survey, The National Flood Insurance Rate Map for Florida, Community Panel No. 120651 (City of Miami Beach) 12086 C, 0326 L, FIRM Date 09/11/2009 and Revised with an effective date of 09/11/2009, published by the United States Department of Housing and Urban Development, delineates the existing dwelling structure located within the described parcel of land to be situated outside the Special Flood Hazard Area designated by the Federal Emergency Management Agency (FEMA). The existing residence lies within Zone "X", areas determined to be outside the 0.2% annual chance floodplain. Subject lands crosses more than one Flood Zone and a portion of the lot along the Westerly boundary line lies within Flood Hazard Zone "AE", Base Flood Elevation 8 feet. The Base Flood Elevation "AE" 8' refers to NGVD Datum (1929).

Delineation between Flood Zone lines were determine by the scale factor and are shown on the Survey drawing.

All elevations as shown on this Survey drawing are referred to the National Geodetic Vertical Datum, 1929 (NGVD).

BENCHMARK REFERENCES:
 Benchmark: CMB 78-01
 Elevation: 2.71 feet (NAVD 1988) / 4.25 feet (NGVD 1929) by GPS conversion factor.
 Location: NE INTX 78TH ST & ABBOTT AVE
 Status: Survey
 GPS: N
 Painted: N
 Description: PK NAIL & WASHER ON TOP OF CURB

Benchmark: CMB 80-11
 Elevation: 2.43 feet (NAVD 1988) / 3.97 feet (NGVD 1929) by GPS conversion factor.
 Location: NE INTX ABBOTT AVE & 80 ST
 Status: Survey
 GPS: N
 Painted: N
 Description: PK N&W ON TOP OF CURB

Some of the floor elevations as shown on this survey drawing were taken from the outside of the house only. No access was available to the surveyor to the inside of the house at the time of survey. There may be some other different levels of elevation inside the house not known to the surveyor.

This sketch of Boundary Survey does not represent a Mean High Water Line Survey as defined under Chapter 61G-17-6.002(g), Florida Administrative Code. Property could be subject to additional jurisdictional requirements for the permitting process, and there may be additional survey requirements necessary to address those specific permit process.

This is to certify to the above named firm and or persons that the "SKETCH OF BOUNDARY SURVEY" of the herein described property is true and correct to the best of my knowledge and belief as recently surveyed under my direction, also there are no visible encroachments other than those shown. Owner or his representative furnished the legal description contained herein. Other recorded instruments may affect this property. Surveyor has not examined the abstract of title. Locations of utilities or adjacent to the property were not secured unless specifically requested by owner. I further certify that this map or plat meets the Standards of Practice and the Minimum Technical Standard Requirements, adopted by the Board of Professional Surveyors and Mappers, pursuant to Chapter 472.027 Florida Statutes, as set forth in Chapter 53-17, Florida Administrative Code, under Sections 53-17.051 and 53-17.052 and is a "BOUNDARY SURVEY" as defined in Section 53-17.050.

LAST REVISION
 11/06/2020
 JN 19-5113-B

JORGE L. CABRERA
 No. 6487
 STATE OF FLORIDA
 PROFESSIONAL SURVEYOR & MAPPER

Professional Surveyor & Mapper, # 6487
 State of Florida

This drawing is the property of Jorge L. Cabrera Professional Surveyor & Mapper. Reproductions of this drawing are not valid unless signed and embossed with the surveyor's seal.

JORGE L. CABRERA
 Professional Surveyor and Mapper
 State of Florida
 PLS/PSM License No: 6487
 2852 S.W. 149th Place, Miami, Florida 33185
 Phone: (305) 302-2522 Fax: (305) 207-9537

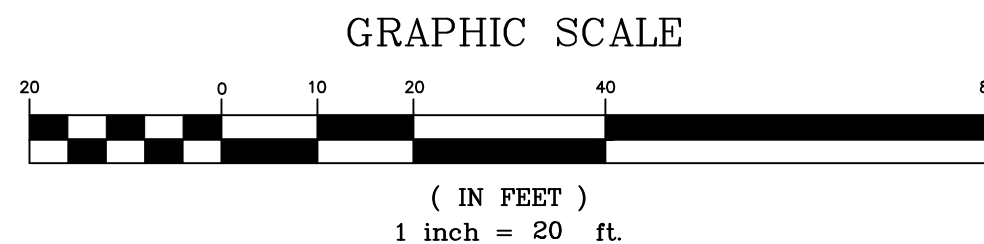
| No. | Date | Job No. | Description |
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| 1 | 12/18/2019 | 19-5113-A | REVISED TO ADD ELEVATIONS |
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Prepared for:
Susan Assaad

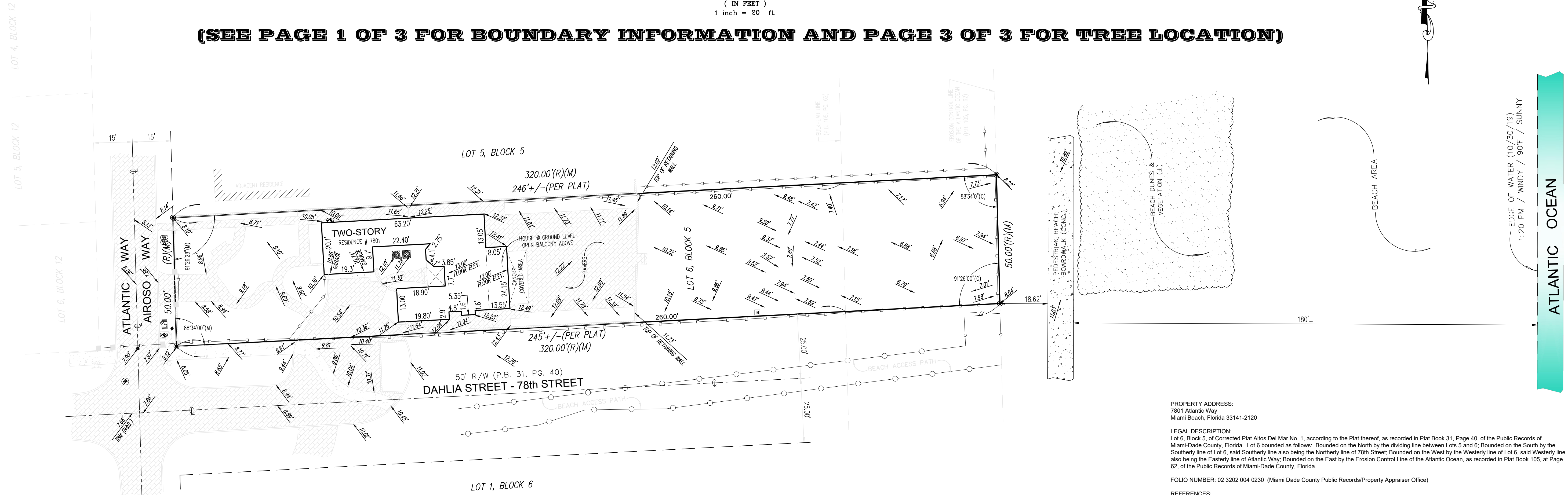
CHECKED BY: J.L.C.
 DRAWN BY: E.L.F.
 FIELD DATE: 11/01/2019
 DATE: 11/03/2019
 SCALE: 1" = 20'
 JOB No. 19-5113

SHEET:
1 OF 3

SKETCH OF BOUNDARY SURVEY



(SEE PAGE 1 OF 3 FOR BOUNDARY INFORMATION AND PAGE 3 OF 3 FOR TREE LOCATION)



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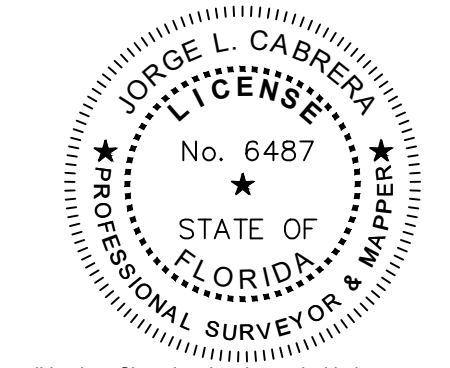
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LAST REVISION
11/06/2020
JN 19-5113-B

JORGE L. CABRERA
Professional Surveyor & Mapper, # 6487
State of Florida



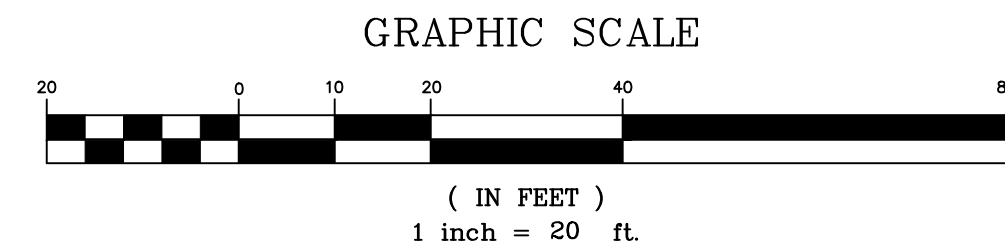
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| 1 | 12/18/2019 | 19-5113-A | REVISED TO ADD ELEVATIONS |
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Prepared for:
Susan Assaad

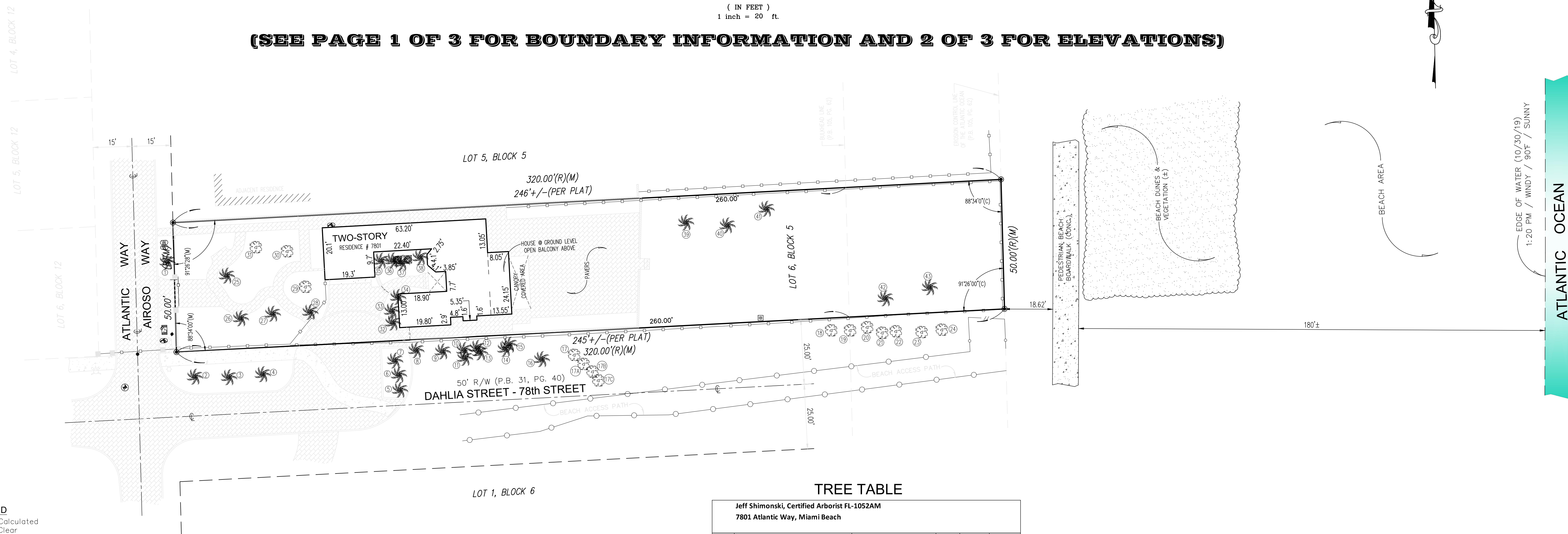
| | |
|-------------|------------|
| CHECKED BY: | J.L.C. |
| DRAWN BY: | ELF. |
| FIELD DATE: | 11/01/2019 |
| DATE: | 11/03/2019 |
| SCALE: | 1" = 20' |
| JOB No. | 19-5113 |

SHEET:
2 OF 3

SKETCH OF BOUNDARY SURVEY



(SEE PAGE 1 OF 3 FOR BOUNDARY INFORMATION AND 2 OF 3 FOR ELEVATIONS)



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TREE TABLE

Jeff Shimonski, Certified Arborist FL-1052AM
 7801 Atlantic Way, Miami Beach

| No. | Scientific name | Common name | DBH | H/Ct | Canopy |
|-----|--------------------------------|------------------------|-----|------|--------|
| 1 | Phoenix dactylifera | Date palm | 17" | 28' | 28' |
| 2 | Cocos nucifera | Coconut palm | 9" | 28' | 26' |
| 3 | Cocos nucifera | Coconut palm | 10" | 30' | 28' |
| 4 | Cocos nucifera | Coconut palm | 9" | 25' | 28' |
| 5 | Adonia merrillii | Christmas palm | 6" | 15' | 10' |
| 6 | Adonia merrillii | Christmas palm | 6" | 15' | 10' |
| 7 | Adonia merrillii | Christmas palm | 7" | 15' | 10' |
| 8 | Ptychosperma elegans x 2 tks | Solitare palm | 6" | 28' | 12' |
| 9 | Cocos nucifera | Coconut palm | 8" | 28' | 18' |
| 10 | Veitchia montgomeryana x 2 tks | Montgomery palm | 7" | 7' | 12' |
| 11 | Veitchia montgomeryana | Montgomery palm | 2" | 8' | 10' |
| 12 | Cocos nucifera | Coconut palm | 10" | 26' | 20' |
| 13 | Veitchia montgomeryana | Montgomery palm | 4" | 7' | 12' |
| 14 | Cocos nucifera | Coconut palm | 8" | 28' | 26' |
| 15 | Veitchia montgomeryana | Montgomery palm | 4" | 6' | 14' |
| 16 | Cocos nucifera | Coconut palm | 9" | 22' | 26' |
| 17 | Coccoloba uvifera | Seagrape | 7" | 30' | 18' |
| 17a | Coccoloba uvifera | Seagrape | 17" | 30' | 25' |
| 17b | Coccoloba uvifera | Seagrape | 22" | 30' | 30' |
| 17c | Coccoloba uvifera | Seagrape | 42" | 30' | 30' |
| 18 | Coccoloba uvifera | Seagrape | 31" | 18' | 28' |
| 19 | Coccoloba uvifera | Seagrape | 26" | 20' | 35' |
| 20 | Coccoloba uvifera | Seagrape | 15" | 16' | 35' |
| 21 | Coccoloba uvifera | Seagrape | 9" | 18' | 35' |
| 22 | Coccoloba uvifera | Seagrape | 17" | 18' | 35' |
| 23 | Coccoloba uvifera | Seagrape | 3" | 14' | 14' |
| 24 | Coccoloba uvifera | Seagrape | 18" | 16' | 25' |
| 25 | Cocos nucifera | Coconut palm | 12" | 28' | 30' |
| 26 | Cocos nucifera | Coconut palm | 10" | 25' | 32' |
| 27 | Cocos nucifera | Coconut palm | 9" | 20' | 30' |
| 28 | Ptychosperma elegans | Solitare palm | 4" | 20' | 12' |
| 29 | Mangifera indica | Mango | 30" | 30' | 35' |
| 30 | Mangifera indica | Mango | 15" | 32' | 30' |
| 31 | Mangifera indica | Mango | 19" | 35' | 32' |
| 32 | Thrinax radiata x 4 tks | Florida thatch palm | 14" | 30' | 20' |
| 33 | Thrinax radiata x 2 tks | Florida thatch palm | 7" | 30' | 10' |
| 34 | Adonia merrillii | Christmas palm | 6" | 24' | 8' |
| 35 | Dypsis lutescens | Areca palm | 44" | 22' | 24' |
| 36 | Thrinax radiata x 2 tks | Florida thatch palm | 7" | 30' | 14' |
| 37 | Strelitzia nicolai | White bird of paradise | 5" | 20' | 8' |
| 38 | Thrinax radiata x 3 tks | Florida thatch palm | 12" | 30' | 18' |
| 39 | Cocos nucifera | Coconut palm | 10" | 22' | 18' |
| 40 | Cocos nucifera | Coconut palm | 7" | 13' | 18' |
| 41 | Cocos nucifera | Coconut palm | 9" | 22' | 18' |
| 42 | Cocos nucifera | Coconut palm | 8" | 20' | 18' |
| 43 | Cocos nucifera | Coconut palm | 8" | 13' | 18' |

DBH is rounded-off to the nearest inch
 H/Ct denotes approximate overall height of trees and approximate clear trunk of palm
 The clear trunk measurement for palms with multiple trunks is of the tallest trunk
 Canopy is measured in one direction

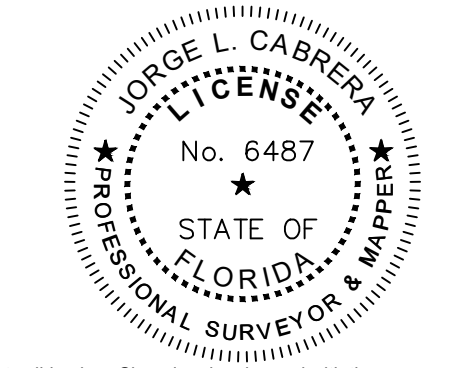
The location of the trees as shown on this survey drawing are compiled from such field surveys deemed necessary by Jorge L. Cabrera, PSM, therefore the resultant of said dimensions shown hereon could vary slightly within 1 to 2 feet more or less.

The Tree Table as shown hereon was prepared by certified Arborist Jeff Shimonski, information below:

President, Tropical Designs of Florida, Inc.
 Member, American Society of Consulting Arborists
 ISA Certified Arborist Municipal Specialist FL-1052AM
 ISA Tree Risk Assessment Qualification
 LIAF Florida Certified Landscape Inspector - 2016-0175
 305-773-9406
 Jeff@TropicalArboriculture.com
 www.TropicalDesigns.com
 www.MalaysiaFlora.com

LAST REVISION
 11/06/2020
 JN 19-5113-B

JORGE L. CABRERA
 Professional Surveyor & Mapper, # 6487



JORGE L. CABRERA
 Professional Surveyor and Mapper
 State of Florida
 PLS/PSM License No: 6487
 2852 S.W. 149th Place, Miami, Florida 33185
 Phone: (305) 302-2522 Fax: (305) 207-9537

| No. | Date | Job No. | Description |
|-----|------------|-----------|--|
| 1 | 12/18/2019 | 19-5113-A | REVISED TO ADD ELEVATIONS |
| 2 | 11/06/2020 | 19-5113-B | REVISED TO UPDATE AND SHOW TREE LOCATION |

Prepared for:
Susan Assaad

| | |
|-------------|------------|
| CHECKED BY: | J.L.C. |
| DRAWN BY: | ELF. |
| FIELD DATE: | 11/01/2019 |
| DATE: | 11/03/2019 |
| SCALE: | 1" = 20' |
| JOB No. | 19-5113 |

SHEET:
3 OF 3

Reviewed For Compliance

01/26/2021 8:58:05 AM

AFFIDAVIT AUTHORIZING SUBMITTAL OF SCANNED PLANS AND CONSTRUCTION DOCUMENTS IN LIEU OF DIGITAL SIGNED AND SEALED SET.

This affidavit is to be used for permit application plan submittals during the City of Miami Beach Building Department's COVID-19 Emergency Period per MDC Mayor's Emergency Order 14-20.

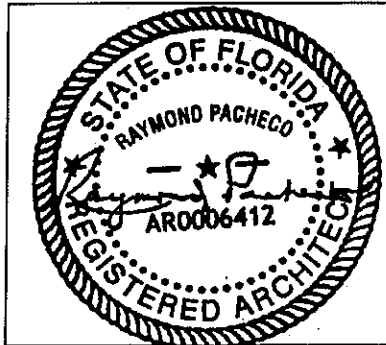
JOB ADDRESS: 7801 Atlantic Way, Miami Beach, FL 33141

PROJECT NAME: Wahba Residence Remodeling

PLAN REFERENCE/JOB IDENTIFICATION NUMBER:
7801 ATLANTIC WAY- 1936

I, (print full name) Raymond Pacheco Design Professional of Record with license number # AR0006412 with the Firm (Name) Pacheco-Martinez & Associates, LLC., hereby authorize the submittal of scanned plans and construction documents in lieu of a digital signed and sealed set. I affirm that the scanned files submitted for project referenced above are an exact and accurate duplicate of the complete hardcopy set of plans signed and sealed by the undersigned. I understand that I am the custodian of all original records and must make the documents available for inspection upon request of the Building Official or his designee.

I also hereby acknowledge that if there are any discrepancies between the two versions, the review process for said project will be terminated, become null and void, and require re-application under a new permit number. This affidavit will apply and must be submitted throughout the life of the project including initial submittal, re-works, revisions, shop drawings, etc. during this emergency period.



Architect/Engineer of Record Signature & Seal

Designer Professional of Record Signature: Raymond Pacheco
Designer Professional of Record Name: Raymond Pacheco
Designer Professional of Record Phone: 305-666-2573
Design Professional of Record Email: ramon@pachecomartinez.com

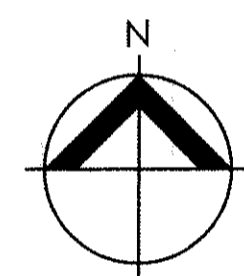
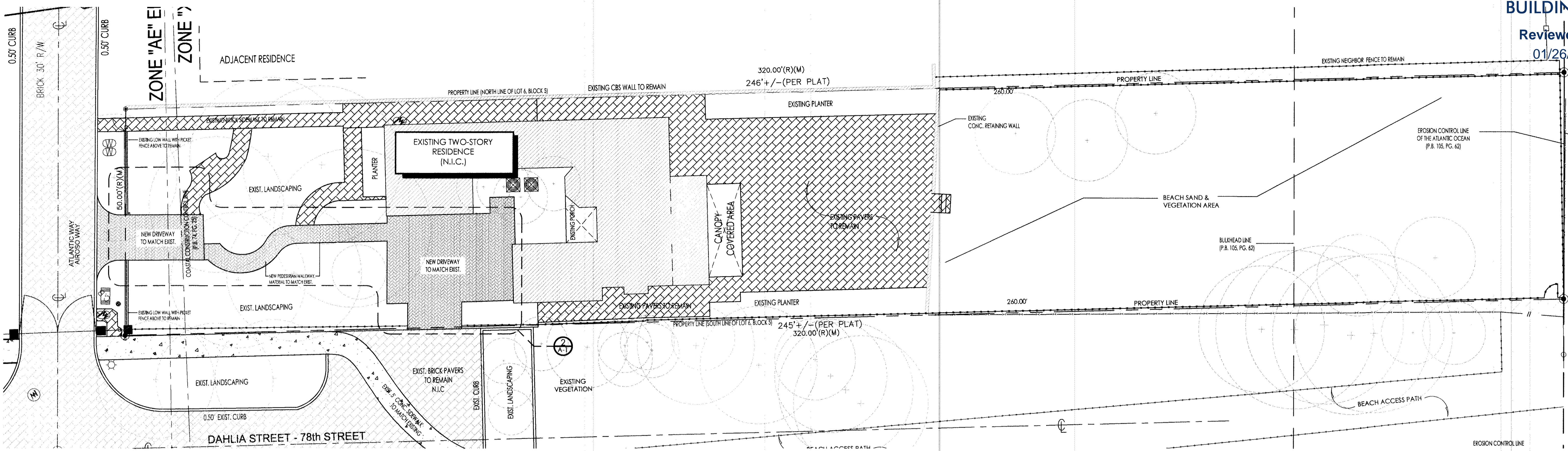
STATE OF FLORIDA COUNTY OF MIAMI-DADE
Sworn to and subscribed before me this 18 day of September, 2020
by Raymond Pacheco
Signature of Notary Public: [Signature]
Print Name: Michelle Galis



