

1685 COLLINS HOTEL GARDEN

1685 COLLINS AVE., MIAMI BEACH, FL 33139

Historic Preservation Board Submittal - December 03, 2021

Prepared for:

Eldridge 17th Street Holdings, LLC
350 Park Ave 14th Floor
New York, NY 10022

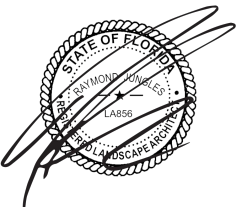
Prepared by:

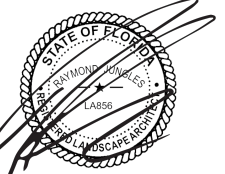
jungles

Raymond Jungles, Inc.
Landscape Architect

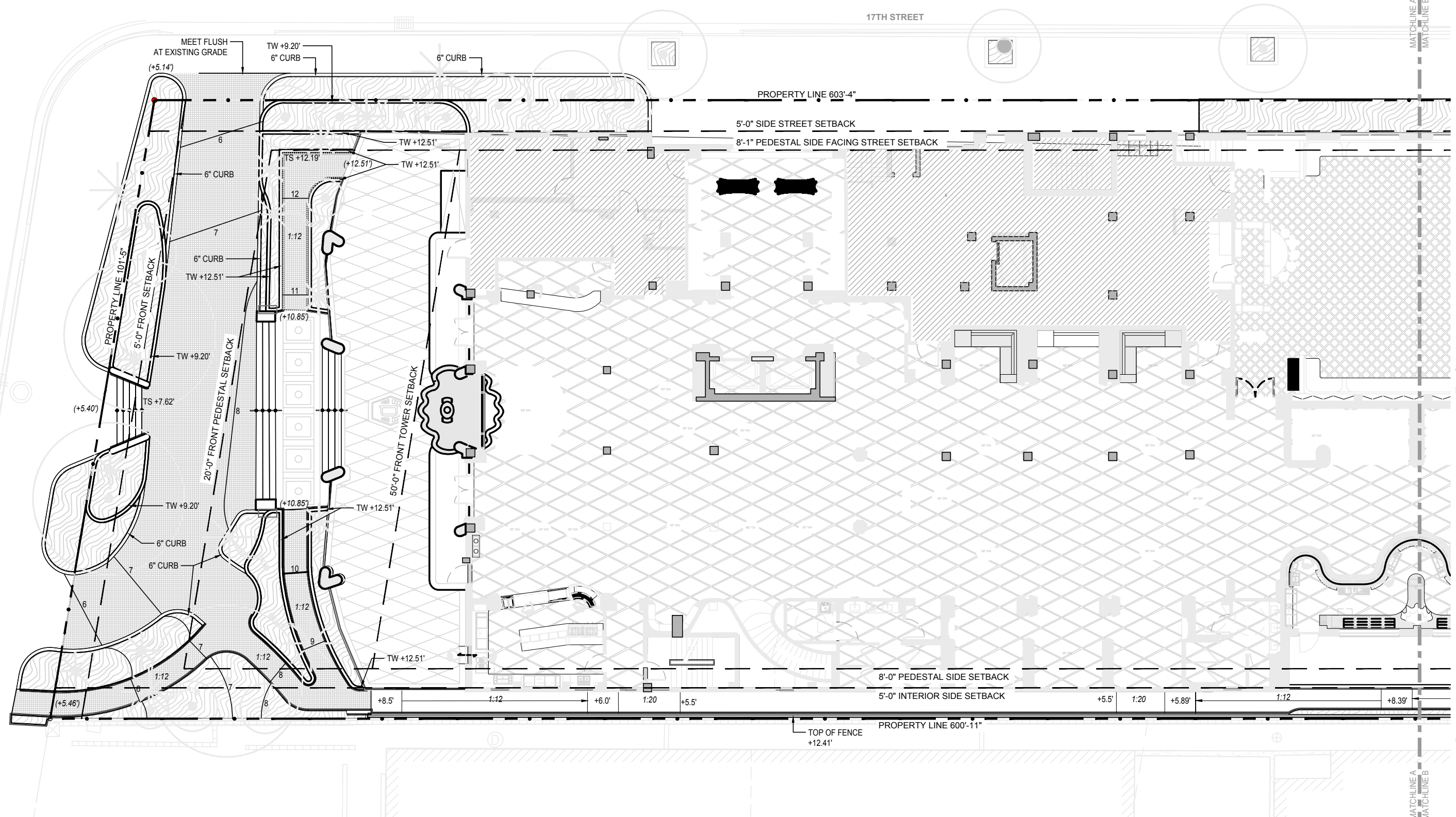
2964 Aviation Ave.
Coconut Grove, FL 33133
P: 305.858.6777
www.raymondjungles.com
Florida License No. LA 0000856

