

MIAMI-DADE

BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908

## NOTICE OF ACCEPTANCE (NOA)

**Brunswick Door Company**  
400 Goolsby Boulevard  
Deerfield Beach, FL 33442

### SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION:** 20 ga. Flush Outswing Commercial Steel Door (w/16g frame)-Impact

**APPROVAL DOCUMENT:** Drawing No. 122-99, titled "20ga Flush Steel Door", sheets 1 through 6 of 6, prepared by EngCo, Inc., dated 9/8/99 and last revised on 4/4/00, signed and sealed by Pedro De Figueiredo, P.E., bearing the Miami-Dade County Product Control Renewal stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

**MISSILE IMPACT RATING:** Large and Small Missile Impact

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official. This NOA renews NOA # 99-0920.05 and, consists of this page 1 as well as approval document mentioned above. The submitted documentation was reviewed by Ishaq I. Chanda, P.E.



NOA No 03-0401.06  
Expiration Date: April 28, 2008  
Approval Date: May 15, 2003  
Page 1



**Brunswick Door Company**

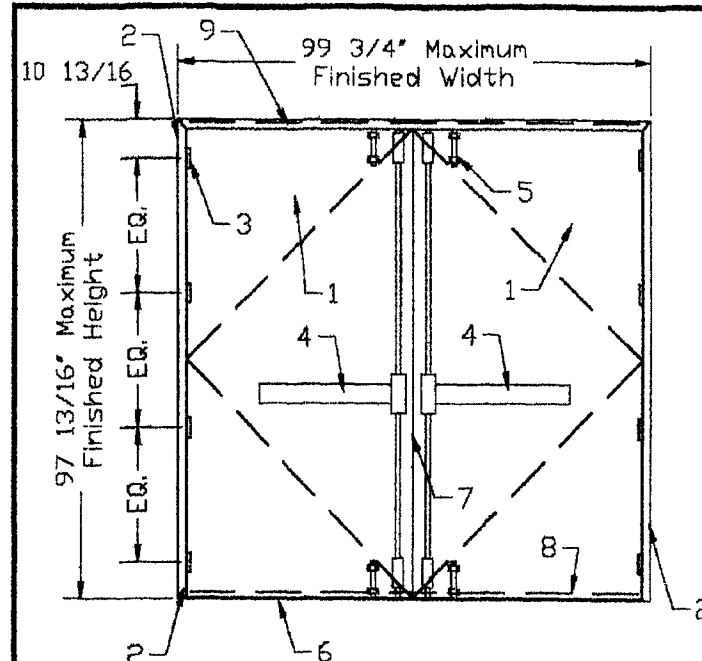
**NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED**

(For File ONLY. Not part of NOA)

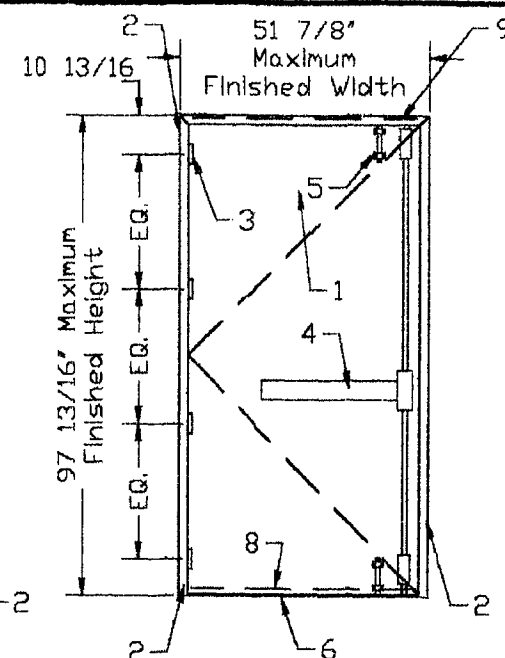
- A. DRAWINGS (Submitted under NOA#99-0920.05)**
1. Manufacturer's die drawings and sections.
  2. Drawing No. 122-99, titled "20ga Flush Steel Door", sheets 1 through 6 of 6, prepared by EngCo, Inc., dated 9/8/99 and last revised on 4/4/00, signed and sealed by Pedro De Figueiredo, P.E.
- B. TESTS (Submitted under NOA#99-0920.05)**
1. Test reports on 1) Air Infiltration Test, per FBC, TAS 202-94  
2) Uniform Static Air Pressure Test, Loading per FBC, TAS 202-94  
3) Water Resistance Test, per FBC, TAS 202-94  
4) Large Missile Impact Test per FBC, TAS 201-94  
5) Cyclic Wind Pressure Loading per FBC, TAS 203-94  
6) Forced Entry Test, per FBC 2411 3.2.1 and TAS 202-94  
along with installation diagram and manufacturer's design drawing marked-up and verified by the Laboratory prepared by Hurricane Engineering & Testing Inc., Test Report No. HETI-99-1143 and HETI-99-812, dated May 20th, 1999 and May 25th, 1999 respectively, signed and sealed by Hector M. Medina, P.E.
  2. Test reports on 1) Large Missile Impact Test per FBC, TAS 201-94  
2) Uniform Static Air Pressure Test, Loading per FBC, TAS 202-94  
3) Cyclic Wind Pressure Loading per FBC, TAS 203-94  
along with installation diagram and manufacturer's design drawing marked-up and verified by the Laboratory prepared by Hurricane Engineering & Testing Inc., Test Report No. HETI-99-826, dated August 4<sup>th</sup>, 1999 and revised and reissued on January 17, 2000 & HETI-99-829 dtd August 9th, 1999, signed & sealed by Hector M. Medina, P.E.
- C. CALCULATIONS (Submitted under NOA#99-0920.05)**
1. Anchor calculations prepared by Eng Co, Inc., dated 09/08/99 and revised on 03-22-00, signed and sealed by Pedro De Figueiredo, P.E.
- D. MATERIAL CERTIFICATIONS (Submitted under NOA#99-0920.05)**
1. Tensile Test prepared by Hurricane Engineering & Testing Inc., Report No. HETI-99-T163 dated 06-09-1999 for steel samples, tested per ASTM E8-96, signed & sealed by Hector M. Medina, P.E.
- E. STATEMENTS (Submitted under NOA#99-0920.05)**
1. Request for renewal dated April 15, 2003, issued by Brunswick signed by Alex Guizinski.
  2. Stateman letter of conformance and "no financial interest", dated September 10, 1999, signed by Pedro De Figueiredo, P.E.
  3. Statement letter of compliance (per test report) dated May 20<sup>th</sup>, May 25<sup>th</sup>, August 4<sup>th</sup>, August 9<sup>th</sup>, 1999 issued by Hurricane Engineering & Testing Inc., signed & sealed by Hector M. Medina, P.E.
  4. Addendum letter to test report dated 01-17-00, issued by Hurricane Engineering & Testing Inc, signed and sealed by Hector M. Medina, P.E.
  5. Photo copy of statement letter, **private Label agreement** between Brunswick Door Co, Inc. and North American Door Co. dated June 11<sup>th</sup>, 1997, signed by Alex Guizinski of (president Brunswick) and Antonio Gervasi of (president North American Door Corp). Original in file # 95-1212.01,
- F. OTHER**
1. NOA No. 99-0920.05 issued to Brunswick Door Co., expiring on 4/28/03.
  2. Test proposal approved by BCCO dated 06-30-1999.
  3. Private Label agreement between Brunswick and North American Door Co.

*Ishaq I. Chanda*  
**Ishaq I. Chanda, P.E.**  
**Product Control Examiner**  
**NOA No 03-0401.06**  
**Expiration Date: April 28, 2008**  
**Approval Date: May 15, 2003**

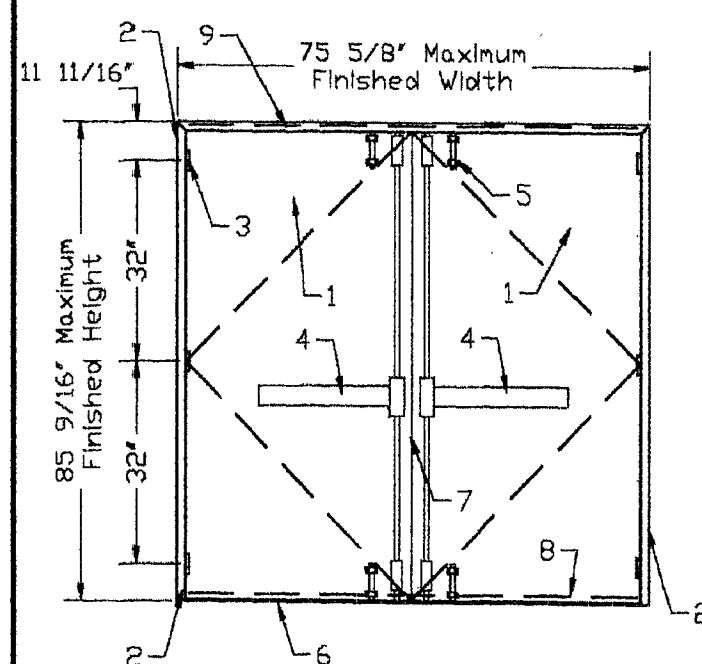




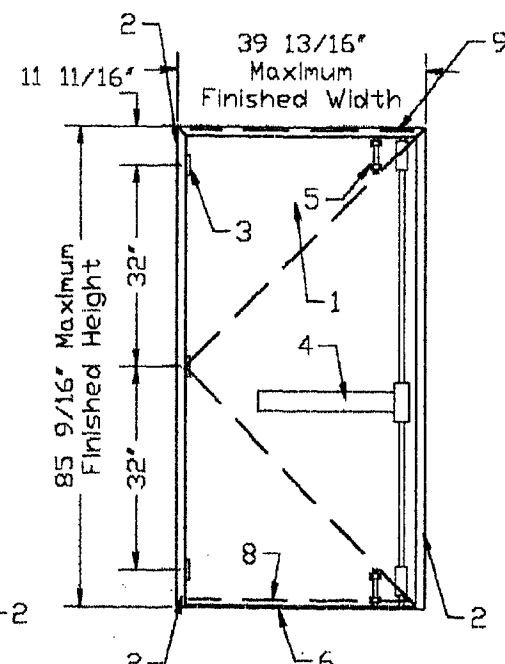
**PAIR DOOR  
DESIGN PRESSURE:**  
Positive= +60  
Negative= -65



**SINGLE DOOR  
DESIGN PRESSURE:**  
Positive= +60  
Negative= -65



**PAIR DOOR  
DESIGN PRESSURE:**  
Positive= +60  
Negative= -85



**SINGLE DOOR  
DESIGN PRESSURE:**  
Positive= +60  
Negative= -85

## GENERAL NOTES:

**1- CODE:** This product has been tested and designed in accordance with the South Florida Building Code - Dade County 94 edition.

**2- DEFINITION:** This product is an 20 ga.(min) Out-Swing Commercial Single or Double Steel Door, designed and erected to provide protection from Hurricane force winds within the designed allowable pressures and limitations stated in this approval.

**3- IDENTIFICATION:** A permanent legible decal shall be placed at readily visible location at inside the frame jamb and at the door slab edge, reading the following:

Brunswick Door Company  
Deerfield Beach, Florida  
Dade County Product  
Control Approved

**4- MATERIAL:** 16ga Frame and 20ga Door flush or embossed are made of cold rolled steel, commercial quality with a minimum yield stress of 44.0 Ksl.

**5- FASTENERS:** Assembly screws and anchors shall be as specified at current set of drawings. Installation and loads as per manufacturer specifications.

**6- SEALANTS:** GE Window & Door 100% silicone Rubber Sealant #GE012A to be applied on frame perimeter, exterior side and leaf perimeter.

**PRODUCT RENEWED**  
as complying with the Florida  
Building Code  
Acceptance No. **03-0401.06**  
Expiration Date **APRIL 28, 2008**  
By **Isaac I. Chanda**  
Miami Dade Product Control  
Division

## HARDWARE SCHEDULE

MARK	DESCRIPTION
1	20 Ga 1 3/4" - 47 5/8"x 95 1/8" Steel door leaf. Flush or Embossed
2	16 Ga 2 5/8"x 5 7/8"(min) Steel Frame - Jamb and Header
3	(8) for FH=97 7/8" and (6) for FH=85 1/2" Steel Full Mortise Hinges, 4 1/2"x 4 1/2" PBB, Inc - Part# PB81 - US 26D finish.
4	(2) PRIMARY LOCKS - Panic Device Cal Royal Products Inc. # 8000V series connected to the active and inactive doors.
5	(4) SECONDARY LOCKS - Taco Model # UL-453 HD surface bolts two per door leaf top and bottom.
6	Pemko 177AV Saddle Threshold - 7/8" highx 5" wide with a 1/4" SiliconeSeal insert.
7	(2) Pemko overlapping astragal #357 1 3/4"x1/8" USP.
8	Pemko #307AV sweep
9	Pemko #346C x 100" AL rain cap.

## INDEX

SHEET	DESCRIPTION
1	GENERAL NOTES, HARDWARE SCHEDULE AND DESIGN PRESSURE
2	PERIMETER FRAME DETAIL
3	DOOR DETAIL
4	ELEVATION ANCHORAGE LAY-OUT
5	ANCHORAGE SECTION DETAIL
6	WEATHER SEAL DETAILS

APPROVED AS COMPLYING WITH THE  
SOUTH FLORIDA BUILDING CODE  
DATE **April 28, 2000**  
BY **Isaac I. Chanda**  
PRODUCT CONTROL DIVISION  
BUILDING CODE COMPLIANCE OFFICE  
ACCEPTANCE NO. **99-0920.05**

**EngCo, Inc.**

Engineering Services  
CAP 8118

9867 NW 7th St.  
Plantation - Florida - 33324  
Tel.: 954 424-4084

**MAR 22 2000**

Pedro De Figueredo  
PE 62809

**20ga Flush Steel Door**



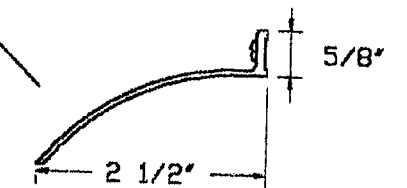
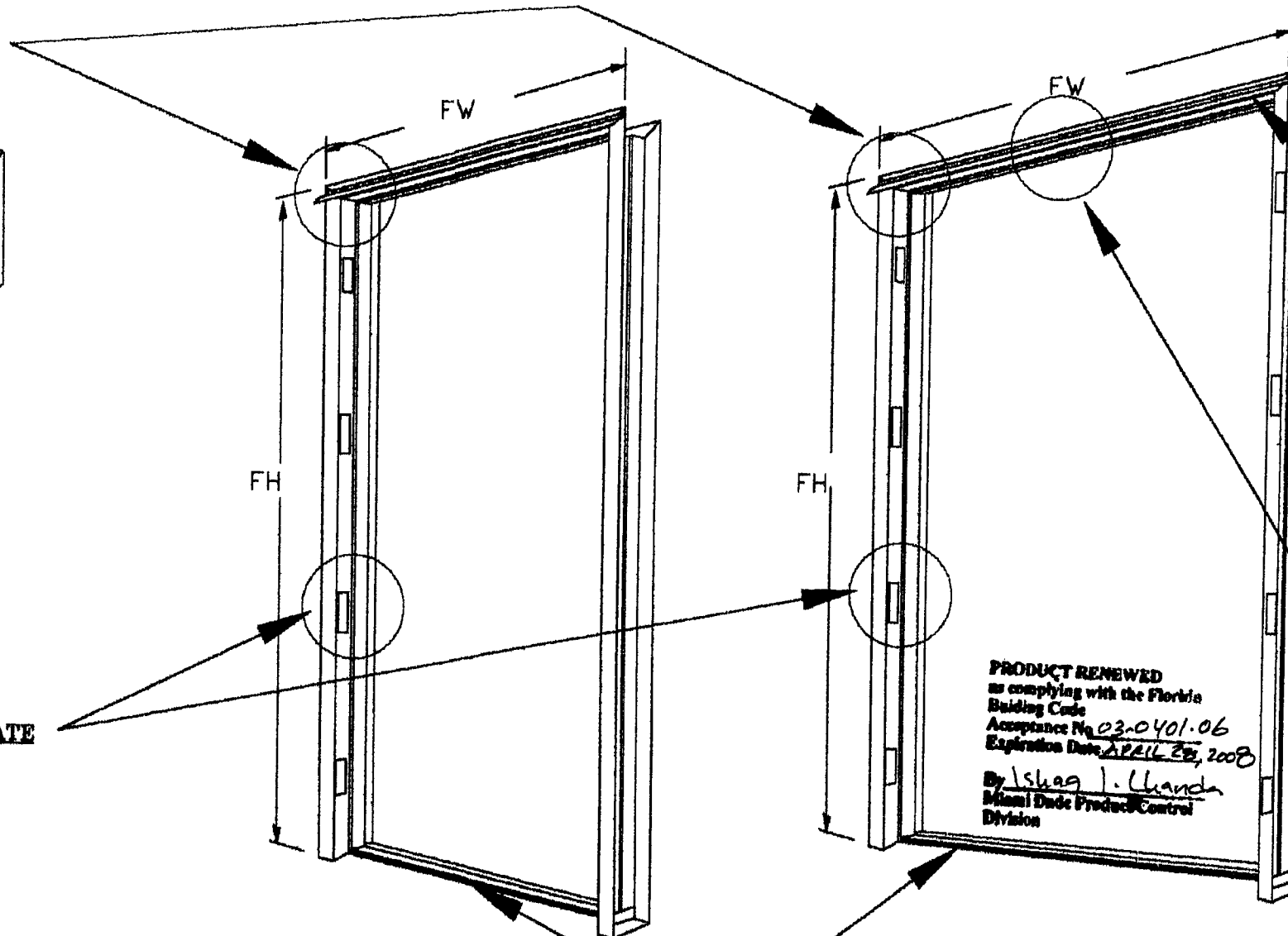
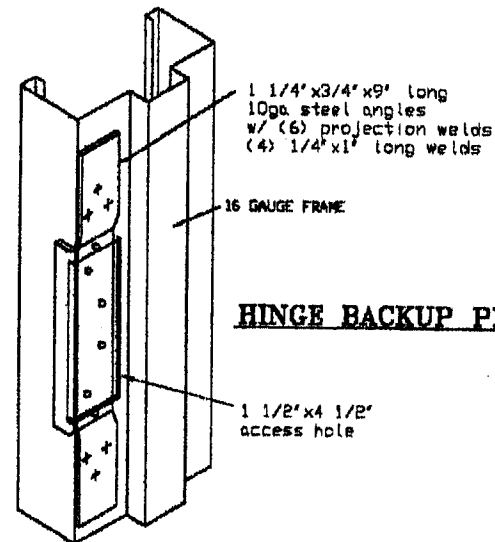
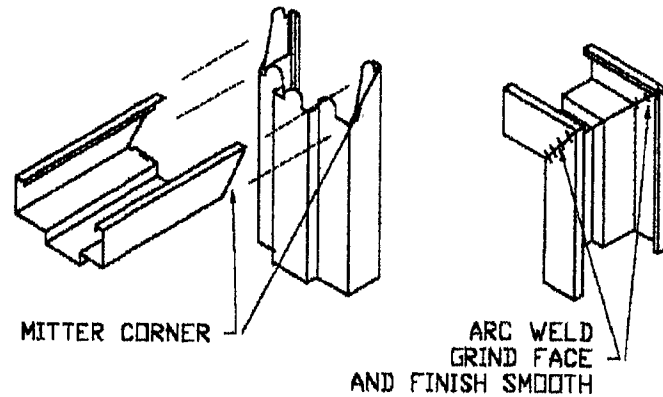
**BRUNSWICK DOOR CO.**

400 South Goolety Blvd.  
Deerfield Bch. - Florida - 33443  
Tel.: 954 427-1700

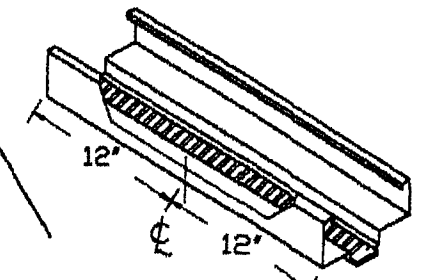
Date: 5/8/99	Scale: none	Designed by: PPMF	SHEET 1 of 6 Drawing Number 122-99
Rev. #	Description	Date	
1	Add single door, Change Notes, 18ga frame	3/21/00	



# CORNER ASSEMBLY



**OVERHEAD RAIN DRIP**  
Pemko #345C-AL



**24" MID REINFORCEMENT**  
1 3/8" x 24" x 1/8" steel  
reinforcement plate welded to  
frame with (7) 3/16" point weld.

PRODUCT RENEWED  
as complying with the Florida  
Building Code  
Acceptance No. 03-0401.06  
Expiration Date, APRIL 28, 2008  
By Ishaq J. Chanda  
Miami Dade Product Control  
Division

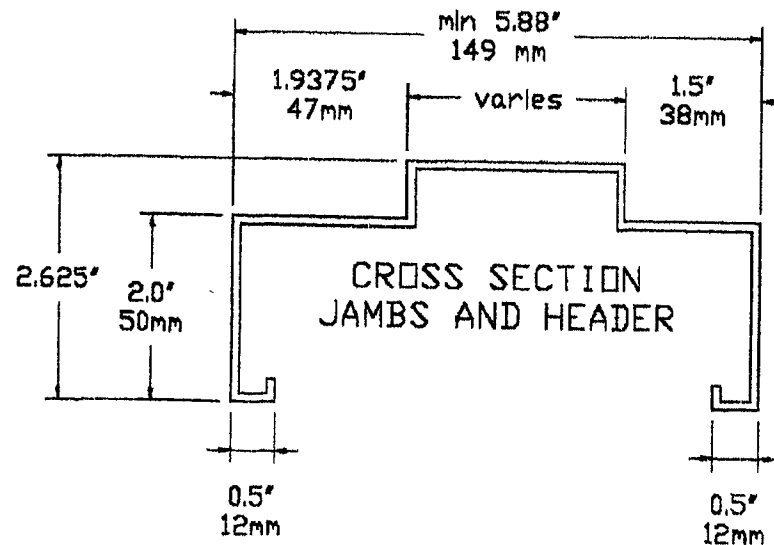
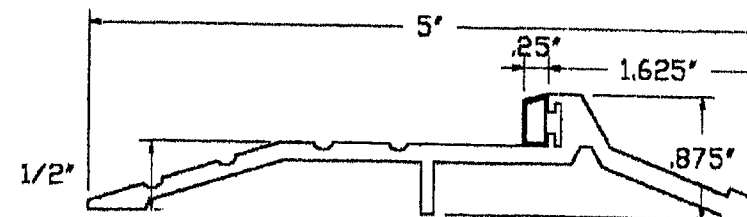
## PERIMETER FRAME - SINGLE DOOR

16 Ga Commercial Quality  
Cold Rolled Steel  
Fy=44 Ksi

## PERIMETER FRAME - DOUBLE DOOR

16 Ga Commercial Quality  
Cold Rolled Steel  
Fy=44 Ksi

**PEMCO 177AV  
THRESHOLD**



APPROVED AS COMPLYING WITH THE  
SOUTH FLORIDA BUILDING CODE  
DATE April 28, 2000  
BY Ishaq J. Chanda  
PRODUCT CONTROL DIVISION  
BUILDING CODE COMPLIANCE OFFICE  
ACCEPTANCE NO. 99-0920.05

**EngCo, Inc.**

Engineering Services  
048516

9967 NW 7th St.  
Plantation - Florida - 33324  
Tel: 954 424-4084

MAR 22 2000

Pedro De Figueredo  
PE 68036

**20ga Flush Steel Door**



**BRUNSWICK DOOR CO.**

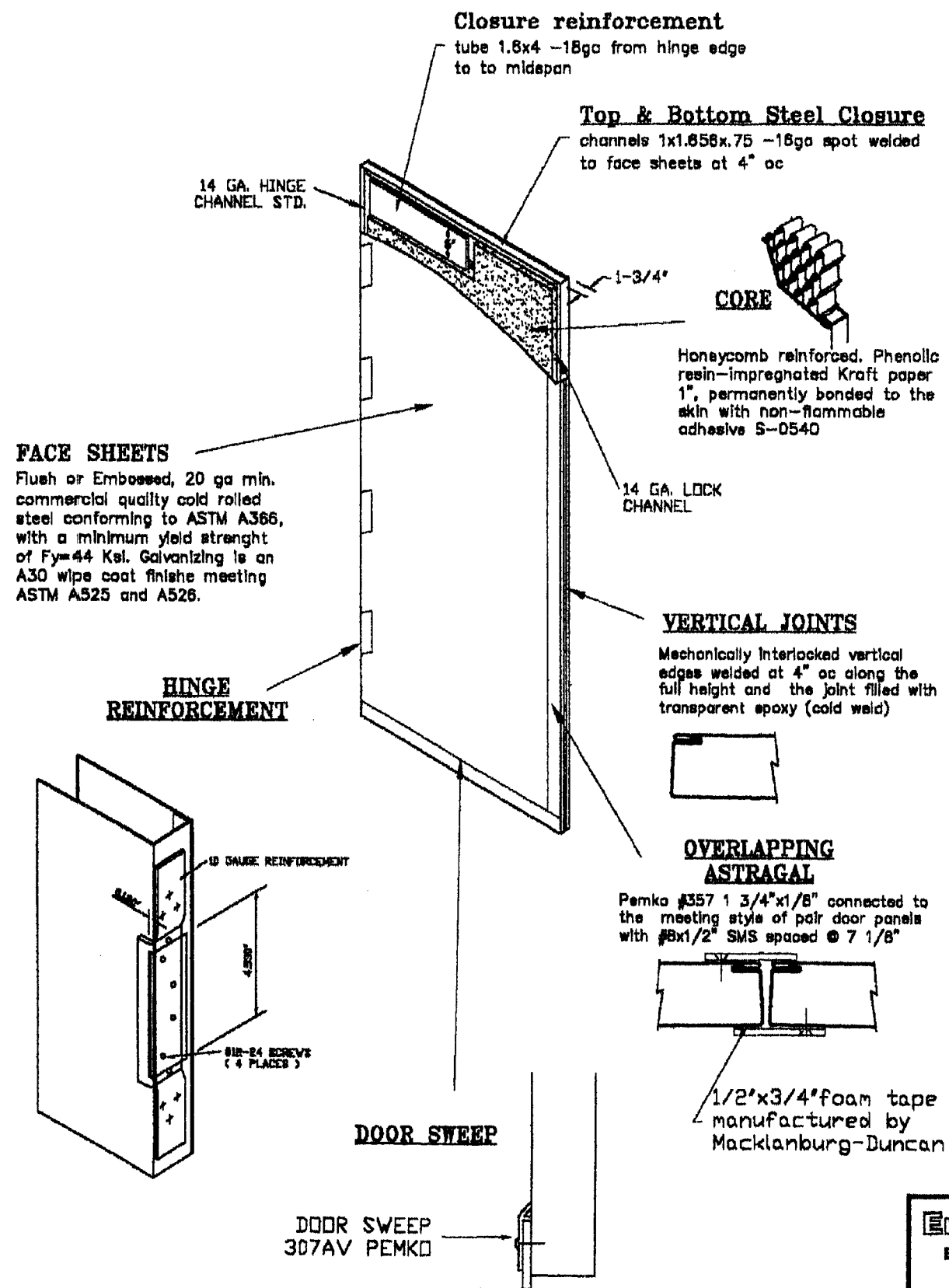
400 South Goolsby Blvd.  
Deerfield Bch. - Florida - 33443  
Tel: 954 427-1700

Rev. #	Description	Date
1	Replace 18ga with 16ga frame - per code	3/21/00

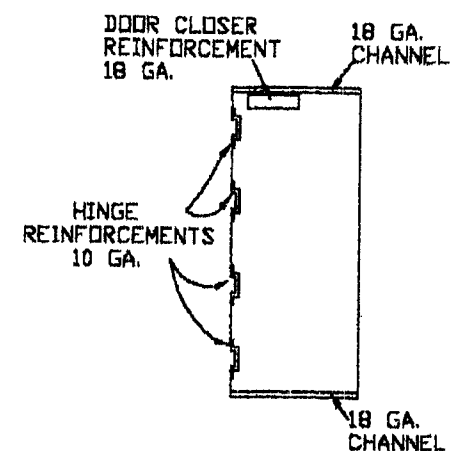
SHEET  
2 of 6

Drawing Number  
122-99

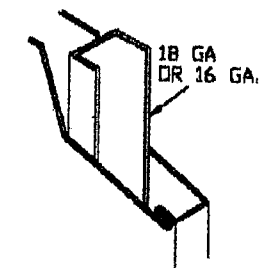




### TYPICAL REINFORCEMENTS

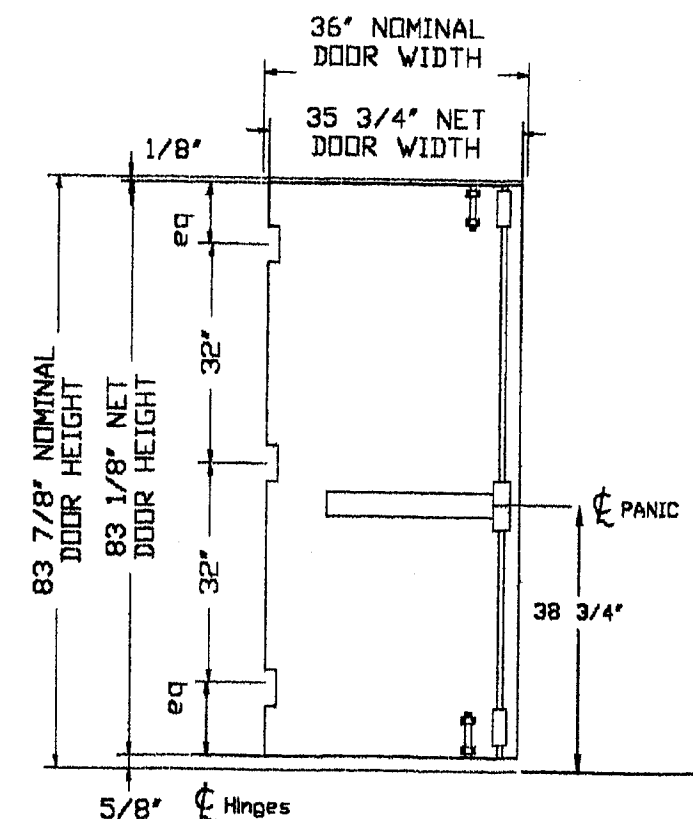
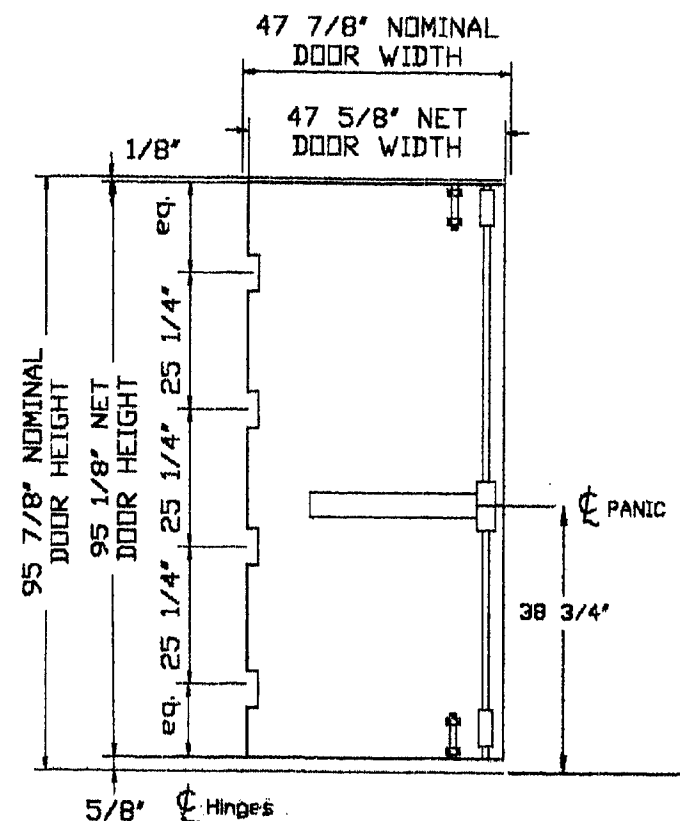


### OPTIONAL STIFFENERS



**PRODUCT RENEWED**  
as complying with the Florida Building Code  
Acceptance No. 03-0401.06  
Expiration Date APRIL 28, 2008  
By Ishag I. Chanda  
Miami Code Product Control Division

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE  
DATE April 28, 2000  
BY Ishag I. Chanda  
PRODUCT CONTROL DIVISION  
BUILDING CODE COMPLIANCE OFFICE  
ACCEPTANCE NO. 99-0920.05



**EngCo, Inc.**

Engineering Services  
0421110

6967 NW 7th St.  
Plantation - Florida - 33324  
Tel.: 954 424-4064

MAR 22 2000

Pedro E. Figueroa  
PE 82809

20ga Flush Steel Door



BRUNSWICK DOOR CO.

400 South Gadsby Blvd.  
Deerfield Bch. - Florida - 33445  
Tel.: 954 427-1700

Date: 8/8/99

Scale: none

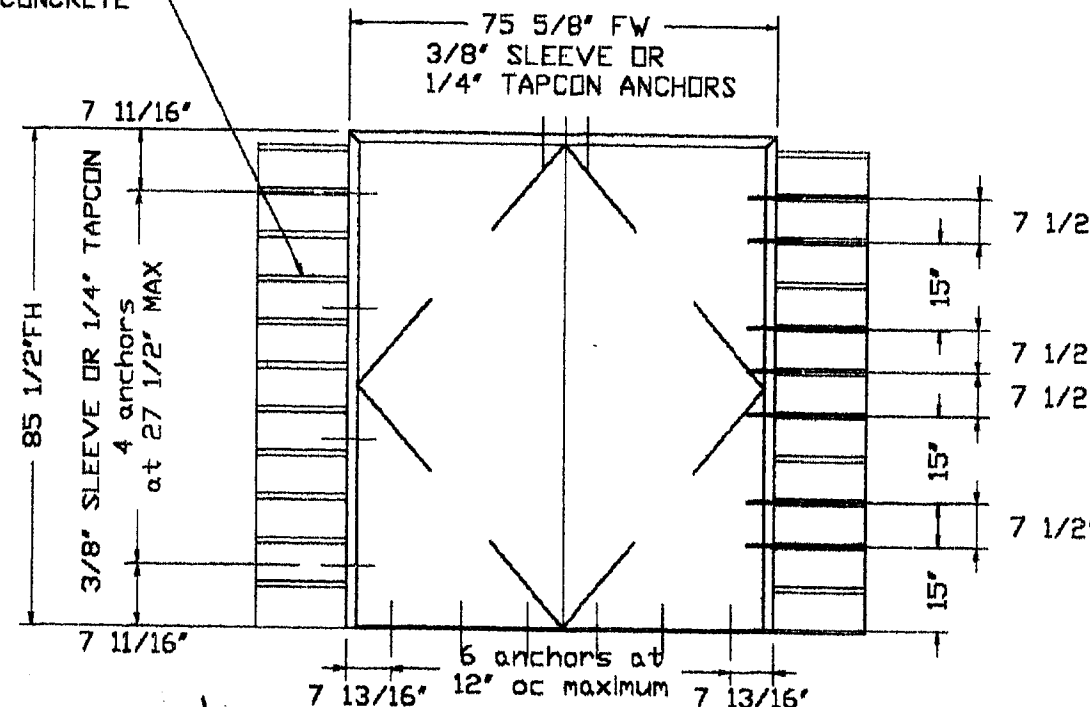
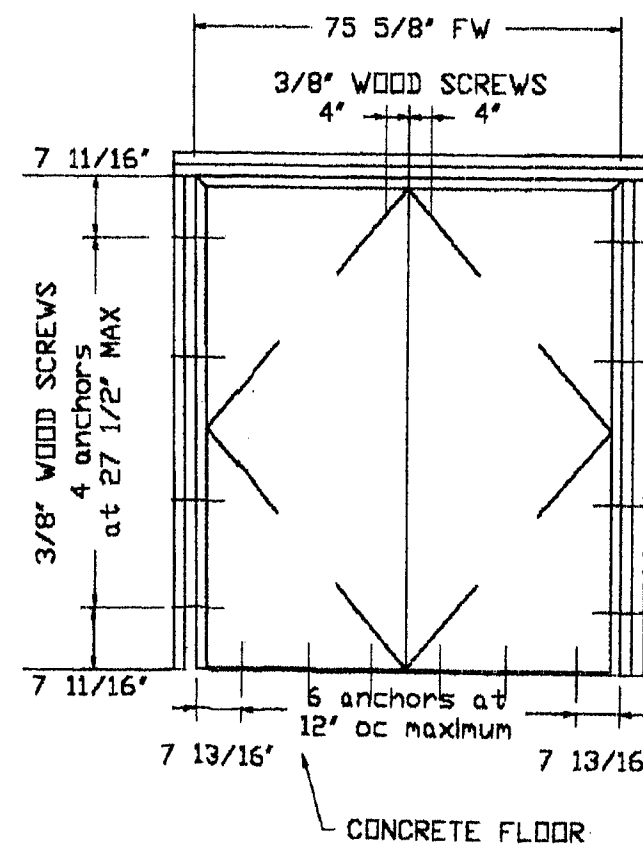
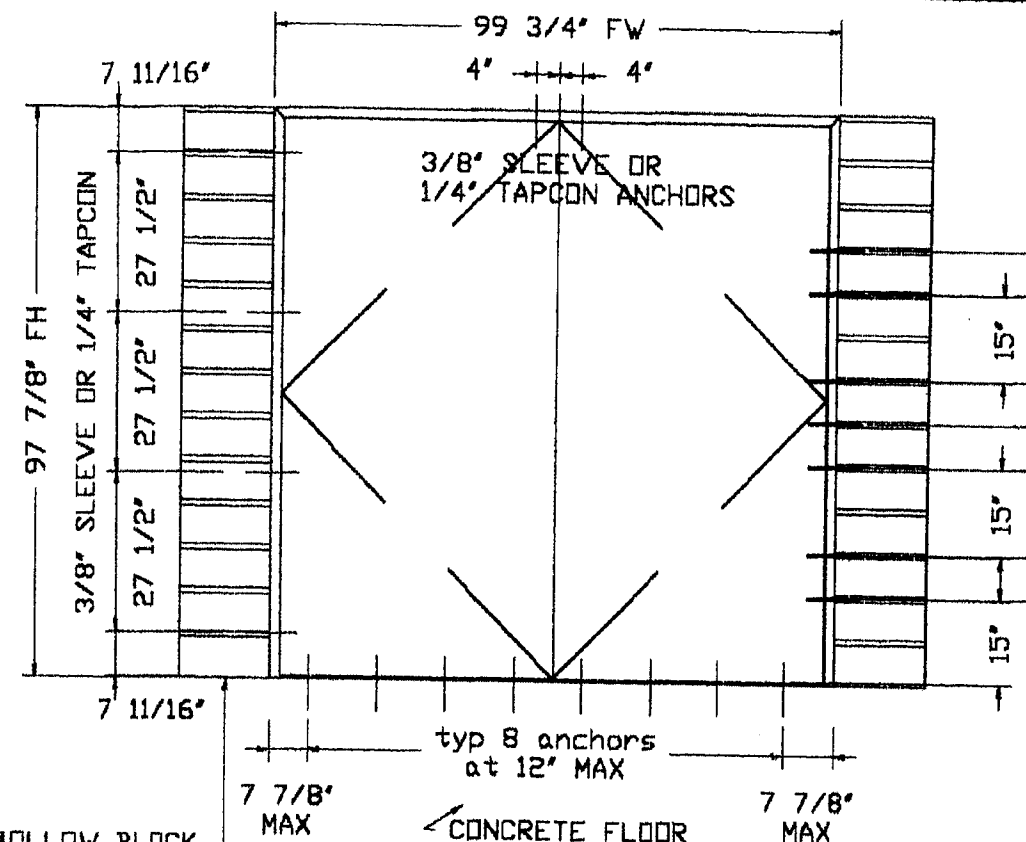
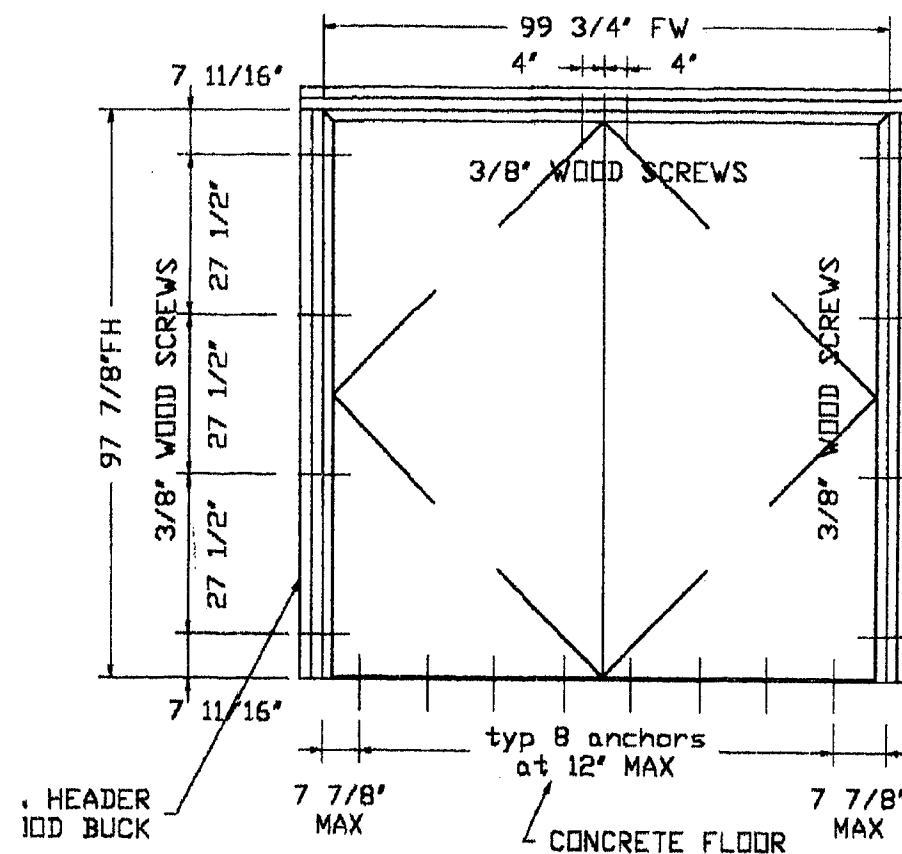
Designed by: PPMF

Rev. #	Description	Date
1	Deleted additional reinforcements	3/21/00

SHEET  
3 of 6

Drawing Number  
122-99





ANCHORAGE  
LAYOUT

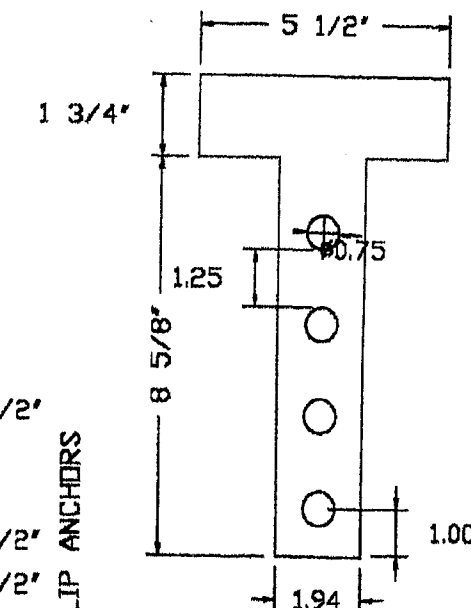
JAMBS:  
FILLED W/  
HEADER: 3000

FOLLOW BLOCK  
000 psi GROUT  
PSI CONCRETE

PRODUCT RENEWED  
as complying with the Florida  
Building Code  
Acceptance No. 03-0401-06  
Expiration Date: APRIL 28, 2008  
By Isaac J. Chanda  
Miami Code Product Control  
Division

APPROVED AS COMPLYING WITH THE  
SOUTH FLORIDA BUILDING CODE  
DATE April 28, 2000  
BY Isaac J. Chanda  
PRODUCT CONTROL DIVISION  
BUILDING CODE COMPLIANCE OFFICE  
ACCEPTANCE NO. 99-0920.05

18GA STEEL "T" ANCHOR  
ASTM A366 - FY=44 KSI



**Engineering Co., Inc.**  
Engineering Services

APR 04 2000

Pedro De Figueiredo  
PE 58800

20ga Flush Steel Door



BRUNSWICK DOOR CO.  
400 South Godley Blvd.  
Deerfield Bch. - Florida - 33443  
Tel.: 904 427-1700

