

MIAMI BEACH

PLANNING DEPARTMENT, 1700 CONVENTION CENTER DRIVE, 2ND FLOOR
MIAMI BEACH, FLORIDA 33139, WWW.MIAMIBEACHFL.GOV
305-673-7550

LAND USE BOARD HEARING APPLICATION

THE FOLLOWING APPLICATION IS SUBMITTED FOR REVIEW AND CONSIDERATION OF THE PROJECT DESCRIBED HEREIN BY THE LAND USE BOARD SELECTED BELOW. A SEPARATE APPLICATION MUST BE COMPLETED FOR EACH BOARD REVIEWING THE PROPOSED PROJECT.

- ☐ BOARD OF ADJUSTMENT
 - ☐ VARIANCE FROM A PROVISION OF THE LAND DEVELOPMENT REGULATIONS
 - ☐ APPEAL OF AN ADMINISTRATIVE DECISION
- ☐ DESIGN REVIEW BOARD
 - ☐ DESIGN REVIEW APPROVAL
 - ☐ VARIANCE RELATED TO PROJECT BEING CONSIDERED OR APPROVED BY DRB.
- ☐ HISTORIC PRESERVATION BOARD
 - ☐ CERTIFICATE OF APPROPRIATENESS FOR DESIGN
 - ☐ CERTIFICATE OF APPROPRIATENESS TO DEMOLISH A STRUCTURE
 - ☐ HISTORIC DISTRICT / SITE DESIGNATION
 - ☐ VARIANCE RELATED TO PROJECT BEING CONSIDERED OR APPROVED BY HPB.
- ☒ PLANNING BOARD
 - ☒ CONDITIONAL USE PERMIT
 - ☐ LOT SPLIT APPROVAL
 - ☐ AMENDMENT TO THE LAND DEVELOPMENT REGULATIONS OR ZONING MAP
 - ☐ AMENDMENT TO THE COMPREHENSIVE PLAN OR FUTURE LAND USE MAP
- ☐ FLOOD PLAIN MANAGEMENT BOARD
 - ☐ FLOOD PLAIN WAIVER
- ☐ OTHER _____

SUBJECT PROPERTY ADDRESS: 7118, 7124, 7134 and 7140 Collins Avenue; 7121 Harding Avenue and three vacant lots without addresses, see folios below.

LEGAL DESCRIPTION: PLEASE ATTACH LEGAL DESCRIPTION AS "EXHIBIT A"

FOLIO NUMBER (S) 02-3211-002-0660; -0650; -0640; -0630; -0600; - 0590; -0580; -0570

1. APPLICANT: ☒ OWNER OF THE SUBJECT PROPERTY ☐ TENANT ☐ ARCHITECT ☐ LANDSCAPE ARCHITECT
☐ ENGINEER ☐ CONTRACTOR ☐ OTHER owns 02-3211-002-0600; -0640; -0650; -0660

NAME Collins & 72nd Developers, LLC

ADDRESS 9357 Harding Avenue, Surfside, FL 33154

BUSINESS PHONE 305-867-6344

CELL PHONE _____

E-MAIL ADDRESS silvia@retimiami.com

OWNER IF DIFFERENT THAN APPLICANT:

NAME _____

ADDRESS _____

BUSINESS PHONE _____

CELL PHONE _____

E-MAIL ADDRESS _____

2. AUTHORIZED REPRESENTATIVE(S):

☐ ATTORNEY:

NAME Neisen O. Kasdin

ADDRESS 98 SE 7 Street, Suite 1100, Miami, FL 33131

BUSINESS PHONE 305-374-5600

CELL PHONE _____

E-MAIL ADDRESS neisen.kasdin@akerman.com

☐ AGENT:

NAME Claro Development, Grace Dillon

ADDRESS 1035 N. Miami Ave, Miami, FL 33136

BUSINESS PHONE 305-324-4700

CELL PHONE _____

E-MAIL ADDRESS grace@clarocorp.com

☐ CONTACT:

NAME _____

ADDRESS _____

BUSINESS PHONE _____

CELL PHONE _____

E-MAIL ADDRESS _____

3. PARTY RESPONSIBLE FOR PROJECT DESIGN:

☒ ARCHITECT ☐ LANDSCAPE ARCHITECT ☐ ENGINEER ☐ CONTRACTOR ☐ OTHER: _____

NAME Revuelta Architecture International, Hernando Marin

ADDRESS 2950 SW 27 Street, Miami, FL 33133

BUSINESS PHONE 305-590-5000

CELL PHONE _____

E-MAIL ADDRESS hmarin@revuelta-architecture.com

FILE NO. _____

1. APPLICANT: ☒ OWNER OF THE SUBJECT PROPERTY ☐ TENANT ☐ ARCHITECT ☐ LANDSCAPE ARCHITECT
☐ ENGINEER ☐ CONTRACTOR ☐ OTHER owns 02-3211-002-0590; -0580; -0570

NAME Casa Grande Shopping Center, LLC

ADDRESS 10275 Collins Avenue, Apt. 708, Bal Harbour, FL 33154

BUSINESS PHONE 786-334-4728

CELL PHONE _____

E-MAIL ADDRESS wichmann@gmail.com

OWNER IF DIFFERENT THAN APPLICANT:

NAME _____

ADDRESS _____

BUSINESS PHONE _____

CELL PHONE _____

E-MAIL ADDRESS _____

2. AUTHORIZED REPRESENTATIVE(S):

☐ ATTORNEY:

NAME Neisen O. Kasdin

ADDRESS 98 SE 7 Street, Suite 1100, Miami, FL 33131

BUSINESS PHONE 305-374-5600

CELL PHONE _____

E-MAIL ADDRESS neisen.kasdin@akerman.com

☐ AGENT:

NAME Claro Development, Grace Dillon

ADDRESS 1035 N. Miami Ave, Miami, FL 33136

BUSINESS PHONE 305-324-4700

CELL PHONE _____

E-MAIL ADDRESS grace@clarocorp.com

☐ CONTACT:

NAME _____

ADDRESS _____

BUSINESS PHONE _____

CELL PHONE _____

E-MAIL ADDRESS _____

3. PARTY RESPONSIBLE FOR PROJECT DESIGN:

☒ ARCHITECT ☐ LANDSCAPE ARCHITECT ☐ ENGINEER ☐ CONTRACTOR ☐ OTHER: _____

NAME Revuelta Architecture International, Hernando Marin

ADDRESS 2950 SW 27 Street, Miami, FL 33133

BUSINESS PHONE 305-590-5000

CELL PHONE _____

E-MAIL ADDRESS hmarin@revuelta-architecture.com

FILE NO. _____

1. APPLICANT: ☒ OWNER OF THE SUBJECT PROPERTY ☐ TENANT ☐ ARCHITECT ☐ LANDSCAPE ARCHITECT
☐ ENGINEER ☐ CONTRACTOR ☐ OTHER owns 02-3211-002-0630

NAME AHM Advisors, LLC

ADDRESS 500 West Cypress Creek Road, #305, Ft. Lauderdale, FL 33309

BUSINESS PHONE 305-864-8885

CELL PHONE _____

E-MAIL ADDRESS joel@gkppa.com

OWNER IF DIFFERENT THAN APPLICANT:

NAME _____

ADDRESS _____

BUSINESS PHONE _____

CELL PHONE _____

E-MAIL ADDRESS _____

2. AUTHORIZED REPRESENTATIVE(S):

☐ ATTORNEY:

NAME Neisen O. Kasdin

ADDRESS 98 SE 7 Street, Suite 1100, Miami, FL 33131

BUSINESS PHONE 305-374-5600

CELL PHONE _____

E-MAIL ADDRESS neisen.kasdin@akerman.com

☐ AGENT:

NAME Claro Development, Grace Dillon

ADDRESS 1035 N. Miami Ave, Miami, FL 33136

BUSINESS PHONE 305-324-4700

CELL PHONE _____

E-MAIL ADDRESS grace@clarocorp.com

☐ CONTACT:

NAME _____

ADDRESS _____

BUSINESS PHONE _____

CELL PHONE _____

E-MAIL ADDRESS _____

3. PARTY RESPONSIBLE FOR PROJECT DESIGN:

☒ ARCHITECT ☐ LANDSCAPE ARCHITECT ☐ ENGINEER ☐ CONTRACTOR ☐ OTHER: _____

NAME Revuelta Architecture International, Hernando Marin

ADDRESS 2950 SW 27 Street, Miami, FL 33133

BUSINESS PHONE 305-590-5000

CELL PHONE _____

E-MAIL ADDRESS hmarin@revuelta-architecture.com

FILE NO. _____

4. SUMMARY OF APPLICATION – PROVIDE BRIEF SCOPE OF PROJECT:

Construction of new hotel and ground floor retail, see letter of intent for details.

- 4A. IS THERE AN EXISTING BUILDING(S) ON THE SITE ☒ YES ☐ NO
- 4B. DOES THE PROJECT INCLUDE INTERIOR OR EXTERIOR DEMOLITION ☒ YES ☐ NO
- 4C. PROVIDE THE TOTAL FLOOR AREA OF THE NEW BUILDING (IF APPLICABLE) 129,337 SQ. FT.
- 4D. PROVIDE THE TOTAL GROSS FLOOR AREA OF THE NEW BUILDING (INCLUDING REQUIRED PARKING AND ALL USEABLE FLOOR SPACE). 219,976 SQ. FT.
-

5. APPLICATION FEE (TO BE COMPLETED BY PLANNING STAFF) \$ _____

- A SEPARATE DISCLOSURE OF INTEREST FORM MUST BE SUBMITTED WITH THIS APPLICATION IF THE APPLICANT OR OWNER IS A CORPORATION, PARTNERSHIP, LIMITED PARTNERSHIP OR TRUSTEE.
 - ALL APPLICABLE AFFIDAVITS MUST BE COMPLETED AND THE PROPERTY OWNER MUST COMPLETE AND SIGN THE "POWER OF ATTORNEY" PORTION OF THE AFFIDAVIT IF THEY WILL NOT BE PRESENT AT THE HEARING, OR IF OTHER PERSONS ARE SPEAKING ON THEIR BEHALF.
 - TO REQUEST THIS MATERIAL IN ALTERNATE FORMAT, SIGN LANGUAGE INTERPRETER (FIVE-DAY NOTICE IS REQUIRED), INFORMATION ON ACCESS FOR PERSONS WITH DISABILITIES, AND ACCOMMODATION TO REVIEW ANY DOCUMENT OR PARTICIPATE IN ANY CITY-SPONSORED PROCEEDINGS, CALL 305.604.2489 AND SELECT (1) FOR ENGLISH OR (2) FOR SPANISH, THEN OPTION 6; TTY USERS MAY CALL VIA 711 (FLORIDA RELAY SERVICE).
-

PLEASE READ THE FOLLOWING AND ACKNOWLEDGE BELOW:

- APPLICATIONS FOR ANY BOARD HEARING(S) WILL NOT BE ACCEPTED WITHOUT PAYMENT OF THE REQUIRED FEE. ALL CHECKS ARE TO BE MADE PAYABLE TO THE "CITY OF MIAMI BEACH".
- PUBLIC RECORDS NOTICE – ALL DOCUMENTATION, SUBMITTED FOR THIS APPLICATION IS CONSIDERED A PUBLIC RECORD SUBJECT TO CHAPTER 119 OF THE FLORIDA STATUTES AND SHALL BE DISCLOSED UPON REQUEST.
- IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 2-482 OF THE CODE OF THE CITY OF MIAMI BEACH, ANY INDIVIDUAL OR GROUP THAT WILL BE COMPENSATED TO SPEAK OR REFRAIN FROM SPEAKING IN FAVOR OR AGAINST A PROJECT BEING PRESENTED BEFORE ANY OF THE CITY'S LAND USE BOARDS, SHALL FULLY DISCLOSE, PRIOR TO THE PUBLIC HEARING, THAT THEY HAVE BEEN, OR WILL BE COMPENSATED. SUCH PARTIES INCLUDE: ARCHITECTS, LANDSCAPE ARCHITECTS, ENGINEERS, CONTRACTORS, OR OTHER PERSONS RESPONSIBLE FOR PROJECT DESIGN, AS WELL AS AUTHORIZED REPRESENTATIVES ATTORNEYS OR AGENTS AND CONTACT PERSONS WHO ARE REPRESENTING OR APPEARING ON BEHALF OF A THIRD PARTY; SUCH INDIVIDUALS MUST REGISTER WITH THE CITY CLERK PRIOR TO THE HEARING.

FILE NO. _____

- IN ACCORDANCE WITH SEC.118-31. - DISCLOSURE REQUIREMENT. EACH PERSON OR ENTITY REQUESTING APPROVAL, RELIEF OR OTHER ACTION FROM THE PLANNING BOARD, DESIGN REVIEW BOARD, HISTORIC PRESERVATION BOARD (INCLUDING THE JOINT DESIGN REVIEW BOARD/HISTORIC PRESERVATION BOARD), OR THE BOARD OF ADJUSTMENT SHALL DISCLOSE, AT THE COMMENCEMENT (OR CONTINUANCE) OF THE PUBLIC HEARING(S), ANY CONSIDERATION PROVIDED OR COMMITTED, DIRECTLY OR ON ITS BEHALF, FOR AN AGREEMENT TO SUPPORT OR WITHHOLD OBJECTION TO THE REQUESTED APPROVAL, RELIEF OR ACTION, EXCLUDING FROM THIS REQUIREMENT CONSIDERATION FOR LEGAL OR DESIGN PROFESSIONAL SERVICES RENDERED OR TO BE RENDERED. THE DISCLOSURE SHALL: (i) BE IN WRITING, (ii) INDICATE TO WHOM THE CONSIDERATION HAS BEEN PROVIDED OR COMMITTED, (iii) GENERALLY DESCRIBE THE NATURE OF THE CONSIDERATION, AND (iv) BE READ INTO THE RECORD BY THE REQUESTING PERSON OR ENTITY PRIOR TO SUBMISSION TO THE SECRETARY/CLERK OF THE RESPECTIVE BOARD. UPON DETERMINATION BY THE APPLICABLE BOARD THAT THE FOREGOING DISCLOSURE REQUIREMENT WAS NOT TIMELY SATISFIED BY THE PERSON OR ENTITY REQUESTING APPROVAL, RELIEF OR OTHER ACTION AS PROVIDED ABOVE, THEN (i) THE APPLICATION OR ORDER, AS APPLICABLE, SHALL IMMEDIATELY BE DEEMED NULL AND VOID WITHOUT FURTHER FORCE OR EFFECT, AND (ii) NO APPLICATION FROM SAID PERSON OR ENTITY FOR THE SUBJECT PROPERTY SHALL BE REVIEWED OR CONSIDERED BY THE APPLICABLE BOARD(S) UNTIL EXPIRATION OF A PERIOD OF ONE YEAR AFTER THE NULLIFICATION OF THE APPLICATION OR ORDER. IT SHALL BE UNLAWFUL TO EMPLOY ANY DEVICE, SCHEME OR ARTIFICE TO CIRCUMVENT THE DISCLOSURE REQUIREMENTS OF THIS SECTION AND SUCH CIRCUMVENTION SHALL BE DEEMED A VIOLATION OF THE DISCLOSURE REQUIREMENTS OF THIS SECTION.
- WHEN THE APPLICABLE BOARD REACHES A DECISION A FINAL ORDER WILL BE ISSUED STATING THE BOARD'S DECISION AND ANY CONDITIONS IMPOSED THEREIN. THE FINAL ORDER WILL BE RECORDED WITH THE MIAMI-DADE CLERK OF COURTS. THE ORIGINAL BOARD ORDER SHALL REMAIN ON FILE WITH THE CITY OF MIAMI BEACH PLANNING DEPARTMENT. UNDER NO CIRCUMSTANCES WILL A BUILDING PERMIT BE ISSUED BY THE CITY OF MIAMI BEACH WITHOUT A COPY OF THE RECORDED FINAL ORDER BEING INCLUDED AND MADE A PART OF THE PLANS SUBMITTED FOR A BUILDING PERMIT.

THE AFOREMENTIONED IS ACKNOWLEDGED BY: ☒ OWNER OF THE SUBJECT PROPERTY

☐ AUTHORIZED REPRESENTATIVE

SIGNATURE:

Collins and 72nd Developers, LLC. By Transacta 72nd Manager
By Silvia Colteane, Manager

PRINT NAME:

Silvia Colteane

FILE NO. _____

- IN ACCORDANCE WITH SEC.118-31. - DISCLOSURE REQUIREMENT. EACH PERSON OR ENTITY REQUESTING APPROVAL, RELIEF OR OTHER ACTION FROM THE PLANNING BOARD, DESIGN REVIEW BOARD, HISTORIC PRESERVATION BOARD (INCLUDING THE JOINT DESIGN REVIEW BOARD/HISTORIC PRESERVATION BOARD), OR THE BOARD OF ADJUSTMENT SHALL DISCLOSE, AT THE COMMENCEMENT (OR CONTINUANCE) OF THE PUBLIC HEARING(S), ANY CONSIDERATION PROVIDED OR COMMITTED, DIRECTLY OR ON ITS BEHALF, FOR AN AGREEMENT TO SUPPORT OR WITHHOLD OBJECTION TO THE REQUESTED APPROVAL, RELIEF OR ACTION, EXCLUDING FROM THIS REQUIREMENT CONSIDERATION FOR LEGAL OR DESIGN PROFESSIONAL SERVICES RENDERED OR TO BE RENDERED. THE DISCLOSURE SHALL: (i) BE IN WRITING, (ii) INDICATE TO WHOM THE CONSIDERATION HAS BEEN PROVIDED OR COMMITTED, (iii) GENERALLY DESCRIBE THE NATURE OF THE CONSIDERATION, AND (iv) BE READ INTO THE RECORD BY THE REQUESTING PERSON OR ENTITY PRIOR TO SUBMISSION TO THE SECRETARY/CLERK OF THE RESPECTIVE BOARD. UPON DETERMINATION BY THE APPLICABLE BOARD THAT THE FOREGOING DISCLOSURE REQUIREMENT WAS NOT TIMELY SATISFIED BY THE PERSON OR ENTITY REQUESTING APPROVAL, RELIEF OR OTHER ACTION AS PROVIDED ABOVE, THEN (i) THE APPLICATION OR ORDER, AS APPLICABLE, SHALL IMMEDIATELY BE DEEMED NULL AND VOID WITHOUT FURTHER FORCE OR EFFECT, AND (ii) NO APPLICATION FROM SAID PERSON OR ENTITY FOR THE SUBJECT PROPERTY SHALL BE REVIEWED OR CONSIDERED BY THE APPLICABLE BOARD(S) UNTIL EXPIRATION OF A PERIOD OF ONE YEAR AFTER THE NULLIFICATION OF THE APPLICATION OR ORDER. IT SHALL BE UNLAWFUL TO EMPLOY ANY DEVICE, SCHEME OR ARTIFICE TO CIRCUMVENT THE DISCLOSURE REQUIREMENTS OF THIS SECTION AND SUCH CIRCUMVENTION SHALL BE DEEMED A VIOLATION OF THE DISCLOSURE REQUIREMENTS OF THIS SECTION.
- WHEN THE APPLICABLE BOARD REACHES A DECISION A FINAL ORDER WILL BE ISSUED STATING THE BOARD'S DECISION AND ANY CONDITIONS IMPOSED THEREIN. THE FINAL ORDER WILL BE RECORDED WITH THE MIAMI-DADE CLERK OF COURTS. THE ORIGINAL BOARD ORDER SHALL REMAIN ON FILE WITH THE CITY OF MIAMI BEACH PLANNING DEPARTMENT. UNDER NO CIRCUMSTANCES WILL A BUILDING PERMIT BE ISSUED BY THE CITY OF MIAMI BEACH WITHOUT A COPY OF THE RECORDED FINAL ORDER BEING INCLUDED AND MADE A PART OF THE PLANS SUBMITTED FOR A BUILDING PERMIT.

THE AFOREMENTIONED IS ACKNOWLEDGED BY: ☒ OWNER OF THE SUBJECT PROPERTY

☐ AUTHORIZED REPRESENTATIVE

SIGNATURE: _____

Manager, Casa Grande Shopping Center LLC

PRINT NAME: _____

Pablo Wichmann

FILE NO. _____

- IN ACCORDANCE WITH SEC.118-31. - DISCLOSURE REQUIREMENT. EACH PERSON OR ENTITY REQUESTING APPROVAL, RELIEF OR OTHER ACTION FROM THE PLANNING BOARD, DESIGN REVIEW BOARD, HISTORIC PRESERVATION BOARD (INCLUDING THE JOINT DESIGN REVIEW BOARD/HISTORIC PRESERVATION BOARD), OR THE BOARD OF ADJUSTMENT SHALL DISCLOSE, AT THE COMMENCEMENT (OR CONTINUANCE) OF THE PUBLIC HEARING(S), ANY CONSIDERATION PROVIDED OR COMMITTED, DIRECTLY OR ON ITS BEHALF, FOR AN AGREEMENT TO SUPPORT OR WITHHOLD OBJECTION TO THE REQUESTED APPROVAL, RELIEF OR ACTION, EXCLUDING FROM THIS REQUIREMENT CONSIDERATION FOR LEGAL OR DESIGN PROFESSIONAL SERVICES RENDERED OR TO BE RENDERED. THE DISCLOSURE SHALL: (i) BE IN WRITING, (ii) INDICATE TO WHOM THE CONSIDERATION HAS BEEN PROVIDED OR COMMITTED, (iii) GENERALLY DESCRIBE THE NATURE OF THE CONSIDERATION, AND (iv) BE READ INTO THE RECORD BY THE REQUESTING PERSON OR ENTITY PRIOR TO SUBMISSION TO THE SECRETARY/CLERK OF THE RESPECTIVE BOARD. UPON DETERMINATION BY THE APPLICABLE BOARD THAT THE FOREGOING DISCLOSURE REQUIREMENT WAS NOT TIMELY SATISFIED BY THE PERSON OR ENTITY REQUESTING APPROVAL, RELIEF OR OTHER ACTION AS PROVIDED ABOVE, THEN (i) THE APPLICATION OR ORDER, AS APPLICABLE, SHALL IMMEDIATELY BE DEEMED NULL AND VOID WITHOUT FURTHER FORCE OR EFFECT, AND (ii) NO APPLICATION FROM SAID PERSON OR ENTITY FOR THE SUBJECT PROPERTY SHALL BE REVIEWED OR CONSIDERED BY THE APPLICABLE BOARD(S) UNTIL EXPIRATION OF A PERIOD OF ONE YEAR AFTER THE NULLIFICATION OF THE APPLICATION OR ORDER. IT SHALL BE UNLAWFUL TO EMPLOY ANY DEVICE, SCHEME OR ARTIFICE TO CIRCUMVENT THE DISCLOSURE REQUIREMENTS OF THIS SECTION AND SUCH CIRCUMVENTION SHALL BE DEEMED A VIOLATION OF THE DISCLOSURE REQUIREMENTS OF THIS SECTION.
- WHEN THE APPLICABLE BOARD REACHES A DECISION A FINAL ORDER WILL BE ISSUED STATING THE BOARD'S DECISION AND ANY CONDITIONS IMPOSED THEREIN. THE FINAL ORDER WILL BE RECORDED WITH THE MIAMI-DADE CLERK OF COURTS. THE ORIGINAL BOARD ORDER SHALL REMAIN ON FILE WITH THE CITY OF MIAMI BEACH PLANNING DEPARTMENT. UNDER NO CIRCUMSTANCES WILL A BUILDING PERMIT BE ISSUED BY THE CITY OF MIAMI BEACH WITHOUT A COPY OF THE RECORDED FINAL ORDER BEING INCLUDED AND MADE A PART OF THE PLANS SUBMITTED FOR A BUILDING PERMIT.

THE AFOREMENTIONED IS ACKNOWLEDGED BY: ☒ OWNER OF THE SUBJECT PROPERTY

☐ AUTHORIZED REPRESENTATIVE

SIGNATURE: _____

PRINT NAME: _____

Erik Yehezkel

FILE NO. _____

Prepared by and Return to:
Susan K. Robin, Esq.
Akerman LLP
350 East Las Olas Boulevard, Suite 1600
Fort Lauderdale, Florida 33301

LIMITED POWER OF ATTORNEY

KNOW ALL MEN BY THESE PRESENTS, that **AHM Advisors, LLC**, a Florida limited liability company (the "Company"), hereby makes, constitutes and appoints EVIK 78482K1 (the "Attorney-In-Fact"), to be its true and lawful attorney-in-fact, for it and in its name, place and stead to act on behalf of the Company for the following purposes:

In connection with the development by Collins and 72nd Developers, LLC or its affiliate (the "Developer") of a mixed-use project involving multiple Lots within Block 8 of the Plat known as Normandy Isle South (which Plat is recorded at Plat Book 21, Page 54, of the Public Records of Miami-Dade County, Florida) (the "Project"), to execute and deliver certain documents, applications, agreements, assignments, consents, indemnities, certificates, affidavits, acknowledgements and other instruments as may be required by the Developer, the City of Miami Beach or any other government agency and non-City agencies (collectively, the "Transaction Documents") including, but not limited to: (i) applications for site plan approval and other land use and zoning approvals for the Project, (ii) applications for building permits and other permits (including permits with non-City agencies) necessary to develop the Project, (iii) a Declaration in Lieu of Unity of Title similar to the draft Declaration in Lieu of Unity of Title attached hereto as Exhibit "A", and an Easement and Operating Agreement, as required in Section 3 of the draft Declaration in Lieu of Unity of Title, both to be recorded against and encumber (among other Lots) the developed Lot the Company is acquiring from the Developer on even date herewith (Lot 9, Block 8 of Normandy Beach South Plat, located at 7118 Collins Ave, Miami Beach, FL 33141, folio #02-3211-002-0630), which developed Lot shall be deemed for land use and zoning purposes to be part of the Project.

The Company hereby grants to the Attorney-In-Fact full power and authority to do and perform any and every act and thing whatsoever requisite, necessary, or proper to be done in the exercise of any of the rights and powers herein granted, with full power of substitution or revocation, hereby ratifying and confirming all that such Attorney-In-Fact, or such Attorney-In-Fact's substitute or substitutes, shall lawfully do or cause to be done by virtue of this Limited Power of Attorney and the rights and powers herein granted.

[Signature and Acknowledgment Follow on Next Page]

IN WITNESS WHEREOF, I have hereunto set my hand and seal on this 1 day of April, 2016.

Sealed and delivered in the presence of:

AHM ADVISORS, LLC,
a Florida limited liability company

By: Haim Yehezkel
Name: Haim Yehezkel
Title: Manager
Date: 4-1-16

[Signature]
Witness #1 signature

Jay S. Pinker
Witness #1 - printed name

[Signature]
Witness #2 - signature

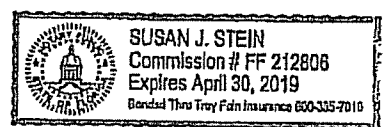
SUSAN J. STEIN
Witness #2 - printed name

STATE OF FLORIDA
COUNTY OF MIAMI-DADE

The foregoing instrument was acknowledged before me this 1st day of April, 2016, by Haim Yehezkel, as the Manager of AHM Advisors, LLC, a Florida limited liability company, who ☒ is personally known to me, or ☒ who has produced a driver's license as identification and who did take an oath.

Signature of Notary [Signature]
Commission Expiration Date: _____

[Affix Official Seal]



OWNER AFFIDAVIT FOR INDIVIDUAL OWNER

STATE OF
COUNTY OF

I, _____, being first duly sworn, depose and certify as follows: (1) I am the owner of the property that is the subject of this application. (2) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (3) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (4) I also hereby authorize the City of Miami Beach to enter my property for the sole purpose of posting a Notice of Public Hearing on my property, as required by law. (5) I am responsible for removing this notice after the date of the hearing.

SIGNATURE

Sworn to and subscribed before me this _____ day of _____, 20____. The foregoing instrument was acknowledged before me by _____, who has produced _____ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

NOTARY PUBLIC

My Commission Expires:

PRINT NAME

ALTERNATE OWNER AFFIDAVIT FOR
CORPORATION, PARTNERSHIP, OR LIMITED LIABILITY COMPANY
(Circle one)

STATE OF

COUNTY OF

Sylvia Coltrane

I, _____, being duly sworn, depose and certify as follows: (1) I am the Manager (print title) of Collins + 72nd Developers LLC (print name of corporate entity). (2) I am authorized to file this application on behalf of such entity. (3) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (4) The corporate entity named herein is the owner or tenant of the property that is the subject of this application. (5) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (6) I also hereby authorize the City of Miami Beach to enter the subject property for the sole purpose of posting a Notice of Public Hearing on the property, as required by law. (7) I am responsible for removing this notice after the date of the hearing.

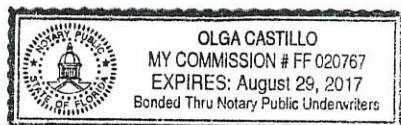
SIGNATURE

Sworn to and subscribed before me this 14 day of OCTOBER, 2016. The foregoing instrument was acknowledged before me by Sylvia Coltrane of _____, on behalf of such entity, who has produced _____ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP:

NOTARY PUBLIC

My Commission Expires:



PRINT NAME

FILE NO. _____

OWNER AFFIDAVIT FOR INDIVIDUAL OWNER

STATE OF _____
 COUNTY OF _____

I, _____, being first duly sworn, depose and certify as follows: (1) I am the owner of the property that is the subject of this application. (2) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (3) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (4) I also hereby authorize the City of Miami Beach to enter my property for the sole purpose of posting a Notice of Public Hearing on my property, as required by law. (5) I am responsible for removing this notice after the date of the hearing.

SIGNATURE

Sworn to and subscribed before me this _____ day of _____, 20____. The foregoing instrument was acknowledged before me by _____, who has produced _____ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

NOTARY PUBLIC

My Commission Expires:

PRINT NAME

ALTERNATE OWNER AFFIDAVIT FOR
CORPORATION, PARTNERSHIP, OR LIMITED LIABILITY COMPANY
 (Circle one)

STATE OF _____
 COUNTY OF _____

I, PABLO WICHMANN, being duly sworn, depose and certify as follows: (1) I am the MANAGER (print title) of CASA GRANDE SHOPPING CENTER LLC (print name of corporate entity). (2) I am authorized to file this application on behalf of such entity. (3) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (4) The corporate entity named herein is the owner or tenant of the property that is the subject of this application. (5) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (6) I also hereby authorize the City of Miami Beach to enter the subject property for the sole purpose of posting a Notice of Public Hearing on the property, as required by law. (7) I am responsible for removing this notice after the date of the hearing.

SIGNATURE

Sworn to and subscribed before me this 17 day of October, 2016. The foregoing instrument was acknowledged before me by Pablo Wichmann, Manager of Casa Grande Shopping, on behalf of such entity, who has produced _____ as identification and/or is personally known to me and who did/did not take an oath. after

NOTARY SEAL OR STAMP:

My Commission Expires:

Feb 21, 2020

Ethelin Sanchez
 Commission #FF963135
 Expires: February 21, 2020
 Bonded thru Aaron Notary

NOTARY PUBLIC

PRINT NAME

FILE NO. _____

OWNER AFFIDAVIT FOR INDIVIDUAL OWNER

STATE OF _____
 COUNTY OF _____

I, _____, being first duly sworn, depose and certify as follows: (1) I am the owner of the property that is the subject of this application. (2) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (3) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (4) I also hereby authorize the City of Miami Beach to enter my property for the sole purpose of posting a Notice of Public Hearing on my property, as required by law. (5) I am responsible for removing this notice after the date of the hearing.

 SIGNATURE

Sworn to and subscribed before me this _____ day of _____, 20____. The foregoing instrument was acknowledged before me by _____, who has produced _____ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

 NOTARY PUBLIC

My Commission Expires:

 PRINT NAME

ALTERNATE OWNER AFFIDAVIT FOR
CORPORATION, PARTNERSHIP, OR LIMITED LIABILITY COMPANY
 (Circle one)

STATE OF _____
 COUNTY OF _____

I, Erik Yehezkel being duly sworn, depose and certify as follows: (1) I am the Attorney in fact (print title) of AHM Advisors LLC (print name of corporate entity). (2) I am authorized to file this application on behalf of such entity. (3) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (4) The corporate entity named herein is the owner or tenant of the property that is the subject of this application. (5) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (6) I also hereby authorize the City of Miami Beach to enter the subject property for the sole purpose of posting a Notice of Public Hearing on the property, as required by law. (7) I am responsible for removing this notice after the date of the hearing.

 SIGNATURE

Sworn to and subscribed before me this 14 day of Oct., 2016. The foregoing instrument was acknowledged before me by Erik Yehezkel, _____ of AHM Advisors, LLC on behalf of such entity, who has produced _____ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP:



 NOTARY PUBLIC

My Commission Expires:

Orit Mimoun
 PRINT NAME

FILE NO. _____

POWER OF ATTORNEY AFFIDAVITSTATE OF
COUNTY OF

Silvia Coltrane, being duly sworn and deposed, certify as follows: (1) I am the owner or representative of the owner of the real property that is the subject of this application. (2) I hereby authorize Neisen Kasdin to be my representative before the Planning Board. (3) I also hereby authorize the City of Miami Beach to enter the subject property for the sole purpose of posting a Notice of Public Hearing on the property, as required by law. (4) I am responsible for removing this notice after the date of the hearing.

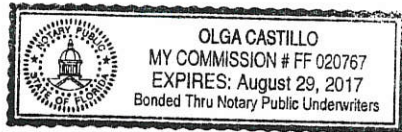
Silvia Coltrane

PRINT NAME (and Title, if applicable)

Silvia Coltrane
SIGNATURE

Sworn to and subscribed before me this 14 day of OCTOBER 2016. The foregoing instrument was acknowledged before me by SILVIA COLTRANE of _____ who has produced as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP



My Commission Expires

Olga Castillo
NOTARY PUBLIC

OLGA CASTILLO
PRINT NAME

CONTRACT FOR PURCHASE

If the applicant is not the owner of the property, but the applicant is a party to a contract to purchase the property, whether or not such contract is contingent on this application, the applicant shall list the names of the contract purchasers below, including any and all principal officers, stockholders, beneficiaries, or partners. If any of the contract purchasers are corporations, partnerships, limited liability companies, trusts, or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity. If any contingency clause or contract terms involve additional individuals, corporations, partnerships, limited liability companies, trusts, or other corporate entities, list all individuals and/or corporate entities. *

NAME

DATE OF CONTRACT

NAME, ADDRESS, AND OFFICE

% OF STOCK

In the event of any changes of ownership or changes in contracts for purchase, subsequent to the date that this application is filed, but prior to the date of a final public hearing, the applicant shall file a supplemental disclosure of interest.

FILE NO. _____

POWER OF ATTORNEY AFFIDAVITSTATE OF
COUNTY OF

I, PABLO WICHMANN, being duly sworn and deposed, certify as follows: (1) I am the owner or representative of the owner of the real property that is the subject of this application. (2) I hereby authorize AKERMAN LLP to be my representative before the Planning Board. (3) I also hereby authorize the City of Miami Beach to enter the subject property for the sole purpose of posting a Notice of Public Hearing on the property, as required by law. (4) I am responsible for removing this notice after the date of the hearing.