Sheet #	Drawing Index	HISTORIC PRESERVATION BOARD SUBMITTAL (12/03/2021)
LG.101	GRADING PLAN - WEST	•
LG.102	GRADING PLAN - CENTER	•
LG.103	GRADING PLAN - EAST	•





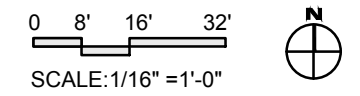
FLORIDA LIC# LA000856
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF STUDIO MCG ARCHITECTURE, INC. AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF STUDIO MCG ARCHITECTURE, INC. (c) 2021
SCALE: 1/8" = 1'-0"
CHECK: JS
DATE: 12/03/2021
SHEET NUMBER



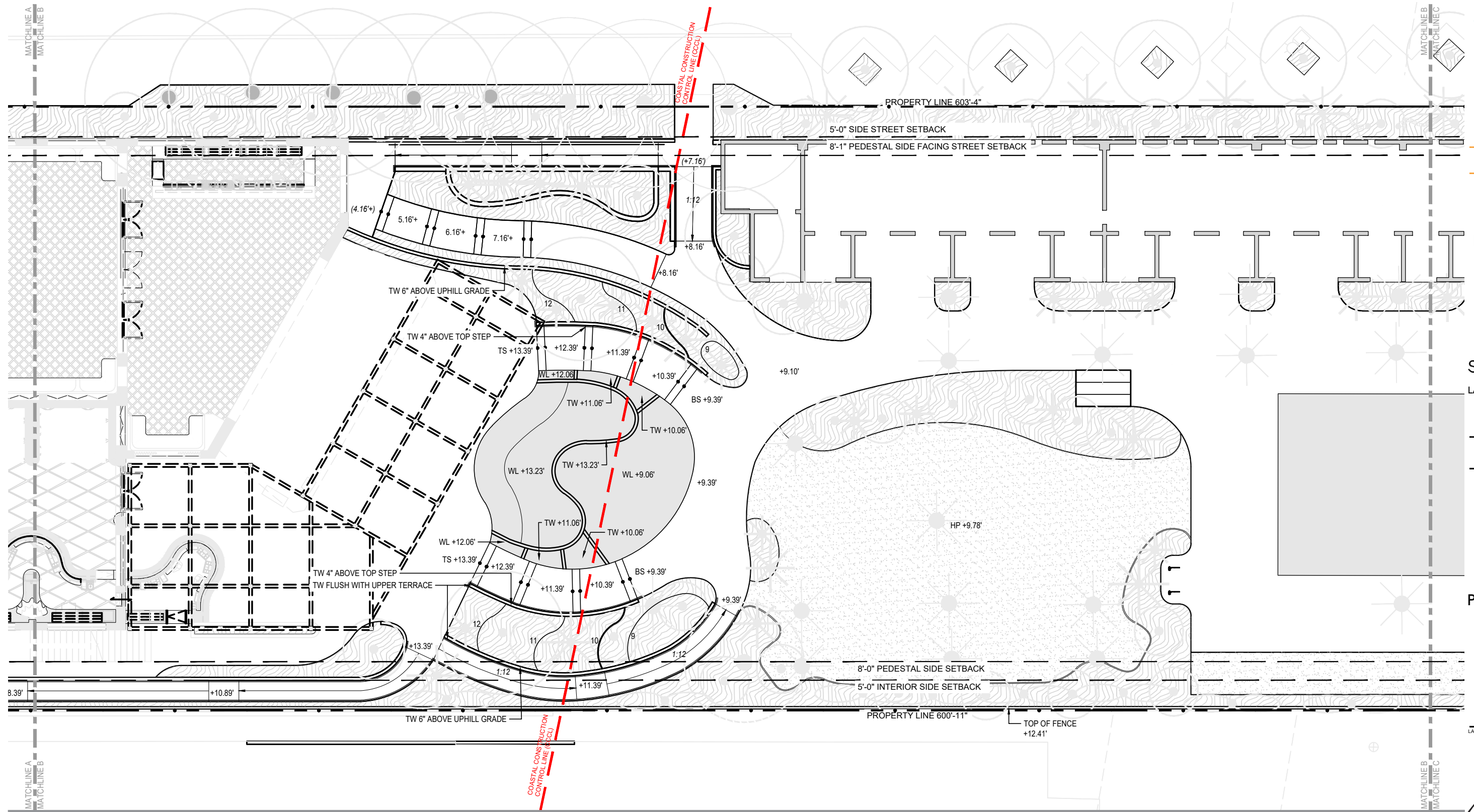
LEGEND

	SHALLOW RETENTION AREA	(+00.00) NGVD	EXISTING SPOT ELEVATION
	INDEX CONTOUR	+00.00 NGVD	PROPOSED SPOT ELEVATION
	INTERMEDIATE CONTOUR	FFE	FINISH FLOOR ELEVATION
	DIRECTION OF SLOPE	HP	HIGH POINT
	PROPERTY LINE	TB	TOP OF BOULDER
	SETBACK LINE	TS	TOP OF STEP
	PLANTING AREA	BS	BOTTOM OF STEP
	LAWN AREA	TW	TOP OF WALL
		TF	TOP OF FENCE
		TC	TOP OF COPING
		TG	TOP OF GATE
		PF	POOL FLOOR
		WL	WATER LEVEL
		●	STEP RISER NOSE