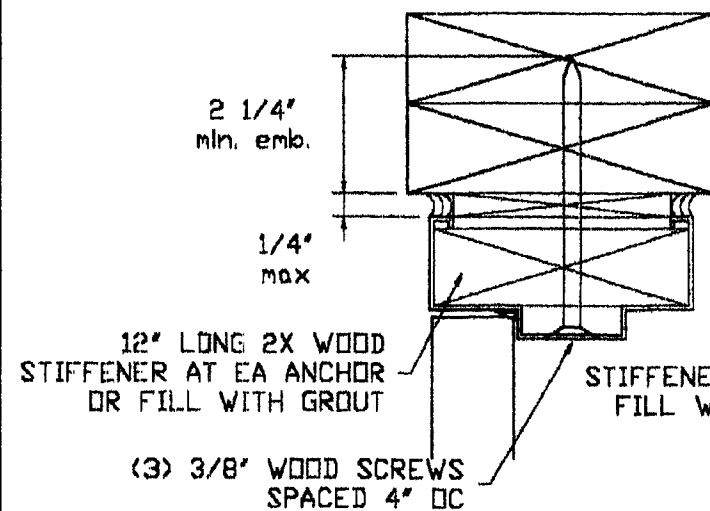
Date: 9/8/99		Scale: none	Designed by: PPM
Rev. #	Description	Date	
1	Anchorage spacing adjusted	3/21/00	
1	Anchorage spacing adjusted	4/4/00	

SHEET  
4 of 6

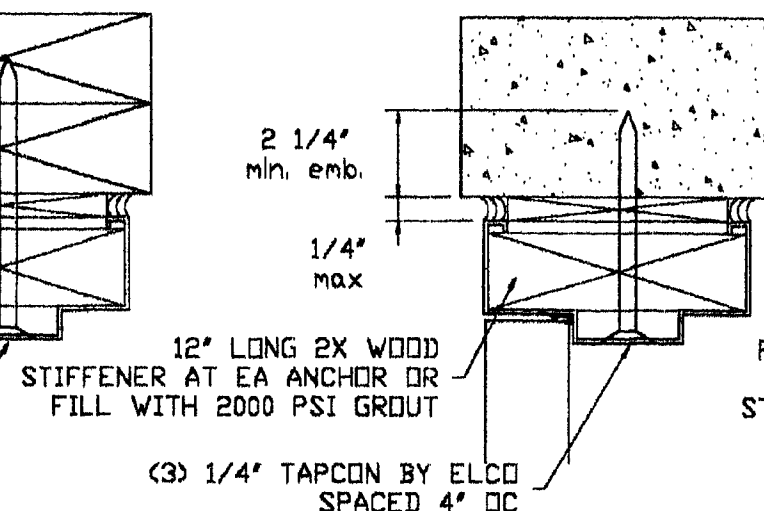
Drawing Number  
122-99



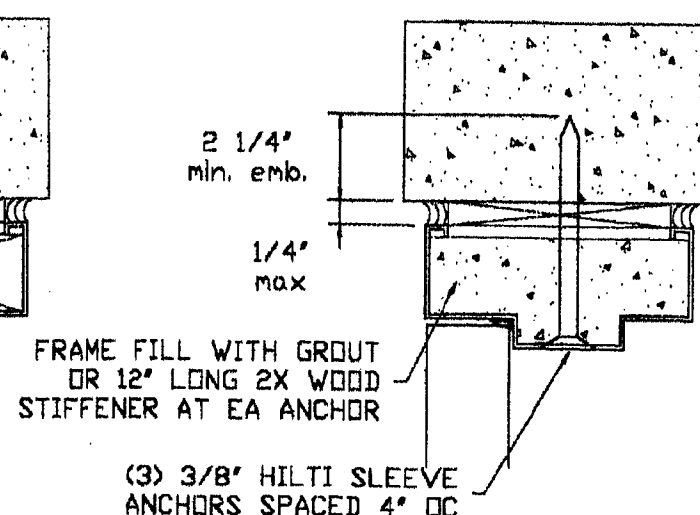
HEADER ANCHORAGE  
3/8" WOOD SCREWS



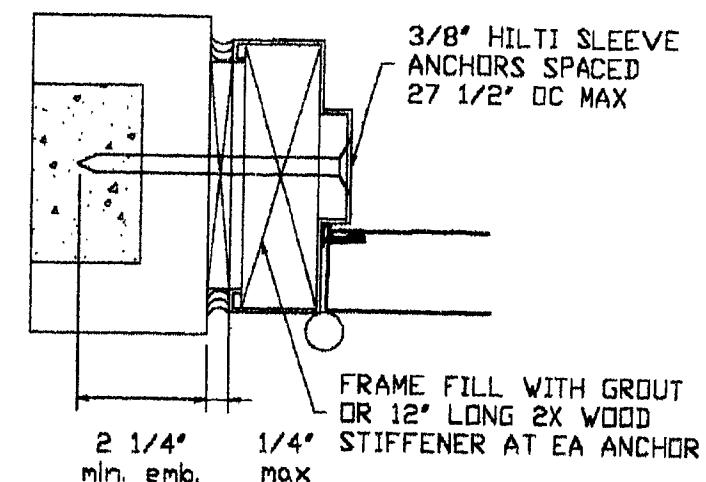
HEADER ANCHORAGE  
1/4" TAPCONS



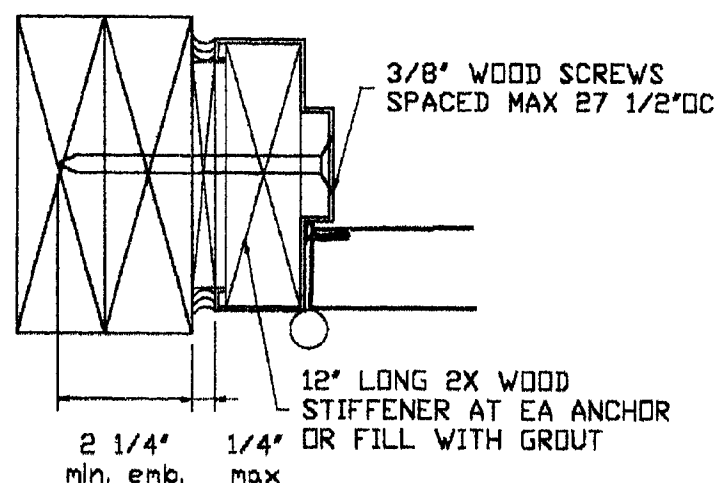
HEADER ANCHORAGE  
3/8" HILTI SLEEVE ANCHORS



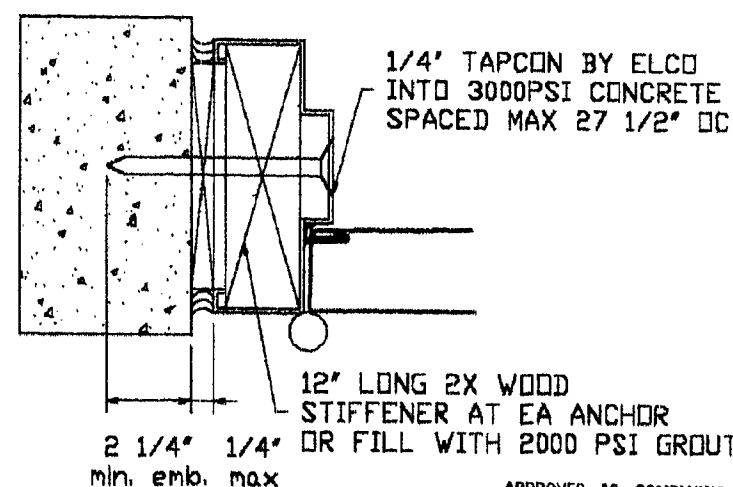
JAMB ANCHORAGE  
3/8" HILTI SLEEVE ANCHORS



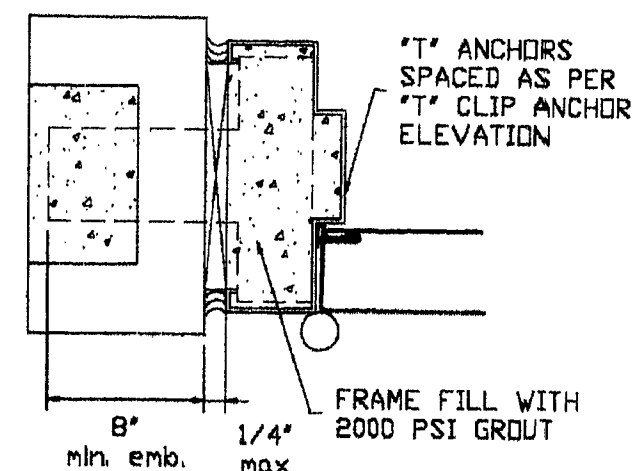
JAMB ANCHORAGE  
3/8" WOOD SCREWS



JAMB ANCHORAGE  
1/4" TAPCON ANCHORS

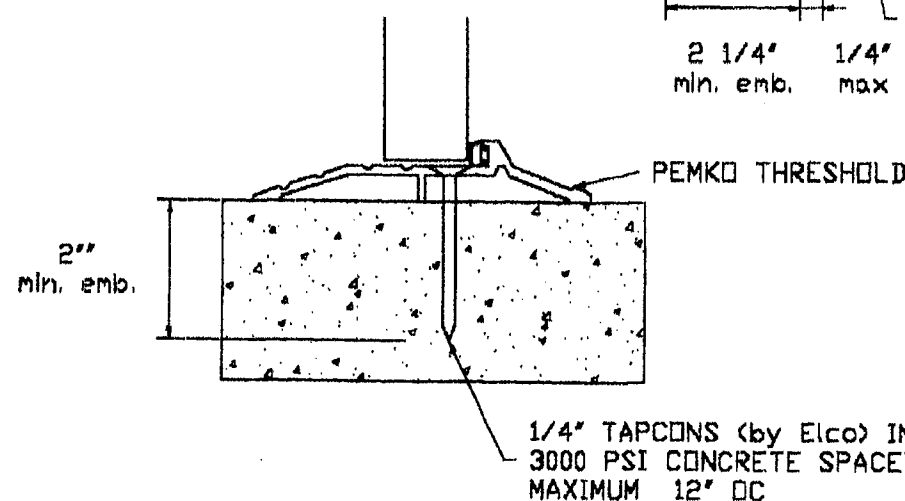


JAMB ANCHORAGE  
"T" ANCHORS



NOTE: Attachments of sub-bucks shall be designed by the Architect of Record or Engineer of Record and must be in compliance with the South Florida Building Code

THRESHOLD ANCHORAGE  
1/4" TAPCONS SCREWS



APPROVED AS COMPLYING WITH THE  
SOUTH FLORIDA BUILDING CODE  
DATE April 28, 2000  
BY Ishag L. Lhanda  
PRODUCT CONTROL DIVISION  
BUILDING CODE COMPLIANCE OFFICE  
ACCEPTANCE NO. 99-0920.05

PRODUCT RENEWED  
as complying with the Florida  
Building Code  
Acceptance No. 03-0401-06  
Expiration Date APRIL 28, 2008  
By Ishag L. Lhanda  
Miami Dade Product Control  
Division

EngCo, Inc.  
Engineering Services

MAR 22 2000  
Pedro De Figueiredo  
PE 62509

20ga Flush Steel Door



BRUNSWICK DOOR CO.  
400 South Gandy Blvd.  
Deerfield Bch. - Florida - 33449  
Tel: 954 427-1700

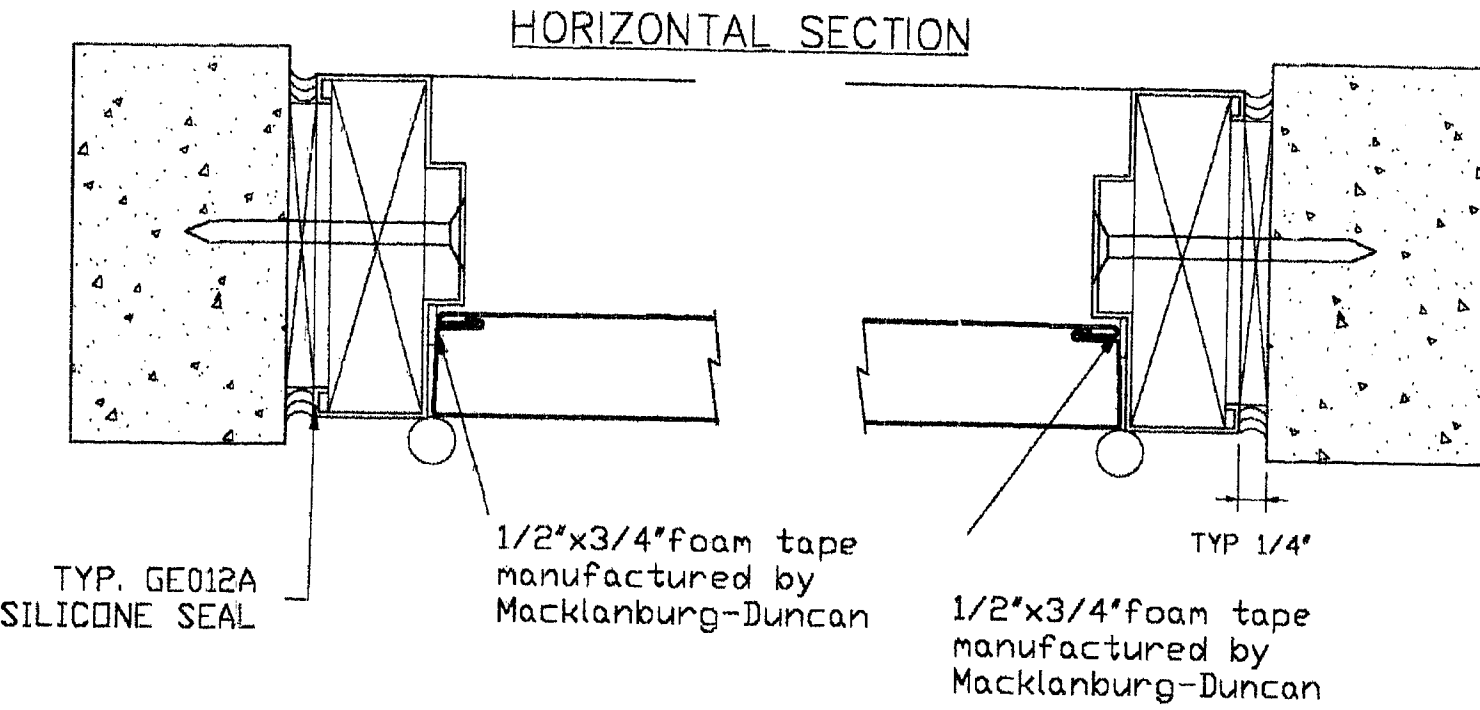
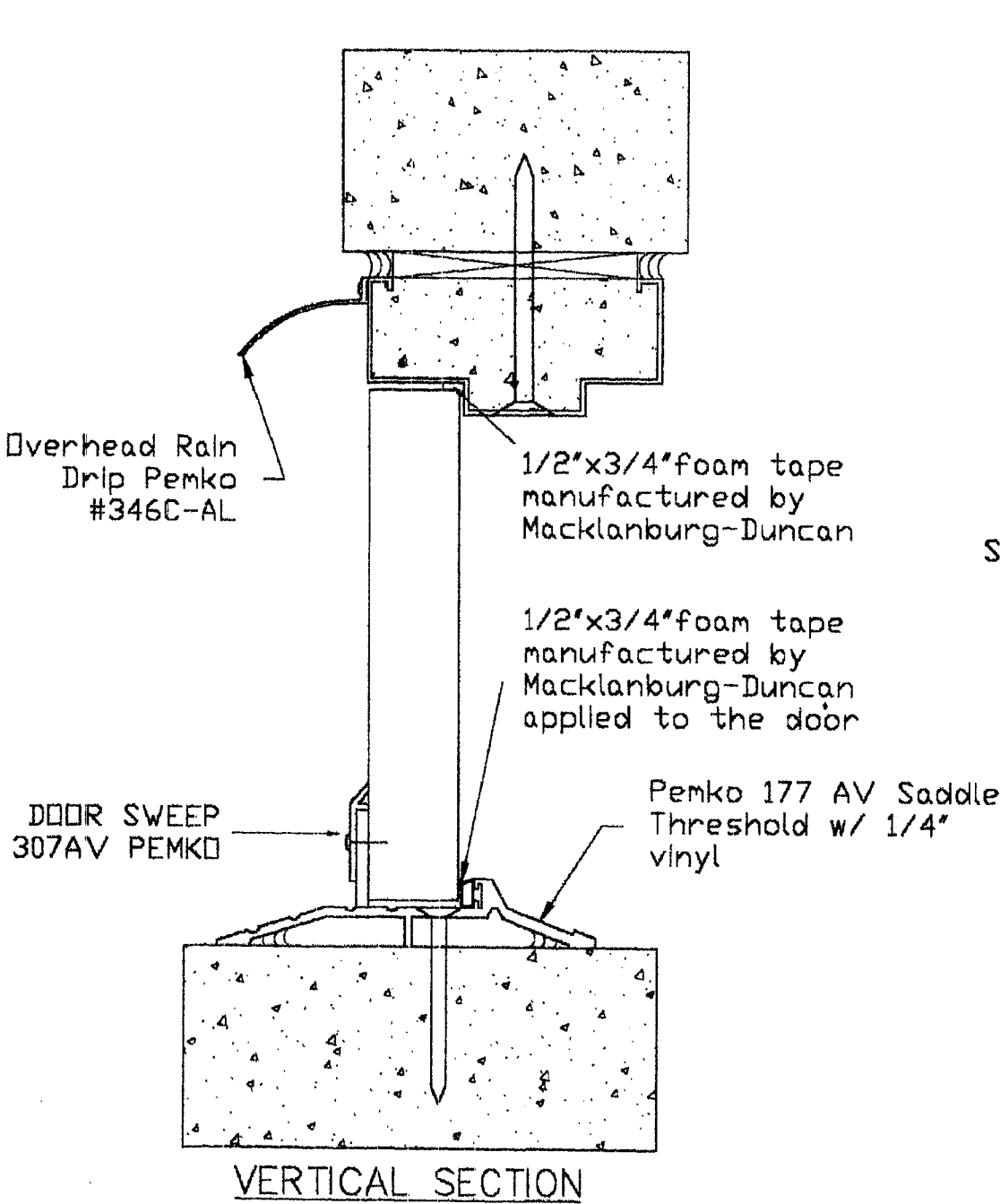
Date: 8/8/99	Scale: none	Designed by: PPMF
Rev. #	Description	Date
1	ANCHORAGE EMBEDMENT	3/21/00

SHEET  
5 of 6

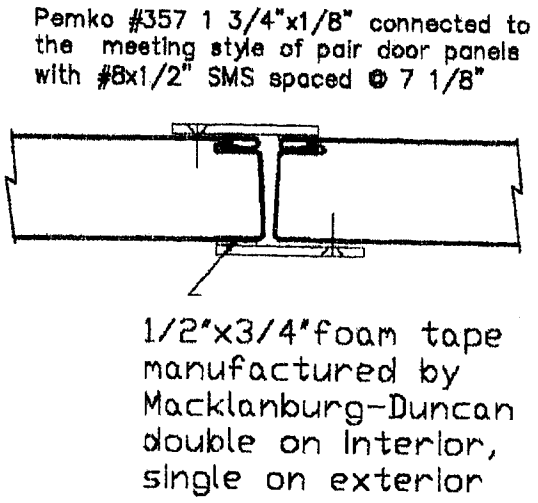
Drawing Number  
122-99



**WEATHER STRIPPING**





**MEETING STILE**



PRODUCT RENEWED  
as complying with the Florida  
Building Code  
Acceptance No. 02-0401.06  
Expiration Date APRIL 28, 2008  
By Iskay I. Chanda  
Miami Dade Product Control  
Division

APPROVED AS COMPLYING WITH THE  
SOUTH FLORIDA BUILDING CODE  
DATE April 28, 2000  
BY Iskay I. Chanda  
PRODUCT CONTROL DIVISION  
BUILDING CODE COMPLIANCE OFFICE  
ACCEPTANCE NO. 99-0920.05

<div>EngCo, Inc.</div> <div>Engineering Services</div> <div>041 0118</div> <div>5857 NW 7th St.</div> <div>Plantation - Florida - 33324</div> <div>Tel: 954 424-4064</div>	<div></div> <div>MAR 22 2000</div> <div>Pedro De Figueiredo</div> <div>PE 62830</div>	20ga Flush Steel Door		Date: 9/6/99		Scale: none		Designed by: PPMF		SHEET		
		<div></div> <div>BRUNSWICK DOOR CO.</div> <div>400 South Goolsby Blvd.</div> <div>Deerfield Bch. - Florida - 33443</div> <div>Tel: 954 427-1700</div>		Rev. #	Description				Date		6 of 6	
				1	Add grout at header section				Date		Drawing Number	
										122-99		





**Phone: (305) 673-7610**  
**Fax: (305) 673-7857**

**NEW CONSTRUCTION & ALTERATIONS AND REPAIRS**  
**ARCHITECTURAL/ENGINEERING AFFIDAVIT FOR JOB VALUE AND TOTAL GROSS SQUARE FOOTAGE**

Date: SEPT. 17 2007

Permit Number: B0702655

Project Description: DUMPSTER IMPROVEMENT

Owner: RICHARDS CAPITAL LTD

Architect and/or Engineering Firm: JAS GROUPARCH / PLNRS

Name of Architect or Engineer of Record: JAMES SMITH

Address of Architect / Engineering Firm: 7855 SW 104 STREET #200  
MIAMI FL 33156 305.596.2290

Contact Number:

## Part One: Architect / Engineer Affidavit: To be Submitted Prior to Permit Issuance.

X | JAMES SMITH AIA as the Architect Engineer of Record for the project covered under the permit listed above, certify the following:

**Total Gross Floor Area of New Construction:**  
**Total Gross Floor Area of Alteration / Repair:**  
☐ **Single Family Homes, Duplexes, and Areas within Residential Condo unit.**  
☒ **Multi-Family, Commercial, and Industrial**

**Total Estimated Construction Cost \* for New Construction:**

**Total Estimated Construction Cost\* for Alteration / Repair:**

**Definitions:**

**Definitions:**  
**Total Gross Floor Area:** The floor area within the inside perimeter of the exterior walls of the building under consideration, exclusive of vent shafts and courts, without deduction for corridors, stairways, closets, the thickness of interior walls, columns or other features. The floor area of a building or portion thereof not provided with surrounding exterior walls shall be the usable area under the horizontal projection of the roof or floor above. The gross floor area shall not include shafts with no openings or interior courts.

**Signature of Architect/Engineer**

STATE OF FLORIDA

COUNTY OF DADE

Sworn to and subscribed 17 day of September  
2007, by: James Smith

☒ Personally known to me:

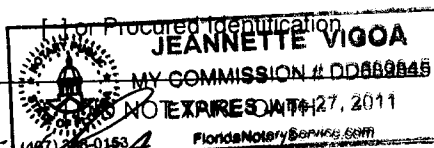
Type of Identification:

[X] DID TAKE OATH

**Signature of Notary Public**

223. SF.

NOTICE: The addition of new permits to the Public Records of the County of Miami shall be the responsibility of the permittee. The City of Miami Beach does not assume any responsibility for accuracy of results from these plans with the exception of approved subject to compliance with federal, State and Local Laws, Rules and Regulations.





**\*Note:** It is the intention of the City of Miami Beach to use the Architect's Estimate of Construction Cost as a "Good Faith" estimate for the purpose of calculating the initial permit fee. The City agrees to hold the Architect and/or Owner harmless from any liability, professional or otherwise due to any difference in the Architect's estimate of construction cost and the construction cost as submitted by the Owner and/or Contractor at the time of Completion. The Owner will be responsible to pay the City of Miami Beach any difference between the permit fee based on the construction cost and/or square footage submitted with the original permit application and the permit fee based on the final construction cost including general conditions and/or square footage as certified by the Owner, Architect and Contractor on the most current "AIA Document G702" Application for Payment approved at the time the application for the Certificate of Occupancy (CO) or Certificate of Completion (CC) is submitted to the Building Department.

**\* Part Two: Owner Affidavit: To be Submitted Prior to Permit Issuance.**

I Victor Richard am the Owner of the property undergoing an improvement as described in the permit above. I understand that at the time the Contractor submits the application for a Certificate of Occupancy (CO) or Certificate of Completion (CC), I will be required to submit to the City of Miami Beach Building Department verification of construction cost. The City will accept the most current "AIA Document G702" Application for Payment approved at the time the application for the Certificate of Occupancy (CO) or Certificate of Completion (CC) is submitted to the Building Department as verification of construction cost.

I understand that as the Owner of said property and improvement, I am responsible to pay the City of Miami Beach any difference between the permit fee based on the construction cost and/ or square footage submitted with the original permit application and the permit fee based on the final construction cost including general conditions and/or final square footage as certified by the Owner, Architect and Contractor on the most current "AIA Document G702" Application for Payment approved at the time the application for the Certificate of Occupancy (CO) or Certificate of Completion (CC) is submitted to the Building Department.

Victor Richard  
Signature of Owner

STATE OF FLORIDA

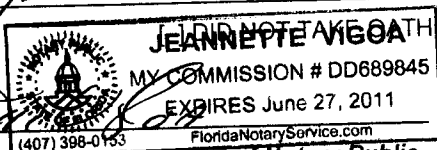
COUNTY OF DADE

Sworn to and subscribed 17 day of September  
2009 by: Victor Richard

☒ Personally known to me: [ ] or Procured Identification

Type of Identification: Self

☒ DID TAKE OATH

Jeannette Vigoa  
  
Signature of Notary Public



**Part Three: Contractor Affidavit: To be Submitted at the Time of CO / CC: ←**

I \_\_\_\_\_ am the Qualifier / General Contractor under contract with  
\_\_\_\_\_ Owner of the property undergoing an improvement as described in permit above.

I certify that the total contract value, including all change orders and all permit revisions under PERMIT NUMBER  
\_\_\_\_\_ is \$ \_\_\_\_\_.

I understand that at the time \_\_\_\_\_ (Qualifier / Contractor) submits the application for a Certificate of Occupancy (CO) or Certificate of Completion (CC), I will be required to submit to the City of Miami Beach Building Department verification of construction cost. The City will accept the most current "AIA Document G702" Application for Payment approved at the time the application for the Certificate of Occupancy (CO) or Certificate of Completion (CC) is submitted to the Building Department as verification of construction cost.

At that time, the Owner is responsible to pay the City of Miami Beach any difference between the permit fee based on the construction cost and/ or square footage submitted with the original permit application and the permit fee based on the final construction cost including general conditions and/or final square footage as certified by the Owner, Architect and Contractor on the most current "AIA Document G702" Application for Payment approved at the time the application for the Certificate of Occupancy (CO) or Certificate of Completion (CC) is submitted to the Building Department.

**Notes:**

**The City of Miami Beach reserves the right to request G706 Contractor's Affidavit of Debts and Claims after the issuance of CO.**

**If a G702 has not been used for construction draws by the parties, then the City of Miami Beach will accept alternate evidence of the final construction cost (for example final statement, final invoice etc..) which evidence must be satisfactory to the Building Director and /or Assistant Director, in his/her sole discretion.**

\_\_\_\_\_  
**Signature of Qualifier / Contractor**

**STATE OF FLORIDA**

**COUNTY OF DADE**

Sworn to and subscribed \_\_\_\_\_ day of \_\_\_\_\_

20\_\_, by: \_\_\_\_\_

☐ Personally known to me:

☐ or Procured Identification

Type of Identification: \_\_\_\_\_

☐ DID TAKE OATH

☐ DID NOT TAKE OATH

\_\_\_\_\_  
**Signature of Notary Public**



# **RICHARDS 71th STREET**

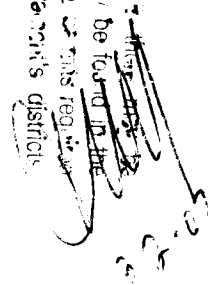
*-7118-36 COLLINS AVENUE  
MIAMI BEACH, FLORIDA-*

## **STRUCTURAL CALCULATIONS**

**Francisco Cuello, P.E., Inc**

*Consulting Engineer*  
147 ALHAMBRA CIRCLE, SUITE 220  
CORAL GABLES, FL 33134  
305.567.0125  
PE No. 40087

NOTICE: In addition to the requirement of this plan, there may be additional restrictions applicable to this property that may be found in the Public Records of this County and there may be additional requirements from other government entities such as water management districts, state agencies, or federal agencies. The City of Miami Beach assumes no responsibility for accuracy of results from these plans which are approved subject to compliance with Federal, State, and Local Laws, Rules, and Regulations.





FRANCISCO CUELLO JR., P.E., INC.  
Consulting Engineer

JOB RICHARDS 7TH STREET  
SHEET NO. 1 OF 7  
CALCULATED BY LG. DATE \_\_\_\_\_  
SCALE \_\_\_\_\_

DOORS-WINDOWS PRESSURE.

$$q_z = 0.00256 \times K_d \times K_z \times V^2 \times I$$

$$q_z = 0.00256 \times 1 \times 0.85 \times 146^2 \times 1 = 46.38 \text{ PSF.}$$

$$\text{WINDOW AREA} = 7 \text{ SF.}$$

$$\text{DOOR AREA} = 21 \text{ SF.}$$

- WINDOW.

$$P = q_z (GCP - GCP_i)$$

$$GCP_i = \pm 0.18.$$

$$GCP_+ = 1.0 \text{ (ZONE 4 \& 5).}$$

$$GCP_- = -1.1 \text{ (ZONE 4).}$$

$$GCP_- = -1.4 \text{ (ZONE 5).}$$

$$P_+ = 46.38 (1 - (-0.18)) = 54.72 \text{ PSF.}$$

$$P_- = 46.38 (-1.1 - (+0.18)) = -59.36 \text{ PSF. (ZONE 4).}$$

$$P_- = 46.38 (-1.4 - (+0.18)) = -73.28 \text{ PSF (ZONE 5).}$$

- DOOR.

$$P = q_z (GCP - GCP_i)$$

$$GCP_i = \pm 0.18.$$

$$GCP_+ = 0.95 \text{ (ZONE 4 \& 5).}$$

$$GCP_- = -1.05 \text{ (ZONE 4).}$$

$$GCP_- = -1.3 \text{ (ZONE 5).}$$

$$P_+ = 46.38 (0.95 - (+0.18)) = 52.41 \text{ PSF.}$$

$$P_- = 46.38 (-1.05 - (+0.18)) = -57.04 \text{ PSF. (ZONE 4).}$$

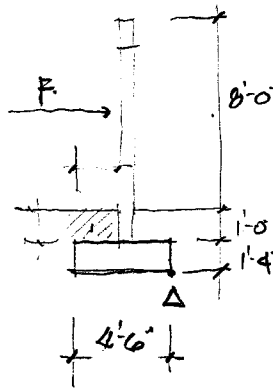
$$P_- = 46.38 (-1.3 - (+0.18)) = -68.64 \text{ PSF. (ZONE 5).}$$



**FRANCISCO CUELLO JR., P.E., INC.**  
Consulting Engineer

JOB RICHARDS 71th STREET  
SHEET NO. 2 OF \_\_\_\_\_  
CALCULATED BY \_\_\_\_\_ DATE \_\_\_\_\_  
SCALE \_\_\_\_\_

CHECK 8'-0" HIGH DUMPSTER WALL



$$q_h = 0.00282 \times 1.0 \times 0.85 \times 146^2 = 46.38 \text{ PSF.}$$

$$F_1 = 46.38 \times 1.2 \times 0.85 \times 8' \times 1' = 378.5 \text{ \#}$$

$$M_A = 378.5 \text{ \#} \times 6.33' = 2396 \text{ \#-ft.}$$

OVERTURNING FACTOR. = 1.5

$$2396 \text{ \#-ft.} \times 1.5 = 3594 \text{ \#-ft.}$$

RESISTING DL.

TRY 54" x 16" PTC.

$$PTG = 900 \text{ \#} \times 2.25' = 2025 \text{ \#-ft.}$$

$$WALL = (8'-0" \times 80 \text{ PSF}) \times 2.25' = 1440 \text{ \#-ft.}$$

$$TB = 100 \text{ \#} \times 2.25' = 225 \text{ \#-ft.}$$

$$SOIL = (1.91 \times 1.0) 110 \text{ PCF} \times 3.54' = 734 \text{ \#-ft.}$$

$$4424 \text{ \#-ft.}$$

TRY 48" x 16" PTC.

$$PTG = 800 \text{ \#} \times 2'-0" = 1600 \text{ \#-ft.}$$

$$WALL = 640 \text{ \#} \times 2'-0" = 1280 \text{ \#-ft.}$$

$$TB = 200 \text{ \#-ft.}$$

$$SOIL = (1.67 \times 1.0) \times 0.11 \times 3.17' = 582 \text{ \#-ft.}$$

$$3662 \text{ \#-ft.}$$



FRANCISCO CUELLO JR., P.E., INC.  
Consulting Engineer

JOB RICHARDS 71<sup>th</sup> STREET  
SHEET NO. 3 OF \_\_\_\_\_  
CALCULATED BY \_\_\_\_\_ DATE \_\_\_\_\_  
SCALE \_\_\_\_\_

Mom. AT TOP OF PTC.

$$M: 378.5 \times 5'0" = 1892.5 \text{ } ^{1-\#}$$
$$= 22.710 \text{ } ^{1-\#}$$

REDUCTION DUE TO WIND: (kd = 1.0)

$$22.710 \times 0.75 = 17.033$$

$\therefore$  USE  $\pm 6$  VERT. CB<sup>2</sup>%.



## Section 3

## Reinforced Concrete Masonry Design Aids

TABLE 3.1.1.6: Reinforced Wall Properties for Load Combinations Not Including Wind or Seismic

## Concrete Masonry Wall Properties

$t_{nom}$	8	in
Bar Size No.	6	
$t_b =$	1.25	in
$t_w =$	1	in

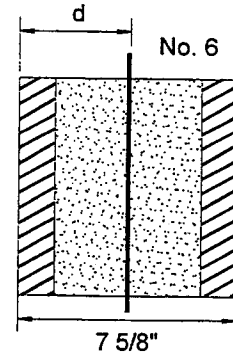
Partially Grouted Masonry

Out-of-Plane Resisting Moment and Shear for Bars Positioned in the Center of the Wall

For Effective Depth,  $d = 3.81$  in

## Steel Reinforcement Properties

Bar Area	0.44	in <sup>2</sup>
$E_s$	29,000,000	psi
$F_y$	60,000	psi
$F_s$	24,000	psi



	$f'_m$ (psi)	1,350		1,500		2,000		3,000	
Spacing (in)	$A_s$ (in <sup>2</sup> /ft)	$M_R$ (in-lb/ft)	$V_R$ (lb/ft)	$M_R$ (in-lb/ft)	$V_R$ (lb/ft)	$M_R$ (in-lb/ft)	$V_R$ (lb/ft)	$M_R$ (in-lb/ft)	$V_R$ (lb/ft)
8	0.66	17,730	1,681	19,201	1,772	23,753	2,046	31,682	2,288
16	0.33	<b>14,499</b>	1,681	<b>15,660</b>	1,772	<b>19,206</b>	2,046	<b>25,185</b>	2,288
24	0.22	<b>12,896</b>	1,681	<b>13,871</b>	1,772	16,790	2,046	18,292	2,288
32	0.17	<b>11,758</b>	1,681	<b>12,592</b>	1,772	13,650	2,046	13,878	2,288
40	0.13	10,836	1,681	10,888	1,772	11,023	2,046	11,193	2,288
48	0.11	9,105	1,681	9,146	1,772	9,252	2,046	9,384	2,288
56	0.09	7,804	1,441	7,840	1,519	7,930	1,754	8,044	1,961
64	0.08	6,829	1,261	6,860	1,329	6,939	1,535	7,038	1,716
72	0.07	6,070	1,121	6,097	1,181	6,168	1,364	6,256	1,525
96	0.06	4,552	840	4,573	886	4,626	1,023	4,692	1,144
120	0.04	3,642	672	3,658	709	3,701	818	3,754	915

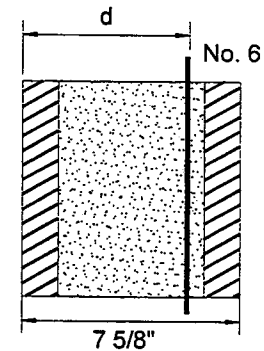
Out-of-Plane Resisting Moment and Shear for Bars Positioned on the Tension Side of the Wall

For Effective Depth  $d = 4.63$  in

Bar Size No. 6

Bar Area 0.44 in<sup>2</sup>

	$f'_m$ (psi)	1,350		1,500		2,000		3,000	
Spacing (in)	$A_s$ (in <sup>2</sup> /ft)	$M_R$ (in-lb/ft)	$V_R$ (lb/ft)	$M_R$ (in-lb/ft)	$V_R$ (lb/ft)	$M_R$ (in-lb/ft)	$V_R$ (lb/ft)	$M_R$ (in-lb/ft)	$V_R$ (lb/ft)
8	0.66	24,876	2,039	26,892	2,150	33,110	2,482	43,887	2,775
16	0.33	<b>19,822</b>	2,039	<b>21,408</b>	2,150	<b>26,262</b>	2,482	<b>33,001</b>	2,775
24	0.22	<b>17,571</b>	2,039	<b>18,921</b>	2,150	<b>22,007</b>	2,482	22,366	2,775
32	0.17	<b>16,060</b>	2,039	<b>16,507</b>	2,150	16,695	2,482	16,955	2,775
40	0.13	<b>13,265</b>	2,039	<b>13,321</b>	2,150	13,474	2,482	13,666	2,775
48	0.11	11,136	2,039	11,183	2,150	11,303	2,482	11,452	2,775
56	0.09	9,545	1,748	9,585	1,842	9,688	2,127	9,816	2,379
64	0.08	8,352	1,529	8,387	1,612	8,477	1,862	8,589	2,081
72	0.07	7,424	1,359	7,455	1,433	7,535	1,655	7,635	1,850
96	0.06	5,568	1,020	5,592	1,075	5,652	1,241	5,726	1,388
120	0.04	4,454	816	4,473	860	4,521	993	4,581	1,110



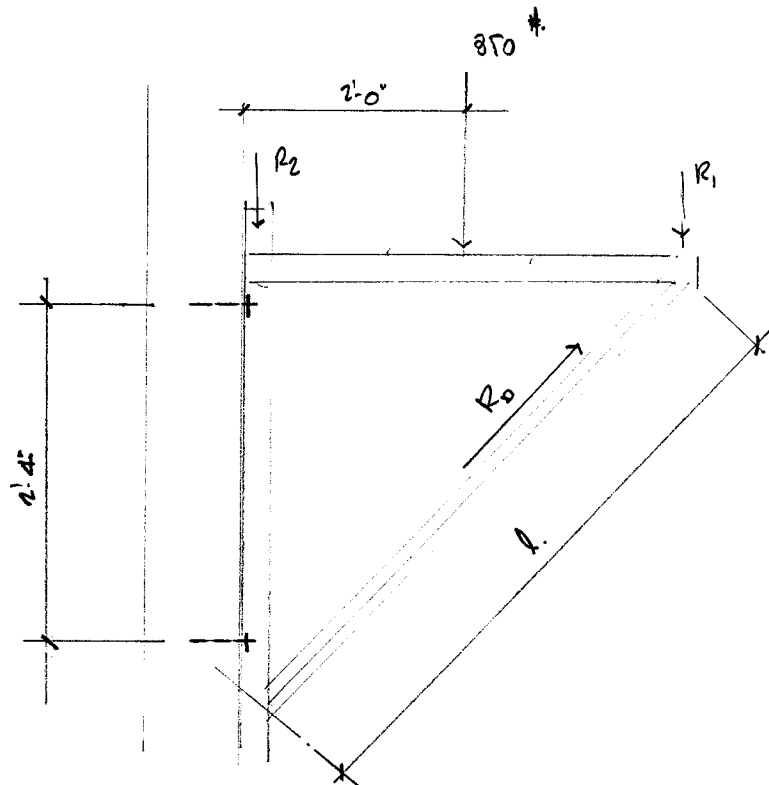
## Notes:

- Masonry stress governs for  $M_R$  above bold line, steel stress governs below. If no bold line exists, masonry stress governs.
- Bold values indicate tee beam behavior for partially grouted walls.



FRANCISCO CUELLO JR., P.E., INC.  
Consulting Engineer

JOB RICHARDS 71<sup>th</sup> STREET  
SHEET NO. 5 OF \_\_\_\_\_  
CALCULATED BY \_\_\_\_\_ DATE \_\_\_\_\_  
SCALE \_\_\_\_\_



$$R_1 = \frac{350 \times 2'-0''}{3'-0''} = 234 \#$$

$$R_2 = 350 \# - 234 \# = 116 \#$$

$$l = \sqrt{3^2 + 3^2} = 4.25'$$

$$R_0 = \frac{234 \#}{\cos 45^\circ} = 331 \#$$

TPX L2x2x1/4"

$$r = 0.609$$

$$\frac{Kl}{r} = \frac{1.0 \times 4.25' \times 12}{0.609} = 84$$

$$F_a = 14.9 \text{ ksi}$$

$$f_a = \frac{0.331 \text{ k}}{0.938 \text{ k}} = 0.35 \text{ ksi}$$

SINCE  $0.35 < 14.9 \text{ ksi}$  ✓ o.k.

CHECK BOLT CONNECTION

$$M = 350 \# \times 2'-0'' = 700 \text{ ft}\cdot\#$$

$$\text{COUPLE} = \frac{700 \text{ ft}\cdot\#}{2.33'} = 300 \#$$

USING 1/2" HILTI KWIK BOLT II, 3/2" CONC. EMBEDMENT.

$$\text{TENSION CAPACITY} = 975 \#$$

$$\text{SHEAR CAPACITY} = 1870 \#$$



FRANCISCO CUELLO JR., P.E., INC.  
Consulting Engineer

JOB RICHARDS 71<sup>th</sup> STREET.  
SHEET NO. 6 OF \_\_\_\_\_  
CALCULATED BY \_\_\_\_\_ DATE \_\_\_\_\_  
SCALE \_\_\_\_\_

SHEAR REACTION = 350<sup>#</sup> MAX

TENSION REACTION = 300<sup>#</sup> MAX.

$$\frac{350^{\#}}{1890^{\#}} + \frac{300^{\#}}{975^{\#}} \leq 1.0.$$

$$0.19 + 0.31 \leq 1.0$$

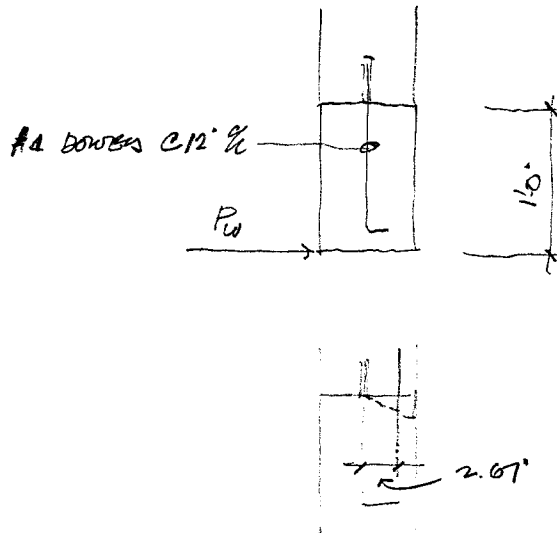
$$0.4 < 1.0 \quad \checkmark \text{ o.k.}$$



**FRANCISCO CUELLO JR., P.E., INC.**  
Consulting Engineer

JOB RICHARDS 71<sup>ST</sup> Street  
SHEET NO. 7 OF 7  
CALCULATED BY \_\_\_\_\_ DATE \_\_\_\_\_  
SCALE \_\_\_\_\_

CHECK CONNECTION OF CONC. HEADERS



$$P_u = \frac{1'0''}{2} \times 57.04 \text{ PSF} = 0.2 \text{ k/ft}$$

$$M = 0.2 \text{ k} \times 12'' = 2.4 \text{ k-in}$$

$$\text{COMPR: } \frac{2.4 \text{ k-in}}{2.67''} = 1.0 \text{ k}$$

TENSION CAPACITY: 3995 #

SHEAR CAPACITY = 3730 #

$$\frac{1.0}{3.995 \times 0.82} + \frac{0.2}{3730 \times 0.70} = 0.38 < 1.0 \quad \checkmark \text{ O.K.}$$





# AFFIDAVIT FOR ASBESTOS SURVEY/NOTICE OF ASBESTOS RENOVATION OR DEMOLITION

Miami-Dade DERM  
Air Facilities Section  
33 SW 2 Avenue, Suite 900  
Miami, FL 33130-1540

- Project Type: [ ] Demolition ☒ Renovation [ ] Roofing Process # B762655 Folio: 025011-0230510
- Project Name Richards Capital Address 7140 Collins Ave.  
City Miami Beach State FL Zip Code \_\_\_\_\_ County Dade
- Project Dates (mm/dd.yy): Start 7/15/07 Finish 10/15/07
- Contractor TBD Florida License # \_\_\_\_\_
- Contractor Address \_\_\_\_\_ Contractor Telephone \_\_\_\_\_
- Give a brief description of work to be done at the above mentioned address: (include scope of work, and the estimated area in square feet that will be impacted by the project )  
Ext. Air. 2,770

I the undersigned hereby attest that I am aware of the following:

- Pursuant to 40 CFR 61, subpart M, section 145 (a) and 469.001-015 Florida Statutes an asbestos survey at the above referenced property may be required prior to any renovation or demolition activity.
- Pursuant to 40CFR 61, subpart M, section 145 (c) and 469.001-015 Florida Statutes, all regulated asbestos containing materials (RACM) must be removed prior to any renovation activity that may impact the RACM at the above referenced property.
- Pursuant to 40CFR 61 subpart M, section 145 (c) and 469.001-015 Florida Statutes, all regulated asbestos containing materials (RACM) must be removed prior to any demolition activity that impacts the (RACM) at the above referenced property.
- Pursuant to 40 CFR 61 subpart M, section 145 (b) and 469.001-015 Florida Statutes, a written notification must be submitted to DERM at least 10 working days prior to demolition or asbestos abatement activity at the above referenced property.