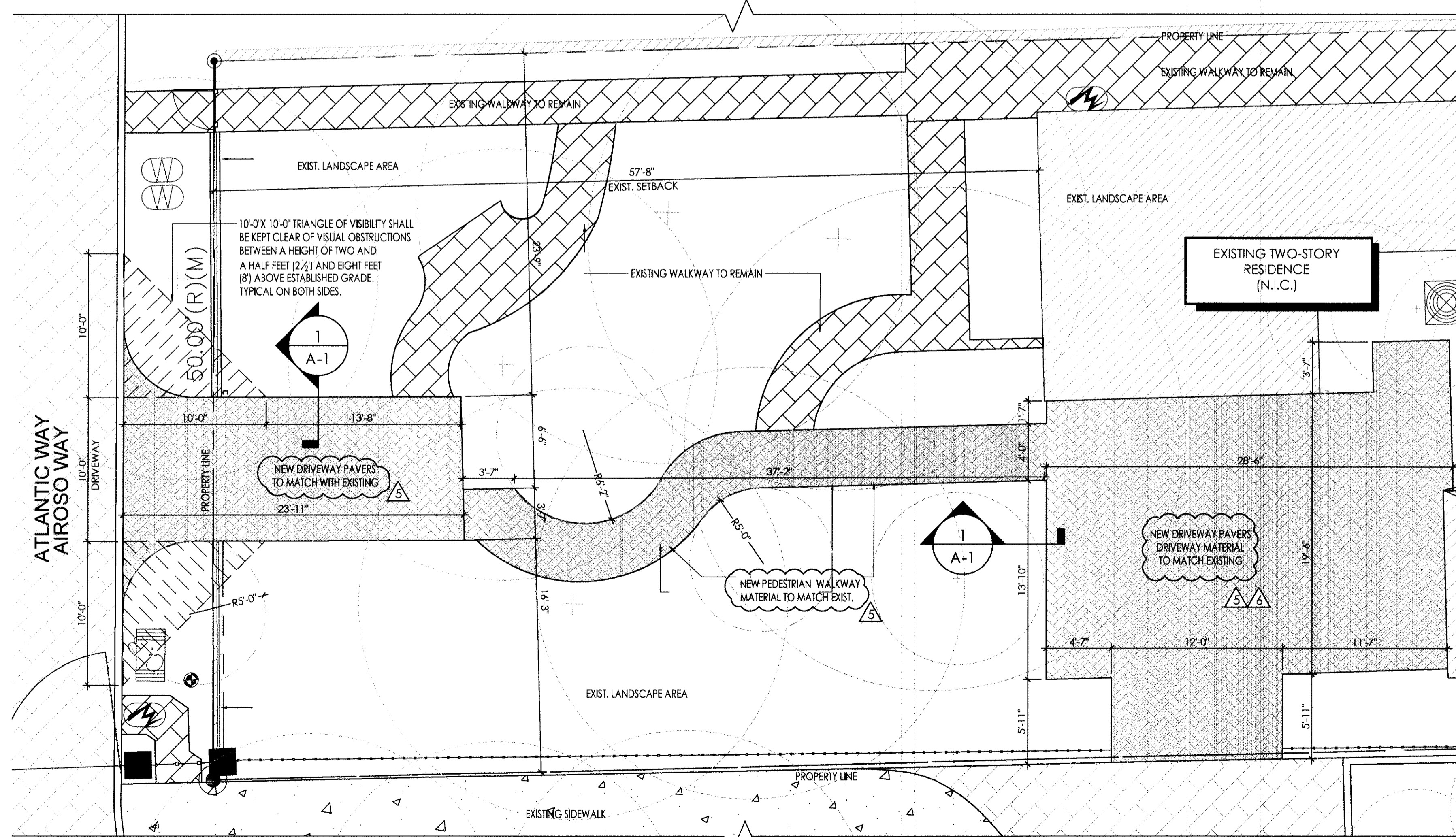
Personally known or Produced Identification (TYPE) _____
Revised: April 9, 2020



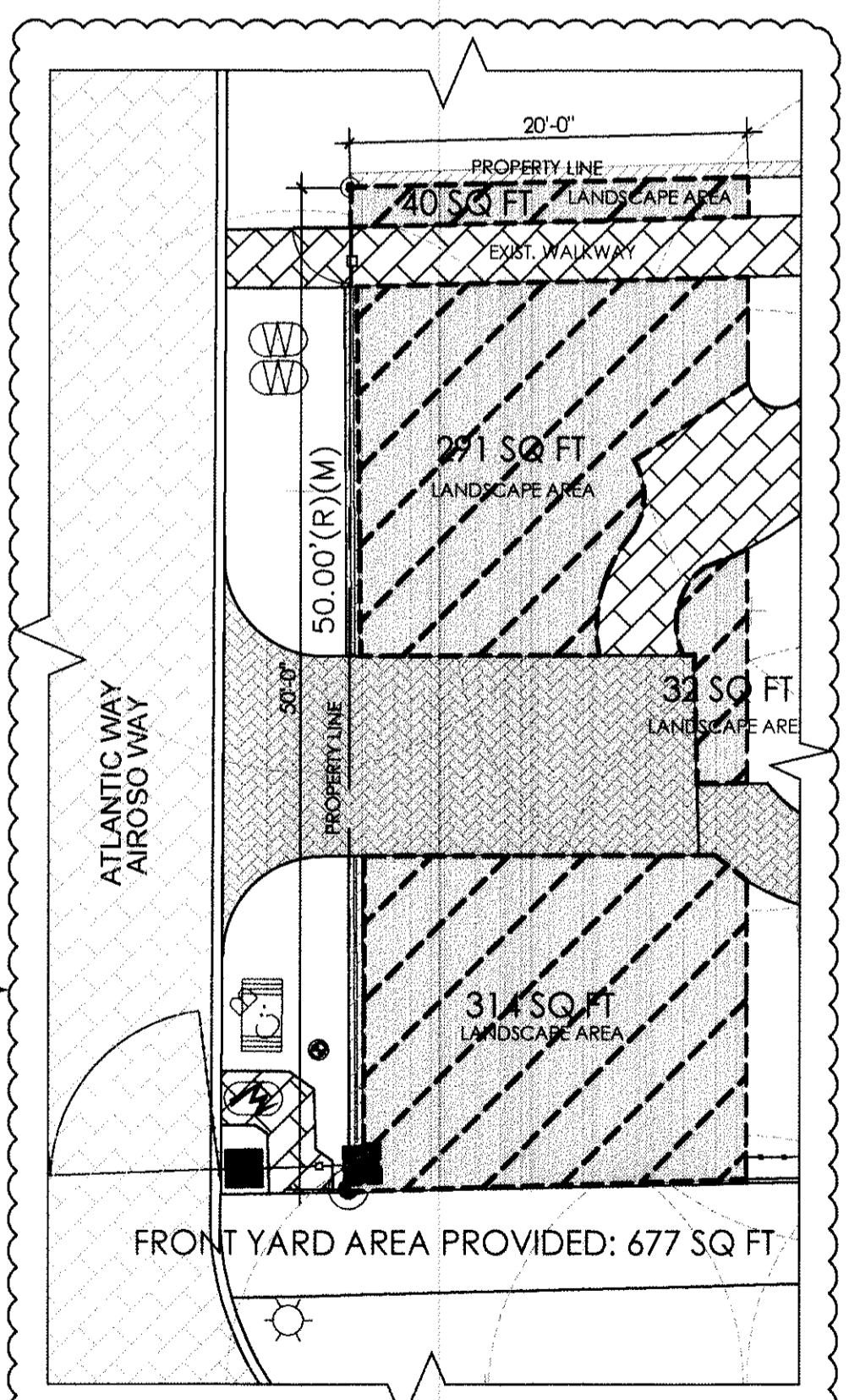
Architect is the author and owner of all drawings and specifications and other documents, including those in electronic form, prepared by the Architect and the Architect's consultant and the Architect shall retain all common law, statutory and other reserved rights, including copyright for this project. The owner and/or others shall not use the Architect's drawings and specifications on other projects.



1 SITE PLAN FLOOR PLAN
SCALE 3/32" = 1'-0"



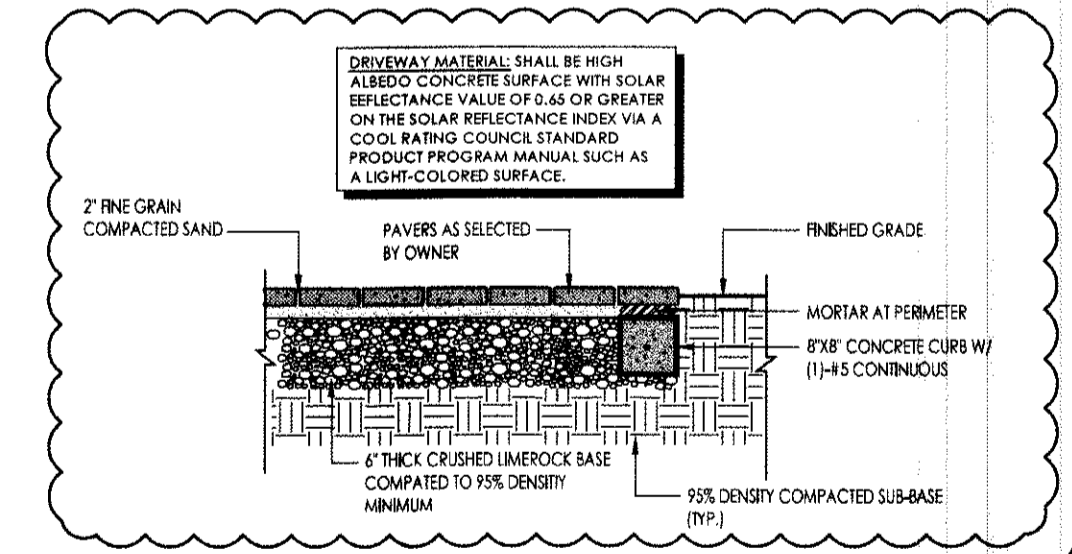
2 ENLARGED DRIVEWAY PLAN
SCALE 3/16" = 1'-0"



FRONT YARD AREA CALCULATION

| | |
|--|-------------|
| TOTAL FRONT YARD AREA: | 1,000 SQ FT |
| TOTAL FRONT YARD AREA PROVIDED (50% REQUIRED): | 500 SQ FT |
| TOTAL FRONT YARD AREA PROVIDED: | 677 SQ FT |

FRONT YARD AREA
SCALE 3/16" = 1'-0"



1 DRIVEWAY EDGE DETAIL
SCALE: 3/16" = 1'-0"

LEGAL DESCRIPTION

LOT 6, BLOCK 5, OF CORRECTED PLAT ALTOS DEL MAR NO. 1, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 31, PAGE 40, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. LOT 6 BOUNDED AS FOLLOWS: BOUNDED ON THE NORTH BY THE DIVIDING LINE BETWEEN LOTS 5 AND 6; BOUNDED ON THE SOUTH BY THE SOUTHERLY LINE OF LOT 6, SAID SOUTHERLY LINE ALSO BEING THE NORTHERLY LINE OF 78TH STREET; BOUNDED ON THE WEST BY THE WESTERLY LINE OF LOT 6, SAID WESTERLY LINE ALSO BEING THE EASTERLY LINE OF ATLANTIC WAY; BOUNDED ON THE EAST BY THE EROSION CONTROL LINE OF THE ATLANTIC OCEAN, AS RECORDED IN PLAT BOOK 105, AT PAGE 62, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

NOTE

NO TREES BEING AFFECTED
REFER TO TP-1 FOR TREE PROTECTION PLAN

SCOPE OF WORK

1. NEW DRIVEWAY AT ATLANTIC WAY. DRIVEWAY PAVERS TO MATCH EXISTING.

PRIVACY WALL/FENCE/GATES FOR:

7801 ATLANTIC WAY
7801 ATLANTIC WAY
MIAMI BEACH, FL

revisions:

| | | | |
|---|----------------|---|------------------|
| 1 | 12-23-19 COMM. | 5 | 10-05-2020 COMM. |
| 2 | 01-21-20 COMM. | 6 | 10-23-20 COMM. |
| 3 | 01-30-20 REV. | 7 | 12-17-2020 COMM. |
| 4 | 02-07-20 COMM. | 8 | 12-21-20 COMM. |

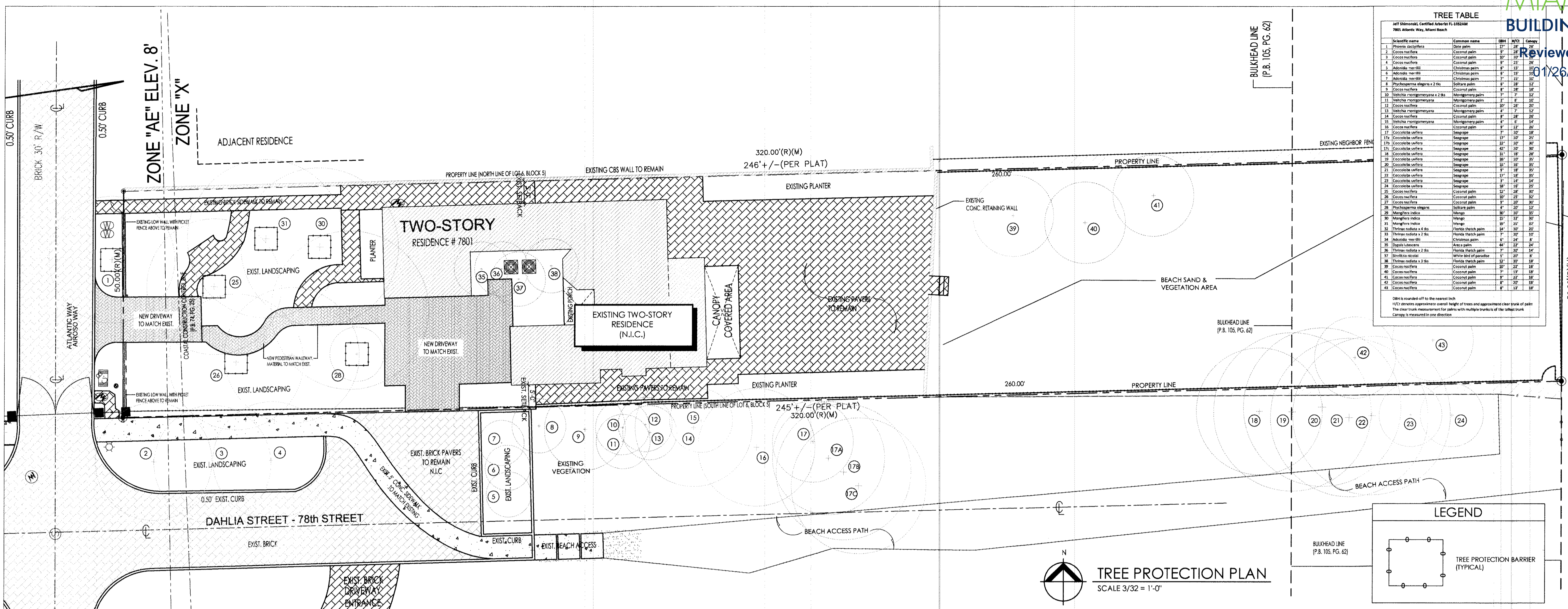
2020-09-30

Checked

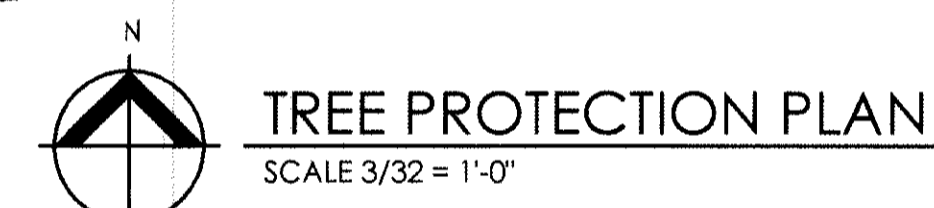
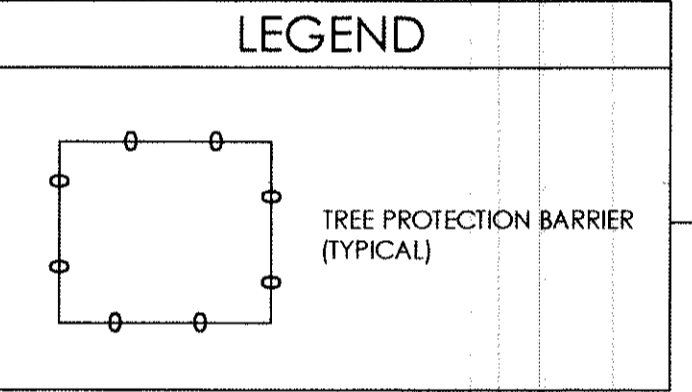
project no. 1924

On Behalf of
Pacheco-Martinez & Associates LLC
As a Manager

DRIVEWAYS - REV 8



| Identify name | Common name | DBH | Ht | Canopy |
|----------------------------|--------------------|-----|-----|--------|
| 1. Phoenix acutifolia | Star palm | 12" | 24' | 15' |
| 2. Coccoloba walteri | Coconut palm | 8" | 25' | 15' |
| 3. Coccoloba walteri | Coconut palm | 10" | 25' | 15' |
| 4. Coccoloba walteri | Coconut palm | 8" | 25' | 15' |
| 5. Adonis maritima | Christmas palm | 8" | 15' | 10' |
| 6. Adonis maritima | Christmas palm | 8" | 15' | 10' |
| 7. Adonis maritima | Christmas palm | 7" | 15' | 10' |
| 8. Phycosperma elegant | Solitaire palm | 8" | 24' | 12' |
| 9. Coccoloba walteri | Coconut palm | 8" | 24' | 12' |
| 10. Melaleuca rostrata | Manicaria palm | 7" | 7' | 12' |
| 11. Melaleuca rostrata | Manicaria palm | 7" | 7' | 12' |
| 12. Coccoloba walteri | Coconut palm | 10" | 25' | 15' |
| 13. Melaleuca rostrata | Manicaria palm | 7" | 7' | 12' |
| 14. Coccoloba walteri | Coconut palm | 8" | 24' | 12' |
| 15. Melaleuca rostrata | Manicaria palm | 7" | 7' | 12' |
| 16. Coccoloba walteri | Coconut palm | 8" | 24' | 12' |
| 17. Coccoloba walteri | Seagrape | 17" | 10' | 15' |
| 18. Coccoloba walteri | Seagrape | 22" | 10' | 15' |
| 19. Coccoloba walteri | Seagrape | 22" | 10' | 15' |
| 20. Coccoloba walteri | Seagrape | 22" | 10' | 15' |
| 21. Coccoloba walteri | Seagrape | 17" | 10' | 15' |
| 22. Coccoloba walteri | Seagrape | 17" | 10' | 15' |
| 23. Coccoloba walteri | Seagrape | 17" | 10' | 15' |
| 24. Coccoloba walteri | Seagrape | 17" | 10' | 15' |
| 25. Coccoloba walteri | Coconut palm | 12" | 20' | 15' |
| 26. Coccoloba walteri | Coconut palm | 10" | 25' | 15' |
| 27. Coccoloba walteri | Coconut palm | 8" | 20' | 15' |
| 28. Phycosperma elegant | Solitaire palm | 8" | 20' | 12' |
| 29. Mangrove rostrata | Mango | 10" | 10' | 15' |
| 30. Mangrove rostrata | Mango | 10" | 10' | 15' |
| 31. Mangrove rostrata | Mango | 10" | 10' | 15' |
| 32. Thrasia radula x 3 lbs | Florida slash palm | 1" | 10' | 10' |
| 33. Thrasia radula x 3 lbs | Florida slash palm | 1" | 10' | 10' |
| 34. Adonis maritima | Christmas palm | 8" | 15' | 10' |
| 35. Dyplis latifolia | Arca palm | 4" | 24' | 24' |
| 36. Thrasia radula x 3 lbs | Florida slash palm | 1" | 10' | 10' |
| 37. Coccoloba walteri | Coconut palm | 10" | 25' | 15' |
| 38. Thrasia radula x 3 lbs | Florida slash palm | 1" | 10' | 10' |
| 39. Coccoloba walteri | Coconut palm | 8" | 25' | 15' |
| 40. Coccoloba walteri | Coconut palm | 8" | 25' | 15' |
| 41. Coccoloba walteri | Coconut palm | 8" | 25' | 15' |
| 42. Coccoloba walteri | Coconut palm | 8" | 25' | 15' |
| 43. Coccoloba walteri | Coconut palm | 8" | 25' | 15' |
| 44. Coccoloba walteri | Coconut palm | 8" | 25' | 15' |
| 45. Coccoloba walteri | Coconut palm | 8" | 25' | 15' |



The TPZs assigned by the certified arborist to the trees and palms on this site are sufficient to maintain CRZs for these trees as well as the TPZs.

- The TPZ measurement can also be utilized for the root pruning radius if any trees or palms in good or moderate condition on this site are scheduled to be relocated.
- I recommend the removal of trees and palms that I rated to be in poor condition.
- The canopy measurement is the diameter of the canopy measured in one direction.
- The TPZ measurement is a radius measured from the outside of the trunk.
- The column 'Ht/C' denotes the approximate overall height of trees, or the clear trunk/gray wood measurement for palms.
- Many of the palm DBH measurements include two, three, or more closely grown trunks. I am grouping these individual palms as a single palm because they cannot be relocated separately.
- A "0" in the DBH column denotes no trunk at 4.5 feet above grade.

a. shall be subject to enforcement as provided in Sec. 46-67. Trees destroyed or incurring major damage must be replaced by trees of equal environmental value, as specified by the Environment and Sustainability Department, Public Works Department, prior to the issuance of the certificate of occupancy or certificate of use, unless removal of the trees has been authorized pursuant to a tree work permit. Tree protection zones must be established for all trees that remain in place on site and for any trees relocated within or to the site. When proposed development activities may damage the root systems or canopies of trees to be retained or relocated on site, alternatives to the proposed activities, or effective protective measures, shall be identified and used.

b. Permit/construction drawings. All permit and construction drawings of the site shall show the tree protection zones, as prescribed by the Environment and Sustainability Department, Public Works Department, as shaded areas that are accurately drawn to scale and labeled as such on the drawings. The tree protection zones shall be shown on all drawings that include any underground utility installations, including but not limited to, irrigation, plumbing, electrical, telecommunication or streetlight lines.

The tree protection zones shall be shown on all drawings that include structural installations that will require excavation(s) and for above-ground installations that may include, but is not limited to such as walkways, street lights, overhead wires or other types of infrastructure.

2. Tree protection specifications

The following tree protection specifications must be adhered to, in general, and as a condition of approval of the site plan for any project. The Urban Forester may require supplemental protection measures to ensure the protection of trees. The Urban Forester and his/her designee shall have the authority to enter the subject property to ensure compliance with required tree protection measures.

a. Protective Barriers

- Placement. Protective barriers shall be placed at the drip line of each tree, cluster of trees, or preservation area, and in no case less than ten (10) feet from the trunk of any protected tree, tree cluster or preservation area. In situations where trees have been transplanted to the project site, the protective fencing shall be placed no closer to the tree than a point one to two feet outside the root ball, or at the drip line, whichever is greater. The fenced tree protection zones shall be extended where necessary to protect tree canopies roots if trees are to be preserved in place and root pruning is required to accommodate new construction, the root pruning locations shall be identified and approved by the Environment and Sustainability Department, Public Works Department, and fencing shall be installed one (1) to two (2) feet beyond the edge of the root ball. The installation of the fencing shall be coordinated with any phased root pruning that must occur. Tree maintenance measures must be in place prior to any root pruning or transplanting.

Timing and Duration. All protective barriers shall be installed prior to the start of any construction or site development, including tree removal, demolition or land-clearing activities, and shall remain in place throughout all phases of construction. Protective barriers shall be maintained in place until development is completed, and shall not be removed until the Environment and Sustainability Department, Public Works Department inspects the site and

- authorizes their removal.
- Barrier Specifications. Sturdy temporary barriers shall be installed around all tree protection zones. Barriers shall be a minimum of four feet high, and shall be constructed of continuous chain link fence with metal posts at 8-foot spacing, or of two-by-four-inch posts with three equally spaced two-by-four inch rails. Posts may be shifted to avoid roots.
- Activities Within Tree Protection Zones Enclosed by Protective Barriers
 - Understory plants within areas surrounded by protective barriers shall be protected.
 - No oil, fill, equipment, building materials, building debris, or any other material shall be placed within the areas surrounded by protective barriers.
 - No disposal of any waste material such as paints, oils, solvents, asphalt, concrete, mortar, or any other material shall occur within the areas surrounded by protective barriers.
 - Natural grade shall be maintained on areas surrounded by protective barriers. In the event that the natural grade of the site is changed as a result of site development such that the safety of the tree may be endangered, tree wells or retaining walls are required.
 - Only hand digging and grading activities will be permitted within the tree protection zone. All surrounding areas must be graded to a point that meets the outside of the tree protection zone.
 - Underground utility lines, including, but not limited to, irrigation, plumbing, electrical, or telecommunication lines, shall be placed outside the areas enclosed by protective barriers. If such placement is not possible, disturbance and root damage shall be minimized by using techniques such as tunneling, hand digging, excavation with an air spade, or the use of overhead utility lines.
 - No vehicles or equipment shall be permitted within areas surrounded by protective barriers.
- Fences, walkways and walls shall be constructed to avoid disturbance to any tree and remain in place onsite in the vicinity of construction activities. Post holes and trenches located close to trees shall be dug by hand and adjusted as necessary, using techniques to avoid damage to major roots system.
- No attachments, signs, chains, ropes, or wires other than those of a protective or non-damaging nature shall be attached to any trees on subject property or controlled property in general or during any proposed site development or construction.

