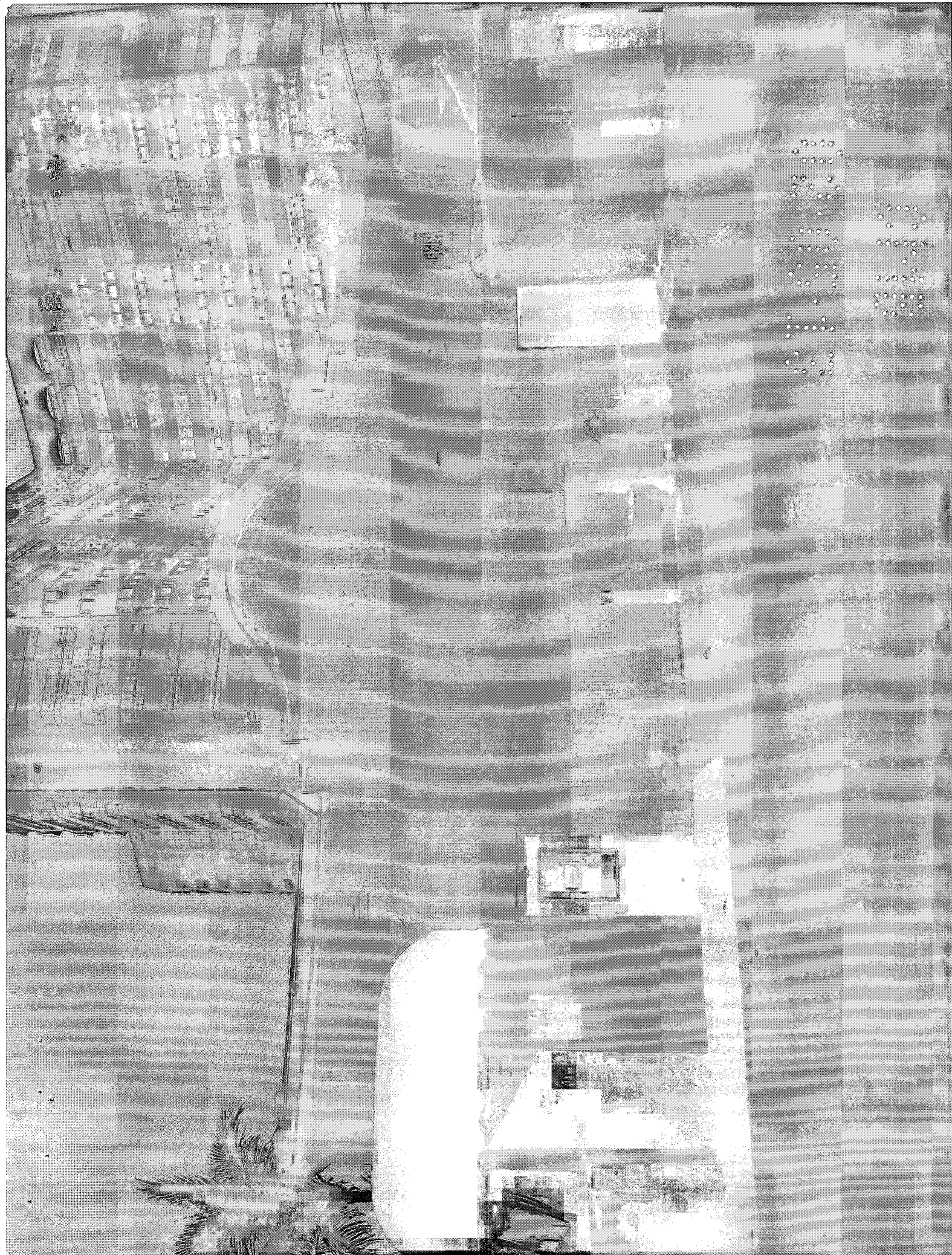


U.S. AIR FORCE



CITY OF MIAMI BEACH
CERTIFICATE OF USE, ANNUAL FIRE FEE, AND BUSINESS TAX RECEIPT

1700 Convention Center Drive
Miami Beach, Florida 33139-1819

TRADE NAME: AA FOOD OF MIAMI LLC DBA MIAMI SUBS GRILL #105
IN CARE OF: AFTAB AHMED
ADDRESS: 8035 ABBOTT AVE
MIAMI BEACH, FL 33141-5326

RECEIPT NUMBER: ~~RL-1000~~1596
Beginning: 10/01/2011
Expires: 09/30/2012
Parcel No: 0232110020660

A penalty is imposed for failure to keep this Business Tax Receipt exhibited conspicuously at your place of business.

A certificate of Use / Business Tax Receipt issued under this article does not waive or supersede other City laws, does not constitute City approval of a particular business activity and does not excuse the licensee from all other laws applicable to the licensee's business.

This Receipt may be transferred:

A. Within 30 days of a bonafide sale, otherwise a complete annual payment is due.

B. To another location within the City if proper approvals and the Receipt are obtained prior to the opening of the new location.

Additional Information

TRADE ADDRESS: 7140 COLLINS AVE

Code 016400	Certificate of Use/Occupation RESTAURANT / BARS
----------------	--

CERTIFICATE OF USE	900
SQUARE FOOTAGE	56
# OF SEATS	56
C_U # OF UNITS	56

Storage Locations

FROM: CITY OF MIAMI BEACH
1700 CONVENTION CENTER DRIVE
MIAMI BEACH, FL 33139-1819

PRESORTED
FIRST CLASS
U.S. POSTAGE
PAID
MIAMI BEACH, FL
PERMIT No 1525

AFTAB AHMED
7140 COLLINS AVE
MIAMI BEACH, FL 33141-3212



CITY OF MIAMI BEACH
CERTIFICATE OF USE, ANNUAL FIRE FEE, AND BUSINESS TAX RECEIPT

1700 Convention Center Drive
Miami Beach, Florida 33139-1819

TRADE NAME: E & K GROUP, CORP-MIAMI SUBS GRILL
IN CARE OF: PEDRO QUINTERO
ADDRESS: 7135 COLLINS AVE, APT 1705
MIAMI BEACH, FL 33141-3231

RECEIPT NUMBER: R-99000589
Beginning: 10/01/2007
Expires: 09/30/2008
Parcel No: 0232410020660

A penalty is imposed for failure to keep this Business Tax Receipt exhibited conspicuously at your place of business.