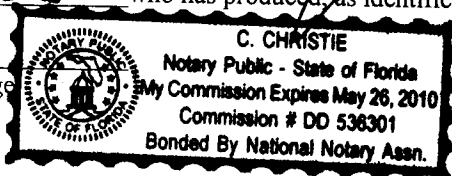
Additionally I am aware that violations of the above referenced regulations may result in civil or criminal prosecution or both or penalties and fines of up to \$25,000 per day per violation.

Name in Print (Owner, Lessee or Authorized Representative) / Title VICTOR RICHARDS Address (Owner, Lessee or Authorized Rep. PO Box 1689, MIA, FL 33156  
Signature (Owner, Lessee or Authorized Representative with Notarized Authorization Letter.) [Signature] Telephone Number 305 665 4441

STATE OF FLORIDA )  
COUNTY OF DADE ) ss.:

The foregoing instrument was acknowledged before me this 9th day of May, 2007 by VICTOR RICHARDS who has produced [Signature] as identification and who did (did not) take an oath.

[Signature]  
Notary Public, State of Florida at Large  
C. CHRISTIE



THIS IS NOT A NESHAP NOTIFICATION – A SEPARATE NOTIFICATION MUST BE  
SUBMITTED FOR RENOVATION OR DEMOLITION



## PROJECT NOTES

This specification in conjunction with these drawings, provides for the labor, material, equipment, and supervision by the contractor for a complete lock & key job with the items specifically noted furnished by owner or allowance. The work shall be executed in a thorough, substantial and neat manner. The Florida Building Code 2004 Edition is the applicable code for construction.

A.I.A. document A-201 (latest edition) general condition of the contract is hereby made a part of these drawings and specifications.

**Scope of Work:** ~~Installation of new and replaced storefronts, construction of new concrete knee walls where required, replacement of existing rear doors, new tenant signage (separate permit), new exterior lighting, new paint, relocation of existing a/c equipment at rear alley onto new wall mounted brackets, placement of existing overhead telephone and cable to new underground lines, installation of new house panel(s) and meter(s) for new exterior lighting, install new fabric on existing awning frames (where indicated). Replace all gutters and downspouts. Add new water meter for Store No. 7124. Demolish boiler enclosure and relocate boiler. Exist. elect. panels and disconnect switches in Electrical Rooms to be relocated. Construct new trash dumpster enclosure. Install bollards at entrance to service area.~~

Contractor shall arrange for inspection and tests as specified or required by the building department and shall pay all fees and costs for same. The Contractor shall secure all building permits and upon completion of the project (prior to final payment) deliver to the owner a certificate of completion from CITY OF MIAMI BEACH Building and Zoning Department.

The general contractor and major subcontractors shall verify all dimensions, visit the site, be familiar with the existing conditions, and bring any discrepancies to the Architect's attention prior to submission of construction proposal and any mobilization or site work. Do not scale drawings.

References on plans refer to sections of The Florida Building Code 2004 Latest Edition. All building components shall comply with Section 8-C of the Metro-Dade Code for product compliance and approval.

All finishes shall be as specified and/or as selected by the Owner, or Architect, and where possible materials and finishes shall match existing.

All areas damaged by demolition shall be returned to their original or renovated condition as indicated on the plans.

All interior partitions separating habitable spaces will receive minimum 3.5" sound attenuation blanket.

Windows & doors and catalog numbers listed on drawings refer to YKK & PGI as distributed by The companies of R&S of Miami, Florida. All shall be product control approved for use in Dade County.

Approved storm panels shall be provided for all new windows and doors approved for installation but not accepted by Dade County for impact requirements.

## DEMOLITION NOTES

### SELECTIVE DEMOLITION

Extent of selective demolition work is indicated on drawings.

Types of Selective Demolition Work: Demolition requires the selective removal and subsequent offsite disposal of the following:

Removal of existing storefronts. Removal of doors and frames indicated "remove". Removal of wood equipment enclosures. Removal (and/or relocation) of electrical equipment, plumbing (gas), and mechanical items as noted on these documents. Related work specified elsewhere.

Occupancy: Owner will be continuously occupying areas of the building immediately adjacent to areas of selective demolition. Conduct selective demolition work in manner that will minimize need for disruption of Owner's normal operations. Provide minimum of 72 hours advance notice to Owner of demolition activities which will impact Owner's normal operations.

Condition of Structures: Owner assumes no responsibility for actual condition of items or structures to be demolished.

Partial Demolition and Removal: Items indicated to be removed but of salvageable value to Contractor may be removed from structure as work progresses. Transport salvaged items from site as they are removed.

Storage or sale of removed items on site will not be permitted.

Protections: Provide temporary barricades and other forms of protection as required to protect Owner's personnel and general public from injury due to selective demolition work.

Provide protective measures as required to provide free and safe passage of Owner's personnel and general public to and from occupied portions of building.

Erect temporary covered passageways as required by authorities having jurisdiction.

Protect from damage existing finish work that is to remain in place and becomes exposed during demolition operations.

Protect floors with suitable coverings when necessary.

Construct temporary insulated solid dustproof partitions where required to separate areas where noisy or extensive dirt or dust operations are performed. Equip partitions with dustproof doors and security locks if required.

Provide temporary weather protection during interval between demolition and removal of existing construction on exterior surfaces, and installation of new construction to insure that no water leakage or damage occurs to structure or interior areas of existing building.

Remove protections at completion of work.

Damages: Promptly repair damages caused to adjacent facilities by demolition work at no cost to Owner.

Traffic: Conduct selective demolition operations and debris removal in a manner to ensure minimum interference with roads, streets, walks, and other adjacent occupied or used facilities.

Utility Services: Maintain existing utilities indicated to remain, keep in service, and protect against damage during demolition operations.

Do not interrupt existing utilities serving occupied or used facilities, except when authorized in writing by authorities having jurisdiction. Provide temporary services during interruptions to existing utilities, as acceptable to governing authorities.

Wood: Rough framing material, southern yellow pine. In contact with masonry or in damp locations, pressure treat. Finish or exposed shall be clear fir/larch or species for painted (opaque) millwork as the Owner selects.

Wood Connectors: All bolts, clips, straps, misc angles, logs, etc., will be hot dipped galv.

All electrical devices, switchplates, outlets, etc., will be as the Owner selects or match existing.

Walks and/or drive areas shall be protected during construction to prevent damage to existing paved or concrete surfaces.

All trash and debris generated by the contractor for scope of work described in this document shall be removed at timely intervals during the course of construction. A dumpster will be provided on site by the GC.

Contractor shall maintain clean and safe access to premises by Owner at all times. Security System full time 100% coverage during construction.

Painting: All paint shall be first line Sherwin Williams, Benjamin Moore or Pratt & Lambert or Owner approved equal. Colors as selected by th Owner and approved by the City of Miami Beach. Interior spaces to be painted are limited to new construction areas and those affected by construction.

Exterior stucco 2 coats acrylic latex.

Interior walls - low luster latex 2 coats.

Intent is to provide satisfactory finish to all portions of the building affected by this construction. All existing surfaces shall be cleaned and thoroughly prepared to receive painters finish. If specified finish does not offer acceptable coverage, additional coats will be provided to give satisfactory coverage.

All colors and finishes shall be as specified and as selected by the Owner, and where possible materials and finishes shall match existing.

## EXISTING CONDITIONS

Remove all abandoned materials, devices, fixtures, pipes, conduits, if required, Contractor to patch, and repair existing ceilings, walls, flooring, lighting, etc. indicated to remain or be re-used.

In the event Contractor encounters unidentified Asbestos Containing Materials (ACM) the Owner must be contacted immediately for direction. At no time will these ACM be removed or even disturbed, by other than an abatement contractor licensed to do such work and in accordance with governing regulations and guidelines.

Environmental Controls: Use water sprinkling temporary enclosures, and other viable methods to limit dust and dirt rising and scattering in air to lowest practical level. Comply with governing regulations pertaining to environmental protection.

Preparation: Provide interior and exterior shoring, bracing, or support to prevent movement, settlement or collapse of structures to be demolished and adjacent facilities to remain.

Cease operations and notify Owner's Representative immediately if safety of structure appears to be endangered. Take precautions to support structure until determination is made for continuing operations.

Cover and protect furniture, equipment and fixtures to remain from soiling or damage when demolition work is performed in rooms or areas from which such items have not been removed.

Erect and maintain dustproof partitions and closures as required to prevent spread of dust or fumes to occupied portions of the building.

Where selective demolition occurs immediately adjacent to occupied portions of the building construct dustproof partitions of minimum 4" studs, 5/8" drywall (joints taped) on occupied side, 1/2" fire-retardant plywood on demolition side, and fill partition cavity with sound-deadening insulation.

Provide weatherproof closures for exterior openings resulting from demolition work.

Locate, identify, stub off and disconnect utility services that are not indicated to remain.

Provide by-pass connections as necessary to maintain continuity of service to occupied areas of building. Provide minimum of 72 hours advance notice to Owner if shut-down of service is necessary during change-over.

Demolition: Perform selective demolition work in a systematic manner.

Demolish concrete and masonry in small sections. Cut concrete and masonry at junctures with construction to remain using power-driven masonry saw or hand tools; do not use power-driven impact tools.

Locate demolition equipment throughout structure and promptly remove debris to avoid imposing excessive loads on supporting walls, floors or framing.

Provide service for effective air and water pollution controls as required by local authorities having jurisdiction.

If unanticipated mechanical, electrical or structural elements which conflict with intended function or design are encountered, investigate and measure both nature and extent of conflict. Submit report to Owner's Representative in written, accurate detail. Pending receipt of directive from Owner's Representative rearrange selective demolition schedule as necessary to continue overall job progress without delay.

Disposal of Demolished Materials: Remove debris, rubbish and other materials resulting from demolition operations from building site. Transport and legally dispose of materials off site.

If hazardous materials are encountered during demolition operations, comply with applicable regulations, laws, and ordinances concerning removal, handling and protection against exposure or environmental pollution.

Burning off removed materials is not permitted on project site.

Clean-Up and Repair: Upon completion of demolition work, remove tools, equipment and demolished materials from site. Remove protections and leave interior areas broom clean.

Repair demolition performed in excess of that required. Return structures and surfaces "to remain" to condition existing prior to commencement of selective demolition work. Repair adjacent construction or surfaces soiled or damaged by selective demolition work.

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the Public Records of this County and there may be additional permits required from other governmental agencies. The City of Miami Beach assumes no responsibility for accuracy of or compliance with these plans which are approved subject to compliance with all applicable State and Local laws, rules, and regulations.

## PROJECT DIRECTORY

### CLIENT/OWNER

RICHARDS CAPITAL, LTD.  
P.O. BOX 1689  
MIAMI, FLORIDA 33156  
305 794 4145 PH  
CONTACT: VICTOR RICHARDS

### ARCHITECT

JAS GROUP ARCHITECTS / PLANNERS  
7855 SW 104 STREET  
SUITE 200  
MIAMI, FLORIDA 33156  
305 596 2290  
305 595 6422 FX  
CONTACT: JAMES SMITH

### STRUCTURAL ENGINEER

FRANK CUELLO JR., P.E.  
147 ALHAMBRA CIRCLE, SUITE 220  
CORAL GABLES, FLORIDA 33134  
305 567 0125  
305 567 0129 FX

### MEP ENGINEER

BHAMANI FORD & ASSOCIATES, INC.  
4900 SW 74 COURT  
MIAMI, FLORIDA 33155

305 663 1964  
305 667 5083  
CONTACT: FERROZ BHAMANI  
TOM FORD

# RICHARDS CAPITAL, LTD. EXTERIOR BUILDING IMPROVEMENTS

7118-7122 AND 7124-7136  
COLLINS AVENUE  
MIAMI BEACH, FLORIDA 33141

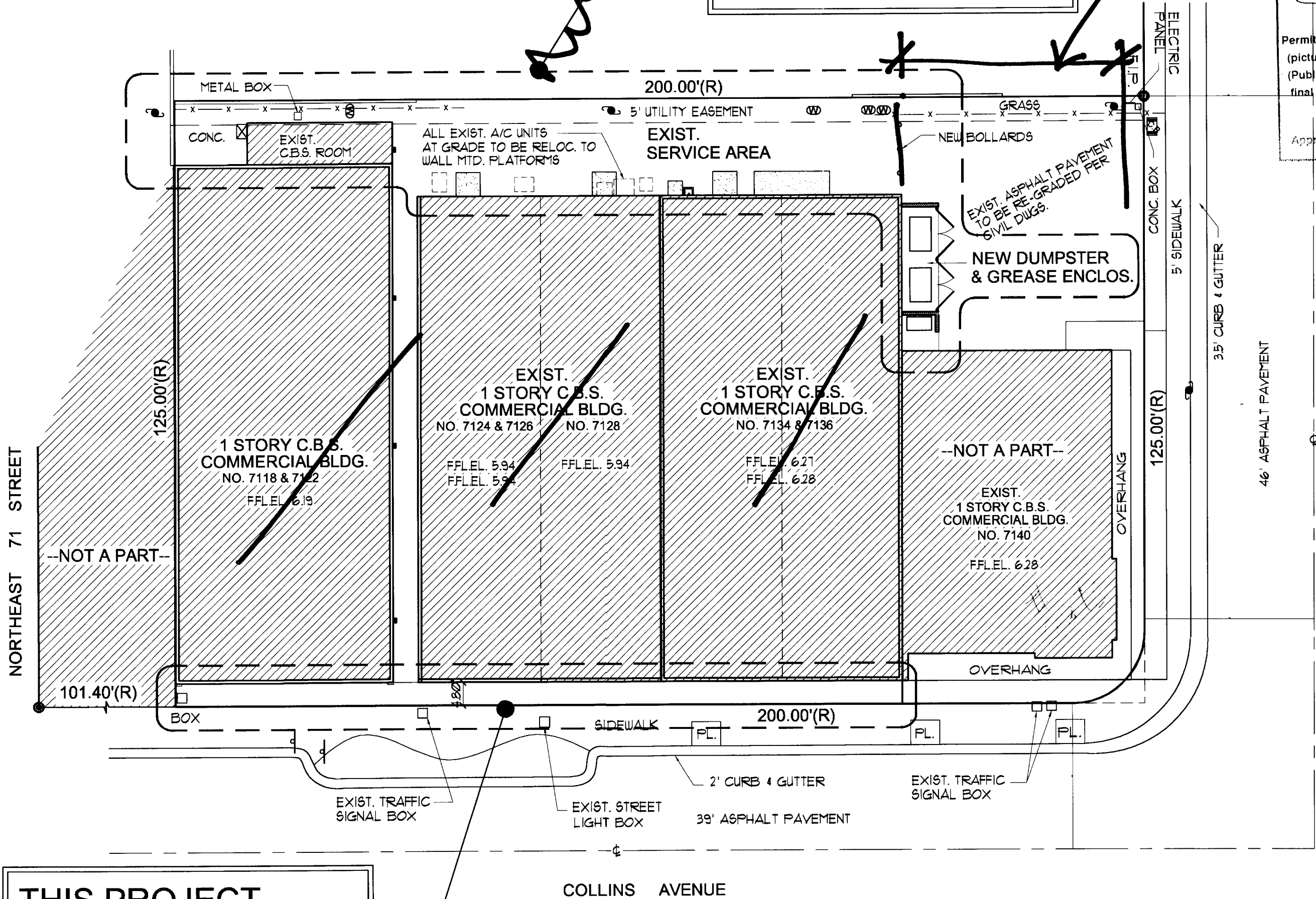
## LEGAL DESCRIPTION:

LOTS 9, 10, 11, AND 12 BLOCK 8 OF "NORMANDY BEACH SOUTH"  
ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 21  
AT PAGE 54 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY,  
FLORIDA.

OFFICE COPY  
CITY OF MIAMI BEACH  
APPROVED FOR PERMIT BY  
THE FOLLOWING:

BUILDING: *100 3/13/07*  
ZONING: *C-7112/07*  
DRB/HPB:  
CONCURRENCY: *10/11/07*  
PLUMBING: *10/11/07*  
ELECTRICAL: *10/11/07*  
MECHANICAL: *10/11/07*  
FIRE PREVENTION: *10/11/07*  
ENGINEERING: *10/11/07*  
PUBLIC WORKS:

THIS PROJECT--  
EXTERIOR IMPROVEMENTS  
(SEE SCOPE OF WORK)



THIS PROJECT--  
EXTERIOR IMPROVEMENTS  
(SEE SCOPE OF WORK)

PROPOSED SITE PLAN

SCALE = 1/2\"/>

NORTH

GROUP  
ARCHITECTS  
PLANNERS  
LANDSCAPE  
ARCHITECTS  
MIAMI, FL 33136  
P. 305-595-2422  
F. 305-595-2422

DATE: JANUARY 31, 2007  
FOR PERMIT

DATE: FEB 28 2007  
AR 0072628

DATE: JANUARY 31, 2007  
FOR PERMIT

DATE: FEB 28 2007  
AR 0072628

DATE: FEB 28 2007  
AR 0072628

DATE: FEB 28 2007  
AR 0072628

DATE: FEB 28 2007  
AR 0072628

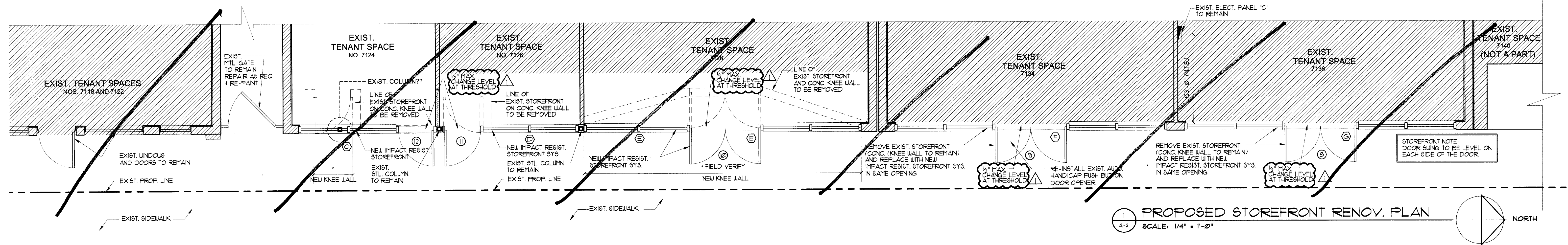
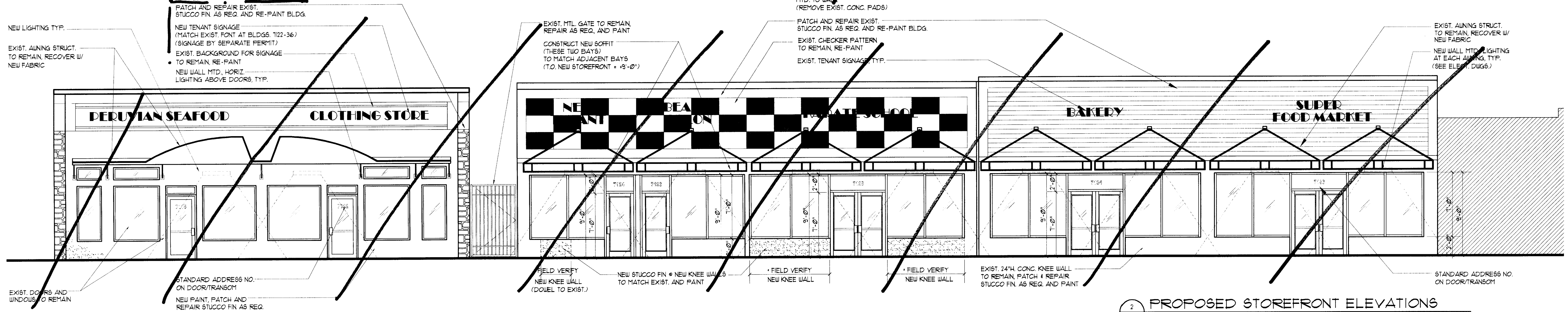
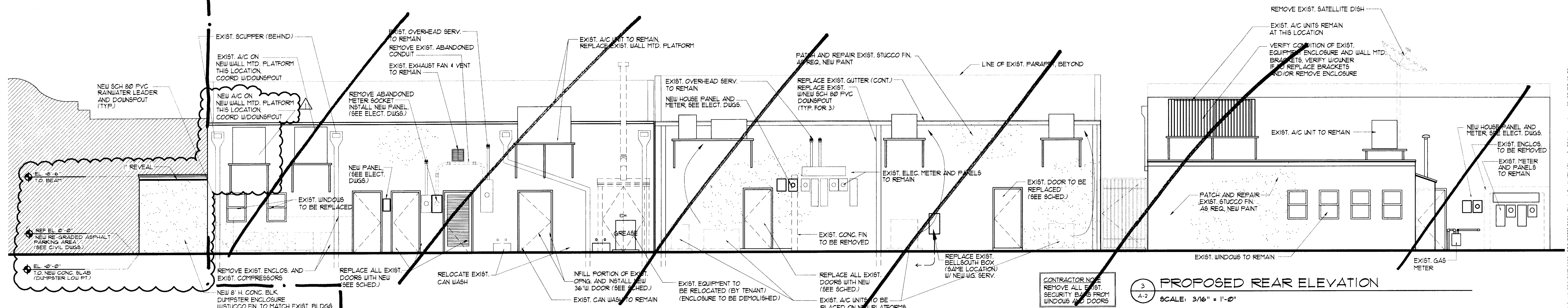
DATE: FEB 28 2007  
AR 0072628

DATE: FEB 28 2007  
AR 0072628

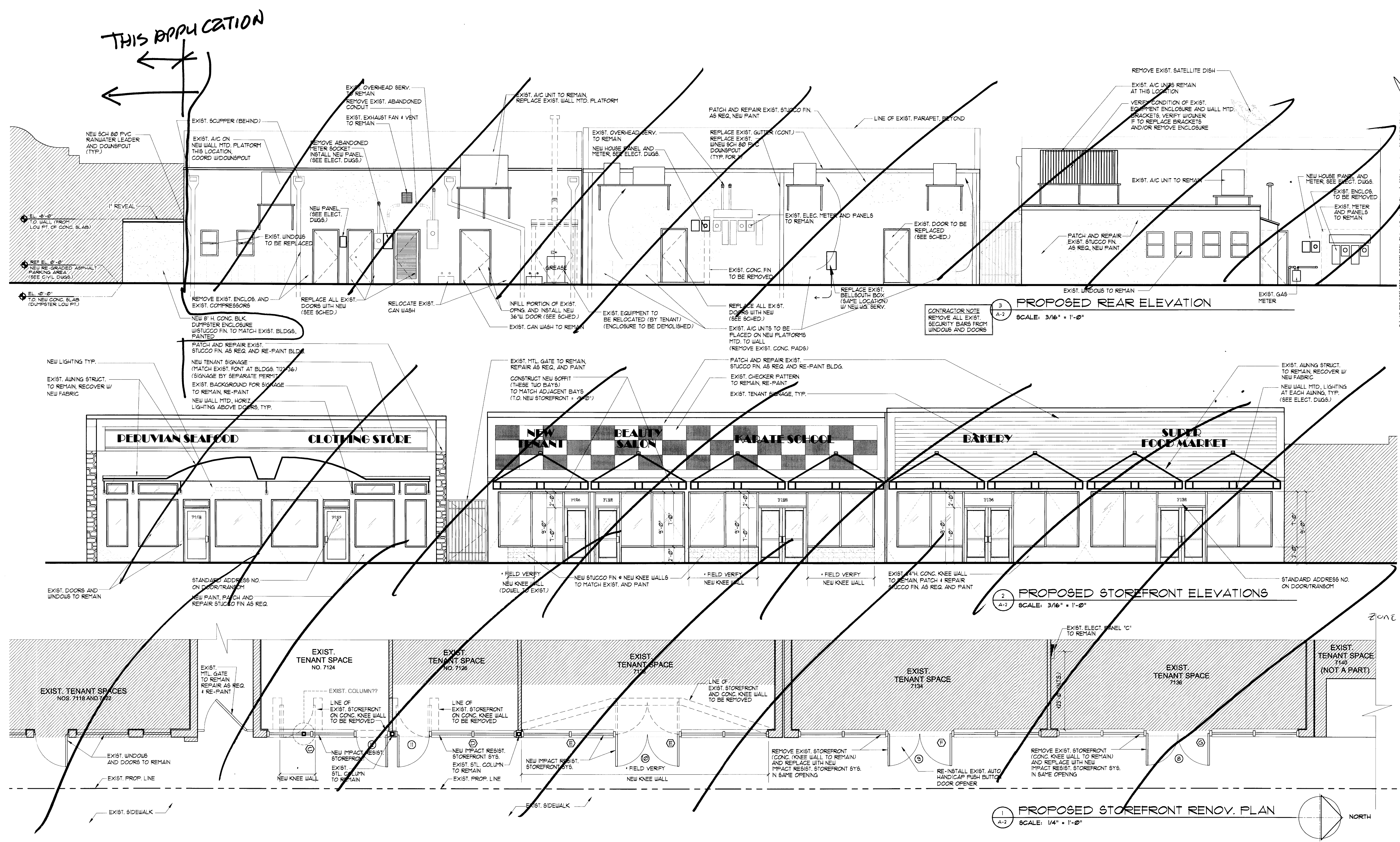
DATE: FEB 28 2007  
AR 0072628



THIS APPLICATION ~~←/~~





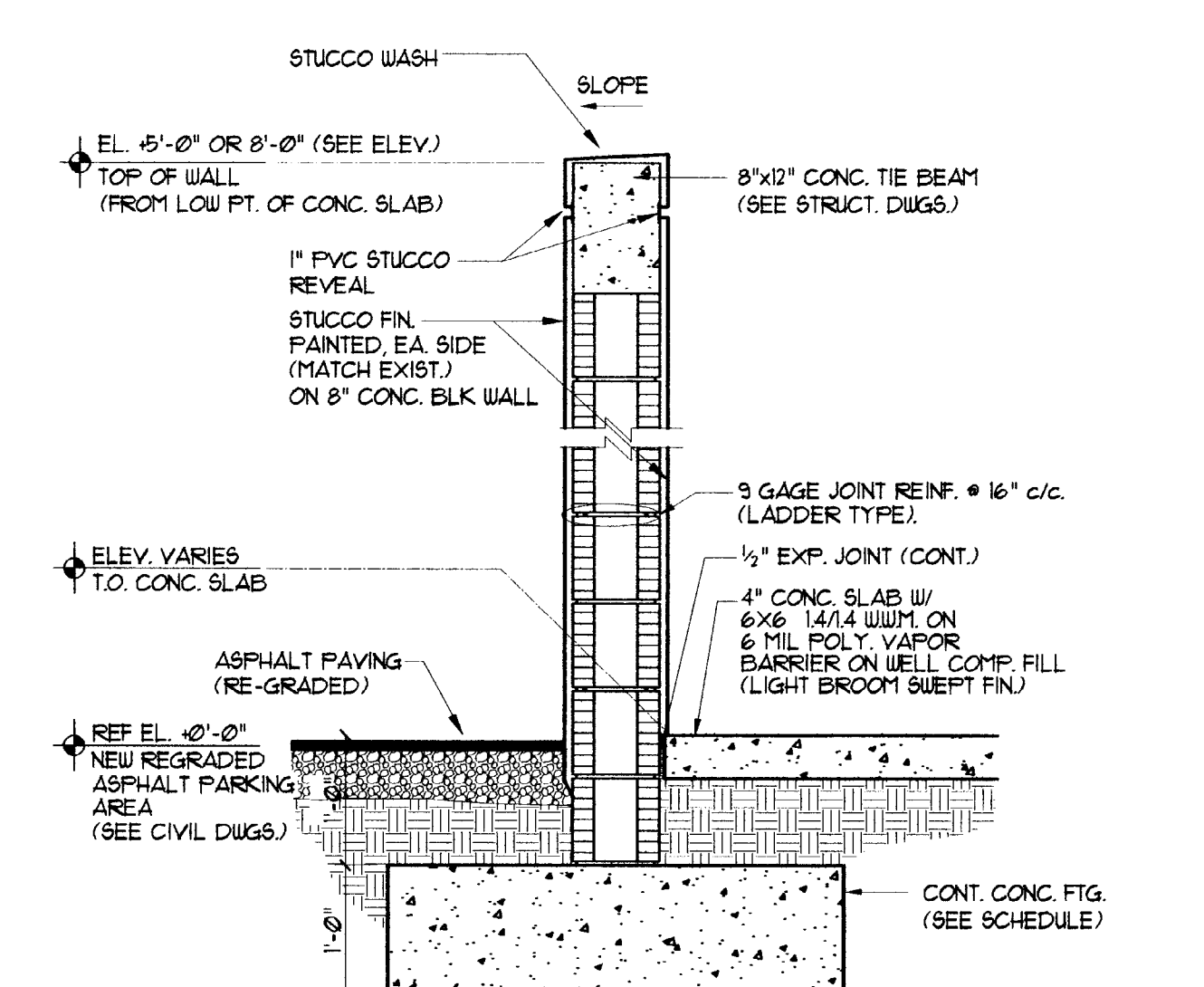
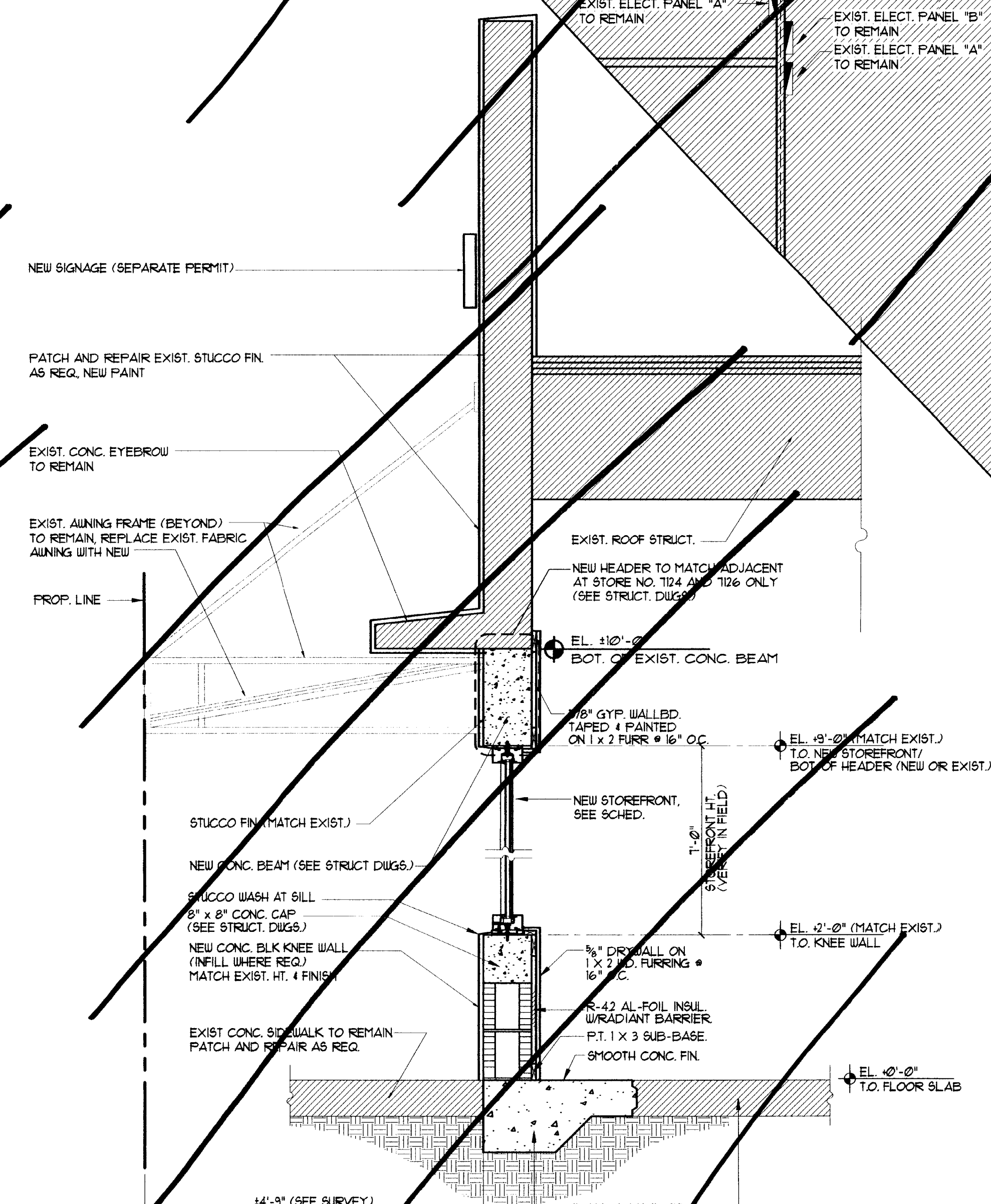
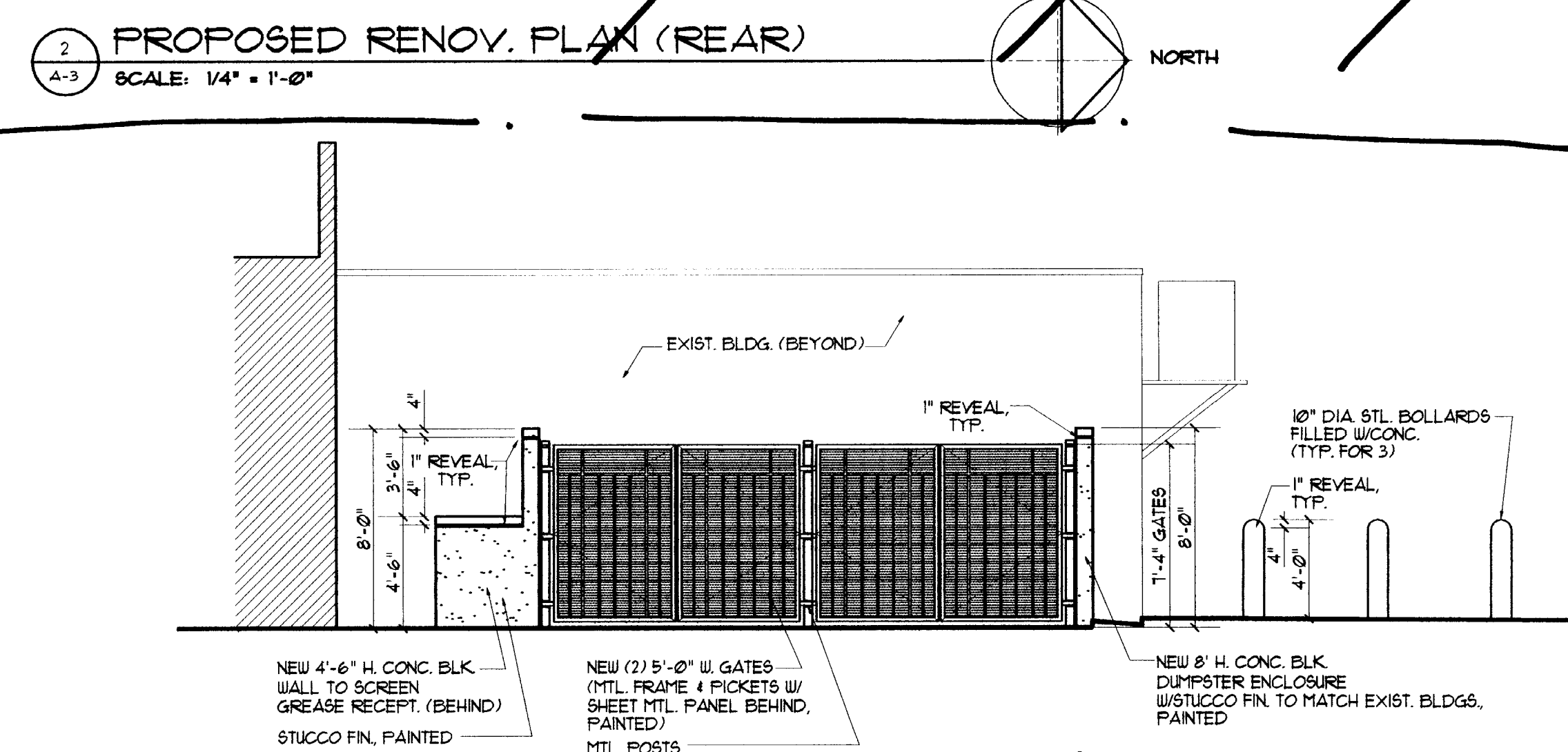
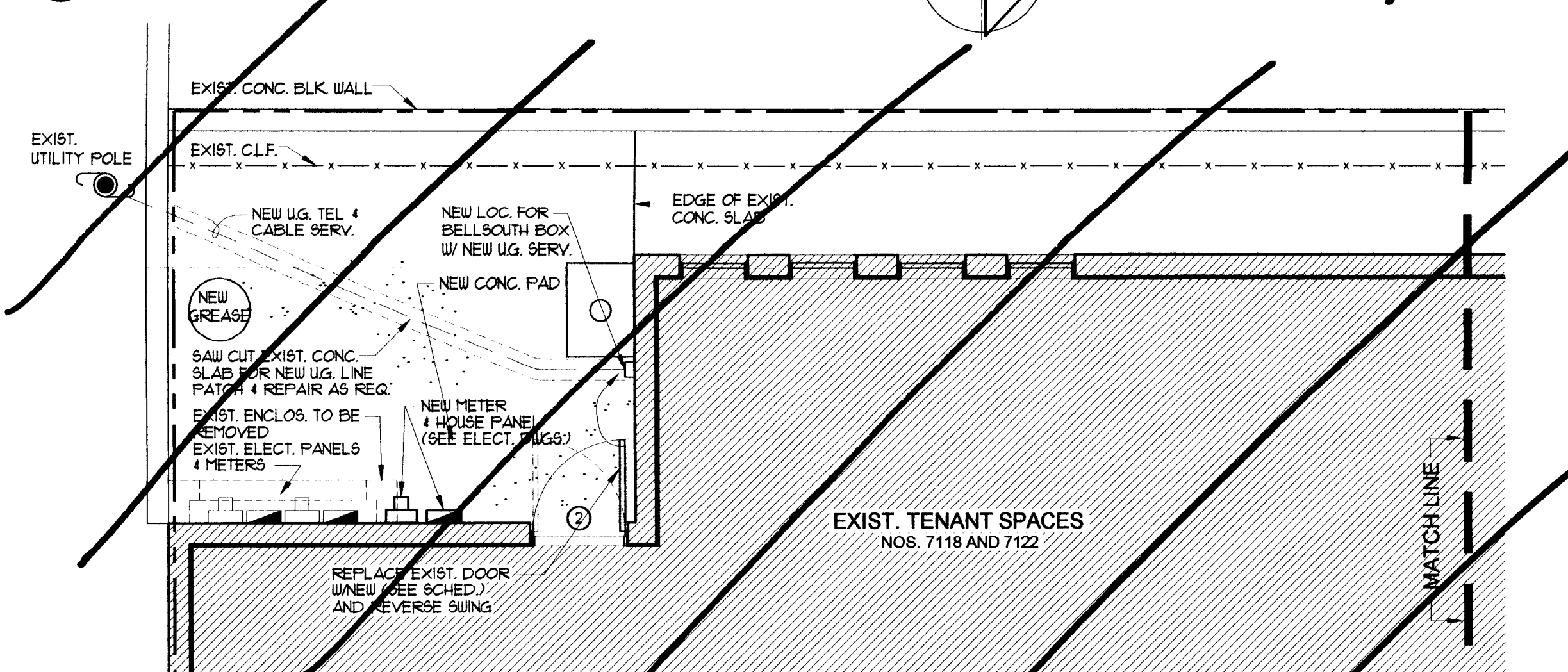
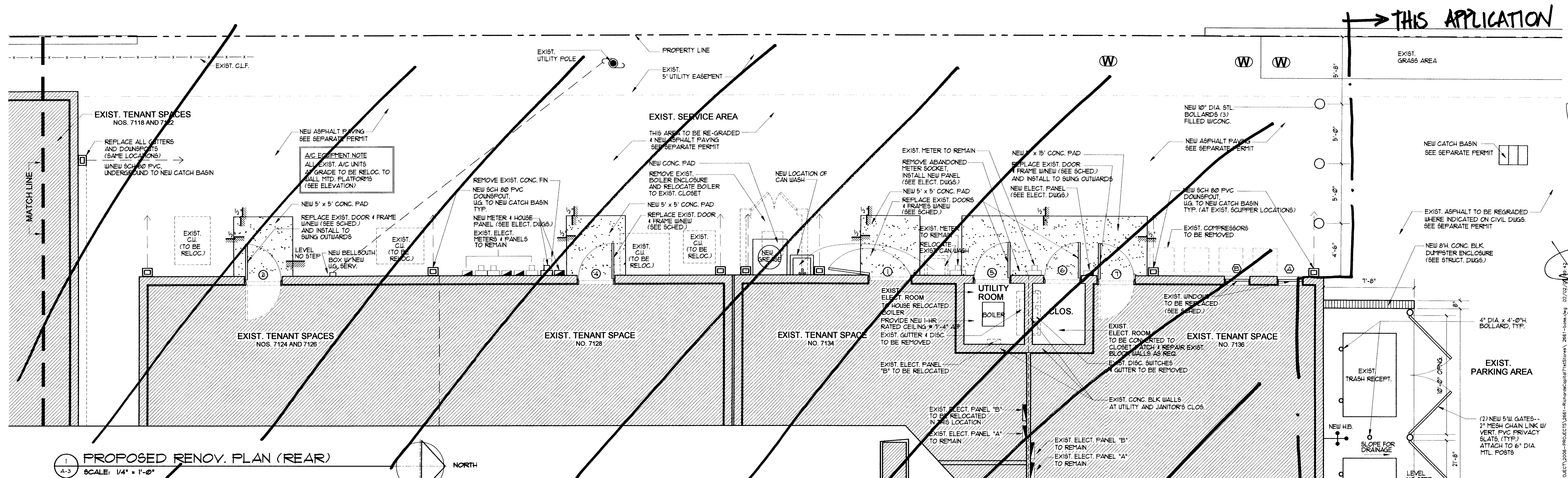