PABLO WICHMANN, MANAGER CASA GRANDE SHOPPING CENTER LLC
PRINT NAME (and Title, if applicable)

SIGNATURE

Sworn to and subscribed before me this 17 day of October, 2016. The foregoing instrument was acknowledged before me by Pablo Wichmann, Manager of Casa Grande Shopping Center who has produced as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP



Ethelin Sanchez
Commission #FF963135
Expires: February 21, 2020
Bonded thru Aaron Notary

My Commission Expires

Feb 21, 2020

NOTARY PUBLIC

PRINT NAME

CONTRACT FOR PURCHASE

If the applicant is not the owner of the property, but the applicant is a party to a contract to purchase the property, whether or not such contract is contingent on this application, the applicant shall list the names of the contract purchasers below, including any and all principal officers, stockholders, beneficiaries, or partners. If any of the contract purchasers are corporations, partnerships, limited liability companies, trusts, or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity. If any contingency clause or contract terms involve additional individuals, corporations, partnerships, limited liability companies, trusts, or other corporate entities, list all individuals and/or corporate entities. *

NAME

DATE OF CONTRACT

NAME, ADDRESS, AND OFFICE

% OF STOCK

In the event of any changes of ownership or changes in contracts for purchase, subsequent to the date that this application is filed, but prior to the date of a final public hearing, the applicant shall file a supplemental disclosure of interest.

FILE NO. _____

POWER OF ATTORNEY AFFIDAVITSTATE OF
COUNTY OF

I, ERIK YEHEZKEL, being duly sworn and deposed, certify as follows: (1) I am the owner or representative of the owner of the real property that is the subject of this application. (2) I hereby authorize Akerman to be my representative before the Planning Board. (3) I also hereby authorize the City of Miami Beach to enter the subject property for the sole purpose of posting a Notice of Public Hearing on the property, as required by law. (4) I am responsible for removing this notice after the date of the hearing.

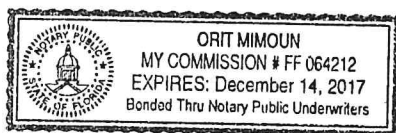
ERIK YEHEZKEL
PRINT NAME (and Title, if applicable)

[Signature]
SIGNATURE

Sworn to and subscribed before me this 14 day of Oct., 20 16. The foregoing instrument was acknowledged before me by Erik yehezkel of _____ who has produced as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

My Commission Expires



[Signature]
NOTARY PUBLIC
Orit Mimoun
PRINT NAME

CONTRACT FOR PURCHASE

If the applicant is not the owner of the property, but the applicant is a party to a contract to purchase the property, whether or not such contract is contingent on this application, the applicant shall list the names of the contract purchasers below, including any and all principal officers, stockholders, beneficiaries, or partners. If any of the contract purchasers are corporations, partnerships, limited liability companies, trusts, or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity. If any contingency clause or contract terms involve additional individuals, corporations, partnerships, limited liability companies, trusts, or other corporate entities, list all individuals and/or corporate entities.*

NAME

DATE OF CONTRACT

NAME, ADDRESS, AND OFFICE

% OF STOCK

In the event of any changes of ownership or changes in contracts for purchase, subsequent to the date that this application is filed, but prior to the date of a final public hearing, the applicant shall file a supplemental disclosure of interest.

FILE NO. _____

CITY OF MIAMI BEACH
DEVELOPMENT REVIEW BOARD APPLICATION

DISCLOSURE OF INTEREST

1. CORPORATION, PARTNERSHIP, OR LIMITED LIABILITY COMPANY

If the property that is the subject of the application is owned or leased by a corporation, partnership, or limited liability company, list ALL of the owners, shareholders, partners, managers, and/or members, and the percentage of ownership held by each. If the owners consist of one or more corporations, partnerships, trusts, partnerships, or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity.*

Collins & 72nd Developers, LLC

NAME OF CORPORATE ENTITY

NAME AND ADDRESS

% OF OWNERSHIP

see attached list

NAME OF CORPORATE ENTITY

NAME AND ADDRESS

% OF OWNERSHIP

IF THERE ARE ADDITIONAL CORPORATE OWNERS, LIST ALL SUCH OWNERS, INCLUDING CORPORATE NAMES AND THE NAME, ADDRESS, AND PERCENTAGE OF OWNERSHIP OF EACH ADDITIONAL OWNER, ON A SEPARATE PAGE.

NOTE: Notarized signature required on page 9

FILE NO. _____

Disclosure of Ownership for Collins and 72nd Developers, LLC

Managed by Transacta 72nd, LLC, Silvia Coltrane, Manager

Transacta 72nd LLC is also a member

Members:

Transacta 72nd, LLC, A Florida Limited Liability Company

Silvia Coltrane -member

Address: 9537 Harding Avenue, Surfside, Florida 33154

Phone: 305-867-6344

Percentage Interest in Collins and 72nd Developers, LLC: 45.63%

Collins and 72nd Holdings, LLC, A Florida Limited Liability Company

Silvia Coltrane, Member

Address: 9537 Harding Avenue, Surfside, Florida 33154

Phone: 305-867-6344

Percentage Interest in Collins and 72nd Developers, LLC: 10.13%

Contemporary Hotel Partners, LLC, A Delaware Limited Liability Company

Jacques Bessoudo Member- 50%

Jordan Kavana, Member- 50%

Address: 18305 Biscayne Boulevard Suite 402

Aventura, Florida 33160

Percentage Interest in Collins and 72nd Developers, LLC 39.24%

AOMA Investments, LLC, A Delaware Limited Liability Company

Alex Blavatnik, Member

C/O Access Industries, Inc.

730 5th Avenue 20th Floor

New York, New York 10019

Percentage Interest in Collins and 72nd Developers, LLC 5%

CITY OF MIAMI BEACH
DEVELOPMENT REVIEW BOARD APPLICATION

DISCLOSURE OF INTEREST

1. CORPORATION, PARTNERSHIP, OR LIMITED LIABILITY COMPANY

If the property that is the subject of the application is owned or leased by a corporation, partnership, or limited liability company, list ALL of the owners, shareholders, partners, managers, and/or members, and the percentage of ownership held by each. If the owners consist of one or more corporations, partnerships, trusts, partnerships, or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity.*

Casa Grande Shopping Center, LLC

NAME OF CORPORATE ENTITY

NAME AND ADDRESS

% OF OWNERSHIP

Marbella International Group Ltd.

50%

10275 Collins Avenue, Apt 708, Bal Harbour FL 33154

Owned 100% by Elias Farrah Massu Ananias (same address)

50%

America Investments Ltd.

10275 Collins Avenue, Apt 708, Bal Harbour FL 33154

Owned 100% by Jaime Massu Ananias (same address)

NAME OF CORPORATE ENTITY

NAME AND ADDRESS

% OF OWNERSHIP

IF THERE ARE ADDITIONAL CORPORATE OWNERS, LIST ALL SUCH OWNERS, INCLUDING CORPORATE NAMES AND THE NAME, ADDRESS, AND PERCENTAGE OF OWNERSHIP OF EACH ADDITIONAL OWNER, ON A SEPARATE PAGE.

NOTE: Notarized signature required on page 9

FILE NO. _____

CITY OF MIAMI BEACH
DEVELOPMENT REVIEW BOARD APPLICATION

DISCLOSURE OF INTEREST

1. CORPORATION, PARTNERSHIP, OR LIMITED LIABILITY COMPANY

If the property that is the subject of the application is owned or leased by a corporation, partnership, or limited liability company, list ALL of the owners, shareholders, partners, managers, and/or members, and the percentage of ownership held by each. If the owners consist of one or more corporations, partnerships, trusts, partnerships, or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity.*

AHM Advisors, LLC

NAME OF CORPORATE ENTITY

NAME AND ADDRESS

% OF OWNERSHIP

HAIM YEHEZKEL

210 71 St. #309

Miami Beach FL 33141

50%

NAME OF CORPORATE ENTITY

NAME AND ADDRESS

% OF OWNERSHIP

Avi Dishy

210 71 St. #309

Miami Beach FL 33141

50%

IF THERE ARE ADDITIONAL CORPORATE OWNERS, LIST ALL SUCH OWNERS, INCLUDING CORPORATE NAMES AND THE NAME, ADDRESS, AND PERCENTAGE OF OWNERSHIP OF EACH ADDITIONAL OWNER, ON A SEPARATE PAGE.

NOTE: Notarized signature required on page 9

FILE NO. _____

CITY OF MIAMI BEACH
DEVELOPMENT REVIEW BOARD APPLICATION
DISCLOSURE OF INTEREST

2. TRUSTEE

If the property that is the subject of this application is owned or leased by a trust, list any and all trustees and beneficiaries of the trust, and the percentage of interest held by each. If the owners consist of one or more corporations, partnerships, trusts, partnerships, or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity.*

TRUST NAME

NAME AND ADDRESS

% INTEREST

_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

NOTE: Notarized signature required on page 9

FILE NO. _____

3. COMPENSATED LOBBYIST:

Pursuant to Section 2-482 of the Miami Beach City Code, all lobbyists shall, before engaging in any lobbying activities, register with the City Clerk. Please list below any and all persons or entities retained by the applicant to lobby City staff or any of the City's land development boards in support of this application.

	NAME	ADDRESS	PHONE #
a.	Silvia Coltrane	9537 Harding Ave, Surfside, FL 33154	305-867-6344
b.	Neisen Kasdin	98 SE 7 Street, Suite 1100, Miami, FL 33131	305-374-5600
c.	Luis Revuelta	2950 SW 27 Street, Miami, FL 33133	305-590-5000
	Hernando Marin	2950 SW 27 Street, Miami, FL 33133	305-590-5000

Additional names can be placed on a separate page attached to this form.

Matthew Barnes 98 SE 7 Street, Suite 1100, Miami, FL 33131 305-374-5600

*Disclosure shall not be required of any entity, the equity interests in which are regularly traded on an established securities market in the United States or other country, or of any entity, the ownership interests of which are held in a limited partnership or other entity, consisting of more than 5,000 separate interests, where no one person or entity holds more than a total of 5% of the ownership interests in the entity.

APPLICANT HEREBY ACKNOWLEDGES AND AGREES THAT (1) ANY APPROVAL GRANTED BY A LAND DEVELOPMENT BOARD OF THE CITY SHALL BE SUBJECT TO ANY AND ALL CONDITIONS IMPOSED BY SUCH BOARD AND BY ANY OTHER BOARD HAVING JURISDICTION, AND (2) APPLICANT'S PROJECT SHALL COMPLY WITH THE CODE OF THE CITY OF MIAMI BEACH AND ALL OTHER APPLICABLE CITY, STATE, AND FEDERAL LAWS.

APPLICANT AFFIDAVIT

STATE OF
COUNTY OF

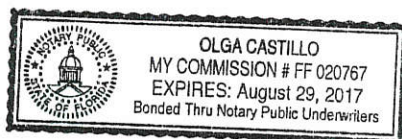
I, Silvia Coltrane, being first duly sworn, depose and certify as follows: (1) I am the applicant, or the representative of the applicant. (2) This application and all information submitted in support of this application, including disclosures, sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief.

Silvia Coltrane

SIGNATURE

Sworn to and subscribed before me this 14 day of OCTOBER, 2016. The foregoing instrument was acknowledged before me by, who has produced as identification and/or (is personally known to me) and who did/did not take an oath.

NOTARY SEAL OR STAMP



My Commission Expires:

Olga Castillo

NOTARY PUBLIC

OLGA CASTILLO

PRINT NAME

FILE NO. _____

3. COMPENSATED LOBBYIST:

Pursuant to Section 2-482 of the Miami Beach City Code, all lobbyists shall, before engaging in any lobbying activities, register with the City Clerk. Please list below any and all persons or entities retained by the applicant to lobby City staff or any of the City's land development boards in support of this application.

	NAME	ADDRESS	PHONE #
a.	Silvia Coltrane	9537 Harding Ave, Surfside, FL 33154	305-867-6344
b.	Neisen Kasdin	98 SE 7 Street, Suite 1100, Miami, FL 33131	305-374-5600
c.	Luis Revuelta	2950 SW 27 St., Miami, FL 33133	305-590-5000
	Hernando Marin	2950 SW 27 St., Miami, FL 33133	305-590-5000

Additional names can be placed on a separate page attached to this form.

	Matthew Barnes	98 SE 7 Street, Suite 1100, Miami, FL 33131	305-374-5600
--	----------------	---	--------------

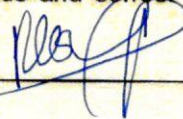
*Disclosure shall not be required of any entity, the equity interests in which are regularly traded on an established securities market in the United States or other country, or of any entity, the ownership interests of which are held in a limited partnership or other entity, consisting of more than 5,000 separate interests, where no one person or entity holds more than a total of 5% of the ownership interests in the entity.

APPLICANT HEREBY ACKNOWLEDGES AND AGREES THAT (1) ANY APPROVAL GRANTED BY A LAND DEVELOPMENT BOARD OF THE CITY SHALL BE SUBJECT TO ANY AND ALL CONDITIONS IMPOSED BY SUCH BOARD AND BY ANY OTHER BOARD HAVING JURISDICTION, AND (2) APPLICANT'S PROJECT SHALL COMPLY WITH THE CODE OF THE CITY OF MIAMI BEACH AND ALL OTHER APPLICABLE CITY, STATE, AND FEDERAL LAWS.

APPLICANT AFFIDAVIT

STATE OF
COUNTY OF

I, PABLO WICHMANN, being first duly sworn, depose and certify as follows: (1) I am the applicant, or the representative of the applicant. (2) This application and all information submitted in support of this application, including disclosures, sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief.



SIGNATURE

Sworn to and subscribed before me this 17 day of October, 2016. The foregoing instrument was acknowledged before me by, who has produced as identification and/or is personally known to me and who did/did not take an oath.

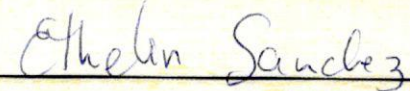
NOTARY SEAL OR STAMP



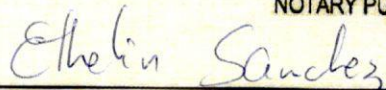
Ethelin Sanchez
Commission #FF963135
Expires: February 21, 2020
Bonded thru Aaron Notary

My Commission Expires:

Feb 21, 2020



NOTARY PUBLIC



PRINT NAME

FILE NO. _____

3. COMPENSATED LOBBYIST:

Pursuant to Section 2-482 of the Miami Beach City Code, all lobbyists shall, before engaging in any lobbying activities, register with the City Clerk. Please list below any and all persons or entities retained by the applicant to lobby City staff or any of the City's land development boards in support of this application.

	NAME	ADDRESS	PHONE #
a.	Silvia Coltrane	9537 Harding Ave, Surfside, FL 33154	305-867-6344
b.	Neisen Kasdin	98 SE 7 Street, Suite 1100, Miami, FL 33131	305-374-5600
c.	Luis Revuelta	2950 SW 27 Street, Miami, FL 33133	305-590-5000
	Hernando Marin	2950 SW 27 Street, Miami, FL 33133	305-590-5000
Additional names can be placed on a separate page attached to this form.			
	Matthew Barnes	98 SE 7 Street, Suite 1100, Miami, FL 33131	305-374-5600

*Disclosure shall not be required of any entity, the equity interests in which are regularly traded on an established securities market in the United States or other country, or of any entity, the ownership interests of which are held in a limited partnership or other entity, consisting of more than 5,000 separate interests, where no one person or entity holds more than a total of 5% of the ownership interests in the entity.

APPLICANT HEREBY ACKNOWLEDGES AND AGREES THAT (1) ANY APPROVAL GRANTED BY A LAND DEVELOPMENT BOARD OF THE CITY SHALL BE SUBJECT TO ANY AND ALL CONDITIONS IMPOSED BY SUCH BOARD AND BY ANY OTHER BOARD HAVING JURISDICTION, AND (2) APPLICANT'S PROJECT SHALL COMPLY WITH THE CODE OF THE CITY OF MIAMI BEACH AND ALL OTHER APPLICABLE CITY, STATE, AND FEDERAL LAWS.

APPLICANT AFFIDAVIT

STATE OF
COUNTY OF

I, ERIK VENEZUELA, being first duly sworn, depose and certify as follows: (1) I am the applicant, or the representative of the applicant. (2) This application and all information submitted in support of this application, including disclosures, sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief.

SIGNATURE

Sworn to and subscribed before me this 14 day of Oct., 2016. The foregoing instrument was acknowledged before me by, who has produced as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP



My Commission Expires:

NOTARY PUBLIC

Orit Mimoun

PRINT NAME

FILE NO. _____

Exhibit "A"

Legal Description

Lots 1, 2, 3, 4, 9, 10, 11 and 12 in Block 8 of Normandy Beach South, according to the Plat thereof, as recorded in Plat Book 21, Page 54, of the Public Records of Miami-Dade County, Florida.

CITY OF MIAMI BEACH
CERTIFICATE OF USE, ANNUAL FIRE FEE, AND BUSINESS TAX RECEIPT

1700 Convention Center Drive
Miami Beach, Florida 33139-1819

TRADE NAME: DEN NORTH BEACH, INC DBA DENNY'S #8850
IN CARE OF: ADAM JACOBS
ADDRESS: 7140 COLLINS AVE
MIAMI BEACH, FL 33141-3212

RECEIPT NUMBER: RL-10006520
Beginning: 10/01/2015
Expires: 09/30/2016
Parcel No: 0232110020660

A penalty is imposed for failure to keep this Business Tax Receipt exhibited conspicuously at your place of business.

A certificate of Use / Business Tax Receipt issued under this article does not waive or supersede other City laws, does not constitute City approval of a particular business activity and does not excuse the licensee from all other laws applicable to the licensee's business.

This Receipt may be transferred:

A. Within 30 days of a bonafide sale, otherwise a complete annual payment is due.

B. To another location within the City if proper approvals and the Receipt are obtained prior to the opening of the new location.

Additional Information

TRADE ADDRESS: 7140 COLLINS AVE

Code	Certificate of Use/Occupation
016400	RESTAURANT / BARS

CERTIFICATE OF USE	900
SQUARE FOOTAGE	108
# OF SEATS	108
C_U # OF UNITS	108

Storage Locations

FROM: CITY OF MIAMI BEACH
1700 CONVENTION CENTER DRIVE
MIAMI BEACH, FL 33139-1819

PRESORTED
FIRST CLASS
U.S. POSTAGE
PAID
MIAMI BEACH, FL
PERMIT No 1525

DEN NORTH BEACH, INC DBA DENNY
7140 COLLINS AVE
MIAMI BEACH, FL 33141-3212



CITY OF MIAMI BEACH
CERTIFICATE OF USE, ANNUAL FIRE FEE, AND BUSINESS TAX RECEIPT

1700 Convention Center Drive
Miami Beach, Florida 33139-1819

TRADE NAME: BUENOS AIRES BAKERY CORP
IN CARE OF: BUENOS AIRES BAKERY CORP
ADDRESS: 2000 NE 211TH ST
MIAMI, FL 33179

RECEIPT NUMBER: RL-01000589
Beginning: 10/01/2015
Expires: 09/30/2016
Parcel No: 0232110020650

A penalty is imposed for failure to keep this Business Tax Receipt exhibited conspicuously at your place of business.

A certificate of Use / Business Tax Receipt issued under this article does not waive or supersede other City laws, does not constitute City approval of a particular business activity and does not excuse the licensee from all other laws applicable to the licensee's business.

This Receipt may be transferred:

A. Within 30 days of a bonafide sale, otherwise a complete annual payment is due.

B. To another location within the City if proper approvals and the Receipt are obtained prior to the opening of the new location.

Additional Information

TRADE ADDRESS: 7134 COLLINS AVE

Code	Certificate of Use/Occupation
002200	BAKERY, WHOLESALE
007700	FOOD SALES
016400	RESTAURANT / BARS

CERTIFICATE OF USE	300
# OF EMPLOYEES	4
# OF SEATS	30
PREVIOUS BALANCE	\$ 0.00
C_U # OF UNITS	30
FOOD INVENTORY	\$ 2000

Storage Locations

FROM: CITY OF MIAMI BEACH
1700 CONVENTION CENTER DRIVE
MIAMI BEACH, FL 33139-1819

PRESORTED
FIRST CLASS
U.S. POSTAGE
PAID
MIAMI BEACH, FL
PERMIT No 1525

BUENOS AIRES BAKERY CORP
7134 COLLINS AVE
MIAMI BEACH, FL 33141-3212



CITY OF MIAMI BEACH
CERTIFICATE OF USE, ANNUAL FIRE FEE, AND BUSINESS TAX RECEIPT

1700 Convention Center Drive
Miami Beach, Florida 33139-1819

TRADE NAME: BANK OF AMERICA, N.A.
IN CARE OF: BANK OF AMERICA NA
ADDRESS: 7124 COLLINS AVE
MIAMI BEACH, FL 33141-3212

RECEIPT NUMBER: RL-10000739
Beginning: 10/01/2014
Expires: 09/30/2015
Parcel No: 0232110020640

A penalty is imposed for failure to keep this Business Tax Receipt exhibited conspicuously at your place of business.

A certificate of Use / Business Tax Receipt issued under this article does not waive or supersede other City laws, does not constitute City approval of a particular business activity and does not excuse the licensee from all other laws applicable to the licensee's business.

This Receipt may be transferred:

A. Within 30 days of a bonafide sale, otherwise a complete annual payment is due.

B. To another location within the City if proper approvals and the Receipt are obtained prior to the opening of the new location.

Additional Information
ATM SERVICE ONLY

TRADE ADDRESS: 7124 COLLINS AVE

Code 003602	Certificate of Use/Occupation AUTO TELLER MACHINES
-----------------------	--

CERTIFICATE OF USE	400
SQUARE FOOTAGE	1300
PREVIOUS BALANCE	\$ 436.73
C_U # OF UNITS	1300
# OF AUTOTELLER MACH	1

Storage Locations

FROM: CITY OF MIAMI BEACH
1700 CONVENTION CENTER DRIVE
MIAMI BEACH, FL 33139-1819

PRESORTED
FIRST CLASS
U.S. POSTAGE
PAID
MIAMI BEACH, FL
PERMIT No 1525

BANK OF AMERICA N A
800 5TH AVE, WA1501-10-10/10TH FL
SEATTLE, WA 98104



CITY OF MIAMI BEACH
CERTIFICATE OF USE, ANNUAL FIRE FEE, AND BUSINESS TAX RECEIPT

1700 Convention Center Drive
Miami Beach, Florida 33139-1819

TRADE NAME: LOCURA MARINA INC
IN CARE OF: JOSE VALERA
ADDRESS: 172 NW 89TH ST
EL PORTAL, FL 33150-2434

RECEIPT NUMBER: RL-10007209
Beginning: 10/01/2015
Expires: 09/30/2016
Parcel No: 0232110020630

A penalty is imposed for failure to keep this Business Tax Receipt exhibited conspicuously at your place of business.

A certificate of Use / Business Tax Receipt issued under this article does not waive or supersede other City laws, does not constitute City approval of a particular business activity and does not excuse the licensee from all other laws applicable to the licensee's business.

This Receipt may be transferred:

A. Within 30 days of a bonafide sale, otherwise a complete annual payment is due.

B. To another location within the City if proper approvals and the Receipt are obtained prior to the opening of the new location.

Additional Information

OCCP LOAD APPROVED BY VIGIRL FERNANDEZ. BMS1402028

TRADE ADDRESS: 7118 COLLINS AVE

Code 016400	Certificate of Use/Occupation RESTAURANT / BARS
-----------------------	---

CERTIFICATE OF USE	905
# OF SEATS	52
OCCUPANCY LOAD	65
C_U # OF UNITS	52

Storage Locations

FROM: CITY OF MIAMI BEACH
1700 CONVENTION CENTER DRIVE
MIAMI BEACH, FL 33139-1819

PRESORTED
FIRST CLASS
U.S. POSTAGE
PAID
MIAMI BEACH, FL
PERMIT No 1525

LOCURA MARINA INC
7118 COLLINS AVE
MIAMI BEACH, FL 33141-3212





Akerman LLP
Three Brickell City Centre
98 Southeast Seventh Street
Suite 1100
Miami, FL 33131
Tel: 305.374.5600
Fax: 305.374.5095

November 2, 2016

VIA HAND DELIVERY

Chair and Members of the Planning Board
City of Miami Beach
1700 Convention Center Drive
Miami Beach, FL 33139

RE: Collins and 72nd Hotel and Retail Development, 7118, 7124, 7134 and 7140 Collins Avenue & 7121 Harding Avenue and three vacant lots without addresses – Letter of Intent

Our firm represents Collins & 72nd Developers, LLC ("Applicant") who is the owner of four parcels¹ of land and the contract purchaser for three parcels of land² that are currently owned by Casa Grande Shopping Center, LLC, located on the block bounded by Collins Avenue on the east, 72nd Street on the north, Harding Avenue on the west and 71st Street on the south (the "Property"). Also included as part of the Property is the parcel located at 7118 Collins Avenue (02-3211-002-0630) which is owned by AHM Advisors, LLC, who has joined in the application. The Property totals 49,890 square feet (1.145 acres).

The Property currently consists of three vacant lots on Harding Avenue, one lot on Harding Avenue that is improved with a surface parking lot and the parcels that front Collins Avenue are improved with 1-story commercial retail buildings. The two existing retail buildings at 7124 and 7134 Collins Avenue will be demolished and replaced with new ground floor retail floor area. The building at 7118 Collins that is owned by AHM Advisors, LLC and the Denny's building at 7140 Collins Avenue will remain in place. Although the existing Denny's building will remain, a new façade with elements matching and extending the vocabulary of the new hotel structure will be built in front of the existing exterior walls of Denny's. The concept is to create a new Architectural screen wall around the perimeter of Denny's, independent of the Denny's structure. This will require the closure of Denny's for approximately two months for foundation work, and shorter, partial closures once the screen wall embellishments are fabricated and installed.

The Applicant proposes to develop the Property with a 179-room hotel that has 2,366 sqft of meeting rooms and a 134-seat bar/lounge in the hotel and 23,753 sqft of ground floor

¹ Folios 02-3211-002-0660 (7140 Collins Avenue), 02-3211-002-0650 (7134 Collins Avenue), 02-3211-002-0640 (7124 Collins Avenue) and 02-3211-002-0600 (7121 Harding Avenue).

² Folios 02-3211-002-0570, 02-3211-002-0580 and 02-3211-002-0590 (the parcels have no addresses because they are vacant). The current owner, Casa Grande Shopping Center, LLC, has joined in the application.

retail³ facing Collins Avenue, 72nd Street and Harding Avenue (the "Project"). The required parking for the Project will be provided in a 141-space parking garage located on-site. The entrance and exit to the parking garage is located on Harding Avenue and so is the access to the loading zones and valet drop-off and pick-up driveway. The parking garage uses car elevators instead of ramps and it also uses mechanical parking lifts in some of the spaces. The mechanical parking systems require a conditional use permit. Access to the garage will be by valet only.

The enclosed traffic study shows that the surrounding road network will operate within the adopted levels of service, with only a minor adjustment to the northbound and eastbound green light left turn movements at the intersection of Indian Creek Drive and 71st Street. The traffic study also shows that the valet operations would operate sufficiently so that cars do not queue into the right-of-way on Harding Avenue.

The Project is the first major redevelopment project in the Town Center area of North Beach in many years. The Project has the potential to serve as a catalyst for the North Beach Town Center neighborhood, which has lacked investment. The Project has been designed to be consistent with the North Beach Master Plan prepared by Dover Kohl. In particular, the Project has wide sidewalks (up to 18' on Collins Avenue (10' on the Property and 8' in the right-of-way), up to 20' on 72nd Street (8' sidewalk and 2' planter on the Property and 10' in the right-of-way) and a 6' sidewalk in the right-of-way on Harding Avenue that expands to an additional 2' landscape strip and 8' sidewalk on the Property). At the NW corner of the Property the corner of the building is setback 22' from the property line and 29' from the edge of the sidewalk. The west side of the Project, at the entrance to the hotel, has a large urban plaza. The plaza has a 30' wide opening to Harding Avenue and at the north end of the plaza it extends 15' deep and it expands deeper as the building recesses from Harding to a point where the edge of the building is setback 62' from the property line, with reflecting pools, landscaped planters, benches and a tree.

The TC-1 zoning district regulations require that properties with at least 20,000 square feet of lot size provide at least five percent of the lot size as ground level open space located adjoining the front or side street of the site, or within a central courtyard area that is accessible to the public from the front or street side of the property and the open space shall be designed and maintained according to the urban plaza design standards in the North Beach Town Center design standards. The Project has been designed such that there are two areas, one at the NW corner of the Property and one at the hotel entrance on Harding Avenue, that meet the urban plaza design standards. Also, 11.2 percent of the lot (5,570 sqft) has been provided as ground level open space that is open to the sky and an additional 6.6 percent is covered open space.

The Project also consolidates all vehicular access points to one of the three sides of the Property, making 72nd Street and Collins Avenue a pedestrian-only environment conducive to street level retail, restaurants and cafes. Were the Property to be redeveloped by three

³ Of the 23,753 sqft of ground floor retail, 2,695 sqft is the existing and to remain Denny's restaurant at 7140 Collins Avenue and 5,025 sqft is in the existing and to remain building at 7118 Collins Avenue. So there is 16,033 sqft of new retail.

separate owners, as the historical ownership pattern dictated, there could have been numerous curb cuts, including on 72nd Street, that would have deteriorated the pedestrian environment.

The Project is the first project to apply for approval under the recently adopted ordinance allowing building heights up to 125 feet in the TC-1 district. The portion of the building that rises to 125 feet is a slender tower that is situated in a slight NW/SE angle so as to better capture the open views to the NE toward the ocean. The height up to 125 feet will help frame the City-owned open space on the north side of 72nd Street, which is consistent with the widely-held planning principal of allowing greater height adjacent to public open spaces. It is also consistent with the planning principal of allowing greater height in core redevelopment areas such as the TC-1 district. And finally, it is consistent with the recommendations in the North Beach Master Plan for providing greater height in the TC-1 district.

The TC district regulations encourage the provision of alleys for access to parking and service areas. Because the Project consists of platted lots that stretch from Collins Avenue all the way across to Harding Avenue, there isn't a need for an alley running north-south on the Property. Having such an alley would only interrupt the pedestrian environment on 72nd Street, which is a pedestrian path of higher importance compared to the Harding Avenue side of the Property. Therefore, access to the parking and service areas is provided on Harding Avenue.

There is a 10-foot⁴ platted public utility easement in the middle of the Property running north-south.⁵ Currently there is a 6-inch water main in the easement and overhead high voltage electric transmission and distribution lines. The Applicant has met with the Public Works Department and the 6-inch water line can be abandoned with no issues because there are adequate 8-inch and 12-inch water lines in the surrounding rights-of-way from which service to the Project and the other properties on the block can draw from.

Also, the Applicant has met with FPL and is working with them to relocate the existing overhead high voltage electric transmission line to the Harding side of the Property running south to the terminus of the Property, then heading eastward within a new unobstructed 10-foot easement to the middle of the Property where the overhead high voltage electric lines would continue southward in their existing condition. The FPL standard service distribution lines and telecommunication lines will be run underground. The Applicant explored the possibility of placing the electric transmission line underground but the cost implications and additional time restraints of placing the high capacity transmission line underground would be extremely expensive – approximately 10 to 12 times (\$5M to \$7M) as expensive as relocating them overhead – and physically difficult provided that the Applicant does not control the southernmost two parcels on the same block. The new utility poles will be located just inside of the property line on private property, with no encroachments into the right-of-way as directed by Public Works due to the fairly narrow width of the sidewalk on Harding Avenue (5' in the right-of-way).

⁴ The easement consists of the back five (5) feet of all of the platted lots that comprise the Property.

⁵ The Applicant will apply separately to the City for vacation of the platted alley.

City Code, Sec. 110-227(a) states that new construction shall be required to install underground **service** utilities. As mentioned above, the developer is installing the service utilities underground. However, the FPL high voltage transmission line – which is not a service utility in that it transmits electric high voltage power long distances and not directly to individual properties – will not be installed underground for the aforementioned reasons.

A. Conditional Use Review Criteria

Section 118-192(a) of the City's Land Development Regulations establishes seven (7) criteria by which all conditional use applications are measured against. These criteria are listed below in bold and underline text, with our response following each criteria in plain text.

(1) The use is consistent with the comprehensive plan or neighborhood plan if one exists for the area in which the property is located.

The proposed Project is a hotel with ground floor retail. Both uses are permitted in the TC-1 future land use category.

(2) The intended use or construction will not result in an impact that will exceed the thresholds for the levels of service as set forth in the comprehensive plan.

The traffic study indicates that the roadway levels of service will not be negatively affected.

(3) Structures and uses associated with the request are consistent with these land development regulations.

Hotel and retail are permitted uses in the TC-1 zoning district. The proposed structure is consistent with the land development regulations and no variances are required.⁶

(4) The public health, safety, morals, and general welfare will not be adversely affected.

Nothing in the Project will negatively affect the public health, safety, morals and general welfare of the City of Miami Beach. The Project has been designed to meet the standards of the North Beach Town Center design standards and the newly adopted North Beach Master Plan and it will enhance the existing pedestrian environment on Collins Avenue and create a vibrant pedestrian environment on 72nd Street and Harding Avenue.

(5) Adequate off-street parking facilities will be provided.

The Project will provide adequate parking facilities as required by the Land Development Regulations. 141 parking spaces are required for the Project and 141 spaces are provided.

⁶ Variances are only required for the proposed relocated utility poles.

(6) Necessary safeguards will be provided for the protection of surrounding property, persons, and neighborhood values.

The reason the Project is subject to a conditional use review is because it is greater than 50,000 square feet and because of the incorporation of mechanical parking devices. It does not include any uses that are in and of itself a conditional use. As detailed below, the Project meets all of the conditional use review criteria that are specific to mechanical parking.

(7) The concentration of similar types of uses will not create a negative impact on the surrounding neighborhood. Geographic concentration of similar types of conditional uses should be discouraged.

The use of the Project as a hotel and retail are both permitted uses in the TC-1 zoning district – it is only the size of the Project that triggers the conditional use review. The Project is appropriately sized given its prominent location at the NE corner of the Town Center part of North Beach along Collins and 72nd Street.

B. Conditional Use Review Criteria for Structures Greater than 50,000 square feet

Section 118-192(b) of the City's Zoning Code establishes eleven (11) criteria by which structures that are greater than 50,000 square feet are measured against. These criteria are listed below in bold and underline text, with our response following each criteria in plain text.

(1) Whether the proposed business operations plan has been provided, including hours of operation, number of employees, goals of business, and other operational characteristics pertinent to the application, and that such plan is compatible with the neighborhood in which it is located.