Critical Root Zone and Tree Protection Zone

ANSI A 300 (Part 5) – 2012 Management of Trees and Shrubs during Site Planning, Site Development and Construction

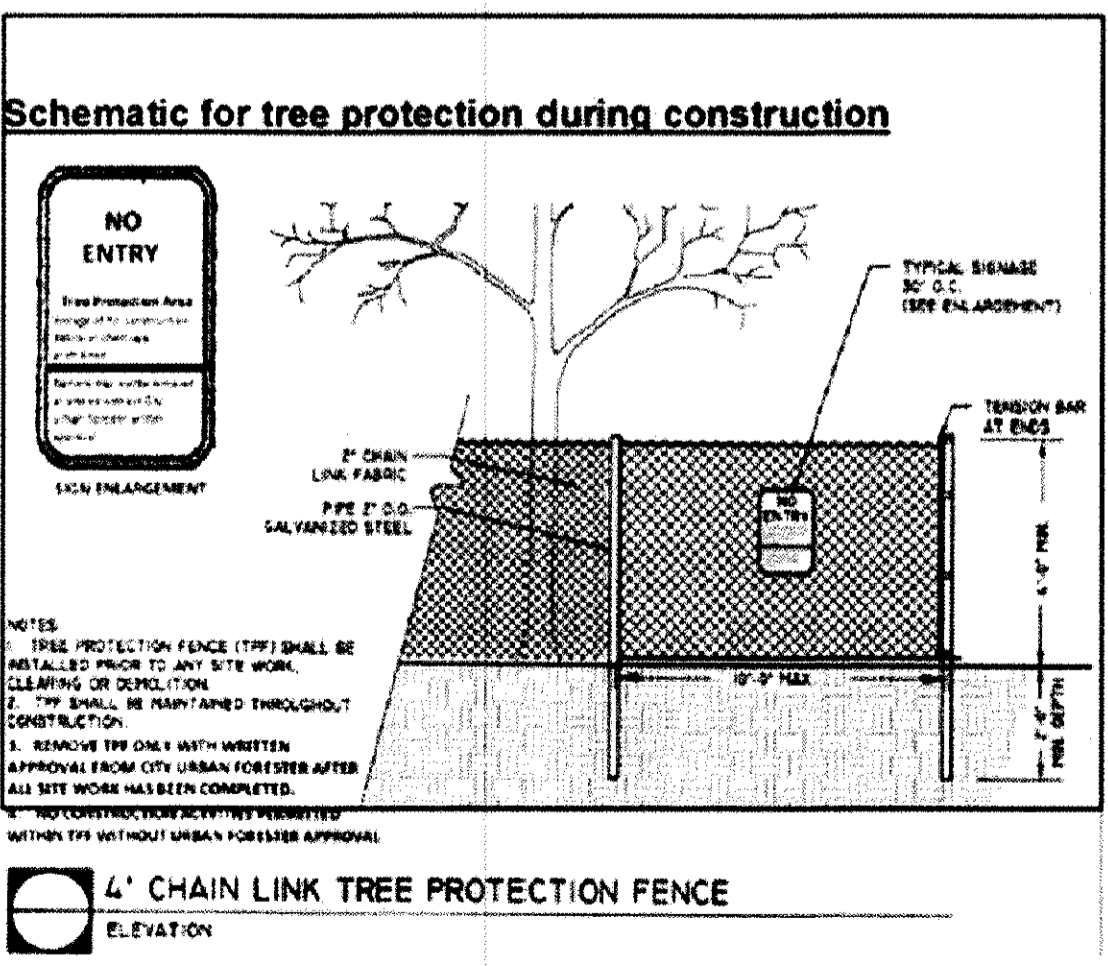
Critical Root Zone (CRZ): The minimum volume of roots necessary to have for tree health and stability.

Tree Protection Zone (TPZ): The area surrounding a tree defined by a specified distance, in which excavation and other construction – related activities shall be avoided. The TPZ is variable depending on species, factors, age and health of the plant, soil conditions, and proposed construction. The zone may be accomplished by physical barriers or soil protection layers or treatments.

ANSI A300 (Part 5) – 2012 54.7

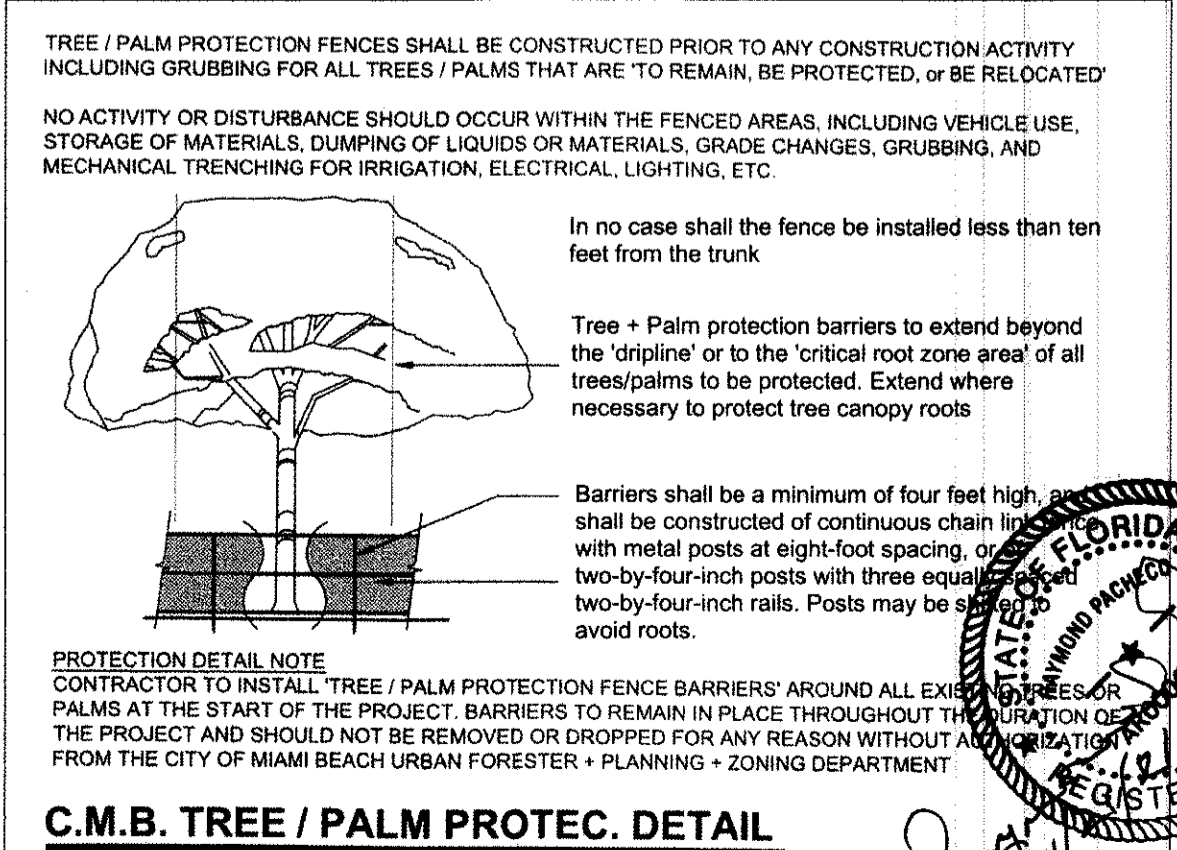
A tree protection zone (TPZ) shall be delineated around all trees to be protected during a project

- 54.7.1 The area and dimensions of the TPZ should be calculated on the basis of species tolerance, age, and health, root structure, rooting depth and soil conditions.



NOTES

- Prior to demolition permit approval, please schedule a site tree inventory/landscape inspection. Contact: ENVIRONMENT AND SUSTAINABILITY DEPT. / URBAN FORESTRY DIVISION 305/673-7722 Tree protection fencing shall be installed by the time site inspection is performed.
- Care shall be taken to avoid utility or construction trenching through existing tree or palm drip lines of trees stated to remain in place or be relocated. If construction requires the cutting of any roots with a diameter of 2" or greater, roots should be cleanly cut with a sharp tool, as directed by an ISA Certified Arborist, and in accordance with the ANSI A-300 standards. Cut roots should be immediately covered with soil to prevent drying. Roots should not be torn or broken by heavy equipment, and not shredded, ragged, or broken roots ends should be left. The City Urban Forester shall be notified in writing and/or consulted prior to any root pruning taking place.
- The tree protection zone shall be encircled with a 4' high chain link fence supported by metal poles to support the fence every 6 feet. There shall be signage on the fence in English and Spanish not allowing storage of any materials, change of grade or movement of equipment. This fence shall be inspected regularly by the contractor to ensure compliance.



ANSI A300 (Part 5) - 2005, Annex A

Management report information

Examples of suitability ratings

Good: These are trees with good health and structural stability that have the potential for longevity at the site.

Moderate: Trees in this category have fair health and/or structural defects that may be abated with treatment. Trees in this category require more intense management and monitoring, and may have shorter life-spans than those in the 'good' category.

Poor: Trees in this category are in poor health or have significant defects in structure that cannot be abated with treatment. These trees can be expected to decline regardless of management. The species or individual tree may possess either characteristics that are undesirable in landscape settings or be unsuited for use areas.

City of Miami Beach Sec. 46-62

- Tree protection requirements, in general, and during construction

General: All reasonable steps shall be taken to prevent the destruction or damaging of trees for which no tree work permit has been issued during site development and construction on private

DRIVEWAYS - REV 8

PRIVACY WALL/FENCE/GATES FOR: 7801 ATLANTIC WAY MIAMI BEACH, FL

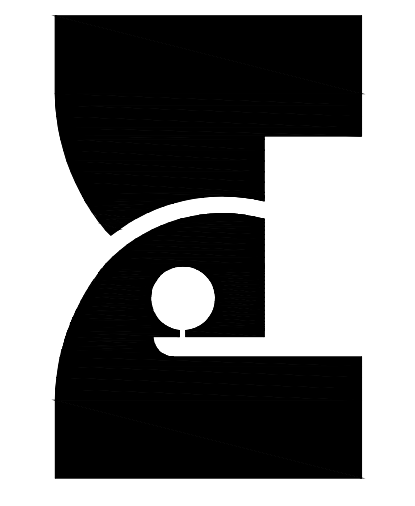
revisions: 8 12-21-20 COMM.

2020-09-30

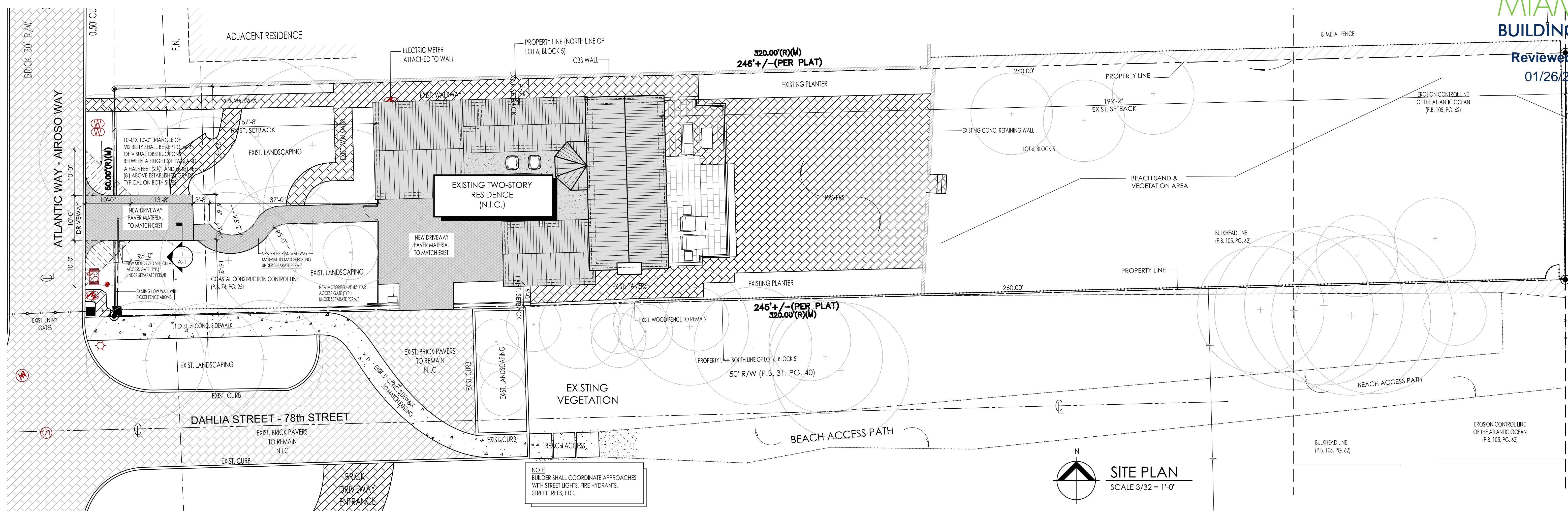
issued drawn checked project no. 1954

sheet no. TP-1

STATE OF FLORIDA
 COUNTY OF MIAMI
 REGISTERED ARCHITECT
 PACHECO-MARTINEZ & ASSOCIATES, L.L.C.
 12515 SW 15th Ave, Suite 101, Miami, FL 33185
 T: (305) 666-2573 F: (305) 666-3333

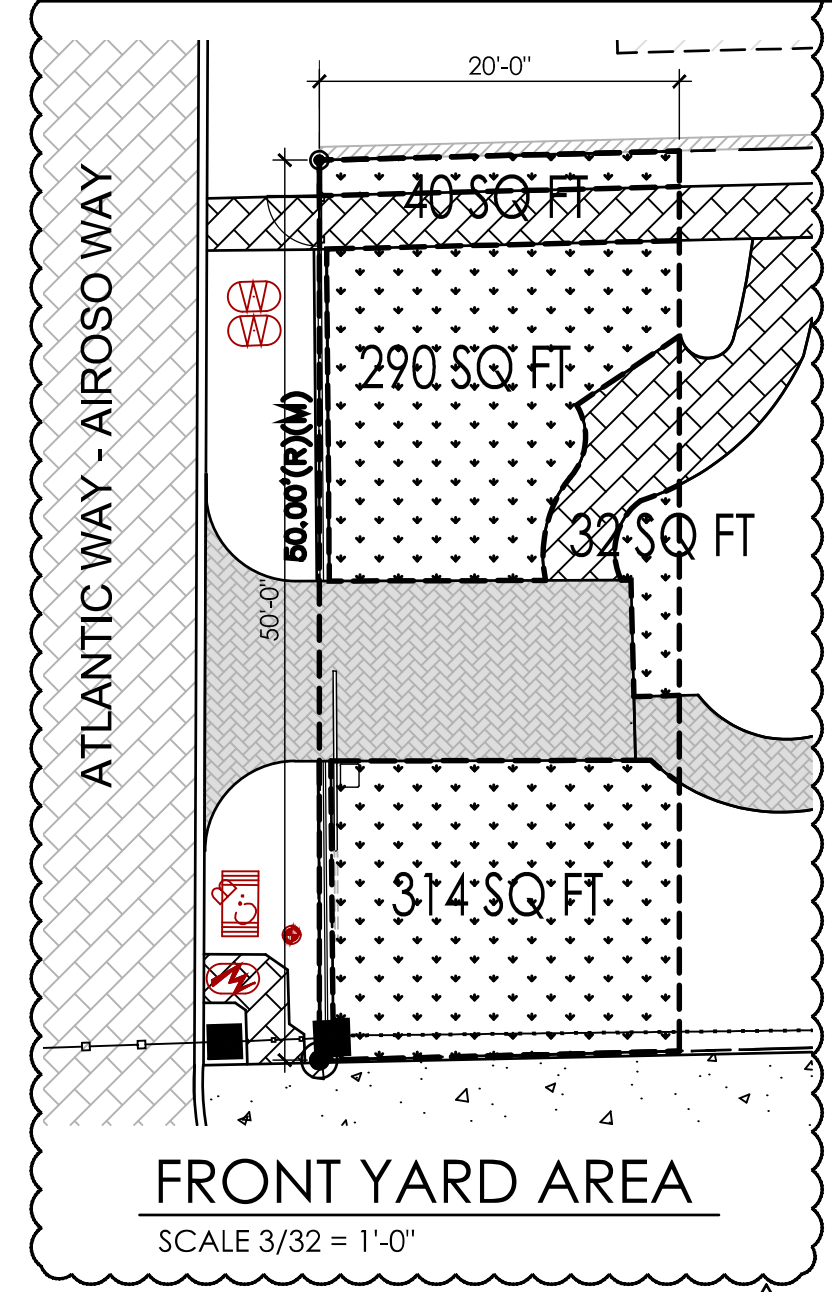


Architect is the author and owner of all drawings and specifications and other documents, including those in electronic form, prepared by the Architect and the Architect's consultant and the Architect shall retain all common law, statutory and other reserved rights, including copy rights for this project. The owner and/or others shall not use the Architect's drawings and specifications on other projects.



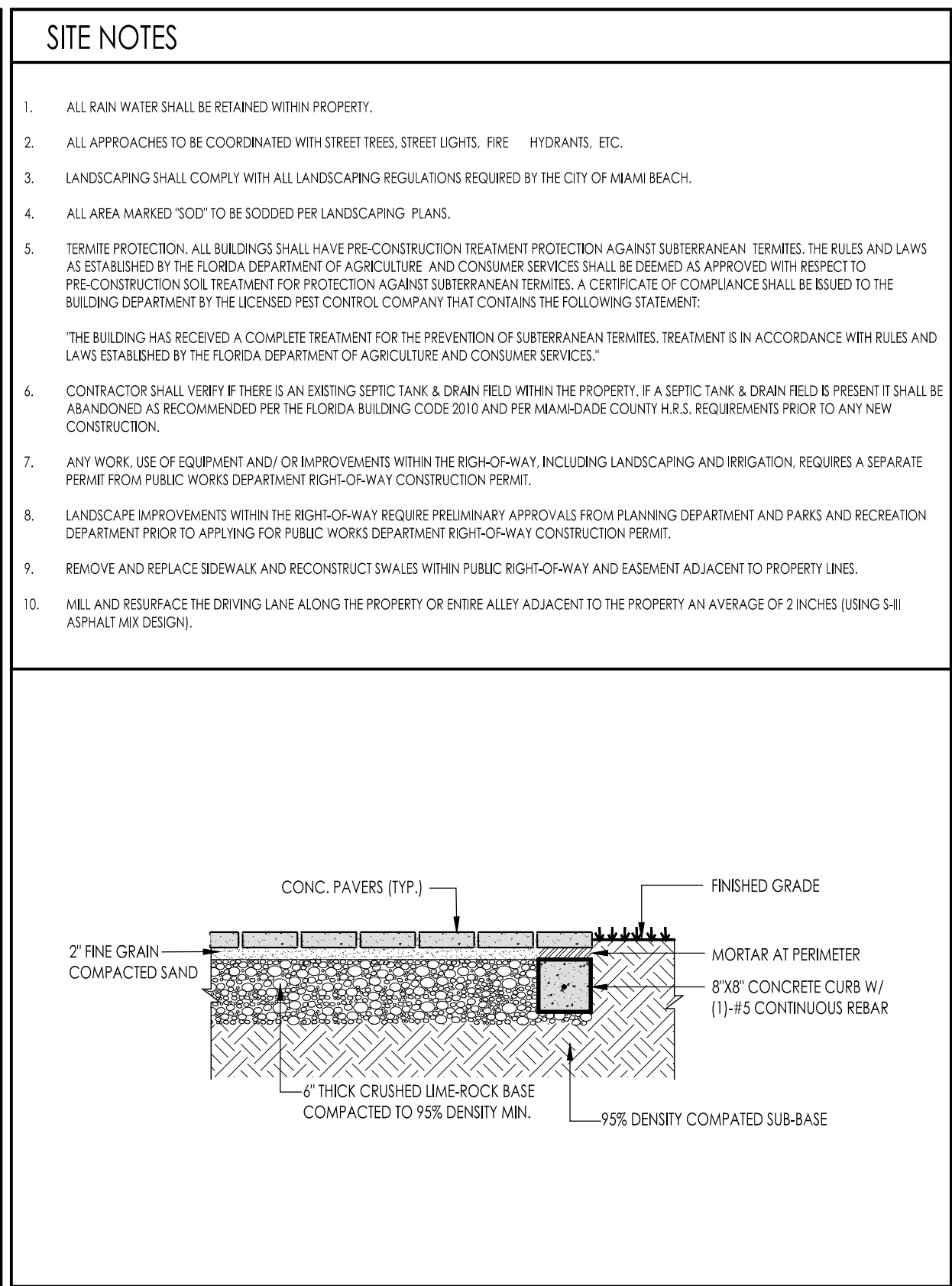
FRONT YARD AREA CALCULATIONS

| | |
|--|-------------|
| TOTAL FRONT YARD AREA REQUIRED: | 1,000 SQ FT |
| TOTAL FRONT YARD AREA REQUIRED (50% REQUIRED): | 500 SQ FT |
| TOTAL FRONT YARD AREA PROVIDED: | 676 SQ FT |



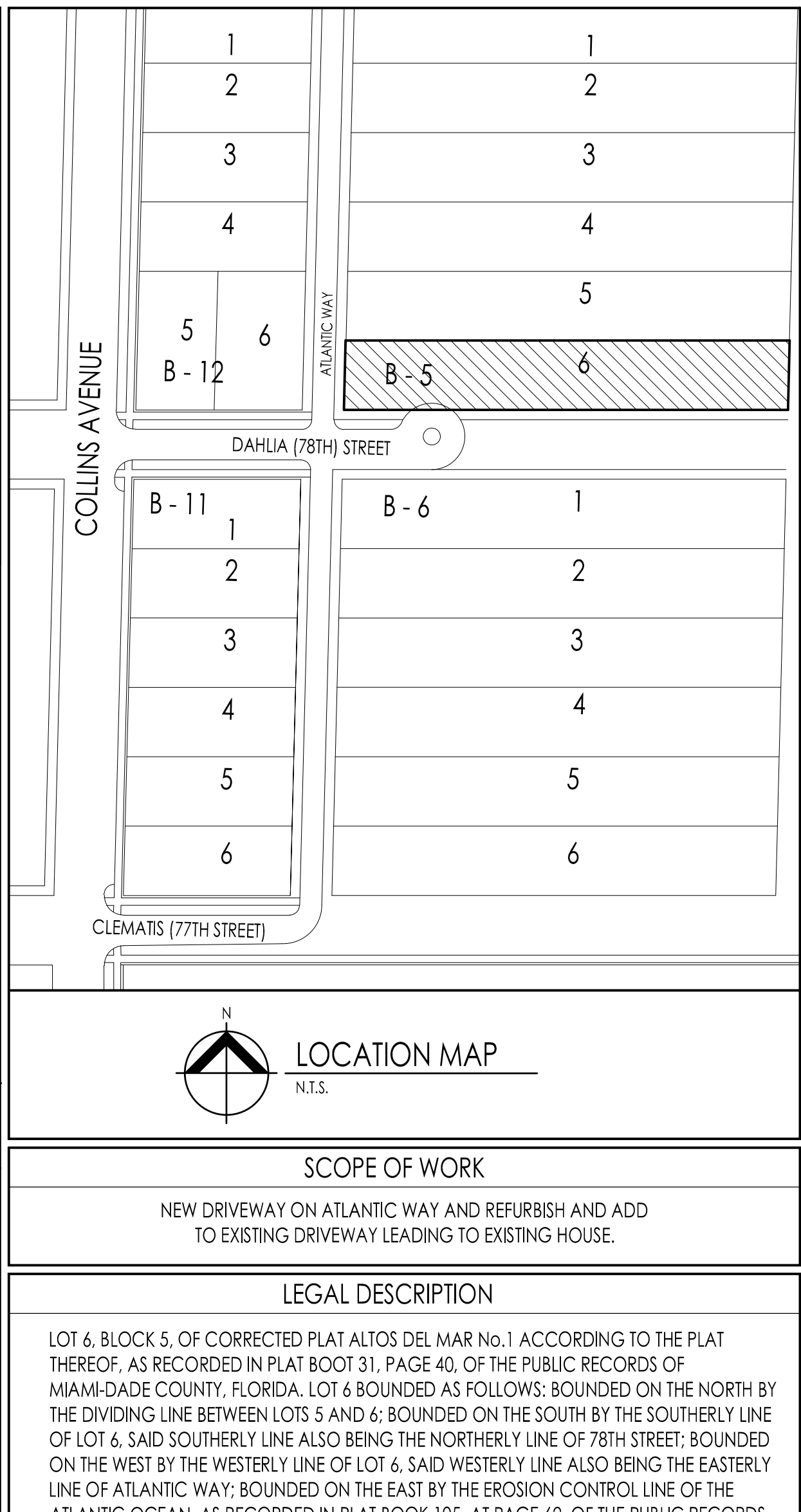
- GENERAL NOTES**
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ANY GOVERNMENTAL AGENCIES NECESSARY IN ORDER TO ESTABLISH ANY UTILITY EASEMENTS OR LINES PRESENT WITHIN THE PROPERTY PRIOR TO PERFORMING ANY WORK.
 - CONCRETE SHALL HAVE 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE NOTED (U.O.W.)
 - ALL REINFORCING STEEL SHALL BE DEFORMED BARS, AND SHALL HAVE A MINIMUM YIELD STRENGTH OF 60,000 PSI GRADE 60, AND MEET ASTM A-36 SPECS.
 - ALL STRUCTURAL STEEL SHALL HAVE A MINIMUM YIELD STRENGTH OF 36,000 PSI, AND MEET ASTM A-36 SPECS.
 - ALL DETAILING, FABRICATION AND PLACING OF REINFORCING BARS MUST FOLLOW THE ACI "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES", 0, N.O.
 - STRUCTURAL DRAWINGS SHALL BE WORKED TOGETHER WITH ARCHITECTURAL, A/C, ELECTRICAL AND MECHANICAL DWGS. TO LOCATED OPENINGS, DRAINS, SLEEVES, SLOPES, DEPRESSED SLABS, BOLTS, CURBS, ETC.
 - ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI-301(ETC), "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS."
 - REMOVAL OF FORMWORK SHALL BE IN ACCORDANCE WITH ACI-347 RECOMMENDED PRACTICE FOR CONCRETE FORM."
 - DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.
 - REARS SHOWN ON SECTIONS ARE FOR PLACEMENT DETAIL ONLY. SIZE AND AMOUNT OF REARS ARE AS PER SCHEDULES.
 - NO TIE BEAMS SHALL BE FORMED / POURED PRIOR TO TRUSS SHOP DRAWINGS APPROVAL.
 - WINDOW MANUFACTURER TO VERIFY ALL WINDOW OPENINGS AT FIELD PRIOR TO WINDOW PLACEMENT.
 - ARCHITECTS / INTERIOR DESIGNER AND ENGINEER'S VISITS AT THE SITE DURING CONSTRUCTION SHALL BE SCHEDULED WITH CONTRACTOR BEFORE COMMENCING OF WORK AND DURING CONSTRUCTION SHALL BE COORDINATED WITHIN 48 HOURS IN ADVANCE PRIOR TO INSPECTION.
 - VERIFY ALL DIMENSIONS ON DRAWINGS AND CONDITIONS AT JOB SITE PRIOR TO COMMENCING WORK. NOTIFY ARCHITECT OR OWNER REPRESENTATIVE OF ANY DISCREPANCIES AND SECURE AN INTERPRETATION OR DECISION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.
 - OBTAIN THE LATEST SET OF DRAWINGS, INCLUDING ANY REVISIONS, BEFORE COMMENCING WORK. NO CHANGES OR SUBSTITUTIONS SHALL BE MADE WITHOUT THE WRITTEN PERMISSION OF THE OWNER DESIGNER.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF THE "FLORIDA BUILDING CODE" FBC 2017, CURRENT EDITION. NOTE: ALL LOCAL CODES SHALL PREVAIL.
 - THE ARCHITECT DOES NOT ACCEPT RESPONSIBILITY FOR THE MISINTERPRETATION OF THESE PLANS BY OTHERS. THE REVIEW AND APPROVAL OF SHOP DRAWINGS PRODUCT CONTROL APPROVAL BY OTHERS.
 - THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY ITEMS PURCHASED BY THE OWNER AND GIVEN TO HIM FOR INSTALLATION.
 - THE CONTRACTOR SHALL NOT PROCEED WITH ANY ADDITIONAL SERVICES OR WORK WITHOUT PRIOR NOTIFICATION TO THE OWNER, FOLLOWED BY A CHANGE ORDER.
 - THE CONTRACTOR SHALL MAKE REQUIRED ARRANGEMENTS, SECURE AND PAY FOR ALL SANITARY FACILITIES, BARRICADES, ENCLOSURES, AND FENCING AS NEEDED FOR AND DURING THE PROGRESS OF CONSTRUCTION. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES.
 - DO NOT SUBSTITUTE MATERIALS, EQUIPMENT OR METHODS OF CONSTRUCTION UNLESS SUCH SUBSTITUTIONS OR CHANGES HAVE BEEN APPROVED IN WRITING BY THE OWNER/ARCHITECT/ENGINEER.
 - THE ARCHITECT/INTERIOR DESIGNER/OWNER HAS THE RIGHT TO REFUSE ANY MATERIAL AND WORKMANSHIP THAT DOES NOT MEET HIGH QUALITY STANDARDS OF THE VARIOUS TRADES INVOLVED.
 - CONTRACTOR SHALL MAINTAIN AN ACCURATE RECORD OF CHANGE ORDERS AND VARIATIONS THROUGHOUT THE PROGRESS OF THE WORK. USE ONE SET OF DOCUMENTS EXCLUSIVELY FOR THIS JOB.
 - CONTRACTOR SHALL DELIVER THE ANNOTATED JOB RECORD SET TO THE OWNER UPON COMPLETION OF THE WORK, AS A CONDITION OF ACCEPTANCE.
 - CLEANING AND DEBRIS REMOVAL. THE OWNER SHALL RECEIVE THE PROPERTY FREE FROM DUST. ALL GLASS SURFACES SHALL BE CLEAN AND DEBRIS SHALL BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL MAKE EFFORT TO MAINTAIN THE FLOOR CLEAN DURING CONSTRUCTION PROGRESS. LEFTOVERS FORM MEALS CONSUMED ON PREMISES SHALL BE DEPOSITED IN SEALED CONTAINERS.
 - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION, AND FOR THE SEQUENCES AND PROCEDURES TO BE USED.
 - THE ARCHITECTURAL AND STRUCTURAL DRAWINGS SHALL GOVERN THE LOCATIONS OF THE INSTALLATIONS OF THE MECHANICAL AND ELECTRICAL SYSTEM. CONTRACTOR MUST INFORM THE ARCHITECT BEFORE FORMING ANY CONCRETE BEAM IF INTERFERING WITH A/C DUCT OR PLUMBING FITTINGS EXACT LOCATION. ANY DEVIATION FROM THE MECHANICAL/ELECTRICAL PLANS TO ACCOMMODATE THE ABOVE CONDITIONS SHALL BE MADE WITHOUT ADDITIONAL COST TO THE OWNER.