Zone L 7/13/12





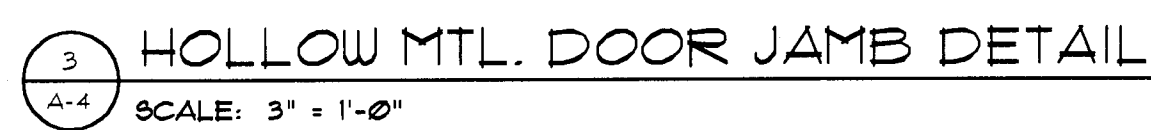




# THIS APPLICATION

→ THIS APPLICATION





THIS  
APPLICATION

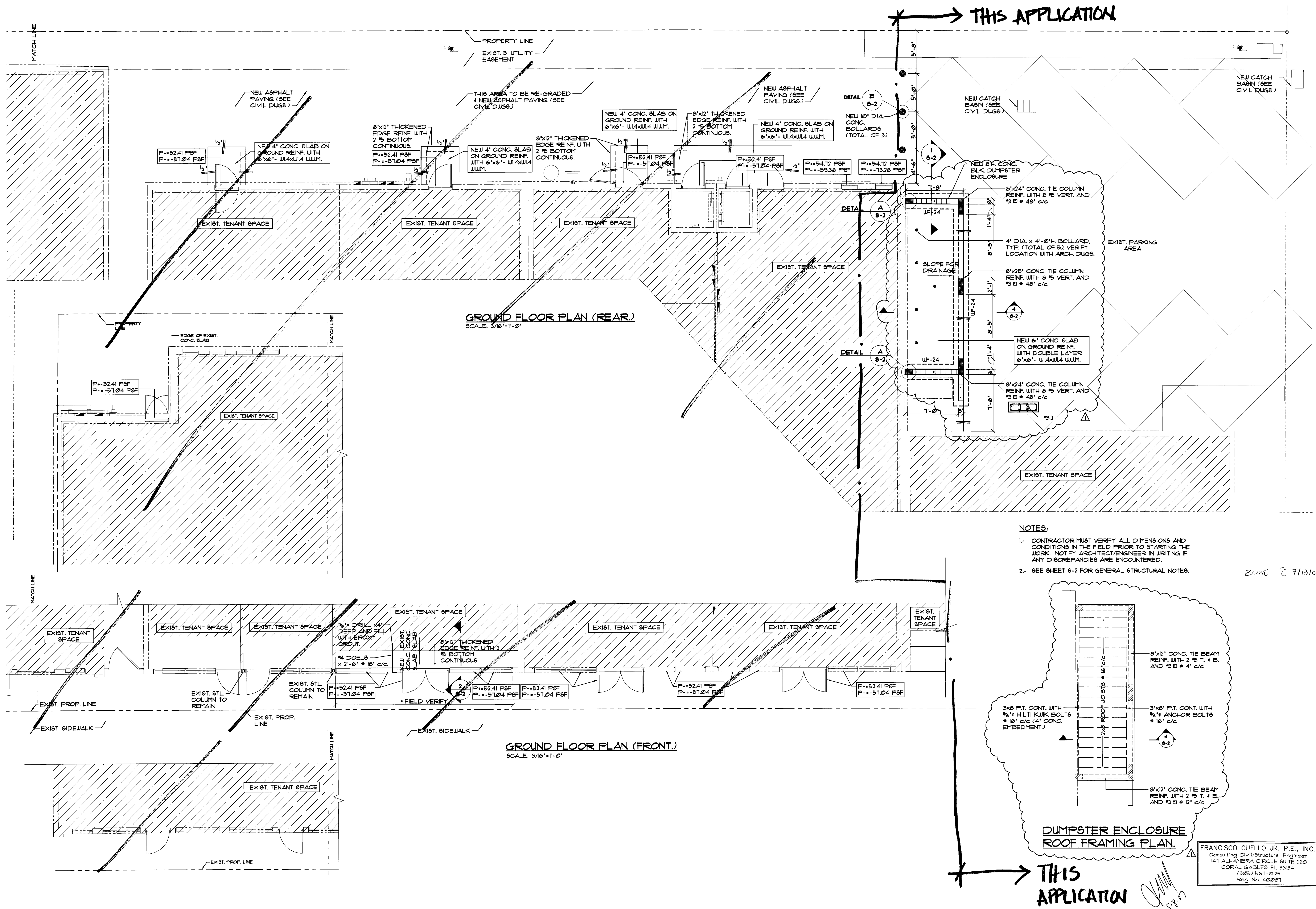
DOOR TYPES  
SCALE: 1/4" = 1'-0"

2 WINDOW TYPES  
A-4 SCALE: 1/4" = 1'-0"



5 SECTION @ NEW COVERED DUMPSTER  
A-4 SCALE: 3/4" = 1'-0"

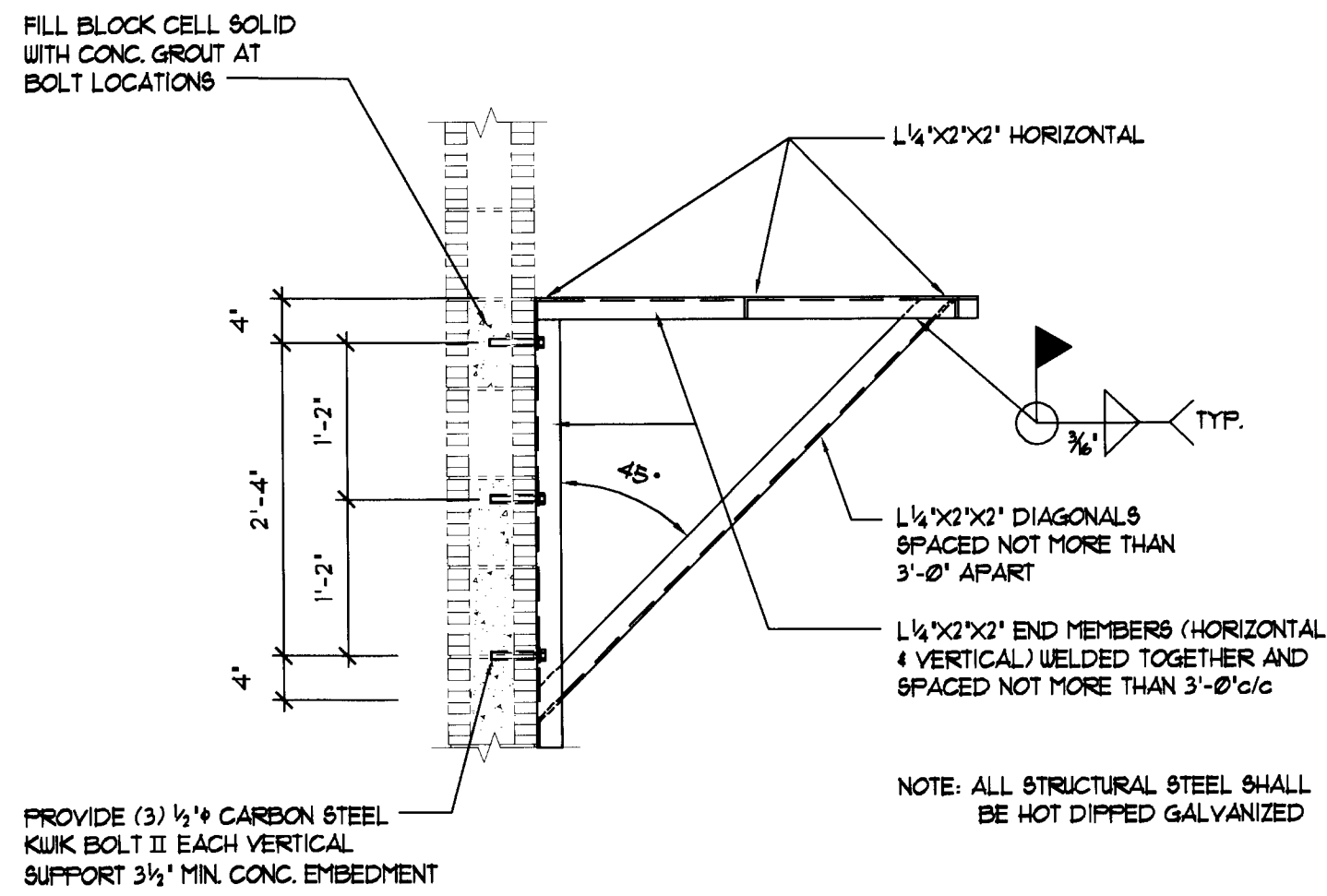




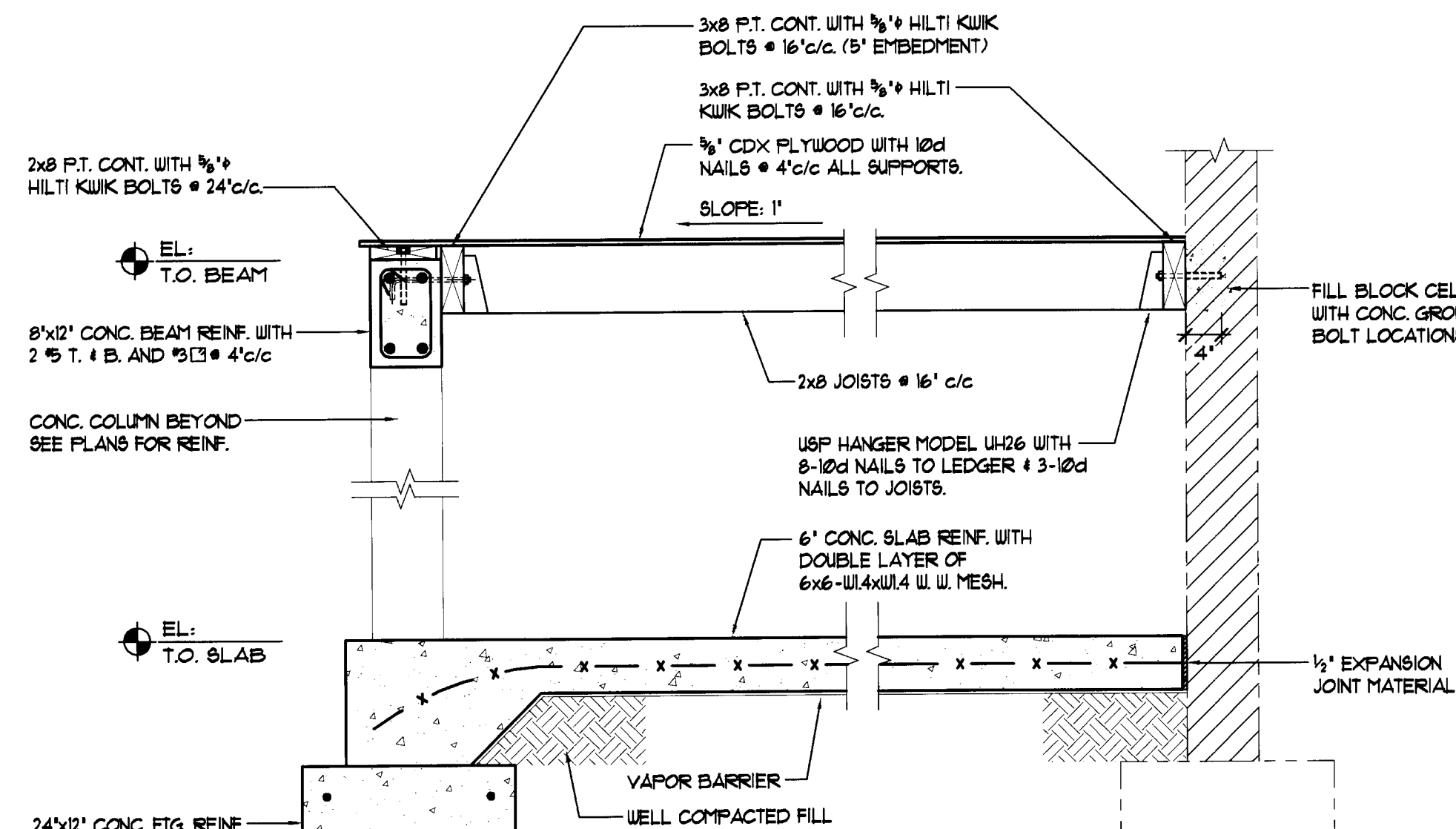




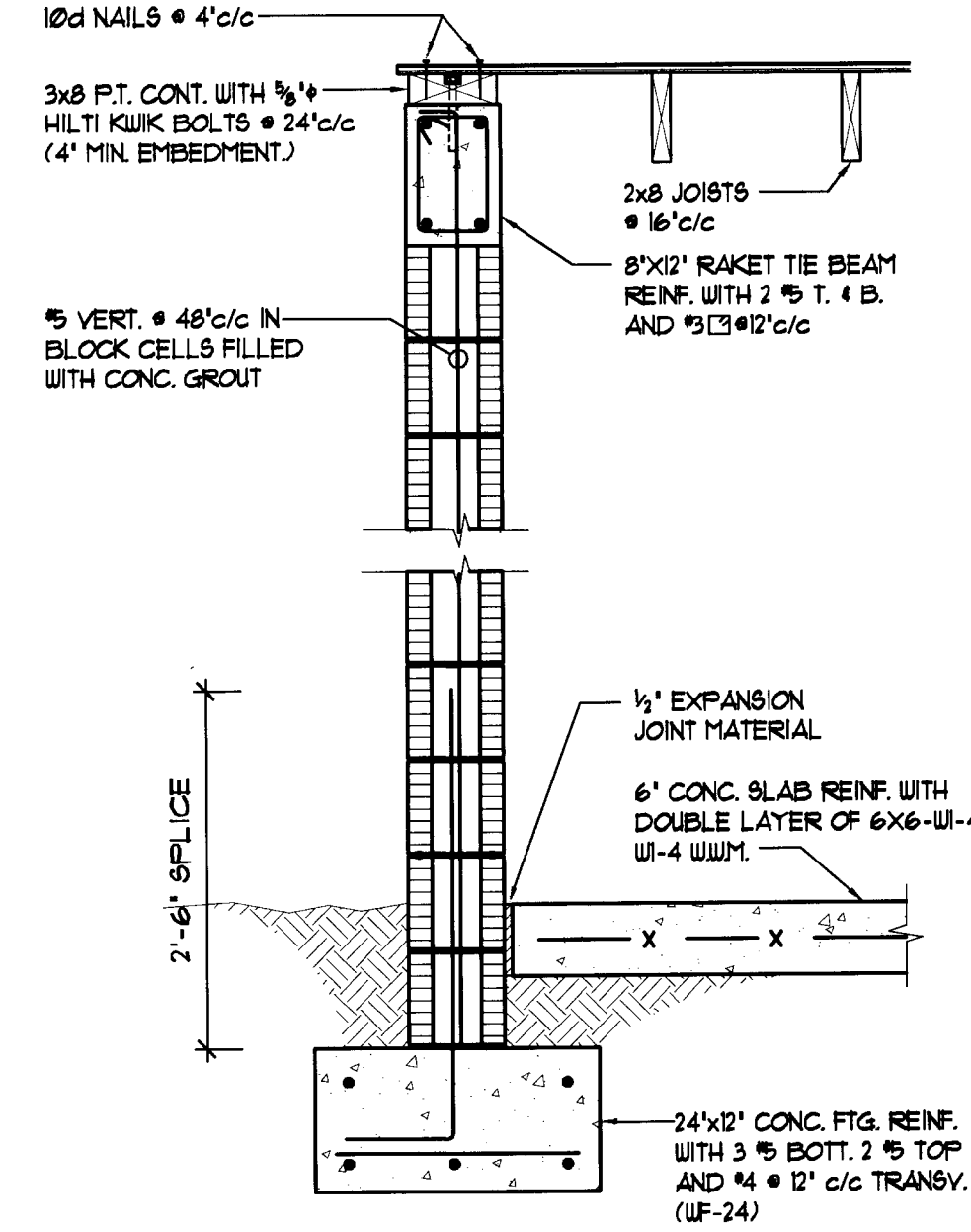




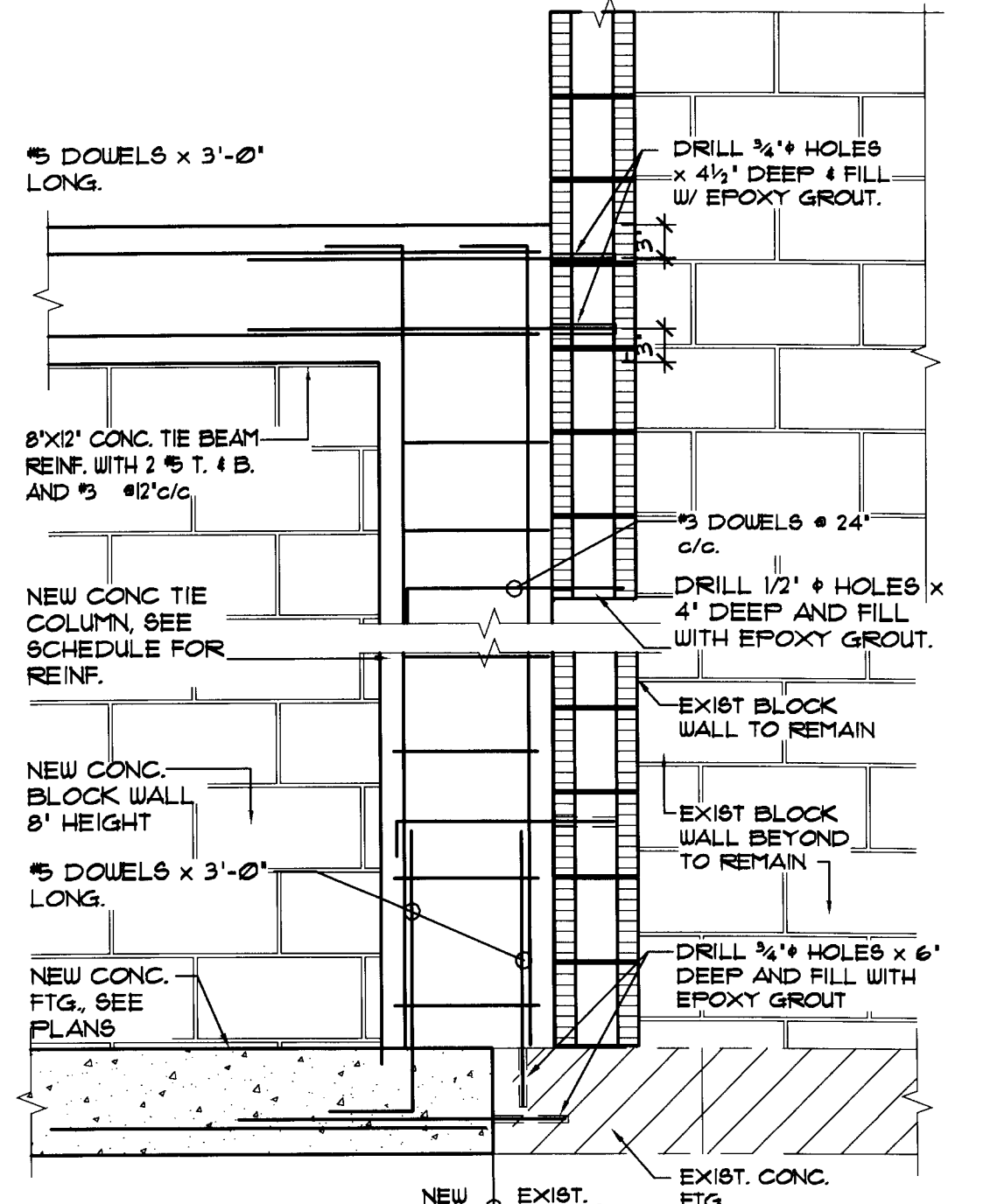
**TYPICAL WALL MOUNTED A/C UNIT PLATFORM**  
SCALE: 3/4" = 1'-0"



**SECTION 4**  
SCALE: 3/4" = 1'-0"



**TYPICAL DUMPSTER ENCLOSURE WALL SECTION**  
SCALE: 3/4" = 1'-0"



**DETAIL A**  
SCALE: 3/4" = 1'-0"

## GENERAL STRUCTURAL NOTES

### 1. SOIL STATEMENT:

BASED ON A VISUAL INSPECTION ON SITE, THE SOIL IS SAND WITH AN APPARENT 2000 PSF MIN. SOIL BEARING CAPACITY AT THE TIME OF THE FOUNDATION INSPECTION. BEFORE THE STEEL IS IN PLACE, A SITE VISIT MUST BE MADE TO VISUALLY VERIFY THE SOIL CAPACITY. A LETTER TO THE BUILDING OFFICIAL WILL BE ISSUED ATTESTING THIS FACT BY THIS OFFICE.

### 2. CONCRETE:

ALL CONCRETE SHALL ATTAIN A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3,000 PSI IN 28 DAYS. AGGREGATES TO BE CLEAN AND WELL GRADED, MAXIMUM SIZE TO BE 1". CONCRETE SLUMP 3" MINIMUM TO 5" MAXIMUM. VERTICAL CONCRETE DROP NOT TO EXCEED 8".

### 3. CONCRETE COVER:

TO BE AS FOLLOWS:

	BOTTOM	TOP	SIDES
FOOTING	3"	2"	2"
BEAMS	1-1/2"	1-1/2"	1-1/2"
COLUMNS	---	---	---
SLABS	1 1/2"	3/4"	1"
WALLS	---	---	1-1/2"

### 4. REINFORCING STEEL:

TO BE NEW HIGH STRENGTH BILLET STEEL DEFORMED AS PER ASTM A-305, AND CONFORMING TO ASTM A-635, GRADE 60. LAP CONTINUOUS BARS 30-BAR DIAMETERS, UNLESS OTHERWISE NOTED IN PLANS. HOOK DISCONTINUOUS ENDS OF ALL TOP BARS. REINFORCING STEEL TO BE DETAILER AND FABRICATED IN ACCORDANCE WITH MANUAL OF STANDARD PRACTICE OF DETAILING REINFORCING CONCRETE STRUCTURES, AND THE ACI BUILDING CODE 318, LATEST EDITION.

### 5. MASONRY WALLS:

CONCRETE BLOCK WALLS TO BE ERECTED PRIOR TO PLACING CONCRETE IN ADJACENT BEAMS. ALL CONCRETE BLOCK TO BE GRADE N-1, CONFORMING TO ASTM C-90 WITH A NET FRICTION STRENGTH OF 1500 PSI (MINIMUM). PROVIDE NO. 9 GAGE LADDER TYPE JOINT REINFORCING AT EVERY OTHER COURSE FOR ALL MASONRY BLOCK WALLS. PROVIDE 2 #5 T & B CORNER BARS AT ALL BEAM INTERSECTIONS, EXTEND 30" INTO BEAMS EACH SIDE.

### 6. REINFORCED MASONRY

ALL CONCRETE BLOCK TO BE GRADE N-1, CONFORMING TO ASTM C-90 WITH A MINIMUM FRICTION STRENGTH (75) x 1500 PSI. ALL UNITS SHALL BE BUILT TO PRESERVE THE VERTICAL CONTINUITY OF THE CELLS TO BE FILLED, AND MUST MAINTAIN A CLEAR, UNOBSTRUCTED CONTINUOUS VERTICAL CELL MEASURING 7 INCHES BY 3 INCHES MINIMUM. CLEANOUT OPENINGS MUST BE PROVIDED AT ALL CELLS TO BE FILLED. MAXIMUM HEIGHT OF GROUTING LIFTS IS 4'-0". THE VERTICAL REINFORCEMENT MUST HAVE A MINIMUM 48 BAR DIAMETER LAP SPLICE VISIBLE ABOVE THE UPPERMOST CELL WHERE STRUCTURE IS TO CONTINUE VERTICALLY. INTERMEDIATE LAPS IN CONCEALED WALL AREAS ARE NOT PERMITTED. ALL CONCRETE USED FOR GROUTING SHALL BE GROUT WITH A COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. SUBMIT MIX DESIGN FOR APPROVAL. MORTAR SHALL BE TYPE M, WITH A MINIMUM STRENGTH OF 2500 PSI. MASONRY WALLS SHALL BE REINFORCED HORIZONTALLY EVERY OTHER COURSE WITH 9 GAGE DEFORMED GALVANIZED STEEL TRUSS (LADDER TYPE). SLUMP TO BE 1" TO 3".

### 7. SHOP DRAWINGS:

NO SHOP DRAWING SHALL BE SUBMITTED FOR ARCHITECT/ENGINEER'S REVIEW UNTIL AFTER THEY HAVE BEEN REVIEWED AND NOTED FOR CONSTRUCTION METHOD, DIMENSIONING, AND OTHER TRADE REQUIREMENTS BY THE CONTRACTOR, AND STAMPED WITH THE CONTRACTOR'S APPROVAL SEAL. ENGINEER ASSUMES NO RESPONSIBILITY FOR DIMENSIONS, QUANTITIES, ERRORS OR OMISSIONS, AS A RESULT OF CHECKING AND REVIEWING ANY SHOP DRAWINGS. ANY ERRORS OR OMISSIONS MUST BE MADE GOOD BY CONTRACTOR, IRRESPECTIVE OF RECEIPT, CHECKING OR REVIEW OF DRAWINGS BY ENGINEER, AND EVEN THOUGH WORK IS DONE IN ACCORDANCE WITH SUCH SHOP DRAWINGS.

### 8. WOOD MEMBERS:

ALL STRUCTURAL WOOD MEMBERS TO BE SAWN LUMBER. DIMENSIONS LUMBER TO BE 'SOUTHERN PINE' WITH A MINIMUM COMMERCIAL GRADE OF 'NO. 2'. DESIGN BENDING STRESS OF 1000 PSI. ALL WOOD MEMBERS TO BE FREE OF ALL IMPERFECTIONS AS SPLITS, CHECKS, OR EXCESSIVE KNOTS. UNSATISFACTORY MATERIALS TO BE REPLACED AT NO COST TO THE OWNER. ALL MEMBERS IN CONTACT WITH CONCRETE OR EXPOSED TO THE ELEMENTS, TO BE PRESSURE TREATED. ALL STRUCTURAL GLUE LAMINATED BEAM MUST HAVE A 2400 PSI EXTREME FIBER BENDING STRESS AND A 1100 000 PSI. MODULUS OF ELASTICITY.

### 9. GENERAL:

a.- IF ANY ERRORS OR OMISSIONS APPEAR IN THE DRAWINGS, SPECIFICATIONS, OR OTHER DOCUMENTS, THE CONTRACTOR MUST NOTIFY THE ARCHITECT AND ENGINEER. IN WRITING, OF THE SAME PRIOR TO PROCEEDING WITH THE WORK IN QUESTION. IN THE EVENT THAT THE CONTRACTOR FAIL TO GIVE NOTICE, OR PROVIDE SUFFICIENT TIME FOR A RESPONSE, CONTRACTOR IS RESPONSIBLE OF SUCH ERRORS OR OMISSIONS, AND FOR ALL COSTS FOR RECTIFYING SAME AND FOR DELAYS OR ANY OTHER COSTS INCURRED BY SAME. THE CONTRACTOR SHALL USE THE STRUCTURAL DRAWINGS TOGETHER WITH THE ARCHITECTURAL MECHANICAL AND ELECTRICAL DRAWINGS TO LOCATE DEPRESSED SLABS, SLOPES, DRAINS, OUTLETS, NECESSSES, OPENINGS, REGLETTS, BOLT SETTINGS, SLEEVES, DIMENSIONS, ETC. POTENTIAL CONFLICTS SHALL BE TRANSMITTED TO THE ARCHITECT AND ENGINEER BEFORE PROCEEDINGS WITH THE WORK. CONTRACTOR TO PROVIDE ADEQUATE TIME FOR RESPONSE FROM ARCHITECT/ENGINEER.

b.- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF ALL ACCUMULATED WATER FROM EXCAVATION AND DELATERING OPERATIONS IN SUCH A WAY AS TO NOT CAUSE INCONVENIENCE TO THE WORK AND DAMAGE TO THE STRUCTURAL ELEMENTS.

c.- GENERAL CONTRACTOR SHALL BE RESPONSIBLE CONSTRUCTION DOCUMENTS WITH ANY REVISED DRAWINGS AND SPECIFICATIONS, FOR UPDATING HIS FIELD ORDERS, CHANGE ORDERS AND CLARIFICATION SKETCHES ISSUED DURING THE COURSE OF CONSTRUCTION.

d.- TYPICAL DETAILS AND NOTES ON THESE DRAWINGS SHALL APPLY UNLESS SPECIFICALLY NOTED OTHERWISE. CONSTRUCTION DETAILS AND SECTIONS NOT COMPLETELY SHOWN OR NOTED SHALL BE SIMILAR TO DETAILS AND SECTIONS SHOWN OR NOTED FOR SIMILAR CONDITIONS.

e.- TEMPORARY BRACING SHALL BE PROVIDED AS REQUIRED TO HOLD ALL COMPONENTS OF THE STRUCTURE IN PLACE UNTIL FINAL SUPPORT IS SECURELY ANCHORED.

f.- THE CONTRACTOR SHALL SUPPLY ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES OF EVERY KIND, INCLUDING WATER AND POWER, NECESSARY FOR THE PROPER EXECUTION OF THE WORK SHOWN OR INDICATED ON THESE DRAWINGS. ALL MATERIAL SHALL BE NEW. MATERIALS AND WORKMANSHIP SHALL BE OF GOOD QUALITY. ALL WORKMEN AND SUBCONTRACTORS SHALL BE SKILLED IN THEIR TRADE.

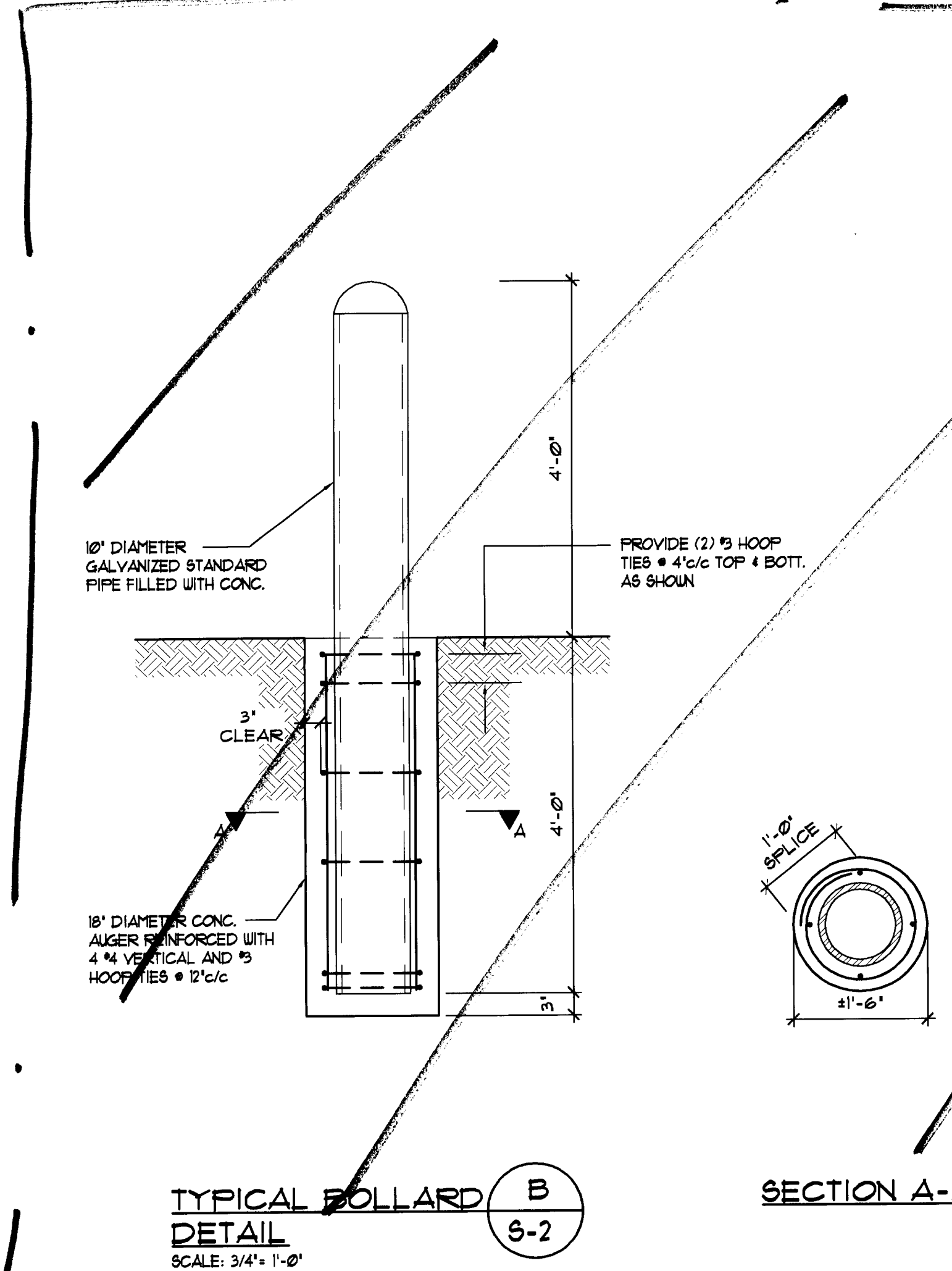
g.- THE CONTRACTOR SHALL ADEQUATELY PROTECT HIS WORK, ADJACENT PROPERTY AND THE PUBLIC, AND BE RESPONSIBLE FOR DAMAGE OR INJURY DUE TO HIS ACT OR NEGLIGENCE.

h.- THE PREMISES SHALL BE KEPT FROM ACCUMULATION OF WATER, MATERIALS, AND DEBRIS, AND AT THE END OF THE JOB THE CONTRACTOR SHALL REMOVE ALL RUBBISH, SURPLUS MATERIALS, AND TOOLS AND LEAVE THE BUILDING BROOM CLEAN.

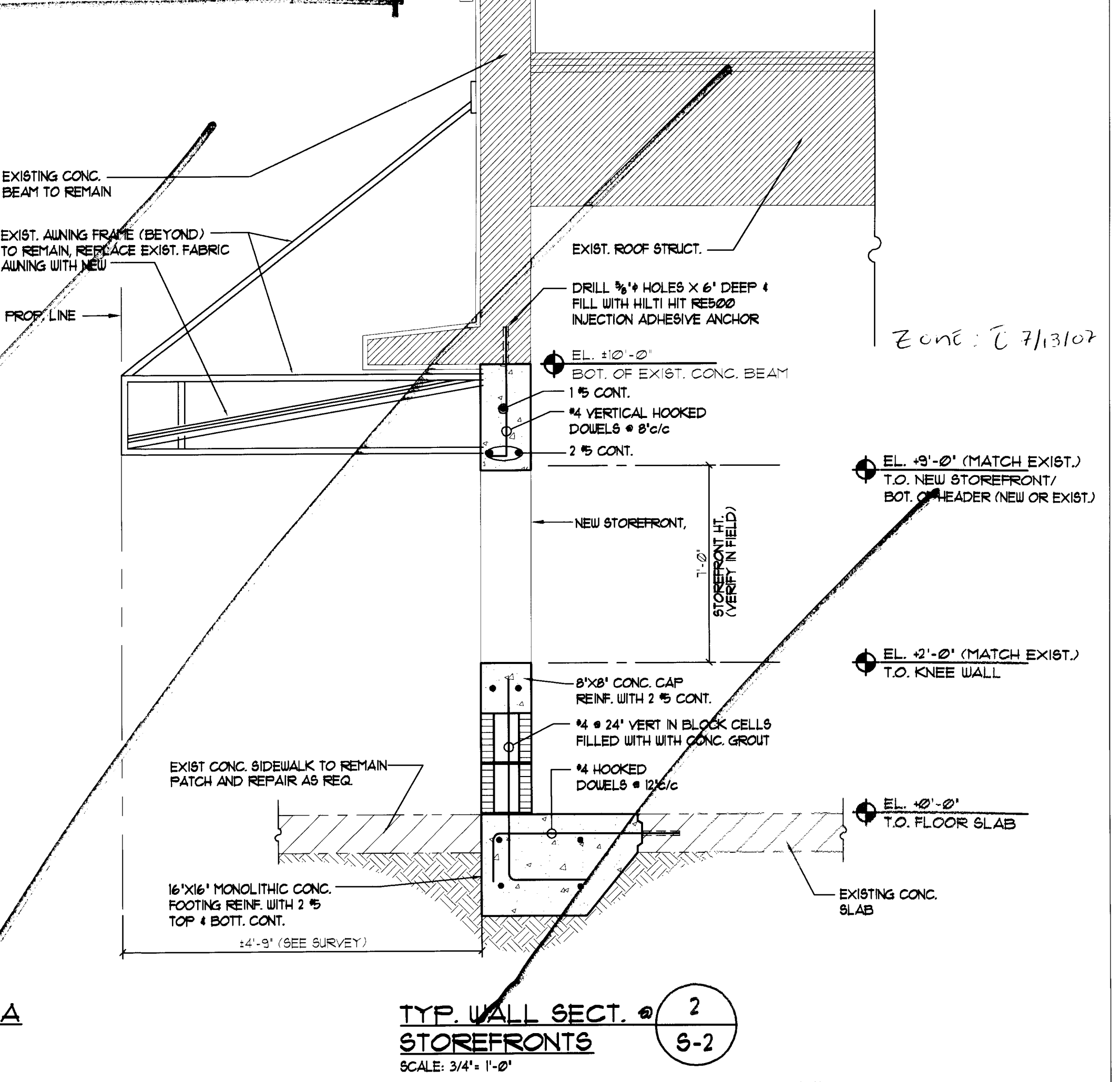
i.- THE GENERAL CONTRACTOR SHALL REVIEW ALL PROJECT DOCUMENTS, PRIOR TO FABRICATION AND START OF CONSTRUCTION. REPORT ANY DISCREPANCIES TO ARCHITECT OR STRUCTURAL ENGINEER PRIOR TO PROCEEDING WITH WORK.

j.- NO STRUCTURAL MEMBER SHALL BE CUT, NOTCHED OR OTHERWISE REDUCED IN SIZE OR STRENGTH WITHOUT PRIOR APPROVAL IN WRITING FROM THE STRUCTURAL ENGINEER.

k.- THE GENERAL CONTRACTOR SHALL COORDINATE STRUCTURAL AND OTHER DRAWINGS WHICH ARE PART OF THE CONTRACT DOCUMENTS FOR ANCHORED, EMBEDDED OR SUPPORTED ITEMS WHICH MAY AFFECT THE STRUCTURAL DRAWINGS.



**TYPICAL BOLLARD DETAIL**  
SCALE: 3/4" = 1'-0"



**TYP. WALL SECT. 2**  
SCALE: 3/4" = 1'-0"

FRANCISCO CUELLO JR. P.E., INC.  
Consulting Civil/Structural Engineer  
141 ALHAMBRA CIRCLE SUITE 220  
CORAL GABLES, FL 33134  
(305) 361-0725  
Reg. No. 400281



## GENERAL STRUCTURAL NOTES

### 1. SOIL STATEMENT:

BASED ON A VISUAL INSPECTION ON SITE, THE SOIL IS SAND WITH AN APPARENT 2000 PSF MIN. SOIL BEARING CAPACITY AT THE TIME OF THE FOUNDATION INSPECTION. BEFORE THE STEEL IS IN PLACE, A SITE VISIT MUST BE MADE TO VISUALLY VERIFY THE SOIL CAPACITY. A LETTER TO THE BUILDING OFFICIAL WILL BE ISSUED ATTESTING THIS FACT BY THIS OFFICE.

### 2. CONCRETE:

ALL CONCRETE SHALL ATTAIN A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3,000 PSI IN 28 DAYS. AGGREGATES TO BE CLEAN AND WELL GRADED, MAXIMUM SIZE TO BE 1". CONCRETE SLUMP 3" MINIMUM TO 5" MAXIMUM. VERTICAL CONCRETE DROP NOT TO EXCEED 8".

### 3. CONCRETE COVER:

TO BE AS FOLLOWS:	BOTTOM	TOP	SIDES
FOOTING	3"	2"	2"
BEAMS	1-1/2"	1-1/2"	1-1/2"
COLUMNS	---	---	1-1/2"
SLABS	1 1/2"	3/4"	1"
WALLS	---	---	1-1/2"

### 4. REINFORCING STEEL:

TO BE NEW HIGH STRENGTH BILLET STEEL DEFORMED AS PER ASTM A-305, AND CONFORMING TO ASTM A-615, GRADE 60. LAP CONTINUOUS BARS 30-BAR DIAMETERS, UNLESS OTHERWISE NOTED IN PLANS. HOOK DISCONTINUOUS ENDS OF ALL TOP BARS. REINFORCING STEEL TO BE DETAILED AND FABRICATED IN ACCORDANCE WITH MANUAL OF STANDARD PRACTICE OF DETAILING REINFORCING CONCRETE STRUCTURES, AND THE ACI BUILDING CODE 318, LATEST EDITION.

### 5. MASONRY WALLS:

CONCRETE BLOCK WALLS TO BE ERECTED PRIOR TO PLACING CONCRETE IN ADJACENT BEAMS. ALL CONCRETE BLOCK TO BE GRADE N-1, CONFORMING TO ASTM C-90 WITH A NET PRISM STRENGTH OF 1300 PSI (MINIMUM). PROVIDE NO. 3 GAGE LADDER TYPE JOINT REINFORCING AT EVERY OTHER COURSE FOR ALL MASONRY BLOCK WALLS. PROVIDE 2 #5 T & B CORNER BARS AT ALL BEAM INTERSECTIONS, EXTEND 30" INTO BEAMS EACH SIDE.

### 6. REINFORCED MASONRY:

ALL CONCRETE BLOCK TO BE GRADE N-1, CONFORMING TO ASTM C-90 WITH A MINIMUM PRISM STRENGTH (Fm) = 1500 PSI. ALL UNITS SHALL BE BUILT TO PRESERVE THE VERTICAL CONTINUITY OF THE CELLS TO BE FILLED, AND MUST MAINTAIN A CLEAR, UNOBSTRUCTED CONTINUOUS VERTICAL CELL MEASURING 2 INCHES BY 3 INCHES MINIMUM. CLEANOUT OPENINGS MUST BE PROVIDED AT ALL CELLS TO BE FILLED, MAXIMUM HEIGHT OF GROUTING LIFTS IS 4'-0". THE VERTICAL REINFORCEMENT MUST HAVE A MINIMUM 48 BAR DIAMETER LAP SPICE VISIBLE ABOVE THE UPPERMOST CELL WHERE STRUCTURE IS TO CONTINUE VERTICALLY. INTERMEDIATE LAPS IN CONCEALED WALL AREAS ARE NOT PERMITTED. ALL CONCRETE USED FOR GROUTING SHALL BE GROUT WITH A COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. SUBMIT MIX DESIGN FOR APPROVAL. MORTAR SHALL BE TYPE M, WITH A MINIMUM STRENGTH OF 2500 PSI. MASONRY WALLS SHALL BE REINFORCED HORIZONTALLY EVERY OTHER COURSE WITH 3 GAGE DEFORMED GALVANIZED STEEL TRUSS (LADDER TYPE). SLUMP TO BE 7" TO 9".

### 7. SHOP DRAWINGS:

NO SHOP DRAWING SHALL BE SUBMITTED FOR ARCHITECT/ENGINEER'S REVIEW UNTIL AFTER THEY HAVE BEEN REVIEWED AND NOTED FOR CONSTRUCTION METHOD, DIMENSIONING, AND OTHER TRADE REQUIREMENTS BY THE CONTRACTOR AND STAMPED WITH THE CONTRACTOR'S APPROVAL SEAL. ENGINEER ASSUMES NO RESPONSIBILITY FOR DIMENSIONS, QUANTITIES, ERRORS OR OMISSIONS, AS A RESULT OF CHECKING AND REVIEWING ANY SHOP DRAWINGS. ANY ERRORS OR OMISSIONS MUST BE MADE GOOD BY CONTRACTOR, IRRESPECTIVE OF RECEIPT, CHECKING OR REVIEW OF DRAWINGS BY ENGINEER, AND EVEN THOUGH WORK IS DONE IN ACCORDANCE WITH SUCH SHOP DRAWINGS.

### 8. WOOD MEMBERS:

ALL STRUCTURAL WOOD MEMBERS TO BE SAUN LUMBER, DIMENSIONS LUMBER TO BE SOUTHERN PINE 1" WITH A MINIMUM COMMERCIAL GRADE OF NO. 2. DESIGN BENDING STRESS OF Fb = 1200 PSI. ALL WOOD MEMBERS TO BE FREE OF ALL IMPERFECTIONS AS SPLITS, CHECKS, OR EXCESSIVE KNOTS. UNSATISFACTORY MATERIALS TO BE REPLACE AT NO COST TO THE OWNER. ALL MEMBERS IN CONTACT WITH CONCRETE OR EXPOSED TO THE ELEMENTS TO BE PRESSURE TREATED. ALL STRUCTURAL GLUE LAMINATED BEAM MUST HAVE A 2400 P.S.I. EXTREME FIBER BENDING STRESS AND A 1700 000 P.S.I. MODULUS OF ELASTICITY.

### 9. GENERAL:

a.- IF ANY ERRORS OR OMISSIONS APPEAR IN THE DRAWINGS, SPECIFICATIONS, OR OTHER DOCUMENTS, THE CONTRACTOR MUST NOTIFY THE ARCHITECT AND ENGINEER, IN WRITING, OF THE SAME PRIOR TO PROCEEDING WITH THE WORK IN QUESTION. IN THE EVENT THAT THE CONTRACTOR FAIL TO GIVE NOTICE, OR PROVIDE SUFFICIENT TIME FOR A RESPONSE, CONTRACTOR IS RESPONSIBLE OF SUCH ERRORS OR OMISSIONS, AND FOR ALL COSTS FOR RECTIFYING SAME AND FOR DELAYS OR ANY OTHER COSTS INCURRED BY SAME. THE CONTRACTOR SHALL USE THE STRUCTURAL DRAWINGS TOGETHER WITH THE ARCHITECTURAL MECHANICAL AND ELECTRICAL DRAWINGS TO LOCATE DEEPRESSED SLABS, SLOPES, DRAINS, OUTLETS, RECESSES, OPENINGS, REGLETS, BOLT SETTINGS, SLEEVES, DIMENSIONS, ETC. POTENTIAL CONFLICTS SHALL BE TRANSMITTED TO THE ARCHITECT AND ENGINEER BEFORE PROCEEDING WITH THE WORK. CONTRACTOR TO PROVIDE ADEQUATE TIME FOR RESPONSE FROM ARCHITECT/ENGINEER.

b.- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF ALL ACCUMULATED WATER FROM EXCAVATION AND Dewatering OPERATIONS IN SUCH A WAY AS TO NOT CAUSE INCONVENIENCE TO THE WORK AND DAMAGE TO THE STRUCTURAL ELEMENTS.

c.- GENERAL CONTRACTOR SHALL BE RESPONSIBLE CONSTRUCTION DOCUMENTS WITH ANY REVISED DRAWINGS AND SPECIFICATIONS, FOR UPDATING HIS FIELD ORDERS, CHANGE ORDERS AND CLARIFICATION SKETCHES ISSUED DURING THE COURSE OF CONSTRUCTION.

d.- TYPICAL DETAILS AND NOTES ON THESE DRAWINGS SHALL APPLY UNLESS SPECIFICALLY NOTED OTHERWISE. CONSTRUCTION DETAILS AND SECTIONS NOT COMPLETELY SHOWN OR NOTED SHALL BE SIMILAR TO DETAILS AND SECTIONS SHOWN OR NOTED FOR SIMILAR CONDITIONS.

e.- TEMPORARY BRACING SHALL BE PROVIDED AS REQUIRED TO HOLD ALL COMPONENTS OF THE STRUCTURE IN PLACE UNTIL FINAL SUPPORT IS SECURELY ANCHORED.

f.- THE CONTRACTOR SHALL SUPPLY ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES OF EVERY KIND, INCLUDING WATER AND POWER, NECESSARY FOR THE PROPER EXECUTION OF THE WORK SHOWN OR INDICATED ON THESE DRAWINGS. ALL MATERIAL SHALL BE NEW. MATERIALS AND WORKMANSHIP SHALL BE OF GOOD QUALITY. ALL WORKMEN AND SUBCONTRACTORS SHALL BE SKILLED IN THEIR TRADE.