The operational plan for the project will be as follows. The ground floor retail will be open from 9:00 AM to 9:00 PM daily. Ground floor restaurants and cafes will be open until 11:00 PM on weekdays and Sundays and until 2:00 AM on Fridays and Saturdays. The hotel front desk and hotel gym will be open 24 hours a day. The hotel kitchen will be open until 10:00 PM, the hotel bar until 2:00 AM and the hotel meeting rooms will be available until 12:00 AM. The hotel pool will be open until sundown and the outdoor deck will be open until 12:00 AM. Valet attendants will be on-site 24 hours a day because no self-parking is allowed. There will be approximately 50 to 70 hotel employees. The traffic study shows that there is sufficient driveway length to handle queuing for the valet functions if the requisite number of valet attendants are provided. The trash pick-up location is internalized to the building.

(2) Whether a plan for the mass delivery of merchandise has been provided, including the hours of operation for delivery trucks to come into and exit from the neighborhood and how such plan will mitigate any adverse impacts to adjoining and nearby properties, and neighborhood.

A specific flag for the proposed hotel has not been chosen nor have specific tenants been identified for the ground floor retail spaces so specifics regarding loading operations are

not known at this time. The location of the loading spaces and trash pick-up area is internal to the building and shielded away from the residential building on the east side of Collins Avenue. Deliveries from the loading spaces can be taken to the hotel and retail stores without needing to use the outside sidewalks.

(3) Whether the scale of the proposed use is compatible with the urban character of the surrounding area and create adverse impacts on the surrounding area, and how the adverse impacts are proposed to be addressed.

The Project has been designed so that the bulk of the building at the upper floors, above 50' in height, is setback further than what is required by the TC-1 regulations. The hotel and retail uses are compatible with both the adjacent multifamily and adjacent commercial uses. The Project scaled appropriately to frame the open space on the north side of 72nd Street.

(4) Whether the proposed parking plan has been provided, including where and how the parking is located, utilized, and managed, that meets the required parking and operational needs of the structure and proposed uses.

The Project plans detail the physical layout of the parking garage. The first floor provides the drop-off and pick-up locations and circulation for the valet operation. The first floor also provides access to the loading spaces and trash pick-up location as well as access to the car elevators and three handicapped accessible spaces. The second floor is where all of the remaining 138 spaces are located.

(5) Whether an indoor and outdoor customer circulation plan has been provided that facilitates ingress and egress to the site and structure.

The parking garage is primarily for use by hotel patrons. Patrons of the ground floor retail stores will also be able to use the valet at a cost. Because the parking garage uses car elevators and mechanical parking, access to the parking garage is by valet only. So when a patron drops off their vehicle at the valet stand, the patron can access the hotel lobby directly by walking in towards the hotel front door. If the patron wanted to access the retail shops, they would just walk around the Property in a clockwise manner on the wide sidewalks provided and they could access the retail stores. Persons coming to the Property to only access the retail stores could also park in the public parking lot on the north side of 72nd Street and walk across 72nd Street at the cross walk located at the intersection of 72nd Street and Collins Avenue.

(6) Whether a security plan for the establishment and supporting parking facility has been provided that addresses the safety of the business and its users and minimizes impacts on the neighborhood.

A specific flag for the proposed hotel has not been chosen nor have specific tenants been identified for the ground floor retail spaces so specifics regarding security operations are not known at this time.

(7) Whether a traffic circulation analysis and plan has been provided that details means of ingress and egress into and out of the neighborhood, addresses the impact of projected traffic on the immediate neighborhood, traffic circulation pattern for the neighborhood, traffic flow through immediate intersections and arterials, and how these impacts are to be mitigated.

A traffic study was prepared by David Plummer & Associates in accordance with the agreed upon traffic methodology. The level of service for all intersections analyzed will not be negatively impacted by the Project. Only a minor adjustment to the northbound and eastbound green light left turn movements at the intersection of Indian Creek Drive and 71st Street is necessary to improve traffic conditions at this intersection.

(8) Whether a noise attenuation plan has been provided that addresses how noise will be controlled in the loading zone, parking structures and delivery and sanitation areas, to minimize adverse impacts to adjoining and nearby properties.

There are minimal openings from the parking garage to the east where the residential buildings are located, which will minimize noise that escapes the parking garage and travels eastward towards the residential buildings. Signs will be posted in the parking garage saying that the screeching of tires and the unnecessary sounding of horns is not permitted and valet attendants will be trained regarding these restrictions. The noise generated by the mechanical parking systems will generally not exceed 56 db(a)⁷, which is approximately the same noise level as normal ambient background noise. The loading zone/trash pick-up is internal to the parking garage and there is a roll down door, therefore any sounds from loading and trash pick-up functions will be contained within the Project. The trash room is enclosed and air-conditioned.

(9) Whether a sanitation plan has been provided that addresses on-site facilities as well as off-premises issues resulting from the operation of the structure.

The trash pick-up location is internal to the building and located behind a roll down door. The trash room is enclosed and air-conditioned.

(10) Whether the proximity of the proposed structure to similar size structures and to residential uses creates adverse impacts and how such impacts are mitigated.

The Project, as a 125-foot tall hotel project, would serve as an appropriate transition from the taller multifamily uses (200 feet) on the east side of Collins Avenue to the rest of the Town Center district that is currently developed at varying heights between one and five stores.

(11) Whether a cumulative effect from the proposed structure with adjacent and nearby structures arises, and how such cumulative effect will be addressed.

There will be no negative cumulative effect from the Project. There are no other hotels in the nearby area and the retail stores are consistent with other Town Center uses.

⁷ A-weighted decibels, an expression of the relative loudness of sounds in air as perceived by the human ear.

C. Conditional Use Review Criteria for Mechanical Parking Systems

Section 130-38(4) of the City's Zoning Code establishes eleven (11) specific review criteria for the Planning Board to consider in its review of an application to use mechanical parking systems. These criteria are listed below in bold and underline text, with our response following each criteria in plain text.

(a) Whether the scale of the proposed structure is compatible with the existing urban character of the surrounding neighborhood;

The proposed structure is proposed to be built at a height of approximately 125', which is compliant with the maximum height regulations of the TC-1 zoning district. It is significantly shorter by approximately 75' than the multifamily residential building to the east. It is taller than the existing structures in the Town Center area because it is the first project to come forward for approval since the height of the TC-1 regulations were raised from 75' to 125'.

(b) Whether the proposed use of mechanical parking results in an improvement of design characteristics and compatibility with the surrounding neighborhood;

The use of mechanical parking results in a vertical "footprint" for the proposed parking garage that is one story less than what would otherwise be required without the use of mechanical parking systems.

(c) Whether the proposed use of mechanical parking does not result in an increase in density or intensity over what could be constructed with conventional parking;

As shown on the submitted schematic parking plans, the proposed development program could be achieved through the use of a traditional, non-mechanical parking garage.

(d) Whether parking lifts or mechanisms are located inside, within a fully enclosed building, and not visible from exterior view;

The parking lifts and mechanisms for the parking garage are located on the second floor and are screened from view from the exterior by decorative screening.

(e) In cases where mechanical parking lifts are used for self-parking in multifamily residential buildings; whether approval is conditioned upon the proper restrictive covenant being provided limiting the use of each lift to the same unit owner;

The Project is not a multifamily building and no self-parking will be allowed.

(f) In cases where mechanical parking lifts are used for valet parking; whether approval is conditioned upon the proper restrictive covenant being provided stipulating that a valet service or operator must be provided for such parking for so long as the use continues;

The proper restrictive covenant will be provided prior to the issuance of a building permit.

(g) Whether a traffic study has been provided that details the ingress, egress and circulation within the mechanical parking facility, and the technical and staffing requirements necessary to ensure that the proposed mechanical parking system does not cause excessive stacking, waiting, or backups onto the public right-of-way;

A traffic study that shows the required information has been provided by David Plummer and Associates.

(h) Whether a proposed operations plan, including hours of operation, number of employees, maintenance requirements, noise specifications, and emergency procedures, has been provided;

The operational plan for the project will be as follows. The ground floor retail will be open from 9:00 AM to 9:00 PM daily. Ground floor restaurants and cafes will be open until 11:00 PM on weekdays and Sundays and until 2:00 AM on Fridays and Saturdays. The hotel front desk and hotel gym will be open 24 hours a day. The hotel kitchen will be open until 10:00 PM, the hotel bar until 2:00 AM and the hotel meeting rooms will be available until 12:00 AM. The hotel pool will be open until sundown and the outdoor deck will be open until 12:00 AM. Valet attendants will be on-site 24 hours a day because no self-parking is allowed. There will be approximately 50 to 70 hotel employees.

In addition to the following information, please see **Exhibit A** for specifications on the mechanical parking systems. A 600 KW generator will be provided in the room labeled E.G. on the second floor (the parking garage floor) and the room is 13' x 24' x 12' tall. The generator is for the operation of the car elevators in the event of a loss of power. The mechanical parking lifts are able to be operated by hand in the event of a loss of power. Triple stacked parking spaces will be 9' wide x 18' deep x 18'-6" high and double stacked parking spaces will be 8.5' wide x 18' deep x 12'-6" high. As detailed in the traffic study, the car elevators are expected to go up or down in 35 seconds and the mechanical parking lifts are expected to complete an operation in 60 seconds – the triple stacked parking lifts can complete an operation in 90 seconds. The noise generated by the mechanical parking systems will generally not exceed 56 db(a)⁸, which is approximately the same noise level as normal ambient background noise. Maintenance specifications are provided by the specific manufacturer in Exhibit A and the mechanical parking systems will be inspected and certified as safe and in good working condition by a licensed mechanical engineer at least once a year and a written report certifying the same shall be provided to the Planning Director and Building Official. Regarding emergency procedures, each mechanical lift is equipped with a security key on the push button board so authorized personnel only can operate the equipment, an emergency stop button on top of the push button board and mechanical locking stopper devices on the platform to ensure the platform stops within the same 1-inch level every time.

⁸ A-weighted decibels, an expression of the relative loudness of sounds in air as perceived by the human ear.

(i) In cases where the proposed facility includes accessory uses in addition to the parking garage, whether the accessory uses are in proportion to the facility as a whole, and delivery of merchandise and removal of refuse, and any additional impacts upon the surrounding neighborhood created by the scale and intensity of the proposed accessory uses, are adequately addressed;

The main use of the Project is a 179-room hotel and 23,238 sqft of ground floor retail. The hotel has 1,465 sqft of meeting rooms and a 134-seat bar/lounge as accessory uses, which are in proportion to the scale of the hotel. The delivery of merchandise and trash removal for all components of the Project will be handled via loading docks and trash rooms that are internal to the building.

(j) Whether the proximity of the proposed facility to similar size structures and to residential uses creates adverse impacts and how such impacts are mitigated;

The proposed mechanical parking facilities are not located in close proximity to other mechanical parking facilities. There will be no adverse impacts, e.g. noise externalities, from the proposed mechanical parking facilities because the Owner agrees (in the form of a condition of approval) to choose a manufacturer that is able to meet the specific performance criteria the City has for mechanical parking devices in Section 130-38(5) of the Zoning Code.

(k) Whether a cumulative effect from the proposed facility with adjacent and nearby structures arises, and how such cumulative effect will be addressed;

There are no adjacent and nearby mechanical parking facilities.

Section 130-38(3)(c)(i) of the City Code requires that projects with mechanical parking prepare schematic floor plans that show that a project of the same intensity could be achieved without mechanical parking using traditional ramping and parking systems and without variances, in order to show that the proposed mechanical parking systems are not being used to increase the achievable intensity on the property and that the resulting physical form using mechanical parking is preferable when compared to the non-mechanical parking schematic plans. Such plans have been prepared and are included within the proposed plans package. The plans shows that the same intensity can be achieved with a traditional parking garage structure. However, using non-mechanical parking systems increases the number of stories of the parking deck by one story and the functionality of the ground floor is worsened without using car elevators.

D. Additional mechanical parking criteria

Section 130-38(5) of the City's Zoning Code establishes seven (7) specific criteria for mechanical parking systems. These criteria are listed below in bold and underline text, with our response following each criteria in plain text.

(a) The noise or vibration from the operation of mechanical parking lifts, car elevators, or robotic parking systems shall not be plainly audible to or felt by any individual standing

outside an apartment or hotel unit at any adjacent or nearby property. In addition, noise and vibration barriers shall be utilized to ensure that surrounding walls decrease sound and vibration emissions outside of the parking garage;

The noise generated by the mechanical parking systems will generally not exceed 56 db(a)⁹, which is approximately the same noise level as normal ambient background noise.

(b) For mechanical lifts, the parking lift platform must be sealed and of a sufficient width and length (minimum of eight feet by 16 feet) to completely cover the bottom of the vehicle on the platform to prevent dripping liquids or debris onto the vehicle below;

The parking lift platforms meet this standard.

(c) All free-standing mechanical parking lifts must be designed so that power is required to lift the car, but that no power is required to lower the car, in order to ensure that the lift can be lowered and the top vehicle can be accessed in the event of a power outage; robotic garages and vehicle elevators must have backup generators sufficient to power the system;

A 600 KW generator will be provided in the room labeled E.G. on the second floor (the parking garage floor) and the room is 13' x 24' x 12' tall. The generator is for the operation of the car elevators in the event of a loss of power. The mechanical parking lifts are able to be operated by hand in the event of a loss of power.

(d) All mechanical lifts must be designed to prevent lowering of the lift when a vehicle is parked below the lift;

The parking lifts meet this standard.

(e) The ceiling heights of any parking level with parking lifts within the parking garage shall be a minimum of 11 feet by six inches;

The proposed plans meet this standard. Also, a portion of the parking garage has triple mechanical stackers and that portion of the parking garage has a ceiling height of 19'.

(f) All mechanical parking systems, including lifts, elevators and robotic systems, must be inspected and certified as safe and in good working order by a licensed mechanical engineer at least once per year and the findings of the inspection shall be summarized in a report signed by the same licensed mechanical engineer or firm. Such report shall be furnished to the planning director and the building official;

The parking lifts that this standard.

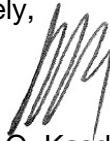
⁹ A-weighted decibels, an expression of the relative loudness of sounds in air as perceived by the human ear.

(g) All parking lifts shall be maintained and kept in good working order;

The Owner agrees to maintain the parking lifts in good working order.

We submit to the Planning Board that the proposed Project meets all of the conditional use review criteria as detailed herein. We respectfully request the Planning Board's favorable review of the Project.

Sincerely,

A handwritten signature in black ink, appearing to read 'Neisen O. Kasdin', written over the printed name.

Neisen O. Kasdin

Exhibit A

SECTION 14452 MECHANICAL PARKING EQUIPMENT

Part 1 – General

1.01 WORK INCLUDED

- A. Provide mechanical car stackers at locations shown on contract drawings.
- B. This section specifies equipment to be furnished and installed that will provide non-automatic vertically stacked automobile parking. The Mechanical Parking Equipment (MPE) subcontractor shall provide multiple two-level, two post automobile parking machines in the locations shown on the Contract drawings. The MPE Subcontractor shall provide electro-hydraulic power units and control systems. The MEP Subcontractor shall provide all necessary electrical piping and wiring (beyond power supply to power units at locations shown on contract electrical drawings as being provided by electrical subcontractor) and provide all hydraulic piping and hydraulic fluid for proper installation of the equipment.
- C. Stacked Parking System operation must be in accordance with manufacturer's requirements and must be operated by trained attendants. Self-parking is not permitted.
- D. Related Work Specified Elsewhere:
 - 1. Section 0330 – Cast-in-Place Concrete
 - 2. Division 15 – Plumbing
 - 3. Division 16 – Electrical

1.02 RELATED WORK

- A. Requirements for electrical equipment installation.
- B. Related Work by Others:
 - 1. 3 Phase 208 volts and 30 amp Fused disconnects on wall at locations indicated on electrical drawings.

1.03 CODES AND PERMITS

- A. Work shall be in accordance with Local Building Codes, National Electric Code and electrical parts are listed and labeled by UL.
- B. Pump motors and control panels shall be UL listed for wet locations. Alternatively UL listed motors may be housed in US listed for wet location enclosures.

1.04 SUBMITTALS

- A. Product Data. Submit manufacturer's product specifications, standard details, lifting capacities power requirements, installation instructions and general recommendations for stacked parking system installation.
- B. Shop Drawings: Submit shop drawings clearly detailing layout of stacked parking system bays showing actual clearances and dimensions. Show required piping, and wiring connections and conduit runs for wiring. Coordinate with architect's drawings with details.
- C. Operating and Maintenance documents/manuals for stacked parking system lifts, including operation and maintenance instructions, parts listing with sources indicated, recommended parts inventory listing, emergency instructions, and similar information. Include all diagnostic and

repair information available to manufacturer and installer's maintenance personnel. Submit for Owner's information at project closeout as specified in the Contract Documents.

- D. Schedule: Contractor shall submit schedule of fabrication, delivery, installation, and testing within 30 days after award of contract. Update schedules at 30-day intervals.
- E. Samples: Submit samples if required to be selected by Contracting Officer within 30 days after approval of the contract. Approval/selections will be returned to Contractor within 30 days of submittal.
- F. Operating Documentation: Prior to the initiation of the field testing and training, the Contractor shall deliver operations manuals and maintenance manuals: minimum of eight (8) copies of each.
- G. Record Drawings: Provide the Contracting Officer with a reproducible set of drawings and a CAD file in AutoCAD format showing any modifications for clarifications not present on original Contract Drawings including electrical circuitry and service schematics.

QUALITY ASSURANCE

A. Minimum qualifications:

1. Manufacturer Qualifications:

A minimum of TEN (10) years experience manufacturing with model proposed for installation on this project.

Installer Qualifications: shall have a minimum of FIVE (5) years experience installing and maintaining car stackers in Florida.

- B. Allow Contracting Officer free access to the facility at any time to observe the installation process.
- C. Comply with the following
 - 1. City of Miami Beach Parking Lift Ordinance.
- D. Provide 7 days notice to the Contracting Officer to review completed installation prior to acceptance testing.
- E. Provide equipment incorporating features which minimize maintenance and meet the following requirements:
 - 1. Provide for ease of performance verification and failure detection while minimizing effort required for adjustment.
 - 2. Provide unobstructed access to equipment components.
 - 3. Minimize requirements for special tools and test equipment.
 - 4. Provide for easy removal and replacement of components.
- F. Provide a system and components, which have a minimum service life of 25 years and specify periodic maintenance requirements in the maintenance manual to meet that life expectancy. Minimum life based upon minimum twenty five (25) lift cycles per day.
- G. If the Contractor elects to integrate components from different manufacturers, the Contractor shall be responsible for insuring that all specified features are provided and full operating when system is turned over to Contracting Officer for testing and acceptance.

1.05 PROJECT CONDITIONS

- A. Do not deliver stacked parking system equipment until building is enclosed, other construction within spaces where equipment will be installed is substantially complete, and installation of equipment is ready to take place.
- B. Protect equipment from damage during delivery, handling, storage, and installation.
- C. Store equipment from damage during delivery, handling storage, and installation.
- D. Equipment Storage:
 - 1. On site storage of lifts and accessories will not be permitted without written approval of the Owner. Lifts and accessories delivered to the site and not immediately installed shall be protected from the weather. Provide a well vented, waterproof covering over the equipment.

1.06 TIME OF COMPLETION

- A. Contractor shall coordinate the time required by the parking lift representative for installation and testing of equipment so that parking lift representative may begin operation of equipment at time parking facility is opened for use.

1.07 WARRANTY

- A. General: Contractor shall warrant equipment and installation (100% parts and labor) in each phase for period of 1 year from date of final acceptance and shall provide extension warranty for twenty four (24) additional years. Contractor shall warrant structural frame including lift platform for period of twenty five (25) years from date official acceptance of that phase by Contracting Officer. Contractor shall repair or replace, at his expense, including parts and labor, any component that fails due to defect or normal wear and tear during this warrant period. Contractor is not responsible for repair caused by vehicle damage, vandalism, fire or flood. The system shall be maintained and serviced under contract against any and all malfunctions due to manufacturing or installation defects during warranty period. Maintenance shall include preventive maintenance per manufacturer's recommendations, or as necessary to keep equipment in good working order. Lift contractor shall be responsible for performing all maintenance and repair during the warranty period, including all preventive maintenance and minor repair task. Lift Contractor shall keep a log of all maintenance, preventive maintenance and repair work performed under warranty to be given to contracting officer at the end of the warranty period.
- B. Lift contractor shall provide two preventative maintenance and safety inspections concurrently with the warrant period. These inspections shall include checking for proper cooperation of the lifts, checking all safety devices, lubricating any components requiring lubrication and making any necessary repairs or adjustments. Also inspect hydraulic pump units.
- C. Warranty Period: Warranty period shall begin after lift contractor has demonstrated satisfactory performance of car stackers without breakdowns or repair for 10 days of operation use.
- D. Initial Maintenance Service: Beginning at Final Completion, provide 12 months full maintenance service by skilled, competent contractor of the car stacker installer. Include semi-annually preventive maintenance repair or replacement of worn or defective components, lubrications, cleaning, and adjusting as required for proper operation and capacity. Use parts and supplies as used in the manufacturer and installation of original equipment.

- E. Continuing Maintenance Service: Provide a continuing maintenance proposal from installer to Owner, in the form of a standard yearly (or other period) maintenance agreement, starting on date initial maintenance service is concluded. State services, obligations, conditions, and terms for warranty period and for future renewal options.

2.1 MANUFACTURER

- A. In order to establish design intent the manufacturer named has been approved for use as minimum standards; manufacturers that may be substituted where products proposed are in compliance with the requirements and equal to or better than the approved product.

Klaus Parking Equipment or
Wohr Parking Equipment

2.2 PARKING LIFT UNIT (CAR STACKER):

- A. Basic Equipment Design: Provide non-automatic “car stacker” parking equipment that provides additional “dependent” parking spaces by lifting one car on a platform vertically so that a second car can park underneath the first. In order to retrieve a car from the lifted platform that car that is parked beneath that platform must be moved.
- B. Lift shall meet or exceed the features of Klaus Model G61 car stacker.
- C. Shall be commercial duty, designed to meet international building code requirements for wind loadings, meet the specification as applicable, of City of Miami Beach .
- D. Shall be designed for installation in exterior locations which could be subject to rain, snow, wind and salt air.
- E. Shall be galvanized steel. Components that are not galvanized may be painted with a high quality powder-coat finish. Lifts whose steel components are not either galvanized steel or painted with a high quality powder coat finish are not acceptable.
- F. Have a minimum rated lift capacity of 4,400 pounds. The platform shall be designed to safely lift and hold up to 6,600 pounds.
- G. Utilize a hydraulic lift mechanism with a shared power supply. Lift mechanism may not use cables as part of the lift mechanism. Lifting mechanism shall utilize one or more hydraulic cylinders which are directly attached to the lifting platform. The lifting mechanism shall be designed to safety lift at least 6,600 pounds.
- H. Safety Device: Each unit shall have redundant mechanical locking mechanism to prevent lowering of the upper vehicle due to loss of power or loss of hydraulic fluid. Provide a redundant mechanical or electromechanical safety device that shall mechanically lock the platform in the raised position. This device shall prevent any un-commended downward movement of the lift in the event of partial or complete hydraulic system failure. The safety device shall automatically engage as the lift nears the top of its upward travel, and shall disengage only when an operator specifically signals for downward travel.
- I. Hydraulic fluid shall be non-flammable and bio-degradable.
- J. Platform must be at least 8 feet 0 inches wide and 16 feet 0 inches long and fully sealed to prevent dripping on car below. Lift car by solid, antiskid lifting platform mechanism under

vehicles tires. Lifting platform shall be solid and continuously load bearing without gaps or holes in the platform. The platform shall be designed to catch any rain, melting snow, or other fluids dripping off a car on the platform so that these fluids do not drip on the car below. Minimum platform support length = 16 feet. Minimum usable platform width = 8 feet 0 inches. Designs which lift vehicles by their frame in lieu of under their tires are unacceptable. **NO BOLT ON DRIP PANS ALLOWED.**

- K. Level Platform: Provide design that will ensure that the platform stays level from side to side and front to back during the entire lifting travel.
- L. Car stacker shall have wheel stop mechanism to alert valet before driving too far onto lift mechanism
- M. The machine shall be a two-leg design with the legs located toward the rear of the machine allowing easy egress from a car parked on or below that platform. A four post configuration is not acceptable.
- N. Legs. Provide substantial steel legs that support and guide the platform as it is being lifted. Legs shall be made of galvanized steel. Legs shall have suitable bases for mounting on the floors and shall be securely bolted to the floor. Heavy duty-guides shall be nylon or roller and shall not require external grease or oil lubrication that might provide a problem by rubbing off on users or falling on to the floor or platform.
- O. Units shall have an overall width of 9 feet maximum.
- P. Units shall have a minimum drive through width of 7 feet 6 inches.
- Q. Be constructed in multi-units of at least four stackers where the parking layout will allow such construction.
- R. Be capable of operating with a minimum vertical clearance of 10'-6".
- S. Be capable of increasing stored height of upper platform in areas with additional vertical clearance. Units shall be capable of providing lifted platform storage heights at 60" to 84" above grade.
- T. Lifting Chains shall be designed with a factor of safety of at least eight.
- U. Chain Pulleys and Sprockets. Chain pulleys or sprockets shall be steel and have heavy-duty bushings or bearings with provisions for grease-gun lubrication.
- V. Pivot points shall utilize heavy duty bushings or bearing with provisions for lubrication, if required, during the service life of the bushing or bearing.

2.3 POWER UNIT

- A. Provide a heavy-duty hydraulic power unit. The power unit shall contain a heavy-duty electric motor, a hydraulic pump, a pressure gauge, an adjustable automatic pressure relief valve, a steel hydraulic fluid reservoir, and a return fitting. The pump shall be contained inside the reservoir to reduce noise. The units shall be wall mounted with a rubber bonded-to-metal mounting. Utilize 5.0 to 7.5 horsepower, 208 Volt, three phase motors. The unit shall be touch-safe: no gears, pulleys, belts or fans shall be accessible when covers are in place.
- B. UL approved for Wet Location installation.
- C. Shall be capable of running a minimum of 10 car stackers.

- D. Shall be capable of lifting and lowering a vehicle in less than 30 seconds.

2.4 CONTROL SYSTEM:

- A. Provide an electrical control system in a wall-mounted NEMA 12 cabinet. The system shall include a motor starter, motor overload, transformer, and clearly marked terminal blocks for all field connections. The system shall provide control signals for the safety-devices and operators stations. The system shall be UL listed as an "Industrial Control Panel". Provide a clear electrical and hydraulic schematic in a pocket on the door of the control enclosure.
- B. Hydraulic Piping or Tubing: Provide suitable hydraulic piping, tubing, or hose from the power unit to each machine. Piping, tubing or hose must be rated for the maximum operating and relief pressure of the system. Install the piping in a manner that eliminates, as much as practical, the possibility of damage from persons, automobiles, or other normal operations of the garage.
- C. Controls for Individuals Car Stacker shall be located at the drive aisles end of the stacker and be located such that attendant does not have to go between moving platforms to activate the lift. Key switch type is required, No push button allowed.
- D. Operator's Station. Provide an electrically operated control station on an arm or pedestal or mounted on a building column. Mount the operator control station in a location that shall allow complete unobstructed view of the machine during operation. The operator's station shall contain an up/down key-switch and an emergency stop switch with a red mushroom head. Provide key-switches that are identically keyed. The intent of the key is to prevent unauthorized operation during hours when the stackers are not in use.
- E. Provide engraved or laminated operating instructions adjacent to each operator's station. Provide clear numbering or identification of the machines and operator's station so that there can be no confusion as to what station operators which machine.
- F. Electrical Piping and Wiring. Providing suitable electrical piping and wiring for the car stackers. Wiring to the machines and to the operator's stations shall be enclosed in conduit. Install the wiring in a manner that eliminates, as much as practical, the possibility of damage from persons, automobiles, or other normal operations of the garage.

2.5 ANCHOR BOLTS OR BASE PLATES:

- A. Comply with car stackers manufacturer's instructions and recommendations. Install lifts on a concrete pad or level slab and anchored securely with sufficient anchorages to withstand load stresses.
- B. Anchor bolts shall be zinc coated or stainless steel for outdoor use.

PART 3 – EXECUTION

3.1 PROJECT COORDINATION

- A. General: Meet with Contracting Officer, and General Contractor within 30 days of contract Award to confirm all details of car stacker installation. Schedule, as related to work done Under General Contract must be achieved with adequate time for hookup, testing, and trial Period as specified herein.

- B. Submittals: Provide those responsible for related work with:

3.2 INSPECTION OF WORK BY OTHERS

- A. Upon written notice from car stacker representative that the entire work or an agreed portion There is complete, Contracting Officer and/or its representative(s) and car stacker Representatives shall make the final inspection of Work. The Contracting Officer and/or Contracting Officer's representative will then notify the car stacker representative in writing of all particulars in which the Work has been found incomplete or defective. The car stacker representative shall immediately take such measures as are necessary to remedy such deficiencies.

3.3 INSTALLATION OF CAR STACKERS

- a. Install Car Stacker in accordance with manufacturer's recommendations and approved Shop Drawing.
- b. Inspect the jobsite before delivery of the equipment. Advise the Contracting Officer of any deficiencies in the work required prior to the installation. Perform the installation with trained personnel. Advise the Contracting Officer two days prior to completion. Inspect the equipment with the Contracting Officer and receive his approval prior to putting the car stacker into service. Provide a minimum of two hours training to the Contracting officer's representative at the time of commissioning.
- c. Installation and Start-up: Car Stacker Representative shall be responsible for installation of all control and communication wiring and Contractor supplied equipment and its interfacing and interconnection with Contracting Officer supplied equipment. The car stacker representative shall authorize and accept responsibility for application of power to the equipment and initiation of operation, by responsible for running all initial diagnostic and system generation programs necessary to provide complete working system.

- 3.4 Training Provide minimum four hours training for Operators personnel, up to eight staff members. Training shall include proper operation of equipment and performance of any routine or preventative maintenance.

00130/jc/part 1.doc

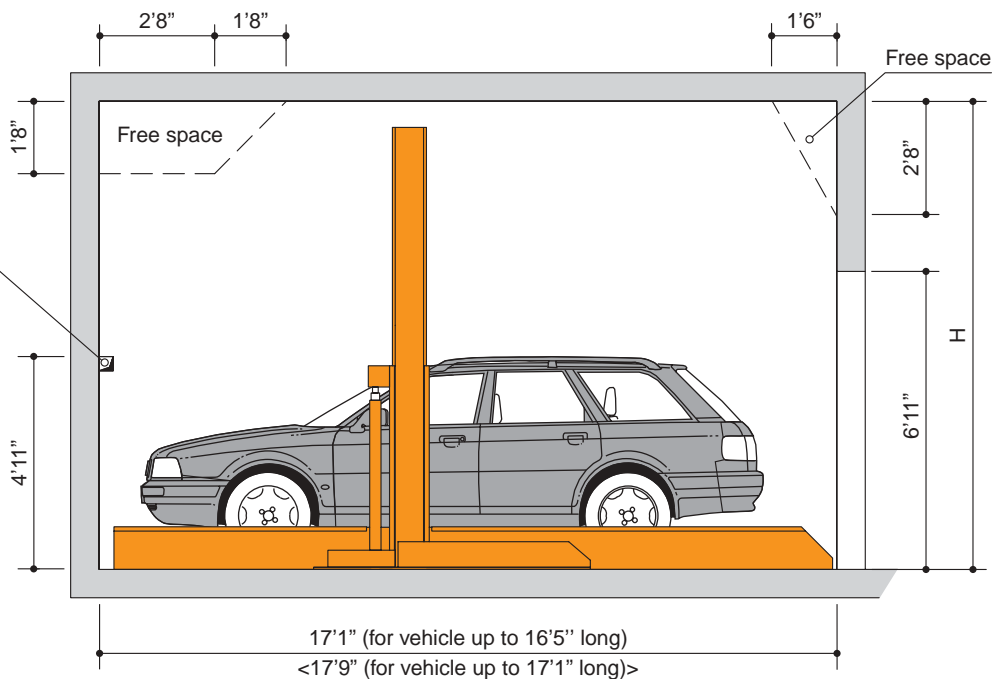
Basement garage

Space requirements are minimum finished dimensions in inch

for dividing walls:

cutting through 10 x 10 (for ducts for cables, pipes etc.) of dividing wall

PLEASE NOTE: Before lowering the platform the lower vehicle must be removed.



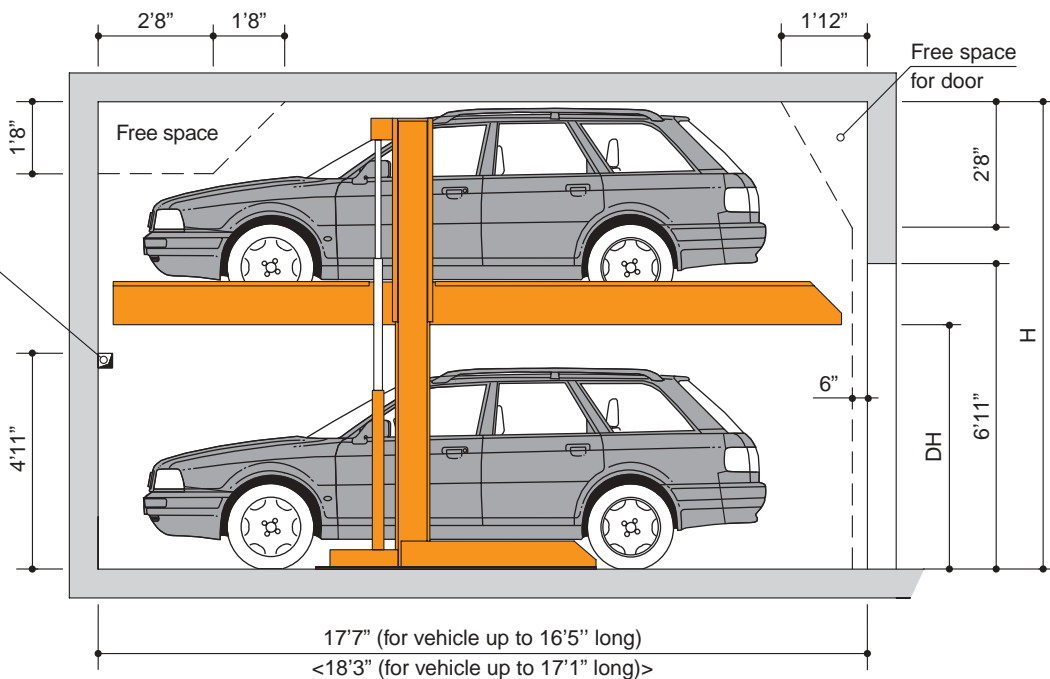
Garage with door in front of the car parking system

Space requirements are minimum finished dimensions in inch

for dividing walls:

cutting through 10 x 10 (for ducts for cables, pipes etc.) of dividing wall

PLEASE NOTE: Before lowering the platform the lower vehicle must be removed.