- SITE NOTES**
- ALL RAIN WATER SHALL BE RETAINED WITHIN PROPERTY.
 - ALL APPROACHES TO BE COORDINATED WITH STREET TREES, STREET LIGHTS, FIRE HYDRANTS, ETC.
 - LANDSCAPING SHALL COMPLY WITH ALL LANDSCAPING REGULATIONS REQUIRED BY THE CITY OF MIAMI BEACH.
 - ALL AREA MARKED "500" TO BE SODDED PER LANDSCAPING PLANS.
 - TERMITE PROTECTION: ALL BUILDINGS SHALL HAVE PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES. THE RULES AND LAWS AS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES SHALL BE OBEYED AS APPROVED WITH RESPECT TO PRE-CONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST SUBTERRANEAN TERMITES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT:
"THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."
 - CONTRACTOR SHALL VERIFY IF THERE IS AN EXISTING SEPTIC TANK & DRAIN FIELD WITHIN THE PROPERTY. IF A SEPTIC TANK & DRAIN FIELD IS PRESENT IT SHALL BE ABANDONED AS RECOMMENDED PER THE FLORIDA BUILDING CODE 2010 AND PER MIAMI-DADE COUNTY H.R.S. REQUIREMENTS PRIOR TO ANY NEW CONSTRUCTION.
 - ANY WORK, USE OF EQUIPMENT AND/OR IMPROVEMENTS WITHIN THE RIGHT-OF-WAY, INCLUDING LANDSCAPING AND IRRIGATION, REQUIRES A SEPARATE PERMIT FROM PUBLIC WORKS DEPARTMENT RIGHT-OF-WAY CONSTRUCTION PERMIT.
 - LANDSCAPE IMPROVEMENTS WITHIN THE RIGHT-OF-WAY REQUIRE PRELIMINARY APPROVALS FROM PLANNING DEPARTMENT AND PARKS AND RECREATION DEPARTMENT PRIOR TO APPLYING FOR PUBLIC WORKS DEPARTMENT RIGHT-OF-WAY CONSTRUCTION PERMIT.
 - REMOVE AND REPLACE SIDEWALK AND RECONSTRUCT SWALES WITHIN PUBLIC RIGHT-OF-WAY AND EASEMENT ADJACENT TO PROPERTY LINES.
 - MILL AND RESURFACE THE DRIVING LANE ALONG THE PROPERTY OR ENTIRE ALLEY ADJACENT TO THE PROPERTY AN AVERAGE OF 2 INCHES (USING 5/8" ASPHALT MIX DESIGN).
 - THE CONTRACTOR SHALL PRODUCE, BY MEANS OF SHOP DRAWINGS, ALL ADDITIONAL DETAILS WHICH ARE INFERRABLE FROM THESE PLANS AND WHICH ARE NECESSARY FOR THE EXECUTION AND COMPLETION OF THE CONSTRUCTION.
 - THE CONTRACTOR MUST FURNISH ALL LABOR, TOOLS, MATERIALS AND EQUIPMENT NECESSARY TO EXECUTE THE CONSTRUCTION OF THIS JOB.
 - UPON ACCEPTANCE AS SUBSTANTIALLY COMPLETE, THE ARCHITECT SHALL ISSUE THE CONTRACTOR A "PUNCHLIST", INDICATING THE OBSERVED DEFICIENCIES IN THE WORK. THE CONTRACTOR SHALL MAKE SUCH CORRECTIONS AND ACHIEVE FINAL COMPLETION WITHIN 14 CALENDAR WORKING DAYS.
 - ANY OMISSION OF EQUIPMENT INSTALLATIONS AND MATERIALS SHALL BE PROMPTLY RECTIFIED, BY CONTRACTOR UPON NOTIFICATION BY ARCHITECT/ENGINEER/OWNER.
 - ANY OTHER SERVICES NECESSARY FOR THE COMPLETION OF THIS JOB THAT MAY BE INVOLUNTARY UNDER THE JURISDICTION OF THE FLORIDA BUILDING CODE AND NOT SPECIFIED IN THE "GENERAL NOTES AND OR SPECIFICATIONS" ARE THE CONTRACTOR'S SOLE RESPONSIBILITY.
 - CONTRACTOR SHALL SUBMIT TO ARCHITECT/ENGINEER & BUILDING DEPARTMENT ALL REQUIRED SHOP DRAWINGS FOR REVIEW AND APPROVAL AS REQUIRED.
 - ALL GLASS SHOWER AND TUB ENCLOSURES SHALL BE TEMPERED GLASS CAT. II.
 - ALL FIXED GLASS SHALL BE 1/4" THICK (U.O.N.).
 - ALL CEILINGS SHALL BE SEALED SO THAT AIR FLOW FROM SHAFTS, WALL CHASES, CAVITIES AND BETWEEN CONDITIONED AND UNCONDITIONED ATTIC SPACE IS STOPPED.
 - USE ONLY HIGH HAT LIGHTS WITH SEALED CANS OR SEAL THEM FROM THE ATTIC DRYWALL SO THAT COLD AIR DOES NOT GET INTO THE ATTIC.
 - ALL DIFFUSERS AND GRILLS SHALL HAVE GASKETTS AND THE FIBERGLASS BOOT CONNECTIONS SHALL BE TIGHT IN ORDER TO PREVENT COLD AIR TO LEAK OUT THROUGH THE DRYWALL OPENINGS ALLOWING CONDENSATION TO FORM.
 - DRAFT STOPS SHALL BE SEALED AROUND PIPES AND CONDUITS AT THE TOPS OF ALL INTERIOR PARTITION WALLS SO THAT AIR CANNOT PENETRATE DOWN INTO THE WALLS.
 - SEAL ALL CEILING SPACES BETWEEN THE CONDITIONED FLOORS FROM OUTSIDE AIR.
 - PROVIDE THE ABSOLUTE MINIMUM ATTIC VENTILATION. LOCATE THE NECESSARY SOFFIT VENTS ON THE EXPOSURE AWAY FROM THE LOCAL PREVAILING BREEZE.
 - INSURE THAT ALL INSULATION IS PROPERLY DISTRIBUTED AND INSTALLED WITHOUT GAPS OR IN CONTACT WITH SURFACES THAT TRANSFER AIR.
 - DO NOT VENTILATE THE ATTIC BY FORCED VENTILATION.
 - ASSURE THAT ALL REPLACE DAMPERS ARE TIGHTLY CLOSED.
 - INSURE THAT THERE IS NO DUCT LEAKAGE.
 - KEEP ALL DUCTWORK SEPARATE FROM ALL OTHER DUCTWORK. ATTIC INSULATION, AND BUILDING CONSTRUCTION MATERIALS.
 - SLABS OVER CRAWLSPACES, UNCONDITIONED SPACES SHALL BE SEALED AND INSULATED UNDERNEATH.
 - MAINTAIN CONDITIONS IN ATTIC SUCH THAT THE DEW POINT OF THE ATTIC AIR IS HIGHER THAN THE SKIN TEMPERATURE OF THE DUCTWORK AT ALL TIMES.
 - EXTERIOR AND ADJACENT WALLS SHALL BE SEALED AT THE FOLLOWING LOCATIONS AS PER FLORIDA BUILDING CODE, LATEST EDITION.
 - BETWEEN WINDOWS AND DOORS AND THEIR FRAMES.
 - BETWEEN WINDOWS AND DOOR FRAMES AND THE SURROUNDING WALL.
 - BETWEEN THE FOUNDATION AND WALL ASSEMBLY SILL-PLATES.
 - JOINTS BETWEEN EXTERIOR WALL PANELS AT CHANGES IN PLANE, SUCH AS WITH EXTERIOR SHEATHING AT CORNERS AND CHANGES IN ORIENTATION.
 - OPENINGS AND CRACKS AROUND ALL PENETRATIONS THROUGH THE WALL ENVELOPE SUCH AS UTILITY SERVICES AND PLUMBINGS.
 - BETWEEN THE WALL PANELS AND TOP AND BOTTOM PLATES IN EXTERIOR AND ADJACENT WALLS. IN FRAME CONSTRUCTION, THE CRACK BETWEEN EXTERIOR AND ADJACENT WALL BOTTOM PLATES AND FLOORS SHALL BE SEALED WITH CAULKING OR GASKET MATERIAL, GYPSUM BOARD OR OTHER WALL PANELING ON THE INTERIOR SURFACE OF EXTERIOR AND ADJACENT WALL SHALL BE SEALED TO THE FLOOR, AND (WHEN APPLICABLE) BETWEEN WALLS AND FLOOR WHERE THE FLOOR PENETRATES THE WALL.
 - ARCHITECT'S SPECIFICATIONS SHALL BECOME PART OF THE CONSTRUCTION DOCUMENTS.
 - COORDINATE WITH THE ARCHITECT ALL A/C DUCTWORK LOCATION AND SIZES PRIOR TO FORMING CONCRETE BEAM. CONSULT ARCHITECT, STRUCTURAL, AND MECHANICAL ENGINEER IN THE EVENT OF ANY DISCREPANCIES. SUBMIT TRUSS SHOP DRAWINGS TO THE ARCHITECT, STRUCTURAL AND H.V.A.C. ENGINEER FOR REVIEW PRIOR TO TRUSS PERMIT AND FABRICATION. DUE TO TIGHT CONDITIONS AT SOME PORTIONS OF THE ROOF, LINEAR DIFFUSERS MAY BE REPLACED FOR CONVENTIONAL DIFFUSERS AS APPROVED BY THE ARCHITECT & ENGINEER. THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT & ENGINEER ON SITE BEFORE ORDERING A/C DIFFUSERS.
 - THE DRAWINGS ARE GENERALLY DIAGRAMMATIC. THE MECHANICAL WORK SHALL BE COORDINATED WITH ALL FIELD CONDITIONS AND OTHER TRADES IN ORDER TO AVOID INTERFERENCE WITH PLUMBING, AIR CONDITIONING AND STRUCTURAL ELEMENTS.



BUILDING DATA

| | |
|--|-----------------|
| TYPE I | |
| BUILDING DESIGN SHALL COMPLY WITH FLORIDA BUILDING CODE - R 2017 | |
| ZONING CLASSIFICATION | RS-3 |
| FRONT SETBACK (ATLANTIC WAY) | |
| HEIGHT OF BUILDING LESS THAN 25'-0" | 12'-0" |
| HEIGHT OF BUILDING MORE THAN 25'-0" | 75'-0" |
| REAR SETBACK (OCEAN FRONT): | |
| HEIGHT OF BUILDING LESS THAN 25'-0" | 130'-0" |
| HEIGHT OF BUILDING MORE THAN 25'-0" | 140'-0" |
| SIDE SETBACKS: | |
| INTERIOR SIDE SETBACK | 5'-0" |
| POOL & DECK SETBACKS: | |
| POOL SETBACK | 80'-0" |
| MAX. BUILDING HEIGHT | 25'-0" / 37'-0" |



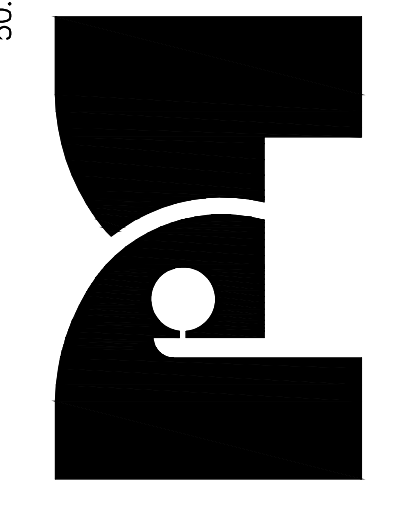
Raymond Pacheco
Digitally signed by Raymond Pacheco
Date: 2020.12.14 12:17:12 -0500

7801 ATLANTIC WAY
7801 ATLANTIC WAY
MIAMI BEACH, FL 33141

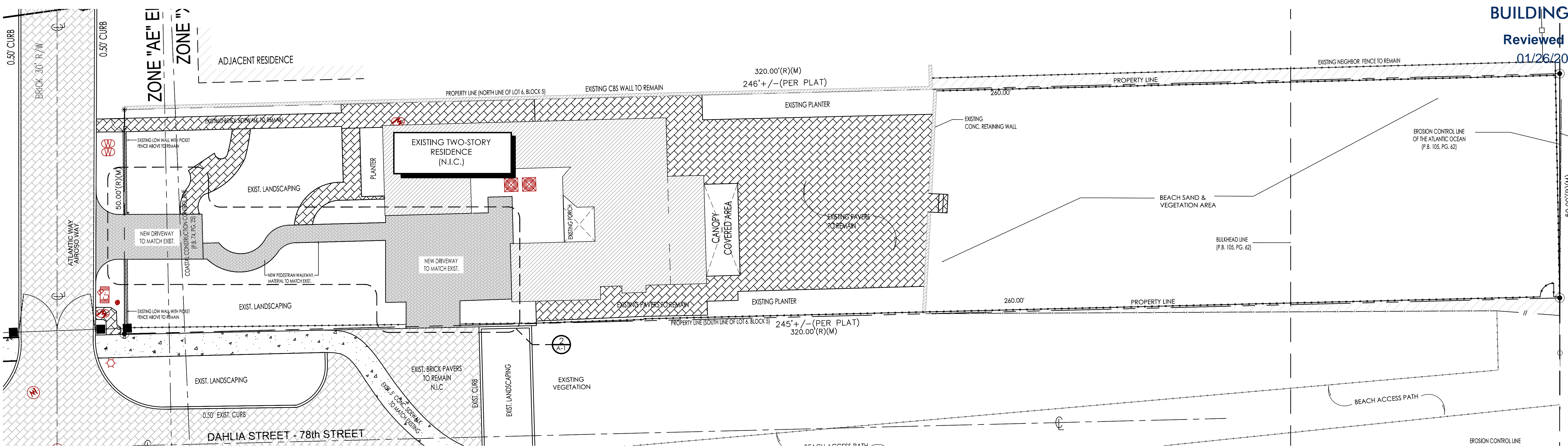
revisions
09-10-2020
11-09-20 COM.M.

date issued drawn checked project no.
1954

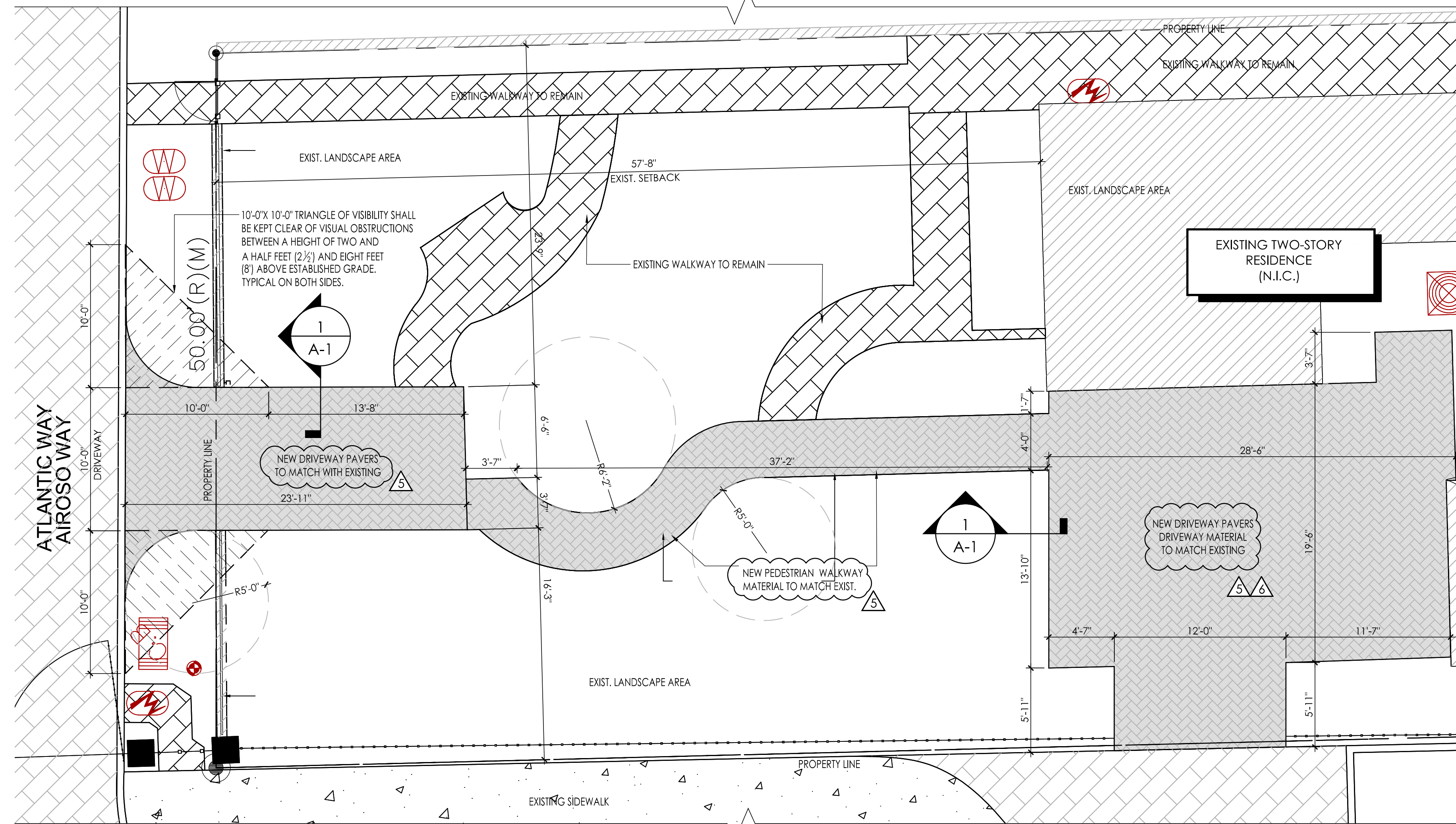
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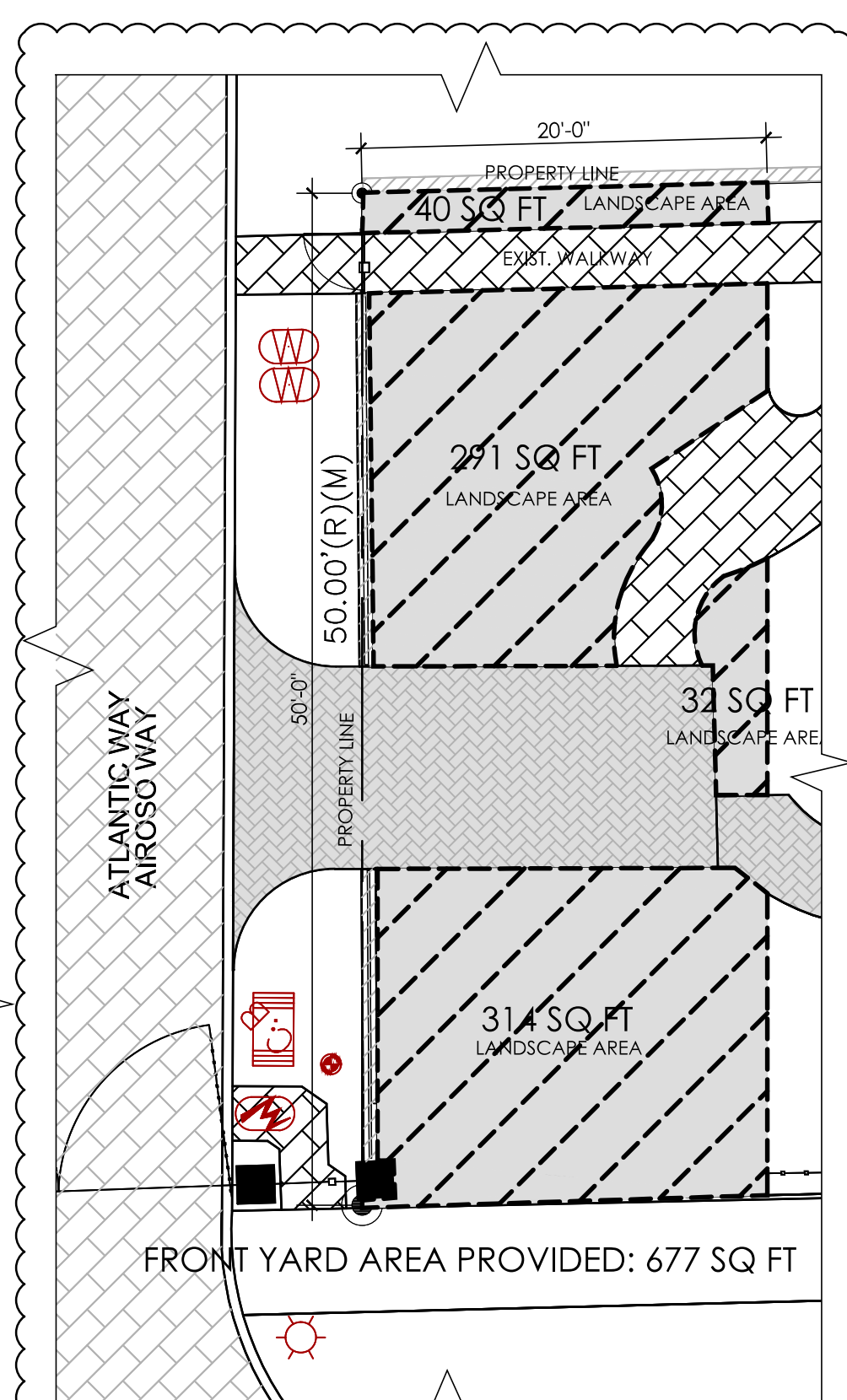
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1 SITE PLAN FLOOR PLAN
SCALE 3/32" = 1'-0"