- ALL SHALLOW RETENTION AREAS (SRA) SHALL BE GRADED GRADUALLY TO THE LOW POINT SPECIFIED ON THE PLAN. THESE AREAS WILL CATCH ON SITE WATER FOR PLANT MATERIAL AS WELL AS CREATE THE FIRST BARRIER FOR INFILTRATION BEFORE ENTERING THE STORM WATER SYSTEM.
- REPORT ANY DISCREPANCIES FROM SURVEY OR OTHERWISE IMMEDIATELY TO THE LANDSCAPE ARCHITECT.
- CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
- ALL SHRUBS AND GROUND COVER AREAS ARE TO BE 2" BELOW FINISHED LEVEL OF ALL ADJACENT HARDSCAPE (TYPICAL).
- ALL TURF AREAS TO BE FLUSH WITH ADJACENT HARDSCAPE AREAS AND ENSURE NO TRIPPING HAZARDS.
- ALL STEP TREADS TO SLOPE AWAY FROM STEP FACE AT A MINIMUM OF 1% UNLESS NOTED OTHERWISE.
- CONTRACTOR TO TEST PERCOLATION IN ALL SRAs AND NOTIFY LANDSCAPE ARCHITECT OF ANY ISSUES.
- CONTRACTOR TO MAINTAIN EROSION CONTROL THROUGHOUT THE CONSTRUCTION PROCESS. LANDSCAPE ARCHITECT TO APPROVE SITE CONDITIONS PRIOR TO REMOVAL OF THESE METHODS.
- ALL DRAIN INLETS, PIPES, MANHOLES, AND SOAKAWAY LOCATIONS TO BE COORDINATED WITH CIVIL ENGINEER. PLAN IS INDICATIVE OF PREFERRED LOCATIONS.
- NO GRADING SHALL OCCUR BENEATH THE DRIP LINE OF ANY EXISTING TREE TO REMAIN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL SPOT ELEVATIONS IN FIELD. ALL QUANTITIES FOR THE MATERIALS NOTED ON GRADING PLANS SHALL BE VERIFIED BY THE CONTRACTOR BY DETAILED TAKEOFFS TO ENSURE THAT THE QUANTITIES GIVEN ARE SUFFICIENT TO FULFILL THE INTENT OF THE LANDSCAPE ARCHITECT. CONTRACTOR SHALL FIELD VERIFY ALL AS-BUILT DIMENSIONS ON-SITE PRIOR TO BID.
- CONTRACTOR SHALL SUBMIT UNIT PRICING FOR ALL GRADING MATERIALS AS ASSOCIATED LABOR TO INSTALL THESE MATERIALS AT TIME OF BID. THESE UNIT PRICES SHALL SERVE AS THE AGREED UPON UNIT PRICING AND RATES FOR THE LIFE OF THE CONTRACT. AND CHANGE ORDERS THAT OCCUR DURING THE LIFE OF THE CONTRACT SHALL BE BASED UPON THE UNIT PRICING AND RATES ESTABLISHED AT TIME OF BID.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES ON-SITE BEFORE CONSTRUCTION BEGINS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE IN ACCORDANCE WITH THE FLORIDA STORM WATER EROSION AND SEDIMENTATION CONTROL INSPECTOR'S MANUAL, LATEST REVISION, AND IN ACCORDANCE WITH MIAMI-DADE COUNTY DEPARTMENT OF ENVIRONMENTAL RESOURCES MANAGEMENT FOR ALL EARTHWORK AND SOIL DISTURBING ACTIVITIES.



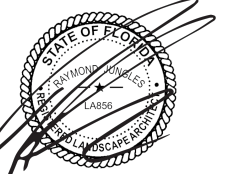
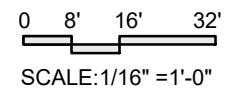
LG.101