A certificate of Use / Business Tax Receipt issued under this article does not waive or supersede other City laws, does not constitute City approval of a particular business activity and does not excuse the licensee from all other laws applicable to the licensee's business.

This Receipt may be transferred:

A. Within 30 days of a bonafide sale, otherwise a complete annual payment is due.

B. To another location within the City if proper approvals and the Receipt are obtained prior to the opening of the new location.

Additional Information

TRADE ADDRESS: 7140 COLLINS AVE

Code 016400	Certificate of Use/Occupation RESTAURANT / BARS
----------------	--

CERTIFICATE OF USE	900
# OF SEATS	56
PREVIOUS BALANCE	\$ 0.00
C_U # OF UNITS	56

Storage Locations

FROM: CITY OF MIAMI BEACH
1700 CONVENTION CENTER DRIVE
MIAMI BEACH, FL 33139-1819

PRESORTED
FIRST CLASS
U.S. POSTAGE
PAID
MIAMI BEACH, FL
PERMIT No 1525

E & K GROUP-MIAMI SUBS GRILL
7140 COLLINS AVE
MIAMI BEACH, FL 33141-3212



Owner Royal Castle System, Inc.

Lot 12 Block 8

Subdivision NORFOLK BEACH SOUTH

Permit No. 67252

Cost \$17,000.00

Address 7140 Collins Avenue

General Contractor Mose Solomon

Architect Joseph N. Smith

23102

Bond No. 6888

Engineer -

Zoning Regulations: Use BA Area 18

Building Size: Front 42' Depth 27'

Certificate of Occupancy No. 3888 dated Aug. 10, 1962

Type of Construction CBS II

Foundation Spread

Root Flat

Date MAY 11, 1962

PLUMBING Contractor #43330 J & W Plumbing Co.

Sewer Connection 1

Date May 14, 1962

Temporary Water Closet 1

Water Closets 2

Lavatories 3

Bath Tubs

Showers

Urinals 1

Sinks 2

Dish Washing Machine 1

Laundry Trays

Laundry Washing Machines

Drinking Fountains

Floor Drains 2

Grease Traps

Safe Wastes 4

AIR CONDITIONING Contractor #67811 McDonald Air Cond. Co.:

SEPTIC TANK Contractor

OIL BURNER Contractor

SPRINKLER Contractor

Swimming Pool Traps

Steam or Hot Water Boilers

ROUGH APPROVAL OK Rothman 6/13/62

FINAL APPROVAL OK Rothman 8/6/62

GAS Contractor

Gas Ranges 1

Gas Water Heaters 1

Gas Space Heaters Urn 1

Gas Refrigerators

Gas Steam Tables

Gas Broilers

GAS Rough APPROVAL Partial OK Rothman 7/2/62

GAS FINAL APPROVAL

install 1 - 10 HP air cond. system and one

refrigeration system - \$4,500 - 8/10/62 OK Plaag 8/10/62

Date

Gas Frylators

Gas Pressing Machine

Gas Vents for Stove

ELECTRICAL Contractor #58269 Ferguson & Roberts, Inc.

Date 5/29/62

Switches 9

Lights 35

Receptacles 16

Special: 2

Ranges

Irons

Refrigerators 1

Fans

Motors 10 (0-1 hp)

Appliances 5 (2-5 hp)

Temporary Service 1 - #58199 -

Neon Transformers

Sign Outlets

Meter Change

Centers of Distributions

Service Equip. - 1

Violations

HEATERS

Water

Space

213

Electrical Contractor

Ferguson & Roberts, Inc.
OK Scarborough 5/18/62 5/15/62

FINAL APPROVAL
By: Scarborough
Date: 8/9/62
Connected
8-9-62

By: Scarborough
Date: 8/9/62

Alterations or Repairs - Over

OK Saperstein
8/9/62

SURVEY - 1st - 8/17/62

7774-1



2013-ALLOCATION-00358

**Regulatory and Economic Resources
Environmental Plan Review**

701 NW 1st Court • 2nd Floor
Miami, Florida 33136-3902
T 305-372-6899 F 305-372-6550

miamidade.gov/development

2/20/2013

Issued Date: 2/20/2013

Ricardo Romero
RR Permit Consultant Inc
300 Aragon Ave #330
Coral Gables, FL

RE: Sewer System Treatment and Transmission Capacity Certification

The Miami-Dade County Department of Regulatory and Economic Resources (RER) has received your application for approval of a sewer service connection to serve the following project which is more specifically described in the attached project summary.

Project Name: Denny's/2013020612011181
Project Location: 7140 COLLINS AVE, MIAMI BEACH, FL 33141
Previous Use: 2,708 sq ft fast food service restaurant.
Proposed Use: 2,708 sq ft full service restaurant with 220 sq ft exterior seating area.
Previous Flow: 1354 GPD
Total Calculated Flow: 2928 GPD
Allocated Flow: 1574 GPD
Sewer Utility: CITY OF MIAMI BEACH
Receiving Pump Station: 02 - 0019

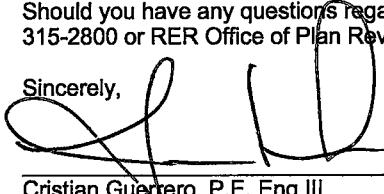
RER has evaluated your request in accordance with the terms and conditions set forth in Paragraph 16 C of the First Partial Consent Decree (CASE NO. 93-1109 CIV-MORENO) between the United States of America and Miami-Dade County. RER hereby certifies that adequate treatment and transmission capacity, as herein defined, is available for the above described project.