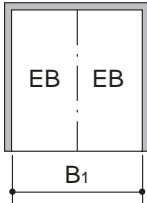
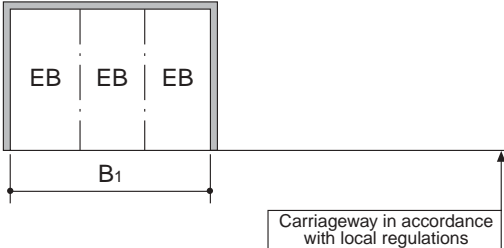
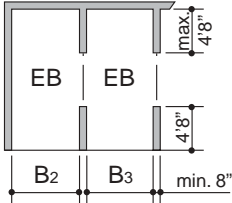
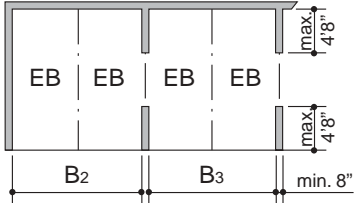
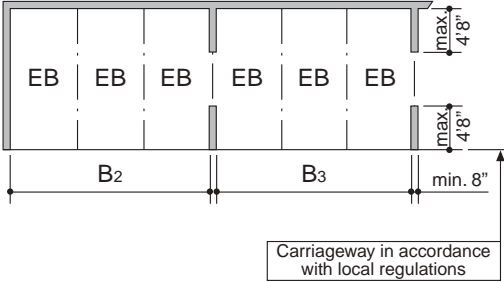
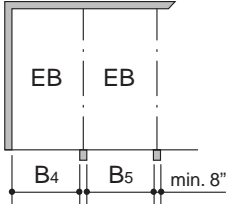
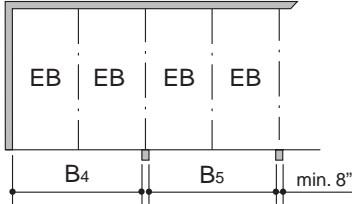
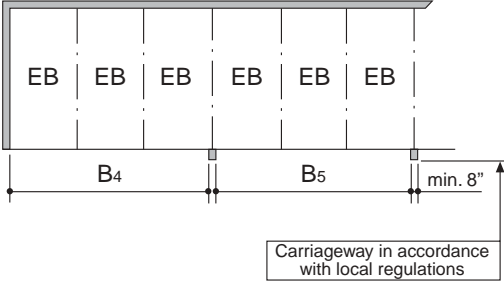
Type	H	DH	Suitable for	Maximum vehicle dimensions
G 61-160	10'6"	5'3"	upper: standard passenger cars & station wagons, max. veh. height 4'11" lower: standard passenger cars & station wagons, max. veh. height 4'11"	Length 16'5" <17'1"> Height see "Suitable for" Width 6'3" Weight 2,000 kg Wheel load 500 kg
G 61-170	10'10"	5'7"	upper: standard passenger cars & station wagons, max. veh. height 4'11" lower: standard passenger cars & station wagons, max. veh. height 5'3"	
G 61-180	11'2"	5'11"	upper: standard passenger cars & station wagons, max. veh. height 4'11" lower: standard passenger cars & station wagons, max. veh. height 5'8"	
G 61-190	11'6"	6'3"	upper: standard passenger cars & station wagons, max. veh. height 4'11" lower: standard passenger cars & station wagons, max. veh. height 5'12"	
G 61-200	11'10"	6'7"	upper: standard passenger cars & station wagons, max. veh. height 4'11" lower: standard passenger cars & station wagons, max. veh. height 6'3"	
G 61-210	12'2"	6'11"	upper: standard passenger cars & station wagons, max. veh. height 4'11" lower: standard passenger cars & station wagons, max. veh. height 6'7"	

If dimension height "H" is increased by customer, correspondingly higher vehicles may be parked on the upper platform(s).

Widths – Basement Garage

Series G 61 (Horizontal)

All space requirements are minimum finished dimensions in cm

	Single Platform (EB)	Twin Unit (2 x EB)	Triple Unit (3 x EB)
Dividing Walls			
Internal Columns			
External Columns			

	Usable Platform Width	Dividing Walls B ₁	Internal Columns B ₂ B ₃		External Columns B ₄ B ₅	
EB	7'7"	8'7"	8'5"	8'3"	8'3"	7'11"
	7'11"	8'11"	8'9"	8'7"	8'7"	8'3"
	8'3"	9'3"	9'1"	8'11"	8'11"	8'7"
2 x EB	7'7"	17'1"	16'11"	16'9"	16'9"	16'6"
	7'11"	17'9"	17'7"	17'5"	17'5"	17'1"
	8'3"	18'5"	18'3"	18'1"	18'1"	17'9"
3 x EB	7'7"	25'8"	25'6"	25'4"	25'4"	24'12"
	7'11"	26'7"	26'5"	26'3"	26'3"	25'12"
	8'3"	27'7"	27'5"	27'3"	27'3"	26'11"

 Standard width = parking space width 7'7"

PLEASE NOTE:

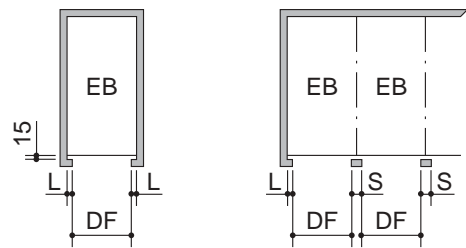
- End parking spaces are generally more difficult to drive into. Therefore we recommend for end parking spaces our wider platforms.
- Parking on standard width platforms with larger vehicles may make getting into and out of the vehicle difficult. This depends on type of vehicle, approach and above all on the individual driver's skill.

Widths – Garage with door in front of the car parking system

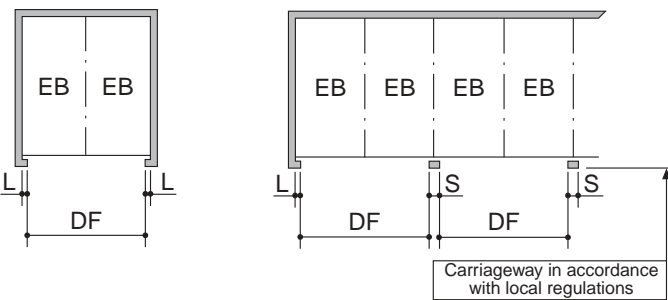
Series G 61
(Horizontal)

All space requirements are minimum finished dimensions in inch

Single Platform (EB)



Twin Unit (2 x EB)

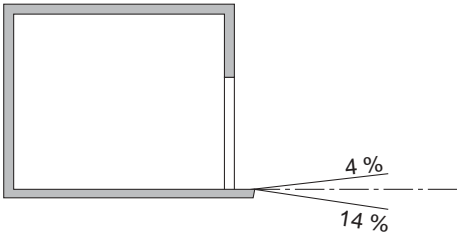


	Usable Platform Width	DF	L	S
EB	7'7"	7'10"	5"	10"
	7'11"	8'3"	5"	10"
	8'3"	8'3"	6"	12"
2 x EB	7'7"	15'7"	9"	1'6"
	7'11"	16'6"	8"	1'4"
	8'3"	17'1"	8"	1'4"

DF = door entrance width

Door dimensions require coordination with door supplier.

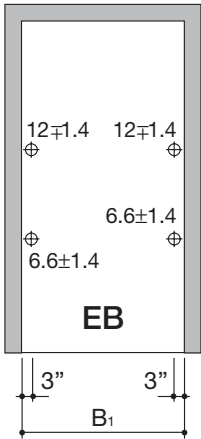
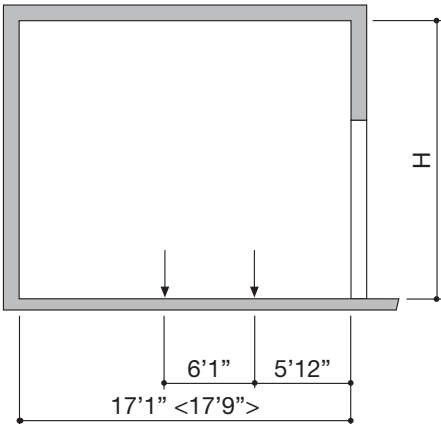
Approach



These illustrated maximum approach angles must **NOT** be exceeded. Incorrect approach angles will cause **SERIOUS MANEOUVRING & POSITIONING PROBLEMS** on the parking system for which the local agency of Klaus accepts no responsibility.

Load plan

forces in kN
dimensions in inch



Units are bolted to the floor. Drilling depth approx. 6"

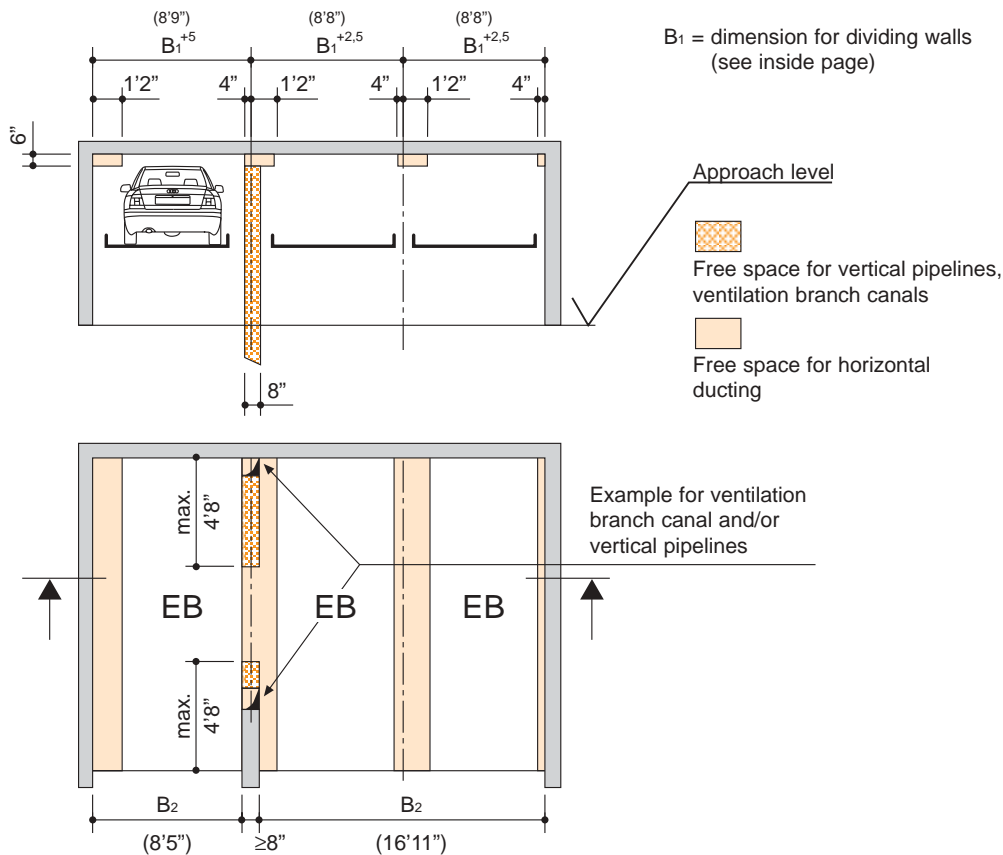
Installation Data

Garage ventilation, drainage, heating, electrical wiring

Series G 61 (Horizontal)

Free space for longitudinal and vertical ducts (e.g. ventilation)

dimensions in inch



Electrical Data

dimensions in inch

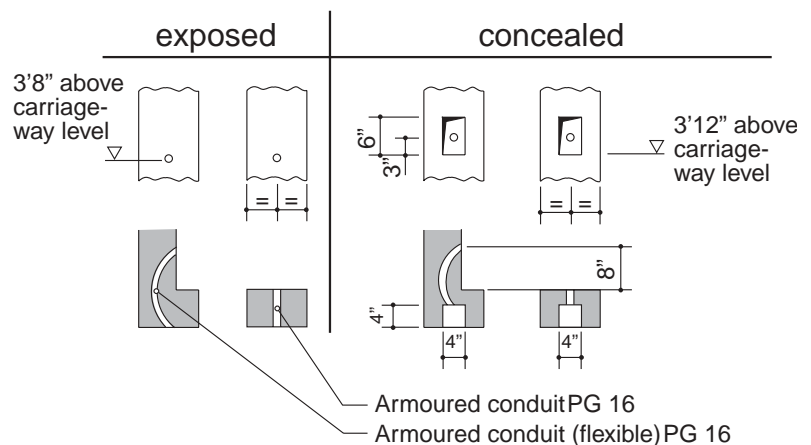
Generally to be effected by customer:

- electrical wiring 5 x 2.5 mm² per unit
- delayed-action mains fuse 3 x 16 A per unit
- "EMERGENCY-OFF"/main power supply switch, lockable, per unit

Electrical wiring:

Electrical wiring is carried out by the customer or by the local agency of Klaus in accordance with our circuit diagram/s. (Please see the respective quotation at hand)

Cable conduits and recesses for operating element



Technical Data as of issue 06/98:

We reserve the right to change this specification without further notice.

Stamp

Units

Low-noise power units mounted to rubber-bonded-to-metal mountings are installed. Nevertheless we recommend to build the parking system's garage separately from the dwelling house.

Safety railings

Any safety railings which become necessary due to the installation of the system at access points, walkways, traffic lanes etc. will have to be provided/paid for by customer.

The following documents can be supplied upon request:

wall recess plans
test sheet on airborne and solid-borne sound



KLAUS Multiparking GmbH
Hermann-Krum-Straße 2
D-88319 Aitrach
Fon +49 (0) 75 65 5 08-0
Fax +49 (0) 75 65 5 08-88
info@multiparking.com
www.multiparking.com

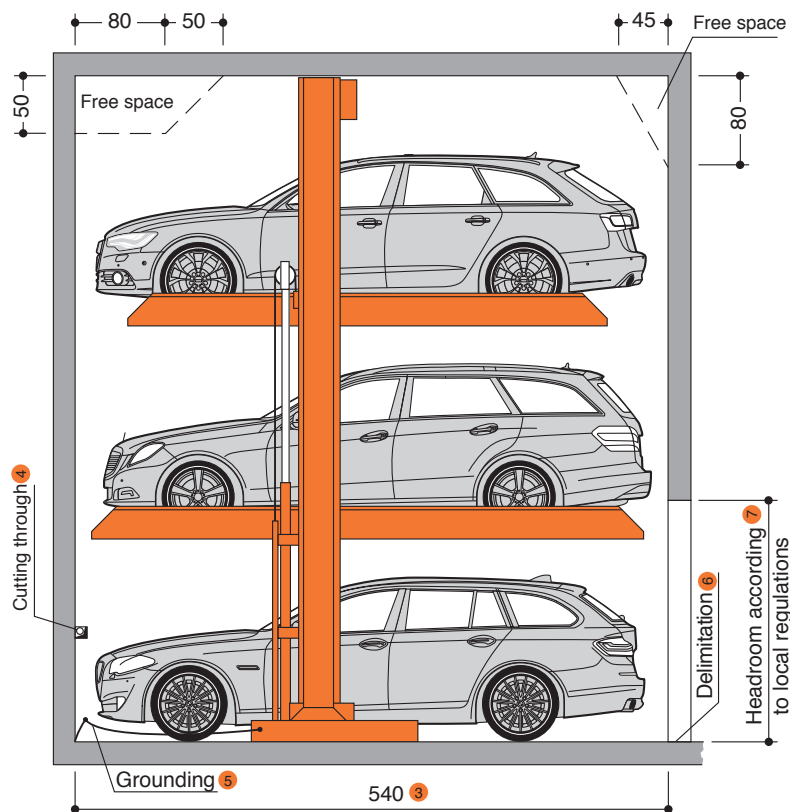
PRODUCT DATA



singleup3015

2000 kg

Garage without door (basement garage)



Dimensions

All space requirements are minimum finished dimensions.

Tolerances for space requirements⁺³₋₀.²
Dimensions in cm.

EB (single platform) = 2 vehicles

Suitable for

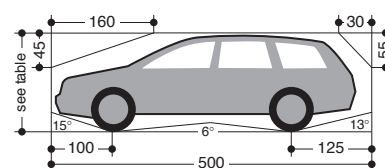
Standard passenger cars:
Limousine, station wagon, SUV, van
according to clearance and maximal
surface load.

width 190 cm

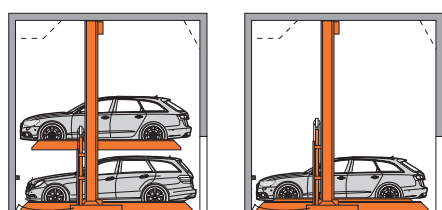
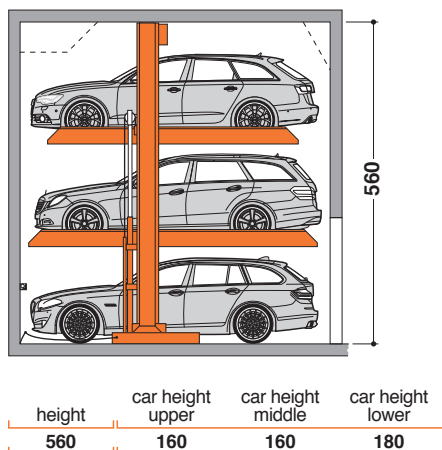
weight max. 2000 kg

wheel load max. 500 kg

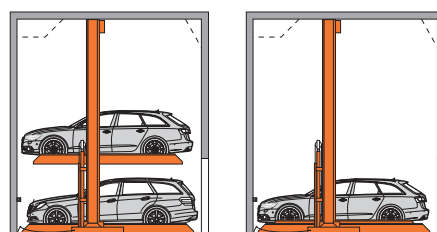
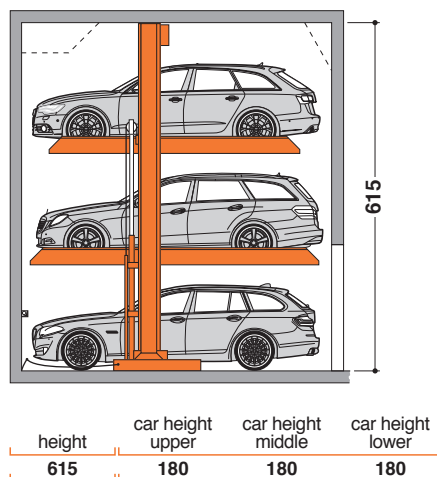
Clearance profile



3015-560



3015-615 1



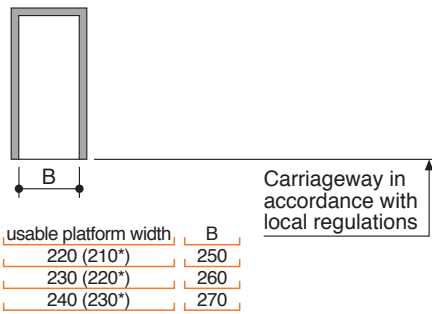
1 Standard type

- 2 To follow the minimum finished dimensions, make sure to consider the tolerances according to VOB, part C (DIN 18330 and 18331) and the DIN 18202.
- 3 If the total length is greater, the max. vehicle length for the lower parking space increases accordingly.
- 4 For dividing walls: cutting through 10 x 10 cm.

5 Potential equalization from foundation grounding connection to system (provided by the customer).

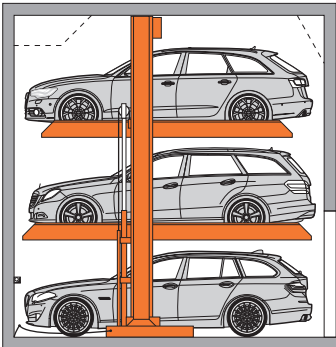
- 6 In compliance with DIN EN 14 010, 10 cm wide yellow-black markings compliant to ISO 3864 must be applied by the customer to the edge of the platform in the access area to mark the danger zone in front of the supporting surface of the upper platform edge (see „Load Plan“ Page 4).
- 7 Must be at least as high as the greatest car height + 5 cm.

Width dimensions for garage without door (basement garage)



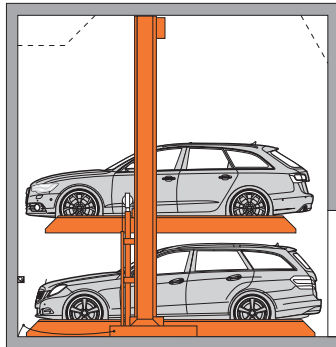
Function

System lifted



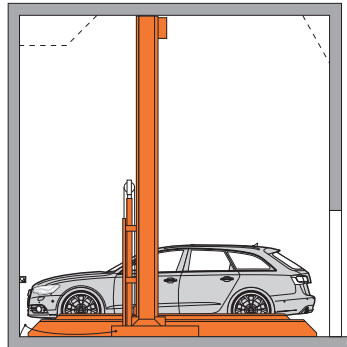
Before lowering the platforms, the vehicle parked in the lower parking space must be driven off!

System in middle position

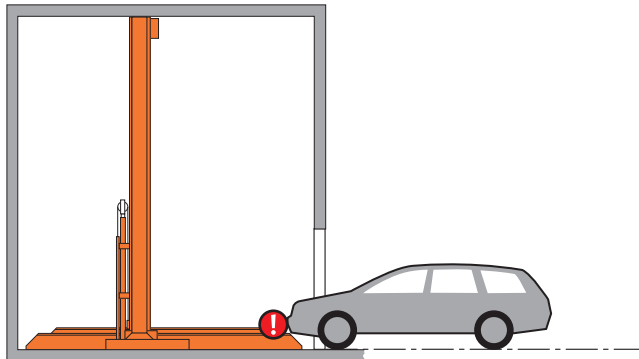


Before lowering the upper platform, the vehicle parked on the lower platform must also be driven off!

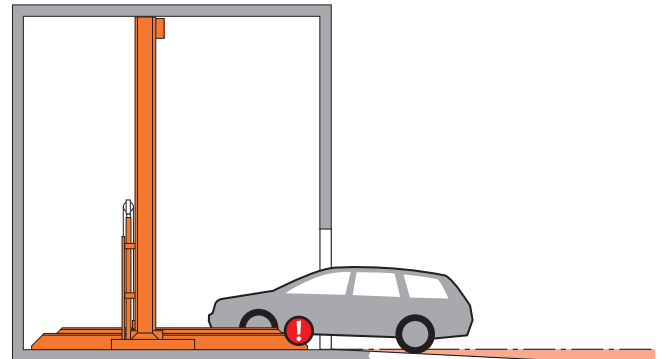
System lowered



Approach



horizontal

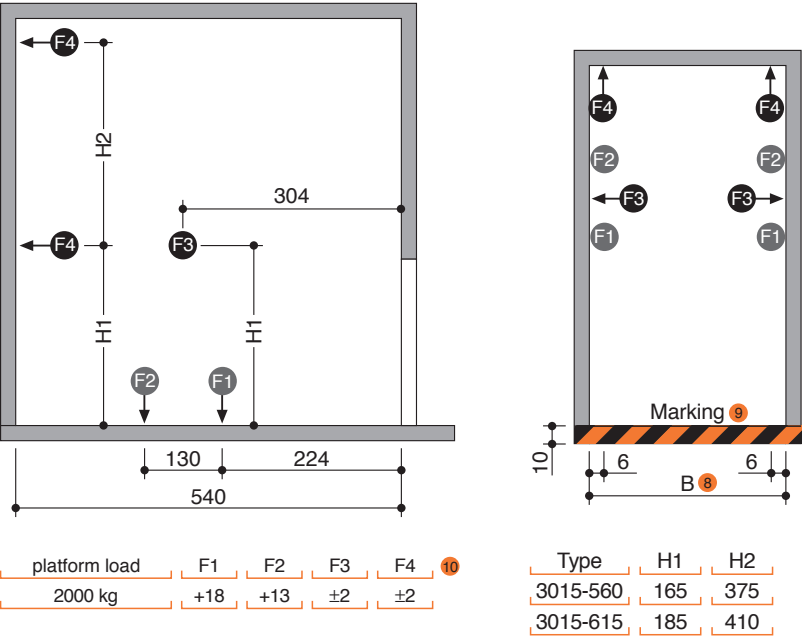


maximum
ascending
slope 14 %



The illustrated maximum approach angles must not be exceeded. Incorrect approach angles will cause serious manoeuvring & positioning problems on the parking system for which the local agency of KLAUS Multiparking accepts no responsibility.

Load plan



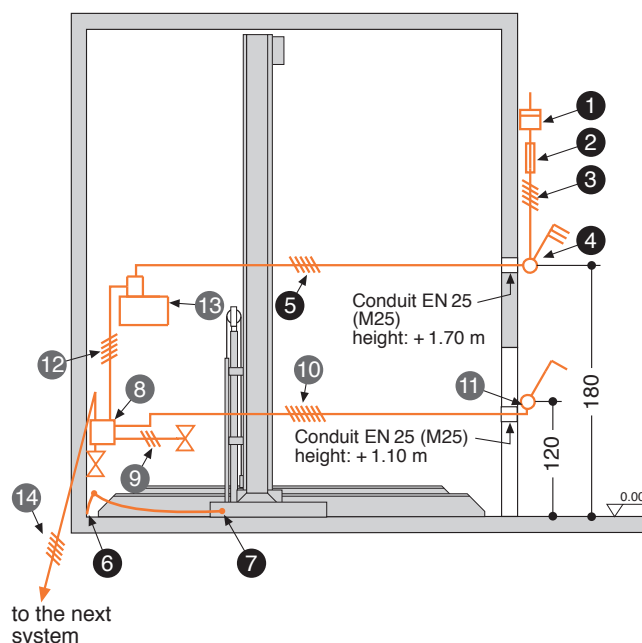
! Units are dowelled to the floor. Drilling depth: approx. 15 cm.
Floor and walls are to be made of concrete (quality minimum C20/25)!

The dimensions for the points of support are rounded values. If the exact position is required, please contact KLAUS Multiparking.

- 8 Dimension B see page 2
- 9 Marking compliant to ISO 3864 (colors used in this illustration are not ISO 3864 compliant)
- 10 All forces in kN

Electrical installation

Installation diagram



Electrical data (to be performed by the customer)

No.	Quantity	Description	Position	Frequency
1	1	Electricity meter	in the supply line	
2	1	Main fuse: 3 x fuse 16 A (slow) or circuit breaker 3 x 16 A (trigger characteristic K or C)	in the supply line	1 per unit
3	1	Supply line 5 x 2.5 mm ² (3 PH + N + PE) with marked wire and protective conductor	to main switch	1 per unit
4	1	Lockable main switch	defined at the plan evaluation	1 per unit
5	1	Supply line 5 x 2.5 mm ² (3 PH + N + PE) with marked wire and protective conductor	from main switch to unit	1 per unit
6	every 10 m	Foundation earth connector	corner pit floor	
7	1	Equipotential bonding in accordance with DIN EN 60204 from foundation earth connector to the system		1 per system

Electrical data (included in delivery of KLAUS Multiparking)

No.	Description
8	Terminal box
9	Control line 3 x 0.75 mm ² (PH + N + PE)
10	Control line 7 x 1.5 mm ² with marked wire and protective conductor
11	Operating device
12	Control line 5 x 1.5 mm ² with marked wire and protective conductor
13	Hydraulic unit 3.0 kW, three-phase current, 400 V / 50 Hz
14	Control line 5 x 1.5 mm ² with marked wire and protective conductor

Technical data

Field of application

By default, the system can only be used for a fixed number of users. If required for different users, would you please contact us.

Units

Low-noise power units mounted to rubber-bonded-to metal mountings are installed. Nevertheless we recommend that parking system's garage be built separately from the dwelling.

Available documents

- wall recess plans
- maintenance offer/contract
- declaration of conformity
- test sheet on airborne and slid-borne sound

Building application documents

According to LBO and GaVo (garage regulations) the Multiparking systems are subject to approval. We will provide the required building application documents.

Corrosion protection

See separate sheet regarding corrosion protection.

Care

To avoid damages resulting from corrosion, make sure to follow our cleaning and care instructions and to provide good ventilation of your garage.

Railings

If there are traffic routes next to or behind the installations, railings compliant to DIN EN ISO 13857 must be installed by the customer. Railings must also be in place during construction.

Environmental conditions

Environmental conditions for the area of multiparking systems: Temperature range -10 to +40° C. Relative humidity 50% at a maximum outside temperature of +40° C.

If lifting or lowering times are specified, they refer to an environmental temperature of +10° C and with the system set up directly next to the hydraulic unit. At lower temperatures or with longer hydraulic lines, these times increase.

CE Certification

The systems offered correspond to DIN EN 14010 and the EC Machinery Directive 2006/42/EG.

Sound insulation

According to DIN 4109 (Sound insulation in buildings), para. 4, annotation 4, KLAUS Multiparkers are part of the building services (garage systems).

Normal sound insulation:

DIN 4109, para. 4, Sound insulation against noises from building services.

Table 4 in para. 4.1 contains the permissible sound level values emitted from building services for personal living and working areas. According to line 2 the maximum sound level in personal living and working areas must not exceed 30 dB (A). *Noises created by users are not subject to the requirements (see table 4, DIN 4109).*

The following measures are to be taken to comply with this value:

- Sound protection package according to offer/order (KLAUS Multiparking GmbH)
- Minimum sound insulation of building $R'_w = 57$ dB (to be provided by customer)

Increased sound insulation (special agreement):

Draft DIN 4109-10, Information on planning and execution, proposals for increased sound insulation.

Agreement: Maximum sound level in personal living and working areas 25 dB (A). *Noises created by users are not subject to the requirements (see table 4, DIN 4109).*

The following measures are to be taken to comply with this value:

- Sound protection package according to offer/order (KLAUS Multiparking GmbH)
- Minimum sound insulation of building $R'_w = 62$ dB (to be provided by customer)

Note: User noises are noises created by individual users in our Multiparking systems. These can be noises from accessing the platforms, slamming of vehicle doors, motor and brake noises.

To be performed by the customer

Safety fences

Any constraints that may be necessary according to DIN EN ISO 13857 in order to provide protection, for pathways directly in front, next to or behind the unit. This is also valid during construction.

Numbering of parking spaces

Consecutive numbering of parking spaces.

Building services

Any required lighting, ventilation, fire extinguishing and fire alarm systems as well as clarification and compliance with the relevant regulatory requirements.

Marking

According to DIN EN 14 010, a warning that identifies this danger area must be placed in the entrance area that conforms to ISO 3864. This must be done according to EN 92/58/EWG for systems without a pit 10 cm from the edge of the platform.

Wall cuttings

Any necessary wall cuttings according to page 1.

Electrical supply to the main switch / Foundation earth connector

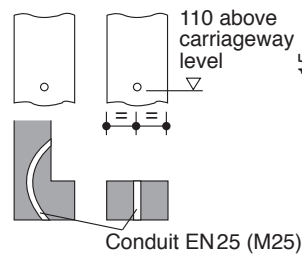
Suitable electrical supply to the main switch and the control wire line must be provided by the customer during installation. The functionality can be monitored on site by our fitters together with the electrician. If this cannot be done during installation for some reason for which the customer is responsible, the customer must commission an electrician at their own expense and risk.

In accordance with DIN EN 60204 (Safety of Machinery. Electrical Equipment), grounding of the steel structure is necessary, provided by the customer (distance between grounding max. 10 m).

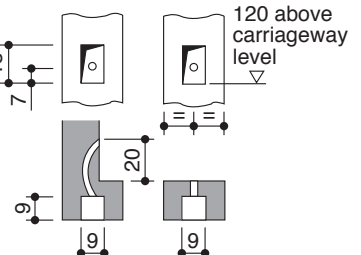
Operating device

Cable conduits and recesses for operating device (for double wing doors: please contact the local agency of KLAUS Multiparking).

Operating device exposed



Operating device concealed



If the following are not included in the quotation, they will also have to be provided / paid for by the customer:

- Mounting of contactor and terminal box to the wall valve, complete wiring of all elements in accordance with the circuit diagram
- Costs for final technical approval by an authorized body
- Main switch
- Control line from main switch to hydraulic unit

Description Single platform (EB)

General description

Multiparking system providing dependent parking spaces for 3 cars one on top of the other each. The lower vehicle parks directly on the floor plate. The vehicle parked on the bottom must be driven out before lowering the platform.

Dimensions are in accordance with the underlying dimensions of height and width

The parking bays are accessed horizontally (installation deviation $\pm 1\%$).

The user is responsible for positioning the vehicle.

Operation via operating device with hold-to-run-device using master keys.

The operating elements are usually mounted either in front of the column or on the outside of the door frame

Operating instructions are attached to each operator's stand.

For garages with doors at the front of the parking system the special dimensional requirements have to be taken into account.

Multiparking system consisting of:

- 2 steel pillars with base plates (mounted on the floor)
- 2 sliding platforms (mounted to the steel pillars with sliding bearings)
- 2 platforms
- 1 mechanic synchronization control system (to ensure synchronous operation of the hydraulic cylinders while lowering and lifting the platform)
- 2 hydraulic cylinder
- 1 automatic mechanical locking system (prevents accidental lowering of the platforms)
- Dowels, screws, connecting elements, bolts, etc.
- The platforms and parking spaces are end-to-end accessible for parking!

Platforms consisting of:

- Platform base sections
- Cantilevered access plates
- Side members
- Cross members
- Screws, nuts, washers, distance tubes, etc..

Hydraulic system consisting of:

- Hydraulic cylinder
- Solenoid valve
- Hydraulic conduits
- Screwed joints
- High-pressure hoses
- Installation material

Electric system consisting of:

- Operating device (Emergency Stop, lock, 1 master key per parking space)
- Terminal box at wall valve

Hydraulic unit consisting of:

- Hydraulic power unit (low-noise, installed onto a console with a rubber-bonded-to-metal mounting)
- Hydraulic oil reservoir
- Oil filling
- Internal geared wheel pump
- Pump holder
- Clutch
- 3-phase-AC-motor
- Contactor (with thermal overcurrent relay and control fuse)
- Test manometer
- Pressure relief valve
- Hydraulic hoses (which reduce noise transmission onto the hydraulic pipe)

We reserve the right to change this specification without further notice

KLAUS Multiparking reserves the right in the course of technical progress to use newer or other technologies, systems, processes, procedures or standards in the fulfillment of their obligations other than those originally offered provided the customer derives no disadvantage from their so doing.

Page 1	Section
Dimensions	Car data
Page 2	Width dim.
Function	Approach
Page 3	Load plan
Seite 4	Electrical installation
Technical data	
Page 5	To be performed by the customer
Description	



Parking Systems Atlantic, Inc.

Service Overview

- **Preventive Maintenance:**
 - Lubricate Chain
 - Lubricate Locking Mechanism
 - Remove contaminated grease on vertical rails
 - Apply new grease on vertical rails
 - Spray conditioner on lift hydraulic hoses
 - Spray conditioner on hydraulic pump hoses
 - Clean lift platform

- **Inspection of main components:**
 - Inspect chain for stretch or abnormalities
 - Inspect and adjusted locking mechanism for proper operation
 - Inspect locking mechanism for damage or excessive wear
 - Inspect hydraulic hoses for cracks or excessive wear
 - Inspect hydraulic lines for leaks, damage, and rust
 - Inspect hydraulic fittings for leaks, damage, and rust
 - Inspect hydraulic pump for leaks and proper function
 - Inspect telescoping pistons for leaks or damage
 - Inspect protective piston cover
 - Inspect electrical platines and rail boxes for damage
 - Inspect electrical conduit for damage and/or rust
 - Inspect key switch for damage and proper function
 - Inspect horizontal side rails for damage
 - Inspect orange end protector for damage
 - Inspect structural concrete anchors
 - Inspect structural hardware



Parking Systems Atlantic, Inc.