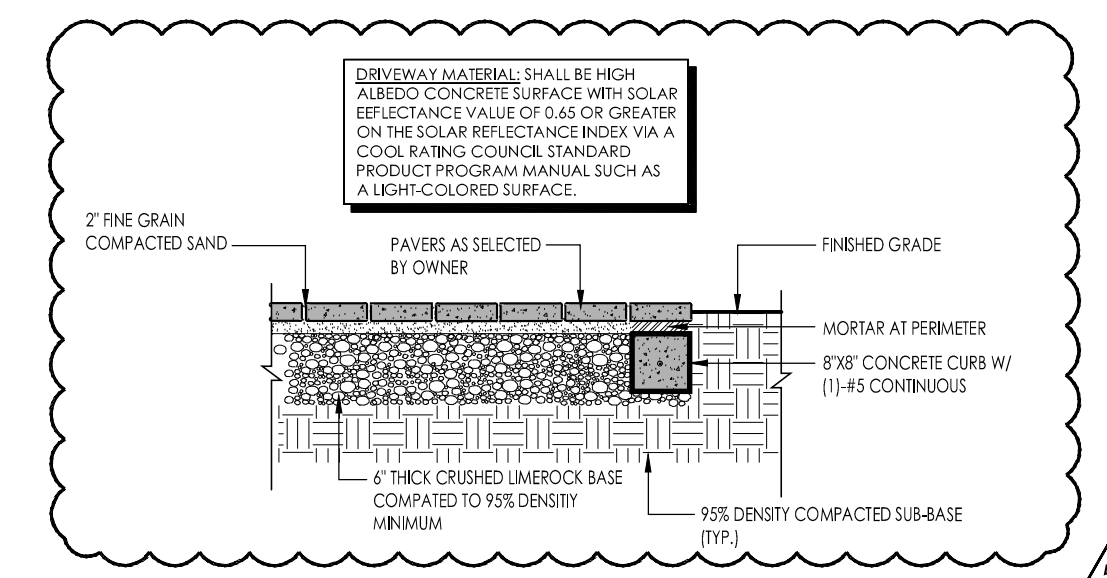


2 ENLARGED DRIVEWAY PLAN
SCALE 3/16" = 1'-0"



| FRONT YARD AREA CALCULATION | |
|---|-------------|
| TOTAL FRONT YARD AREA: | 1,000 SQ FT |
| TOTAL FRONT YARD AREA PROVIDED: (50% REQUIRED) | 500 SQ FT |
| TOTAL FRONT YARD AREA PROVIDED: | 677 SQ FT |

FRONT YARD AREA
SCALE 3/16" = 1'-0"



1 DRIVEWAY EDGE DETAIL
SCALE: 3/16" = 1'-0"

LEGAL DESCRIPTION
LOT 6, BLOCK 5, OF CORRECTED PLAT ALTOS DEL MAR NO. 1, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 31, PAGE 40, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. LOT 6 BOUNDED AS FOLLOWS: BOUNDED ON THE NORTH BY THE DIVIDING LINE BETWEEN LOTS 5 AND 6; BOUNDED ON THE SOUTH BY THE SOUTHERLY LINE OF LOT 6, SAID SOUTHERLY LINE ALSO BEING THE NORTHERLY LINE OF 78TH STREET; BOUNDED ON THE WEST BY THE WESTERLY LINE OF LOT 6, SAID WESTERLY LINE ALSO BEING THE EASTERLY LINE OF ATLANTIC WAY; BOUNDED ON THE EAST BY THE EROSION CONTROL LINE OF THE ATLANTIC OCEAN, AS RECORDED IN PLAT BOOK 105, AT PAGE 62, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

| NOTE | SCOPE OF WORK |
|-------------------------|---|
| NO TREES BEING AFFECTED | 1. NEW DRIVEWAY AT ATLANTIC WAY. DRIVEWAY PAVERS TO MATCH EXISTING. |

Raymond Pacheco
Digitally signed by Raymond Pacheco
Date: 2020.12.17 10:24:03 -05'00'

7801 ATLANTIC WAY
7801 ATLANTIC WAY
MIAMI BEACH, FL

PRIVACY WALL/FENCE/GATES FOR:

| revisions | date | issued | drawn | checked | project no. |
|-----------|------------------|--------|-------|---------|-------------|
| 1 | 10-05-2020 COMM. | | | | 1934 |
| 2 | 12-25-19 COMM. | | | | |
| 3 | 01-21-20 COMM. | | | | |
| 4 | 10-25-20 COMM. | | | | |
| 5 | 01-30-20 REV. | | | | |
| 6 | 12-17-2020 COMM. | | | | |
| 7 | 02-07-20 COMM. | | | | |

City of Miami Beach
Last Completed Item Reviews Across All Submittals

Permit Type: Building - Residential Work Class: Driveway/Approach Application Date: 10/06/2020 Status: Approved
Address: 7801 ATLANTIC WAY Permit: BR2004719

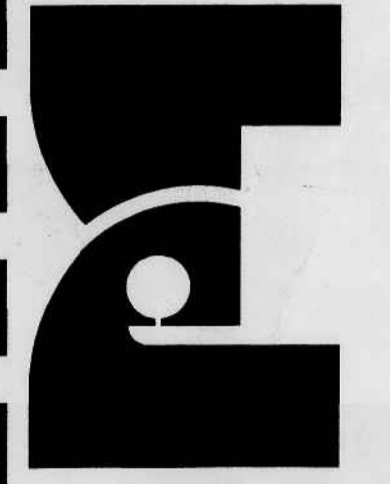
| Item Review Type | Status | Version | Completed Date | Assigned User |
|---------------------------------|--------|---------|----------------|-------------------|
| Permit Intake Review | Pass | 1 | 10/14/2020 | Danasia Bethrant |
| Flood Review | Pass | 2 | 12/14/2020 | Carlos Cuernera |
| Public Works (Building Permits) | Pass | 3 | 12/21/2020 | Eugene Egemba |
| Structural Review | Pass | 3 | 12/17/2020 | Vicente Franco |
| Permit Landscape Review | Pass | 3 | 12/22/2020 | Ricardo Guzman |
| Urban Forestry Group Review | Pass | 4 | 01/26/2021 | Omar Leon |
| Planning Review - VDR | Pass | 4 | 01/25/2021 | Giselle Deschamps |
| Building Review | Pass | 4 | 01/22/2021 | Oscar Larrieu |

Reviewed For Compliance

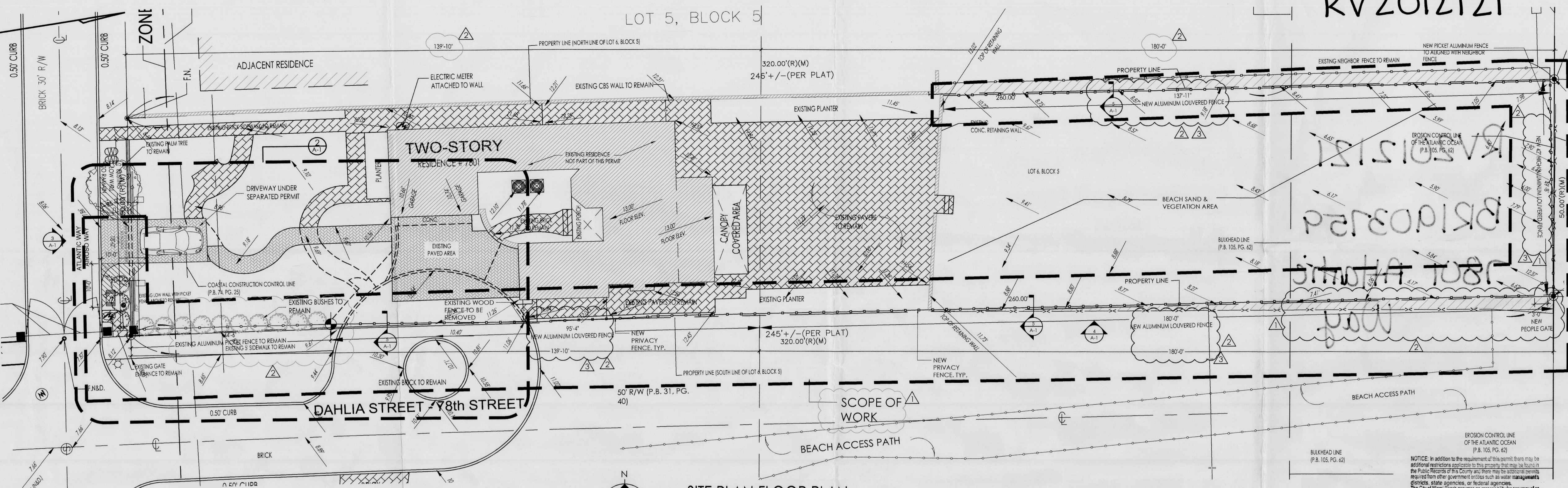
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RV 2012121

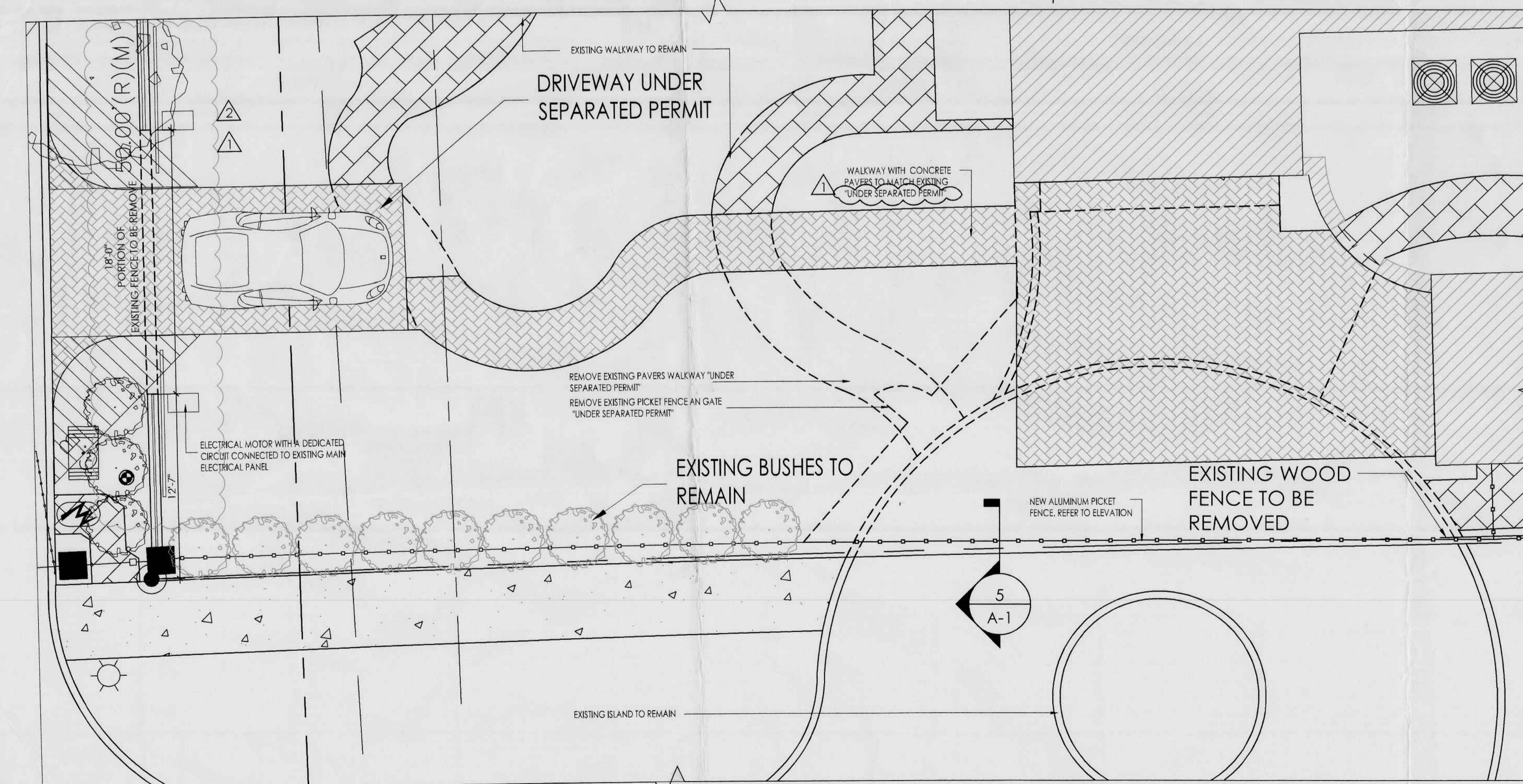
PACHECO-MARTINEZ & ASSOCIATES LLC.
 AA26002619 . AR6412 . AR93773
 4990 SW 72nd AVE SUITE 101 MIAMI FL 33155
 T (305) 666-2573 . F (305) 666-3871



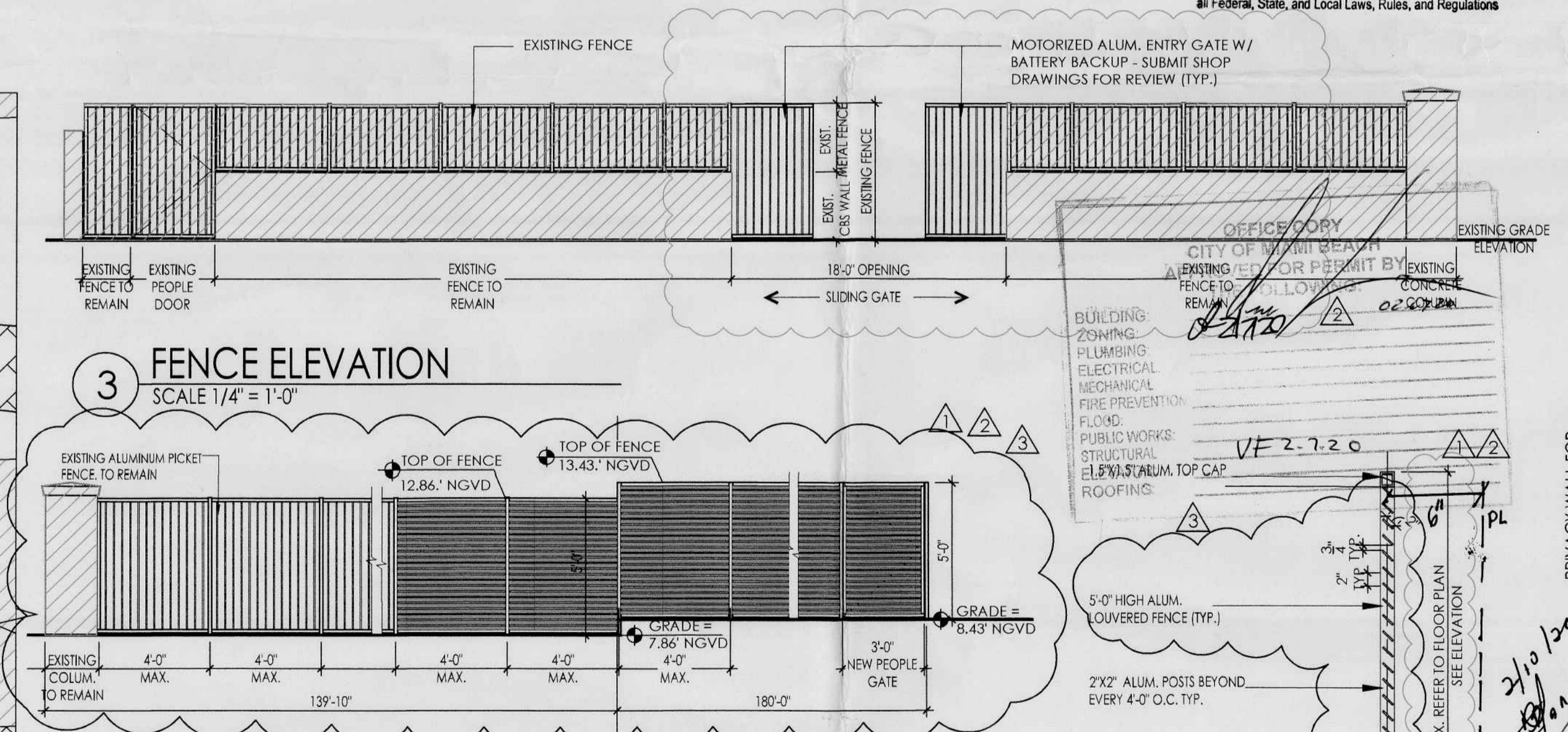
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1 SITE PLAN FLOOR PLAN
 SCALE 3/32" = 1'-0"

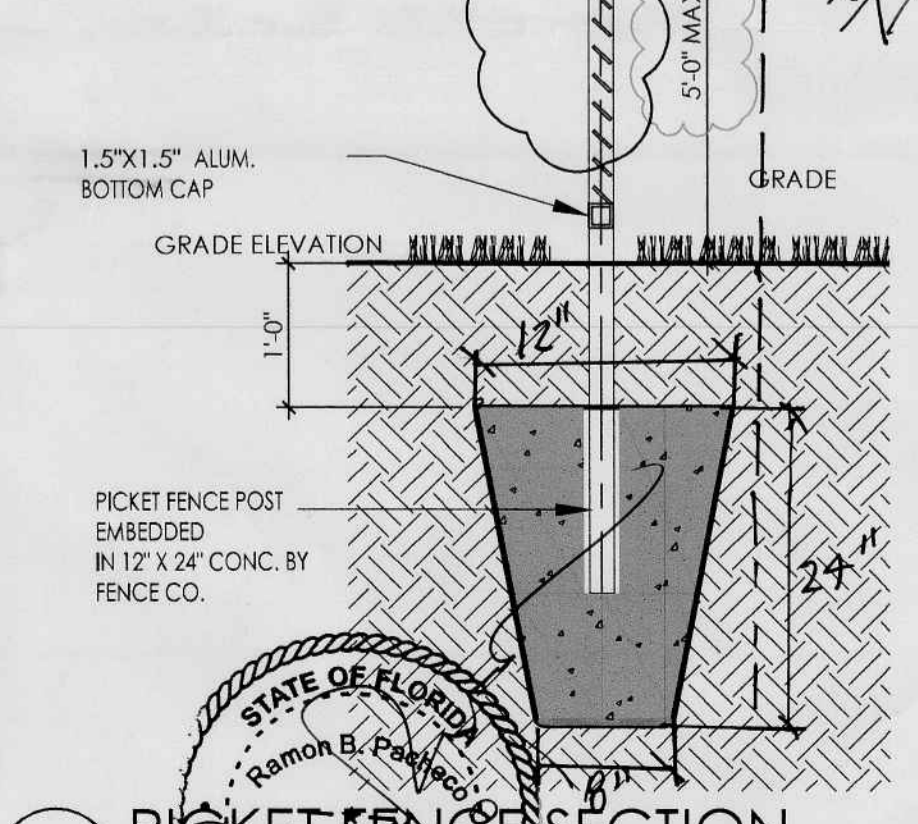


2 ENLARGED PLAN
 SCALE 3/16" = 1'-0"



3 FENCE ELEVATION
 SCALE 1/4" = 1'-0"

4 ALUMINUM PICKET FENCE ELEVATION - TYP
 SCALE 1/4" = 1'-0"



5 PICKET FENCE SECTION
 SCALE 1/4" = 1'-0"

SCOPE OF WORK:
 -NEW ENTRANCE AT ATLANTIC WAY, NEW FORGE ALUMINUM PRIVACY FENCE AT DAHLIA STREET (78TH STREET) AND REAR OF THE PROPERTY.
 -NEW SLIDING ROLLING GATE FOR AT ATLANTIC WAY
 -RE-CONFIGURATION OF THE EXISTING CUL DE SAC, THAT ENCLOSES INTO THE PROPERTY.

LEGAL DESCRIPTION:
 LOT 6, BLOCK 5, OF CORRECTED PLAT ALTOS DEL MAR NO. 1, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 31, PAGE 40, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. LOT 6 BOUNDED AS FOLLOWS: BOUNDED ON THE NORTH BY THE DIVIDING LINE BETWEEN LOTS 5 AND 6; BOUNDED ON THE SOUTH BY THE SOUTHERLY LINE OF LOT 6, SAID SOUTHERLY LINE ALSO BEING THE NORTHERLY LINE OF 78TH STREET; BOUNDED ON THE WEST BY THE WESTERLY LINE OF LOT 6, SAID WESTERLY LINE ALSO BEING THE EASTERLY LINE OF ATLANTIC WAY; BOUNDED ON THE EAST BY THE EROSION CONTROL LINE OF THE ATLANTIC OCEAN, AS RECORDED IN PLAT BOOK 105, AT PAGE 62, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

PUBLIC WORKS PLAN REVIEW NOTICE
 Phone 305-673-7060 Fax 305-673-7028
 THIS PLAN REVIEW CONSTITUTES APPROVAL FOR OBTAINING BULKHEAD PERMITS ONLY.
 -All work, materials and equipment are to be retained within private property.
 -All construction and for use of equipment in the Right of Way and/or easements will require a separate Public Works Department permit BEFORE START OF CONSTRUCTION.
 -Prior to this approval in the right of way, you must contact Sunshine State One Call of Florida (1-800-432-4770) no later than 48 hours prior to the excavate; you cannot start the work if the utilities have not been located at the job site.



7801 ATLANTIC WAY
 7801 ATLANTIC WAY
 MIAMI BEACH, FL

PRIVACY WALL FOR:

| date | issued | drawn | checked | project no. |
|------------|----------------|-------|----------------|-------------|
| 2019-11-14 | 12-29-19 COMM. | MP | 01-21-20 COMM. | 1934 |
| | | | 01-30-20 REV. | |

sheet no. **A-1**
 1 of 1

RV2012121

RV2012121

BR1903759

7801 Atlantic Way

STATE OF FLORIDA
COUNTY OF MIAMI-DADE
PLANNING AND ZONING DEPARTMENT
1000 BAY STREET, SUITE 1000, MIAMI, FL 33132
TEL: 305-361-3300 FAX: 305-361-3301



APPROVED FOR THE CITY OF MIAMI
DATE: 08/14/12
BY: [Signature]

YAW CITIAGATA 1087
1087 CITIAGATA YAW

1 of 1
sheet no. A-1
checked by: [Name]
designed by: [Name]

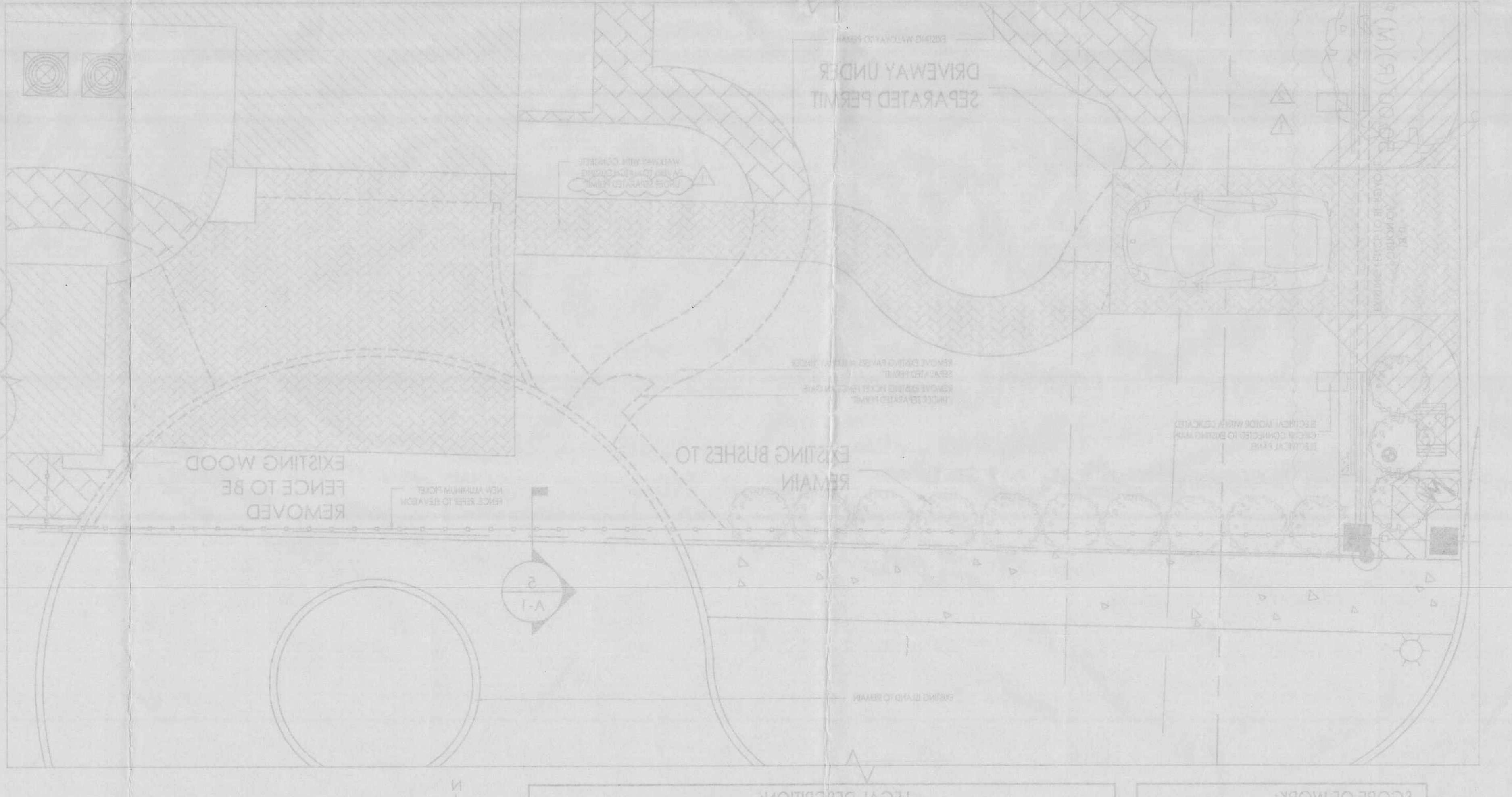
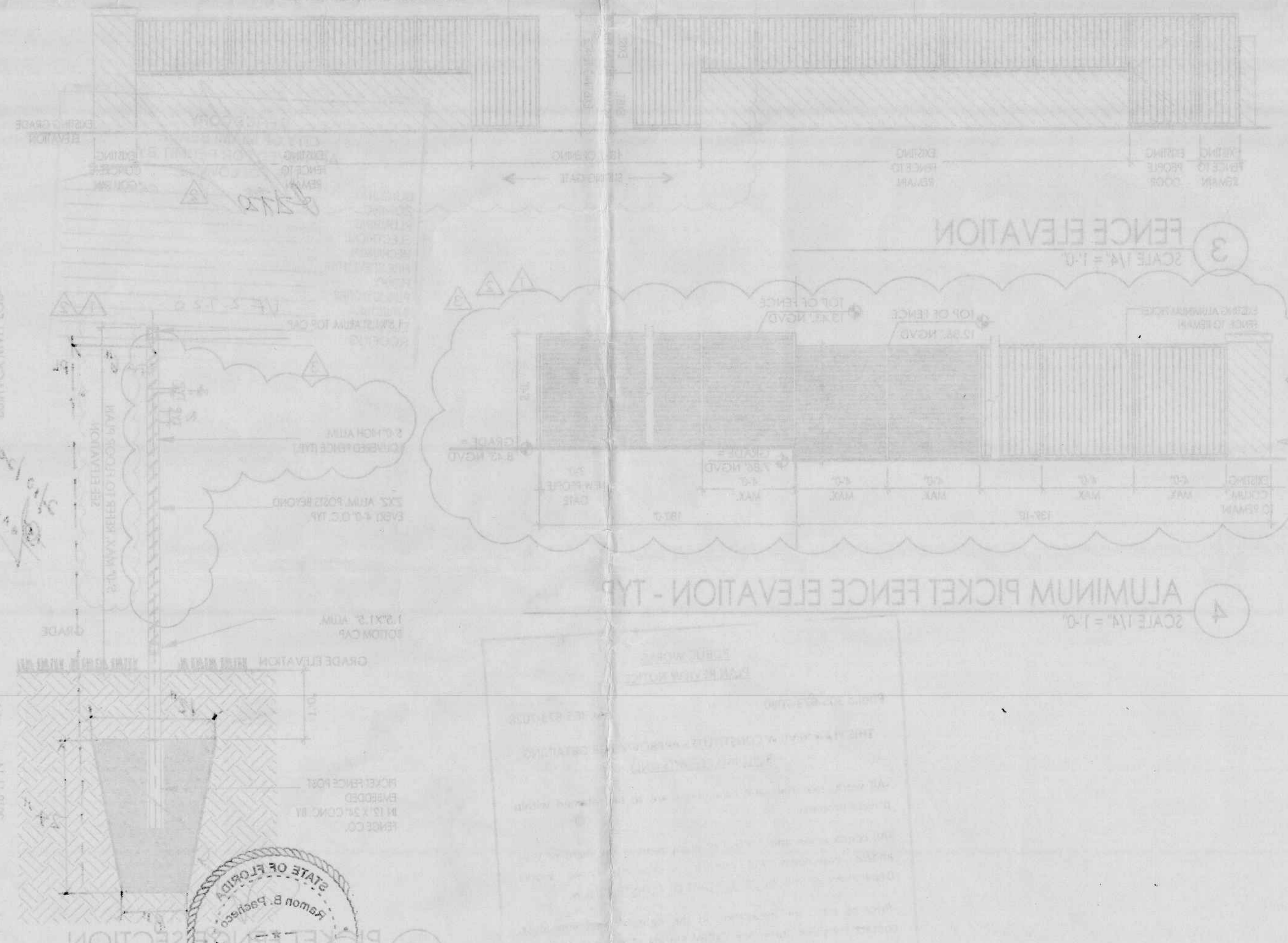