Furthermore, be advised that this approval does not constitute Departmental approval for the proposed project. Additional reviews and approval may be required from sections having jurisdiction over specific aspects of this project. Also, be advised that the gallons per day (GPD) flow determination indicated herein are for sewer allocation purposes only (in compliance with Consent Decree requirements) and may not be representative of GPD flows used in calculating connection fees by the utility providing the service.

Please be aware that this certification is subject to the terms and conditions set forth in the Sewer Service Connection Affidavit filed by the applicant, a copy of which is hereby attached.

Should you have any questions regarding this matter, please contact the Miami-Dade Permitting and Inspecting Center (MDPIC) (786) 315-2800 or RER Office of Plan Review Services, Downtown Office (305) 372-6899.

Sincerely,


Cristian Guerrero, P.E. Eng III
Environmental Plan Review
Department of Regulatory and Economic Resources

cc: Lee N Hefty, Assistant Director



Owner's Name:
Owner's Address:

**Regulatory and Economic Resources
Environmental Plan Review**

701 NW 1st Court • 2nd Floor
Miami, Florida 33136-3902
T 305-372-6899 F 305-372-6550

EEOS Allocation Number: 2013-ALLOCATION-00358

Project: Denny's/2013020612011181

miamidade.gov/development

Proposed Use: 2,708 sq ft full service restaurant with 220 sq ft exterior seating area.

Pump Station: 02-0019
Projected NAPOT: 5.20

Folio	Lot/Block Bldg Proc #	Address	Flow (GPD)	Sewer Status	Sewer Cert Date	Sewer Recent Date	Exp. Date
0232110020660	/ B1302198	7140 Collins Ave, Miami Beach	1,574	APP	2/20/2013		5/21/2013
Total:			1,574	GPD			



Water and Sewer
PO Box 330316 • 3575 S. Lejeune Road
Miami, Florida 33233-0316
T 305-665-7471

ORDINANCE 89-95
COMPLIANCE FORM

miamidade.gov

ATLAS PAGE: A-8 INV#: 145341 FORM #: 201336634 DATE: 2/25/2013

This form acknowledges compliance on the part of the following with the requirements in accordance with Miami-Dade County's Ordinance number 89-95.

Name of Owner: DENNY'S

Mailing:

Address: 7140 COLLINS AVE
City, State, Zip: MIAMI BEACH FL 33141-

Property Address: 7140 COLLINS AVE

Property Legal Description: 11 53 42 NORMANDY BEACH S PB 21-54 LOT 12 BLK 8

Folio Number: 02-3211-002-0660

Proposed usage / No. of Units: 2708 SF INSIDE & 357 SF OUTSIDE FULL SERVICE RESTAURANT PER PLANS

REPLACES: 2708 SF FF REST PER OCLA #619561-4
Previous Usage /

Gallons per Day: 1,711

PREVIOUS FLOW:	1,354	PREVIOUS SQUARE FOOTAGE:	2,708	<input type="checkbox"/> NEW CONSTRUCTION
PROPOSED FLOW:	3,065	PROPOSED SQUARE FOOTAGE:	3,065	<input checked="" type="checkbox"/> INTERIOR RENOVATION

Municipality:

Water Service Area: Miami Beach

Sewer Service Area: Miami Beach

Water Connection Charge: \$2,378.29 Invoice No.:

Sewer Connection Charge: \$9,581.60

Total Connection Charge: \$11,959.89

Comments: Sewer Capacity Certification Letter Dated: 2/20/2013 #2013-00358
ORD \$150.00 WTR ALL \$90.00 TOTAL \$12,199.89

THIS FORM IS VALID ONLY WHEN ACCOMPANIED BY A STAMPED 'PAID' COPY OF INVOICE NO.

Approved By:

Richard Robinson - New Business Representative

CONTACT NAME: ARIADNA NOA

CONTACT PHONE: (305) 753-5274

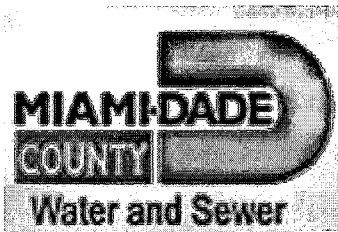
Printed On: 2/25/2013
11:34:44 AM

NB: Richard Robinson

PR:

Approved By:

Livia Delgado 2/26/13



Miami-Dade Water and Sewer Department

New Business Office

P.O. Box 330316

Miami, Florida 33233-0316

3575 South LeJeune Road, Room 114

Miscellaneous Charges

INVOICE #: 145341

DATE: March 12, 2013

CUSTID: 163624

PeopleSoft Acct ID#: 7811716065

Building Process #: X

IN ACCOUNT WITH

24/7 RESTAURANT GROUP INC
7140 COLLINS AVE

MIAMI BEACH, FL 33141-

REFERENCE

CC'S PD FOR 2708 SF INSIDE & 357 SF OUTSIDE FULL SERVICE RESTAURANT PER PLAN REPLACING 2708 SF FASTFOOD REST PER OCLA,VF 201336634,DERM 201300358,FOLIO 0232110020660.