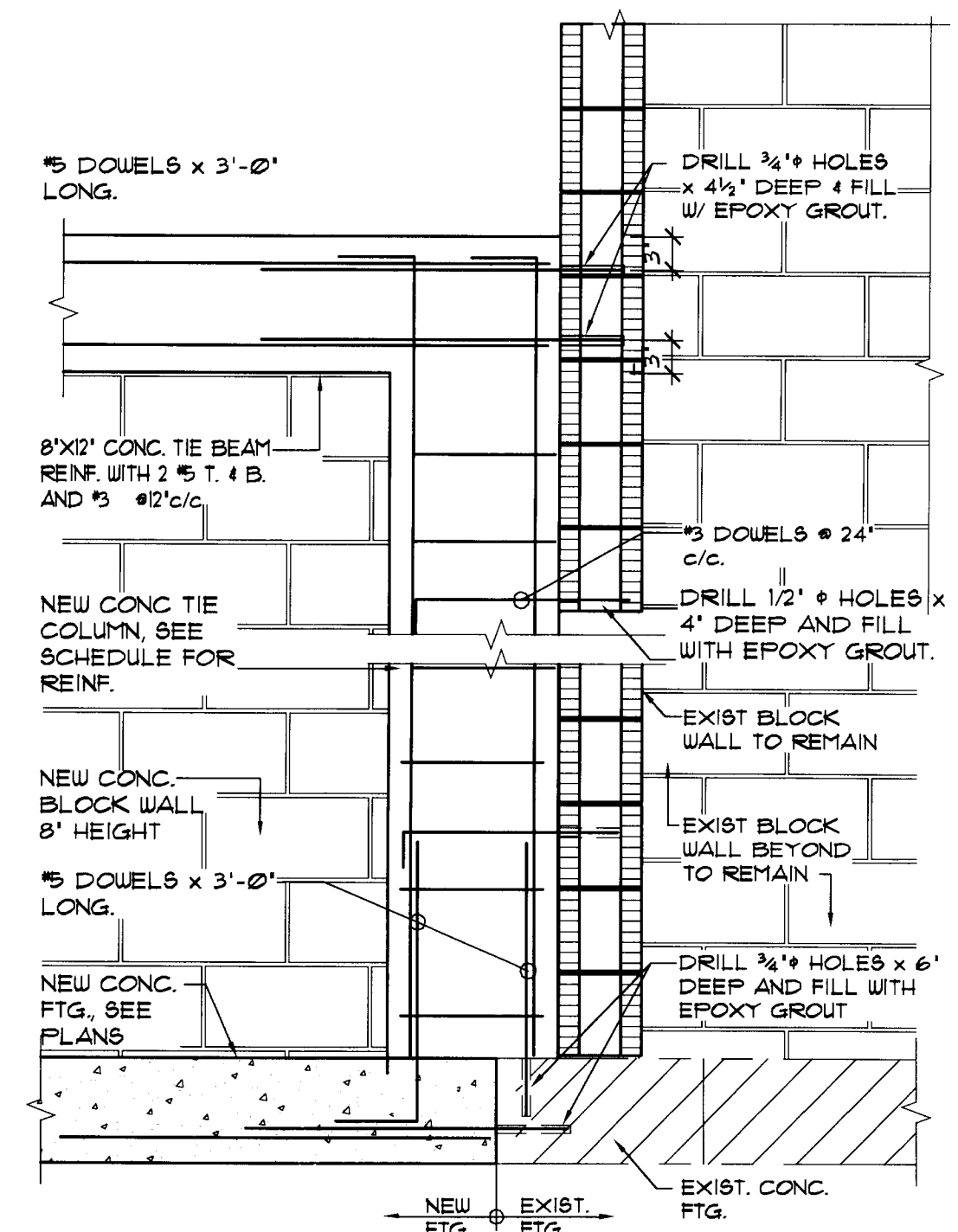
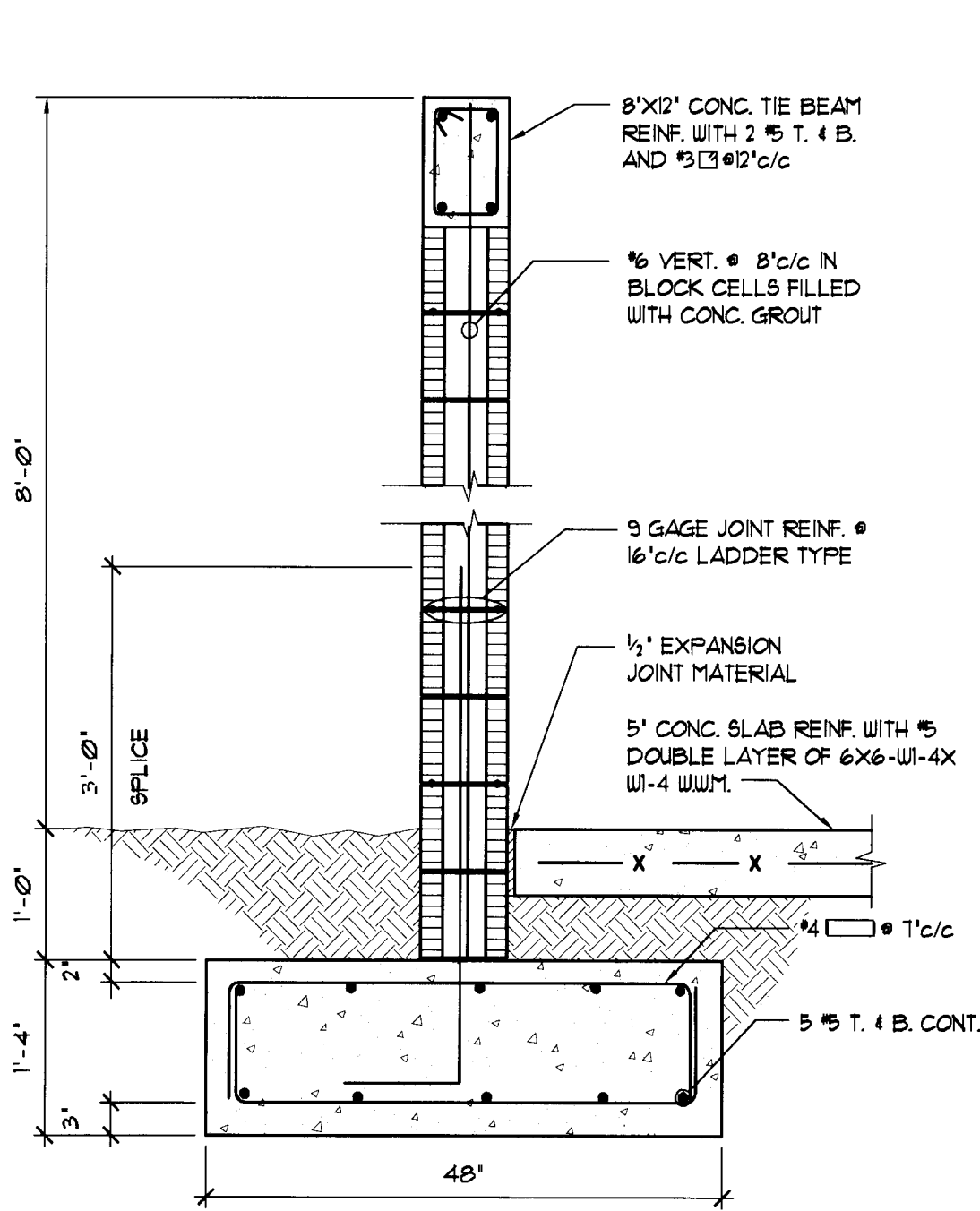
g.- THE CONTRACTOR SHALL ADEQUATELY PROTECT HIS WORK, ADJACENT PROPERTY AND THE PUBLIC, AND BE RESPONSIBLE FOR DAMAGE OR INJURY DUE TO HIS ACT OR NEGLIGENCE.

h.- THE PREMISES SHALL BE KEPT FROM ACCUMULATION OF WATER, MATERIALS, AND DEBRIS, AND AT THE END OF THE JOB THE CONTRACTOR SHALL REMOVE ALL RUBBISH, SURPLUS MATERIALS, AND TOOLS AND LEAVE THE BUILDING BROOM CLEAN.

i.- THE GENERAL CONTRACTOR SHALL REVIEW ALL PROJECT DOCUMENTS, PRIOR TO FABRICATION AND START OF CONSTRUCTION, REPORT ANY DISCREPANCIES TO ARCHITECT OR STRUCTURAL ENGINEER PRIOR TO PROCEEDING WITH WORK.

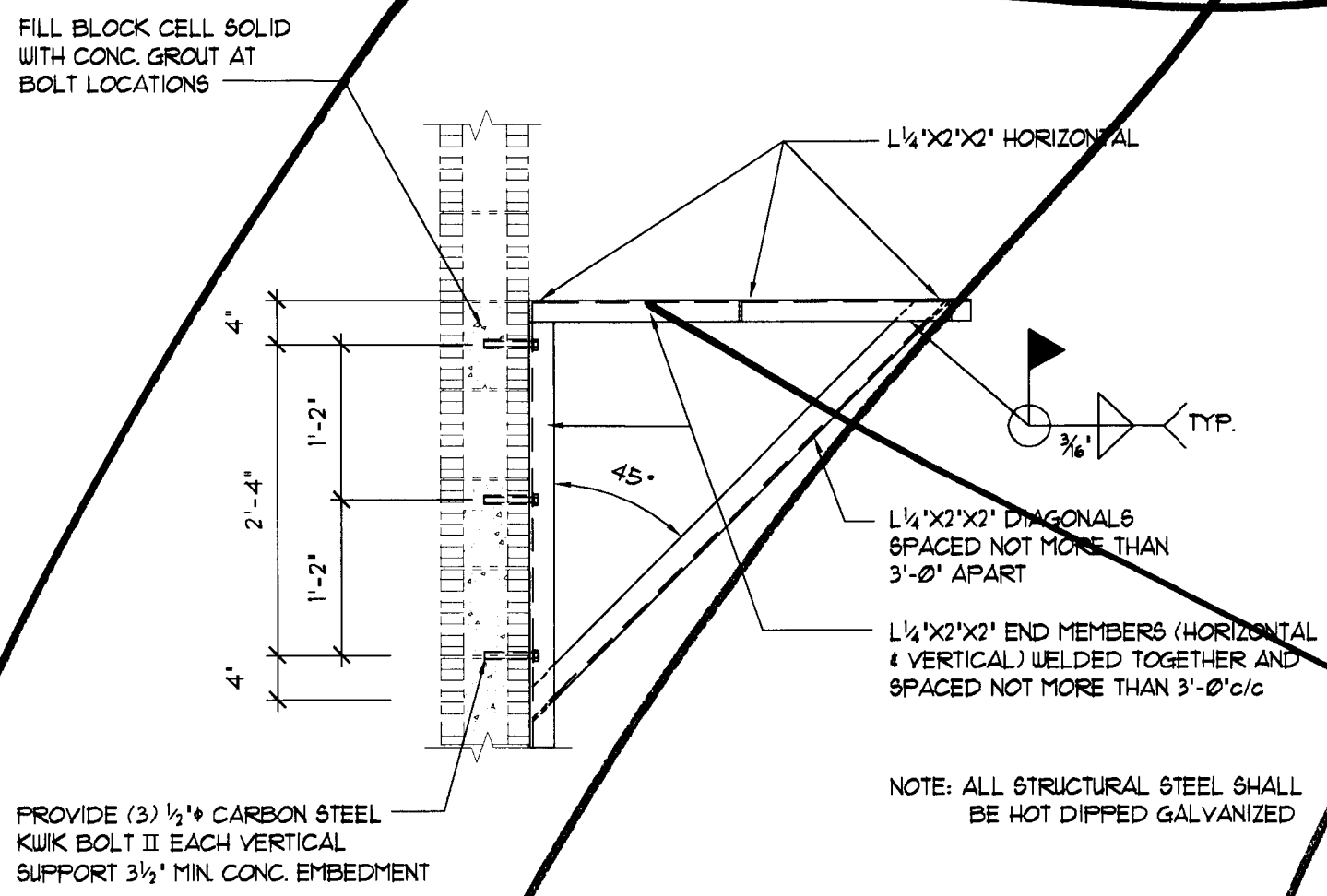
j.- NO STRUCTURAL MEMBER SHALL BE CUT, NOTCHED OR OTHERWISE REDUCED IN SIZE OR STRENGTH WITHOUT PRIOR APPROVAL IN WRITING FROM THE STRUCTURAL ENGINEER.

k.- THE GENERAL CONTRACTOR SHALL COORDINATE STRUCTURAL AND OTHER DRAWINGS WHICH ARE PART OF THE CONTRACT DOCUMENTS FOR ANCHORED, EMBEDDED OR SUPPORTED ITEMS WHICH MAY AFFECT THE STRUCTURAL DRAWINGS.

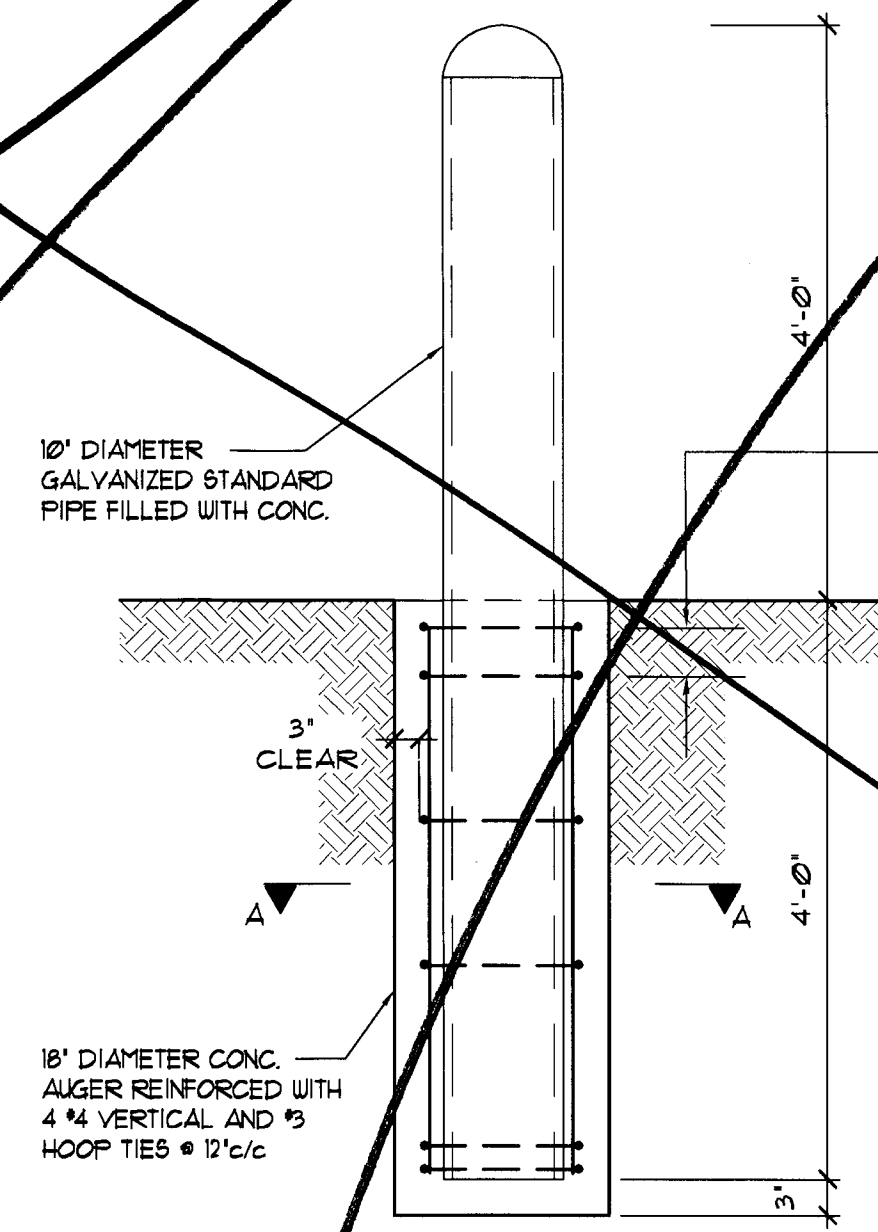


TYPICAL DUMPSTER ENCLOSURE WALL SECTION 1 S-2. SCALE: 3/4" = 1'-0"

THIS APPLICATION

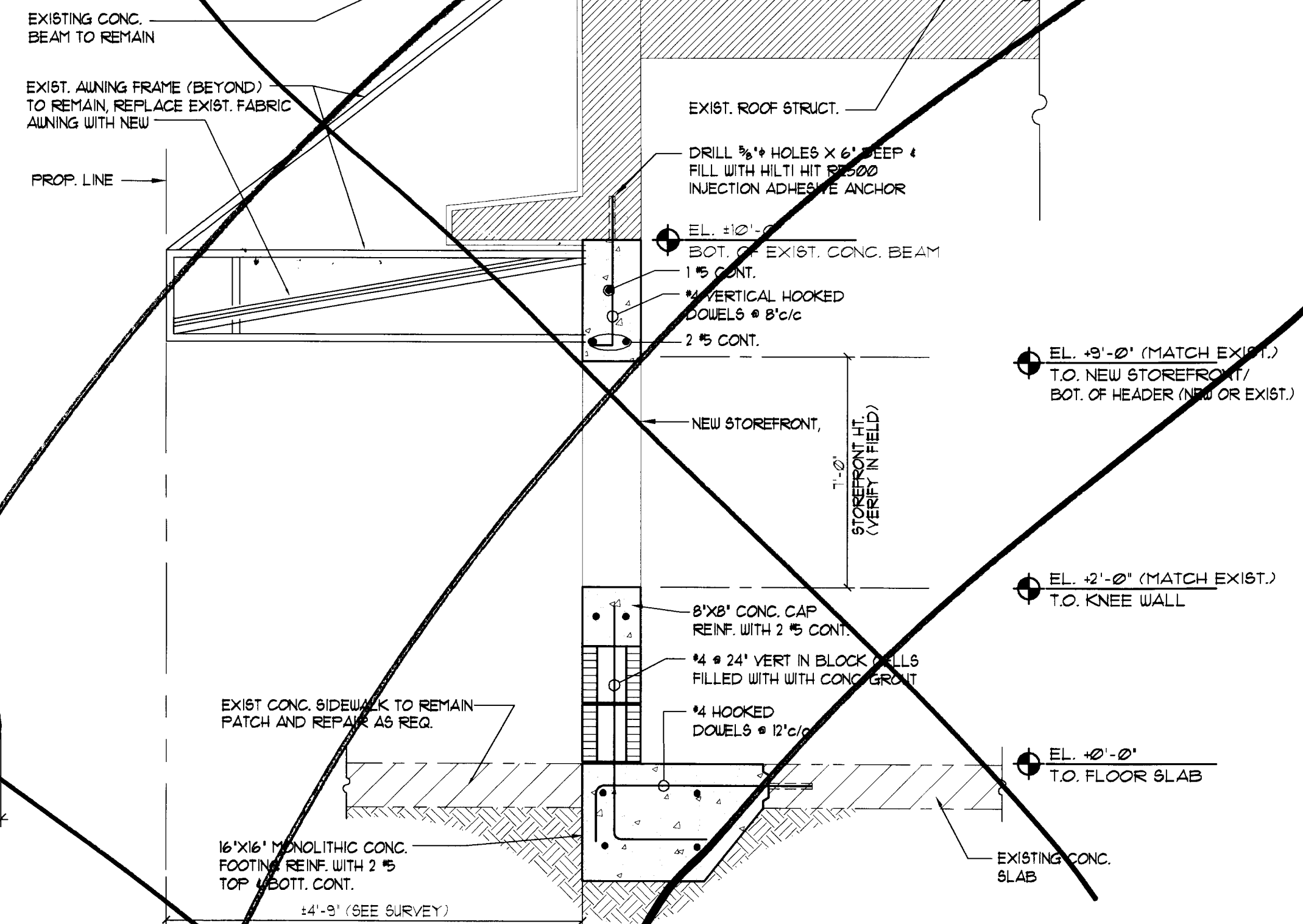


TYPICAL WALL MOUNTED A/C UNIT PLATFORM 3 S-2. SCALE: 3/4" = 1'-0"



TYPICAL BOLLARD DETAIL B S-2. SCALE: 3/4" = 1'-0"

SECTION A-A



TYP. WALL SECT. @ STOREFRONTS 2 S-2. SCALE: 3/4" = 1'-0"

FRANCISCO CUELLO JR. P.E., INC.  
Consulting Civil/Structural Engineer  
141 ALHAMBRA CIRCLE SUITE 220  
CORAL GABLES, FL 33134  
(305) 361-0225  
Reg. No. 40287







1. THE CONTRACTOR SHALL INSTALL ONE NEW FAN COIL UNIT AND CONDENSING UNIT TO SERVE THE DUMPSTER ROOM FCU-1 AND CUF-1.
2. ALL OTHER CONDENSING UNITS CU-1, CU-2, CU-3 AND CU-4 ARE EXISTING SLAB ON GRADE MOUNTED. THESE CONDENSING UNITS ARE TO BE RELOCATED TO STEEL FRAMES MOUNTED ON THE EXTERIOR WALL. CONTRACTOR TO MODIFY THE REFRIGERANT LINES TO THESE CONDENSING UNITS



AIR-CONDITIONING SCHEDULE				
MARK			FCU-1 (NEW) CUF-1	
DESCRIPTION	SERVES		SUITE 310a	
	MANUFACTURER		DAIKIN	
	COOLING	SENSIBLE	1,215 TO 6,750	
	BTU/H	TOTAL	1,620 TO 9,000	
	TOTAL EXT. STAT. PR.		N/A	
	NOMINAL TONS		3/4	
	SEER		16.0	
FCU	REFRIGERANT TYPE		410A	
	HSPS		8.8	
	MODEL #		FTXS09DWJ	
	TOTAL CFM		253/220/18	
	OUTSIDE AIR CFM		0	
	FAN MOTOR HP/ F.L.A.		N/A / 0.18	
ELECT.	MOUNTING		WALL	
	SIZE H X W X D		10-3/4" x 31" x 8"	
	OPERATING WEIGHT LBS.		16.6	
	SERVICE		240/1/60	
	HEAT PUMP			
	BTU/H HEATING		4,400 TO 10,000	
CU	MODEL #		N/A	
	HTR AMPS		34.6	
	MODEL #		RXS09DWJU	
	COND. FAN F.L.A./HP		7.0	
	COMPRESSOR R.L.A.			
	SIZE H x W x L		22"x30"x12"	
ACCESSORIES	OPERATING WEIGHT LBS		74	
	REF LINES SUCT / LIQ.		3/8 / 1/4	
	MIN CKT AMPS		6.1	
	MAX O.C.P.D.		15/2	
	THERMOSTAT		YES	
	SERVICE SWITCH		YES	
FIRESTAT		NO		
SMOKE DETECTOR		NO		
INTERLOCK WITH FAN		NO		
SPECIAL FEATURES		NONE		
REMARKS		NONE		
INSULATE SUCTION LINE		YES		
ONE CIRCUIT POWERS THE FCU & CU				

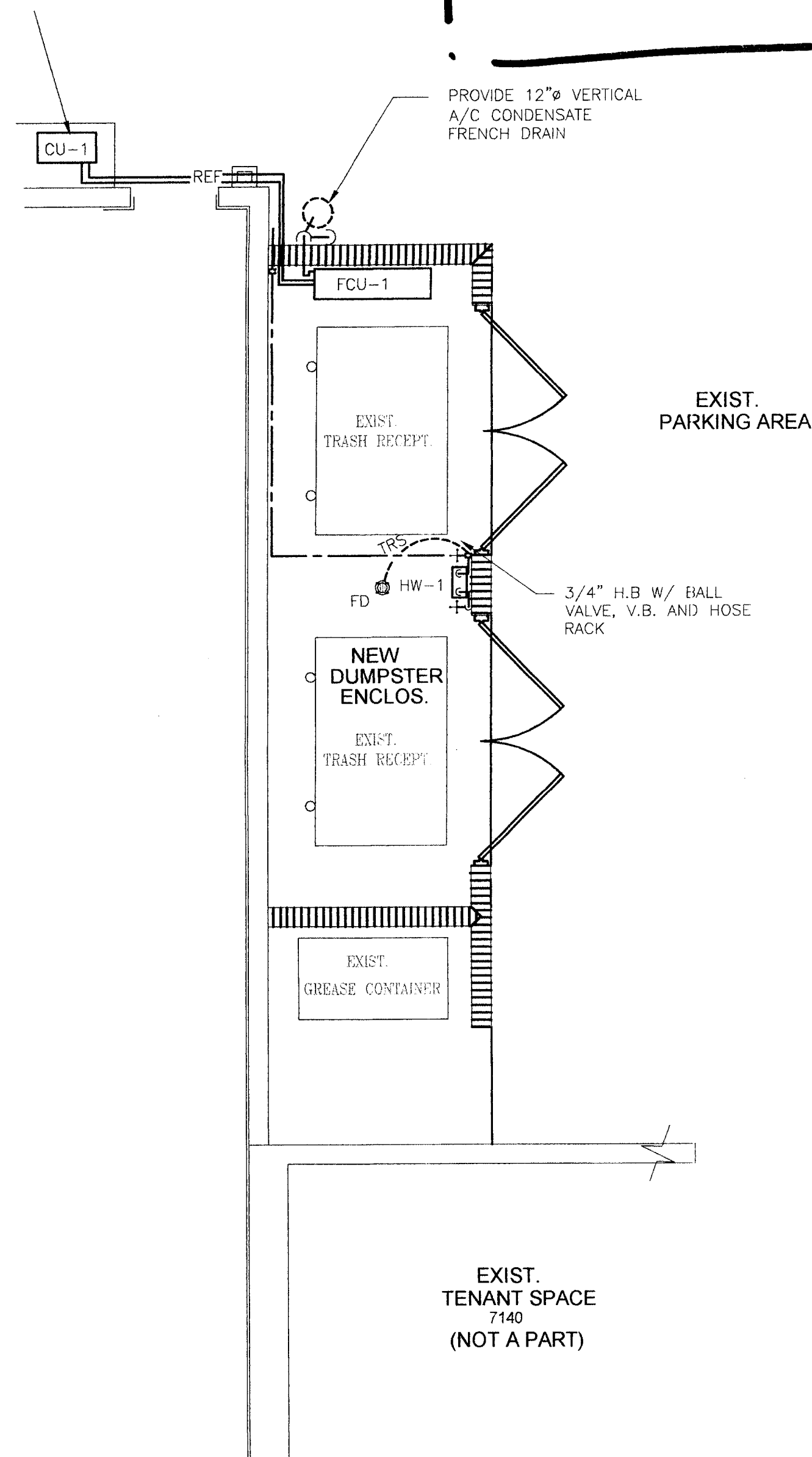


THIS APPLICATION

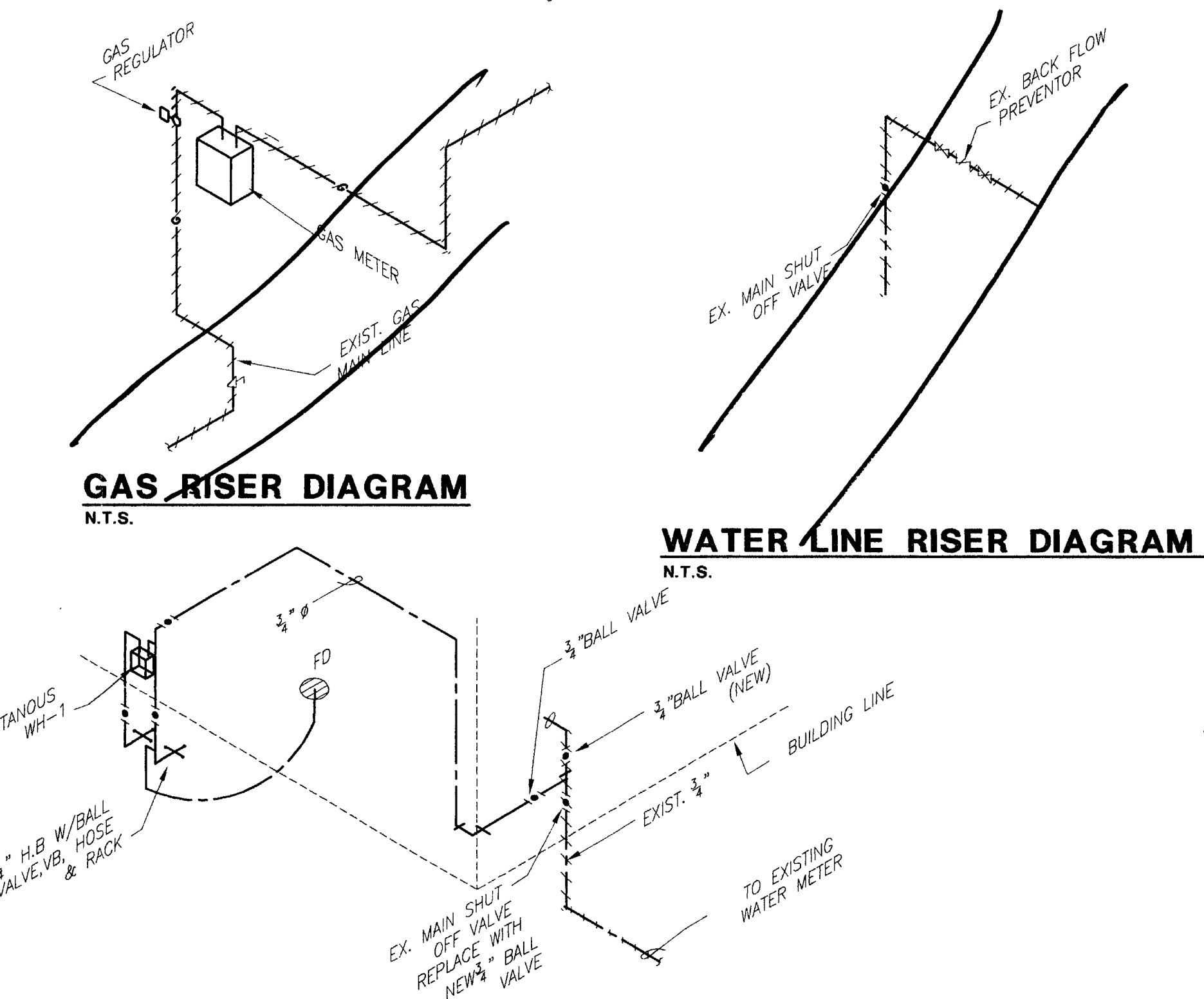
### AIR CONDITIONING UNIT SCOPE OF WORK NOTES

1. THE CONTRACTOR SHALL INSTALL ONE NEW FAN COIL UNIT AND CONDENSING UNIT TO SERVE THE DUMPSTER ROOM FCU-1 AND CUF-1.
2. ALL OTHER CONDENSING UNITS CU-1, CU-2, CU-3 AND CU-4 ARE EXISTING SLAB ON GRADE MOUNTED. THESE CONDENSING UNITS ARE TO BE RELOCATED TO STEEL FRAMES MOUNTED ON THE EXTERIOR WALL. CONTRACTOR TO MODIFY THE REFRIGERANT LINES TO THESE CONDENSING UNITS

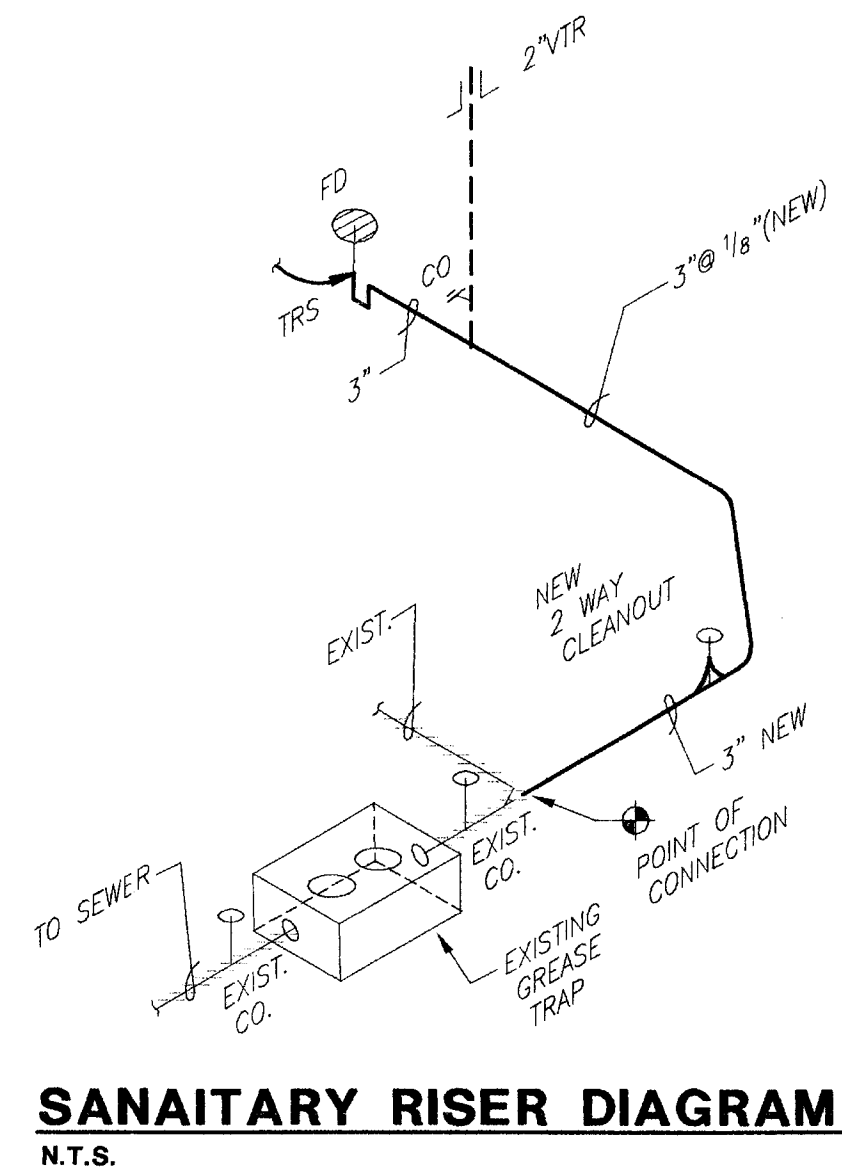
AIR-CONDITIONING SCHEDULE		
MARK	FCU-1 (NEW) CUF-1 (NEW)	
DESCRIPTION	SERVES	SUITE 310a
	MANUFACTURER	DAIKIN
	COOLING SENSIBLE	1,215 TO 6,750
	BTUH TOTAL	1,620 TO 9,000
	TOTAL EXT. STAT. PR.	N/A
	NOMINAL TONS	3/4
	SEER	16.0
FCU	REFRIGERANT TYPE	410A
	HSPS	8.8
ELECT.	MODEL #	FTXS09DVJ
	TOTAL CFM	253/220/18
	OUTSIDE AIR CFM	0
	FAN MOTOR HP/ F.L.A.	N/A / 0.18
	MOUNTING	WALL
CU	SIZE H x W x D	10-3/4" x 31" x 8"
	OPERATING WEIGHT LBS.	16.6
ACCESSORIES	SERVICE	240/1/60
	HEAT PUMP	
	BTUH HEATING	4,400 TO 10,000
	MODEL #	N/A
	HTR AMPS	34.6
CU	MODEL #	RXS09DVJU
	COND. FAN F.L.A./HP	7.0
	COMPRESSOR R.L.A.	
	SIZE H x W x L	22"x30"x12"
	OPERATING WEIGHT LBS	74
ACCESSORIES	REF LINES SUCT / LIQ.	3/8 / 1/4
	MIN CKT AMPS	6.1
	MAX O.C.P.D.	15/2
	THERMOSTAT	YES
	SERVICE SWITCH	YES
	FIRESTAT	NO
	SMOKE DETECTOR	NO
	INTERLOCK WITH FAN	NO
	SPECIAL FEATURES	NONE
	REMARKS	NONE
	INSULATE SUCTION LINE	YES
	ONE CIRCUIT POWERS THE FCU & CU	



DUMPSTER ENCLOSURE ENLARGED FLOOR PLAN  
SCALE: 1/4" = 1'-0"



WATER LINE RISER DIAGRAM FOR DUMSTER  
N.T.S.



SANITARY RISER DIAGRAM  
N.T.S.

THIS APPLICATION

RICHARDS CAPITAL LTD. BFA-JOB 06090  
EXTERIOR IMPROVEMENTS

5-7-07

THOMAS H. MAXWELL JR., P.E.  
FLORIDA P.E. LICENSE No. 10150

SHAMAM, FORD, & ASSOCIATES INC.  
CONSULTING ENGINEERS & PLANNERS  
4500 N.W. 74 COURT, MIAMI, FLORIDA 33155  
(305) 863-1864, 863-6390, FAX (305) 867-5003

Date  
24 JAN 2007

Revised  
1 MAY 2007

Client  
RICHARDS CAPITAL LTD.  
PO BOX 1688  
MIAMI, FLORIDA 33156  
305-794-4145  
CONTACT: VICTOR RICHARDS

Project: 2661  
EXTERIOR IMPROVEMENTS  
718-16 COLINS AVENUE  
MIAMI BEACH, FLORIDA

Sheet  
MP-2 OF 3

GROUP  
PLANNERS  
ARCHITECTS  
JAMES SMITH, AIA  
AND ASSOCIATES

JOS







LEGEND	
SYMBOL	DESCRIPTION
	EXISTING ELECTRICAL PANEL
	NEW ELECTRICAL PANEL
	EXISTING ELECTRICAL METER
	NEW ELECTRICAL METER
	W.P. WEATHER PROOF
	GFI GROUND FAULT INTERRUPTOR
	NEW DUPLEX RECEPTACLE
	A-9 NEW CIRCUIT NUMBER
	NEW EXTERIOR LIGHTING FIXTURE
	NEW ELECTRICAL J BOX

### UTILITY LOCATION COLOR CODE

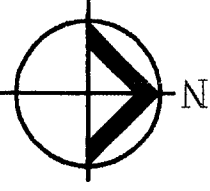
1. THE LOCATION OF ALL UNDERGROUND UTILITY LINES SHALL BE MARKED ACCORDING TO THE FOLLOWING SCHEDULE:

ELECTRIC	RED
GAS OIL	YELLOW
TELEPHONE CATV	ORANGE
WATER	BLUE
SEWER	GREEN
OTHER	OTHER

PRIOR TO DIGGING THE CONTRACTOR SHALL LOCATE AND MARK ALL EXISTING UNDERGROUND UTILITIES AND THE LIKE. THE CONTRACTOR SHALL PROTECT THE UNDERGROUND UTILITIES AND THE LIKE FROM DAMAGE. THE CONTRACTOR SHALL REPAIR THEM AT NO COST TO THE OWNER.

### ELECTRICAL SITE PLAN

SCALE: 1/8"=1'-0"



### AVAILABLE FAULT CURRENT NOTES

POLE No.1 (SOUTH)

1. THE SECONDARY FAULT CURRENT IS SUPPLIED BY FLORIDA POWER AND LIGHT COMPANY.
2. THE RMS VALUE OF THE 120/240/3/60 SYMMETRICAL FAULT CURRENT IN AMPERES (SCA) FOR TRANSFORMER IS 36,102 AMPS.

### AVAILABLE FAULT CURRENT NOTES

POLE No.2 (NORTH)

1. THE SECONDARY FAULT CURRENT IS SUPPLIED BY FLORIDA POWER AND LIGHT COMPANY.
2. THE RMS VALUE OF THE 120/240/3/60 SYMMETRICAL FAULT CURRENT IN AMPERES (SCA) FOR TRANSFORMER IS 29,508 AMPS.

### FLORIDA POWER AND LIGHT NOTES

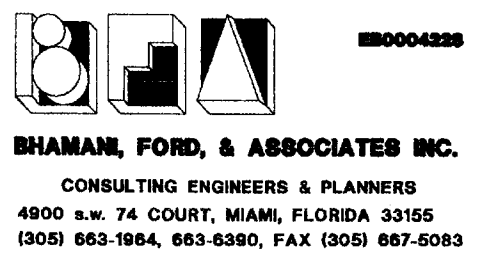
1. THE CONTRACTOR SHALL COORDINATE WITH FLORIDA POWER AND LIGHT COMPANY.