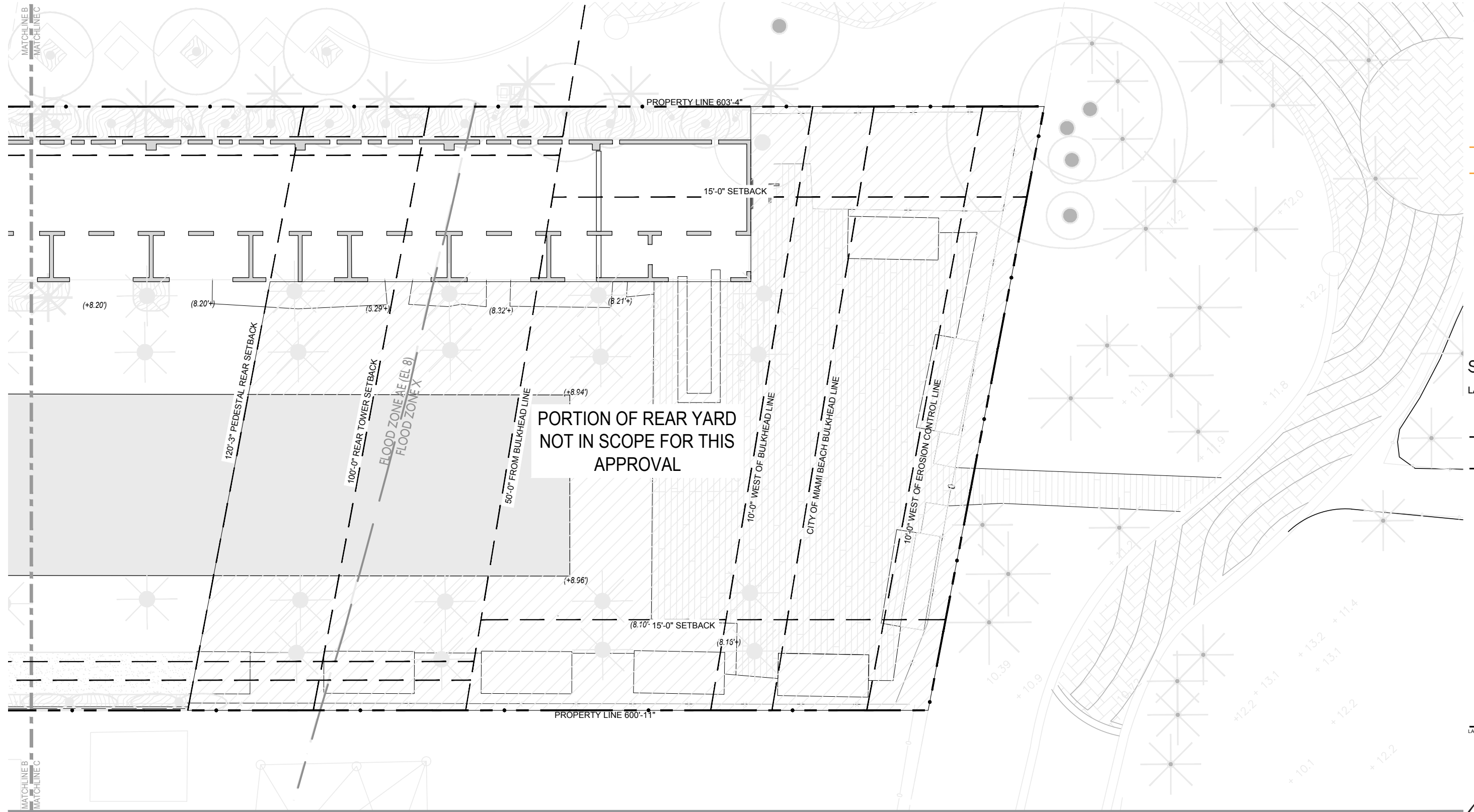


LEGEND

	SHALLOW RETENTION AREA	(+00.00) NGVD	EXISTING SPOT ELEVATION
	INDEX CONTOUR	+00.00 NGVD	PROPOSED SPOT ELEVATION
	INTERMEDIATE CONTOUR	FFE	FINISH FLOOR ELEVATION
	DIRECTION OF SLOPE	HP	HIGH POINT
	PROPERTY LINE	TB	TOP OF BOULDER
	SETBACK LINE	TS	TOP OF STEP
	PLANTING AREA	BS	BOTTOM OF STEP
	LAWN AREA	TW	TOP OF WALL
		TF	TOP OF FENCE
		TC	TOP OF COPING
		TG	TOP OF GATE
		PF	POOL FLOOR
		WL	WATER LEVEL
		•	STEP RISER NOSE