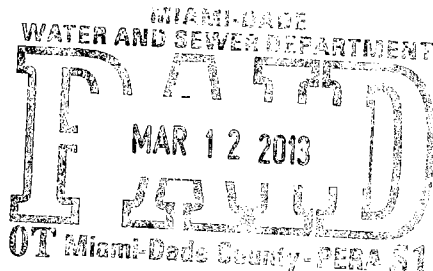
ER WATER: N/A

ER SEWER: N/A

AGMT ID:

DESCRIPTION

QTY GPD	DESCRIPTION	G/L CODE	CIS ADJ CD	UNIT PRICE	AMOUNT
1711	Conn Chg - Miami Beach Sewer	6897501-EW623		5.60	9,581.60
1711	Conn Chg - Miami Beach Water	6897501-EW223		1.39	2,378.29
1	Ordinance Letter Sewer Only non-res	6436701-EW501		75.00	75.00
1	Ordinance Letter Water Only non-res	6436701-EW101		75.00	75.00
1	Water Allocation Certificate-Initial	6436671-EW101		90.00	90.00
TOTAL:					\$12,199.89



WATER DEPOSITS: \$0.00

SEWER DEPOSITS: \$0.00

INVOICE NO. 145341 TOTAL: \$12,199.89

FEBRUARY 20, 2013

24 7 RESTAURANT GROUP INC

Attention: Adam Jacobs

1600 S FEDERAL HWY STE 1100
POMPANO BEACH, FL 33062

Re: Division of Hotels and Restaurants Plan Review
License Type: 2010 PERMANENT FOOD SERVICE
Application No. 723692
File No. 263681 **Log No. HQ-13-3372**

Dear Plan Review Applicant:

Congratulations on your decision to operate a restaurant in Florida! I have approved the public food service establishment plans for DENNY'S, 7140 COLLINS AVE, MIAMI BEACH, FL 33141, as of February 20, 2013, **with the following condition(s):**

1. PER TELEPHONE CALL TO RON FAIRCHILD (ARCHITECT) AT 954-547-4682 ON 02/20/2013, AN AGREEMENT WAS REACHED TO DESIGNATE THE UTILITY SINK (B-048) AT THE BOTTOM OF THE SERVICE AREA AS A HAND WASH SINK AS RED LINED ON THE PLANS.

Please have the above information or proof of compliance with the conditions ready for the inspector at your opening inspection. The conditions listed above are required to pass your opening inspection. Please include the file number and log number listed above on any documents submitted. Your plans are only approved as submitted to us **and** with the above conditions. Changes in proposed operational procedures may require additional equipment and certain changes may require a new plan review. If you decide to change the menu, equipment or operation, please notify us immediately.

If you have not yet applied for your food service license, you should submit your Application for Food Service License and the correct fees to Tallahassee now. Please make sure to submit the completed application and fees early enough to receive your license by your planned opening date. You can find licensing information and forms online at www.myfloridalicense.com. A license fee calculator is located on our website at www.myfloridalicense.com/dbpr/hr/licensing/foodfees.html, which can help you determine the cost of your food service license.

For help with the license application process, to have an application mailed to you, or if you have any questions, please call our Customer Contact Center at 850.487.1395 between the hours of 8:00 a.m. and 6:00 p.m., Monday through Friday.

For faster processing, please attach a copy of this letter to the **top** of your completed license application along with a check or money order for the appropriate license fee. Submit the packet to: Department of Business and Professional Regulation, Division of Hotels and Restaurants, 1940 N. Monroe Street, Tallahassee, FL 32399-0783. Before mailing, please make sure you have completed the license application, paid the correct license fee and attached a copy of this letter to the top of your licensing packet. An incomplete or incorrect licensing packet will delay the licensing process.

Your plan approval is valid for one year from the date of this letter, so you must license the proposed establishment before then. If your plan approval expires after a year, you may have to complete the plan review process including fee payment again. If you are no longer in charge of this project, please forward this letter to the correct person or company.

When the construction is complete, please call our Customer Contact at 850.487.1395 to request contact from an inspector to schedule an opening inspection. Be ready to provide the file number located at the top of this letter. Please allow 1-2 days for the inspector to contact you to schedule the inspection.

Good luck with your enterprise!

Sincerely,



Richard Bull
Plan Reviewer

ENCLOSURE(S)

LOG NUMBER		
HQ	13	3276
FILE NUMBER		
263563		

PLAN REVIEW SPECIFICATION WORKSHEET

Establishment must meet all standards of Chapter 509, Part I, Florida Statutes, and Chapter 61C-4, Florida Administrative Code

1	Establishment Name: Denny's
----------	------------------------------------

2	Review Type	Current License Number: 2313992
<input type="checkbox"/> New/Conversion <input type="checkbox"/> Remodel <input type="checkbox"/> Closed at least one year <input checked="" type="checkbox"/> Change Owner with Remodel		Previous License Number and/or Name (if applicable):
		Previous Licensing Agency: <input type="checkbox"/> Department of Agriculture and Consumer Services <input type="checkbox"/> Department of Health <input type="checkbox"/> Division of Hotels & Restaurants

WORKSHEET CODE KEY: S = Satisfactory NA = Not applicable
 U = Unsatisfactory – a plan cannot be approved with an item marked in this manner
 C = Caution – item is operationally based or cannot be determined by review and will be verified during onsite inspection

3	Construction Finishes
----------	------------------------------

	Floor	Wall	Cove Base	Ceiling
Food Preparation	Quarry Tile	FRP	Quarry Tile	M.R. Acoust. Ceiling
Food Storage	Quarry Tile	FRP	Quarry Tile	M.R. Acoust. Ceiling
Dishwash Area	Quarry Tile	FRP	Quarry Tile	M.R. Acoust. Ceiling
Bathrooms	Ceramic Tile	Ceramic Tile	Ceramic Tile	ACT
Dry Storage	Quarry Tile	FRP	Quarry Tile	M.R. Acoust. Ceiling
Bar	Ceramic Tile	Ceramic Tile	Quarry Tile	M.R. Acoust. Ceiling

☒ Finishes in areas of moisture must be smooth, nonabsorbent and easily cleanable. ☒ Studs, joists or rafters may not be exposed in areas of moisture. ☒ Curved and sealed cove bases are required at floor/wall junctures.