Project Name

Owner's Name

Owner's Address

City, State Zip Code

WARRANTY- QTY (00) G61 Vehicle Lifts & (00) Power Pack

Seller warrants its equipment and all of the parts or components thereof to be free from defects in materials and workmanship for a period of twenty-five (25) years while FULL annual service is provided by KLAUS. The first year of annual service is provided by KLAUS Parking Systems Atlantic, Inc., free of cost during time period through **End Date**.

During the 25 years of this Warranty Period Seller's Warranty includes the replacement cost of parts or components and the expense of labor, and all other expenses required for such replacement pursuant to the terms and conditions set forth herein and in the Agreement between the parties and in the Schedules annexed hereto. Annual service provided by KLAUS Parking Systems Atlantic, Inc. keeps this warranty in effect. If service is discontinued with KLAUS Parking Systems Atlantic, Inc. then warranty is null and void.

Notwithstanding the foregoing, no liability or responsibility whatsoever shall be attached to Seller under this Warranty until the equipment, in its entirety, is installed at the Location of Installation and is paid for in accordance with the Agreement. No extension as to the period or periods of Warranty or terms of the within Warranty will be effective and binding upon Seller unless said Extension is made in writing by Seller and duly executed by an Officer of Seller or by an authorized Agent of Seller.

THIS WARRANTY IS EXPRESSLY MADE BY SELLER AND ACCEPTED BY THE PURCHASER IN LIEU OF ALL OTHER WARRANTIES, INCLUDING WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE, WHETHER WRITTEN, ORAL, EXPRESSED, IMPLIED OR STATUTORY.

Klaus Parking Systems Atlantic, Inc.
Bruce E. Roden, Sr.
Mechanical Engineer, President

Toll Free Service: 1-844-552-8775

TRAINING CHECKLIST FOR PARKLIFT SYSTEM OPERATOR

1. System Familiarization for System Operator:

- a) Review function of motor, tank, pump, hydraulic lines/fluid, cylinders, solenoids, key switch, red emergency button.
- b) Review emergency lowering procedure.

2. System Maintenance for System Operator:

- a) Review specific servicing requirements for model of lift installed.
- b) Review troubleshooting guide.
- c) Review warranty. Warranty void if system not serviced properly.
- d) Review Klaus service policy.

3. System Management for System Operators:

- a) Always assign spaces to users.
- b) Train individual Users with *Training Checklist for Individual Parklift System Users*.
- c) Always assist a User on the first drive-in. Ride the platform to verify that there is at least 2 inches clearance at all locations, e.g. ceiling, front of car, rear of car.
- d) Adjust wheel stop to fit car.
- e) Keep platforms clean. Platforms will be damaged if lowered onto debris.
- f) Have User sign liability release.
- g) Advise Users of any conflicts with HVAC ducts, etc.

4. Basic System Cautions:

- a) Keep people, especially children, away from Parklift gears, movable parts.
- b) Do not use platforms for storage.
- c) Do not use lifts as a hoist for car repairs.
- d) Do not let untrained persons use the systems.
- e) Be alert for oil leaks, unusual noises and/or lift malfunction.
- f) Maximum weight is 4,400 pounds per car.

Above items above reviewed with System Operator/Owner on _____.

Klaus Representative: _____.

Owner/Operator Representative: _____.

TRAINING CHECKLIST FOR INDIVIDUAL PARKLIFT SYSTEM USERS

1. The undersigned Parklift User acknowledges that he/she has been trained in the use of the Parklift system and is aware of the following items:

- a) All Parklifts use must be in accordance with the factory Operating Instructions.
- b) Maximum vehicle weight is 4,400 pounds; maximum wheel load is 1,100 pounds.
- c) Use only the assigned parking space. Review allowable auto dimensions and particular conflicts for individual spaces.
- d) To operate platform: Observe surroundings. Keep all persons well back from the lift. If all clear, step back, watch feet and insert key into key switch, turn and hold key to bring platform into proper position for parking.
- e) Parking: Before driving onto the platform, verify that the platform is at the proper height. Platforms sometimes lower slightly over time. If platform is not at proper height, do not use lift and notify System Operator. Unload baggage, groceries, children, and pets prior to driving on to platform. Watch for antennas, racks on top of cars, etc. Drive forward to wheel stop and set brake. Walk out and watch for limited headroom.
- f) Driving out: Drive out slowly, watch for obstructions or people.
- g) Advise User who to call for problems.

2. Basic System Cautions:

- a) Keep people, especially children, away from Parklift gears, movable parts.
- b) Do not use platforms for storage.
- c) Do not use lifts as a hoist for car repairs.
- d) Do not let a stranger or guest use a parking stall
- e) Be alert for oil leaks, unusual noises and/or lift malfunction.
- f) Be aware of varying heights of lifts and conflicts at individual lifts.
- g) Maximum weight is 4,400 pounds per car.

3. Liability Release:

I hereby confirm that I have been fully instructed and understand the Operating Instructions and the above checklist for the safe operation of the Klaus Parklift.

I agree to indemnify and hold harmless the building owner and Klaus Parking Systems Atlantic, Inc. from any and all claims, actions, suits, procedures, costs, expenses, damages and liabilities, including attorney's fees brought as a result of use of the Klaus Parklifts.

Parklift User Apartment # _____
Date

Vehicle: Make _____ Model _____ Year _____



Industrie Service

Certificate concerning the examination of conformity

Certificate no: KP 005/1

Certification body: TÜV SÜD Industrie Service GmbH
Zertifizierungsstelle für Produkte der Fördertechnik
Gottlieb-Daimler-Str. 7
70794 Filderstadt - Germany

Applicant / Certification holder: KLAUS Multiparking GmbH
Hermann-Krum-Str. 2
88319 Aitrach - Germany

Date of application: 2014-09-30

Manufacturer: KLAUS Multiparking GmbH
Hermann-Krum-Str. 2
88319 Aitrach - Germany

Product: Equipment for power driven parking of motor vehicles

Type: SingleVario 2061 EB 2.000 kg
SingleVario 2061 EB 2.500 kg

Test laboratory: TÜV SÜD Industrie Service GmbH
Prüflaboratorium für Produkte der Fördertechnik
Prüfbereich Maschinen der Fördertechnik
Gottlieb-Daimler-Str. 7
70794 Filderstadt – Germany

Date and number of the test report / mark of conformity: 2014-11-20
KP 005/1

Test specifications: - 2006 / 42 / EC, Annex I
- DIN EN 14010

Validity: **This Certificate is valid until 2019-11-30**

Result: The equipment fulfills the requirements of the test specifications for the respective scope of application stated in the annex (page 1) of this certificate, keeping the mentioned conditions.

Date of issue: 2014-12-01

Certification body for lifts and cranes


Chadi Nouredine



TUV®

Annex to the certificate concerning the examination of conformity
No. KP 005/1 dated 2014-12-01, mark of conformity KP 005/1

1. Scope of application

Two parking levels, each with one parking space in (EB).

Max. load carrying capacity / parking space EB: 2.500 kg

Set value pressure control valve 24,0 MPa

Max. operating speed 0,15 m/s

2. Conditions

2.1 Access is only possible from the entrance side.

2.2 In case of outdoor installation the site of installation is protected against wind according to DIN EN 1991-1-4.

2.3 In case of outdoor installation snow depth of more than 20 cm do not occur or this snow is cleared constantly according to DIN EN 1991-1-3.

2.4 The performance data as well as the project-relevant operating instructions are adhered.

2.5 Before initial commissioning an inspection by the official expert is necessary. In addition, the expert has to determine to what extent local danger areas need to be safeguarded. The following documents are required for this inspection:

Overview drawing:

EB 2,0to / 2,5to

No. 58512910

dated 2012-07-16

Access to the drawings administration of the spare part program EtPro

Load diagram:

No. 58660520-001

dated 2014-10-28

Hydraulic circuit diagram:

No. 58511940

dated 2008-05-15

Electric circuit diagram:

No. 58503340

dated 2009-11-24

No. 58551840

dated 2009-11-24

Short operating instructions:

SingleVario 2061

3. Remarks

3.1 A sign with particulars for identification of the safety component, containing the name of the manufacturer, the sign of the EC type-examination and the type specification must be attached at the product.

3.2 The certificate concerning the examination of conformity may be used only in connection with the pertinent Annex.



OSHA



SHARE



Newsletter



Was this page helpful?

Occupational Safety & Health Administration

We Can Help

[What's New](#) | [Offices](#)[Home](#) [Workers](#) [Regulations](#) [Enforcement](#) [Data & Statistics](#) [Training](#) [Publications](#) [Newsroom](#) [Small Business](#) [Anti-Retaliation](#)

Office of Technical Programs and Coordination Activities / Nationally Recognized Testing Laboratory Program

Nationally Recognized Testing Laboratory Program

Welcome to the Nationally Recognized Testing Laboratory (NRTL) Program. Workplace product safety is a critical component of workplace safety and both the construction and general industry OSHA electrical standards contain requirements for certain products to be tested and certified by an NRTL. NRTLs are private sector organizations that are recognized by OSHA to perform this certification. Each NRTL has a scope of test standards that they are recognized for, and each NRTL uses its own unique registered certification mark(s) to designate product conformance to the applicable product safety test standards. After certifying a product, the NRTL authorizes the manufacturer to apply a registered certification mark to the product. If the certification is done under the NRTL program, this mark signifies that the NRTL tested and certified the product, and that the product complies with the requirements of one or more appropriate product safety test standards. Users of the product can generally rely on the mark as evidence that the product complies with the applicable OSHA approval requirement(s) and is safe for use in the workplace.

Program Resources

- [Nationally Recognized Testing Laboratory Program Improvement Project](#)
- [Frequently Asked Questions \(FAQs\)](#)
- [Information on Submitting an Application](#)
- [NRTL Program Regulations](#)
- [NRTL Program Policies, Procedures, and Guidelines \(NRTL Directive - CPL 01-00-003 - CPL 1-0.3\) \(PDF\)](#)
- [Fee Payment Instructions and Information \(PDF\)](#)
- [Current List of Appropriate Test Standards Under the NRTL Program](#)
- [Current List of Removed Test Standards](#)
- [Type of Products Requiring NRTL Approval](#)
- [Specific References to OSHA Standards Requiring NRTL Approval](#)
- [Typical Registered Certification Marks](#)
- [Organizations or Sites No Longer Recognized](#)

Organizations Currently Recognized by OSHA as NRTLs

The pages below include information about the NRTL (such as the list of standards, sites, and programs that OSHA has recognized for the NRTL).

- [Canadian Standards Association \(CSA\)](#)
- [Curtis-Straus LLC \(CSL\)](#)
- [FM Approvals LLC \(FM\)](#)
- [Intertek Testing Services NA, Inc. \(ITSNA\)](#)
- [MET Laboratories, Inc. \(MET\)](#)
- [Nemko-CCL \(CCL\)](#)
- [NSF International \(NSF\)](#)
- [QPS Evaluation Services Inc. \(QPS\)](#)
- [SGS North America, Inc. \(SGS\)](#)
- [Southwest Research Institute \(SWRI\)](#)
- [TUV Rheinland of North America, Inc. \(TUV\)](#)
- [TUV Rheinland PTL, LLC \(TUVPTL\)](#)
- [TÜV SÜD America, Inc. \(TUVAM\)](#)
- [TÜV SÜD Product Services GmbH \(TUVPSG\)](#)
- [Underwriters Laboratories Inc. \(UL\)](#)

needed with reading, reviewing or accessing these documents or any figures and illustrations, please also contact OSHA's Directorate of Technical Support and Emergency Management at (202) 693-2300.

**eBooks - EPUB is the most common format for e-Books. If you use a Sony Reader, a Nook, or an iPad you can download the EPUB file format. If you use a Kindle, you can download the MOBI file format.

[Freedom of Information Act](#) | [Privacy & Security Statement](#) | [Disclaimers](#) | [Important Web Site Notices](#) | [International](#) | [Contact Us](#)

U.S. Department of Labor | Occupational Safety & Health Administration | 200 Constitution Ave., NW, Washington, DC 20210

Telephone: 800-321-OSHA (6742) | TTY

www.OSHA.gov

INVOICE (00025475)

BILLING CONTACT

Mathew Barnes
Akerman LLP
98 Se 7
Miami, FL 33131

MIAMIBEACH

1700 Convention Center Drive
Miami Beach, Florida 33139
305.673.7000

INVOICE NUMBER	INVOICE DATE	INVOICE DUE DATE	INVOICE STATUS	INVOICE DESCRIPTION
00025475	09/02/2016	09/02/2016	Paid In Full	NONE

REFERENCE NUMBER	FEE NAME	TOTAL
PB16-0062	Review and Report by Outside Source (Planning)	\$5,800.00
7140 Collins Ave Miami Beach, FL -331413212		SUB TOTAL \$5,800.00

TOTAL **\$5,800.00**

Any refund associated with this invoice will only be issued to the billing contact listed herein.

INVOICE (00025483)

BILLING CONTACT

Mathew Barnes
Akerman LLP
98 Se 7
Miami, FL 33131

MIAMIBEACH

1700 Convention Center Drive
Miami Beach, Florida 33139
305.673.7000

INVOICE NUMBER	INVOICE DATE	INVOICE DUE DATE	INVOICE STATUS	INVOICE DESCRIPTION
00025483	09/02/2016	09/02/2016	Due	NONE

REFERENCE NUMBER	FEE NAME	TOTAL
PB16-0062	New Application	\$2,500.00
7140 Collins Ave Miami Beach, FL -331413212		SUB TOTAL \$2,500.00

TOTAL **\$2,500.00**

Any refund associated with this invoice will only be issued to the billing contact listed herein.

INVOICE (00033760)

BILLING CONTACT

Mathew Barnes
Akerman LLP
98 Se 7
Miami, FL 33131

MIAMI BEACH

1700 Convention Center Drive
Miami Beach, Florida 33139
305.673.7000

INVOICE NUMBER	INVOICE DATE	INVOICE DUE DATE	INVOICE STATUS	INVOICE DESCRIPTION
00033760	10/27/2016	10/27/2016	Due	NONE

REFERENCE NUMBER	FEE NAME	TOTAL
PB16-0062	Advertisement	\$1,500.00
	Board Order Recording	\$100.00
	Courier (per package)	\$70.00
	Mail Notice Per Label	\$2,240.00
	Posting (per site)	\$100.00
7140 Collins Ave Miami Beach, FL -331413212		SUB TOTAL \$4,010.00

TOTAL **\$4,010.00**

Any refund associated with this invoice will only be issued to the billing contact listed herein.



zoning public notification packages | ownership lists + mailing labels + radius maps
diana@rdrmiami.com | 305.498.1614

October 13, 2016

City of Miami Beach
Planning Department
1700 Convention Center Dr.
Miami Beach, FL 33139

Re: Property Owners List within 375 feet of:

SUBJECT: 7140 Collins Avenue, Miami Beach, FL 33141

FOLIO NUMBER: 02-3211-002-0660

LEGAL DESCRIPTION: NORMANDY BEACH S PB 21-54 LOT 12 BLK 8

SUBJECT: 7134 Collins Avenue, Miami Beach, FL 33141

FOLIO NUMBER: 02-3211-002-0650

LEGAL DESCRIPTION: NORMANDY BEACHSOUTH PB 21-54 LOT 11 BLK 8

SUBJECT: 7124 Collins Avenue, Miami Beach, FL 33141

FOLIO NUMBER: 02-3211-002-0640

LEGAL DESCRIPTION: NORMANDY BEACH SOUTH PB 21-54 LOT 10 BLK 8

SUBJECT: 7118 Collins Avenue, Miami Beach, FL 33141

FOLIO NUMBER: 02-3211-002-0630

LEGAL DESCRIPTION: NORMANDY BEACH SOUTH PB 21-54 LOT 9 BLK 8

SUBJECT: 7121 Harding Avenue, Miami Beach, FL 33141

FOLIO NUMBER: 02-3211-002-0600

LEGAL DESCRIPTION: NORMANDY BEACH SOUTH PB 21-54 LOT 4 BLK 8

FOLIO NUMBER: 02-3211-002-0590

LEGAL DESCRIPTION: NORMANDY BEACH SOUTH PB 21-54 LOT 3 BLK 8

FOLIO NUMBER: 02-3211-002-0580

LEGAL DESCRIPTION: NORMANDY BEACH SOUTH PB 21-54 LOT 2 BLK 8

FOLIO NUMBER: 02-3211-002-0570

LEGAL DESCRIPTION: NORMANDY BEACH SOUTH PB 21-54 LOT 1 BLK 8

This is to certify that the attached ownership list, map and mailing labels are a complete and accurate representation of the real estate property and property owners within 375 feet radius of

the external boundaries of the subject property listed above, including the subject property. This reflects the most current records on the file in Miami-Dade County Property Appraisers' Office.

Sincerely,

Rio Development Resources, LLC

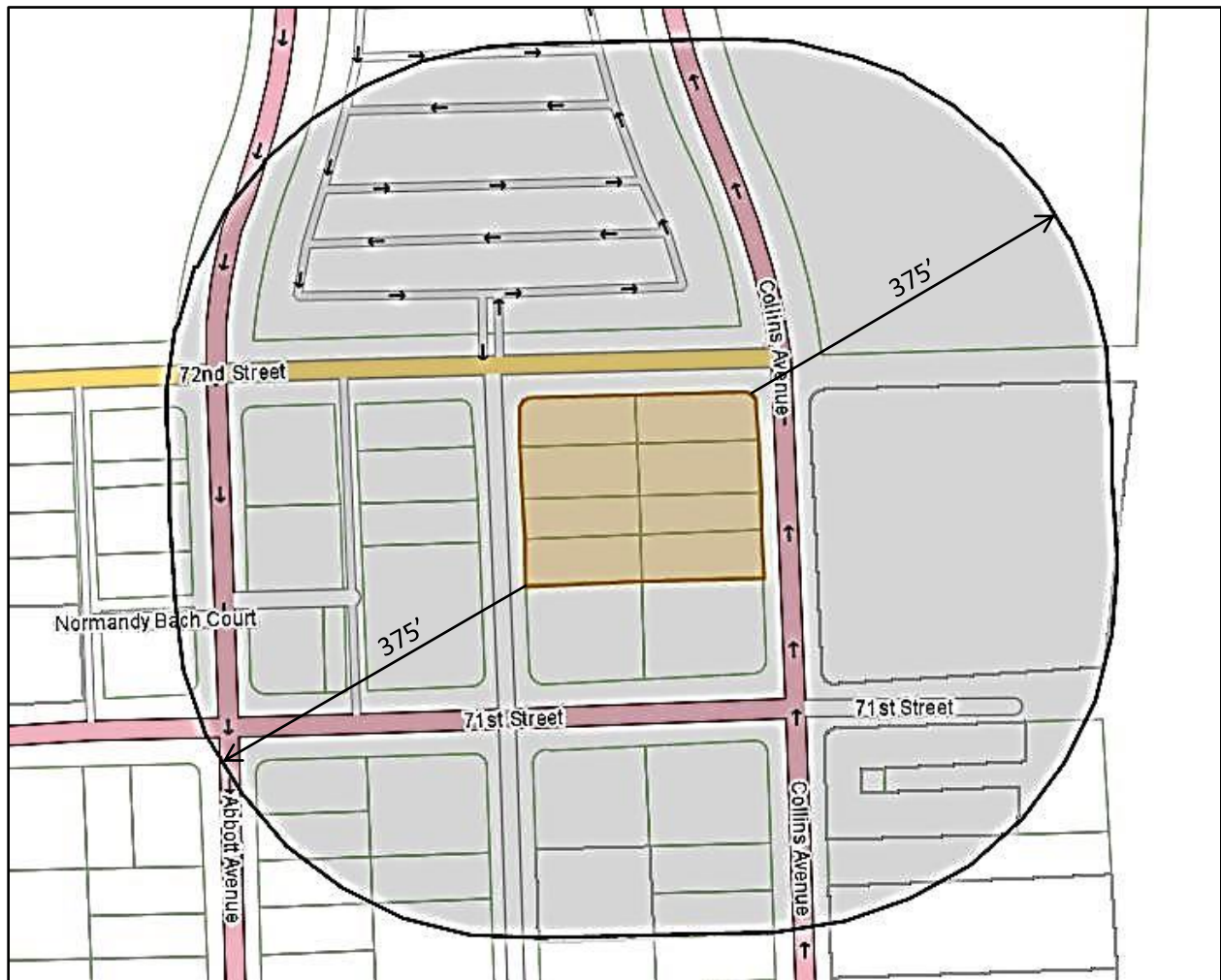


Diana B. Rio

Total number of property owners without repetition: **560, including 17 international**

Rio Development Resources, LLC ("RDR") has used its best efforts in collecting the information published in this report and the findings contained in the report are based solely and exclusively on information provided by you and information gathered from public records and that local government. By acceptance of this report, you agree to hold RDR harmless and indemnify RDR from any and all losses, damages, liabilities and expenses which can be claimed against RDR caused by or related to this report.

375' RADIUS MAP



SUBJECT: 7140 Collins Avenue, Miami Beach, FL 33141

FOLIO NUMBER: 02-3211-002-0660

LEGAL DESCRIPTION: NORMANDY BEACH S PB 21-54 LOT 12 BLK 8

SUBJECT: 7134 Collins Avenue, Miami Beach, FL 33141

FOLIO NUMBER: 02-3211-002-0650

LEGAL DESCRIPTION: NORMANDY BEACHSOUTH PB 21-54 LOT 11 BLK 8

SUBJECT: 7124 Collins Avenue, Miami Beach, FL 33141

FOLIO NUMBER: 02-3211-002-0640

LEGAL DESCRIPTION: NORMANDY BEACH SOUTH PB 21-54 LOT 10 BLK 8

SUBJECT: 7118 Collins Avenue, Miami Beach, FL 33141

FOLIO NUMBER: 02-3211-002-0630

LEGAL DESCRIPTION: NORMANDY BEACH SOUTH PB 21-54 LOT 9 BLK 8

SUBJECT: 7121 Harding Avenue, Miami Beach, FL 33141

FOLIO NUMBER: 02-3211-002-0600

LEGAL DESCRIPTION: NORMANDY BEACH SOUTH PB 21-54 LOT 4 BLK 8

FOLIO NUMBER: 02-3211-002-0590

LEGAL DESCRIPTION: NORMANDY BEACH SOUTH PB 21-54 LOT 3 BLK 8

FOLIO NUMBER: 02-3211-002-0580

LEGAL DESCRIPTION: NORMANDY BEACH SOUTH PB 21-54 LOT 2 BLK 8

FOLIO NUMBER: 02-3211-002-0570

LEGAL DESCRIPTION: NORMANDY BEACH SOUTH PB 21-54 LOT 1 BLK 8

ALBERTO LOPEZ TRS ALBERTO ENRIQUE
LOPEZ REV TR
1513 BOLIVA PISO1 DEPTO 6
BUENOS AIRES 1416
ARGENTINA

APAPACHO LLC
BOULOGNE 1609 SAN ISIDRO
BUENOS AIRES
ARGENTINA

BEACH PIT LLC
CORONEL MORA 588 #701
MONTEVIDEO 11300
URUGUAY

BEMCM LLC
SALTA 3454
LA LUCILA
ARGENTINA

BERNARD ROSS &W AYALA
10 RIDERWOOD DR
TORONTO ONT M2L2X3
CANADA

BRIGITTA MAIER & DOMINIQUE M TOST JTRS
MARIANA DE JESUS #228 Y PRADERA
QUITO
ECUADOR

CLAUDIA A ROMAGNA DE MIREAULT TRS
CLAUDIA A ROMAGNA DE MIREAULT &
PIERRE MIREAULT REV TRUST
4775 MELOCHE
PIERREFONDS QUEBEC H9J 1Y9
CANADA

DENYSE LAMBIN TRS THE DENYSE LAMBIN
REV TRUST
2024-7 ST HUBERT ST
MONTREAL QC H2L 3Z6
CANADA

EDUARDO JORGE ORESTE GRACIELA I C DE
ORESTE
CALLE 20 #389 ENTRE 39 Y 40
LA PLATA BUENOS AIRES
ARGENTINA

GIUSEPPE BENTIVEGNA LE FILIPPA
CALANDRINO LE REM ANGELINA
BENTIVEGNA JTRS
9040 PROVENCE
MONTREAL QUEBEC HIR 2W3
CANADA

GLORIA T MORALES JTRS DAISY R MORALES
JTRS
P O BOX 173
SCARBOROUGH
TRINIDAD AND TOBAGO

ITAC BEN-SABOT
5700 REMBRANT #805
COLE ST LUC QUEBEC H4W 3E6
CANADA

JULIE ANN SCHICK RAPHAEL SCHICK
228 COLDSTREAM AVE
TORONTO ONT M5N 1Y3
CANADA

MAGDA SABOVICH (LE) REM H SABOVICH & S
MARDER
99 DALEMOUNT AVE
TORONTO M6B 4J7
CANADA

MARIA WINDMAN (LE) REM LILI SCHON &
SAUL WINDMAN
285 WINDING LN
THORNHILL ONTARIO L4J 5K7
CANADA

RICHARD MISLOV ANASTASIA GROUMBOS
369 CLINTON ST
TORONTO ONTARIO M6G2Z1
CANADA

SUSANA PALLICER MARTINEZ
CALLE JOAN COROMINAS #6
PROVINCIA BARCELONA ESPANA 08370
SPAIN

231-233 MARSHALL REALTY LLC
400 TRUMBULL ST
ELIZABETH, NJ 07206

26 BOND STREET MANAGEMENT LLC
7135 COLLINS AVE 1036
MIAMI BEACH, FL 33141

7130 HARDING AVE LLC
6000 COLLINS AVE #348
MIAMI BEACH, FL 33140

9484 HARDING INVESTMENT LLC
210 71 ST 309
MIAMI BEACH, FL 33141

ABBOTT 72 LLC
130 MINORCA AVENUE
CORAL GABLES, FL 33134

ABDEL FIGUEREDO
1430 SW 91 AVE
MIAMI, FL 33174

ABDELFATTAH ARAFAT & HOSAM ARAFAT
202 SIENA GARDENS CIR
GOTHA, FL 34734-5000

ADALBERTO PUELLO &W SARA
2910 SW 92 PL
MIAMI, FL 33165-3140

ADEL SALAMA &W GLADYS
7135 COLLINS AVE #503
MIAMI BEACH, FL 33141-3272

ADRIAN VICTORES
4536 W 6 AVE
HIALEAH, FL 33012

AHM ADVISORS LLC
210 71 STREET #309
MIAMI BEACH, FL 33141

AIDA AWAD JTRS NANSI SAMUEL
MANKARYOUS JTRS
7135 COLLINS AVE #534
MIAMI BEACH, FL 33141

AIMEE & TIFFANY STYLER TRS
1105 BROMLEY AVE
TEANECK, NJ 07666

ALANAXELTATI LLC
7135 COLLINS AVE #1511
MIAMI BEACH, FL 33141

ALBERTO MESA ALFREDO MESA
2721 SW 33 AVE
MIAMI, FL 33133

ALEIDA RODRIGUEZ
6969 COLLINS AVE #1003
MIAMI BEACH, FL 33141-3223

ALEJANDRA SLATAPOLSKY
6969 COLLINS AVENUE #507
MIAMI BEACH, FL 33141

ALEJANDRO BUCHANCOW
2853 N NEVA
CHG, IL 60634

ALEJANDRO MARCARIAN
7135 COLLINS AVENUE #436
MIAMI BEACH, FL 33141

ALEJANDRO NERGUIZIAN
2925 PRAIRIE AVE
MIAMI BEACH, FL 33140

ALEX S RUIZ
4200 VIA MARISOL UNIT 731
LOS ANGELES, CA 90042-3497

ALEXANDER BEREZIN
6000 COLLINS AVE 308
MIAMI BEACH, FL 33140

ALEXANDRA FRIDMAN
7135 COLLINS AVE UNIT 1213
MIAMI BEACH, FL 33141-3230

ALFONSO FERNANDEZ MARIA BEATRIZ
FERNANDEZ
630 SAN ANTONIO AVE
CORAL GABLES, FL 33146

ALFONSO KAFITI EST OF
7135 COLLINS AVE #1735
MIAMI BEACH, FL 33141

ALFREDO CAGGIANO
7135 COLLINS AVE UNIT 1525
MIAMI BEACH, FL 33141-3251

ALFREDO GONZALEZ EDILIA GONZALEZ
7135 COLLINS AVE #1401
MIAMI BEACH, FL 33141-3257

ALLA GRANOVSKY & ANGELA GRANOV
702 BRIDGEVIEW RD
LANGHORNE, PA 90053

ALOIS CATHALINA
7135 COLLINS AVE #604
MIAMI BEACH, FL 33141-3224

ALUVIAR LLC
11930 N BAYSHORE DRIVE #1409
NORTH MIAMI BEACH, FL 33181

AMALIO P RODRIGUEZ
6969 COLLINS AVE #1106
MIAMI BEACH, FL 33141-3223

AMARLETTE RIVERO & NERY TOLEDO
6969 COLLINS AVE #1408
MIAMI BEACH, FL 33141-3224

ANA BRADLEY BRAY LE REM JULIO R
MARTINEZ REM JOSE J MARTINEZ
695 NW 126 CT
MIAMI, FL 33182

ANA CECILIA TEIXEIRA
6969 COLLINS AVE #603
MIAMI BEACH, FL 33141

ANA G HERRERA
7135 COLLINS AVE #1116
MIAMI BEACH, FL 33141

ANA R BASADRE JOLIE R TURNER
6969 COLLINS AVE 1406
MIAMI BEACH, FL 33141

ANDRES G LOPEZ
6969 COLLINS AVE #1204
MIAMI BEACH, FL 33141-3224

ANDRES PEREZ MIRELLA PEREZ
6 PINE STREET
CARTERET, NJ 07008

ANGEL AMENDOLA SILVIA AMENDOLA
7135 COLLINS AVE #526
MIAMI BEACH, FL 33141

ANGEL CABRERA &W MIGDALIA
7135 COLLINS AVE #1222
MIAMI BEACH, FL 33141-3257

ANGEL R DE ARMAS SILVIA L DIAZ
7135 COLLINS AVE UNIT #521
MIAMI BEACH, FL 33141

ANGELA SAINZ
6965 HARDING AVE APT 307
MIAMI BEACH, FL 33141-3248

ANGELINA RODRIGUEZ REV LIV TR
ANGELINA RODRIGUEZ
1 GLIMPSEWOOD LN
MORRISTOWN, NJ 07960

ANIBAL D OLIU &W AMARILYS
890 NE 78 ST
MIAMI, FL 33138

ANN CHRISTINA BRADY
1875 SW 15 ST
MIAMI, FL 33145

ANNA BEJELIS
316 S CHURCHILL DR
SAINT AUGUSTINE, FL 32086

ANTON JANICS
9612 RIVERSIDE DR 101
SEBASTIAN, FL 32958

ANTONIO CRESPI &W ADELAIDA
6457 SW 16 ST
MIAMI, FL 33155-1903

ANTONIO PEREZ &W MIREYA A
254 TORTOISE LN
FRANKLIN LAKE, NJ 07417

ANTONIO RIVAS ANTONIO VIRGINIA RIVAS
FAMILY TR VIRGINIA RIVAS
3230 SW 133 AVE
MIAMI, FL 33175

ANTONIO RUIZ &W MARIA TERESA
6969 COLLINS AVE #1504
MIAMI BEACH, FL 33141-3224

ANTONIO VILLANUEVA JR &W ELIA M
6969 COLLINS AVE STE 1411
MIAMI BEACH, FL 33141-3224

AQUA VISTA HOLDINGS INC
1800 SUNSET HARBOUR DR STE 1
MIAMI BEACH, FL 33139-1421

ARACELY JUEZ CAROLINA SALGADO
6969 COLLINS AVE 605
MIAMI BEACH, FL 33141

ARGELIA HERNANDEZ
140 SYLVAN ST
RUTHERFORD, NJ 07070

ARMANDO RODRIGUEZ &W NORMA
5700 SW 97TH ST
PINECREST, FL 33156

ARMANDO SOUTO ISOLINA SOUTO
1812 SW 124 PL
MIAMI, FL 33175

ARMANDO Z BORREGO &W CORONA
BORREGO
7135 COLLINS AVE #602
MIAMI BEACH, FL 33141-3228

ARNALDO RAMIREZ &W ESTHER P
2150 SANS SOUCI BLVD APT B1005
N MIAMI, FL 33181-3045

ARTHUR COYLE &W KATIE
7135 COLLINS AVE UNIT 1504
MIAMI BEACH, FL 33141-3269

ARTHUR WONG HUEI SHYANG AARON WONG
HUEI SHYIN
PO BOX 1141
CUMMING, GA 30028

AURA SLAVIK
6965 HARDING AVE 405
MIAMI BEACH, FL 33141

BEACH LEGAL PROPERTIES INC
317 - 71 ST
MIAMI BEACH, FL 33141-3013

BECO MIAMI LLC
1444 BISCAYNE BLVD STE 306
MIAMI, FL 33132

BELKIS LAGO
7135 COLLINS AVE #1611
MIAMI BEACH, FL 33141-3251

BELRENI LLC
3600 MYSTIC POINT DR LP 6
AVENTURA, FL 33180

BEMCM LLC
7135 COLLINS AVE #613
MIAMI BEACH, FL 33141

BERTO SIXTO ECHEVARRIA
2030 SW 61 AVE
MIAMI, FL 33155

BESSIE E PEASE &H ROBERT B & MARY
CARASOULAS
4601 5TH AVE APT#423
PITTSBURGH, PA 15213

BHARAT LAKHKAR LEENA LAKHKAR
7135 COLLINS AVE UNIT #505
MIAMI BEACH, FL 33141

BISMARCK COTTA LLC
1300 SW 67 AV
MIAMI, FL 33144

BLANCA C HERRERA-TORRES
6969 COLLINS AVE UNIT 715
MIAMI BEACH, FL 33141-3222

BOMBINHAS LLC
7135 COLLINS AVE 1016
MIAMI BEACH, FL 33141-3211

BORIS PILCH
7135 COLLINS AVE UNIT 1004
MIAMI BEACH, FL 33141-3256

BORIS VOLEGOV
5051 SW 149TH AVE
DAVIE, FL 33331-2861

BRANDON ALLPORT
7135 COLLINS AVE #1022
MIAMI BEACH, FL 33141

BRIAN ACWORTH
280 HARRISON AVE
CENTERPORT, NY 11721

BRIXHAM CORPORATION
1110 BRICKELL AVENUE #310
MIAMI, FL 33131

BURLEIGH 801 CORP
20900 NE 30 AVE #200-27
AVENTURA, FL 33180

BURLEIGH HOUSE CONDO INC
7135 COLLINS AVE
MIAMI BEACH, FL 33141-3238

BURLEIGH HOUSE CONDOMINIUM INC C/O
ROJAS LAW FIRM LLP
9130 S DADELAND BLVD #1209
MIAMI, FL 33156

BURLEIGH LLC
16178 NW 1 ST
PEMBROKE PINES, FL 33028

CANDIDA DE AUGUSTIN
7135 COLLINS AVE #1026
MIAMI BEACH, FL 33141-3278

CANDRES INVESTMENTS 2 LLC
2631 PARRISH STREET
PHILADELPHIA, PA 19130

CARIDAD A OLIVER LE REM SUSANA D
MAYOBRE
7135 COLLINS AVE 834
MIAMI BEACH, FL 33141-3237

CARLA FEIGENBAUM REV TR CARLA
FEIGENBAUM
7135 COLLINS AVE #1106
MIAMI BEACH, FL 33141

CARLO SERVITO
6965 HARDING AVE #507
MIAMI BEACH, FL 33141-3250

CARLOS A MILANES ALINA M MILANES
7135 COLLINS AVE 1613
MIAMI BEACH, FL 33141

CARLOS COLON EDWIN AYALA
6969 COLLINS AVE UNIT 401
MIAMI, FL 07276

CARLOS CUENCA CELIDA CUENCA
371 NE 168 ST APT 303
MIAMI BEACH, FL 33160

CARLOS J WEBER MARIA V LASKOWSKI
7135 COLLINS AVE #1404
MIAMI BEACH, FL 33141

CARLOS JACINTO &W NORMA JACINTO
7135 COLLINS AVE #932
MIAMI BEACH, FL 33141

CARLOS R ACOSTA &W DULCE MIJARES
6969 COLLINS AVE #703
MIAMI BEACH, FL 33141-3222

CARLOS SALVADOR RAMUNDO ANDREA
HILDA CASTRO RAMUNDO
401 OCEAN DR APT 902
MIAMI BEACH, FL 33139

CARMEN R MONTANO
6965 HARDING AVE UNIT 203
MIAMI BEACH, FL 33141-3247

CASA GRANDE SHOPPING CENTER LLC
10275 COLLINS AVE #708
BAL HARBOUR, FL 33154

CATALINA ATEHORTUA
6969 COLLINS AVE APT 906
MIAMI BEACH, FL 33141

CC7135 LLC
7135 COLLINS AVE 625
MIAMI BEACH, FL 33141

CELESTE E CEPERO ABAD
5321 SW 162 PLACE
MIAMI, FL 33156

CELIA TORRES
6420 SW 88 PATH
MIAMI, FL 33173

CESAR ANDRADE &W MARILDA & JAIME
ANDRADE
7135 COLLINS AVE #1225
MIAMI BEACH, FL 33141-3257

CESAR KUDJA TRS
8253 WEST 14 CT
HIALEAH, FL 33014

CHARLES A SCHWARTZ LE REM CHARLES A
SCHWARTZ TRS CHARLES A SCHWARTZ
2010 REV TR
7135 COLLINS AVE 626
MIAMI BEACH, FL 33141-3211