1 SITE PLAN FLOOR PLAN
SCALE 3/16" = 1'-0"

2 ENLARGED PLAN
SCALE 3/16" = 1'-0"

LEGAL DESCRIPTION:
LOT 2, BLOCK 2 OF CORRECTED PLAT AT THE DEL MAR NO. 1 ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 31, PAGE 45 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. LOT 2 BOUNDED AS FOLLOWS:
SCHEMATIC FOR THE DIVISION BETWEEN LOTS 2 AND 3 BOUNDED ON THE SOUTH BY THE SOUTHERLY CORNER OF THE PLAT THEREOF, THE EAST BY THE EAST LINE OF THE PLAT THEREOF, THE WEST BY THE WEST LINE OF THE PLAT THEREOF, AND THE NORTH BY THE NORTH LINE OF THE PLAT THEREOF.

SCOPE OF WORK:
DESIGN AND CONSTRUCTION OF A 6' HIGH ALUMINUM PICKET FENCE WITH 1 1/2" DIA. PICKETS AND 1 1/2" DIA. RAILS. THE FENCE IS TO BE INSTALLED ALONG THE SOUTH BOUNDARY OF LOT 2, BLOCK 2 OF CORRECTED PLAT AT THE DEL MAR NO. 1 ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 31, PAGE 45 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.



City of Miami Beach
Last Completed Item Reviews Across All Submittals

Permit Type: Revision Work Class: General Application Date: 02/12/2021 Status: Applied

Reviewed For Compliance

Address: 7801 ATLANTIC WAY

Permit: RV2114494

RV2114494

| Item Review Type | Status | Version | Completed Date | Assigned User |
|---------------------------------|--------|---------|----------------|---------------------|
| Planning Review | Pass | 1 | 03/26/2021 | Alberto Brite |
| Permit Intake Review | Pass | 1 | 02/24/2021 | Brittany Washington |
| Public Works (Building Permits) | Pass | 1 | 03/01/2021 | Eugene Egemba |
| Structural Review | Pass | 1 | 02/24/2021 | Adalberto Vicedo |
| Permit Landscape Review | Pass | 2 | 03/16/2021 | Ricardo Guzman |
| Building Review | Pass | 2 | 03/15/2021 | Armando Lopez |
| Urban Forestry Group Review | Pass | 4 | 03/26/2021 | Jorge Nunez |

03/26/2021 10:46:46 AM

Application Date: 02/11/2021

Parcel / Folio Number: 0232020040230

Building Department
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33133
Phone: 305-673-7610 ; Fax: 305-673-7857
http://www.miamibeachfl.gov/building

Permit #: BOA2106659

Property Address: 7801 ATLANTIC WAY Miami

Unit #:

Master Permit Number (If applicable): BR2004719

Violation # (If applicable): 03/26/2021 10:46:46 AM

Permit Type: Building Online Application

Permit Workclass: Building Online Applicator

Occupancy Classification:

Square Feet: 0.00

Valuation: \$0.00

Description of Work: DRIVEWAY REVISION

Property Owner

Name: SUSAN ASSAAD

Email:

Home Phone: 646-641-7676

Mobile Phone:

Business Phone:

Contractor

Company Name:

Name:

Email:

Home Phone:

Mobile Phone:

Business Phone:

Notice & Certification

This application is hereby made to obtain a permit to do the work and installation as indicated. I certify that all work will be performed to meet the standards of all laws and construction regulations in this jurisdiction. I understand that a separate permit must be secured for Electrical, Elevator, Fire, Mechanical, Plumbing, Signs, Wells, Pools, Furnaces, Boilers, Heaters, Tanks, Air Conditioners, etc.

Owner's Affidavit: I certify that all the forgoing information is correct. Owner Certifies that the aforementioned Contractor has the authorization to perform the work as specified above.

Lessee's Affidavit: Lessee certifies that he has full consent and authorization from owner of subject property to perform the above-mentioned work and to hire above captioned contractor.

In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this country, and there may be additional permits required from other governmental entities such as: the Environmental Division of Miami-Dade County; Permitting, Environment and Regulatory Affairs, Water & Sewer Department, Department of Environmental Protection, South Florida Water Management District, Miami-Dade County Impact Fee, water management districts, state agencies, and/or federal agencies.

Under penalties of perjury, I declare that to the best of my knowledge, the facts stated in this document are true. Any information found to be false may cause the revocation and/or denial of the permit and/or Certificate of Occupancy.

OWNER'S ELECTRONIC SUBMISSION STATEMENT: Under penalty of perjury, I declare that all the information contained in this permit application is true and correct.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT IS REQUIRED FOR ANY WORK WITH COST EXCEEDING \$2,500.00.

Signature of Owner/Agent or GC (for Sub-permits):

Signature of Qualifier:

PRINT NAME: SUSAN ASSAAD

STATE OF FLORIDA MIAMI-DADE COUNTY

Sworn to and subscribed before me this 12th

day of February, 2021

by SUSAN ASSAAD

Signature of Notary Public

Print Name: William Hernandez

PRINT NAME: SERGIO N. VELIKOPOLJSKI

STATE OF FLORIDA MIAMI-DADE COUNTY

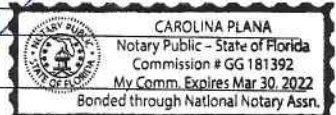
Sworn to and subscribed before me this 11th,

day of FEBRUARY, 2021

by Sergio N. Velikopoljski

Signature of Notary Public

Print Name: Carolina Plana



(SEAL)

Personally know

or Produced Identification



(SEAL)

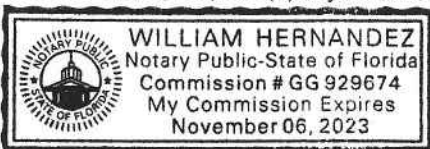
Personally know

WELL KNOW TO ME.

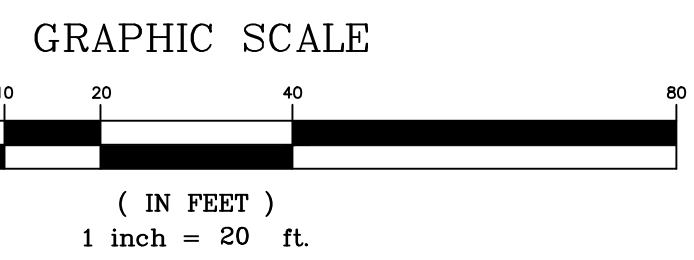
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ADA Information

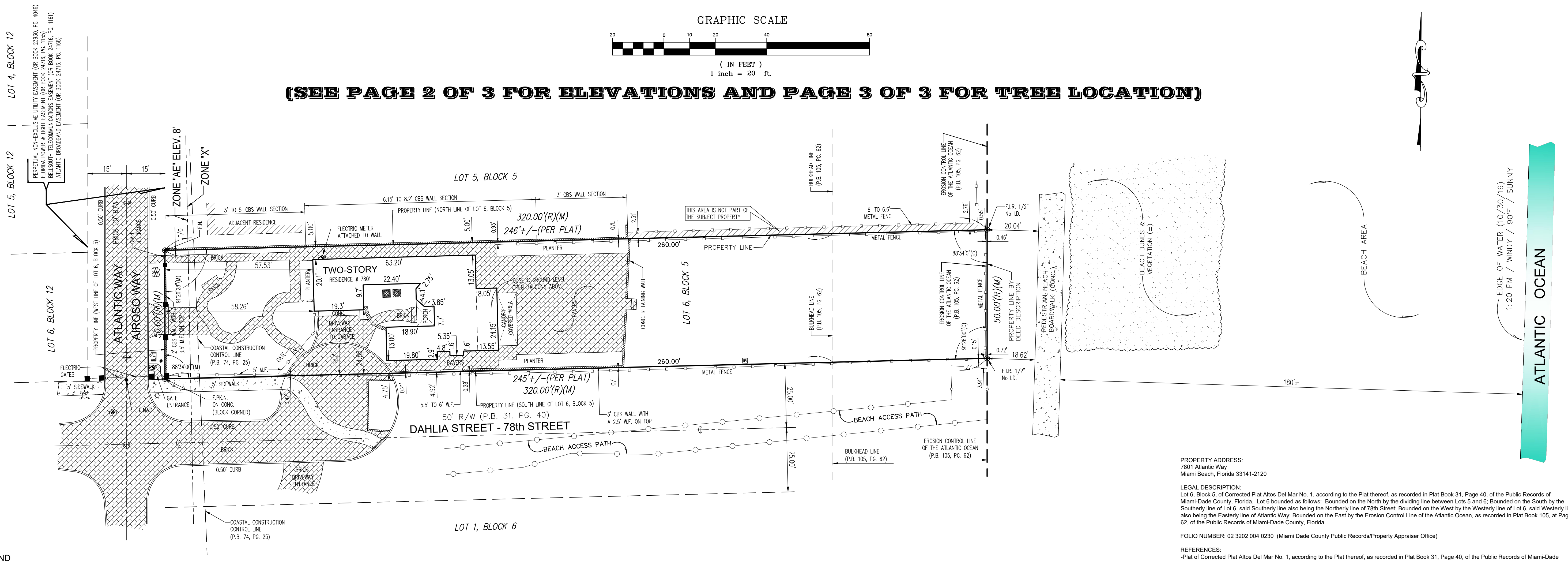
To request this material in accessible format, sign language interpreters, information on access for persons with disabilities, and/or any accommodation to review any document or participate in any city-sponsored proceeding, please contact 305-604-2489 (voice), 305-673-7524 (fax), or 305-673-7218 (TTY) five (5) days in advance to initiate your request. TTY users may also call 711 (Florida Relay Service)



SKETCH OF BOUNDARY SURVEY



(SEE PAGE 2 OF 3 FOR ELEVATIONS AND PAGE 3 OF 3 FOR TREE LOCATION)



- LEGEND**
- (C) = Calculated
 - CL = Clear
 - CL = Center Line
 - CONC. = Concrete
 - CBS. = Concrete Block Stucco
 - Δ = Delta
 - ENC. = Encroachment
 - F.F.E.L. = Finish Floor Elevation
 - F.I.P. = Found Iron Pipe
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- SYMBOLS**
- AIR CONDITIONER
 - CABLE TV
 - CATCH BASIN
 - CONCRETE POLE
 - ELECTRIC BOX
 - SANITARY SEWER MANHOLE
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 - WIRE FENCE (W.R.F.)
 - CBS. WALL



LOCATION MAP
NOT TO SCALE

The height of the existing walls and fences as shown on this survey drawing were taken from the inside of the subject property. Elevations taken in the sand area of the subject property can fluctuate due to erosion, weather elements like rain, wind, etc.

Survey done by occupation, physical evidence, the recovery of existing property corners, field measurements, calculations, adjacent plats and legal description provided to the surveyor and also from the Miami-Dade County Public Records/Property Appraiser Office and no claims as to ownership are made or implied.

The legal ownership of the fences and/or walls as shown hereon was not determined, and the locations as shown are based on the recovered boundary monumentation and calculations.

Distances from property lines to fences or walls may slightly vary due to their irregularity, width and composition. Fences or walls not always travel on a straight line and in most cases meander through trees, hedges, vines and heavy landscaping usually located along boundary lines, therefore the resultant of said dimensions as shown hereon may vary slightly within 0.30' to 0.50' of a foot more or less.

Any fencing, walls, entrance features and landscaping should be subject to a "Safe Sight Distance Triangle" rule.

Call 811 or visit www.sunshine811.com before digging.

In some instances graphic representations have been exaggerated to more clearly illustrate the relationship between physical improvements and/or lot lines. In all cases dimensions shall control the location of the improvements over scaled positions.

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It is unknown to the surveyor of any changes in street right of way lines or additional dedication for road purposes.

Property is subject to restrictions, conditions, limitations, easements, and reservations of record and existing zoning ordinances.

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Only the visible above ground surface indications of the underground utilities have been located. There may be other underground utilities in addition to those evidenced by visible appurtenances as shown on this sketch. Underground utility references (if any) is based on limited information provided by the utility company or construction as-builts provided to the surveyor. Owner of his agent should verify all utility locations with the appropriate utility provider before using.

No underground footings were located and no subsurface investigation was performed at the time of survey.

CERTIFIED TO:
Susan Assaad
Henskovitz Shapiro, PLLC
Old Republic National Title Insurance Company

PROPERTY ADDRESS:
7801 Atlantic Way
Miami Beach, Florida 33141-2120

LEGAL DESCRIPTION:
Lot 6, Block 5, of Corrected Plat Altos Del Mar No. 1, according to the Plat thereof, as recorded in Plat Book 31, Page 40, of the Public Records of Miami-Dade County, Florida. Lot 6 bounded as follows: Bounded on the North by the dividing line between Lots 5 and 6; Bounded on the South by the Southerly line of Lot 6, said Southerly line also being the Northerly line of 78th Street; Bounded on the West by the Westerly line of Lot 6, said Westerly line also being the Easterly line of Atlantic Way; Bounded on the East by the Erosion Control Line of the Atlantic Ocean, as recorded in Plat Book 105, at Page 62, of the Public Records of Miami-Dade County, Florida.

FOLIO NUMBER: 02 3202 004 0230 (Miami Dade County Public Records/Property Appraiser Office)

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-Plat of the State of Florida, Department of Natural Resources, Coastal Construction Control Line as recorded in Plat Book 74, Page 25, of the Public Records of Miami-Dade County, Florida, for the location of the Coastal Construction Control Line.
-Perpetual Non-Exclusive Utility Easement as recorded in Official Records Book 23930, Page 4046, of the Public Records of Miami-Dade County, Florida.
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All recording references noted hereon are referring to the Miami-Dade County Public Records, unless otherwise noted.

SURVEYOR'S NOTES:
All distances as shown are based on the US Survey foot.

At the time of Survey, The National Flood Insurance Rate Map for Florida, Community Panel No. 120651 (City of Miami Beach) 12086 C, 0326 L, FIRM Date 09/11/2009 and Revised with an effective date of 09/11/2009, published by the United States Department of Housing and Urban Development, delineates the existing dwelling structure located within the described parcel of land to be situated outside the Special Flood Hazard Area designated by the Federal Emergency Management Agency (FEMA). The existing residence lies within Zone "X", areas determined to be outside the 0.2% annual chance floodplain. Subject lands crosses more than one Flood Zone and a portion of the lot along the Westerly boundary line lies within Flood Hazard Zone "AE", Base Flood Elevation 8 feet. The Base Flood Elevation "AE" 8' refers to NGVD Datum (1929).

Delineation between Flood Zone lines were determine by the scale factor and are shown on the Survey drawing.

All elevations as shown on this Survey drawing are referred to the National Geodetic Vertical Datum, 1929 (NGVD).

BENCHMARK REFERENCES:
Benchmark: CMB 78-01
Elevation: 2.71 feet (NAVD 1988) / 4.25 feet (NGVD 1929) by GPS conversion factor.
Location: NE INTX 78TH ST & ABBOTT AVE
Status: Survey
GPS: N
Painted: N
Description: PK NAIL & WASHER ON TOP OF CURB

Benchmark: CMB 80-11
Elevation: 2.43 feet (NAVD 1988) / 3.97 feet (NGVD 1929) by GPS conversion factor.
Location: NE INTX ABBOTT AVE & 80 ST
Status: Survey
GPS: N
Painted: N
Description: PK N&W ON TOP OF CURB

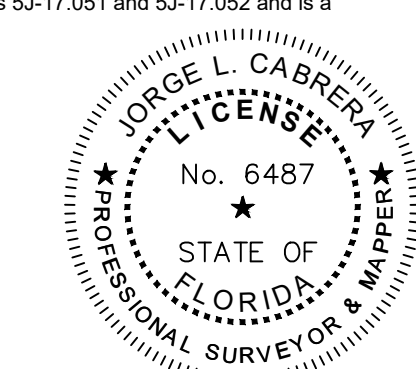
Some of the floor elevations as shown on this survey drawing were taken from the outside of the house only. No access was available to the surveyor to the inside of the house at the time of survey. There may be some other different levels of elevation inside the house not known to the surveyor.

This sketch of Boundary Survey does not represent a Mean High Water Line Survey as defined under Chapter 61G-17-6.002(g), Florida Administrative Code. Property could be subject to additional jurisdictional requirements for the permitting process, and there may be additional survey requirements necessary to address those specific permit process.

This is to certify to the above named firm and or persons that the "SKETCH OF BOUNDARY SURVEY" of the herein described property is true and correct to the best of my knowledge and belief as recently surveyed under my direction, also there are no visible encroachments other than those shown. Owner or his representative furnished the legal description contained herein. Other recorded instruments may affect this property. Surveyor has not examined the abstract of title. Locations of utilities or on adjacent to the property were not secured unless specifically requested by owner. I further certify that this map or plat meets the Standards of Practice and the Minimum Technical Standard Requirements, adopted by the Board of Professional Surveyors and Mappers, pursuant to Chapter 472.027 Florida Statutes, as set forth in Chapter 53-17, Florida Administrative Code, under Sections 53-17.051 and 53-17.052 and is a "BOUNDARY SURVEY" as defined in Section 53-17.050.

LAST REVISION
11/06/2020
JN 19-5113-B

JORGE L. CABRERA
Professional Surveyor & Mapper, # 6487
State of Florida



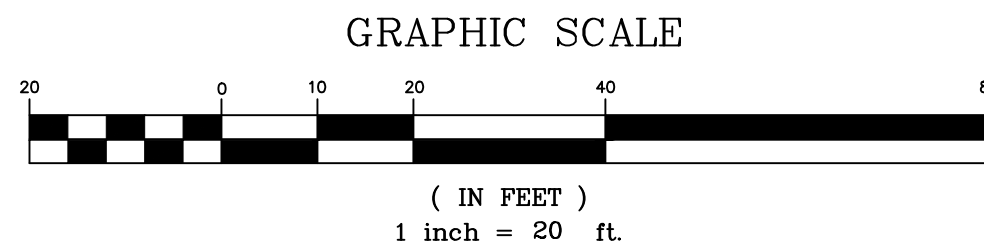
| No. | Date | Job No. | Description |
|-----|------------|-----------|--|
| 1 | 12/18/2019 | 19-5113-A | REVISED TO ADD ELEVATIONS |
| 2 | 11/06/2020 | 19-5113-B | REVISED TO UPDATE AND SHOW TREE LOCATION |

Prepared for:
Susan Assaad

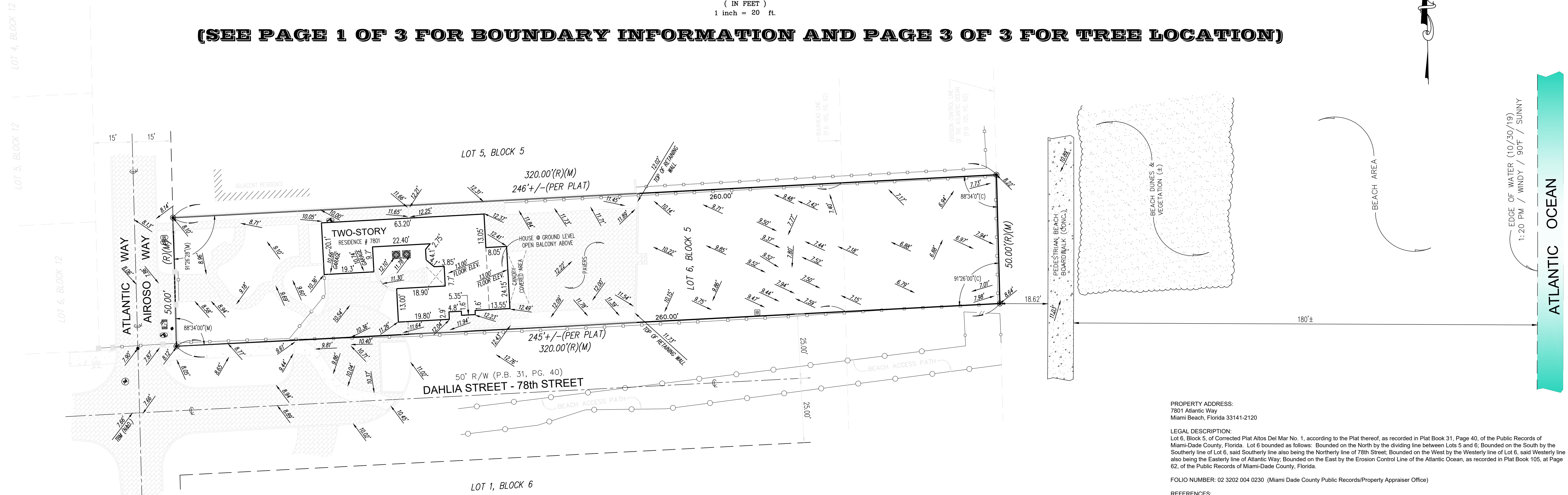
CHECKED BY: J.L.C.
DRAWN BY: E.L.F.
FIELD DATE: 11/01/2019
DATE: 11/03/2019
SCALE: 1" = 20'
JOB No. 19-5113

SHEET:
1 OF 3

SKETCH OF BOUNDARY SURVEY



(SEE PAGE 1 OF 3 FOR BOUNDARY INFORMATION AND PAGE 3 OF 3 FOR TREE LOCATION)



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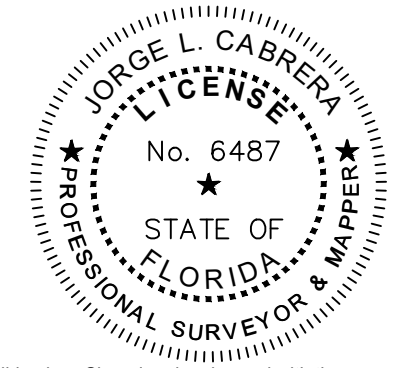
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LAST REVISION
11/06/2020
JN 19-5113-B