FLORIDA POWER AND LIGHT COMPANY.  
CENTRAL CONSTRUCTION SERVICES  
122 S.W. 3rd STREET  
MIAMI, FLORIDA 33130  
SERVICE PLANNING: MICHAEL TODD  
MAIN PH. No. 305-377-6001  
DIRECT LINE No. 305-377-6126  
FAX No. 305-377-6010

RICHARDS CAPITAL LTD. BFA-JOB 06090  
EXTERIOR IMPROVEMENTS

*Signature*  
5-7-07

THOMAS H. MAXWELL JR., P.E.  
FLORIDA P.E. LICENSE No. 19150



Project: 266  
EXTERIOR IMPROVEMENTS  
7118-36 COLLINS AVENUE  
MIAMI BEACH, FLORIDA

Client:

RICHARDS CAPITAL LTD.  
PO BOX 16880  
MIAMI, FLORIDA 33156  
305-794-4145  
CONTACT: VICTOR RICHARDS

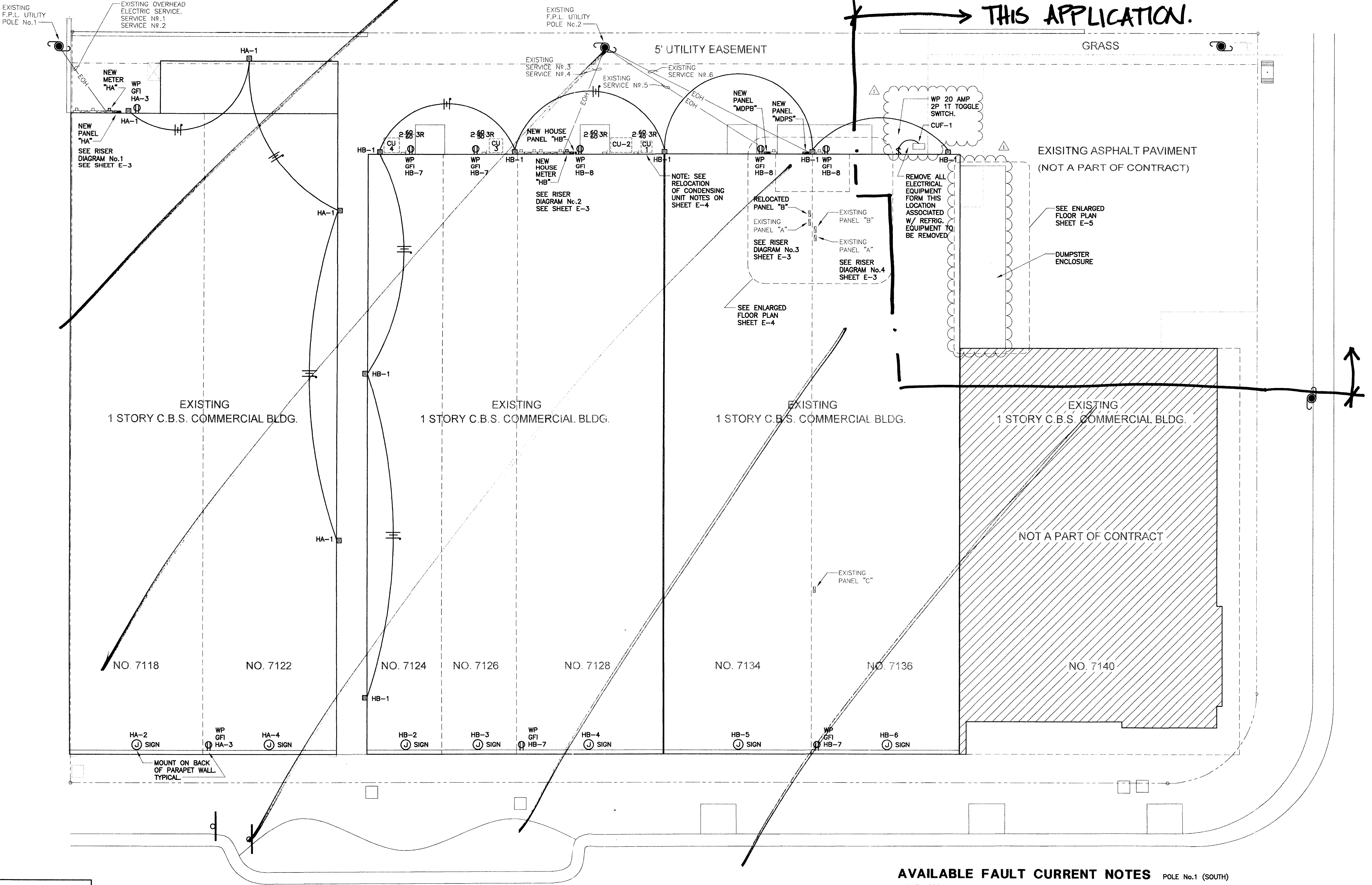
Revise  
24 JAN 2007

Date:

GROUP  
ARCHITECTS  
PLANNERS  
ENGINEERS  
1305 SW 56th Street  
Miami, FL 33155  
P: 305-596-6122  
F: 305-596-6123

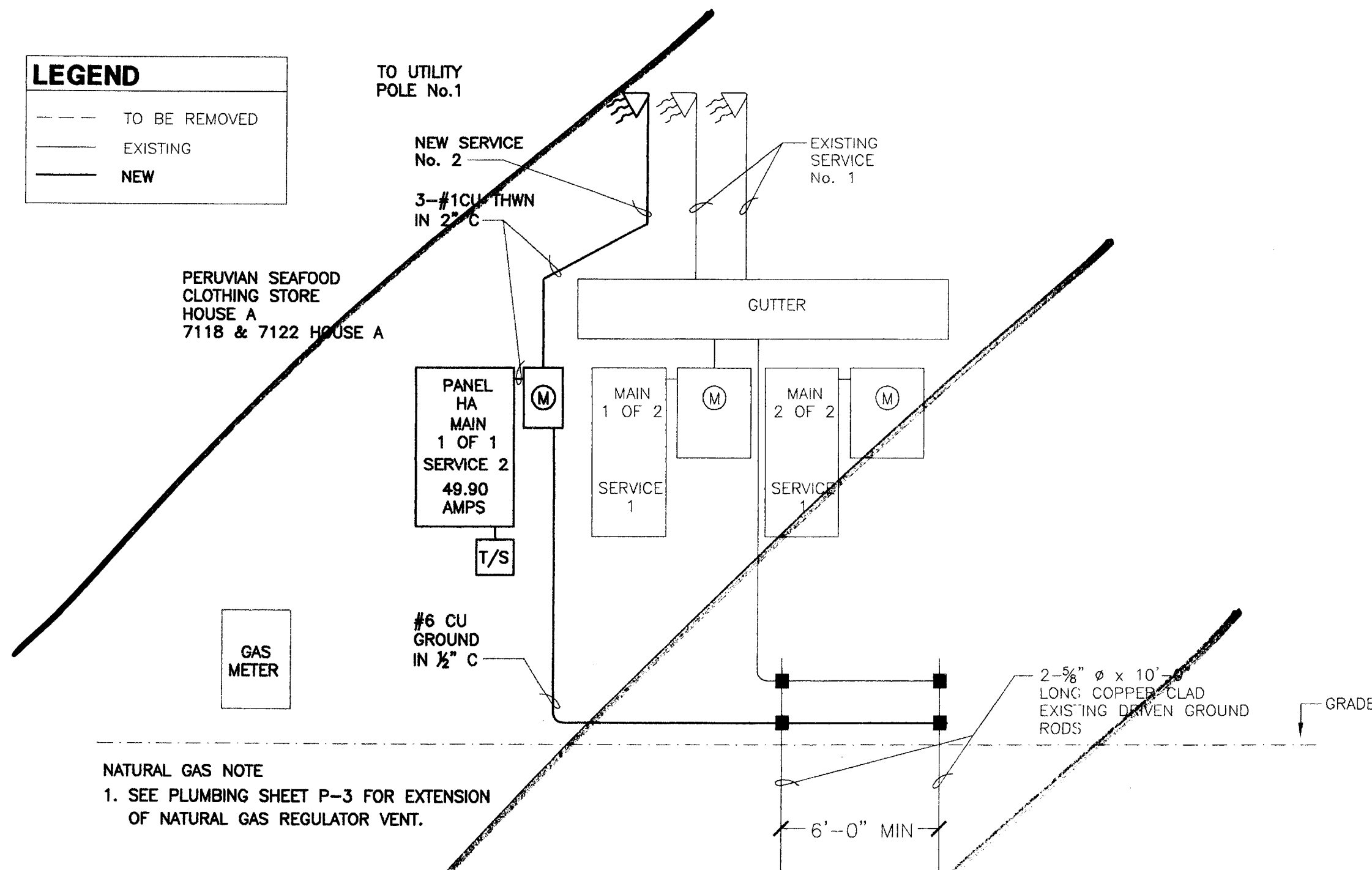
JOS

Sheet: 266  
E-1 OF 5



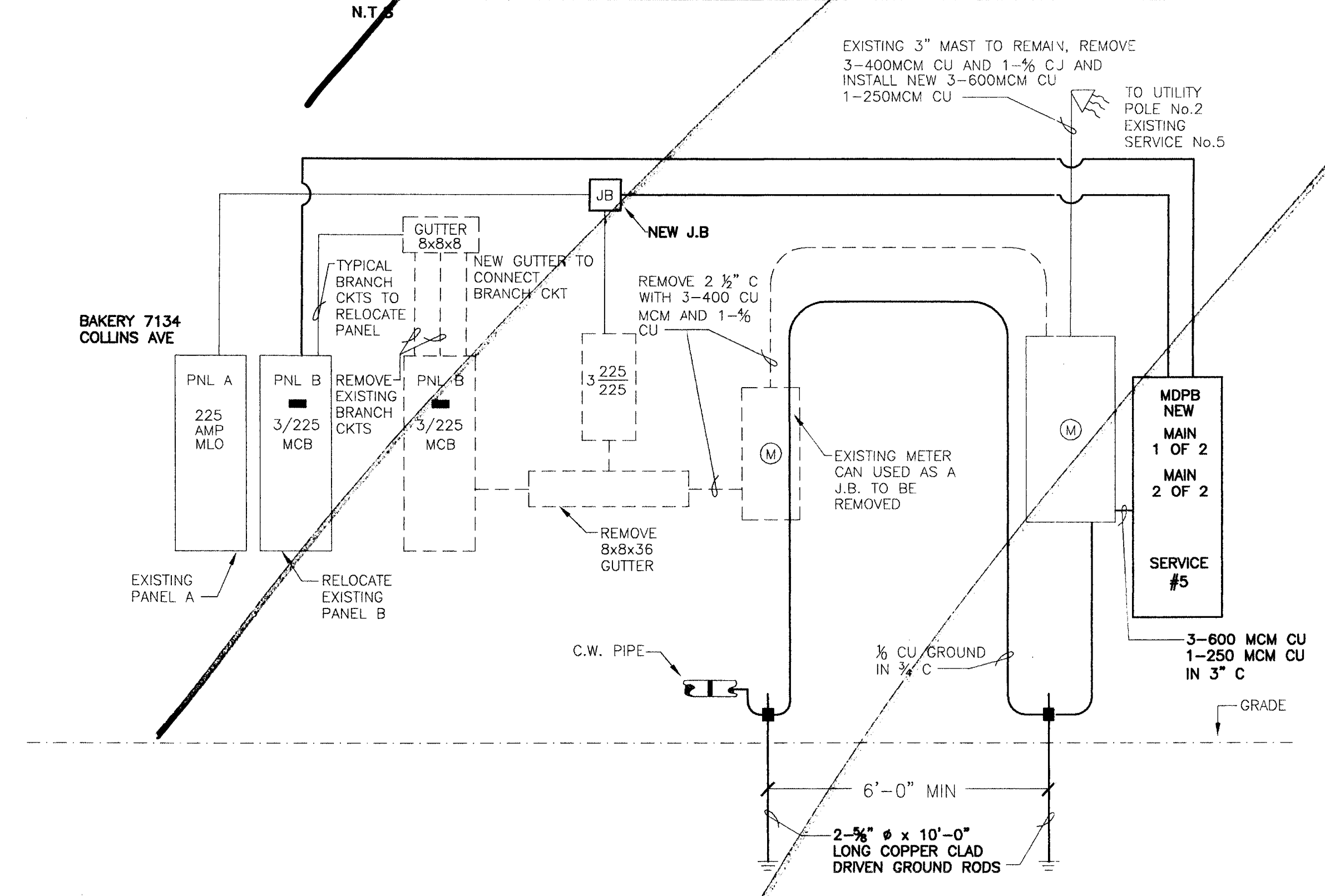


LEGEND	
---	TO BE REMOVED
---	EXISTING
---	NEW



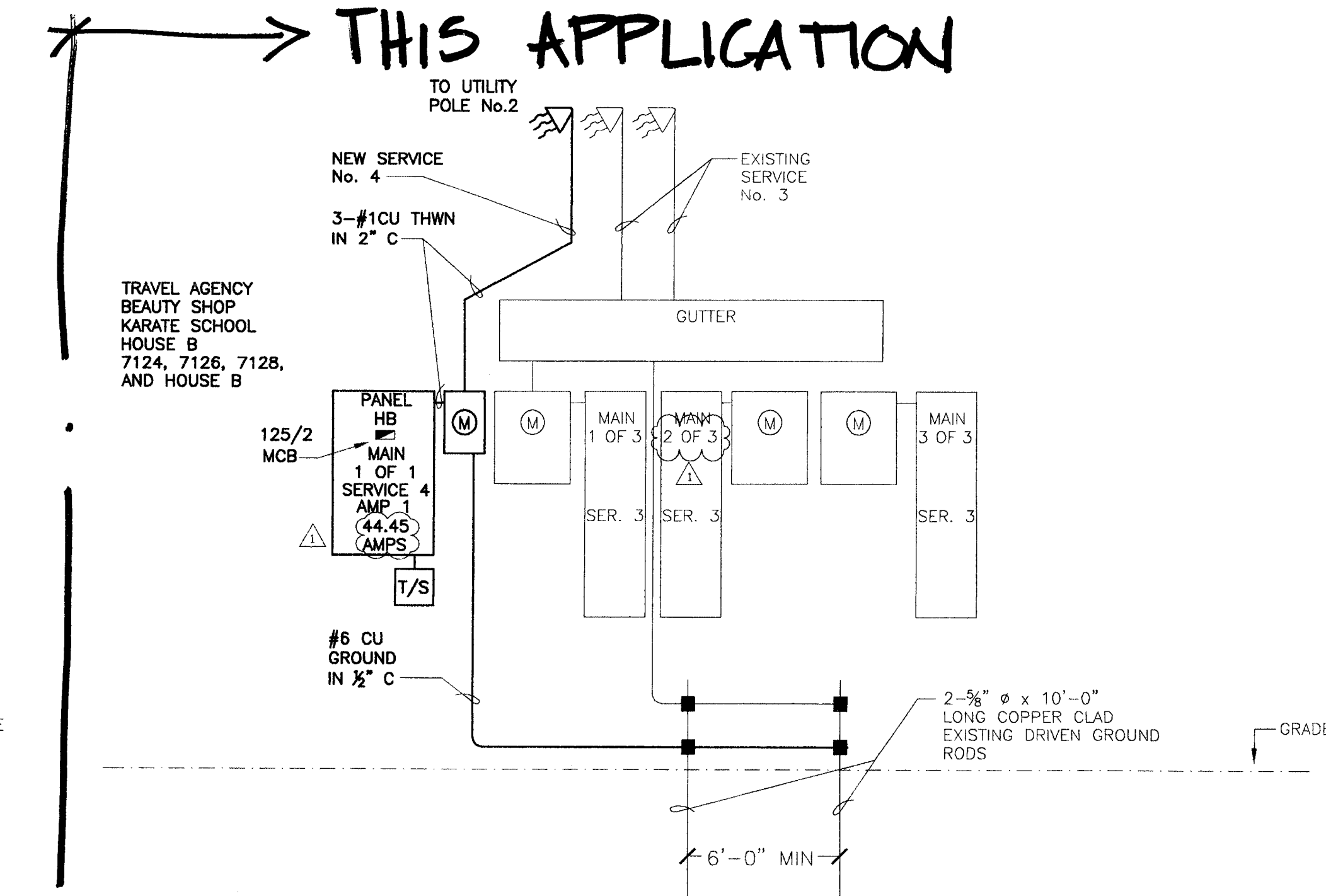
**ELECTRICAL RISER DIAGRAM No.1 (SERVICE No.1 AND SERVICE No.2)**

N.T.S



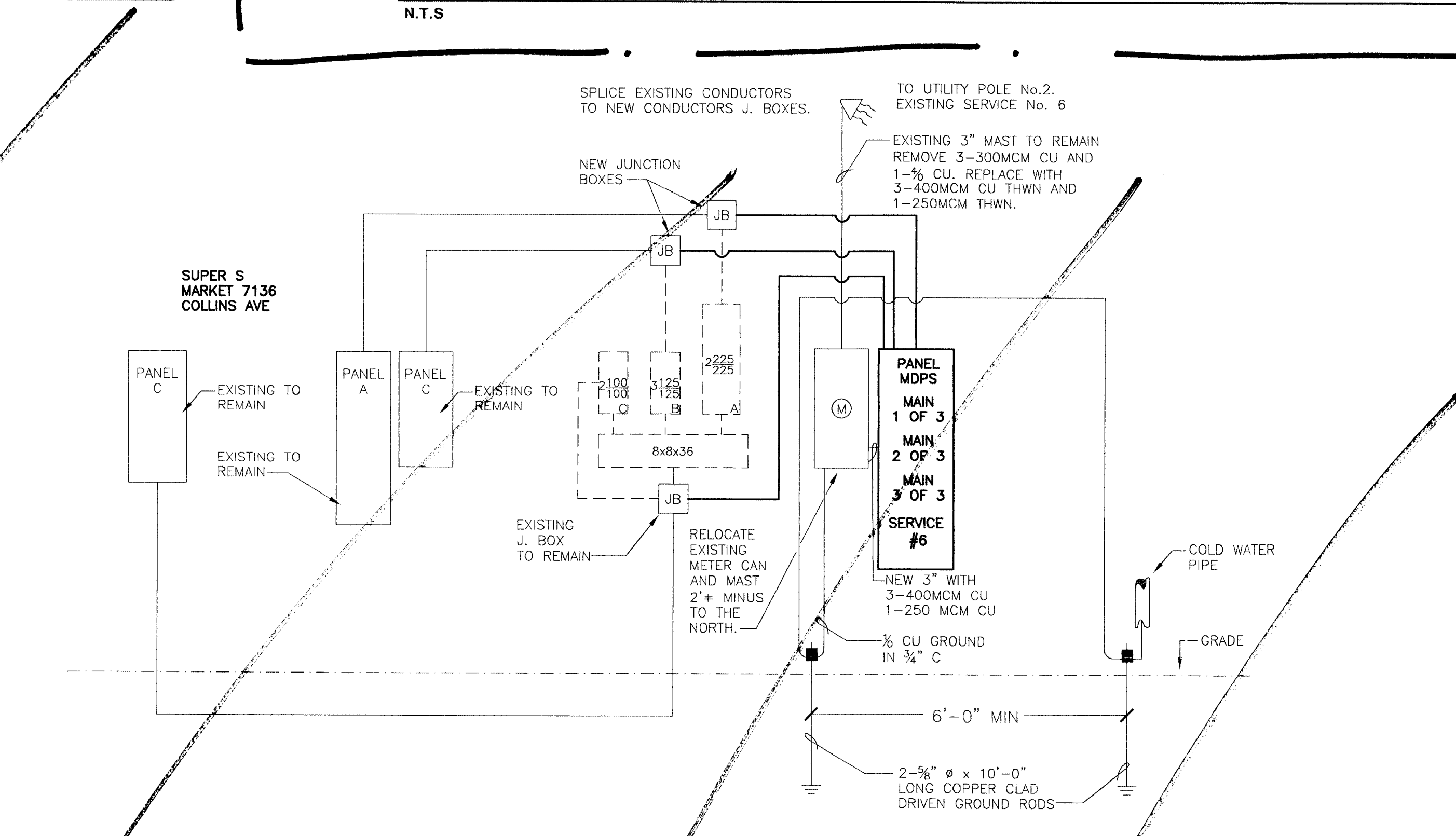
**ELECTRICAL RISER DIAGRAM No.3 (SERVICE No.5)**

N.T.S



**ELECTRICAL RISER DIAGRAM No.2 (SERVICE No.3 AND SERVICE No.4)**

N.T.S



**ELECTRICAL RISER DIAGRAM No.4 (SERVICE No.6)**

N.T.S

### ELECTRICAL RISER DIAGRAM NOTES

- THE ELECTRICAL INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF N.E.C.:
  - "CLEARANCE" - NEC 110.26
  - "DEDICATED SPACES" FOR SWITCHBOARDS AND PANEL BOARD INCLUDING SPACE ABOVE THE EQUIPMENT: NEC 110.26(E)
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE GROUNDING WHICH COMPLIES WITH THE CODE AND INSPECTION AUTHORITY.
- THE E.C. SHALL INSTALL ELECTRICAL DEVICES AND EQUIPMENT TO WITHSTAND THE SHORT CIRCUIT CURRENTS AVAILABLE. THE CURRENT PROTECTIVE DEVICE RATING FOR EQUIPMENT SHALL BE VERIFIED PRIOR TO BID.

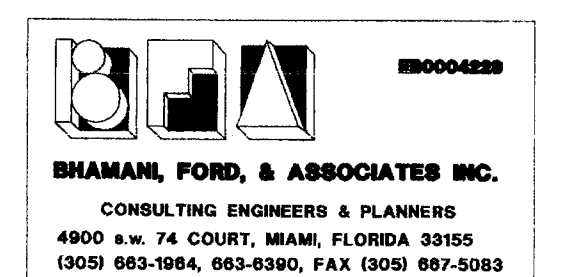
### TIME SWITCH NOTES

- TIME SWITCH SHALL BE AS MANUFACTURED BY INTERMATIC (7 DAY-24 HOUR) T77402B
- TIME SWITCH SHALL BE OVER RIDDEN BY A PHOTO ELECTRIC CELL.

RICHARDS CAPITAL LTD. BFA-JOB 08090  
EXTERIOR IMPROVEMENTS

*Signature*  
5-7-07

THOMAS H. MAXWELL JR., P.E.  
FLORIDA P.E. LICENSE NO. 10190



Project: 2561  
EXTERIOR IMPROVEMENTS  
7118-36 COLLINS AVE  
MIAMI BEACH, FLORIDA

Sheet: E-3 OF 5

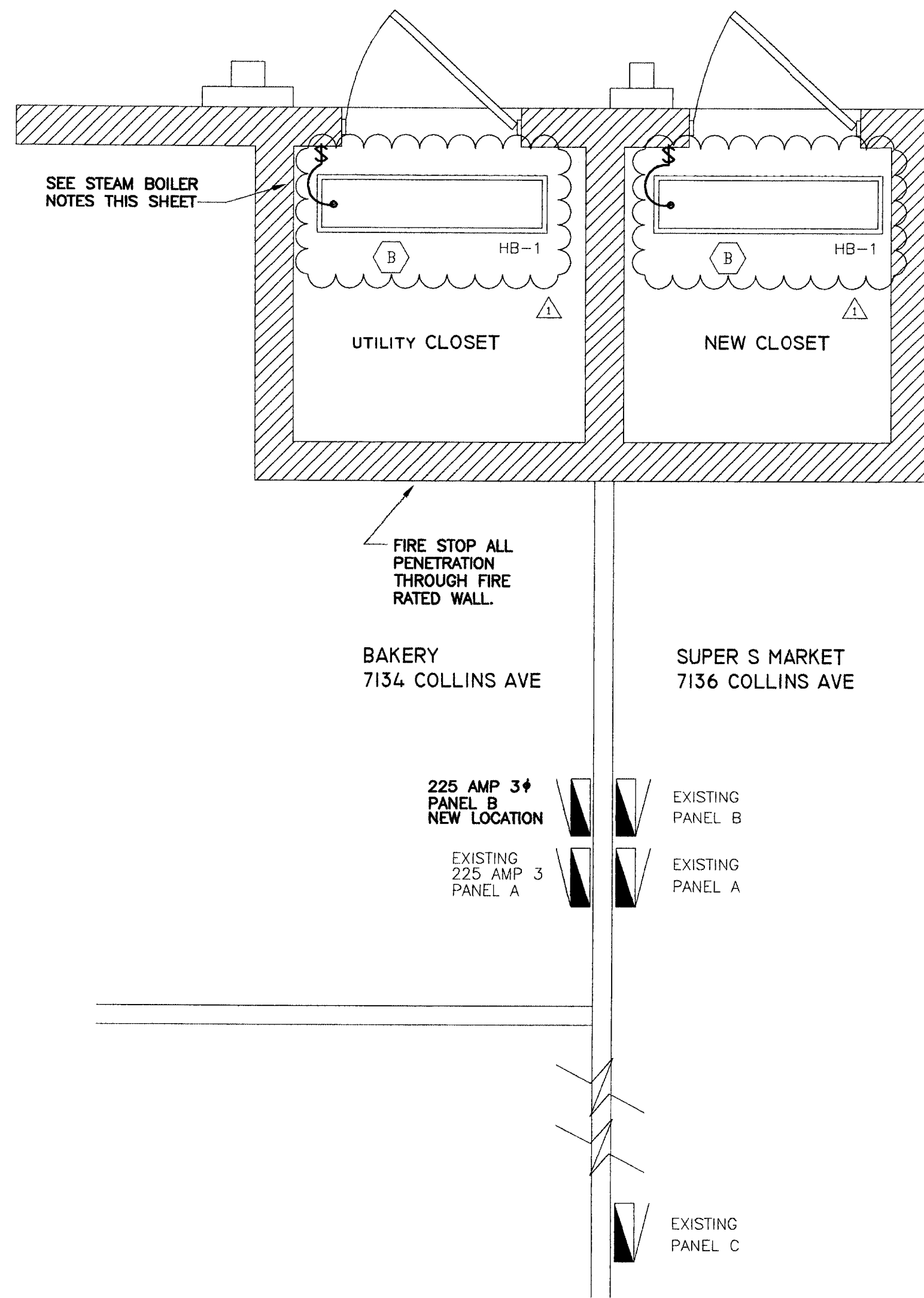
Client: RICHARDS CAPITAL LTD.  
7118-36 COLLINS AVE  
MIAMI BEACH, FLORIDA 33155  
305-794-4145  
CONTACT: VICTOR RICHARDS

Revised: 1 MAY 2007  
Date: 24 JAN 2007

Revised: 1 MAY 2007  
Date: 24 JAN 2007

GROUP ARCHITECTS  
7855 SW 181 STREET  
MIAMI, FL 33156  
P: 305-595-1422  
F: 305-595-1422

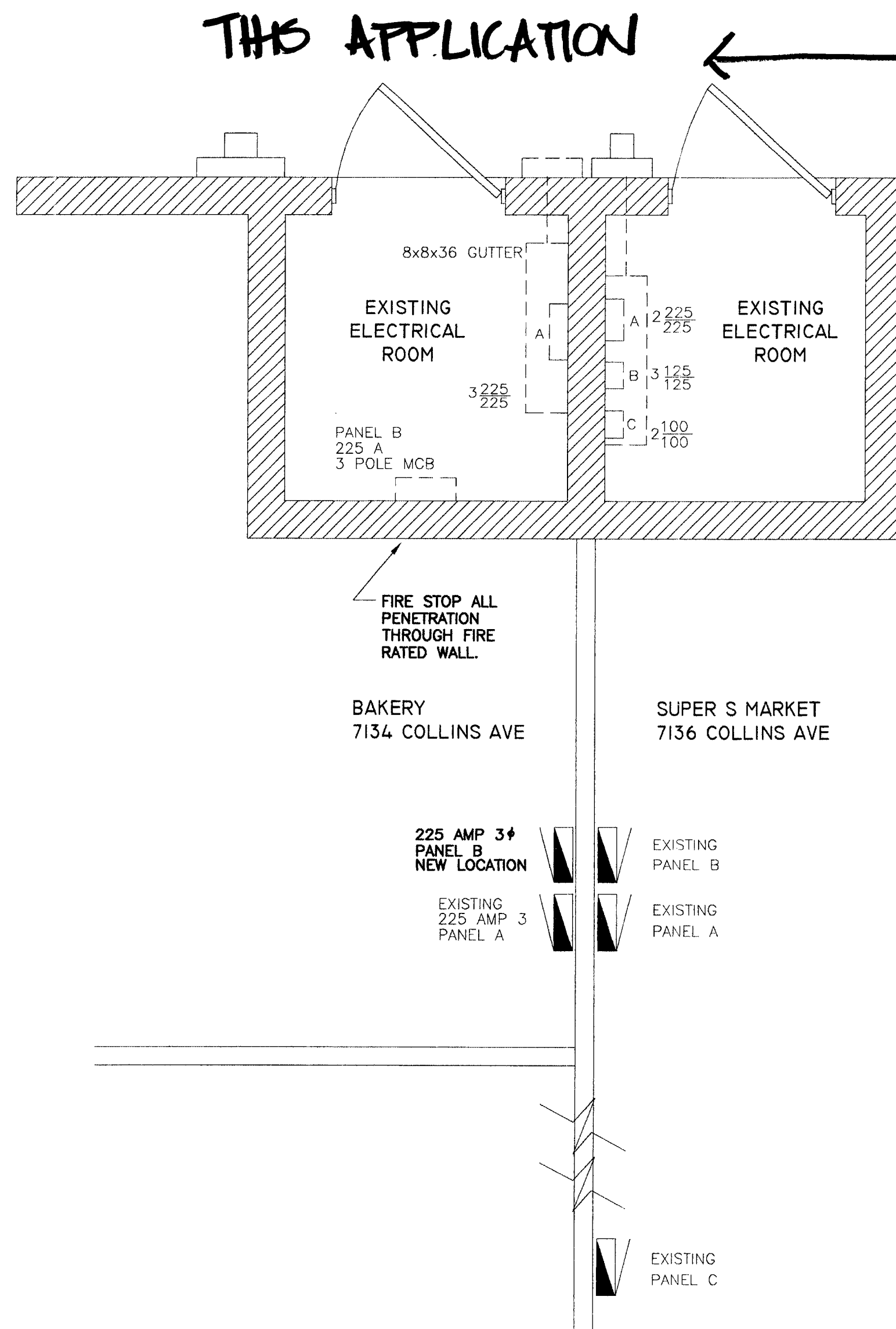




**NEW CLOSET PLAN**  
SCALE 1/2" = 1'- 0"

#### RELOCATION OF CONDENSING UNIT NOTES

- FOUR SLAB ON GRADE CONDENSING UNITS SHALL BE REMOUNTED ON STEEL FRAMES SECURED TO THE EXTERIOR WALL AT +10'-0" PLUS OR MINUS ABOVE FINISHED GRADE.
  - THE FOUR CONDENSING UNITS ARE AS FOLLOWS:
- | CONDENSING UNIT DESIGNATION | MINIMUM CIRCUIT AMPACITY | MAX. AMPERAGE OVER CURRENT PROTECTION DEVICE |
|-----------------------------|--------------------------|--|
| CU-1                        | 24.20                    | 40/2   |
| CU-2                        | 39.00                    | 60/2   |
| CU-3                        | 33.10                    | 50/2   |
| CU-4                        | 35.00                    | 60/2   |
- THE CONTRACTOR SHALL RELOCATE THE CONDENSING UNITS AND DISCONNECTING MEANS ADJACENT TO THE NEW LOCATION OF THE CONDENSING UNITS. THE CONTRACTOR SHALL EXTEND THE BRANCH CIRCUITS.



**ELECTRIC ROOM DEMOLITION PLAN**  
SCALE 1/2" = 1'- 0"

#### ELECTRICAL CALCULATIONS

##### I. PANEL HA

DESCRIPTION	LOADS
1. LIGHTING	0.18 KVA
2. SIGN	6.00 KVA
3. +25% LIGHTING LOAD	1.54 KVA
4. RECEPTACLES	1.26 KVA
5. SPARE	3.00 KVA

6. TOTAL 11.98 KVA  
 $\frac{11.98 \text{ KVA} \times 1000}{240 \text{ V}} = 49.90 \text{ AMPS}$

##### I. PANEL HB

DESCRIPTION	LOADS
1. LIGHTING	0.61 KVA
2. SIGN	3.00 KVA
3. +25% LIGHTING LOAD	0.90 KVA
4. RECEPTACLES	1.44 KVA
5. SPARE	3.00 KVA
6. INSTANT WH-1	2.40 KVA
7. FCU-1 & CUF-1	1.72 KVA

8. TOTAL 13.06 KVA  
 $\frac{13.06 \text{ KVA} \times 1000}{240 \text{ V}} = 54.42 \text{ AMPS}$

**PANEL HA** (7118, 7122 COLLINS AVE) 120/240/1/60 NEMA 3R  
125 AMP SERVICE ENTRANCE RATED  
125 AMP MCB

SIEMENS: P1 B 18B125 CSB

KVA	TRIP POLE	CON DUIT	WIRE	DESCRIPTION	CKT		CKT	DESCRIPTION	WIRE	CON DUIT	TRIP POLE	KVA
0.18	20/1	1/2	12	LIGHTING VIA T.S.	1	X	2	SIGN VIA T.S.	12	1/2	20/1	1.5
6.00	20/1	1/2	12	RECEPTACLES	3	X	4	SIGN VIA T.S.	12	1/2	20/1	1.5
1.5	20/1	-	-	SPARE PROVISIONS	5	X	6	SPARE PROVISIONS	-	-	20/1	1.5
					7	X	8					
					9	X	10					
					11	X	12					
					13	X	14					
					15	X	16					
					17	X	18					

MAIN BREAKER SHALL BE QJH2(42000 A/C)  
 SERIES RATED- OTHER BREAKERS SHALL BE 10,000 AIC

**PANEL HB** (7124,7126,7128,7134,AND 7136 COLLINS AVE) 120/240/1/60 NEMA 3R  
125 AMP SERVICE ENTRANCE RATED  
125 AMP MCB

SIEMENS: P1 18B125 CSB

KVA	TRIP POLE	CON DUIT	WIRE	DESCRIPTION	CKT		CKT	DESCRIPTION	WIRE	CON DUIT	TRIP POLE	KVA
0.18	20/1	1/2	12	LIGHTING VIA T.S.	1	X	2	SIGN	12	1/2	20/1	1.5
1.5	20/1	1/2	12	SIGN	3	X	4	SIGN	12	1/2	20/1	1.5
1.5	20/1	1/2	12	SIGN	5	X	6	RECEPTACLES	12	1/2	20/1	1.5
1.2	20/1	1/2	12	RECEPTACLES	7	X	8	DUMPSTER ROOM	12	1/2	15/2	1.72
1.5	20/1	-	-	SPARE	9	X	10	CUF-1	10	1/2	25/1	2.40
1.5	20/1	-	-	SPARE	11	X	12	INSTANT WATER HEATER-1	10	1/2	25/1	2.40
				PROVISIONS	13	X	14	PROVISIONS				
					15	X	16					
					17	X	18					

MAIN BREAKER SHALL BE QJH2(42000 A/C)  
 SERIES RATED- OTHER BREAKERS SHALL BE 10,000 AIC

**PANEL MDPB** (BAKERY 7134 COLLINS AVE) 120/240/3/60 NEMA 3R  
400 AMP SERVICE ENTRANCE RATED  
MLO

SIEMENS: P2 B 18L400 CSB

KVA	TRIP POLE	CON DUIT	WIRE	DESCRIPTION	CKT		CKT	DESCRIPTION	WIRE	CON DUIT	TRIP POLE	KVA
*	225/3	2	4-1/0	PANEL A	1	X	2	PANEL B	4-1/0	2	225/3	*
					3	X	4					
				PROVISIONS	5	X	6	PROVISIONS				
					7	X	8					
					9	X	10					
					11	X	12					
					13	X	14					
					15	X	16					
					17	X	18					

\* EXISTING LOAD  
 NO ADDITIONAL LOAD

MAIN BREAKER SHALL BE QJH2(42000 A/C)

**PANEL MDPS** (SUPER S MARKET 7136 COLLINS AVE) 120/240/3/60 NEMA 3R  
400 AMP SERVICE ENTRANCE RATED  
MLO

SIEMENS: P2 18L400 CSB

KVA	TRIP POLE	CON DUIT	WIRE	DESCRIPTION	CKT		CKT	DESCRIPTION	WIRE	CON DUIT	TRIP POLE	KVA
125/3	2	4-1/0		PANEL B	1	X	2	PANEL A	3-1/0	2	225/3	*
					3	X	4					
				PROVISIONS	5	X	6	SPARE	-	-	20/1	-
					7	X	8	PANEL C	1-1/4	-	100/2	*
					9	X	10					
					11	X	12	PROVISIONS				
					13	X	14					
					15	X	16					
					17	X	18					

\* EXISTING LOAD  
 NO ADDITIONAL LOAD

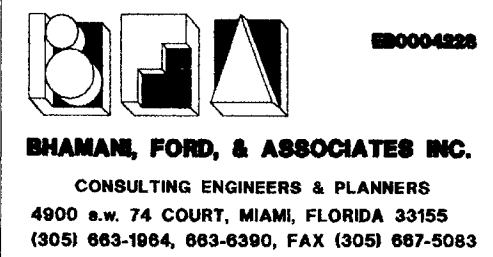
MAIN BREAKER SHALL BE QJH2(42000 A/C)

THIS APPLICATION

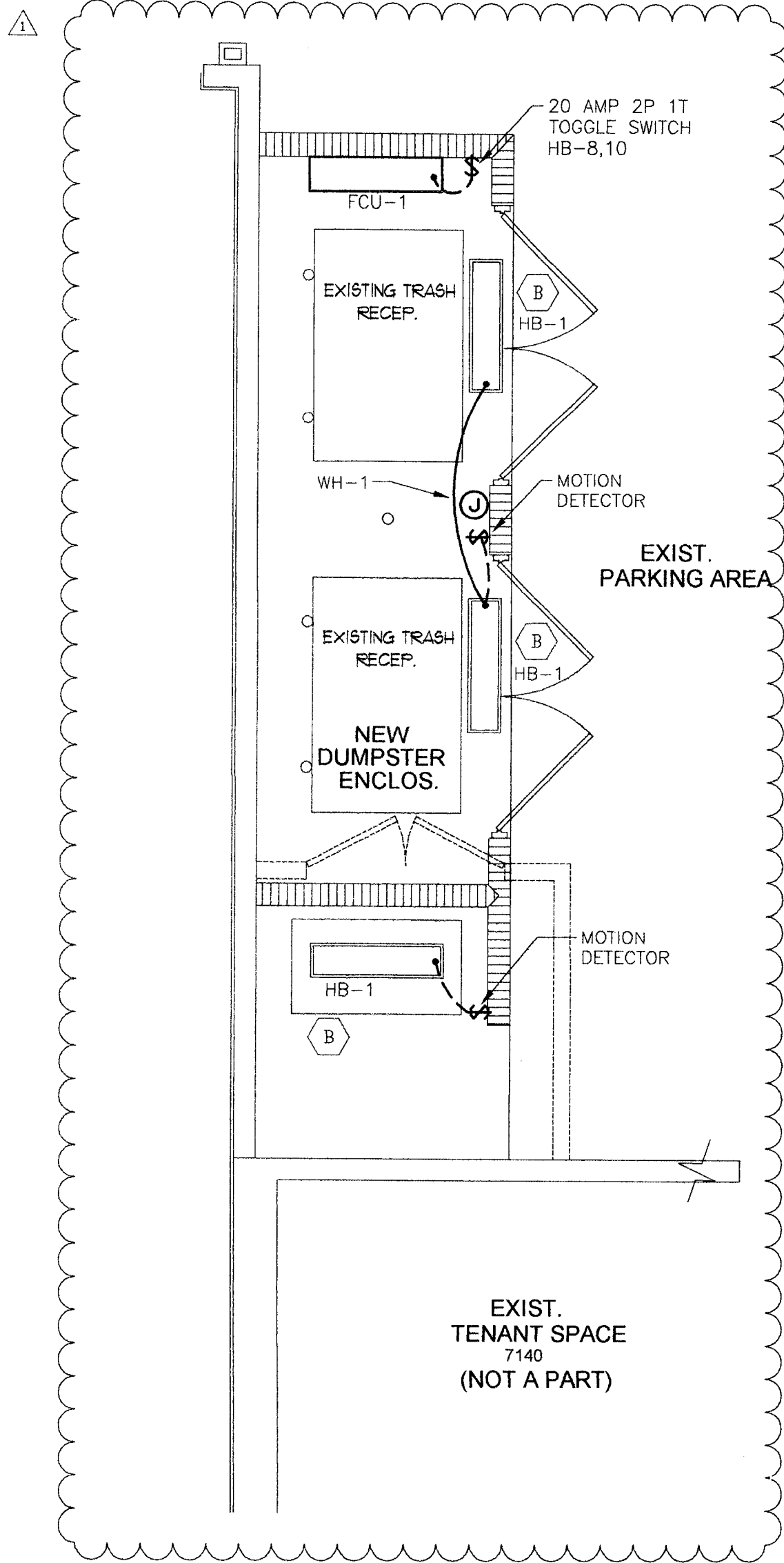
RICHARDS CAPITAL LTD. BFA-JOB 06090  
 EXTERIOR IMPROVEMENTS

*Handwritten signature*  
 5-7-07

THOMAS H. MAXWELL JR., P.E.  
 FLORIDA P.E. LICENSE No. 10150







DUMPSTER ENCLOSURE ENLARGED FLOOR PLAN  
SCALE: 1/4" = 1'-0"

LIGHTING FIXTURE SCHEDULE								
MARK	APPLICATION	DESCRIPTION	MANF.	PART NUMBER	LAMP		MTG	REMARKS
					MODEL NUMBER	LOAD	VOLTS	
B	DUMPSTER & GREASE ROOMS	2 TUBE FIXTURE WITH LENS	LIGHTOLIER	S14WA232 UNVHGLR	32W T8	2	59 120	SURFACE WALL CONTROLLED BY MOTION DETECTOR

### GENERAL ELECTRICAL NOTES

1. THE ABBREVIATION E.C. USED HENCEFORTH IN THIS GENERAL ELECTRICAL SPECIFICATION AND IN OTHER SPECIFICATIONS IN THE CONTRACT DOCUMENTS SHALL BE CONSTRUED TO MEAN ELECTRICAL CONTRACTOR.
2. THE GENERAL CONDITIONS OF THE CONTRACT, CURRENT EDITION, PUBLISHED IN STANDARD FORM BY THE AMERICAN INSTITUTE OF ARCHITECTS SHALL BE PART OF THIS CONTRACT.
3. ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, OSHA, AND ALL STATE AND LOCAL CODES THAT APPLY.
4. THE E.C. SHALL TAKE OUT PERMITS, PROCURE CERTIFICATES AND PAY ALL FEES ASSOCIATED WITH THE WORK. THE E.C. SHALL BE RESPONSIBLE FOR MAKING ALL INSPECTIONS AND TESTS.
5. THE DRAWINGS ARE DIAGRAMMATIC AND INTENDED TO SHOW APROXIMATE LOCATIONS. THE E.C. SHALL NOT SCALE THE DRAWINGS.
6. BIDDERS SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL CONDITIONS ASSOCIATED WITH THE WORK.
7. IT SHALL BE THE RESPONSIBILITY OF THE E.C. FOR THE ADVANCE ORDERING OF LONG LEAD ITEMS SO AS NOT TO DELAY OTHER TRADES RESULTING IN ANY DOWN OR LAG TIME.
8. THE E.C. SHALL FURNISH ALL EQUIPMENT, LABOR, MATERIALS AND SUPERVISION TO INSTALL ALL COMPLETE AND PROPERLY OPERATING NEW PARKING LIGHTING SYSTEM AS DESCRIBED HEREIN AND AS SHOWN AND/OR NOTED ON THE DRWAINGS.
9. THE E.C. SHALL FURNISH AND INSTALL ALL MINOR ITEMS WHICH ARE, OBVIOUSLY AND REASONABLY NECESSARY TO COMPLETE THE INSTALLATION WHETHER OR NOT SPECIFIED ON THE PLANS.
10. THE E.C. SHALL BE A LICENSED MASTER ELECTRICIAN.
11. WORKMANSHIP SHALL BE FIRST CLASS AS NORMALLY PERFORMED BY JOURNEYMAN ELECTRICIANS.
12. THE E.C. SHALL BE RESPONSIBLE FOR THE FULL COORDINATION OF HIS WORK WITH THAT OF THE GENERAL CONTRACTOR AND OTHER SUBCONTRACTORS TO MUTUALLY AVOID CONFLICT.
13. THE E.C. SHALL VERIFY ALL NOTES AND DIMENSIONS PRIOR TO PROCEEDING WITH THE BID. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ ENGINEER.
14. THE E.C. SHALL TOUCH UP OR REFINISH THE FACTORY FINISH OF EQUIPMENT MARRED DURING SHIPMENT OR INSTALLATION. THE E.C. IS RESPONSIBLE TO REPAIR TO ORIGINAL CONDITION OR REPLACE ANY AND ALL DAMAGE TO BUILDING SURFACES, EQUIPMENT AND FURNISHINGS CAUSED DURING PERFORMANCE OF WORK.
15. ALL MATERIALS SHALL BE NEW, OF DOMESTIC MANUFACTURER AND IN COMPLIANCE WITH UNDERWRITERS LABORATORIES' OR OTHER RECOGNIZED TESTING AGENCY UNLESS OTHERWISE SPECIFIED.
16. AT ALL INSPECTIONS MADE EITHER BY A REPRESENTATIVE OF THE BUILDING DEPARTMENT OR BY THE ARCHITECT OR ENGINEER, THE E.C. SHALL PROVIDE A LADDER OR LIFT OF SUFFICIENT SIZE IN ORDER THAT THE INSPECTOR CAN PROPERLY LOOK AT ALL TO BE INSPECTED. THE LADDER SHALL BE IN EXCELLENT ITEMS CONDITION AND BE POSITIONED IN PLACE BY THE E.C. TO MEET ALL OSHA REQUIREMENTS. THE E.C. SHALL ALSO PROVIDE A COMPLETE SET OF CONTRACT DOCUMENTS, AVAILABLE AT THE JOB SITE, AT THE TIME OF INSPECTION. THE CONTRACT DOCUMENTS SHALL INCLUDE:
  - A. WORKING DRAWINGS
  - B. SPECIFICATION
  - C. ALL APPROVED SHOP DRAWINGS
  - D. ALL ADDENDA, CHANGE ORDER AND CORRESPONDENCE.

IF A LADDER OR LIFT AND CONTRACT DOCUMENTS ARE NOT AVAILABLE AT THE TIME OF INSPECTION, THE E.C. SHALL PAY THE ARCHITECT OR THE ENGINEER FOR THE VISIT TO THE SITE AND A NEW INSPECTION TIME SHALL BE AGREED UPON.

17. IN THE EVENT THAT THERE IS A CONFLICT BETWEEN THE CONTRACT DOCUMENTS AND THE CODE, THE CODE SHALL TAKE PRECEDENCE. THE E.C. SHALL STUDY THE CONTRACT DOCUMENTS AND SUBMIT A BID BASED ON WORK WHICH COMPLIES WITH ALL CODE REQUIREMENTS. ANY CONFLICTS BETWEEN THE CONTRACT DOCUMENT AND THE CODE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO BID. THE COST OF ANY WORK WHICH ARISES OUT OF ANY CHANGES DUE TO THE CODE SHALL BE PAID BY THE ELECTRICAL CONTRACTOR.
18. ALL EQUIPMENT EXPOSED TO THE WEATHER SHALL BE NEMA 3R (RAINTIGHT) WHETHER OR NOT SPECIFIED ON THE PLANS.
19. THE E.C. SHALL THOROUGHLY CLEAN ALL ELECTRICAL EQUIPMENT.

### ARC FLASH HAZZARD NOTES

1. ALL ELECTRICAL EQUIPMENT SUCH AS PANEL BOARDS AND SWITCH BOARDS, SHALL HAVE SIGNAGE ATTACHED TO THEM TO WARN QUALIFIED PERSONS OF POTENTIAL ELECTRIC ARC FLASHING HAZZARDS IN ACCORDANCE WITH N.E.C. 110.16 FLASH PROTECTION.
2. THE SIGNAGE SHALL BE MADE OF PHENOLIC LABELS RIVETED OR SCREWED TO THE COVERS. LETTERS SHALL BE 1/2" INHEIGHT ENGRAVED ON THE PLATE.