CHARLES AKSELRAD TRS ALINE AKSELRAD
TRS
960 LAWRENCE RD
PRINCETON, NJ 08540

CHARLES AKSELRAD TRS ALINE AKSELRAD
TRS
7135 COLLINS AVE #PH-6
MIAMI BEACH, FL 33140

CHARLES CATALANO TRS MICHAEL D
ANNUNZIO TRS
149 JERICHO TURNPIKE
OLD WESTBURY, NY 11568

CHARLES HASPEL &W BARBARA
7135 COLLINS AVE UNIT 1023
MIAMI BEACH, FL 33141-3256

CHARLES MARKS
7135 COLLINS AVE #1102
MIAMI BEACH, FL 33141-3230

CHARLES W MORALES ALMONACID & STELLA
ALMONACID DE MORALES ETALS
7135 COLLINS AVE #1515
MIAMI BEACH, FL 33141-3269

CHRISTIAN MULLER EDALIRA MARIA CARLOS
MULLER
6969 COLLINS AVE #710
MIAMI BEACH, FL 33141

CITY NATIONAL BANK OF FLORIDA
1450 BRICKELL AVE #2910
MIAMI, FL 33131

CITY NATL BANK OF FLORIDA % FINANCE
DEPT
25 WEST FLAGLER ST
MIAMI, FL 33130-1712

CITY NATL BNK OF MIAMI % FINANCE DEPT
25 WEST FLAGLER ST
MIAMI, FL 33130-1712

CITY OF MIAMI BEACH
1700 CONVENTION CENTER DR
MIAMI BEACH, FL 33139

CLAMALU GROUP LLC
2370 NE 184 TER
N MIAMI BEACH, FL 33160

CLARA MARIA DIAZ
15258 SW 32 TERR
MIAMI, FL 33185

CLAUDIA I GARCIA
521 LES JARDIN DR
PALM BEACH GARDENS, FL 33410

COBE MIAMI LLC
150 SE 2 AVE STE PH1
MIAMI, FL 33131

COLLINS AND 72ND DEVELOPERS LLC
9537 HARDING AVE
SURFSIDE, FL 33154

CONSTANTIN TSIMPOUKLIS &W LYDIA
7135 COLLINS AVE UNIT 1006
MIAMI BEACH, FL 33141-3256

CONSUELO LOPEZ EST OF
7135 COLLINS AVE UNIT 1403
MIAMI BEACH, FL 33141-3257

CRAIG T TRESTER MARY D UZCATEGUI
TRESTER
24 NURSERY RD
MELVILLE, NY 11747

CRISMA 623 LLC
355 ALHAMBRA CIR STE 801
CORAL GABLES, FL 33134

CRYSTAL BEACH CLUB CONDO ASSN INC
PO BOX 422247
KISSIMMEE, FL 34742

CRYSTAL BEACH DEVELOPMENT CORP
PO BOX 422247
KISSIMMEE, FL 34742

CRYSTAL BEACH INC
5000 AVENUE OF THE STARS
KISSIMMEE, FL 34742

CRYSTAL BEACH INC
PO BOX 421704
KISSIMMEE, FL 34742

CRYSTAL BEACH INC
PO BOX 422247
KISSIMMEE, FL 34742

DAMAJU LLC
7135 COLLINS AVE #1016
MIAMI BEACH, FL 33141

DANIA LOPEZ LE REM ROBERTO GARCIA TRS
ROBERTO GARCIA LE
3329 SE 1 AVE
CAPE CORAL, FL 33904

DANIA TRASOBARES LLOPIZ LE REM
ALBERTO O TOMEU REM TIANA T OLCESE
7135 COLLINS AVE #1532
MIAMI BEACH, FL 33141

DANIEL ACOSTA &W OLIVIA
7135 COLLINS AVE #723
MIAMI BEACH, FL 33141-3229

DANIEL MARSHALL GOLDMAN MARGARITA
OSSORIO GOLDMAN
7135 COLLINS AVE APT 1402
MIAMI BEACH, FL 33141

DANIEL R GARCIA AIDA I GARCIA
270 SW 58 AVE
MIAMI, FL 33144

DAVID M MURRAY ELISABETH A MURRAY
7135 COLLINS AVENUE #1526
MIAMI BEACH, FL 33141

DEBRA SNYDER ELLEN HULL
8 OVERLOOK CT
BAYVILLE, NJ 08721

DIEGO D GARCIA
7135 COLLINS AVE #833
MIAMI BEACH, FL 33141

DINORAH ROMAN
6969 COLLINS AVE #315
MIAMI BEACH, FL 33141-3221

DOLORES R LASTRA LE REM MARIA DEL
CARMEN DELAFE
7135 COLLINS AVE 822
MIAMI BEACH, FL 33141

DONNA & THOMAS METLICKA & RUTH &
JOSEPH BARBARO
2612 SWEETBROOM
NAPERVILLE, IL 60564

DONNA HELENE MUELLER
2132 MT VERNON ST
PHILADELPHIA, PA 19130

DORA A NOCERA TERESITA B TELKAS
7135 COLLINS AVE #1015
MIAMI BEACH, FL 33141

DORA BRITO LE REM TERESITA TZIKAS REM
DORA NOCERA
7135 COLLINS AVE # 1824
MIAMI BEACH, FL 33141

DORIS PARKER FAMILY TRS DORIS PARKER
(BEN)
7135 COLLINS AVE #1024
MIAMI BEACH, FL 33141-3256

DOROTHY WEST
6969 COLLINS AVE #1510
MIAMI BEACH, FL 33141-3224

EDGARDO INSIGNARES &W MARINA A
6969 COLLINS AVE #804
MIAMI BEACH, FL 33141-3222

EDNA & MARTIN ROTHSTEIN
7135 COLLINS AVE UNIT 803
MIAMI BEACH, FL 33141-3229

EDUARDO CABANAS
1020 SW 88 AVE
MIAMI, FL 33174-3217

EDUARDO J CASTENEIRA &W JORGELINA
6969 COLLINS AVE UNIT 407
MIAMI BEACH, FL 33141-3221

EDUARDO J PADRON TRS EDUARDO J
PADRON LIVING TRUST
2004 SW 7 AVE
MIAMI, FL 33129

EDUARDO SAENZ ROVNER
6801 HARDING AVE # 319
MIAMI BEACH, FL 33141

ELA WAGNERMAN TRS ELA WAGNERMAN
LIVING TRUST
9454 SW 4 TER
MIAMI, FL 33174

ELENA VELOSO
7135 COLLINS AVE #1205
MIAMI BEACH, FL 33141

ELIDA GUERRA LE REM RICARDO
FERNANDEZ REM ERNESTO FERNANDEZ
7135 COLLINS AVE #1713
MIAMI BEACH, FL 33140

ELIZABETH CARRIL TRS
PO BOX 547176
SURFSIDE, FL 33154

ELIZABETH O'DARE (TR)
700 INDIAN LILAC RD
VERO BEACH, FL 32963-1301

ELLIOTT COWAN &W KARINA P COWAN
6050 LOGANS WAY
ELLCOTT CITY, MD 21043

ELSA & EVA PANG
41-81 DENMAN ST
ELMHURST, NY 11373

ELYSEE INVEST CO MIAMI BEACH INC
210 71 STREET #309
MIAMI BEACH, FL 33141

ELYSEE INVESTMENT ENTERPRISES
45 NW 21ST ST
MIAMI, FL 33127-4928

EMILIANO DENTICO JANETH VARELA
ALVAREZ FLAVIO DE PAOLA
6969 COLLINS AVE #505
MIAMI BEACH, FL 33141

EMMA FERNANDEZ
6969 COLLINS AVE UNIT 1205
MIAMI BEACH, FL 33141-3224

ENRIQUE J VENTURA SR &W EMMA
6969 COLLINS AVE #415
MIAMI BEACH, FL 33141-3221

ENRIQUE SIERRA &W MARIA
10700 FAIRHAVEN WAY
ORLANDO, FL 32825

ERIC M BERAZA TRS
1315 SW 78 PL
MIAMI, FL 33144-5257

ERNEST R PEREZ
2 TUDOR CITY PLACE #6LS
NEW YORK, NY 10017

ERNESTO BERNAL
7135 COLLINS AVE #1103
MIAMI BEACH, FL 33141-3230

ERNESTO REGO &W ARACELI B
2031 SW 106 CT
MIAMI, FL 33165-7942

ERNESTO RODRIGUEZ
2118 FIELDSTONE DR
BETHLEHEM, PA 18015

ESTELA SOTO LE REM MARTA ESTELA SOTO
JTRS
7135 COLLINS AVE 622
MIAMI BEACH, FL 33141

ESTRELLA PANG &H RAY COLON
7135 COLLINS AVE #1815
MIAMI BEACH, FL 33141-3232

EVA CUSNIER
6969 COLLINS AVE #914
MIAMI BEACH, FL 33141-3223

EVELYN GONZALEZ TRS NILDA GARCIA
TRUST
820 CATON AVE
BROOKLYN, NY 11218

EZPELETA INC
2801 NE 183 ST #904
AVENTURA, FL 33160

EZRA D ESKANDRY LE REM RAQUEL L
ESKANDRY
401 SE 11 AVE
HIALEAH, FL 33010-5737

FABIO CASCUDO
6969 COLLINS AVE #807
MIAMI BEACH, FL 33141-3222

FAISAL H AL JIBOORI
7135 COLLINS AVE #1711
MIAMI BEACH, FL 33141-3231

FAUSTINO GARCIA &W CLARA
11271 SW 26 ST
MIAMI, FL 33165-2233

FAY EISENBERG TR FAY EISENBERG (BEN)
7135 COLLINS AVE #1714
MIAMI BEACH, FL 33141-3231

FELIX R RODRIGUEZ &W MARTA R
417 NE 27 ST #1
MIAMI, FL 33137-4603

FELIX R RODRIGUEZ MARTA R RODRIGUEZ
9451 SW 67 AVE
MIAMI, FL 33156

FERLAZ REALTY CORP INC
8819 FROUDE AVE
SURFSIDE, FL 33154-3321

FERNANDO DANIEL FERREYRA CINTIA
DANIELA CAIN DELICIA SUSANA FLORES
6969 COLLINS AVE 312
MIAMI BEACH, FL 33141

FERNANDO FUENTES
7135 COLLINS AVE #PH3
MIAMI BEACH, FL 33141

FERNANDO J ALVAREZ &W SILVIA A
6940 SEAGRAPE TERR
MIAMI LAKE, FL 33014-2930

FERRA MAR LLC
6969 COLLINS AVE # 1402
MIAMI BEACH, FL 33141

FERRA MAR LLC
2370 NE 184 TER
MIAMI, FL 33160

FIRST LEISURE CORP
PO BOX 421704
KISSIMMEE, FL 34742

FIRST LEISURE CORP
PO BOX 422247
KISSIMMEE, FL 34742

FLORENTIA C VALDES EST OF
7135 COLLINS AVE UNIT 1835
MIAMI BEACH, FL 33141-3252

FRANCISCO HOYOS &W MARIA AMELIA
7135 COLLINS AVE UNIT 734
MIAMI BEACH, FL 33141-3229

FRANCISCO M CRESPO &W ELIA
7135 COLLINS AVE #1833
MIAMI BEACH, FL 33141-3252

FRANCISCO M CRESPO ELIA CRESPO
7135 COLLINS AVE #1536
MIAMI BEACH, FL 33141-3251

FRANISA LLC
3600 MYSTIC POINTE DR LP6
AVENTURA, FL 33180

FRANK F RAPOSO
1021 SW 99 PL
MIAMI, FL 33174-2833

FRANK M MENA LAURA L MENA
7135 COLLINS AVE #1226
MIAMI BEACH, FL 33141-3257

FREDERICK J LITWIN ELAINE C LITWIN
7135 COLLINS AVE #PH36
MIAMI BEACH, FL 33141

FREEDOM BAPTIST CHURCH OF DADE
COUNTY INC
12515 SW 72 ST
MIAMI, FL 33183

FRIEDA ALUTIN TRS ALUTIN PREMISES
TRUST MICHELE T ALUTIN TRS
323 E 89 ST #3C
NEW YORK, NY 10128

GAIL FRANK
7135 COLLINS AVE # 1624
MIAMI BEACH, FL 33141-3231

GARPRANA LLC
3600 MYSTIC POINTE DR LP6
AVENTURA, FL 33180

GENIA SPROTZER LE REM SAMUEL P
SPROTZER
3 EDGEHILL DR
WOODBIDGE, CT 06525

GEORGE JARP &W MARY
6969 COLLINS AVE UNIT 1005
MIAMI BEACH, FL 33141-3223

GEORGE TY SIMPSON
1229 PENNSYLVANIA AVE SE
WASHINGTON, DC 20003

GERARDO CABRERA TSUNAMI PEREZ
ECHEMENDIA (JTRS)
7135 COLLINS AVE #1626
MIAMI BEACH, FL 33141

GERMAN DE PIEROLA
7135 COLLINS AVE 522
MIAMI BEACH, FL 33141-3211

GERMAN FILGUEIRA
7135 COLLINS AVE #416
MIAMI BEACH, FL 33141-3227

GESTIONAR CORP
1687 NE 123 ST
NORTH MIAMI, FL 33181

GIANLUCA PEDRAZZINI C/O JOSEPH VICTOR
BEHAR GIOVANNA ANGELI
6767 COLLINS AVENUE #2205
MIAMI BEACH, FL 33141

GILDA POMARES
6969 COLLINS AVE #510
MIAMI BEACH, FL 33141

GILLES MATHIEU
7135 COLLINS AVE UNIT #422
MIAMI BEACH, FL 33141

GISELA FERRER LE REM JACQUELINE
MENDES REM ANTONIO E FERRER
7135 COLLINS AVE 1203
MIAMI BEACH, FL 33141

GLENN SALZMAN
7135 COLLINS AVE 1703
MIAMI BEACH, FL 33141

GLORIA E CRUZ & NELSON J DELGADO
6969 COLLINS AVE #1004
MIAMI BEACH, FL 33141-3223

GLORIA VENCE ANTHONY VENCE
7711 35 AVE #5R
JACKSON HEIGHTS, NY 11372

GOLDSTONE INVESTMENTS INC
14077 SW 48 LN
MIAMI, FL 33175-4830

GONZALO PLANAS TRS PLANAS FAMILY
REVOCABLE TRUST MARIA T PLANAS TRS
7195 WEST 4 CT
HIALEAH, FL 33014

GORAN G ANTIC
7135 COLLINS AVE #1234
MIAMI BEACH, FL 33141

GRACE MIRO
7135 COLLINS AVE UNIT 934
MIAMI BEACH, FL 33141-3256

GRADY A SEE TRS GRADY A SEE 2013
REVOC TRUST MERCEDES SEE TRS
801 BRICKELL BAY DR UNIT 1768
MIAMI, FL 33131

GREG KALIMAN
7135 COLLINS AVE #1606
MIAMI BEACH, FL 33141

GREGORY COYLE
7135 COLLINS AVE UNIT 1521
MIAMI BEACH, FL 33029

GREGORY PILLON
7135 COLLINS AVE #1705
MIAMI BEACH, FL 33141-3231

GRUPO MONTERO CORP
635 NE 193 ST
MIAMI, FL 33179

GUILLERMO GARCIA &W MARICELA
1710 S TREASURE DR
NO BAY VILLAGE, FL 33141-4335

GUILLERMO GLEIZER
325 OCEAN DR APT 203
MIAMI BEACH, FL 33139-6926

GUILLERMO VILLANUEVA &W MARLENE A
1840 SW 87 PL
MIAMI, FL 33165-7845

GUN GIL GIM &W STEFANIA B
7135 COLLINS AVE #926
MIAMI BEACH, FL 33141-3256

GUSTAVO & MIRIAM TALAVERA
7135 COLLINS AVE #1031
MIAMI BEACH, FL 33141-3278

GUSTAVO GARCIARENA
271 OAK STREET
RIDGEWOOD, NJ 07450

GUSTAVO NERGUIZIAN
7135 COLLINS AVE #735
MIAMI BEACH, FL 33141

HECTOR MENDOZA &W MARTHA E
60 LELAND AVE
NEW ROCHELLE, NY 10805

HENRY ROCHEL & DAVID TARQUINO (JTRS)
7135 COLLINS AVE #531
MIAMI BEACH, FL 33141-3228

HENRY W CANFIELD
7135 COLLINS AVE #816
MIAMI BEACH, FL 33141-3237

HERMINIA LAURETI
7135 COLLINS AVE #1425
MIAMI BEACH, FL 33141-3269

HILDEMAR FELIPE
5775 COLLINS AVE #1005
MIAMI BEACH, FL 33141

HILLS OF TRUST HOLDINGS LLC
1840 SW 22 ST 4 992
MIAMI, FL 33141

IAROSLAV SOLODCHENKO
7135 COLLINS AVENUE #1113
MIAMI BEACH, FL 33141

IDOLIDIA RODRIGUEZ
7135 COLLINS AVE # 535
MIAMI BEACH, FL 33141-3228

ILEANA JACOBSON & PERLA FERNANDEZ
9121 SW 45 ST
MIAMI, FL 33165-5945

ILLUSIONS SIGNATURE CORP
8390 NW 53 ST STE 201
MIAMI, FL 33166

INA FELIZ LLC
7135 COLLINS AVE 632
MIAMI BEACH, FL 33141

INTEGRATED ART DESIGN LLC
31 E HOPKINS RD
GILBERT, AZ 85295

IRA MILLMAN
6969 COLLINS AVE #514
MIAMI BEACH, FL 33141

ISAAC OLEMBERG C/O OLEM SHOE CORP
ISAAC OLEMBERG TRUST
800 NW 21 ST
MIAMI, FL 33127

ISABEL VITERI
468 DE LEON DRIVE
MIAMI SPRINGS, FL 33166

IVAN R CABALLERO &W ISABEL V
6969 COLLINS AVE UNIT 1114
MIAMI BEACH, FL 33141-3223

IVONNE & HANA WEINER
7135 COLLINS AVE UNIT 1236
MIAMI BEACH, FL 33141-3257

JACKIE OLANIEL ANNETTE M DIAZ
12523 SW 119 PL
MIAMI, FL 33186

JAIME CRUANYAS &W VIRGINIA M GARCIA &
ETAL JTRS
6969 COLLINS AVE #1410
MIAMI BEACH, FL 33141-3224

JAMES OLEKSA &W HELEN OLEKSA
7135 COLLINS AVE #1716
MIAMI BEACH, FL 33141-3231

JANET J KESSEN LE REM ROBERT A KESSIN
& ETALS
99 NORUMBEGA ROAD APT 103
WESTON, MA 02493-2485

JAVIER ABREU &W HORTENSIA
4821 SW 129 AVE
MIAMI, FL 33175-4535

JAVIER ESTRADA CAROLINA ESTRADA
6969 COLLINS AVE #1010
MIAMI BEACH, FL 33141

JEAN M COLTON & KATHRYN L KLINGEMAN
3013 46 AVE SOUTH
SAINT PETERSBURG, FL 33712

JEGO VENTURES LLC
13747 SW 31 TERR
MIAMI, FL 33175

JESUS A PENA
5 RICK RD
SHILLINGTON, PA 19607

JOAQUIN VIEGA
6965 HARDING AVD #503
MIAMI BEACH, FL 33141

JOCHE P LLC
8004 NW 154 ST #208
MIAMI LAKES, FL 33016

JOHANNES LANGE LE MARIA LUIS MONTERIO
LIRA LANGE LE REM JOHANNA KATHARINA
LANGE
6969 COLLINS AVE 1110
MIAMI BEACH, FL 33141

JOHN CHERETIS TR
701 DIPLOMAT PARKWAY
HALLANDALE, FL 33009

JOHN HUGYECZ OLGA HUGYECZ
7135 COLLINS AVE #524
MIAMI BEACH, FL 33141

JOHN PAUL FIORENTINO
7135 COLLINS AVE #912
MIAMI BEACH, FL 33141-3237

JON SCOTT SNIDER LOURDES ALONSO
SNIDER JOSE R ALONSO PUJOL
7135 COLLINS AVE #1025
MIAMI BEACH, FL 33141

JORGE A QUINTANA MERCEDES QUINTANA
6965 HARIDNG AVE # 506
MIAMI BEACH, FL 33141

JORGE A VELAZQUEZ &W NOEMI
8431 NW 163 TERR
HIALEAH, FL 33016-6634

JORGE E PADRON YAQUELINE PADRON
3541 SW 105 CT
MIAMI, FL 33165

JORGE FABIAN TAMBURINI
7135 COLLINS AVE 1016
MIAMI BEACH, FL 33139

JORGE FEDERICO TAMBURINI
7135 COLLINS AVE #1122
MIAMI BEACH, FL 33141

JORGE GARCIA &W MAGDALENA
12235 SW 31 ST
MIAMI, FL 33175

JORGE PADRON
6969 COLLINS AVE # 601
MIAMI BEACH, FL 33141

JORGE ROWINSKY GLADYS QUINTIAN
7135 COLLINS AVE #1825
MIAMI BEACH, FL 33141

JOSE A LORENZO &W MARIA E
7135 COLLINS AVE #1801
MIAMI BEACH, FL 33141-3232

JOSE C IBARRA &W ANA M CORDERO
6965 HARDING AVE #306
MIAMI BEACH, FL 33141-3248

JOSE CARLOS LEIVA
7135 COLLINS AVE APT PH2
MIAMI BEACH, FL 33141

JOSE E MENENDEZ &W ELIZABETH ALVAREZ
MENENDEZ
6969 COLLINS AVE #1509
MIAMI BEACH, FL 33141

JOSE H RAMUDO &W DORA
6145 W 12 AVE
HIALEAH, FL 33012-6410

JOSE HEREDIA
7135 COLLINS AVE 1838
MIAMI BEACH, FL 33141

JOSE L ALONSO SR TRS JOSE & GRACIELA
ALONSO TRUST GRACIELA ALONSO TRS
50 MENORES AVE #615
CORAL GABLES, FL 33134

JOSE L RODRIGUEZ &W ALICIA C
2640 RINCONIA AVE
LOS ANGELES, CA 90068

JOSE L RUEDA &W AIXA
6969 COLLINS AVE #905
MIAMI BEACH, FL 33141-3223

JOSE L TOLEDO ANA M TOLEDO
7135 COLLINS AVE UNIT 1125
MIAMI BEACH, FL 33141

JOSE LUIS CASTRO
7135 COLLINS AVE #PH4
MIAMI BEACH, FL 33141

JOSE M SUSBIELLES
7135 COLLINS AVE 631
MIAMI BEACH, FL 33141

JOSE N FERNANDEZ MIRIAM FERNANDEZ
7135 COLLINS AVE #1416
MIAMI BEACH, FL 33141-3257

JOSE PRIGOSHIN &W MONICA QUIROGA
7135 COLLINS AVE #1435
MIAMI BEACH, FL 33141-3269

JOSE SU &W PETRA NUNEZ
6969 COLLINS AVE #1006
MIAMI BEACH, FL 33141-3223

JOSE T RODRIGUEZ
7135 COLLINS AVE #423
MIAMI BEACH, FL 33141-3272

JOSEFINA M CRUANYAS
6969 COLLINS AVE #506
MIAMI BEACH, FL 33141-3221

JOSEFINA Q DE VALDES
6969 COLLINS AVE #405
MIAMI BEACH, FL 33141

JOSEPH MOHAN
7135 COLLINS AVE #605
MIAMI BEACH, FL 33141

JOSEPH P BURKE &W JUDITH Z
7670 SW 132 PL
MIAMI, FL 33183-3310

JUAN ALBERTO FLORES
7135 COLLINS AVE #736
MIAMI BEACH, FL 33141

JUAN ARHANCET GRACIELA INES BARBIERI
ARHANCET
7135 COLLINS AVE #1012
MIAMI BEACH, FL 33141

JUAN C DOMINGUEZ
144 KIMBERLY RD
COLONIA, NJ 07067

JUAN C TEJERA
7135 COLLINS AVE 1115
MIAMI BEACH, FL 33141

JUAN DE DIOS PEREZ TRS JUAN DE DIOS
PEREZ REVOC TRUST JUAN DE DIOS PEREZ
7135 COLLINS AVE APT 1216
MIAMI BEACH, FL 33141

JUAN DOMINGUEZ
16 ACME PLACE
COLONIA, NJ 07067

JUAN J LANA &W DIGNA S
13941 SW 30 ST
MIAMI, FL 33175-6522

JUAN M DOMINGUEZ &W DOLORES M
16 ACME PL
COLONIA, NJ 07067

JUAN MANUEL PENA MARIA RECALDE DE
PENA
7135 COLLINS AVENUE
MIAMI BEACH, FL 33141

JUAN RAPOSO
7135 COLLINS AVE #523
MIAMI BEACH, FL 33141-3228

JUAN SOTO
7135 COLLINS AVE APT 1131
MIAMI BEACH, FL 33141-3275

JULIA ANASTASIO
6965 HARDING AVE APT 407
MIAMI BEACH, FL 33141-3249

JULIO C MARTINEZ &W CANDIDA
101 E 50 PL
HIALEAH, FL 33013-1446

JULIO STRATTER
6969 COLLINS AVE #1101
MIAMI BEACH, FL 33141-3223

JUMAHE INVESTMENTS LLC
7135 COLLINS AVE #1513
MIAMI BEACH, FL 33141

JUSTO E CARDENAS ALZA
299 NW 52 TER #119
BOCA RATON, FL 33487

KATHY MAHON KEVIN MAHON
1140 ANDERSON AVE
FORT LEE, NJ 07024

KELLY MIYAMOTO TRS
3524 HENNEPIN AVE SOUTH #2
MINNEAPOLIS, MN 55408

KERSHI PARAKH &W MARGARITA
6965 HARDING AVE UNIT 504
MIAMI BEACH, FL 33141-3250

KEVINBLACKIE LLC
7135 COLLINS AVE #1731
MIAMI BEACH, FL 33141

KFG PROPERTIES LLC
7135 COLLINS AVE #1214
MIAMI BEACH, FL 33141

KIMBERLY C KOURY JAIME RODRIGUEZ AZZA
7135 COLLINS AVE 1423
MIAMI BEACH, FL 33141

KONRAD GEORGE
27 N MARION AVE
VENTNOR CITY, NJ 08406

KRASNOVANE LLC
11930 N BAYSHORE DR 1409
MIAMI, FL 33181

KYUNG JA LEE
7135 COLLINS AVE UNIT 805
MIAMI BEACH, FL 33140

LA PATAIA CORP
2875 NE 19 ST #801
AVENTURE, FL 33180

LAGLU LLC
2370 NE 184 TERRACE
NORTH MIAMI BEACH, FL 33160

LAMBETH USA CORP
540 SOUTH SHORE DR
MIAMI BEACH, FL 33141

LARISA KRASNER FRIMA KOMITO
7135 COLLINS AVE APT 1516
MIAMI BEACH, FL 33141

LAS VEGAS BEACH INC
6015 GARFIELD ST
HOLLYWOOD, FL 33021

LAURA VEITIA
1900 SUNSET HARBOUR DR #1701
MIAMI BEACH, FL 33139-1491

LAZARO A RAMIREZ ROSE E RAMIREZ
17972 SW 33 ST
MIRAMAR, FL 33029

LAZARO URRUTIA
7135 COLLINS AVE APT 1805
MIAMI BEACH, FL 33141

LCJL GROUP LLC
3551 NE 169 ST NO 106
NORTH MIAMI BEACH, FL 33160

LEONA KRASNER
440 NEPTUNE AVENUE #8D
BROOKLYN, NY 11224

LEONA LEVINE
115 PARK ST
WOODMERE, NY 11598

LIANA MIFTAKHOVA JOSE MERA
7601 E TREASURE DR 817
NORTH BAY VILLAGE, FL 33141

LIANNY TRUJILLO
6965 HARDING AVE #201
MIAMI BEACH, FL 33141

LILIA V ZAYAS
7135 COLLINS AVE #1603
MIAMI BEACH, FL 33141-3251

LILIAN PLANAS
7135 COLLINS AVE UNIT 1803
MIAMI BEACH, FL 33141-3232

LISA BOGUSKI FILGUEIRA
7135 COLLINS AVE 416
MIAMI BEACH, FL 33141-3227

LORETA SANCHEZ
PO BOX 015862
MIAMI, FL 33101

LOUIS LAPIETRA TRS ROSA LAPIETRA
IRREVOCABLE TRUST
77 JOYCE RD
HARTSDALE, NY 10530

LOURDES ALFONSO TRS LOURDES
ALFONSO
6969 COLLINS AVE UNIT #1001
MIAMI BEACH, FL 33141

LUCAS FOLSE
7135 COLLINS AVE 1725
MIAMI BEACH, FL 33141

LUCIO ZAOUL
7135 COLLINS AVENUE #1215
MIAMI BEACH, FL 33141

LUIS D REY
7135 COLLINS AVE #331
MIAMI BEACH, FL 33141-3227

LUIS FELIPE BENTANCOURT ESTHER
BETANCOURT
430 W 33 PL
HIALEAH, FL 33012

LUIS QUINONES
6969 COLLINS AVE #606
MIAMI BEACH, FL 33141

LUIS R RIVERA AMPARO M RIVERA
9332 NW 48TH DORAL TER
DORAL, FL 33178-2016

LUKE METHOT
3904 ESTEL RD
FAIRFAX, VA 22031

LUZ P JARAMILLO
2470 SW 26 LN
MIAMI, FL 33133

MABEL & MARCOS MORALES &W DELIA R
7135 COLLINS AVE #1531
MIAMI BEACH, FL 33141-3251

MABEL E GIORGETTA & JOAQUIN VIEGA
6965 HARDING AVE #403
MIAMI BEACH, FL 33141-3249

MADUNKLE LLC
5210 SW 201 TER
SW RANCHES, FL 33332

MAGALY DE GONGORA RUBIO TRS
13910 LAKE SUCCESS PL
MIAMI LAKES, FL 33014

MANUEL COSME PERNAS
6969 COLLINS AVE UNIT 1414
MIAMI BEACH, FL 33141-3224

MANUEL FERNANDEZ &W JUANA
7135 COLLINS AVE #431
MIAMI BEACH, FL 33141-3272

MANUEL GONZALEZ
7135 COLLINS AVE
MIAMI BEACH, FL 33141-3238

MANUEL HERRERIA &W LUPE
8034 SW 133 CT
MIAMI, FL 33183-4130

MARGUND R IVENS LE REM HARMUT &
PATRICIA IVENS
6965 HARDING AVE APT 505
MIAMI BEACH, FL 33141-3250

MARIA E GARCIA TRS MARIA E GARCIA
8220 CRESTWOOD HEIGHTS DR #1113
MCLEAN, VA 22102

MARIA EUGENIA CARIONI
7135 COLLINS AVE 533
MIAMI BEACH, FL 33141

MARIA I DE CASTILHOS ZEINI GONDIM & ET
ALS
7135 COLLINS AVE #1535
MIAMI BEACH, FL 33141-3251

MARIA LESCAILLE CESPEDES TRS ANA
LESCAILLE COLON 2015 IRREV TR MARIA
LESCAILLE CESPEDES TRS
2455 DELANOY AVE
BRONX, NY 10469