JORGE L. CABRERA
Professional Surveyor & Mapper, # 6487
State of Florida



| No. | Date | Job No. | Description |
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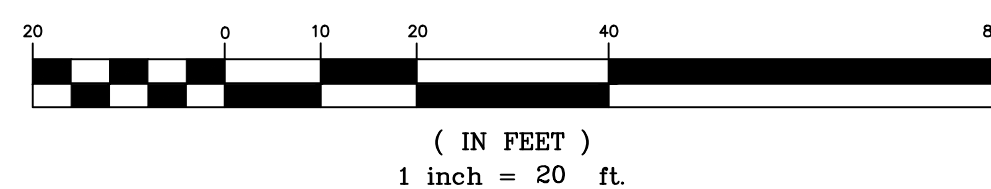
Prepared for:
Susan Assaad

| | |
|-------------|------------|
| CHECKED BY: | J.L.C. |
| DRAWN BY: | ELF. |
| FIELD DATE: | 11/01/2019 |
| DATE: | 11/03/2019 |
| SCALE: | 1" = 20' |
| JOB No. | 19-5113 |

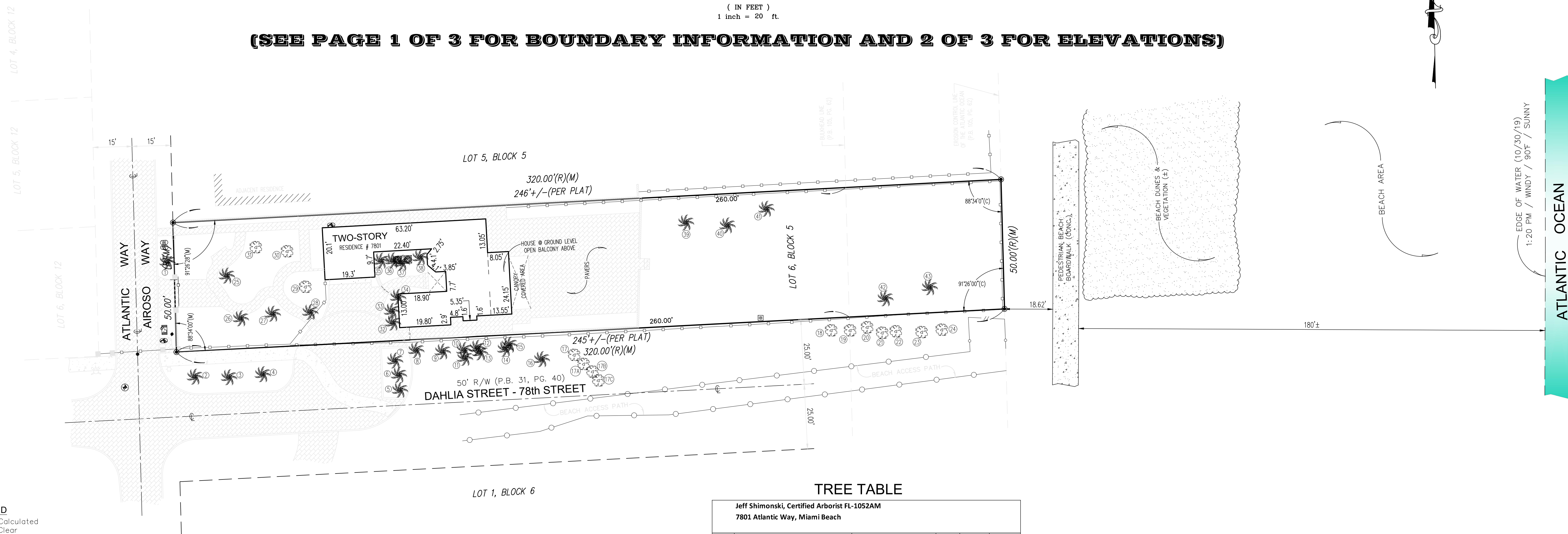
SHEET:
2 OF 3

SKETCH OF BOUNDARY SURVEY

GRAPHIC SCALE



(SEE PAGE 1 OF 3 FOR BOUNDARY INFORMATION AND 2 OF 3 FOR ELEVATIONS)



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 - CBS. WALL



TREE TABLE

Jeff Shimonski, Certified Arborist FL-1052AM
7801 Atlantic Way, Miami Beach

| No. | Scientific name | Common name | DBH | H/Ct | Canopy |
|-----|--------------------------------|------------------------|-----|------|--------|
| 1 | Phoenix dactylifera | Date palm | 17" | 28' | 28' |
| 2 | Cocos nucifera | Coconut palm | 9" | 28' | 26' |
| 3 | Cocos nucifera | Coconut palm | 10" | 30' | 28' |
| 4 | Cocos nucifera | Coconut palm | 9" | 25' | 28' |
| 5 | Adonia merrillii | Christmas palm | 6" | 15' | 10' |
| 6 | Adonia merrillii | Christmas palm | 6" | 15' | 10' |
| 7 | Adonia merrillii | Christmas palm | 7" | 15' | 10' |
| 8 | Ptychosperma elegans x 2 tks | Solitare palm | 6" | 28' | 12' |
| 9 | Cocos nucifera | Coconut palm | 8" | 28' | 18' |
| 10 | Veitchia montgomeryana x 2 tks | Montgomery palm | 7" | 7' | 12' |
| 11 | Veitchia montgomeryana | Montgomery palm | 2" | 8' | 10' |
| 12 | Cocos nucifera | Coconut palm | 10" | 26' | 20' |
| 13 | Veitchia montgomeryana | Montgomery palm | 4" | 7' | 12' |
| 14 | Cocos nucifera | Coconut palm | 8" | 28' | 26' |
| 15 | Veitchia montgomeryana | Montgomery palm | 4" | 6' | 14' |
| 16 | Cocos nucifera | Coconut palm | 9" | 22' | 26' |
| 17 | Coccoloba uvifera | Seagrape | 7" | 30' | 18' |
| 17a | Coccoloba uvifera | Seagrape | 17" | 30' | 25' |
| 17b | Coccoloba uvifera | Seagrape | 22" | 30' | 30' |
| 17c | Coccoloba uvifera | Seagrape | 42" | 30' | 30' |
| 18 | Coccoloba uvifera | Seagrape | 31" | 18' | 28' |
| 19 | Coccoloba uvifera | Seagrape | 26" | 20' | 35' |
| 20 | Coccoloba uvifera | Seagrape | 15" | 16' | 35' |
| 21 | Coccoloba uvifera | Seagrape | 9" | 18' | 35' |
| 22 | Coccoloba uvifera | Seagrape | 17" | 18' | 35' |
| 23 | Coccoloba uvifera | Seagrape | 3" | 14' | 14' |
| 24 | Coccoloba uvifera | Seagrape | 18" | 16' | 25' |
| 25 | Cocos nucifera | Coconut palm | 12" | 28' | 30' |
| 26 | Cocos nucifera | Coconut palm | 10" | 25' | 32' |
| 27 | Cocos nucifera | Coconut palm | 9" | 20' | 30' |
| 28 | Ptychosperma elegans | Solitare palm | 4" | 20' | 12' |
| 29 | Mangifera indica | Mango | 30" | 30' | 35' |
| 30 | Mangifera indica | Mango | 15" | 32' | 30' |
| 31 | Mangifera indica | Mango | 19" | 35' | 32' |
| 32 | Thrinax radiata x 4 tks | Florida thatch palm | 14" | 30' | 20' |
| 33 | Thrinax radiata x 2 tks | Florida thatch palm | 7" | 30' | 10' |
| 34 | Adonia merrillii | Christmas palm | 6" | 24' | 8' |
| 35 | Dypsis lutescens | Areca palm | 44" | 22' | 24' |
| 36 | Thrinax radiata x 2 tks | Florida thatch palm | 7" | 30' | 14' |
| 37 | Strelitzia nicolai | White bird of paradise | 5" | 20' | 8' |
| 38 | Thrinax radiata x 3 tks | Florida thatch palm | 12" | 30' | 18' |
| 39 | Cocos nucifera | Coconut palm | 10" | 22' | 18' |
| 40 | Cocos nucifera | Coconut palm | 7" | 13' | 18' |
| 41 | Cocos nucifera | Coconut palm | 9" | 22' | 18' |
| 42 | Cocos nucifera | Coconut palm | 8" | 20' | 18' |
| 43 | Cocos nucifera | Coconut palm | 8" | 13' | 18' |

DBH is rounded-off to the nearest inch
H/Ct denotes approximate overall height of trees and approximate clear trunk of palm
The clear trunk measurement for palms with multiple trunks is of the tallest trunk
Canopy is measured in one direction

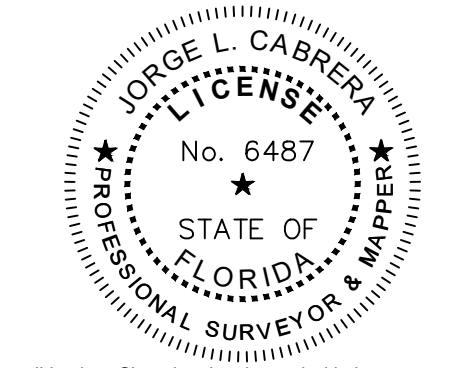
The location of the trees as shown on this survey drawing are compiled from such field surveys deemed necessary by Jorge L. Cabrera, PSM, therefore the resultant of said dimensions shown hereon could vary slightly within 1 to 2 feet more or less.

The Tree Table as shown hereon was prepared by certified Arborist Jeff Shimonski, information below:

President, Tropical Designs of Florida, Inc.
Member, American Society of Consulting Arborists
ISA Certified Arborist Municipal Specialist FL-1052AM
ISA Tree Risk Assessment Qualification
LIAF Florida Certified Landscape Inspector - 2016-0175
305-773-9406
Jeff@TropicalArboriculture.com
www.TropicalDesigns.com
www.MalaysiaFlora.com

LAST REVISION
11/06/2020
JN 19-5113-B

JORGE L. CABRERA
Professional Surveyor & Mapper, # 6487



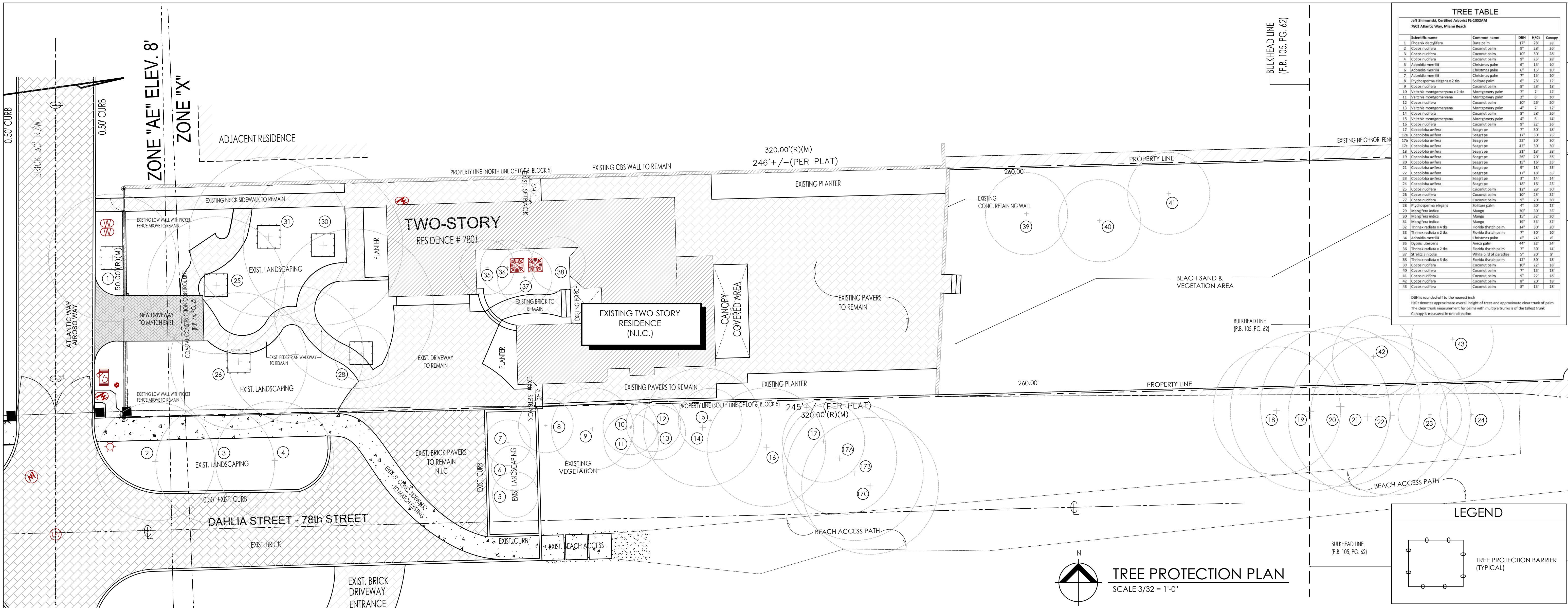
JORGE L. CABRERA
Professional Surveyor and Mapper
State of Florida
PLS/PSM License No: 6487
2852 S.W. 149th Place, Miami, Florida 33185
Phone: (305) 302-2522 Fax: (305) 207-9537

| No. | Date | Job No. | Description |
|-----|------------|-----------|--|
| 1 | 12/18/2019 | 19-5113-A | REVISED TO ADD ELEVATIONS |
| 2 | 11/06/2020 | 19-5113-B | REVISED TO UPDATE AND SHOW TREE LOCATION |

Prepared for:
Susan Assaad

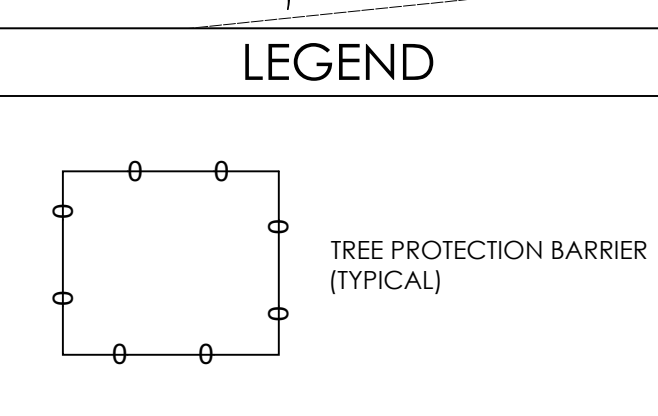
| | |
|-------------|------------|
| CHECKED BY: | J.L.C. |
| DRAWN BY: | ELF. |
| FIELD DATE: | 11/01/2019 |
| DATE: | 11/03/2019 |
| SCALE: | 1" = 20' |
| JOB No. | 19-5113 |

SHEET:
3 OF 3



TREE TABLE with columns: Scientific name, Common name, DBH, WCL, Canopy. Lists 43 trees with their respective measurements.

DBH is rounded off to the nearest inch. WCL denotes approximate overall height of trees and approximate clear trunk of palm. The clear trunk measurement for palms with multiple trunks is the tallest trunk. Canopy is measured in one direction.



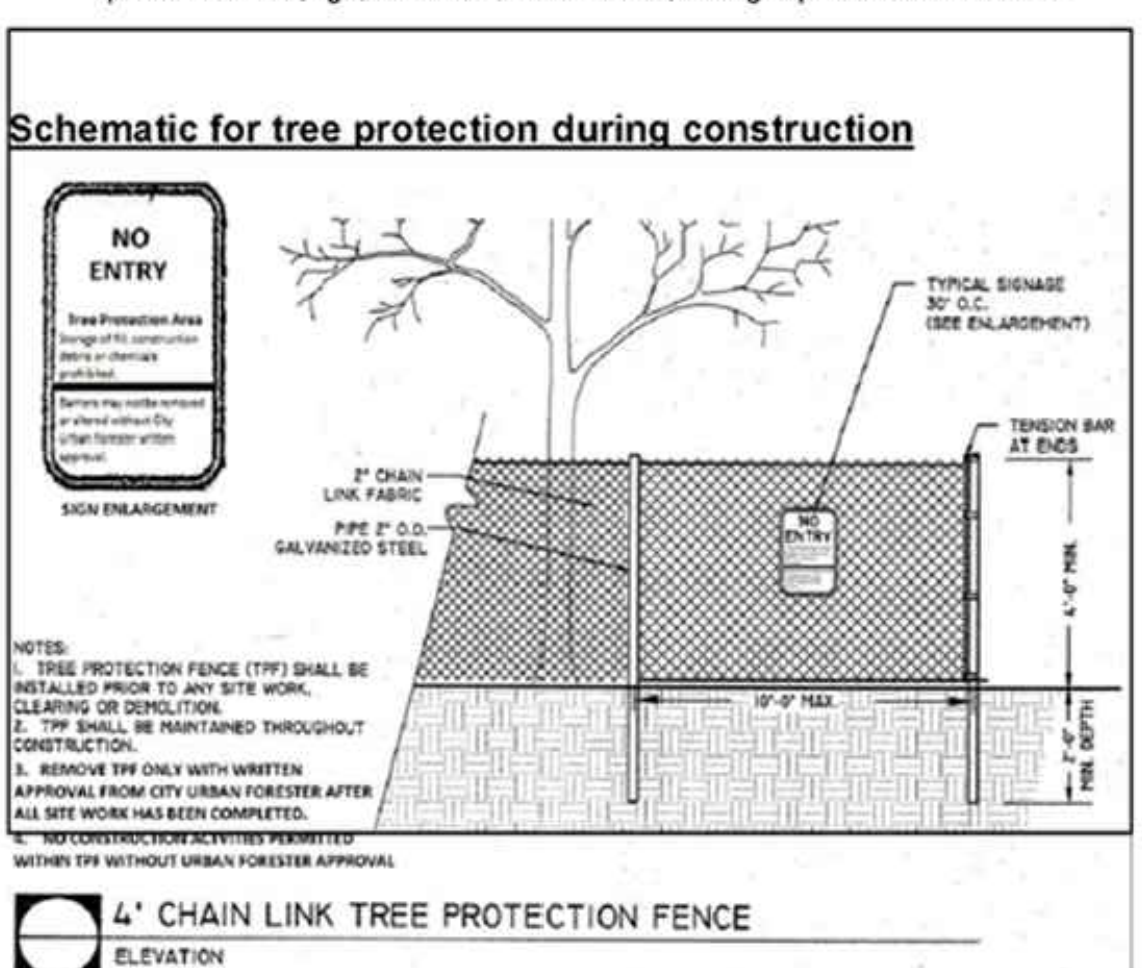
TREE PROTECTION PLAN SCALE 3/32 = 1'-0"

The TPZs assigned by the certified arborist to the trees and palms on this site are sufficient to maintain CRZs for these trees as well as the TPZs.
• The TPZ measurement can also be utilized for the root pruning radius if any trees or palms in good or moderate condition on this site are scheduled to be relocated.
• I recommend the removal of trees and palms that I rated to be in poor condition.
• The canopy measurement is the diameter of the canopy measured in one direction.
• The TPZ measurement is a radius measured from the outside of the trunk.
• The column "H/C" denotes the approximate overall height of trees, or the clear trunk/gray wood measurement for palms.
• Many of the palm DBH measurements include two, three, or more closely grown trunks. I am grouping these individual palms as a single palm because they cannot be relocated separately.
• A "0" in the DBH column denotes no trunk at 4.5 feet above grade.

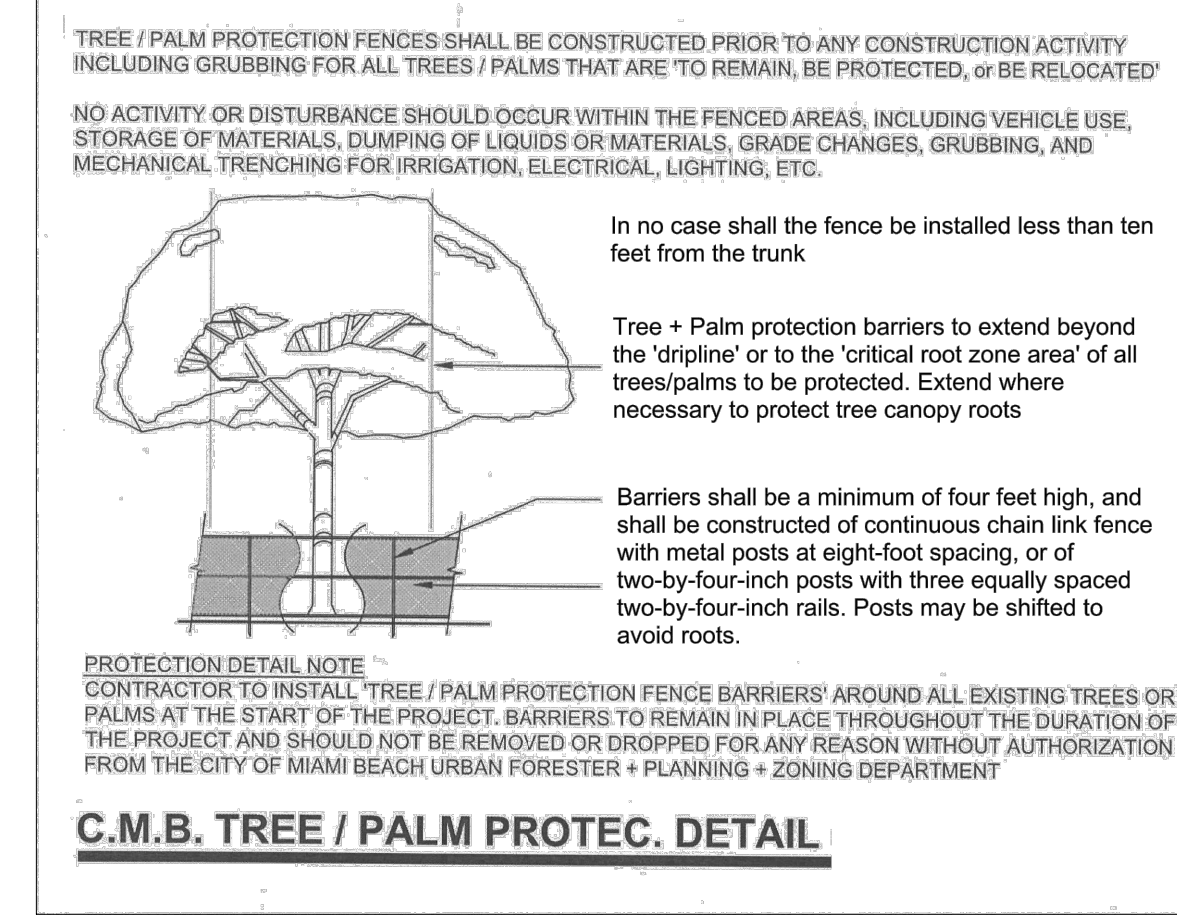
a. shall be subject to enforcement as provided in Sec. 46-67. Trees destroyed or incurring major damage must be replaced by trees of equal environmental value, as specified by the Environment and Sustainability Department Public Works Department, prior to the issuance of the certificate of occupancy or certificate of use, unless removal of the trees has been authorized pursuant to a tree work permit. Tree protection zones must be established for all trees that remain in place on site and for any trees relocated within or to the site. When proposed development activities may damage the root systems or canopies of trees to be retained or relocated on site, alternatives to the proposed activities, or effective protective measures, shall be identified and used.
b. Permit/construction drawings. All permit and construction drawings of the site shall show the tree protection zones, as prescribed by the Environment and Sustainability Department Public Works Department, as shaded areas that are accurately drawn to scale and labeled as such on the drawings. The tree protection zones shall be shown on all drawings that include any underground utility installations, including but not limited to, irrigation, plumbing, electrical, telecommunication or streetlight lines.

i. authorizes their removal.
ii. Barrier Specifications. Sturdy temporary barriers shall be installed around all tree protection zones. Barriers shall be a minimum of four feet high, and shall be constructed of continuous chain link fence with metal posts at 8-foot spacing, or of two-by-four-inch posts with three equally spaced two-by-four inch rails. Posts may be shifted to avoid roots.
iii. No oil, fill, equipment, building materials, building debris, or any other material shall be placed within the areas surrounded by protective barriers.
iv. No disposal of any waste material such as paints, oils, solvents, asphalt, concrete, mortar, or any other material shall occur within the areas surrounded by protective barriers.
v. Natural grade shall be maintained on areas surrounded by protective barriers. In the event that the natural grade of the site is changed as a result of site development such that the safety of the tree may be endangered, tree wells or retaining walls are required.
vi. Only hand digging and grading activities will be permitted within the tree protection zone. All surrounding areas must be graded to a point that meets the outside of the tree protection zone.
vii. Underground utility lines, including, but not limited to, irrigation, plumbing, electrical, or telecommunication lines, shall be placed outside the areas enclosed by protective barriers. If such placement is not possible, disturbance and root damage shall be minimized by using techniques such as tunneling, hand digging, excavation with an air spade, or the use of overhead utility lines.
viii. No vehicles or equipment shall be permitted within areas surrounded by protective barriers.
ix. Fences, walkways and walls shall be constructed to avoid disturbance to any tree to remain in place onsite in the vicinity of construction activities. Post holes and trenches located close to trees shall be dug by hand and adjusted as necessary, using techniques to avoid damage to major roots system.
d. No attachments, signs, chains, ropes, or wires other than those of a protective or non-damaging nature shall be attached to any trees on publicly owned or controlled property in general or during any proposed site development or construction.

Tree Protection Zone (TPZ): The area surrounding a tree defined by a specified distance, in which excavation and other construction-related activities should be avoided. The TPZ is variable depending on species, factors, age and health of the plant, soil conditions, and proposed construction. The zone may be accomplished by physical barriers or soil protection layers or treatments.
ANSI A300 (Part 5) - 2012 54.7
A tree protection zone (TPZ) shall be delineated around all trees to be protected during a project
• 54.7.1 The area and dimensions of the TPZ should be calculated on the basis of species tolerance, age, and health, root structure, rooting depth and soil conditions.