1. ALL SHALLOW RETENTION AREAS (SRA) SHALL BE GRADED GRADUALLY TO THE LOW POINT SPECIFIED ON THE PLAN. THESE AREAS WILL CATCH ON SITE WATER FOR PLANT MATERIAL AS WELL AS CREATE THE FIRST BARRIER FOR INFILTRATION BEFORE ENTERING THE STORM WATER SYSTEM.
2. REPORT ANY DISCREPANCIES FROM SURVEY OR OTHERWISE IMMEDIATELY TO THE LANDSCAPE ARCHITECT.
3. CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
4. ALL SHRUBS AND GROUND COVER AREAS ARE TO BE 2' BELOW FINISHED LEVEL OF ALL ADJACENT HARDSCAPE (TYPICAL).
5. ALL TURF AREAS TO BE FLUSH WITH ADJACENT HARDSCAPE AREAS AND ENSURE NO TRIPPING HAZARDS.
6. ALL STEP TRENDS TO SLOPE AWAY FROM STEP FACE AT A MINIMUM OF 1% UNLESS NOTED OTHERWISE.
7. CONTRACTOR TO TEST PERCOLATION IN ALL SRA'S AND NOTIFY LANDSCAPE ARCHITECT OF ANY ISSUES.
8. CONTRACTOR TO MAINTAIN EROSION CONTROL THROUGHOUT THE CONSTRUCTION PROCESS. LANDSCAPE ARCHITECT TO APPROVE SITE CONDITIONS PRIOR TO REMOVAL OF THESE METHODS.
9. ALL DRAIN INLETS, PIPES, MANHOLES, AND SOAKAWAY LOCATIONS TO BE COORDINATED WITH CIVIL ENGINEER. PLAN IS INDICATIVE OF PREFERRED LOCATIONS.
10. NO GRADING SHALL OCCUR BENEATH THE DRIP LINE OF ANY EXISTING TREE TO REMAIN.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL SPOT ELEVATIONS IN FIELD. ALL QUANTITIES FOR THE MATERIALS NOTED ON GRADING PLANS SHALL BE VERIFIED BY THE CONTRACTOR BY DETAILED TAKEOFFS TO ENSURE THAT THE QUANTITIES GIVEN ARE SUFFICIENT TO FULFILL THE INTENT OF THE LANDSCAPE ARCHITECT. CONTRACTOR SHALL FIELD VERIFY ALL AS-BUILT DIMENSIONS ON-SITE PRIOR TO BID.
12. CONTRACTOR SHALL SUBMIT UNIT PRICING FOR ALL GRADING MATERIALS AS ASSOCIATED LABOR TO INSTALL THESE MATERIALS AT TIME OF BID. THESE UNIT PRICES SHALL SERVE AS THE AGREED UPON UNIT PRICING AND RATES FOR THE LIFE OF THE CONTRACT. AND CHANGE ORDERS THAT OCCUR DURING THE LIFE OF THE CONTRACT SHALL BE BASED UPON THE UNIT PRICING AND RATES ESTABLISHED AT TIME OF BID.
13. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES ON-SITE BEFORE CONSTRUCTION BEGINS.
14. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE IN ACCORDANCE WITH THE FLORIDA STORM WATER EROSION AND SEDIMENTATION CONTROL INSPECTOR'S MANUAL, LATEST REVISION, AND IN ACCORDANCE WITH MIAMI-DADE COUNTY DEPARTMENT OF ENVIRONMENTAL RESOURCES MANAGEMENT FOR ALL EARTHWORK AND SOIL DISTURBING ACTIVITIES.

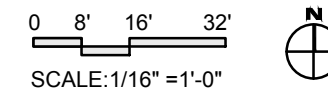




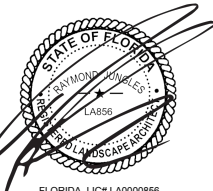
LEGEND

	SHALLOW RETENTION AREA	(+00.00) NGVD	EXISTING SPOT ELEVATION
	INDEX CONTOUR	+00.00 NGVD	PROPOSED SPOT ELEVATION
	INTERMEDIATE CONTOUR	FFE	FINISH FLOOR ELEVATION
	DIRECTION OF SLOPE	HP	HIGH POINT
	PROPERTY LINE	TB	TOP OF BOULDER
	SETBACK LINE	TS	TOP OF STEP
	PLANTING AREA	BS	BOTTOM OF STEP
	LAWN AREA	TW	TOP OF WALL
		TF	TOP OF FENCE
		TC	TOP OF COPING
		TG	TOP OF GATE
		PF	POOL FLOOR
		WL	WATER LEVEL
		●	STEP RISER NOSE