MARIA LIVEIKIS KARIN LIVEIKIS EDWARD
LIVEIKIS
837 W PARK AVE #733
LONG BEACH, NY 11561

MARIA P RUIZ MARIA C KABATH
7135 COLLINS AVE #1616
MIAMI BEACH, FL 33141

MARIA PAVICH DENIS PAVICH
52 HIGH STREET
WILLISTON PARK, FL 11596

MARIA R CHAVEZ JTRS & ALEX O CHAVEZ
JTRS
6969 COLLINS AVE #1008
MIAMI BEACH, FL 33141

MARIA TERESA GOMEZ
7135 COLLINS AVE #713
MIAMI BEACH, FL 33141

MARIANO LUIS FREIXAS
7135 COLLINS AVE #PH11
MIAMI BEACH, FL 33141-3252

MARIBEL GARCIA
7135 COLLINS AVE #1434
MIAMI BEACH, FL 33141-3269

MARINA INES MARIANO RAUL MURIAS
10185 COLLINS AVE #711
BAL HARBOUR, FL 38154

MARINA TANTALEAN & GRACE SIERALTA
7135 COLLINS AVE #935
MIAMI BEACH, FL 33141-3256

MARIO CASADEVAL &W MARIA
7135 COLLINS AVE # 425
MIAMI BEACH, FL 33141-3272

MARIO LECOUR &W HAYDEE
7135 COLLINS AVE UNIT 1413
MIAMI BEACH, FL 33141-3257

MARIO RIVERO &W ELENA
7135 COLLINS AVE UNIT 1523
MIAMI BEACH, FL 33141-3251

MARK RUTKOWSKI
7135 COLLINS AVE #904
MIAMI BEACH, FL 33141-3237

MARLENE FISKEY TRS MARLENE FISKEY
TRUST
12354 SW 10 ST
MIAMI, FL 33184

MARSAN REAL ESTATE LLC
1390 BRICKELL AVE #200
MIAMI, FL 33131

MARTHA L LLERA-LUIS
7135 COLLINS AVE #715
MIAMI BEACH, FL 33141-3229

MARTHA SANTIAGO
7100 BLVD EAST APT 5E
GUTTENBERG, NJ 07093

MARTIN T LENK JTRS JANE ROBICEK LENK
JTRS SONIA LENK JTRS
3628 SUMMER BREEZE CT
BOWLING GREEN, KY 42104

MARVIN FRIEDMAN &W JILL
6969 COLLINS AVE UNIT 801
MIAMI BEACH, FL 33141-3222

MARY KIROU (TRUST)
7135 COLLINS AVE UNIT 1135
MIAMI BEACH, FL 33141-3230

MARY PENNER & ROSALIND & CHARLES
NEUSTEIN
1421 SHERWOOD DR
LINDEN, NJ 07036

MAURICE KAFATI BATARSE
6969 COLLINS AVE UNIT #709
MIAMI BEACH, FL 33141

MAXIM J NIETO
1100 NE 91 ST
MIAMI, FL 33138

MAXON INVEST LLC
7124 ABBOTT AVE STE A
MIAMI BEACH, FL 33141

MCS MANAGEMENT INC
7135 COLLINS AVE #1202
MIAMI BEACH, FL 33141-3211

MELANIE LYNN HANN
683 MASSACHUSETTS AVE
BOSTON, MA 02118

MELODY LARDIZABAL
7135 COLLINS AVE #1432
MIAMI BEACH, FL 33141

MELQUIADES TORRES &W LANDY
581 SW 44 PL
MIAMI, FL 33134-1936

MERCEDES E PADRON
165 AVE HOSTOS APT A339
SAN JUAN, PR 00918-4279

MICHAEL D ANNUNZIO TRS & CHARLES R
CATALANO TRS & ETALS
149 JERICHO TPKE
OLD WESTBURY, NY 11568

MICHAEL D COLLINS CONSTANCE A COLLINS
7135 COLLINS AVE 806
MIAMI BEACH, FL 33141

MICHAEL DANNUNZIO &W ELINA DANNUNZIO
149 JERICHO TURNPIKE
OLD WESTBURY, NY 11568

MICHAEL TENENBAUM &W POLA C/O MARKS
PANETH & SHRON LLP
685 THIRD AVE
NEW YORK, NY 10017

MICHELLE MARIE LOPEZ TORRES JTRS
NICOLE LOPEZ JTRS
7135 COLLINS AVE # 1132
MIAMI BEACH, FL 33141

MIGDALIA MACHADO
1610 CANYON PARKE DRIVE
SAN ANTONIO, TX 78232

MIGUEL GUTIERREZ &W NANCY GUTIERREZ
6767 COLLINS AVENUE #1502
MIAMI BEACH, FL 33141

MIGUEL H NERGUIZIAN
7135 COLLINS AVE #1623
MIAMI BEACH, FL 33141

MIGUEL MARTINEZ LISETTE A MARTINEZ
15206 SW 21 LN
MIAMI, FL 33185

MIMITA C LUACES
39-89 50 ST APT 6B
WOODSIDE, NY 11377

MIRAN VUCIC SNEZANA VUCIC
9911 BELHAVEN RD
BETHESDA, MD 20817

MIRIAM BENITO LE REM ELENA D GONZALEZ
& ETAL
6969 COLLINS AVE #303
MIAMI BEACH, FL 33141-3221

MIRTA MASVIDAL
1 ISLAND DRIVE #21
NORWALK, CT 06855

MITCHELL RUBIN
9800 COBBLESTONE LAKES CT
BOYTON BEACH, FL 33472-0000

MOHAMMED ALI GAURI &W FARIEDA
BEAGUM GAURI
7135 COLLINS AVE #PH15
MIAMI BEACH, FL 33141-3252

MOISES & LUIS KOSS
9048 GARLAND AVE
SURFSIDE, FL 33154

MONICA G CASOLA
7135 COLLINS AVE #711
MIAMI BEACH, FL 33141-3229

MURIEL KADIN RICHARD KADIN
6969 COLLINS AVE #903
MIAMI BEACH, FL 33141

MYRTA MARTINEZ JTRS ANDREA N DELEON
JTRS
8 FIRETHORN CT
EDISON, NJ 08820

NANCY FALCO TRS NANCY FALCO
INTERVIVOS REV TR
7135 COLLINS AVE 925
MIAMI BEACH, FL 33141-3211

NANCY GROSS
12 W LOUDOUN ST
ROUND HILL, VA 20141

NAPOLITTANA LLC
8500 WEST FLAGLER ST STE B-208
MIAMI, FL 33144

NARCISO LOPEZ &W FELISA
78-06 JAMAICA AVE 2FL
WOODHAVEN, NY 11421

NATIONSTAR MORTGAGE LLC
2501 S HWY 121 BLDG 1
LEWISVILLE, TX 75067

NEIL MIYAMOTO
3524 HENNEPIN AVE S 2
MINNEAPOLIS, MN 55408

NELSON PADRON &W RITA T TOLEDO
6965 HARDING AVE #305
MIAMI BEACH, FL 33141-3248

NESTOR VALERON &W YANET
6969 COLLINS AVE #707
MIAMI BEACH, FL 33141-3222

NG VENTURE INC & ALJOSA CONST CO INC
325 71 ST
MIAMI BEACH, FL 33141-3013

NICHOLAS COCKSHUTT JEAN H COCKSHUTT
6366 SW 85 ST
MIAMI, FL 33143

NILDA MARIA URQUIZA ROGELIO MAZAEDA
ECHEVARRIA
6969 COLLINS AVE 1503
MIAMI BEACH, FL 33141

NORMA OCHOA
7135 COLLINS AVE UNIT 1734
MIAMI BEACH, FL 33141-3232

OLALIO J MENA &W ENEIDA
6965 HARDING AVE #303
MIAMI BEACH, FL 33141-3248

OMaida ACHANG & YVONNE ACHANG
6969 COLLINS AVENUE UNIT 1002
MIAMI BEACH, FL 33141-3223

OMAR JUEZ DUNIA PATRICIA JUEZ
7135 COLLINS AVE UNIT 336
MIAMI BEACH, FL 33141

OMAR R GARCIA
14431 GREENBRIER MANOR
DAVIE, FL 33325

OREN PENN
7135 COLLINS AVE #1112
MIAMI BEACH, FL 33141-3230

ORLANDO ALVAREZ
6969 COLLINS AVE #1203
MIAMI BEACH, FL 33141-3224

ORLANDO C GONZALEZ &W ENGRACIA &
ISABEL A GONZALEZ
6969 COLLINS AVE #607
MIAMI BEACH, FL 33141-3222

ORLANDO J BASADRE &W ANA R
11730 SW 83 CT
MIAMI, FL 33156

ORLANDO PENA & OLGA P PENA
16407 SW 81 TER
MIAMI, FL 33193

OSVALDO ORTEGA &W MARIA L ORTEGA
7135 COLLINS AVE UNIT 1113
MIAMI BEACH, FL 33141

PABLO IGNACIO TAMBURINI
7135 COLLINS AVE #1625
MIAMI BEACH, FL 33141

PABLO L ACOSTA GONZALEZ LIROVIS
BRICENO GARCIA
7135 COLLINS AVE # 1533
MIAMI BEACH, FL 33141

PADIGRAFF LLC
2370 NE 184 TER
NORTH MIAMI BEACH, FL 33160

PALOMA REALTY CORP INC
8819 FROUDE AVE
MIAMI BEACH, FL 33154-3321

PANAGIOTIS BINIORIS WENDY M BINIORIS
34 W 75TH ST APT 4F
NEW YORK, NY 10023-2095

PATRICK LIMA MAGDA LIMA
7135 COLLINS AVE PH 14
MIAMI BEACH, FL 33141

PAUL S THATCHER
7135 COLLINS AVENUE #1412
MIAMI BEACH, FL 33141

PAULINE KOSSAR & GLORIA SCHEININ &
SANDRA BLAU
73-31 244 ST
LITTLENECK, NY 11362

PAULINE M & ERNEST SIEBENBURGER %
BARNEY B AVCHEN
1840 W 49 ST
HIALEAH, FL 33012-2942

PEDRO A CUNI
6969 COLLINS AVE #815
MIAMI BEACH, FL 33141-3222

PEDRO A ERRO MARCO A ERRO JTRS
165 HABISCUS DR
MIAMI BEACH, FL 33139

PEDRO CORDOVA &W MIRIAM
46 WILSON ST
LITTLE FERRY, NJ 07643

PEDRO ORIHUELA JTRS MARTHA ORIHUELA
JTRS
7135 COLLINS AVE #502
MIAMI BEACH, FL 33141

PORT ROYALE CONDO INC (LESSEE)
6969 COLLINS AVE
MIAMI BEACH, FL 33141-3201

PORTO MORENO AVOGADOS ASOCIADOS
7135 COLLINS AVE UNIT 712
MIAMI BEACH, FL 33141

PRADEEP CHUGANI &W MEENA
PO BOX 524281
MIAMI, FL 33152

PUMPS AT 71 LLC 7433 COLLINS AVE CORP
555 NE 185 ST #201
MIAMI, FL 33179

PUNTO ESTE INC
2487 S GILBERT RD STE 106-258
GILBERT, AZ 85295

PW GLOBAL SERVICES INC
337 71 ST
MIAMI BEACH, FL 33141-3013

R & H REALTY INVESTMENTS INC
210 71 STREET #309
MIAMI BEACH, FL 33141

RACHEL ORBELINA HEREDIA
6969 COLLINS AVE 1104
MIAMI BEACH, FL 33141

RACHELLE R COHEN JTRS MARVIN W COHEN
JTRS
6 THE HILLS DR
UTICA, NY 13501

RAFAEL F FERNANDEZ
7135 COLLINS AVE UNIT PH13
MIAMI BEACH, FL 33141

RAFAEL LLANES &W MAGALY
6969 COLLINS AVE #811
MIAMI BEACH, FL 33141

RAMON L DE GUZMAN
7985 SW 195 ST
CUTLER BAY, FL 33157-8030

RAMON YERO &W OLGA E LE REM OLGA L
YERO & MABEL C VIDAL
7135 COLLINS AVE #922
MIAMI BEACH, FL 33141-3237

RANDALL MOOR &W YONGHONG CHEN
1141 NW 78 AVE
MIAMI, FL 33322-5116

RAQUEL SOUTUYO
7135 COLLINS AVE APT 1621
MIAMI BEACH, FL 33141

RAUL GIAI LEVRA MARIA ELENA DONZINO
7135 COLLINS AVE 411
MIAMI BEACH, FL 33141

RAUL HERNANDEZ LE SONIA G HERNANDEZ
LE REM RAUL HERNANDEZ
4256 SW 134 PL
MIAMI, FL 33175

RAY T AZCUY MIGUEL A HERRERA
7135 COLLINS AVE #1733
MIAMI BEACH, FL 33141

RAYMOND G KATTOURA
7135 COLLINS AVE #905
MIAMI BEACH, FL 33141-3237

REINA C JOSE
7135 COLLINS AVE #802
MIAMI BEACH, FL 33141

REY4 MIAMI LLC
1384 BIARRITZ DR
MIAMI BEACH, FL 33141

RICARDO MARIA ROQUE DE ESCOBAR &
STEVEN R ESCOBAR
11929 ODEN COURT
ROCKVILLE, MD 20852

RICARDO MEDINA
6965 HARDING AVE #502
MIAMI BEACH, FL 33141

RICARDO VIERA MARTHA MARCHENA
1820 STONES CROSSING RD
EASTON, PA 18045

RICHARD BERRY ANA MARIA BERRY
3225 GLENSIDE DR
LAFAYETTE, CA 94549-5140

RICHARD GROSSBERG &W TOBIE STEIN
181 BEACH 134 ST
BELLE HARBOR, NY 11694

RICK DIAZ MARGARET DIAZ JEFFREY
ROSENTHAL
7135 COLLINS AVE 1114
MIAMI BEACH, FL 33141

ROBERT & LOUISE FREEMAN (CO-TRS)
820 OAKTON ST #2-A
EVANSTON, IL 60202

ROBERT BICKLE DEBORAH BICKLE
7135 COLLINS AVE #1406
MIAMI BEACH, FL 33141

ROBERT W SHELDON TRS THE ROBERT W
SHELDON REV TRUST
500 E 77 ST #726
NEW YORK, NY 10162

ROBERTO GARCIA TRS ROBERTO GARCIA
REVOCABLE TRUST DANIA LOPEZ TRS
3329 SE 1 AVE
CAPE CORAL, FL 33904

ROBERTO PUIG &W FANNY M
PO BOX 360215
SAN JUAN, PR 00936-0215

RODOLFO BARREDO &W ROSA M
2525 SW 105 CT
MIAMI, FL 33165

RODOLFO MIRANDA &W IVONNE
733 CLEVELAND AVE
ELIZABETH, NJ 07208

ROLAND M PENA &W ROSA M
7135 COLLINS AVE 1123
MIAMI BEACH, FL 33140-

ROLANDO GARCIA JR &W MARIA C GARCIA
9020 NW 166 TERR
MIAMI, FL 33018

ROLANDO MURO DAYLI ACEVEDO
2660 SW 111TH CT
MIAMI, FL 33165-2381

ROMAN LUGO JEANNETTE LUGO
6517 SW 135 AVE
MIAMI, FL 33183

RONALD M & VERA DREIFUSS (JTRS)
401 E 65 ST APT 11D
NEW YORK, NY 10021

ROSA DELGADO
7135 COLLINS AVE #1032
MIAMI BEACH, FL 33141-3256

ROSA M & FAUSTINO GARCIA
7135 COLLINS AVE UNIT 412
MIAMI BEACH, FL 33141-3227

ROSARIO NARDO
7135 COLLINS AVE #1101
MIAMI BEACH, FL 33134

RUBEN KATZ FLORA PHYLLIS KATZ LUIS
KATZ RABINOVICH
5800 SW LE JEUNE RD
MIAMI, FL 33146-2817

RUTH E HIRSCH
7135 COLLINS AVE UNIT 1436
MIAMI BEACH, FL 33141-3269

SABEH SAMAHA JOANNE SAMAHA
1745 RANCHO HILLS DR
CHINO HILLS, CA 91709

SACHIN THAKUR
7135 COLLINS AVE 1136
MIAMI BEACH, FL 33141

SALLY FAUST
7135 COLLINS AVE #716
MIAMI BEACH, FL 33141

SAM NAGAR RONI NAGAR
6969 COLLINS AVE #1505
MIAMI BEACH, FL 33141

SAMUEL MANKARYOUS JTRS GEORGE
MANKARYOUS JTRS
7135 COLLINS AVE #725
MIAMI BEACH, FL 33141

SAMUEL RODRIGUEZ MAGDA RODRIGUEZ
7135 COLLINS AVE # 1823
MIAMI BEACH, FL 33141

SANDRA R PASTRANA
7135 COLLINS AVE #704
MIAMI BEACH, FL 33141-3229

SAPARI I INC
221 SW 28 RD
MIAMI, FL 33129

SARA GOSER
6969 COLLINS AVE UNIT 409
MIAMI BEACH, FL 33141-3221

SARA LILIANA RENSIN TRS
3802 NE 207 ST #1401
AVENTURA, FL 33180

SARLI GROUP LLC
10855 NW 88 TER #103
DORAL, FL 33178

SEBASTIEN MAURY ANALISA AROSEMENA
1535 DORADO AVE
MIAMI, FL 33146-1025

SERGIO BELLO &W ELSA H
5903 NW 40 TERR
VIRGINIA GARDENS, FL 33166-5763

SERGIO DEBESA JTRS FERNANDA DEBESA
JTRS FRANK DEBESA JTRS
4135 SW 97 AVE
MIAMI, FL 33165

SERGIO MORENO
7135 COLLINS AVE #1816
MIAMI BEACH, FL 33141-3232

SEYMOR LANDSMAN & ERNESTO FUENTES
7135 COLLINS AVE # 1415
MIAMI BEACH, FL 33141-3257

SEYMOUR HAYDEN CAMERON CHESSON
7135 COLLINS AVE #1812
MIAMI BEACH, FL 33141

SHIRLEY GELLER
7135 COLLINS AVE # 916
MIAMI BEACH, FL 33141-3237

SHIRLEY M YATES &H SOL (TRS)
18424 S KEDZIE #B
HOMewood, IL 60430

SHIRLEY MARTINELLI TRS EST OF SHIRLEY
MARTINELLI
7135 COLLINS AVE #532
MIAMI BEACH, FL 33141

SILFREDO CARRAZANA ILIANA CARRAZANA
25 SW 136 CT
MIAMI, FL 33184

SILVANA R CASERMEIRO
7135 COLLINS AVE #1202
MIAMI BEACH, FL 33141-3230

SILVIA OBEID SOCHA JACEK SOCHA
7135 COLLINS AVE #614
MIAMI BEACH, FL 33141

SILVIO GARBARZ
20900 NE 30 AVE 200 27
AVENTURA, FL 33180

SIMONE GRAMS WILLRICH
7135 COLLINS AVE 1802
MIAMI BEACH, FL 33140

SJ BLUE LLC
326 71 ST
MIAMI BEACH, FL 33141

SR REAL PROPERTIES LLC
4522 CHEVAL BLVD
LUTZ, FL 33558

STEPHANIE PEREZ
6284 SW 26 ST
MIAMI, FL 33155

STEVEN BONNEN &W ROCIO
87 PARKWAY DR
ROSLYN HEIGHTS, NY 11577

STUART L TOCKMAN &W YOLANDA V
5120 SW 156 PL
MIAMI, FL 33185-4169

SUKAN LLC
15807 BISCAYNE BLVD #113
AVENTURA, FL 33160

SUN & SUCCES LLC
2370 NE 184 TER
NORTH MIAMI BEACH, FL 33160

SURIS ACELA
6969 COLLINS AVE #306
MIAMI BEACH, FL 33141-3221

SUSANA KUSSEROW
7135 COLLINS AVE 923
MIAMI BEACH, FL 33141

SUZANNE HUGYECZ
7135 COLLINS AVE UNIT #1834
MIAMI BEACH, FL 33141

TANIA J LEON & MARTHA R MOOKE
36 FOREST RIDGE RD
NYACK, NY 10960

TCR MANAGEMENT COMPANY LLC
10811 SW 30 ST
MIAMI, FL 33165

TERESITA BARCELO &H COLLAZO &
JACQUELINE RODRIGUEZ
7135 COLLINS AVE #1111
MIAMI BEACH, FL 33141

TERESITA BARTELOMEO &H RAMON TOYOS
7135 COLLINS AVE #PH1
MIAMI BEACH, FL 33141-3252

TERESITA TZIKAS DORA NOCERA
10 DEMOND R
MALDEN, MA 02148

THOMAS K YAZDGERDI
111 N Payne St
Alexandria, VA 22314-2905

TRINIDAD ALVAREZ
12709 SW 28 TERR
MIAMI, FL 33175-2147

TRINOLOGIC LLC
6965 HARDING AVE # 207
MIAMI BEACH, FL 33141

TUTTI BIANKI CORP
2030 S DOUGLAS RD STE 212
CORAL GABLES, FL 33134

URSULA M BROWN TRS JAMES M BROWN
TRS
2 CLARIDGE DRIVE 8WH
VERONA, NJ 07044

UZI PARNES JTRS CHARLES S RICHARD
JTRS
120 AVE C #2
NEW YORK, NY 10009

VALENTIN MEDINA SR LE REM ELEUT
HERNANDEZ REM VALENTIN MEDINA JR
7135 COLLINS AVE UNIT 1231
MIAMI BEACH, FL 33141

VENANCIO ABDUL-CHANI &W ANDREA
7135 COLLINS AVE #812
MIAMI BEACH, FL 33141

VERONICA ANDREA LOPEZ
7135 COLLINS AVE #832
MIAMI BEACH, FL 33141

VICKI D MARKS & MICHAEL S GLINER
75 WOODLAKE DR WEST
WOODBURY, NY 11797

VICTORIA T KRANE TRS
110-11 QUEENS BLVD APT 28K
FOREST HILLS, NY 11375

VILARINO PROPERTY GROUP INC
6015 GARFIELD ST
HOLLYWOOD, FL 33024

VILLA MELILLA INVESTMENTS LLC
6965 HARDING AVE UNIT #406
MIAMI BEACH, FL 33141

VIVIAN ALONSO & DAYNELISA HERNANDEZ
6965 HARDING AVE #404
MIAMI BEACH, FL 33141-3249

WENDY BURNEY
7135 COLLINS AVE UNIT 504
MIAMI BEACH, FL 33141

WILFREDO MARTI &W ISABEL M
9240 SW 45 TERR
MIAMI, FL 33165-5808

WIRELESS BOUTIQUE INC
15540 SW 156 AVE
MIAMI, FL 33187-0705

WOLF INVESTMENTS LLC
710 LANDSDOWNE CT
ELIZABETHTOWN, KY 42701

XIAN FINANCE GROUP LLC
7135 COLLINS AVE 731
MIAMI BEACH, FL 33141

DESIGN REVIEW BOARD
City of Miami Beach, Florida

MEETING DATE: October 2, 2007

FILE NO: 20633

PROPERTY: 7131-7145 Harding Avenue

LEGAL: Lots 1, 2, and 3, Block 8, Normandy Beach South, According to the Plat Thereof, as Recorded in Plat Book 21, Page 54, of the Public Records of Miami-Dade County, Florida.

IN RE: The Application for Design Review Approval for the construction of a new 7-story retail/office building, which will replace three (3) existing 2-story buildings, to be demolished.

CERTIFICATION

THIS IS TO CERTIFY THAT THE ATTACHED DOCUMENT IS A TRUE AND ACCURATE COPY OF THE ORIGINAL ON FILE IN THE OFFICE OF THE PLANNING DEPARTMENT.

CITY OF MIAMI BEACH

[Signature] 10-16-07
(Signature of Planning Director or Designee) (Date)

Personally known to me or Produced ID: _____

Randy Cesar
Notary Public, State of Florida at Large

Printed Name: Randy Cesar

My Commission Expires: (Seal)

This document contains 6 pages.

ORDER

The applicant, Harding Avenue Investments, L.L.C., filed an application with the City of Miami Beach Planning Department for Design Review Approval.

The City of Miami Beach Design Review Board makes the following FINDINGS OF FACT, based upon the evidence, information, testimony and materials presented at the public hearing and which are part of the record for this matter:

- A. Based on the plans and documents submitted with the application, testimony and information provided by the applicant, and the reasons set forth in the Planning Department Staff Report, the project as submitted is consistent with the Design Review Criteria in Section 118-251 of the Miami Beach Code.
- B. The project would remain consistent with the criteria and requirements of section 118-251 if the following conditions are met:
 1. Revised elevation, site plan and floor plan drawings shall be submitted to and approved by staff; at a minimum, such drawings shall incorporate the following:
 - a. The final design and details of all exterior surface materials and surface finishes shall be provided, in a manner to be reviewed and approved by staff.
 - b. The final design and details, including a material sample for the proposed parking screening system shall be provided, in a manner to be reviewed and approved by staff.

- c. The final design and detailing of the proposed stucco pattern on the elevations shall be provided, in a manner to be reviewed and approved by staff.
 - d. The final design and detailing of the proposed glazing system, including material samples, shall be provided, in a manner to be reviewed and approved by staff.
 - e. No kitchen exhaust or intake louvers shall be permitted on elevations or portions of elevations that are readily visible from the adjacent right-of-way.
 - f. A signage master plan for the building shall be required, in a manner to be reviewed and approved by staff.
 - g. All parking garage lighting devices shall be screened from view from the exterior of the structure with appropriately designed and detailed architectural systems.
 - h. Bicycle racks shall be provided, in a manner to be reviewed and approved by staff.
 - i. Manufacturers drawings and Dade County product approval numbers for all new windows, doors and glass shall be required.
 - j. All roof-top fixtures, air-conditioning units and mechanical devices shall be clearly noted on a revised roof plan and shall be screened from view, in a manner to be approved by staff.
 - k. Prior to the issuance of a Certificate of Occupancy, the project Architect shall verify, in writing, that the subject project has been constructed in accordance with the plans approved by the Planning Department for Building Permit.
2. A revised landscape plan, prepared by a Professional Landscape Architect, registered in the State of Florida, and corresponding site plan, shall be submitted to and approved by staff. The species type, quantity, dimensions, spacing, location and overall height of all plant material shall be clearly delineated and subject to the review and approval of staff. At a minimum, such plan shall incorporate the following:
- a. A landscape plan for the site and adjacent right-of-ways, consistent with the North Beach Town Center Streetscape Master plan that is currently under development, shall be submitted, in a manner to be reviewed and approved by Planning staff, the Parks Dept., and the Public Works Dept.
 - b. Raised planters and concrete pavers with grass joints shall not be permitted along Harding Avenue or 72nd Street.
 - c. Bicycle racks shall be required, in a manner to be reviewed and approved by staff.
 - d. All exterior walkways shall consist of decorative pavers, set in sand or other semi-pervious material, subject to the review and approval of staff.

- e. All landscape areas abutting driveways and parking areas shall be defined by decorative bollards.
 - f. A fully automatic irrigation system with 100% coverage and an automatic rain sensor in order to render the system inoperative in the event of rain. Right-of-way areas shall also be incorporated as part of the irrigation system.
 - g. The utilization of root barriers and/or structural soil may be required, as applicable, and shall be clearly delineated on the revised landscape plan.
 - h. The applicant shall verify, prior to the issuance of a Building Permit, the exact location of all backflow preventors and all other related devices and fixtures; such fixtures and devices shall not be permitted within any required yard or any area fronting a street or sidewalk. The location of backflow preventors, siamese pipes or other related devices and fixtures, if any, and how they are screened with landscape material from the right-of-way, shall be clearly indicated on the site and landscape plans and shall be subject to the review and approval of staff.
 - i. The applicant shall verify, prior to the issuance of a Building Permit, the exact location of all applicable FPL transformers or vault rooms; such transformers and vault rooms, and all other related devices and fixtures, shall not be permitted within any required yard or any area fronting a street or sidewalk. The location of any exterior transformers, and how they are screened with landscape material from the right-of-way, shall be clearly indicated on the site and landscape plans and shall be subject to the review and approval of staff.
 - j. Prior to the issuance of a Certificate of Occupancy, the Landscape Architect for the project architect shall verify, in writing, that the project is consistent with the site and landscape plans approved by the Planning Department for Building Permit.
- 3. All building signage shall be consistent in type, composed of flush mounted, non-plastic individual letters and shall require a separate permit.
 - 4. The final exterior surface color scheme, including color samples, shall be subject to the review and approval of staff and shall require a separate permit.
 - 5. A traffic mitigation plan, which addresses all roadway Level of Service (LOS) deficiencies relative to the concurrency requirements of the City Code, if required, shall be submitted prior to the issuance of a Building Permit and the final building plans shall meet all other requirements of the Land Development Regulations of the City Code.
 - 6. All new and altered elements, spaces and areas shall meet the requirements of the Florida Accessibility Code (FAC).
 - 7. The applicant may be required to submit a separate analysis for water and sewer requirements, at the discretion of the Public Works Director, or designee. Based on a preliminary review of the proposed project, the following may be required by the Public Works Department:



- a. A traffic and neighborhood impact study shall be conducted as a means to measure a proposed development's impact on transportation and neighborhoods. The study shall address all roadway Level of Service (LOS) deficiencies relative to the concurrency requirements of the City Code, and if required, shall be submitted prior to the issuance of a Building Permit. The final building plans shall meet all other requirements of the Land Development Regulations of the City Code. The developer shall refer to the most recent City of Miami Beach's Traffic and Neighborhood Impact Methodology as issued by the Public Works Department.
 - b. Remove/replace sidewalks, curbs and gutters on all street frontages, if applicable. Unless otherwise specified, the standard color for city sidewalks is red, and the standard curb and gutter color is gray.
 - c. Mill/resurface asphalt in rear alley along property, if applicable.
 - d. Provide underground utility service connections and on-site transformer location, if necessary.
 - e. Provide back-flow prevention devices on all water services.
 - f. Provide on-site, self-contained storm water drainage for the proposed development.
 - g. Meet water/sewer concurrency requirements including a hydraulic water model analysis and gravity sewer system capacity analysis as determined by the Department and the required upgrades to water and sewer mains servicing this project.
 - h. Payment of City utility impact fees for water meters/services.
 - i. Provide flood barrier ramps to underground parking or minimum slab elevation to be at highest adjacent crown road elevation plus 8".
 - j. Right-of-way permit must be obtained from Public Works.
 - k. All right-of-way encroachments must be removed.
 - l. All planting/landscaping in the public right-of-way must be approved by the Public Works and Parks Departments.
8. The project shall comply with any landscaping or other sidewalk/street improvement standards as may be prescribed by the North Beach Town Center Streetscape Design Standards approved prior to the completion of the project and the issuance of a Certificate of Occupancy.
9. At the time of completion of the project, only a **Final** Certificate of Occupancy (CO) or **Final** Certificate of Completion (CC) may be applied for; the staging and scheduling of the construction on site shall take this into account. All work on site must be completed in accordance with the plans approved herein, as well as by the Building, Fire, Planning, CIP and Public Works Departments, inclusive of all conditions imposed herein, and by other Development Review Boards, and any modifications required pursuant to field inspections, prior to the issuance of a CO or

CC. This shall not prohibit the issuance of a Partial or Temporary CO, or a Partial or Temporary CC.

10. The Final Order shall be recorded in the Public Records of Miami-Dade County, prior to the issuance of a Building Permit.
11. The Final Order is not severable, and if any provision or condition hereof is held void or unconstitutional in a final decision by a court of competent jurisdiction, the order shall be returned to the Board for reconsideration as to whether the order meets the criteria for approval absent the stricken provision or condition, and/or it is appropriate to modify the remaining conditions or impose new conditions.

IT IS HEREBY ORDERED, based upon the foregoing findings of fact, the evidence, information, testimony and materials presented at the public hearing, which are part of the record for this matter, and the staff report and analysis, which are adopted herein, including the staff recommendations which were adopted by the Board, that the Application for Design Review approval is GRANTED for the above-referenced project subject to those certain conditions specified in Paragraph C of the Findings of Fact (Condition Nos. 1-11, inclusive) hereof, to which the applicant has agreed.

No building permit may be issued unless and until all conditions of approval as set forth herein have been met. The issuance of Design Review approval does not relieve the applicant from obtaining all other required Municipal, County and/or State reviews and permits, including zoning approval. If adequate handicapped access is not provided, this approval does not mean that such handicapped access is not required or that the Board supports an applicant's effort to seek waivers relating to handicapped accessibility requirements.

When requesting a building permit, three (3) sets of plans approved by the Board, modified in accordance with the above conditions, as well as annotated floor plans which clearly delineate the Floor Area Ratio (FAR) calculations for the project, shall be submitted to the Planning Department. If all of the above-specified conditions are satisfactorily addressed, the plans will be reviewed for building permit approval. Two (2) sets will be returned to you for submission for a building permit and one (1) set will be retained for the Design Review Board's file.

If the Full Building Permit is not issued within eighteen (18) months of the date at which the Design Review Approval was granted and construction does not commence and continue in accordance with the requirements of the applicable Building Code, the Design Review Approval will expire and become null and void. However, the applicant may, prior to the expiration of such Design Review Approval, make an application to the Board for up to a one-year extension of time to obtain a Building Permit; the granting of such extension of time shall be at the discretion of the Board, and require a showing of good cause. At the hearing on any such application, the Board may deny or approve the request and modify the above conditions or impose additional conditions. In the event a proposed code amendment should render the subject project non-conforming, as more specifically set forth in sections 118-168 and 118-169 of the City Code, then the project shall not be eligible to receive an extension of time for any reason.

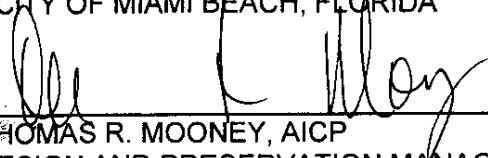
Failure to comply with this **Order** shall subject the Design Review Approval to Section 118-258, City Code, for revocation or modification of the Design Review Approval.

TBM

Dated this 9 day of OCTOBER, 2007.

DESIGN REVIEW BOARD
THE CITY OF MIAMI BEACH, FLORIDA

BY:


THOMAS R. MOONEY, AICP
DESIGN AND PRESERVATION MANAGER
FOR THE CHAIR

Approved As To Form:

Legal Department: J. Keen (10-9-07)

Filed with the Clerk of the Design Review Board on TRM (10-9-07)

F:\PLAN\SDRB\DRB07\OctDRB07\20633 fo.doc





CFN 2013R0090912
DR Bk 28473 Pgs 0222 - 227; (6pgs)
RECORDED 02/04/2013 14:40:56
HARVEY RUVIN, CLERK OF COURT
MIAMI-DADE COUNTY, FLORIDA

DESIGN REVIEW BOARD
City of Miami Beach, Florida

MEETING DATE: December 4, 2012

FILE NO: 22938

PROPERTY: 7140 Collins Avenue

LEGAL: Lots 9, 10, 11 and 12, Block 8, "Normandy Beach South", According to the Plat Thereof, as Recorded in Plat Book 21, Page 54, of the Public Records of Miami-Dade County, Florida.

IN RE: The Application for Design Review Approval for façade modifications to an existing single story building, as well as landscape enhancements to the site.

ORDER

The applicant, Den North Beach, filed an application with the City of Miami Beach Planning Department for Design Review Approval.