### BONDING NOTE

1. THE ELECTRICAL CONTRACTOR SHALL BOND ALL ELECTRICAL EQUIPMENT.
2. IN ADDITION THE FOLLOWING ITEMS SHALL BE BONDED:
  - a. METAL DUCT WORK.
  - b. WATER PIPING
  - c. SANITARY PIPING
  - d. REFRIGERANT LINES
  - e. METAL BARJOISTS
  - f. OTHER METAL ITEMS AS PER N.E.C. ARTICLE 250-104

### AS BUILT DRAWING NOTES

1. THE CONTRACTOR SHALL PROVIDE AS BUILT DRAWINGS THAT COMPLY WITH THE FLORIDA BUILDING CODE, CHAPTER 13. AS FOLLOWS:  
13-413.1.ABC.2 COMPLETION REQUIREMENTS. 13-413.1.ABC.2.1 DRAWINGS. CONSTRUCTION DOCUMENTS SHALL REQUIRE THAT WITHIN 30 DAYS AFTER THE DATE OF SYSTEM ACCEPTANCE, RECORD DRAWINGS OF THE ACTUAL INSTALLATION SHALL BE PROVIDED TO THE BUILDING OWNER, INCLUDING:

### ELECTRICAL PANEL NOTES

1. THE PANELS SHALL BE EQUIPPED WITH A SEPARATE NEURAL BAR AND A SEPARATE EQUIPMENT GROUND BAR.
2. PANEL INTERIOR SHALL BE PROTECTED FROM PAINT AR OTHER CONTAMINANTS ON CURRENT CARRYING PARTS OF PANEL INTERIORS SHALL BE CONSIDERED DEFECTIVE AND REPLACEMENT SHALL BE REQUIRED.
3. PRIOR TO THE INSTALLATION OF ROUGH ELECTRIC WIRING CHECK NAME PLATE DATA, THE ROOM A/C UNIT AND OTHER EQUIPMENT TO OBTAIN CORRECT WIRE SIZE AND OVER CURRENT PROTECTION, SUBJECT TO ELECTRICAL INSPECTION.
4. THE PANEL SCHEDULE SHOWN ON THE DRAWINGS ARE FOR THE CONTRACTORS CONVENIENCE. EQUIPMENT AND MATERIALS ARE NOT LIMITED TO ITEMS INDICATED. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY QUANTITIES AND LOCATIONS, ETC. ON A COMPLETE SET OF CONTRACT DOCUMENTS. ADDITIONAL DATA SHOWN ELSEWHERE ON THE PLANS SHALL BE CONSIDERED IN MATERIAL AND EQUIPMENT SELECTION.
5. ELECTRICAL PANELS SHALL BE PHASED TO BALANCE THE LOAD IN RELATION TO THE NEUTRAL.
6. THE ELECTRICAL PANELS AND BREAKERS MUST BE COMPATIBLE. THE BRAND NAME OF THE BREAKERS SHALL BE THE SAME BRAND AS THE PANEL.
7. THE ELECTRICAL CONTRACTOR SHALL INSTALL ONE CONDUCTOR PER BREAKER.
8. WHERE PVC CONDUIT IS USED THE ELECTRICAL CONTRACTOR SHALL INSTALL A BOND WIRE AS PER N.E.C.
9. CIRCUIT BREAKERS SHALL BE OF SUCH DESIGN THAT ANY ALTERATION OF ITS TRIP POINT (CALIBRATION) OR THE TIME REQUIRED FOR ITS OPERATION WILL REQUIRE DISMANTLING OF THE DEVICE OR BREAKING OF A SEAL FOR OTHER THAN FOR INTENDED ADJUSTMENTS AS PER N.E.C. 24082 NON-TAMPERABLE.
10. CONDUCTOR TERMINAL SHALL HAVE LABELS INDICATING TERMINAL TEMPERATURE RATINGS.

### CONDUIT NOTES

1. ALL ELECTRICAL CONDUIT SHALL BE AS FOLLOWS:
  - A. CONDUIT EXPOSED TO THE WEATHER AND OR SUBJECT TO PHYSICAL DAMAGE.
    1. METAL.
    - a. I.M.C.
    - b. CONNECTORS APPROVED FOR THE PURPOSE INTENDED.
  - B. CONDUIT INSTALLED ON THE INTERIOR.
    1. E.M.T.
    2. CONNECTORS SHALL BE FOR THE PURPOSE INTENDED.
  - C. CONDUIT ENDS AT CABINETS, ETC. SHALL HAVE APPROVED LOCKNUTS AND BUSHINGS FOR THE PURPOSE INTENDED WHERE APPLICABLE.
  - D. ALL E.M.T. CONNECTIONS TO BOXES, SWITCHES AND FIXTURES SHALL BE MADE WITH APPROVED THREADLESS TYPE FITTINGS WHERE APPLICABLE FOR THE PURPOSE INTENDED.
2. ALL CONDUIT EXPOSED TO WEATHER MUST BE WEATHERPROOF.
3. EXPOSED RACEWAYS SHALL HAVE NEAT APPEARANCE AND BE PROPERLY ALIGNED AND SUPPORTED.
4. A PULL CORD SHALL BE INSTALLED IN ALL EMPTY CONDUITS.
5. THE E.C. SHALL SWAB AND / OR BLOW OUT, AND CLEAN ALL TRAPPED RUNS BEFORE PULLING CONDUCTORS.
6. WHERE CORE DRILLING OF WALLS IS REQUIRED, THE GENERAL CONTRACTOR SHALL SEAL OPENINGS WATERTIGHT AFTER CONDUCTORS HAVE BEEN INSTALLED. LOCATION OF CORED HOLES SHALL COORDINATE WITH LOCATION OF EQUIPMENT IN A MANNER TO BE CLEAN AND FUNCTIONAL. THE E.C. SHALL INSTALL ONLY ONE CONDUIT PER HOLE AND SEAL THE OPENINGS AROUND THE CONDUIT.
7. WHERE CONDUIT, CABLE, BOXES, ETC. PENETRATE FIRE RATED WALLS, CEILINGS, OR FLOORS, PROVIDE FIRE STOPPING AS AS PER DETAIL.

### EQUIPMENT IDENTIFICATION NOTES.

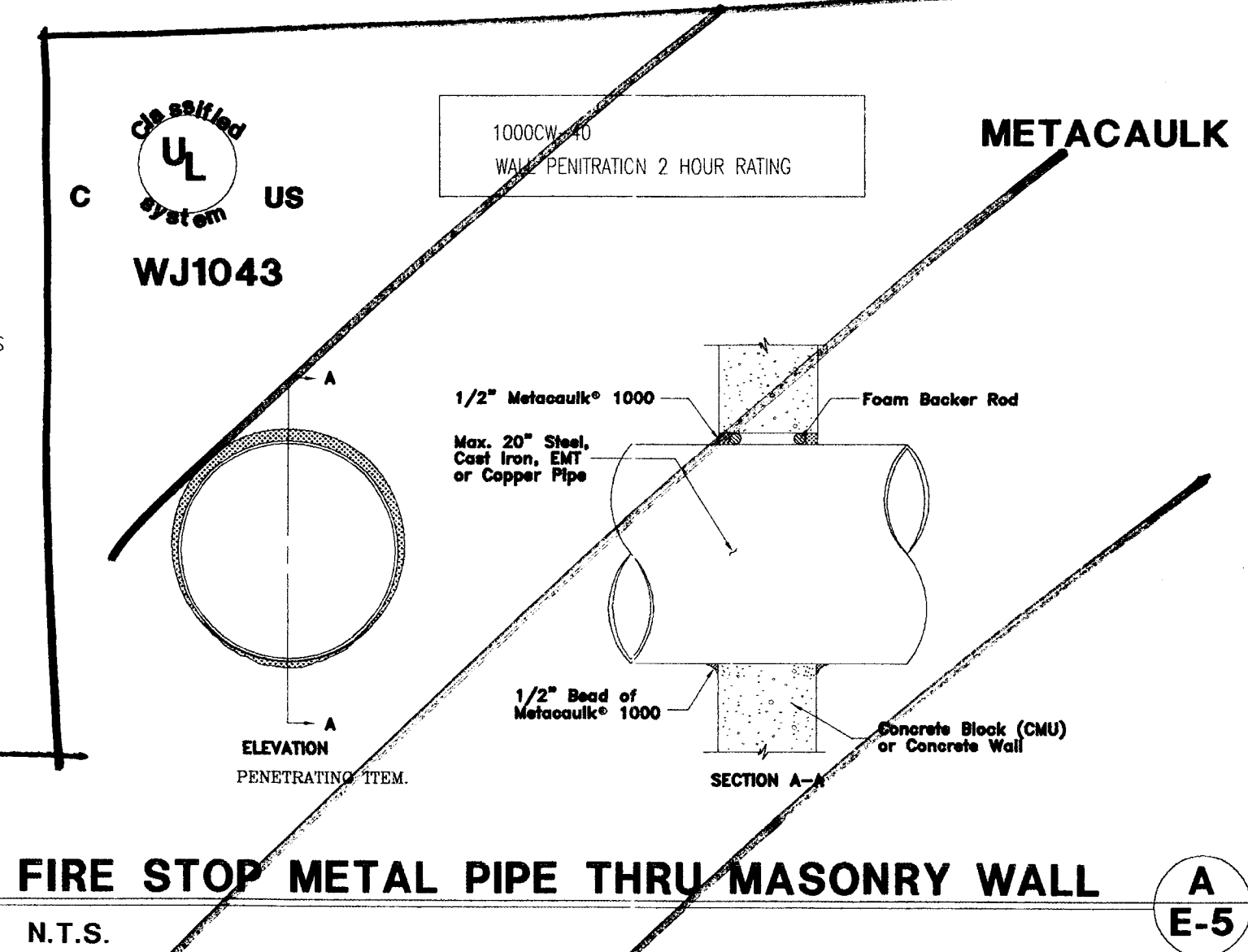
1. THE ELECTRICAL CONTRACTOR SHALL IDENTIFY ALL EQUIPMENT SUPPLIED. THE IDENTIFICATION SYSTEM USED SHALL CORRESPOND TO THE IDENTIFICATION INDICATED ON THE CONTRACT DOCUMENTS.
2. IDENTIFICATION NAME PLATES SHALL BE PHENOLIC LABELS SHALL BE PHENOLIC LABELS RIVETED OR SCREWED ON, THE LETTERS SHALL BE 1/2" IN HEIGHT. ENGRAVED ON THE PLATE.
3. IDENTIFICATION NAME PLATES SHALL BE MOUNTED ON THE EXTERIOR OF PANEL BOARDS, METER SOCKET AND DISCONNECTING MEANS.
4. METER IDENTIFICATION: ( EXAMPLE )  
METER # 1 OF ( X ) METERS. THIS METER FEEDS PANEL # ( X ) IN (NAME OF STORE OR SPACE).
5. PANEL IDENTIFICATION: ( EXAMPLE )  
PANEL #1 OF ( ) TOTAL NUMBER OF PANELS IN COMBINED AREA. THIS AREA IS FED BY ( ) METERS FROM METER ROOM # ( )
6. ALL MAINS SHALL BE IDENTIFIED. ( EXAMPLE )  
MAIN # 1 OF ( X ) MAINS.  
METERS FROM METER ROOM # ( )
7. ALL SERVICES SHALL BE IDENTIFIED. ( EXAMPLE )
  - a. SERVICE 1 OF 3
  - b. SERVICE 2 OF 3
  - c. SERVICE 3 OF 3
  - d. ETC.
8. ALL ITEMS OF ELECTRICAL EQUIPMENT ASSOCIATED WITH THE CONTROL OF ELECTRICAL APPARATUS SHALL BE IDENTIFIED (PANELS, DISCONNECT SWITCHES, MOTOR STARTER ETC.) ALL IDENTIFIED MUST CORRESPOND TO THE IDENTIFICATION INDICATED ON THE CONTRACT DOCUMENTS. THE E.C. SHALL MAKE CERTAIN THAT THE SAME NOMENCLATURE IS USED TO IDENTIFY THE EQUIPMENT AS IS ON THE TYPEWRITTEN PANEL SCHEDULE.
9. THE E.C. SHALL PROVIDE A TYPEWRITTEN PANEL SCHEDULE FOR ALL EXISTING AND NEW PANELS.

### CONDUCTOR NOTES

1. FEEDER SHALL NOT EXCEED A VOLTAGE DROP OF NOT MORE THAN 2% OF DESIGN LOAD IN ACCORDANCE WITH FBC 13-413.1.ABC.1.1
2. BRANCH CIRCUIT SHALL NOT EXCEED A VOLAGE DROP OF NOT MORE THAN 3% OF DESIGN LOAD IN ACCORDANCE WITH FBC 13-413.1.ABC.1.2
3. THE TOTAL VOLTAGE DROP SHALL NOT EXCEED 5%.
4. ALL BRANCH CIRCUITS WIRING SHALL BE COPPER THHN/THWN AS FOLLOWS:  
20 AMP BREAKER- #12 UP TO 100' ONE WAY, #10 UP TO 250'  
30 AMP BREAKER- #10 UP TO 100' ONE WAY, #8 UP TO 250'
5. ALL CONDUCTORS SHALL BE COPPER THW, 600 V. #10 AND SMALLER SHALL BE SOLID. THE E.C. SHALL USE THHN/THWN.
6. THE E.C. SHALL USE A CONSISTENT COLOR CODING SYSTEM THROUGHOUT THE WORK.
7. THE ELECTRICAL CONTRACTOR SHALL INSTALL CONDUCTORS ONLY AFTER THE ROUGH WORK OF ALL OTHER TRADES IS COMPLETE.

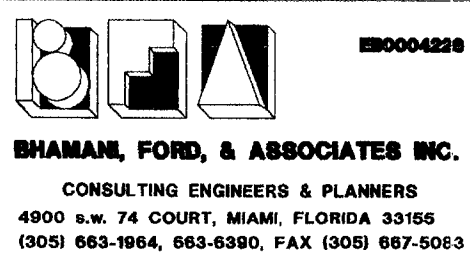
### TELEPHONE SERVICE NOTES

1. THE OVERHEAD TELEPHONE SERVICE SHALL BE REMOVED AND NEW UNDERGROUND TELEPHONE SERVICE INSTALLED.
2. THE CONTRACTOR SHALL COORDINATE WITH:  
BELLSOUTH TELECOMMUNICATIONS INC.  
ROOM 336  
600 N.W. 79 AVENUE  
MIAMI, FLORIDA 33126  
BUILDING INDUSTRY CONSULTANT (BIC)  
ALEX DE ARMAS  
305-260-8242
3. THE CONTRACTOR SHALL COORDINATE WITH THE DRAWINGS SUPPLIED BY BELLSOUTH.

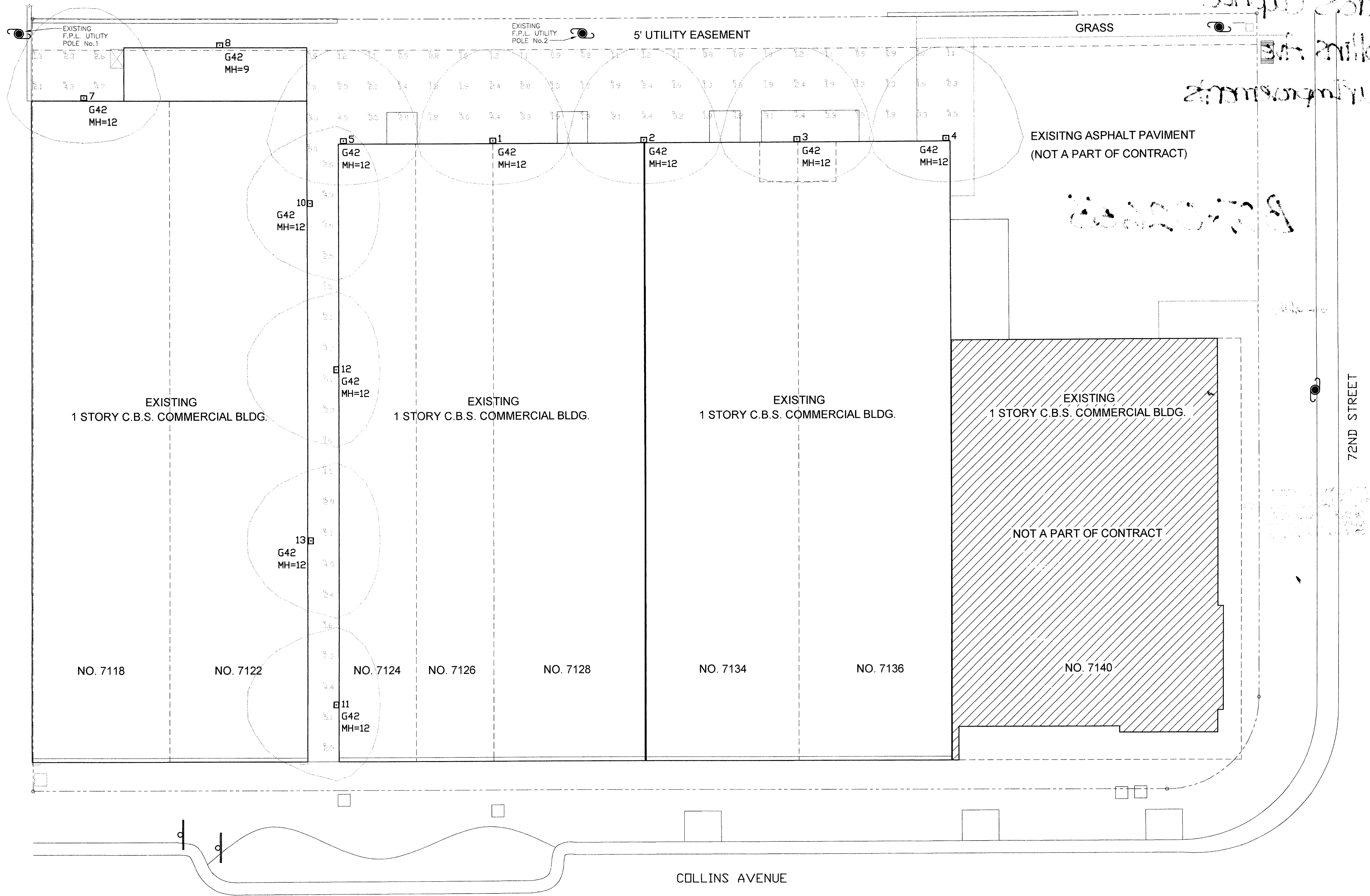


RICHARDS CAPITAL LTD. BFA-JOB 06090  
EXTERIOR IMPROVEMENTS

THOMAS H. MAXWELL JR., P.E.  
FLORIDA P.E. LICENSE NO. 10150







LUMINAIRE LOCATION SUMMARY						
PROJECT: RICHARDS CAPITAL LTD.						
SEQ. No.	LABEL	X	Y	Z	ORIENT	Tilt
1	G42	105.032	137.292	12	90	0
2	G42	129.847	137.292	12	90	0
3	G42	154.92	137.292	12	90	0
4	G42	179.347	137.292	12	90	0
5	G42	80.476	137.292	12	90	0
7	G42	37.835	144.16	12	90	0
10	G42	79.212	127.08	12	180	0
11	G42	79.212	45.558	12	180	0
13	G42	79.212	72.251	12	180	0
12	G42	79.212	100.026	12	180	0
8	G42	60.128	152.756	9	90	0

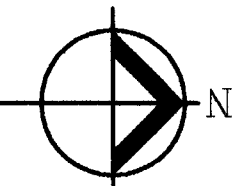
LUMINAIRE SCHEDULE						
PROJECT: RICHARDS CAPITAL LTD.						
SYMBOL	QTY	LABEL	ARRANGE	LUMENS	LLF	DESCRIPTION
□	11	G42	SINGLE	3200	0.900	GENLYTE EGXSS42HFL

NUMERIC SUMMARY							
LABEL	CALC TYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
CALC PTS	ILLUMINANCE	Fc	2.06	5.0	0.8	2.58	6.25
BETWEEN BUILDINGS	ILLUMINANCE	Fc	3.26	5.1	1.5	2.17	3.40

NO SUBSTITUTIONS: SHOP DRAWINGS MUST BE SUBMITTED TO THE A/E FOR APPROVAL PRIOR TO ISSUING PURCHASE ORDERS FOR THE SITE AND SECURITY LIGHTING EQUIPMENT.  
CONTACT L. FORDS AT GENLYTE SALES 877-949-7282 TOLL FREE OR LFORDS@GENLYTE.COM FOR PROCUREMENT OF SPECIFIED EQUIPMENT.

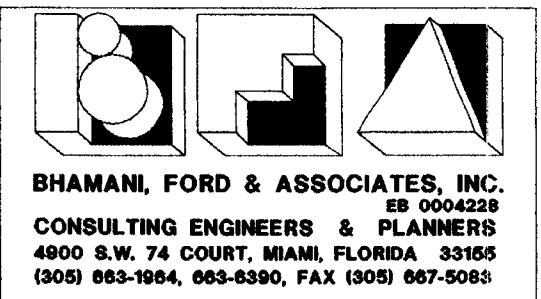
### SITE PLAN PHOTOMETRICS

SCALE: 1/8"=1'-0"

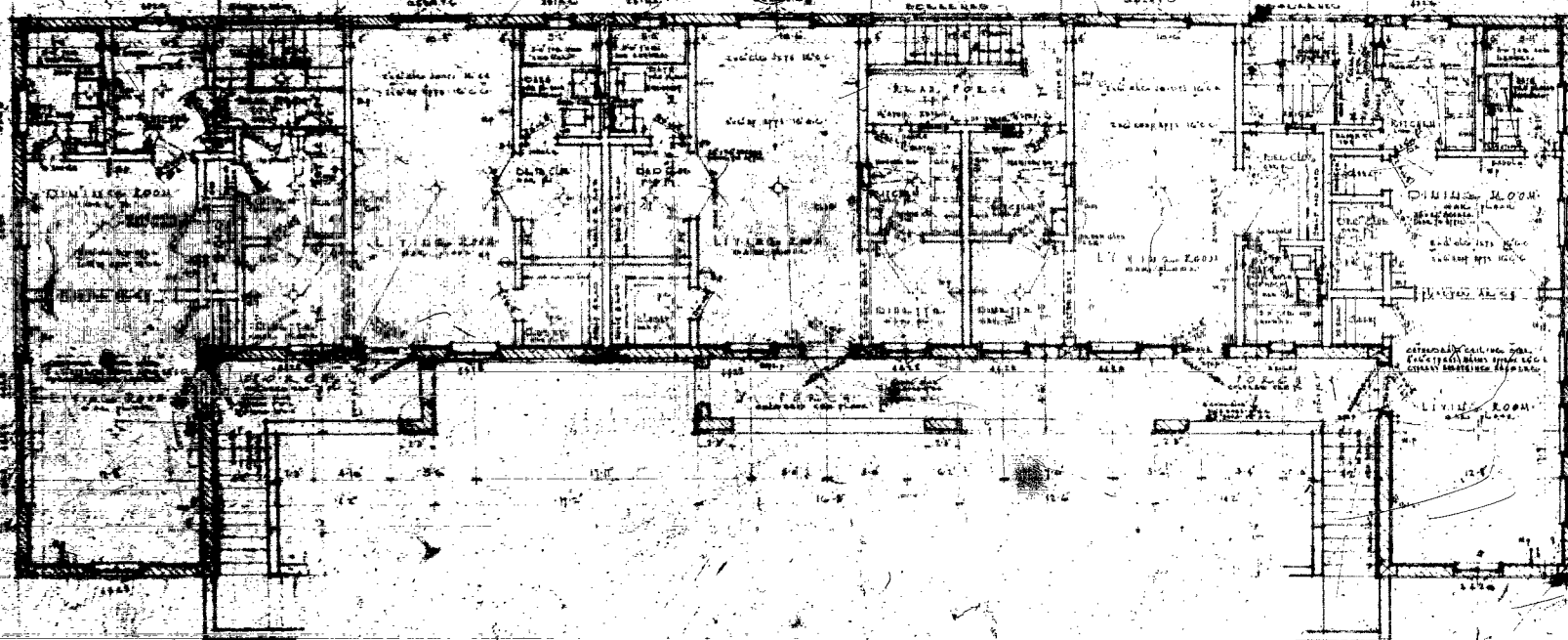


*Handwritten signature and date: 2-27-07*

RICHARDS CAPITAL LTD. BFA-JOB 06060  
EXTERIOR IMPROVEMENTS  
THOMAS MAXWELL, P.E.  
MECHANICAL ENGINEER  
REG. NO. 100100  
BOARD OF PROFESSIONAL ENGINEERS EXAM MECHANICAL, STRUCTURAL, 1985  
U.S. ARMY CORPS OF ENGINEERS, CIVIL-STRUCTURAL ENGINEER  
FLORIDA POWER & LIGHT COMPANY - ELECTRICAL ENGINEER







SECOND FLOOR PLAN

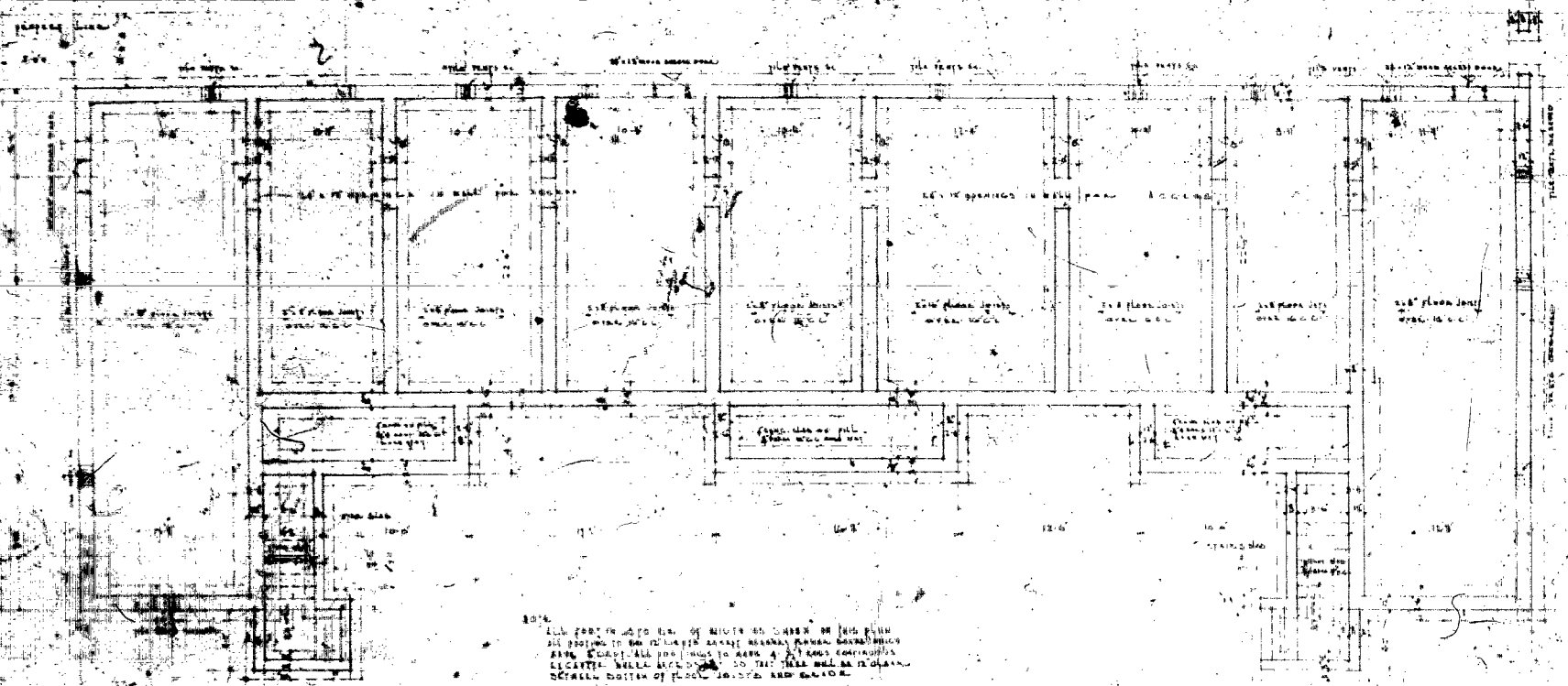
K 20 D A K

S A F E T Y F I L M

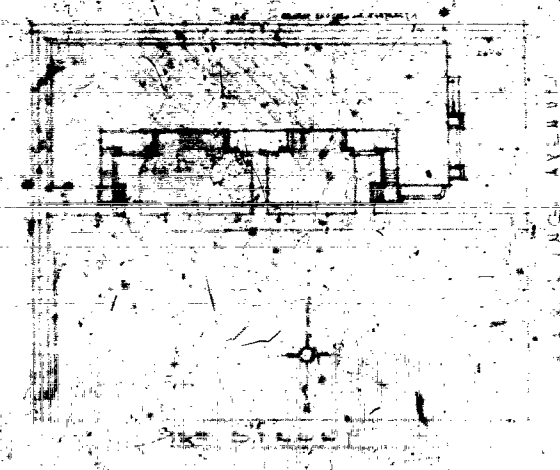








ALL PORT IN 1/2" DIA. OF MOUNTED CHAIRS OF THIS PLAN  
 ALL PORTS IN THE WALLS OF THE CHAIRS MUST BE MADE  
 1/2" DIA. AND THE PORTS TO THE 1/2" DIA. CORRESPONDING  
 LOCATIONS. WALLS MUST BE 1/2" DIA. WALLS MUST BE 1/2" DIA.  
 DETAILS OF FLOOR, WALLS AND CEILING.

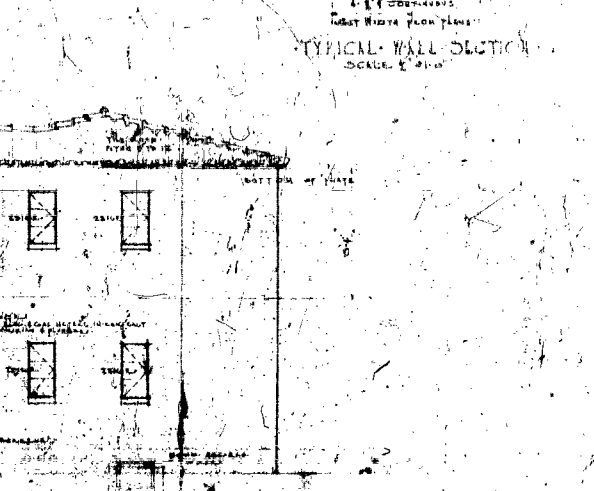
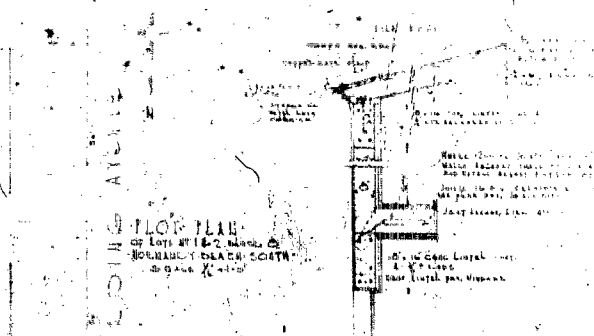
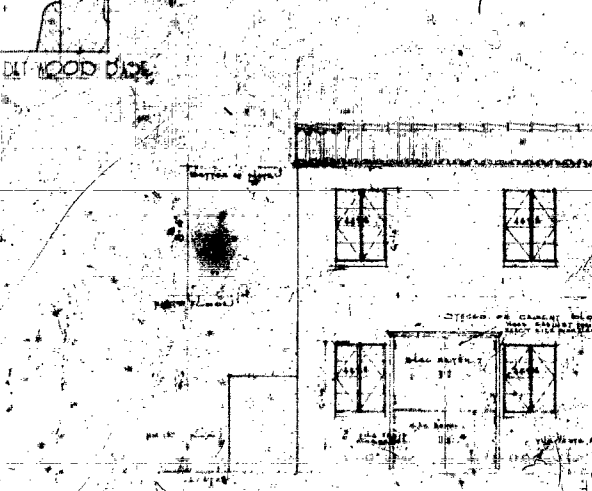
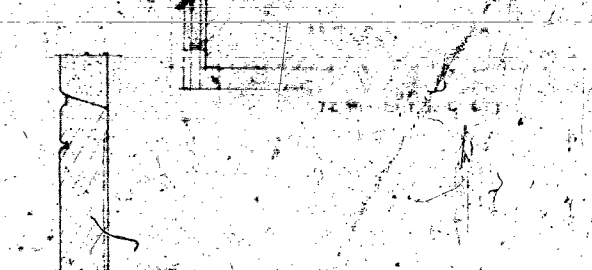
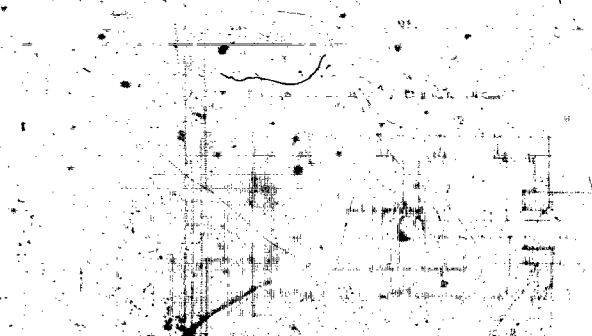
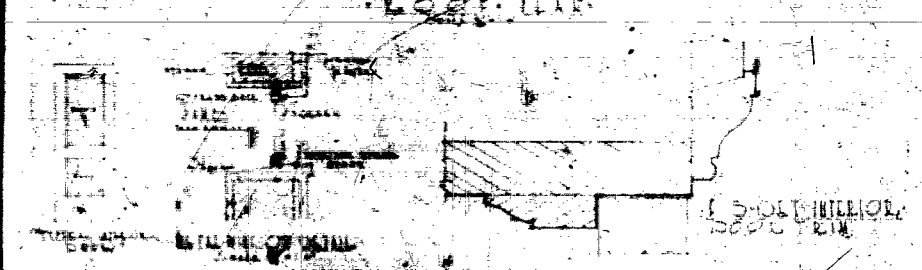
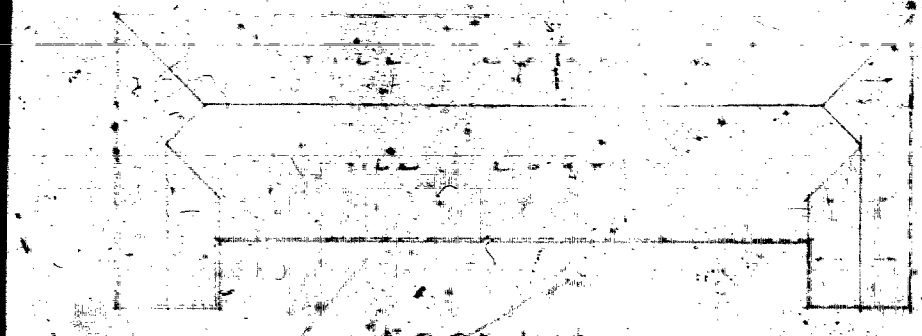


FLOOR PLAN  
 OF LOT #1 & 2 BLOCK D  
 NORMANDY EXHIBIT SOUTH  
 M. & A. 1/2" DIA.

FOUNDATION PLAN

Scale  
 1" = 10'

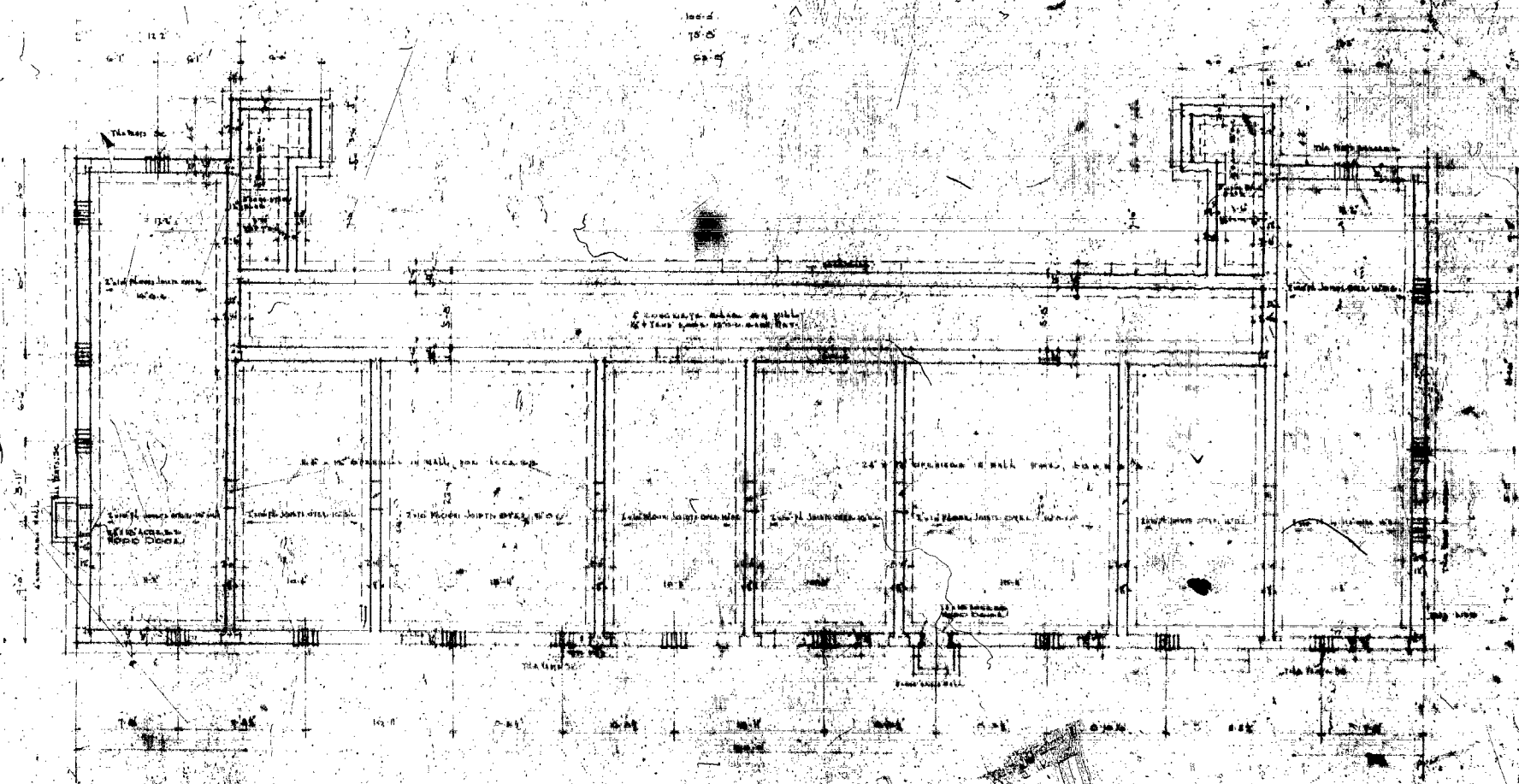




DATE: 10-1-50  
DRAWN BY: J. H. HARRIS  
CHECKED BY: J. H. HARRIS  
APPROVED BY: J. H. HARRIS  
PROJECT: 10-1-50

10-1-50



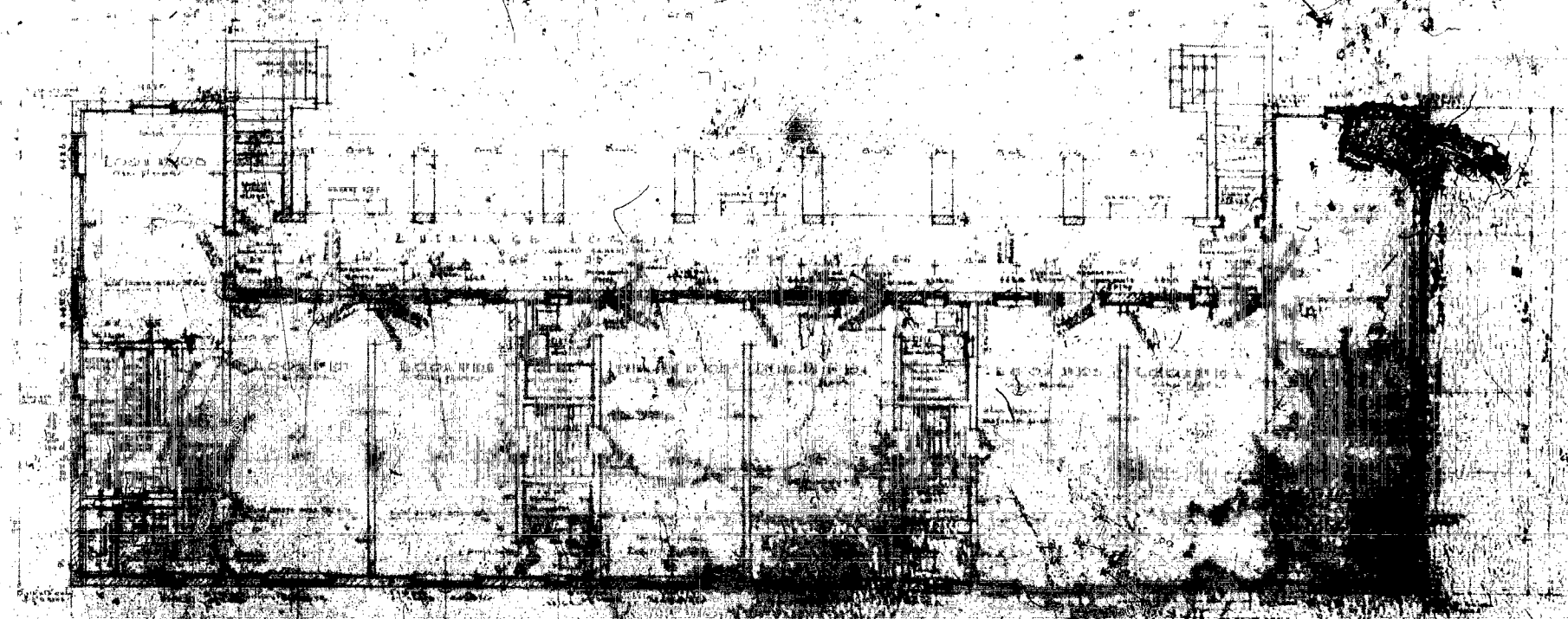


FOUNDATION PLAN  
Scale 1/4" = 1'-0"

7465

DATE	FILE
BY	NO.
REVISION	

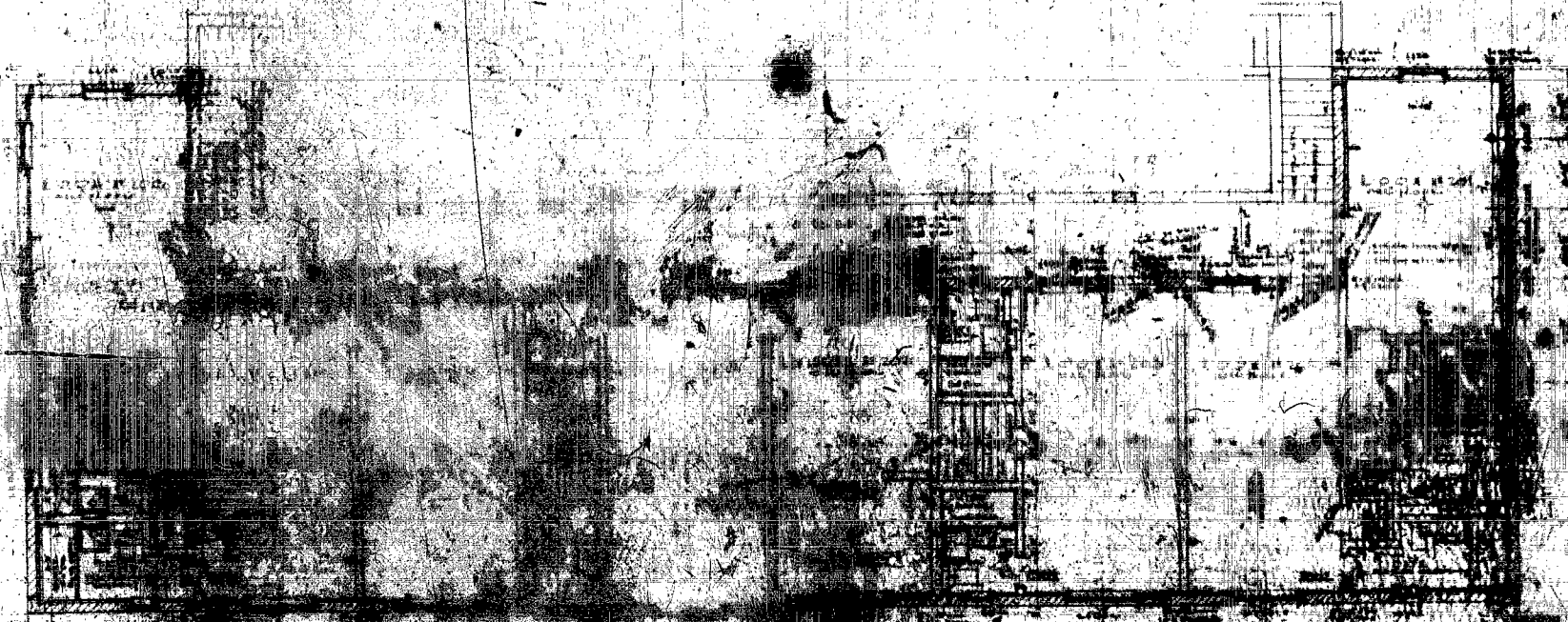




FLOOR PLAN

DATE	10/10/50	BY	J. H. B. JONES
SCALE	1/4" = 1'-0"	CHECKED	J. H. B. JONES
PROJECT	NEW YORK CITY	DESIGNED	J. H. B. JONES
NO.	100	APPROVED	J. H. B. JONES





U.S. GOVERNMENT PRINTING OFFICE  
1953  
10-50841-1  
10-50841-1  
10-50841-1  
10-50841-1





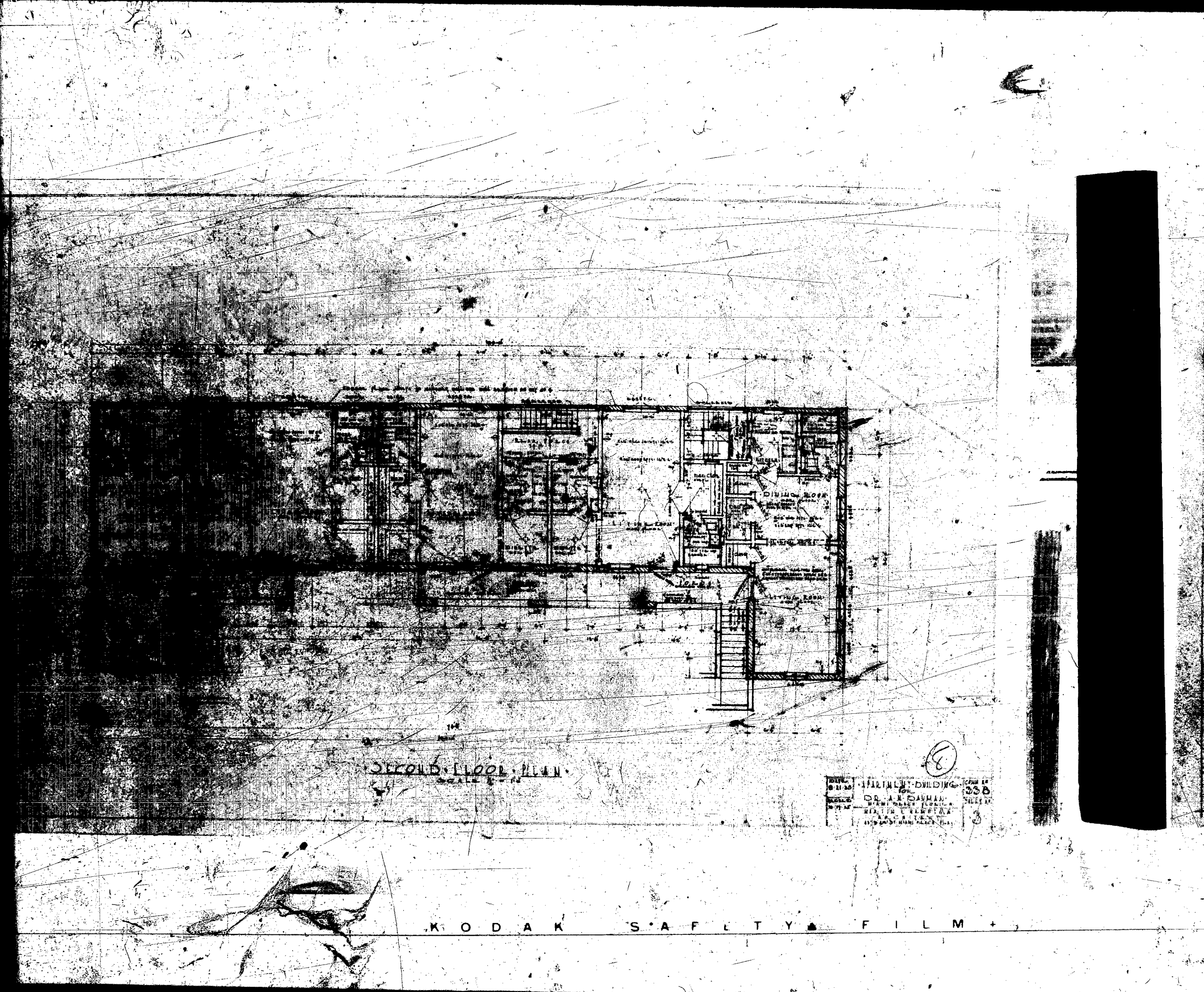
HOLLIS LLOYD TOWN HOUSE  
Scale 1/4" = 1'-0"



HOLLIS LLOYD TOWN HOUSE  
Scale 1/4" = 1'-0"

Architectural drawing showing a small section or detail of a building, possibly a window or door frame, with associated text and scale information.