- ALL SHALLOW RETENTION AREAS (SRA) SHALL BE GRADED GRADUALLY TO THE LOW POINT SPECIFIED ON THE PLAN. THESE AREAS WILL CATCH ON SITE WATER FOR PLANT MATERIAL AS WELL AS CREATE THE FIRST BARRIER FOR INFILTRATION BEFORE ENTERING THE STORM WATER SYSTEM.
- REPORT ANY DISCREPANCIES FROM SURVEY OR OTHERWISE IMMEDIATELY TO THE LANDSCAPE ARCHITECT.
- CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
- ALL SHRUBS AND GROUND COVER AREAS ARE TO BE 2" BELOW FINISHED LEVEL OF ALL ADJACENT HARDSCAPE (TYPICAL).
- ALL TURF AREAS TO BE FLUSH WITH ADJACENT HARDSCAPE AREAS AND ENSURE NO TRIPPING HAZARDS.
- ALL STEP TREADS TO SLOPE AWAY FROM STEP FACE AT A MINIMUM OF 1% UNLESS NOTED OTHERWISE.
- CONTRACTOR TO TEST PERCOLATION IN ALL SRA'S AND NOTIFY LANDSCAPE ARCHITECT OF ANY ISSUES.
- CONTRACTOR TO MAINTAIN EROSION CONTROL THROUGHOUT THE CONSTRUCTION PROCESS. LANDSCAPE ARCHITECT TO APPROVE SITE CONDITIONS PRIOR TO REMOVAL OF THESE METHODS.
- ALL DRAIN INLETS, PIPES, MANHOLES, AND SOAKAWAY LOCATIONS TO BE COORDINATED WITH CIVIL ENGINEER. PLAN IS INDICATIVE OF PREFERRED LOCATIONS.
- NO GRADING SHALL OCCUR BENEATH THE DRIP LINE OF ANY EXISTING TREE TO REMAIN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL SPOT ELEVATIONS IN FIELD. ALL QUANTITIES FOR THE MATERIALS NOTED ON GRADING PLANS SHALL BE VERIFIED BY THE CONTRACTOR BY DETAILED TAKEOFFS TO ENSURE THAT THE QUANTITIES GIVEN ARE SUFFICIENT TO FULFILL THE INTENT OF THE LANDSCAPE ARCHITECT. CONTRACTOR SHALL FIELD VERIFY ALL AS-BUILT DIMENSIONS ON-SITE PRIOR TO BID.
- CONTRACTOR SHALL SUBMIT UNIT PRICING FOR ALL GRADING MATERIALS AS ASSOCIATED LABOR TO INSTALL THESE MATERIALS AT TIME OF BID. THESE UNIT PRICES SHALL SERVE AS THE AGREED UPON UNIT PRICING AND RATES FOR THE LIFE OF THE CONTRACT. AND CHANGE ORDERS THAT OCCUR DURING THE LIFE OF THE CONTRACT SHALL BE BASED UPON THE UNIT PRICING AND RATES ESTABLISHED AT TIME OF BID.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES ON-SITE BEFORE CONSTRUCTION BEGINS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE IN ACCORDANCE WITH THE FLORIDA STORM WATER EROSION AND SEDIMENTATION CONTROL INSPECTOR'S MANUAL, LATEST REVISION, AND IN ACCORDANCE WITH MIAMI-DADE COUNTY DEPARTMENT OF ENVIRONMENTAL RESOURCES MANAGEMENT FOR ALL EARTHWORK AND SOIL DISTURBING ACTIVITIES.



LANDSCAPE ARCHITECT: RAYMOND JUNGLES



FLORIDA LIC# LA000856
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF STUDIO MCG ARCHITECTURE, INC. AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF STUDIO MCG ARCHITECTURE, INC. (c) 2021
SCALE: 1/16" = 1'-0"
CHECK: JS
DATE: 12/03/2021
SHEET NUMBER