The City of Miami Beach Design Review Board makes the following FINDINGS OF FACT, based upon the evidence, information, testimony and materials presented at the public hearing and which are part of the record for this matter:

- A. Based on the plans and documents submitted with the application, testimony and information provided by the applicant, and the reasons set forth in the Planning Department Staff Report, the project as submitted is not consistent with Design Review Criteria Nos. 4 & 10 in Section 118-251 of the Miami Beach Code.
- B. The project would be consistent with the criteria and requirements of section 118-251 if the following conditions are met:
 1. Revised elevation, site plan and floor plan drawings shall be submitted to and approved by staff; at a minimum, such drawings shall incorporate the following:
 - a. The proposed signage element shall be further refined and simplified, including exploring the removal of the proposed pipe columns, and the north and south side 'wings' of the signage element shall be lowered to

CERTIFICATION
THIS IS TO CERTIFY THAT THE ATTACHED DOCUMENT IS A TRUE AND ACCURATE COPY OF THE ORIGINAL ON FILE IN THE OFFICE OF THE PLANNING DEPARTMENT.
City of Miami Beach
1-29-13
(Signature) [Signature] (Date)
Personally known to [Signature] or Produced ID
Notary Public, State of Florida at Large
Printed Name: Teresa Maria [Signature]
My Commission Expires: (Seal)
This document contains 6 pages.
TERESA MARIA
MY COMMISSION # DD 928148
EXPIRES: December 2, 2013
Bonded Thru Budget Notary Services
TERESA MARIA
MY COMMISSION # DD 928
EXPIRES: December 2, 2013
Bonded Thru Budget Notary Services

align with the top height of the east elevation portion of the signage feature, which shall be designed in an orthogonal manner to the renovated facades, in a manner to be reviewed and approved by staff. Alternatively, the pipe columns proposed on the west elevation may be extended vertically to the top of the proposed signage element, and the design of the signage feature shall be further developed and detailed, in a manner to be reviewed and approved by staff.

- b. The canopy structures proposed shall continue above the main entrance, subject to the review and approval of staff.
 - c. The signage proposed for the north elevation of the signage element shall be relocated to building's north elevation, subject to the review and approval of staff.
 - d. Material samples for all non-stucco façade elements shall be provided, in a manner to be reviewed and approved by staff.
 - e. The proposed trash room shall be fully enclosed and air-conditioned.
 - f. Bike racks shall be provided, subject to the review and approval of staff.
 - g. All roof-top fixtures, air-conditioning units and mechanical devices shall be clearly noted on a revised roof plan and shall be screened from view, in a manner to be approved by staff.
 - h. Prior to the issuance of a Certificate of Occupancy, the project Architect shall verify, in writing, that the subject project has been constructed in accordance with the plans approved by the Planning Department for Building Permit.
2. A revised landscape plan, prepared by a Professional Landscape Architect, registered in the State of Florida, and corresponding site plan, consistent with Section 12 of the adopted Design Review Standards for the North Beach Town Center, shall be submitted to and approved by staff. The species type, quantity, dimensions, spacing, location and overall height of all plant material shall be clearly delineated and subject to the review and approval of staff. At a minimum, such plan shall incorporate the following:
- a. A total of 4 Pigeon Plum Trees in 6' x 8' tree pits shall be provided in the public sidewalk facing 72nd Street. Tree pits shall be placed right against the back side of curb. Three trees shall be located east of curb cut and one west of curb cut. Min tree size specs: 14' hgt x 7' spread, 6' C.T., FLORIDA #1 or better. Tree pits shall be finished with the standard CMB tree pit package which includes: bound aggregate material, fertilization trench, irrigation and uplighting (Two uplights per tree : KIM LTV768WF/ 9L5KUV1 10.8W, 9 LED's, 5100K), subject to the review and approval of staff.
 - b. Concrete pavement to be installed in the five (5') foot setback area along the entire length of the north side of the property shall match the existing pink color of the adjacent sidewalks (NOT Miami Beach Red).



- c. A total of three (3) shade tree shall be provided in private property: two along the west interior yard (Green Buttonwoods: 12'hgt. x 5'-6' spr. FL #1) and one (Pigeon Plum - 14' hgt x 7' spread, 6' C.T., FLORIDA #1) between public sidewalk and asphalt facing 72nd Street. Low understory plant material (shrubs / ground covers) shall be provided in the landscape areas buffering the loading zone, in a manner to be reviewed and approved by staff.
 - d. A raised curb shall be provided around the loading zone periphery in order to protect landscape areas, subject to the review and approval of staff.
 - e. Bike racks, consistent with the City design standards, shall be provided, subject to the review and approval of staff.
 - f. A fully automatic irrigation system with 100% coverage and an automatic rain sensor in order to render the system inoperative in the event of rain. Right-of-way areas shall also be incorporated as part of the irrigation system.
 - g. The utilization of root barriers and/or structural soil, as applicable, shall be clearly delineated on the revised landscape plan.
 - h. The applicant shall verify, prior to the issuance of a Building Permit, the exact location of all backflow preventors and all other related devices and fixtures; such fixtures and devices shall not be permitted within any required yard or any area fronting a street or sidewalk. The location of backflow preventors, siamese pipes or other related devices and fixtures, if any, and how they are screened with landscape material from the right-of-way, shall be clearly indicated on the site and landscape plans and shall be subject to the review and approval of staff.
 - i. The applicant shall verify, prior to the issuance of a Building Permit, the exact location of all applicable FPL transformers or vault rooms; such transformers and vault rooms, and all other related devices and fixtures, shall not be permitted within any required yard or any area fronting a street or sidewalk. The location of any exterior transformers, and how they are screened with landscape material from the right-of-way, shall be clearly indicated on the site and landscape plans and shall be subject to the review and approval of staff.
 - j. Prior to the issuance of a Certificate of Occupancy, the Landscape Architect or the project architect shall verify, in writing, that the project is consistent with the site and landscape plans approved by the Planning Department for Building Permit.
- 3. All building signage shall be consistent in type, composed of flush mounted, non-plastic, reverse channel, individual letters and shall require a separate permit.
 - 4. The final exterior surface color scheme, including any special materials and color samples, shall be subject to the review and approval of staff and shall require a separate permit.

5. A traffic mitigation plan, which addresses all roadway Level of Service (LOS) deficiencies relative to the concurrency requirements of the City Code, if required, shall be submitted prior to the issuance of a Building Permit and the final building plans shall meet all other requirements of the Land Development Regulations of the City Code.
6. Manufacturers drawings and Dade County product approval numbers for all new windows, doors and glass shall be required, prior to the issuance of a building permit.
7. All roof-top fixtures, air-conditioning units and mechanical devices shall be clearly noted on a revised roof plan and shall be screened from view, in a manner to be approved by staff.
8. All new and altered elements, spaces and areas shall meet the requirements of the Florida Accessibility Code (FAC).
9. The applicant may be required to submit a separate analysis for water and sewer requirements, at the discretion of the Public Works Director, or designee. Based on a preliminary review of the proposed project, the following may be required by the Public Works Department:
 - a. A traffic and neighborhood impact study shall be conducted as a means to measure a proposed development's impact on transportation and neighborhoods. The study shall address all roadway Level of Service (LOS) deficiencies relative to the concurrency requirements of the City Code, and if required, shall be submitted prior to the issuance of a Building Permit. The final building plans shall meet all other requirements of the Land Development Regulations of the City Code. The developer shall refer to the most recent City of Miami Beach's Traffic and Neighborhood Impact Methodology as issued by the Public Works Department.
 - b. Remove/replace sidewalks, curbs and gutters on all street frontages, if applicable.

Any sidewalk replacements shall match the pink color of the adjacent sidewalks, and the standard curb and gutter color is gray.
 - c. Mill/resurface asphalt in rear alley along property, if applicable.
 - d. Provide underground utility service connections and on-site transformer location, if necessary.
 - e. Provide back-flow prevention devices on all water services.
 - f. Provide on-site, self-contained storm water drainage for the proposed development.
 - g. Meet water/sewer concurrency requirements including a hydraulic water model analysis and gravity sewer system capacity analysis as determined by the Department and the required upgrades to water and sewer mains servicing this project.



- h. Payment of City utility impact fees for water meters/services.
 - i. Provide flood barrier ramps to underground parking or minimum slab elevation to be at highest adjacent crown road elevation plus 8".
 - j. Right-of-way permit must be obtained from Public Works.
 - k. All right-of-way encroachments must be removed.
 - l. All planting/landscaping in the public right-of-way must be approved by the Public Works and Parks Departments.
10. The Final Order shall be recorded in the Public Records of Miami-Dade County, prior to the issuance of a Building Permit.
11. At the time of completion of the project, only a **Final** Certificate of Occupancy (CO) or **Final** Certificate of Completion (CC) may be applied for; the staging and scheduling of the construction on site shall take this into account. All work on site must be completed in accordance with the plans approved herein, as well as any modifications approved or required by the Building, Fire, Planning, CIP and Public Works Departments, inclusive of all conditions imposed herein, and by other Development Review Boards, and any modifications required pursuant to field inspections, prior to the issuance of a CO or CC. This shall not prohibit the issuance of a Partial or Temporary CO, or a Partial or Temporary CC.
12. The Final Order is not severable, and if any provision or condition hereof is held void or unconstitutional in a final decision by a court of competent jurisdiction, the order shall be returned to the Board for reconsideration as to whether the order meets the criteria for approval absent the stricken provision or condition, and/or it is appropriate to modify the remaining conditions or impose new conditions.
13. The conditions of approval herein are binding on the applicant, the property's owners, operators, and all successors in interest and assigns.
14. Nothing in this order authorizes a violation of the City Code or other applicable law, nor allows a relaxation of any requirement or standard set forth in the City Code.

IT IS HEREBY ORDERED, based upon the foregoing findings of fact, the evidence, information, testimony and materials presented at the public hearing, which are part of the record for this matter, and the staff report and analysis, which are adopted herein, including the staff recommendations which were adopted by the Board, that the Application for Design Review approval is GRANTED for the above-referenced project subject to those certain conditions specified in Paragraph B of the Findings of Fact (Condition Nos. 1-14, inclusive) hereof, to which the applicant has agreed.

PROVIDED, the applicant shall build substantially in accordance with the plans approved by the Design Review Board, as determined by staff, entitled "Renovation for Denny's at Collins Avenue", as prepared by Ron Fairchild Architect, dated 10-19-12, modified in accordance with the conditions set forth in this Order and staff review and approval.

No building permit may be issued unless and until all conditions of approval that must be satisfied prior to permit issuance as set forth in this Order have been met. The issuance of Design Review Approval does not relieve the applicant from obtaining all other required



Page 6 of 6
Meeting Date: December 4, 2012
DRB File No. 22938

Municipal, County and/or State reviews and permits, including final zoning approval. If adequate handicapped access is not provided on the Board-approved plans, this approval does not mean that such handicapped access is not required.

When requesting a building permit, the plans submitted to the Building Department for permit shall be consistent with the plans approved by the Board, modified in accordance with the conditions set forth in this Order.

If the Full Building Permit for the project is not issued within eighteen (18) months of the meeting date at which the original Design Review Approval was granted, the Design Review Approval will expire and become null and void, unless the applicant makes application to the Board for an extension of time, in accordance with the requirements and procedures of Chapter 118 of the City Code; the granting of any such extension of time shall be at the discretion of the Board. At the hearing on any such application, the Board may deny or approve the request and modify the above conditions or impose additional conditions. If the Full Building Permit should expire for any reason (including but not limited to construction not commencing and continuing, with required inspections, in accordance with the applicable Building Code), the Design Review Approval will expire and become null and void.

In accordance with Section 118-264 of the City Code, the violation of any conditions and safeguards that are a part of this Order shall be deemed a violation of the land development regulations of the City Code.

Dated this 28th day of JANUARY, 2013.

DESIGN REVIEW BOARD
THE CITY OF MIAMI BEACH, FLORIDA

BY:

Thomas R. Mooney
THOMAS R. MOONEY, ACP
DESIGN AND PRESERVATION MANAGER
FOR THE CHAIR

STATE OF FLORIDA)

)SS

COUNTY OF MIAMI-DADE)

The foregoing instrument was acknowledged before me this 28th day of January, 2013 by Thomas R. Mooney, Design and Preservation Manager, Planning Department, City of Miami Beach, Florida, a Florida Municipal Corporation, on behalf of the Corporation. He is personally known to me.



TERESA MARIA
MY COMMISSION # DD 928148
EXPIRES: December 2, 2013
Bonded Thru Budget Notary Services

Teresa Maria
NOTARY PUBLIC

Miami-Dade County, Florida

My commission expires: 12-2-13

Approved As To Form:

Legal Department: J. Skel (1-25-2013)

Filed with the Clerk of the Design Review Board on Wednesday, Rodeli (1-29-13)

F:\PLAN\DRB\DRB12\DecDRB12\22938.Dec12.FO.docx



CFN 20090288833
DR Bk 26835 Pgs 4518 - 4521; (4pgs)
RECORDED 04/21/2009 10:56:46
HARVEY RUVIN, CLERK OF COURT
MIAMI-DADE COUNTY, FLORIDA

**PLANNING BOARD
CITY OF MIAMI BEACH, FLORIDA**

PROPERTY: 7131 – 7145 Harding Avenue
North Beach Place

FILE NO. 1832

IN RE: The request by Harding Avenue Investments, LLC, requesting an extension of time to obtain a building permit to construct a mixed use 7-story structure with office space, retail space on the ground level, and 4 levels of parking, which is greater than 50,000 square feet.

LEGAL DESCRIPTION: Lots 1, 2 and 3, Block 8 NORMANDY BEACH SOUTH according to the Plat thereof recorded in Plat Book 21, Page 54, of the Public Records of Miami-Dade County, Florida.

MEETING DATE: February 24, 2009

CONDITIONAL USE PERMIT

The applicant, Harding Avenue Investments, LLC, filed an application with the Planning Director to request an extension of time to obtain a building permit pursuant to Section 118-193(2)a. of the Land Development Regulations of the Code of the City of Miami Beach, Florida. Notice of the request was given as required by law and mailed out to owners of property within a distance of 375 feet of the exterior limits of the property upon which the application was made.

The Planning Board of the City of Miami Beach makes the following FINDINGS OF FACT, based upon the evidence, information, testimony and materials presented at the public hearing and which are part of the of the record for this matter:

That the property in question is located in the CD-3 - Commercial, High Intensity Zoning District;

That the Use is consistent with the Comprehensive Plan for the area in which the property is located;

That the intended Use or construction will not result in an impact that will exceed the thresholds for the levels of service as set forth in the Comprehensive Plan;

That structures and Uses associated with the request are consistent with the Ordinance;
That the public health, safety, morals, and general welfare will not be adversely affected;

That necessary safeguards will be provided for the protection of surrounding property, persons, and neighborhood values.

4.

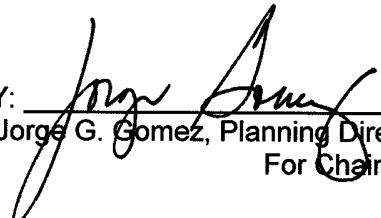
IT IS THEREFORE ORDERED, based upon the foregoing findings of fact, the evidence, information, testimony and materials presented at the public hearing, which are part of the record for this matter, and the staff report and analysis, which is adopted herein, including the staff recommendation, that the extension of time as requested and set forth above be GRANTED, subject to the following conditions:

1. The Planning Board shall maintain jurisdiction of this Conditional Use Permit. If deemed necessary, at the request of the Planning Director, the applicant shall provide a progress report to the Board. The Board reserves the right to modify the Conditional Use approval at the time of a progress report in a non-substantive manner, to impose additional conditions to address possible problems and to determine the timing and need for future progress reports. This Conditional Use is also subject to modification or revocation under City Code Sec. 118-194 (c).
2. The applicant shall resolve outstanding violations, fines and liens prior to the issuance of a building permit.
3. Prior to the issuance of a building permit, the applicant shall participate in a Transportation Concurrency Management Area Plan (TCMA Plan), if deemed necessary, by paying its fair share cost, as determined by the Transportation/ Concurrency Management Division.
4. Should any of the commercial/retail spaces be aggregated to create a larger venue for an eating and/or drinking establishment, such establishment shall be limited to the number of parking spaces provided within the garage. In such a case, the applicant shall return to the Planning Board to evaluate impact of a larger venue for an eating/drinking establishment, and address issues such as, but not limited to the number of seats, the kind of operation, potential noise, etc. This review shall be a modification to the Conditional Use Permit and shall be properly advertised for a public hearing.
5. The developer, designee, future condominium association, if any, or contract operator shall be responsible for operating parking garage in an orderly, clean and quiet manner so that the neighborhood is not disturbed. The sounding of car alarms, automobile horns and screeching of tires shall be prohibited. Two signs, one addressing City Code provisions regarding car alarms, and one prohibiting the screeching of tires and sounding of horns (see attached examples), shall be posted on the site so they are plainly visible by users of the facility.
6. The gate to the parking garage shall be open during retail business hours and one hour after close of business.
7. The individual retailers shall be responsible for maintaining the areas adjacent to the facility, such as the sidewalk and the areas of the street adjacent to the property on a daily basis. When sweeping the sidewalk in front of the establishment, the personnel doing the sweeping shall ensure that they do not merely push the refuse in front of another building, but pick up all trash and dispose of it appropriately.
8. The applicant shall obtain a full building permit ~~within 18 months from the date of this meeting~~, no later than February 24, 2010 and work proceed in accordance with the Florida Building Code. Should an extension of time (not to exceed a one year) may be necessary, the applicant shall submit a request in writing with sufficient time for the Planning Board to consider, at a public hearing, the request before the expiration of the original approval.

9. Within 60 days of the approval of extension of time, the applicant shall install a fence on the sides of the property facing a street subject to the review and approval of staff.
10. All commercial spaces shall meet Fire Safety, accessibility codes, etc. Should considerable revisions to the plans presented to the Planning Board at this public hearing be necessary, the applicant shall return to the Board for approval of such modifications.
11. Delivery of goods and merchandise to the commercial spaces shall take place from the service area provided within the garage only. Deliveries from the streets shall be strictly prohibited.
12. The applicant shall submit to staff for review and approval, an MOT Plan prior to the issuance of a building permit that shows the circulation of pedestrians and traffic in a safe and attractive manner.
13. This order is not severable, and if any provision or condition hereof is held void or unconstitutional in a final decision by a court of competent jurisdiction, the order shall be returned to the Board for reconsideration as to whether the order meets the criteria for approval absent the stricken provision or condition, and/or it is appropriate to modify the remaining conditions or impose new conditions.
14. A This modified Conditional Use Permit ~~that lists the aforementioned conditions~~ shall be recorded in the Public Records of Miami-Dade County at the expense of the applicant, prior to the issuance of a modified Certificate of Use.
15. The establishment and operation of this Conditional Use shall comply with all the aforementioned conditions of approval; non-compliance shall constitute a violation of the Code of the City of Miami Beach, Florida, and shall be subject to enforcement procedures set forth in Section 114-8 of said Code and such enforcement procedures as are otherwise available. Any failure by the applicant to comply with the conditions of this Order shall also constitute a basis for consideration by the Planning Board for a revocation of this Conditional Use.

Dated this 31 day of March, 2009.

PLANNING BOARD OF THE
CITY OF MIAMI BEACH, FLORIDA

BY: 
Jorge G. Gomez, Planning Director
For Chairman

STATE OF FLORIDA)
COUNTY OF MIAMI-DADE)

The foregoing instrument was acknowledged before me this 31 day of March,
2009, by Jorge G. Gomez, Planning Director of the City of Miami Beach, Florida, a Florida
Municipal Corporation, on behalf of the corporation. He is personally known to me.



Randy Cesar
Notary:
Print Name: Randy Cesar
Notary Public, State of Florida
My Commission Expires:
Commission Number:

Approved As To Form:
Legal Department (Sleed 3-27-09)

F:\PLAN\PLB\2009\2-24-09\1832 - 7131-7145 Harding Ave CUP 2009.doc



CFN 2007R0802741
DR Bk 25854 Pgs 1821 - 1824 (4pgs)
RECORDED 08/14/2007 11:23:52
HARVEY RUVIN, CLERK OF COURT
MIAMI-DADE COUNTY, FLORIDA

**PLANNING BOARD
CITY OF MIAMI BEACH, FLORIDA**

PROPERTY: 7131 – 7145 Harding Avenue
North Beach Place

FILE NO. 1832

IN RE: The request by Harding Avenue Investments, LLC, requesting Conditional Use approval to construct a mixed use 7-story structure with office space, retail space on the ground level, and 4 levels of parking, which is greater than 50,000 square feet.

LEGAL DESCRIPTION: Lots 1, 2 and 3, Block 8 NORMANDY BEACH SOUTH according to the Plat thereof recorded in Plat Book 21, Page 54, of the Public Records of Miami-Dade County, Florida.

MEETING DATE: July 24, 2007

CONDITIONAL USE PERMIT

The applicant, Harding Avenue Investments, LLC, filed an application with the Planning Director for a Conditional Use Permit pursuant to Chapter 118, Article IV, "Conditional Use Procedure" of the Land Development Regulations of the Code of the City of Miami Beach, Florida. Notice of the request was given as required by law and mailed out to owners of property within a distance of 375 feet of the exterior limits of the property upon which the application was made.

The Planning Board of the City of Miami Beach makes the following FINDINGS OF FACT, based upon the evidence, information, testimony and materials presented at the public hearing and which are part of the of the record for this matter:

That the property in question is located in the CD-3 - Commercial, High Intensity Zoning District;

That the Use is consistent with the Comprehensive Plan for the area in which the property is located;

That the intended Use or construction will not result in an impact that will exceed the thresholds for the levels of service as set forth in the Comprehensive Plan;

That structures and Uses associated with the request are consistent with the Ordinance;
That the public health, safety, morals, and general welfare will not be adversely affected;

That necessary safeguards will be provided for the protection of surrounding property, persons, and neighborhood values.

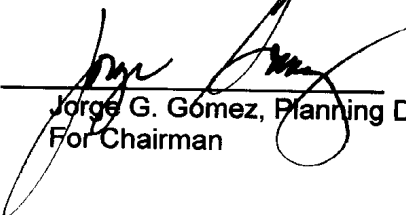
IT IS THEREFORE ORDERED, based upon the foregoing findings of fact, the evidence, information, testimony and materials presented at the public hearing, which are part of the record for this matter, and the staff report and analysis, which is adopted herein, including the staff recommendation, that the Conditional Use Permit as requested and set forth above be GRANTED, subject to the following conditions:

1. The Planning Board shall maintain jurisdiction of this Conditional Use Permit. If deemed necessary, at the request of the Planning Director, the applicant shall provide a progress report to the Board. The Board reserves the right to modify the Conditional Use approval at the time of a progress report in a non-substantive manner, to impose additional conditions to address possible problems and to determine the timing and need for future progress reports. This Conditional Use is also subject to modification or revocation under City Code Sec. 118-194 (c).
2. The applicant shall resolve outstanding violations, fines and liens prior to the issuance of a building permit.
3. Prior to the issuance of a building permit, the applicant shall participate in a Transportation Concurrency Management Area Plan (TCMA Plan), if deemed necessary, by paying its fair share cost, as determined by the Transportation/ Concurrency Management Division.
4. Should any of the commercial/retail spaces be aggregated to create a larger venue for an eating and/or drinking establishment, such establishment shall be limited to the number of parking spaces provided within the garage. In such a case, the applicant shall return to the Planning Board to evaluate impact of a larger venue for an eating/drinking establishment, and address issues such as, but not limited to the number of seats, the kind of operation, potential noise, etc. This review shall be a modification to the Conditional Use Permit and shall be properly advertised for a public hearing.
5. The developer, designee, future condominium association, if any, or contract operator shall be responsible for operating parking garage in an orderly, clean and quiet manner so that the neighborhood is not disturbed. The sounding of car alarms, automobile horns and screeching of tires shall be prohibited. Two signs, one addressing City Code provisions regarding car alarms, and one prohibiting the screeching of tires and sounding of horns (see attached examples), shall be posted on the site so they are plainly visible by users of the facility.
6. The gate to the parking garage shall be open during retail business hours and one hour after close of business.
7. The individual retailers shall be responsible for maintaining the areas adjacent to the facility, such as the sidewalk and the areas of the street adjacent to the property on a daily basis. When sweeping the sidewalk in front of the establishment, the personnel doing the sweeping shall ensure that they do not merely push the refuse in front of another building, but pick up all trash and dispose of it appropriately.

8. The applicant shall obtain a full building permit within 18 months from the date of this meeting, and work proceed in accordance with the Florida Building Code. Should an extension of time (not to exceed a one year) may be necessary, the applicant shall submit a request in writing with sufficient time for the Planning Board to consider, at a public hearing, the request before the expiration of the original approval.
9. All commercial spaces shall meet Fire Safety, accessibility codes, etc. Should considerable revisions to the plans presented to the Planning Board at this public hearing be necessary, the applicant shall return to the Board for approval of such modifications.
10. Delivery of goods and merchandise to the commercial spaces shall take place from the service area provided within the garage only. Deliveries from the streets shall be strictly prohibited.
11. The applicant shall submit to staff for review and approval, an MOT Plan prior to the issuance of a building permit that shows the circulation of pedestrians and traffic in a safe and attractive manner.
12. This order is not severable, and if any provision or condition hereof is held void or unconstitutional in a final decision by a court of competent jurisdiction, the order shall be returned to the Board for reconsideration as to whether the order meets the criteria for approval absent the stricken provision or condition, and/or it is appropriate to modify the remaining conditions or impose new conditions.
13. A Conditional Use Permit that lists the aforementioned conditions shall be recorded in the Public Records of Miami-Dade County at the expense of the applicant, prior to the issuance of a modified Certificate of Use.
14. The establishment and operation of this Conditional Use shall comply with all the aforementioned conditions of approval; non-compliance shall constitute a violation of the Code of the City of Miami Beach, Florida, and shall be subject to enforcement procedures set forth in Section 114-8 of said Code and such enforcement procedures as are otherwise available. Any failure by the applicant to comply with the conditions of this Order shall also constitute a basis for consideration by the Planning Board for a revocation of this Conditional Use.

Dated this 3 day of August, 2007.

PLANNING BOARD OF THE
CITY OF MIAMI BEACH, FLORIDA

BY: 
Jorge G. Gómez, Planning Director
For Chairman

STATE OF FLORIDA)
COUNTY OF MIAMI-DADE)

The foregoing instrument was acknowledged before me this 3 day of August,
2007, by Jorge G. Gomez, Planning Director of the City of Miami Beach, Florida, a Florida
Municipal Corporation, on behalf of the corporation. He is personally known to me.


Notary:

Print Name:

Notary Public, State of Florida

My Commission Expires:

Commission Number:

Approved As To Form:

Legal Department

(8/21/07)



RaShonda M Wilson

My Commission DD332972

Expires June 27 2008

F:\PLAN\PLB\2007\07-24-07\1832 - 7131 - 7145 Harding Ave CU.doc

LIGHTING PLAN

MIAMI BEACH

Page 1 of 3

Planning Department, 1700 Convention Center Drive
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

Address: 7140 Collins Avenue
File Number:

Date: 8/10/2016

BOARD APPLICATION CHECK LIST

A pre-application meeting must be scheduled with Board staff to review all submittals. Pre-application meetings are scheduled on a first come first serve basis and must occur no later than five (5) business days PRIOR to the First Submittal deadline. Incomplete or submittals found to be insufficient will not be placed on a Board agenda.

ITEM #	FIRST SUBMITTAL CHECK LIST	Required	Provided
	ALL PLANS MUST BE DIMENSIONED AND LEGIBLE, INCLUDE A GRAPHIC SCALE		
1	Make an appointment with Board Liaison at least 2 days in advance of the submittal deadline	X	
2	Completed Board Application, Affidavits & Disclosures of Interest (original signatures)	X	CLARO
3	Copies of all current or previously active Business Tax Receipts	X	"
4	Letter of Intent with details of application request, hardship, etc.	X	"
5	Application Fee	X	"
6	Mailing Labels - 2 sets and a CD including: Property owner's list and Original certified letter from provider.	X	"
7	School Concurrency Application, for projects with a net increase in residential units (no SFH)	X	"
8	Provide seven (7), 11"x17" collated sets, two (2) of which are signed & sealed, to include the following:	X	RAI
9	Cover Sheet with bullet point scope of work, clearly labeled "First Submittal" and dated with First Submittal deadline date	X	"
10	All Applicable Zoning Information (see Zoning Data requirements)	X	"
11	Location Plan, Min 4"x 6" Aerial 1/2 mile radius, colored with streets and project site identified	X	"
12	Survey (original signed & sealed) dated less than 6 months old at the time of application (lot area shall be provided by surveyor), identifying grade (if no sidewalk, provide a letter from Public Works, establishing grade), spot elevations and Elevation Certificate	X	CLARO
13	Existing FAR Shaded Diagrams (Single Family Districts: Unit Size and Lot Coverage Shaded Diagrams)	X	
14	Proposed FAR Shaded Diagrams (Single Family Districts: Unit Size and Lot Coverage Shaded Diagrams)	X	RAI
15	Site Plan (fully dimensioned with setbacks, existing and proposed, including adjacent right-of-way widths)	X	"
15a	Indicate any backflow preventer and FPL vault if applicable	X	"
16	Current color photographs, dated, Min 4"x 6" of project site and existing structures (no Google Images)	X	"
17	Current, dated color photographs, min 4"x6" of interior space (no Google Images)		
18	Current color photographs, dated, Min 4"x 6" of context, corner to corner, across the street and surrounding properties with a key directional plan (no Google Images)	X	RAI
19	Existing Conditions Drawings (Floor Plans & Elevations with dimensions)	X	
20	Demolition Plans (Floor Plans & Elevations with dimensions)	X	RAI
21	Proposed Floor Plans and Roof Plan, including mechanical equipment plan and section marks	X	"
22	Proposed Elevations, materials & finishes noted (showing grade, base flood elevation, heights in NGVD values and free board if applicable)	X	"
23	Proposed Section Drawings	X	"
24	Landscape Plan - street and onsite - identifying existing, proposed landscape material, lighting, irrigation, raised curbs, tree survey and tree disposition plan, as well as underground and overhead utilities when street trees are required.	X	"
25	Hardscape Plan, i.e. paving materials, pattern, etc.	X	"
26	Color Renderings (elevations and three dimensional perspective drawings)	X	"

Indicate N/A if Not Applicable

Initials: MB

MIAMI BEACH

Planning Department, 1700 Convention Center Drive
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

Page 2 of 3

Address:

File Number:

ITEM #	FIRST SUBMITTAL ADDITIONAL INFORMATION AS MAY BE REQUIRED AT THE PRE APPLICATION MEETING	Required	Provided
27	Vacant or Unoccupied structures or sites shall provide recent photographic evidence that the site and structure are secured and maintained. The applicant shall obtain and post a No Trespassing Sign from the City's Police Department	X	CLARO
28	Copy of original Building Permit Card, & Microfilm, if available	X	"
29	Historic Resources Report (This report shall include, but shall not be limited to, copy of the original Building Permit Card and any subsequent evolution, Microfilm, existing condition analysis, photographic and written description of the history and evolution of the original building on the site, all available historic data including original plans, historic photographs and permit history of the structure)		"
30	Contextual Elevation Line Drawings, corner to corner, across the street and surrounding properties (dated)	X	RAI
31	Line of Sight studies		"
32	Structural Analysis of existing building including methodology for shoring and bracing		"
33	Proposed exterior and interior lighting plan, including photometric calculations	X	"
34	Exploded Axonometric Diagram (showing second floor in relationship to first floor)		"
35	Neighborhood Context Study	X	"
36	Open Space calculations and shaded diagrams	X	"
37	Proposed Operational Plan		"
38	Traffic Study (Hard copy), Site plan(s) and AutoCAD in 3 CDs, including calculations for peer review. Send digital version as an attachment via e mail to: Xfalconi@miamibeachfl.gov		CLARO
39	Sound Study report (Hard copy) with 1 CD		"
40	Set of plans 24"x 36"		RAI
41	Copies of previous Recorded Final Orders		CLARO
42	Location Plan, Aerial or survey indicating width of canals (Dimension shall be certified by a surveyor)		CLARO
43	Scaled, signed, sealed and dated specific purpose survey (Alcohol License/Distance Separation)		CLARO
<u>44</u>	<u>Site Plan (Identify streets and alleys)</u>	X	RAI
a	Identify: setbacks _____ Height _____ Drive aisle widths _____ Streets and sidewalks widths _____		"
b	# parking spaces & dimensions _____ Loading spaces locations & dimensions _____		"
c	# of bicycle parking spaces _____		"
d	Interior and loading area location & dimensions _____		"
e	Street level trash room location and dimensions _____		"
f	Delivery route _____ Sanitation operation _____ Valet drop-off & pick-up _____ Valet route in and out _____		CLARO/RAI
g	Valet route to and from _____ auto-turn analysis for delivery and sanitation vehicles _____		"
<u>45</u>	<u>Floor Plan (dimensioned)</u>	X	
a	Total floor area _____		RAI
a	Identify # seats indoors _____ outdoors _____ seating in public right of way _____ Total _____		"
b	Occupancy load indoors and outdoors per venue _____ Total when applicable _____		"

Indicate N/A If Not Applicable

Initials: mb

MIAMI BEACH

Page 3 of 3

Planning Department, 1700 Convention Center Drive
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

Address:

File Number:

46	In the Letter of Intent for Planning Board include and respond to all review guidelines in the code as follows:		
47	For Conditional Use -Section 118-192 (a)(1)-(7) + (b)(1)-(11)		CLARO/MATT
48	CU -Entertainment Establishments - Section 142-1362 (a)(1)-(9)		"
49	CU - Mechanical Parking - Section 130-38 (3)(c)(i)(1)-(2) & (4)(a)-(k)		"
50	CU - Structures over 50,000 SQ.FT. - Section 118-192(b) (1)-(11)		"
51	CU - Religious Institutions - Section 118-192 (c) (1)-(11)		"
52	For Lot Splits - Section 118-321 (B) (1)-(6). Also see application instructions		"
Notes: The applicant is responsible for checking above referenced sections of the Code. If not applicable write N/A			
Other information/documentation required for first submittal (to be identified during pre application meeting).			

ITEM #	FINAL SUBMITTAL CHECK LIST:	Required	Provided
53	One (1) signed and sealed 11"X17" unbound collated set of all the required documents , as revised and/or supplemented to address Staff comments. Plans should be clearly labeled "Final Submittal" and dated with Final Submittal deadline date. With a CD of this document 11"X17" as a PDF compatible with Adobe 8.0 or higher at 300 DPI resolution.	X	RAI
54	14 collated copies of all the above documents	X	CLARO
55	One (1) CD/DVD with electronic copy of entire final application package	X	"

NOTES:

Is the responsibility of the applicant to make sure that the sets, 14 copies and electronic version on CD are consistent.

Plan revisions and supplemental documentation will not be accepted after the Final Submittal deadline

ALL DOCUMENTS ARE TO BE PDF'D ON TO A MASTER DISK, WHICH DISK SHALL BE CONSIDERED THE OFFICIAL FILE COPY TO BE USED AT HEARING. ALL MODIFICATIONS, CORRECTIONS, OR ALTERATIONS MUST BE REFLECTED ON THE MASTER DISK. APPLICANT CERTIFIES COMPLIANCE WITH THE FOREGOING. FAILURE TO COMPLY MAY RESULT IN A REHEARING BEFORE THE APPLICABLE BOARD


APPLICANT'S OR DESIGNEE'S SIGNATURE

Date

7/29/16

Indicate N/A If Not Applicable

Initials: 