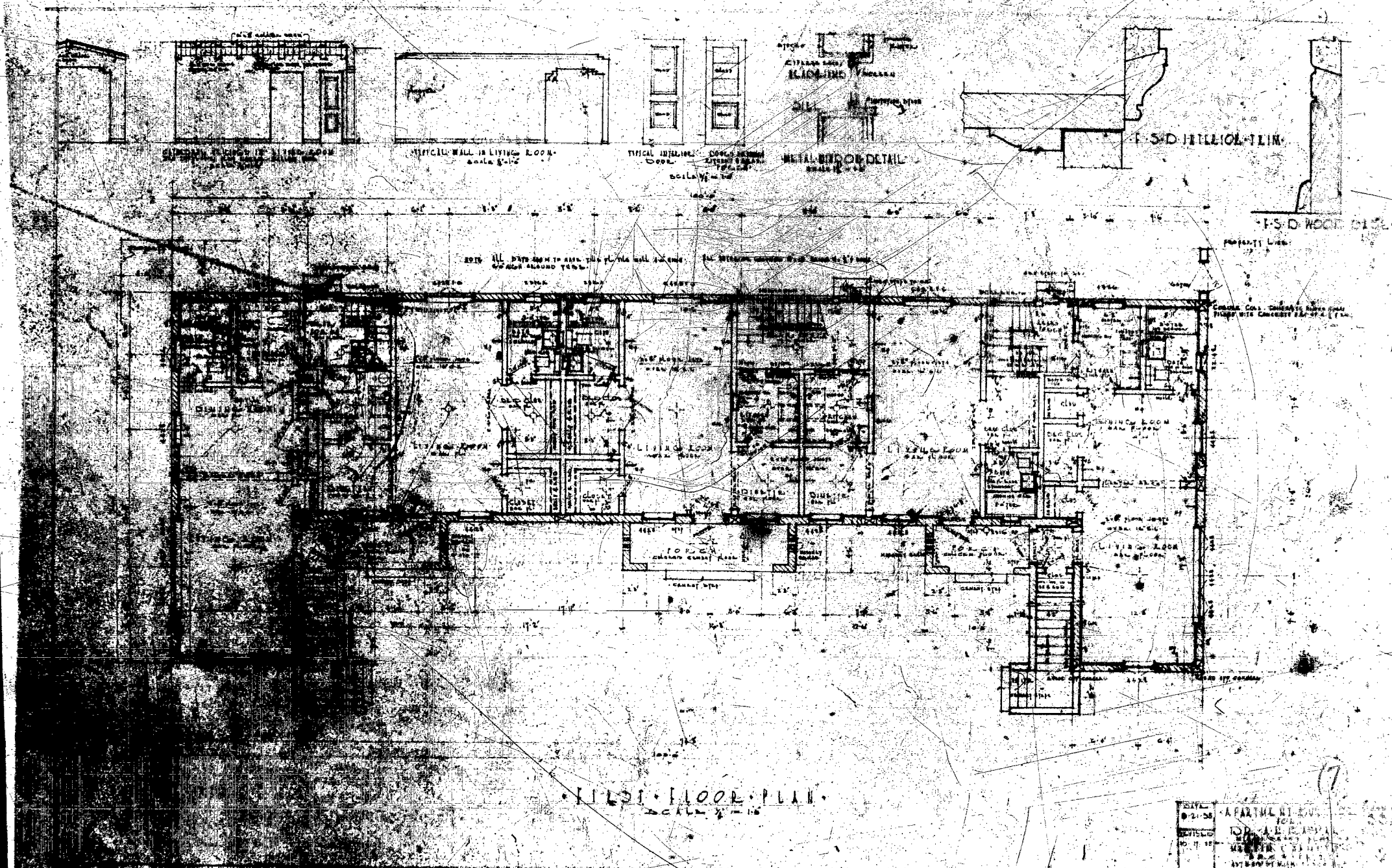


SECOND FLOOR PLAN

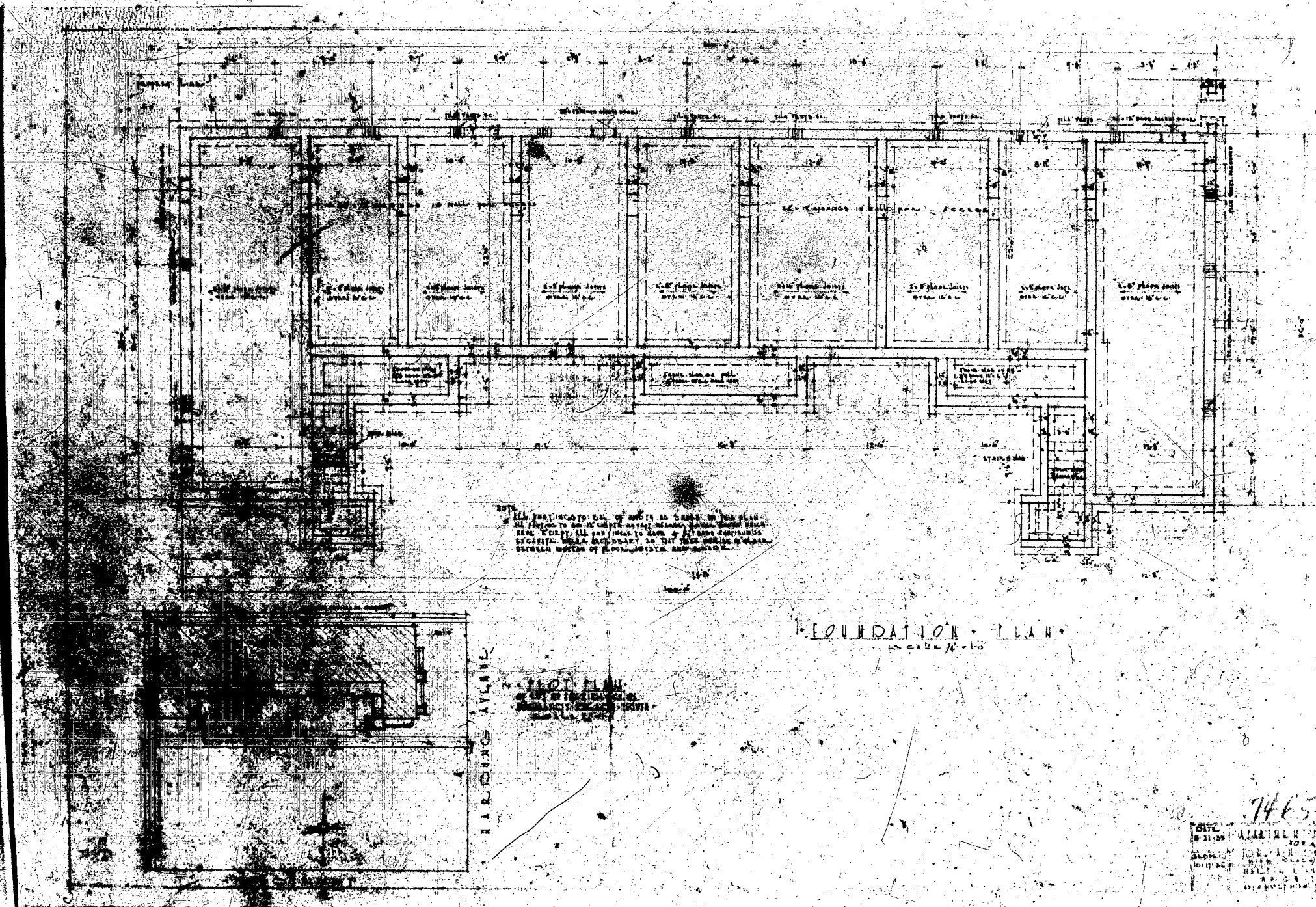
APARTMENT BUILDING  
DR. J. A. BAYMAN  
1111 1/2 N. 1ST ST.  
MINN. 55401

K O D A K   S A F E T Y   F I L M



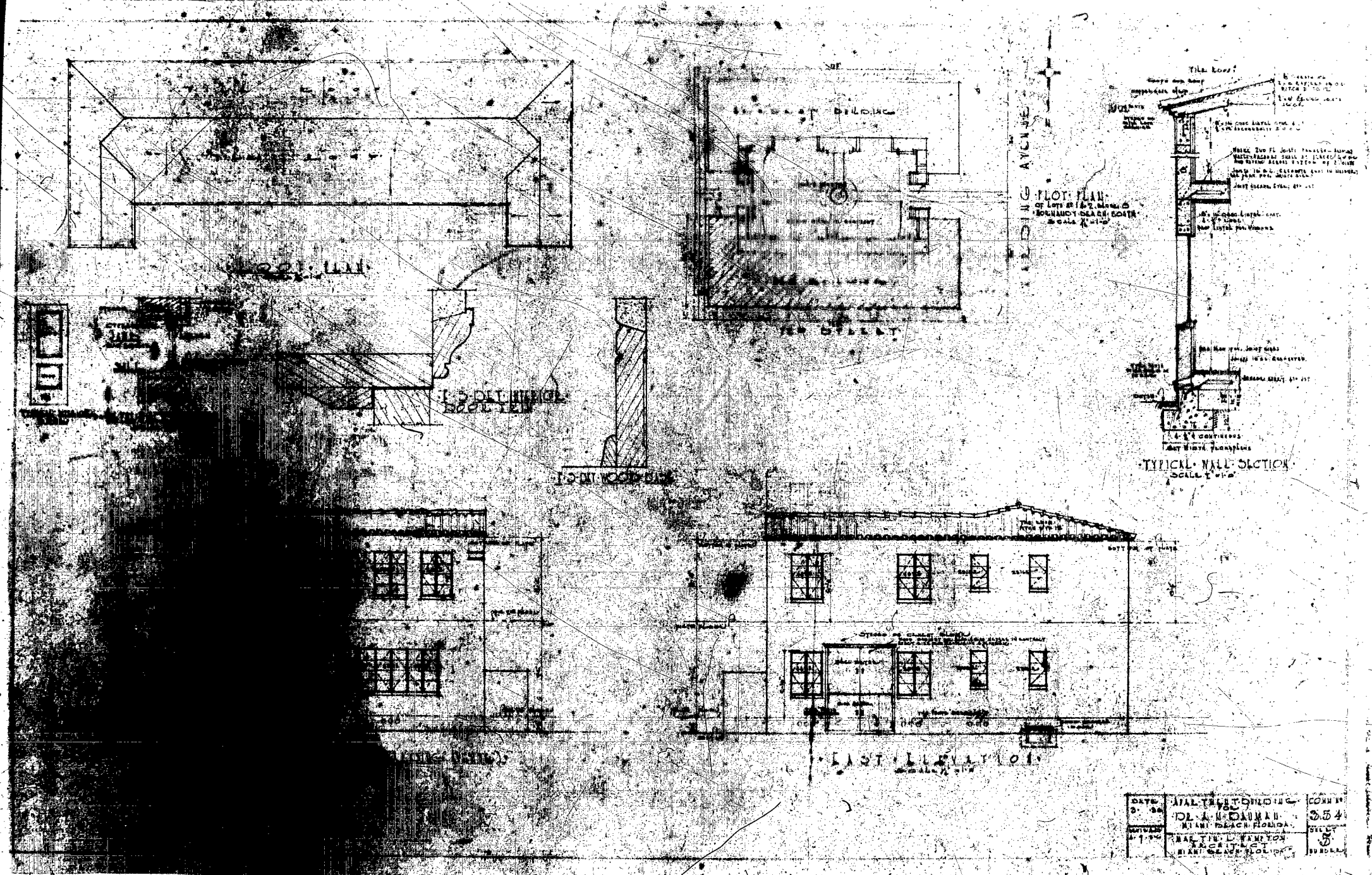






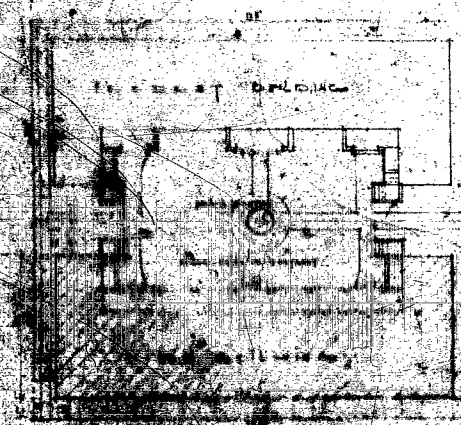
7465-6  
 AIRBORNE AVIATION  
 1024  
 238



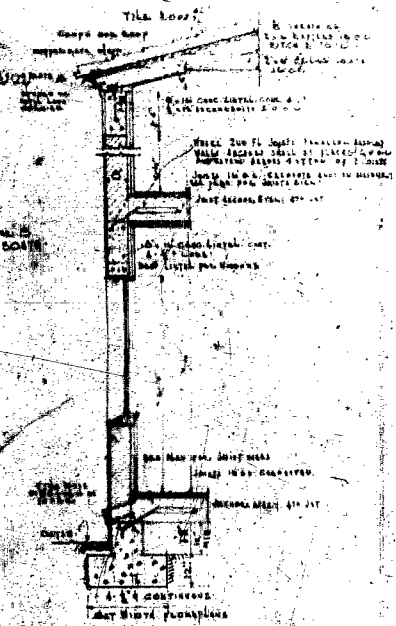


DATE	APR 1934	COM BY
DRAWN BY	W. L. HAMILTON	354
CHECKED BY	W. L. HAMILTON	354
APPROVED BY	W. L. HAMILTON	354





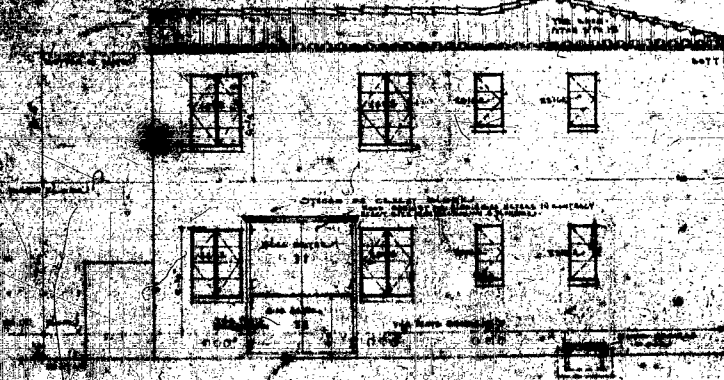
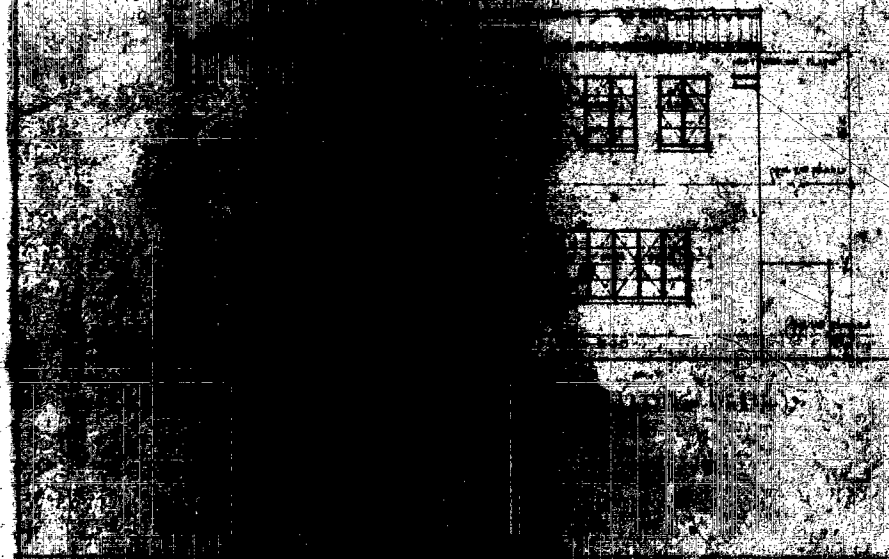
FLAT PLAN  
OF LOT 11, BLOCK 11  
RECORDED - 1-11-1910  
SCALE 1/4" = 1'-0"



TYPICAL WALL SECTION  
SCALE 1/4" = 1'-0"



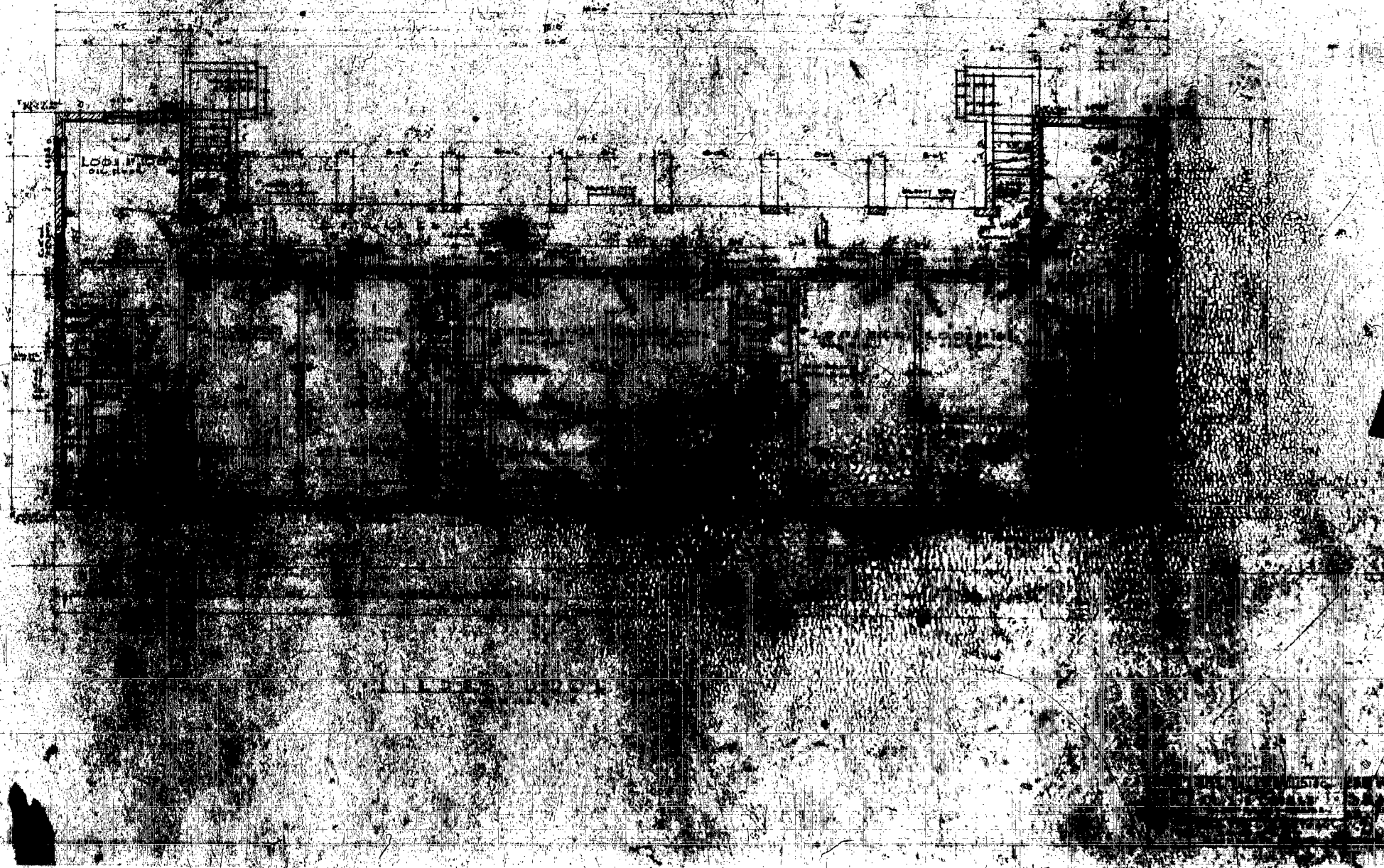
15'-0" WALL SECTION



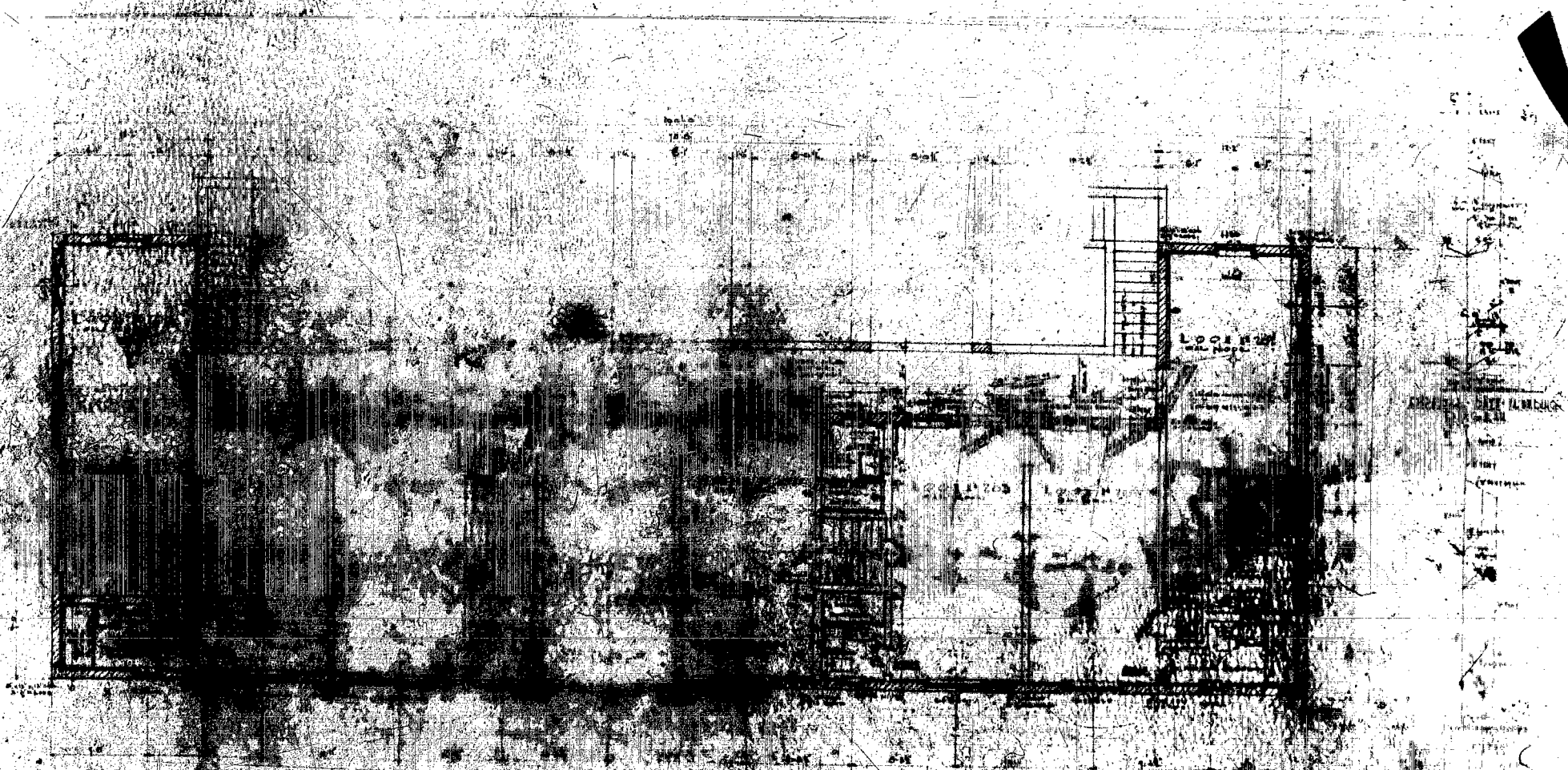
FIRST ELEVATION  
SCALE 1/4" = 1'-0"

DATE	APR 11 1910	FILED	APR 11 1910
BY	OLIVER L. HANCOCK	RECORDED	APR 11 1910
BY	OLIVER L. HANCOCK	RECORDED	APR 11 1910
BY	OLIVER L. HANCOCK	RECORDED	APR 11 1910









1004-1004

ARCHITECTS  
OL A. ROSSMAN  
MIAMI BEACH, FLORIDA  
WILLIAM L. RANFORD  
MIAMI BEACH, FLORIDA

COMP. D.  
584  
3  
REAR





WALL ELEVATION



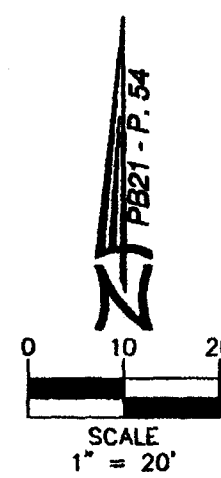
WALL ELEVATION

DATE	10/10/1944
BY	DR. J. S. GARNER
FOR	U.S. ARMY
PROJECT	WALL ELEVATION



Attach 450' of Fence Fabric on Existing Chain Link Fence. Only Temporary.

PORTION OF GOVERNMENT LOT 2  
SECTION 2-53-42  
"SURFSIDE PARK"



**PUBLIC WORKS  
PLAN REVIEW NOTICE**  
Phone 305-878-7080 Fax 305-873-7028

**THIS PLAN REVIEW CONSTITUTES APPROVAL FOR  
OBTAINING BUILDING PERMITS ONLY.**

All construction and/or use of equipment in the right-of-way and/or easements, requires a separate Public Works Department permit prior to start of construction.

Permit Requirements: Proof of existing sidewalk/swee area conditions (pictures) and/or posting of sidewalk/roadway bonds (Public Works Inspection of the right-of-way will be required prior to final sign-off on the C.C. / C.O., or the release of bonds.)

Approved/Reviewed By: \_\_\_\_\_

**48 HOURS PRIOR TO EXCAVATING  
CONTRACTOR SHALL CALL FOR LOCATION  
OF UNDERGROUND UTILITIES**  
SUNSHINE ONE-CALL 1-800-432-4770  
CITY OF MIAMI BEACH 305-673-7080

**SURVEYOR'S NOTES**

1. The date of completion of original field Survey was on February 21, 2005.
2. LEGAL DESCRIPTION:  
Lots 1, 2 and 3, Block 8, of "NORMANDY BEACH SOUTH", according to the Plat thereof, recorded in Plat Book 21 at Page 54 of the Public Records of Miami-Dade County, Florida.  
Containing 18,702 square feet (0.43 Acres) more or less by calculations.  
Property Address: 7131, 7135 and 7145 Highland Avenue, Miami Beach, Florida  
File No.: 02-3211-002-0570
3. ACCURACY:  
The accuracy obtained by measurement and calculation of closed geometric figures was found to exceed this requirement.
4. SOURCES OF DATA:  
North arrow direction is based on an assumed Meridian.  
Bearings as shown hereon are based upon the Northerly property line with an assumed bearing of N90°00'00"E, said line to be considered a well monumented line.  
This property appears to be located in Flood Zone AE, with an elevation of 8', as per Federal Emergency Management Agency (FEMA) Community-Panel Number 120651, Map No. 0094, Suffix J, Effective Date: July 17, 1995.  
Legal Description furnished by client.  
"NORMANDY BEACH SOUTH", according to the Plat thereof, as recorded in Plat Book 21 at Page 54 of the Public Records of Miami-Dade County, Florida.
5. ZONING INFORMATION  
Property Zoning: CD-3 "COMMERCIAL HIGH INTENSITY"
6. LIMITATIONS:  
Since other information other than what is cited in the Sources of Data were furnished, the Client is hereby advised that there may be legal restrictions on the Subject Property that are not shown on the Survey Map that may be found in the Public Records of Miami-Dade County. The Surveyor makes no representation as to ownership or possession of the Subject Property by any entity for individual who may appear of public record. No excavation or determination was made as to how the Subject Property is served by utilities. No improvements were located, other than those shown. No underground foundations, improvements and/or utilities were located or shown hereon.  
Well-identified features as depicted on the Survey Map were measured to an estimated horizontal positional accuracy of 1/8 foot.

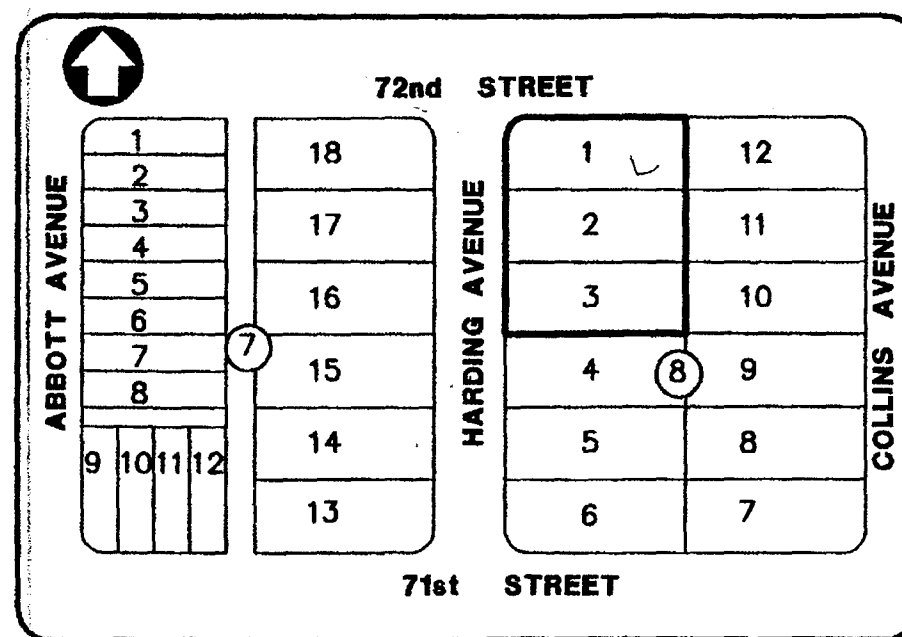
**LEGEND**

- SP = ELEVATION
- DRWT. = DRIVEWAY
- U.P. = UTILITY POLE
- B.O.B. = BASIS OF BEARINGS
- A/C = AIR CONDITIONING PAD
- A = ARC DISTANCE
- B.O.D. = BUILDING
- C.B. = CATCH BASIN
- C.B.S. = CONCRETE BLOCK STRUCTURE
- CH = CHORD DISTANCE
- CL = CALCULATED
- CL = CLEAR
- CL = CENTER LINE
- CONC. = CONCRETE
- P.R.C. = POINT OF REVERSE CURVE
- P.C. = POINT OF CURVATURE
- F.N.D. = FOUND NAIL/DISK
- P.C.C. = POINT OF COMPOUND CURVE
- M/L = MONUMENT LINE
- N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM
- O.E. = OVERHEAD ELECTRIC LINE
- P.B. = PLAT BOOK
- P.C.P. = PERMANENT CONTROL POINT
- P.B. = PAGE
- SEC. = SECTION
- S.I.P. = SET IRON PIPE
- ST. = STORY
- P.O.B. = POINT OF BEGINNING
- P.A. = PROPERTY LINE
- N.T.S. = NOT TO SCALE
- Δ = CENTRAL ANGLE
- S.I.R. = SET IRON ROD
- P.O.C. = POINT OF COMMENCEMENT
- F.N. = FOUND NAIL
- P.T. = POINT OF TANGENCY
- E.N.C. = ENCLOSURE
- F.H. = FIRE HYDRANT
- F.I.P. = FOUND IRON PIPE
- F.I.R. = FOUND IRON ROD
- L.F.E. = LOWEST FLOOR ELEVATION
- L.P. = LIGHT POLE
- M. = MEASURED
- RECORD = RECORD
- O.U. = OVERHEAD UTILITY LINE
- P.I. = POINT OF INTERSECTION
- W.F. = WOOD FENCE
- CH.L.F. = CHAIN LINK FENCE
- B/C = BLOCK COUNTER
- R = RADIUS
- RAO. = RADIAL
- RES. = RESIDENCE
- R/W = RIGHT OF WAY
- SWK = SIDEWALK
- UE. = UTILITY EASEMENT
- UT. = UTILITY POLE

NOTICE: In addition to the representation of the Surveyor, the Client is hereby advised that there may be legal restrictions on the Subject Property that are not shown on the Survey Map that may be found in the Public Records of Miami-Dade County. The Surveyor makes no representation as to ownership or possession of the Subject Property by any entity for individual who may appear of public record. No excavation or determination was made as to how the Subject Property is served by utilities. No improvements were located, other than those shown. No underground foundations, improvements and/or utilities were located or shown hereon.

6'0" max

Attach 450' of 56" high Fence Fabric to Existing Chain Link Fence. Only Temporary



LOCATION MAP  
NOT TO SCALE

The exceptions of Schedule B-II, Commitment Number CF-1341591, effective date: January 24, 2005 at 11:00 PM., by Attorney's Title Insurance Fund, Inc., and furnished to the Undersigned to show any matter of records affecting the subject property as follows:

Item # 13.- O.R.B. 21809, PAGE 2140  
Does affect the Subject Property, contains blanket conditions.  
Item # 14.- O.R.B. 21809, PAGE 2140 (SAME)  
Does affect the Subject Property, contains blanket conditions.  
Item # 15.- O.R.B. 21809, PAGE 2157  
Does affect the Subject Property, contains blanket conditions.  
Item # 16.- O.R.B. 21809, PAGE 2161  
Does affect the subject property, contains blanket conditions.

**SURVEYOR'S CERTIFICATE:**

This is to certify to Harding Avenue Investment, LLC, a Florida limited liability company, Commercial Bank of Florida, its successors and/or assigns, as their interest may appear, Attorney's Title Insurance Fund, Inc., Robert A. Brandt, P.A., Linda Roth-Cortina, P.A., that this map or plat and the survey on which it is based were made in accordance with "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys," jointly established and adopted by ALTA, ACSM and NSPS in 1999. Pursuant to the Accuracy Standards as adopted by ALTA, NSPS, and ACSM and in effect on the date of this certification, undersigned further certifies that the survey measurements were made in accordance with the "Minimum Angle, Distance and Closure Requirements for Survey Measurements Which Control Land Boundaries for ALTA/ACSM Land Title Surveys."

Adopted by the Board of Direction, American Congress on Surveying and Mapping on October 20, 1999.

Adopted by the Board of Directors, National Society of Professional Surveyors on October 19, 1999.

American Land Title Association, 1828 L St., W., Suite 705, Washington, DC 20036

American Congress on Surveying and Mapping, 5410 Grosvenor Lane, Bethesda, MD 20814

National Society of Professional Surveyors, 5410 Grosvenor Lane, Bethesda, MD 20814

**HADONNE** corp., a Florida corporation  
Florida Certificate of Authorization Number LB7097

By: Abraham Hadad  
Registered Surveyor and Mapper LS6006  
State of Florida

NOTICE: Not valid without the signature and original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to Survey Maps by other than the signing party are prohibited without the written consent of the signing party.

SOUTH LINE OF GOVT. LOT 6  
SEC. 2, TOWNSHIP 53 SOUTH  
RANGE 42 EAST

LOT 7 BLOCK 7  
PLAT BOOK 21-54  
"GOLDSTONE INVESTMENTS, INC."

LOT 7 BLOCK 7  
PLAT BOOK 21-54  
"BEACH LEGAL PROPERTY"

LOT 6 BLOCK 7  
PLAT BOOK 21-54  
"MICHAEL RAUF"

LOT 5 BLOCK 7  
PLAT BOOK 21-54  
"BEACH LEGAL PROPERTIES, INC."

Existing Double Drive Gate

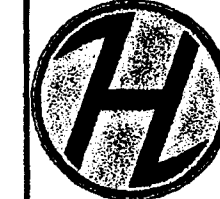
HARDING AVENUE

N90°00'00"W 125.00' (R&M)  
LOT 14 BLOCK 8  
PLAT BOOK 21-54  
"DIAMOND ENTERPRISES, LLC"

**REVISIONS**

1	BUILDING	5/20/09
2	ZONING	
3	REVISION	
4	REVISION	
5	REVISION	

**ALTA/ACSM LAND TITLE SURVEY**  
of  
**HARDING AVENUE INVESTMENT, LLC.**  
for  
**ROBERT A. BRANDT, P.A.**



**HADONNE**  
PROFESSIONAL LAND SURVEYORS AND MAPPERS  
13370 S.W. 131st Street Suite 103, Miami, Florida 33186  
Phone: 305.266.1188 Fax: 305.207.6845 www.hadonne.com

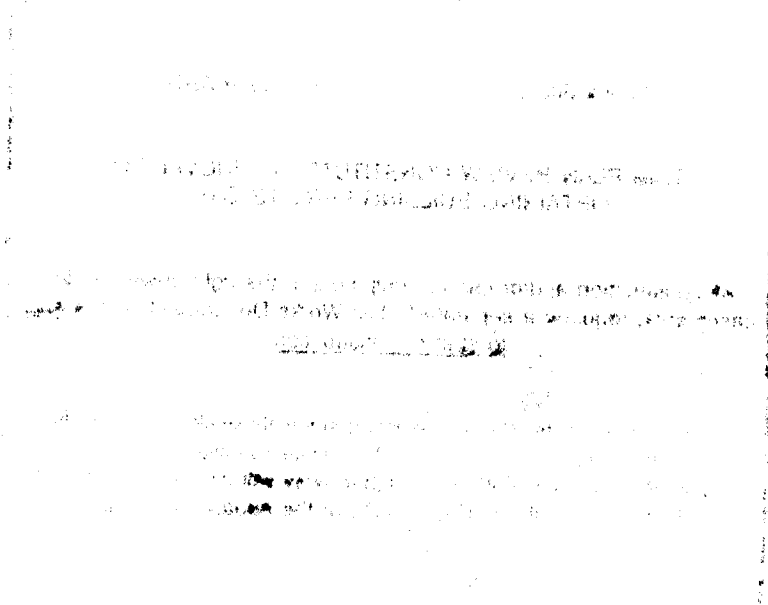
R. No.: 05117  
F.B.: FILLED  
DRAWN BY: FP  
CHECKED BY: AH  
1/1

FAIRPLAY 5/20/09  
Bof 5/1/09  
at 12/20/09  
FABRIC ONLY

B0902691



90902691



90902691  
Hendings Ave  
Office copy

15.0.00.00.00



**CITY OF MIAMI BEACH**  
Building Department /Engineering Section

1700 Convention Center Dr  
2nd Floor  
Miami Beach, FL. 33139

Date: 05/31/07

JOB ADDRESS: 7131/7135/7145 Harding Ave. PROJECT NO.: BDO7016934  
ACTIVITY NO.: BDO70170  
BDO70171

**THE FOLLOWING APPROVALS, PERMITS AND DOCUMENTS ARE REQUIRED FOR THE  
ISSUANCE OF A DEMOLITION PERMIT:**

**TOTAL DEMOLITION:**

- ☒ Owner affidavit
- ☒ Owner / Corporate document
- ☒ Proof of ownership
- ☒ Contractor affidavit
- ☒ Contractor Licenses up date (State & County)
- ☒ Insurances up date (works comp. & liability)
- ☒ Signed and sealed asbestos report
- ☒ D.E.R.M. approval / Asbestos section  
(Not applicable for single family residence)
- ☒ Boundary Survey
- ☒ \* Photograph of Existing Condition
- ☒ \* Design Review Board approval
- ☒ Florida Power Light disconnection letter
- ☒ People Gas Co. disconnection letter
- ☒ N/A Plumbing Permit Demolition Permit  
(See plumbing section)
- ☒ Bell South Letter disconnection letter
- ☒ Signed Vermin letter
- ☒ \* \* Public Works approval WR Permit.

**PARTIAL DEMOLITION:**

- ☐ Owner affidavit
- ☐ Owner / Corporate document
- ☐ Proof of ownership
- ☐ Contractor affidavit
- ☐ Contractor Licenses up date
- ☐ Insurances up date
- ☐ Signed and sealed asbestos report
- ☐ D.E.R.M approval / Asbestos Sec.
- ☐ Scaled Drawing (two sets)
- ☐ Building / Structural Approval
- ☐ Design Review Board approval
- ☐ Electrical Demolition Permit  
(See electrical section)
- ☐ Plumbing Demolition Permit  
(See plumbing section)
- ☐ Condo Authorization Letter
- ☐ Fire approval

**(PLEASE VISIT THE PUBLIC WORKS DEPARTMENT FOR THEIR APPROVAL PROCESS TIME)**