Sinks and Warewashing	
------------------------------	--

4	S	Manual washing, rinsing and sanitizing facilities provided: <input checked="" type="checkbox"/> 3-compartment sink <input type="checkbox"/> 4-compartment sink Location(s): <input type="checkbox"/> Kitchen <input type="checkbox"/> Bar <input checked="" type="checkbox"/> Dishwash area <input type="checkbox"/> Other
5	S	Mechanical washing, rinsing and sanitizing facilities provided: <input checked="" type="checkbox"/> Dishmachine <input type="checkbox"/> Glasswasher Dishmachine/glasswasher sanitizing method: <input checked="" type="checkbox"/> Chemical <input type="checkbox"/> Hot Final Rinse
6	S	Drainboards or shelving/table equivalent provided at each end of dishwashing facilities
7	C	Hand sink(s) provided/accessible in food prep and food dispensing area(s) See Proviso #1
8	S	Hand sink provided/accessible in dishwashing area(s)
9	Total number of hand wash sinks shown 4	
10	Food prep sink(s): <input checked="" type="checkbox"/> 1-compartment <input checked="" type="checkbox"/> 2-compartment <input type="checkbox"/> 3-compartment Number shown: 2	

Comments: 1. Per telephone call to Ron Fairchild (Architect) at 954-547-4682 on 02/20/2013, an agreement was reached to designate the utility sink (B-048) at the bottom of the service area as a hand wash sink as red lined on the plans.

Fire Safety				
11	S	Hood automatic fire suppression shown over cooking equipment (grease laden vapors)		
12	C	Portable extinguisher(s) shown		
13	Public exit access does not go through kitchen / storage rooms / bathrooms / other high hazard areas <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
14	Number of exits:	Public: 2	Employee: 1	Total: 3
15	Square footage of establishment: 2708			
16	Building fire sprinkler system installed <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
Equipment and Storage				
17	S	Ice machine installed in enclosed area with outer openings protected		
18	C	Displayed / exposed food effectively protected		
19	S	Running water dipper well installed for bulk ice cream service or equivalent handling		
20	S	Equipment installed for cold holding potentially hazardous food		
21	S	Equipment installed for hot holding potentially hazardous food		
22	S	Dry storage area designated		
23	C	Maintenance and cleaning equipment storage area designated		
24	C	Employee personal article storage designated		
Plumbing and Bathrooms				
25	C	Plumbing system installed		
26	S	Mop/service sink; can wash - shown	Location(s): Across from scullery	
27	S	Water heating device	Location: Across from scullery	
28	Establishment type: <input checked="" type="checkbox"/> Stand alone <input type="checkbox"/> Mall (strip/enclosed) <input type="checkbox"/> Incidental <input type="checkbox"/> Lodging associated <input type="checkbox"/> Theme park/entertainment complex			
29	S	Public bathroom installed	Type/Location Shown: <input checked="" type="checkbox"/> Bathroom for each sex <input type="checkbox"/> Unisex only <input type="checkbox"/> Public bathroom(s) on same level <input type="checkbox"/> Public bathrooms within 300 feet on same level	
30	S	Public bathroom(s) accessible to customers without going through food preparation, food storage or warewashing areas		
31	S	Employee bathroom(s) provided	<input checked="" type="checkbox"/> Same as customer bathroom(s) <input type="checkbox"/> Separate from customer bathroom(s)	
Water Supply				
32	S	Type of supply: <input checked="" type="checkbox"/> Municipal <input type="checkbox"/> Onsite Well <input type="checkbox"/> Other		Public well permit number:
33	Provider name: City of Miami Beach			
34	Written approval/verification via: <input checked="" type="checkbox"/> Copy of bill <input type="checkbox"/> Approval form <input type="checkbox"/> Provider letter <input type="checkbox"/> Permit <input type="checkbox"/> Electronic account document <input type="checkbox"/> Verbal <input type="checkbox"/> Other			
Waste Water Disposal				
35	S	Type of system: <input checked="" type="checkbox"/> Municipal <input type="checkbox"/> Septic Tank <input type="checkbox"/> Package Plant <input type="checkbox"/> Other		
36	Provider name: City of Miami Beach			
37	Written approval/verification via: <input checked="" type="checkbox"/> Copy of bill <input type="checkbox"/> Approval form <input type="checkbox"/> Provider letter <input type="checkbox"/> Permit <input type="checkbox"/> Electronic account document <input type="checkbox"/> Verbal <input type="checkbox"/> Other			
38	Septic tank system	Permit number:		<input type="checkbox"/> Restrictions (see provisos)
	Tank size:	gallons	Drainfield:	square feet
			Grease trap:	gallons
39	Seating capacity per plan: <input checked="" type="checkbox"/> Inside seating 108 <input type="checkbox"/> Outside seating <input checked="" type="checkbox"/> Total: 108 Projected number of seats contingent upon approval from local Authority Having Jurisdiction			
Comments:				