NOTES
1. Prior to demolition permit approval, please schedule a site tree inventory/landscape inspection. Contact: ENVIRONMENT AND SUSTAINABILITY DEPT. / URBAN FORESTRY DIVISION 305/673-7722 Tree protection fencing shall be installed by the time site inspection is performed.
2. Care shall be taken to avoid utility or construction trenching through existing tree or palm drip lines of trees stated to remain in place or be relocated. If construction requires the cutting of any roots with a diameter of 2" or greater, roots should be cleanly cut with a sharp tool, as directed by an ISA Certified Arborist, and in accordance with the ANSI A-300 standards. Cut roots should be immediately covered with soil to prevent drying. Roots should not be torn or broken by heavy equipment, and not shredded, ragged, or broken roots ends should be left. The City urban Forester shall be notified in writing and or consulted prior to any root pruning taking place.
3. The tree protection zone shall be encircled with a 4' high chain link fence supported by metal poles to support the fence every 6 feet. There shall be signage on the fence in English and Spanish not allowing storage of any materials, change of grade or movement of equipment. This fence shall be inspected regularly by the contractor to ensure compliance.



ANSI A300 (Part 5) - 2005, Annex A
Management report information
Examples of suitability ratings
Good: These are trees with good health and structural stability that have the potential for longevity at the site.
Moderate: Trees in this category have fair health and/or structural defects that may be abated with treatment. Trees in this category require more intense management and monitoring, and may have shorter life-spans than those in the "good" category.
Poor: Trees in this category are in poor health or have significant defects in structure that cannot be abated with treatment. These trees can be expected to decline regardless of management. The species or individual tree may possess either characteristics that are undesirable in landscape settings or be unsuited for use areas.
City of Miami Beach Sec. 46-62
1. Tree protection requirements, in general, and during construction
General. All reasonable steps shall be taken to prevent the destruction or damaging of trees for which no tree work permit has been issued during site development and construction on private

The tree protection zones shall be shown on all drawings that include structural installations that will require excavation(s), and for above-ground installations that may include, but is not limited to, such as walkways, street lights, overhead wires or other types of infrastructure.
2. Tree protection specifications
The following tree protection specifications must be adhered to, in general, and as a condition of approval of the site plan for any project. The Urban Forester may require supplemental protection measures to ensure the protection of trees. The Urban Forester and his/her designee shall have the authority to enter the subject property to ensure compliance with required tree protection measures.
a. Protective Barriers
b. Placement. Protective barriers shall be placed at the drip line of each tree, cluster of trees, or preservation area, and in no case less than ten (10) feet from the trunk of any protected tree, tree cluster or preservation area. In situations where trees have been transplanted to the project site, the protective fencing shall be placed no closer to the tree than a point one to two feet outside the root ball, or at the drip line, whichever is greater. The fenced tree protection zones shall be extended where necessary to protect tree canopies roots. If trees are to be preserved in place and root pruning is required to accommodate new construction, the root pruning locations shall be identified and approved by the Environment and Sustainability Department Public Works Department, and fencing shall be installed one (1) to two (2) feet beyond the edge of the root ball. The installation of the fencing shall be coordinated with any phased root pruning that must occur. Tree maintenance measures must be in place prior to any root pruning or transplanting.
Timing and Duration. All protective barriers shall be installed prior to the start of any construction or site development, including tree removal, demolition or land-clearing activities, and shall remain in place throughout all phases of construction. Protective barriers shall be maintained in place until development is completed, and shall not be removed until the Environment and Sustainability Department Public Works Department inspects the site and

Critical Root Zone and Tree Protection Zone
ANSI A 300 (Part 5) - 2012 Management of Trees and Shrubs during Site Planning, Site Development and Construction
Critical Root Zone (CRZ): The minimum volume of roots necessary to have for tree health and stability.



RESPONSE TO COMMENTS

March e, 2021

Permit Number: **RV2114494**
Address: 7801 Atlantic Way
Miami Beach, FL 33141

BUILDING:

RV2114494 - 02.24.2021 1- DIGITAL SIGNATURES AND SEALS: Every single sheet of all electronic PDF Plans, Shop Drawings and signed forms/Certification letters, must bear the digital signature of its trade specific respective Engineer or Architect. City of Miami Beach approved trusted agencies are: Iden-Trust, GlobalSign, DigiCert, Entrust Datacard, or HashMyFiles (using SHA-1). Modifying the PDF after signing voids the Digital Signature. Architects may have the option to sign only the cover sheet, if that sheet contains the index to all the sheets in the PDF set, as per FA61G1-16.005. Armando Lopez RA. , Sr. Building inspector. BUILDING DEPARTMENT 1700 convention Center Drive, Miami Beach, FL 33139 Email: armandolopez@miamibeachfl.gov Tel: 305-673-7610 ext 6756 / Fax: 786-394-4093 / www.miamibeachfl.gov Mobile: 305-9687628

RESPONSE: PLANS WERE SCANNED AND UPLOADED W/ AFFIDAVIT IN LIEU OF DIGITAL SIGEND AND SEALED SET.

LANDSCAPE:

Provide a Tree Survey prepared by a Professional Land Surveyor listing the common names, sizes, and locations of existing trees and palms with a DBH of 6" or greater. If removal of trees is required, please provide a Tree Disposition Plan. Removal of any non-invasive trees with a 6" DBH or greater from private property would require a Tree Removal Permit from CMB Urban Forestry. Removal of any non-invasive trees with a 3" DBH or greater from public property would also require a Tree Removal Permit from CMB Urban Forestry

RESPONSE: REFER TO FILE NAME: JN 19-5113 B PAGE 3 OF 3 (1).PDF FOR TREE SURVEY INCLUDING THE LOCATION FOR ALL EXISITNG TREES, PALMS AS WELL AS DBH INFORMATION AND CANOPY. TREE REMOVAL IS NOT REQUIRED AS NO TREES ARE AFFECTED. THIS REVISION PERTAINS TO THE EXISTING PATHWAY CONNECTING DRIVEWAYS. INCLUDED TREE PROTECTION PLAN WHICH INCLUDED IN MASTER SET FOR REFERENCED.



URBAN FORESTRY: REJECTED

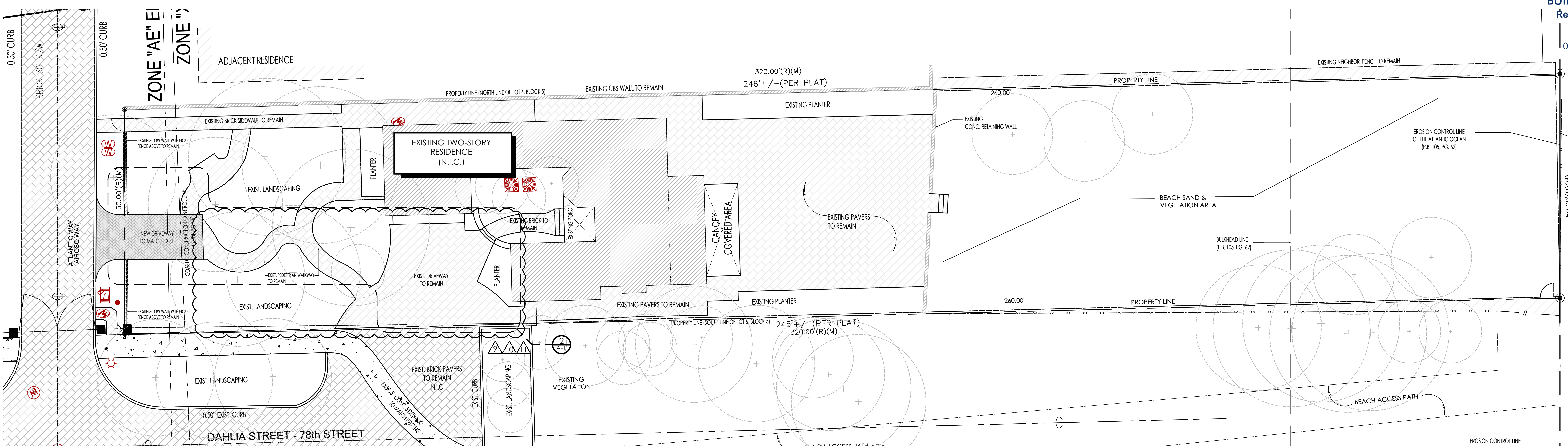
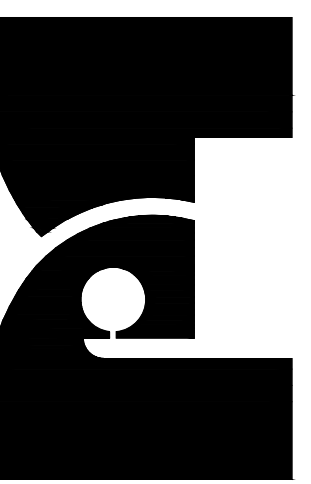
Proposed work could come in direct conflict with existing trees/palms. Please include a tree survey drawn to scale identifying the species and listing the height, spread and DBH of all existing trees/palms. The tree survey shall be prepared by and bear the seal of a professional land surveyor, licensed in the State of Florida. In addition, a tree disposition and site plan drawn to scale identifying and listing all existing trees/palms and specifying the condition of each tree and whether such trees/palms are to remain, to be removed or to be relocated shall be provided. This plan shall also illustrate the location of all existing structures and/or all proposed new construction, as applicable, the location of any overhead and/or underground utilities, the new locations of existing trees/palms to be relocated on site, and all areas affected by construction-related activities, such as access routes to the property, and staging area. The plan shall be prepared by and bear the seal of a landscape architect currently licensed to practice in the State of Florida. If you have any questions or concerns please contact us at urbanforestry@miamibeachfl.gov Please provide us with your process number and contact information and we will get back to you within 48hrs.

RESPONSE: REFER TO FILE NAME: JN 19-5113 B PAGE 3 OF 3 (1).PDF FOR TREE SURVEY INCLUDING THE LOCATION FOR ALL EXISTING TREES, PALMS AS WELL AS DBH INFORMATION AND CANOPY. TREE REMOVAL IS NOT REQUIRED AS NO TREES ARE AFFECTED. THIS REVISION PERTAINS TO THE EXISTING PATHWAY CONNECTING DRIVEWAYS. INCLUDED TREE PROTECTION PLAN WHICH INCLUDED IN MASTER SET FOR REFERENCED

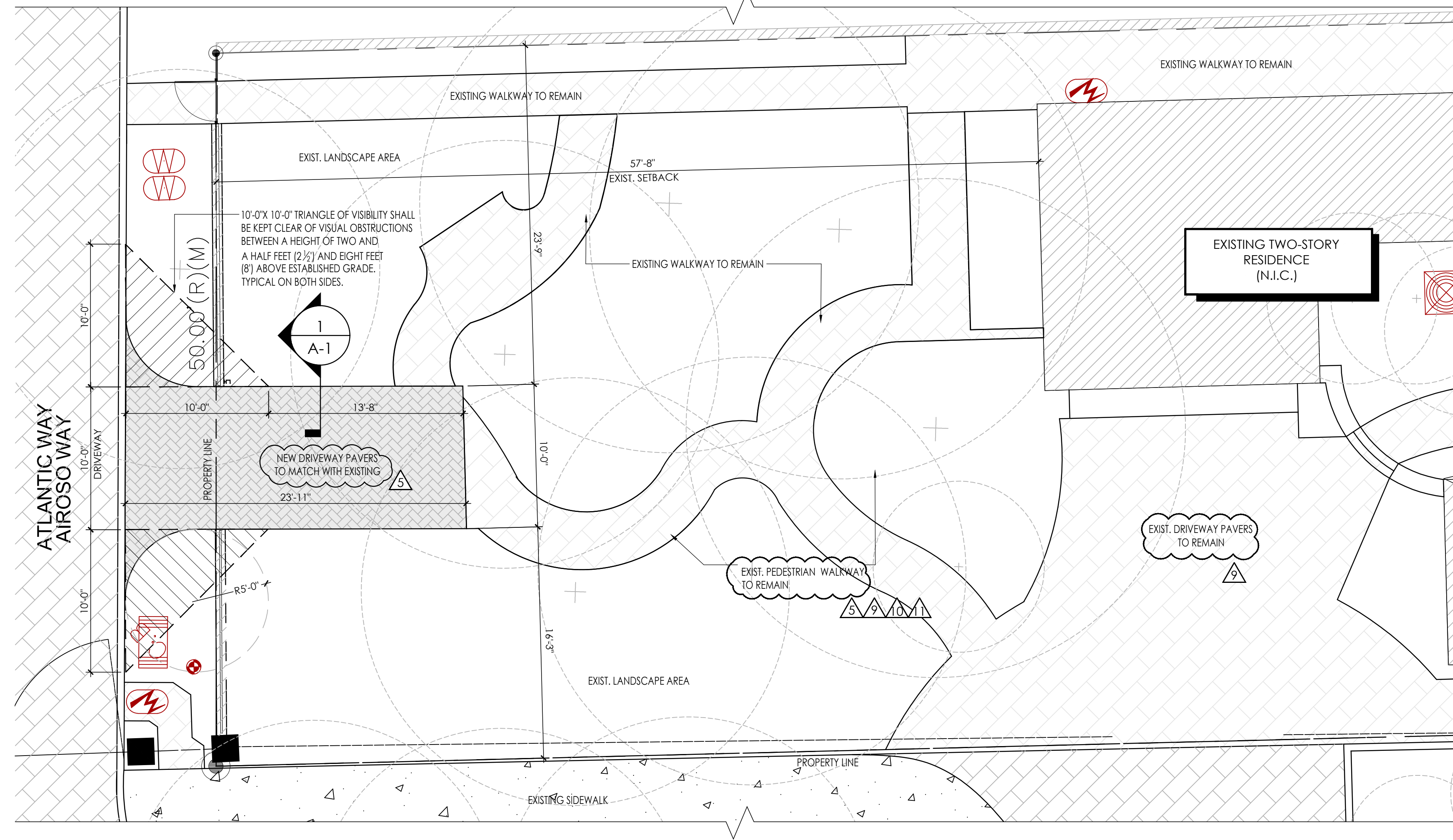
Should you have any questions, please do not hesitate to contact me at your convenience.

Sincerely,

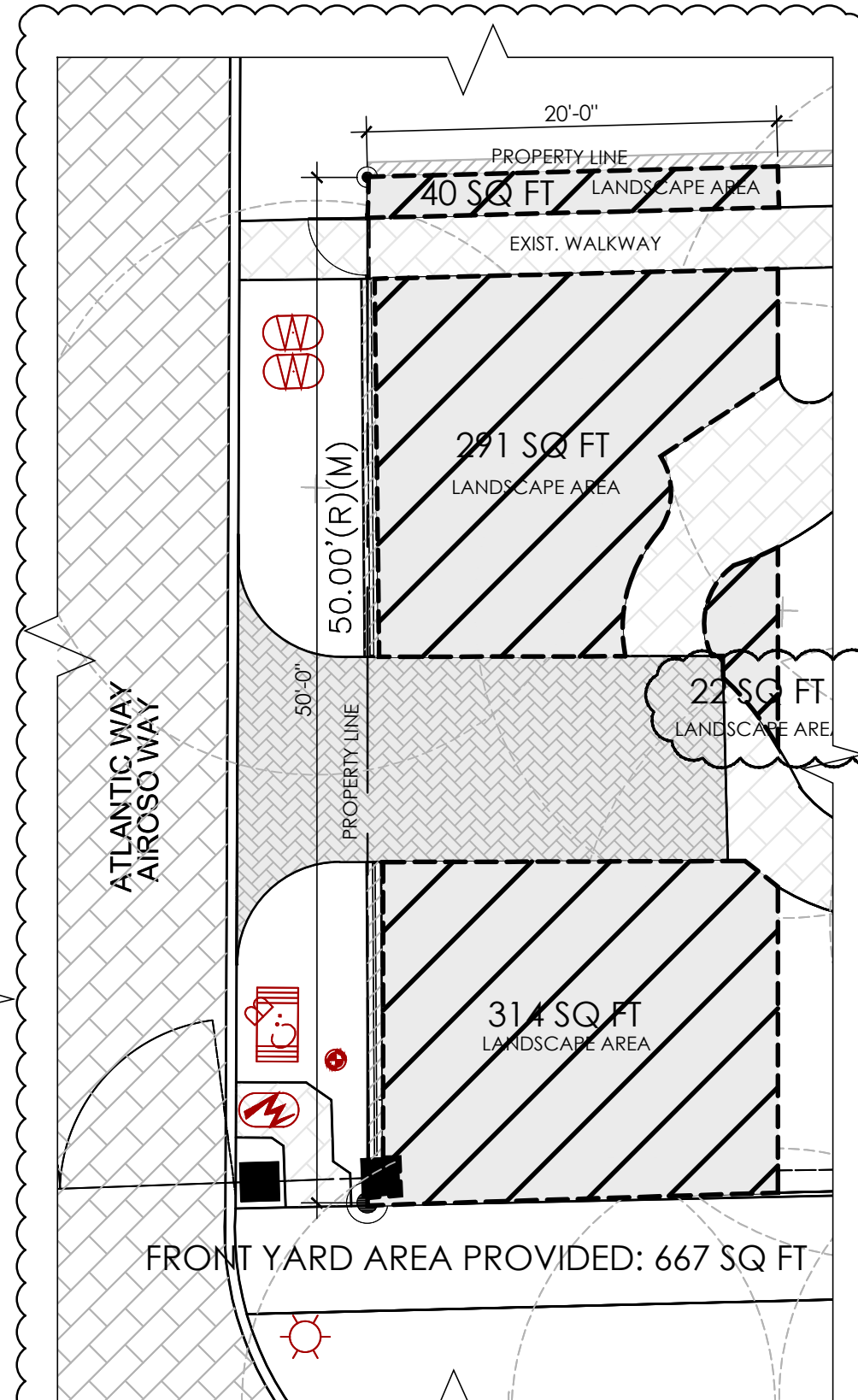
Raymond Pacheco AIA, AR 6412
On behalf of the firm, Pacheco-Martinez & Associates, LLC.



1 SITE PLAN FLOOR PLAN
SCALE 3/32" = 1'-0"



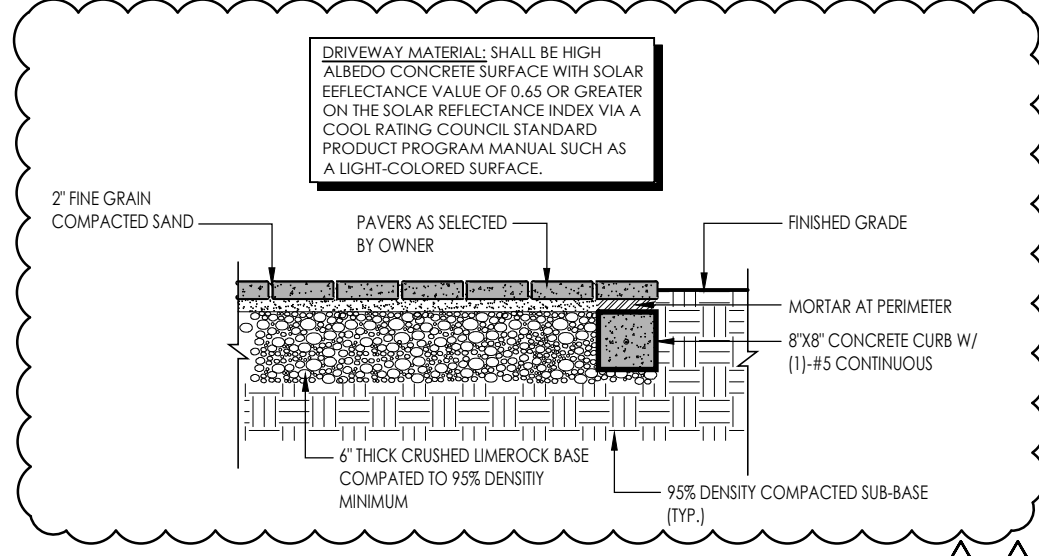
2 ENLARGED DRIVEWAY PLAN
SCALE 3/16" = 1'-0"



FRONT YARD AREA CALCULATION

| | |
|---------------------------------|--------------------------|
| TOTAL FRONT YARD AREA: | 1,000 SQ FT |
| TOTAL FRONT YARD AREA PROVIDED: | 500 SQ FT (50% REQUIRED) |
| TOTAL FRONT YARD AREA PROVIDED: | 667 SQ FT |

FRONT YARD AREA
SCALE 3/16" = 1'-0"



1 DRIVEWAY EDGE DETAIL
SCALE: 3/16" = 1'-0"

LEGAL DESCRIPTION
LOT 6, BLOCK 5, OF CORRECTED PLAT ALTOS DEL MAR NO. 1, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 31, PAGE 40, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. LOT 6 BOUNDED AS FOLLOWS: BOUNDED ON THE NORTH BY THE DIVIDING LINE BETWEEN LOTS 5 AND 6; BOUNDED ON THE SOUTH BY THE SOUTHERLY LINE OF LOT 6, SAID SOUTHERLY LINE ALSO BEING THE NORTHERLY LINE OF 78TH STREET; BOUNDED ON THE WEST BY THE WESTERLY LINE OF LOT 6, SAID WESTERLY LINE ALSO BEING THE EASTERLY LINE OF ATLANTIC WAY; BOUNDED ON THE EAST BY THE EROSION CONTROL LINE OF THE ATLANTIC OCEAN, AS RECORDED IN PLAT BOOK 105, AT PAGE 82, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

NOTE
NO TREES BEING AFFECTED
REFER TO TP-1 FOR TREE PROTECTION PLAN

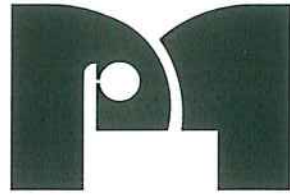
SCOPE OF WORK
1. NEW DRIVEWAY AT ATLANTIC WAY. DRIVEWAY PAVERS TO MATCH EXISTING.

7801 ATLANTIC WAY
MIAMI BEACH, FL

revisions

| | | | |
|------------|-------------|------------|----------|
| 2020-09-30 | date | 03-19-21 | COMM. |
| | issued | 03-04-21 | COMM. |
| | drawn | 03-03-21 | AS-BUILT |
| | checked | 10-05-2020 | COMM. |
| | project no. | 01-21-20 | COMM. |
| | | 01-30-20 | REV. |
| | | 12-17-2020 | COMM. |
| | | 02-07-20 | COMM. |
| | | 12-21-20 | COMM. |

sheet no. A-1

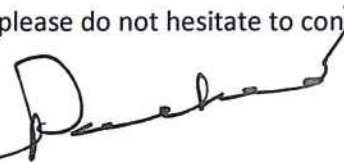
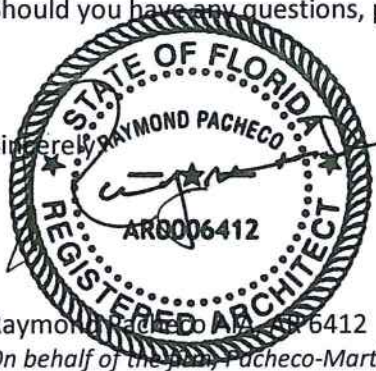


URBAN FORESTRY: REJECTED

Proposed work could come in direct conflict with existing trees/palms. Please include a tree survey drawn to scale identifying the species and listing the height, spread and DBH of all existing trees/palms. The tree survey shall be prepared by and bear the seal of a professional land surveyor, licensed in the State of Florida. In addition, a tree disposition and site plan drawn to scale identifying and listing all existing trees/palms and specifying the condition of each tree and whether such trees/palms are to remain, to be removed or to be relocated shall be provided. This plan shall also illustrate the location of all existing structures and/or all proposed new construction, as applicable, the location of any overhead and/or underground utilities, the new locations of existing trees/palms to be relocated on site, and all areas affected by construction-related activities, such as access routes to the property, and staging area. The plan shall be prepared by and bear the seal of a landscape architect currently licensed to practice in the State of Florida. If you have any questions or concerns please contact us at urbanforestry@miamibeachfl.gov Please provide us with your process number and contact information and we will get back to you within 48hrs.

RESPONSE: REFER TO FILE NAME: JN 19-5113 B PAGE 3 OF 3 (1).PDF FOR TREE SURVEY INCLUDING THE LOCATION FOR ALL EXISITNG TREES, PALMS AS WELL AS DBH INFORMATION AND CANOPY. TREE REMOVAL IS NOT REQUIRED AS NO TREES ARE AFFECTED. THIS REVISION PERTAINS TO THE EXISTING PATHWAY CONNECTING DRIVEWAYS. INCLUDED TREE PROTECTION PLAN WHICH INCLUDED IN MASTER SET FOR REFERENCED

Should you have any questions, please do not hesitate to contact me at your convenience.

Sincerely,



Raymond Pacheco, AR0006412
On behalf of the firm, Pacheco-Martinez & Associates, LLC.



March 05, 2021

Permit Number:

Project: **7801 Atlantic Way**

Address: 7801 Atlantic Way, Miami Beach, FL

To Whom It May Concern:

We hereby certify that all electronic submitted plans have been signed and sealed complying with Florida Statutes Chapters 471 and 481 and Florida Administrative Rules 61G15-23 and 61G1-16.

| SHEET NO. | SHEET NAME | SHEET ISSUE DATE | RESPONSIBLE DESIGN PROFESSIONAL | SIGNED/SEALED DATE | CERTIFICATE AUTHORITY |
|-----------|----------------------|------------------|---------------------------------|--------------------|-----------------------|
| A-1 | Site Plan | 2021-03-05 | Raymond Pacheco, Architect | 2021-03-05 | IdenTrust |
| TP-1 | Tree Protection Plan | 2021-03-05 | Raymond Pacheco, Architect | 2021-03-05 | IdenTrust |
| | | | | | |

Should you have any questions or concerns please do not feel free to contact us.

Sincerely,

Raymond Pacheco AIA, AR 6412

On behalf of the firm, Pacheco-Martinez & Associates, LLC.