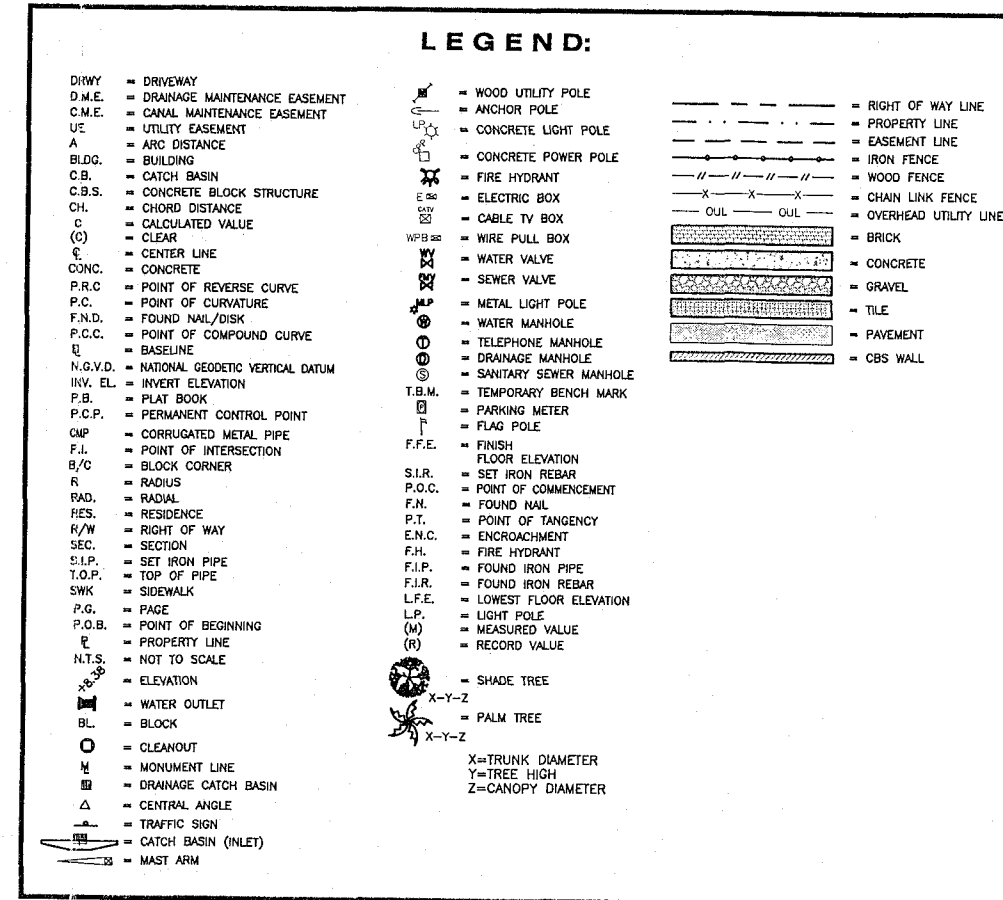
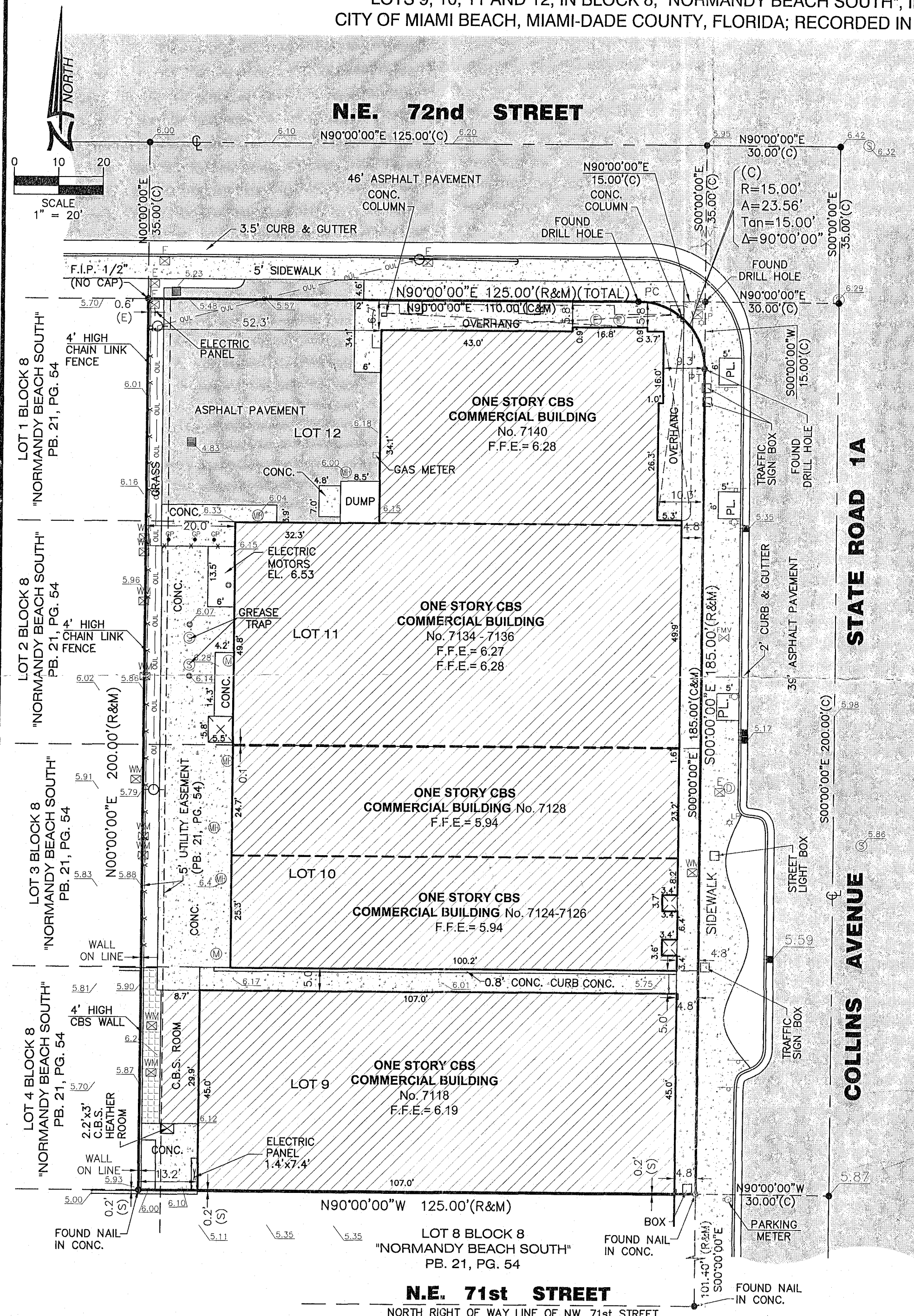
Plan Results			
40	<input type="checkbox"/> Plans approved without provisos	42	<input type="checkbox"/> Plans denied (see provisos)
41	<input checked="" type="checkbox"/> Plans approved with provisos (see provisos below)		
Provisos: 1. Per telephone call to Ron Fairchild (Architect) at 954-547-4682 on 02/20/2013, an agreement was reached to designate the utility sink (B-048) at the bottom of the service area as a hand wash sink as red lined on the plans.			
<input type="checkbox"/> Variance approved VW# _____ Date: _____ <input type="checkbox"/> Plans approved without provisos			
<input type="checkbox"/> Plans approved with noted provisos (see provisos above)			

<p align="center">The following general provisos apply to all public food service establishments. ALL ITEMS WILL BE VERIFIED BY AN INSPECTOR AT THE TIME OF INSPECTION.</p>	
Water / Backflow Prevention	
43	Hot and cold water supplied to all sinks where required (e.g., three-compartment, handwash, mop/service sinks)
44	If allowed by the local Authority Having Jurisdiction, warewashing sinks and machines may have a direct connection
Lighting	
45	Light fixtures shielded / coated / covered where food is stored / prepared / displayed or where single-service items are open / exposed
46	Illumination – 50 foot-candles in food preparation areas; 20 foot-candles in self-service areas, inside reach-in or under-counter refrigerators, handwashing and warewashing areas, equipment and utensil storage, toilet rooms; 10 foot-candles in walk-in refrigerators and freezers, dry food storage areas
Equipment Installation and Operation	
47	Waste container (dumpster), grease receptacle, compactor, recycle bins on nonabsorbent surfaces (pad)
48	Local exhaust ventilation installed over cooking units releasing steam / grease laden vapors / smoke
49	Bathrooms ventilated / provided with windows; doors self-closing; doors / stalls constructed to insure privacy
50	Equipment, mop/service sink/can wash/compactor area properly drained to sanitary sewer; refrigeration waste piping discharges indirectly into floor drain or other approved receptor; Laundry facilities protected
51	Dish machines have visual sanitizer delivery system or incorporate visual / audible alarm to signal if detergents and sanitizers are not delivered to the proper cycles
52	All hose fittings protected by backflow device; back siphonage/backflow protection if no air gap/break
53	Doors to exterior self-closing unless emergency exit
Fire Safety Notification (Enforced by Local Authority Having Jurisdiction)	
54	No mesh filters in hood with automatic fire suppression systems installed
55	All gas appliances have a nationally recognized testing laboratory seal such as AGA or UL
56	Class K and other portable fire extinguisher installed as required by NFPA 10 and/or local fire authority
57	Automatic sprinkler and fire alarm systems required for occupancies greater than 300
58	Exit doors open outward for occupancy greater than 49
59	Provide 16-inch separation / vertical splashguard of 8-inch steel / tempered glass between fryer(s) /open flames
Plan Reviewer: Richard Bull Date: 02/20/2013	
Plans returned to submitter on (date): _____ <input type="checkbox"/> Mailed <input type="checkbox"/> Shipped <input type="checkbox"/> Scanned to agent/contact person	
<input type="checkbox"/> Plan Review Packet scanned to District Date: _____	

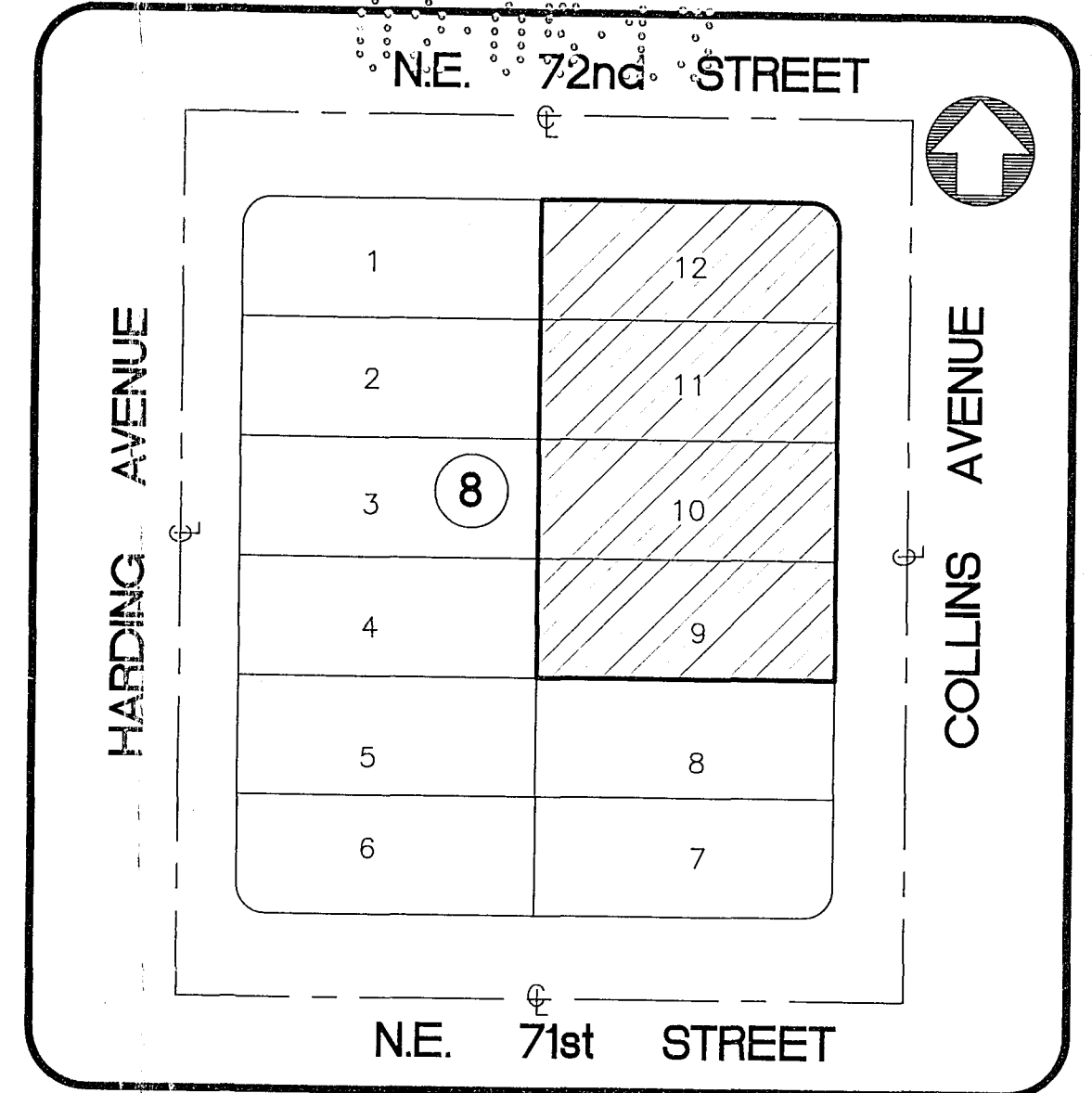
B1302198

MAP OF BOUNDARY SURVEY

LOTS 9, 10, 11 AND 12, IN BLOCK 8, "NORMANDY BEACH SOUTH", IN SECTION 2, TOWNSHIP 53 SOUTH, RANGE 42 EAST, CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA; RECORDED IN PLAT BOOK 21, PAGE 54, MIAMI-DADE COUNTY RECORDS



SECTION 2 - TOWNSHIP 53 SOUTH - RANGE 42 EAST



LOCATION MAP
NOT TO SCALE

Legal Description was furnished by client.

Plot of "NORMANDY BEACH SOUTH", recorded in Plat Book 21, Page 54, Miami-Dade County Records.

All elevations shown hereon are based on the National Geodetic Vertical Datum of 1929, and a Benchmark supplied by the Public Works Department of Miami-Dade County, Florida.

Benchmark: C-313
Elevation: + 8.24 feet
Located at Collins Avenue and 72 Street, City of Miami Beach, Miami-Dade County, Florida.

SECTION 5) LIMITATIONS:

Since no other information were furnished other than that is cited in the Sources of Data, the Client is hereby advised that there may be legal restrictions on the Subject Property that are not shown on the Survey Map that may be found in the Public Records of Miami-Dade County.

The Surveyor makes no representation as to ownership or possession of the Subject Property by any entity or individual that may appear on the Public Records of this County.

No excavation or determination was made as to how the Subject Property is served by utilities.

No improvements were located, other than those shown. No underground foundations, improvements and/or utilities were located or shown hereon.

SECTION 6) CLIENT INFORMATION:

This Boundary Survey was prepared at the insistence of and certified to:

24-7 RESTAURANT GROUP, INC.

SECTION 7) SURVEYOR'S CERTIFICATE:

I hereby certify: That this "Boundary Survey" and the Survey Map resulting therefrom was performed under my direction and is true and correct to the best of my knowledge and belief and further, that said "Boundary Survey" meets the intent of the applicable provisions of the "Minimum Technical Standards for Land Surveying in the State of Florida", pursuant to Rule 5J-17.051 through 5J-17.052 of the Florida Administrative Code and its implementing law, Chapter 472.027 of the Florida Statutes.

HADONNE CORP., a Florida Corporation
Florida Certificate of Authorization Number LB7097

By: *[Signature]*
Jose Senas, RSM
Registered Surveyor and Mapper LS5938
State of Florida

NOTICE: Not valid without the signature and original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to Survey Maps by other than the signing party are prohibited without the written consent of the signing party.

SURVEYOR'S NOTES:

SECTION 1) DATE OF FIELD SURVEY:

1. The date of completion of original field survey was on December 01, 2004 and an updated field survey was performed on September 26, 2012.

SECTION 2) LEGAL DESCRIPTION:

Lots 9, 10, 11, and 12, in Block 8, "NORMANDY BEACH SOUTH", according to the plat thereof, as recorded in Plat Book 21, at Page 54, of the Public Records of Miami-Dade County Florida.

Containing 29,744 Square Feet or 0.68 Acres, more or less, by calculations.

Property Address: 7140 Collins Avenue, Miami Beach, Florida, 33141
Folio No.: 02-3211-002-0660

Property Address: 7124 Collins Avenue, Miami Beach, Florida, 33141
Folio No.: 02-3211-002-0640

Property Address: 7118 Collins Avenue, Miami Beach, Florida, 33141
Folio No.: 02-3211-002-0630

Property Address: 7134 Collins Avenue, Miami Beach, Florida, 33141
Folio No.: 02-3211-002-0650

SECTION 3) ACCURACY:

The accuracy obtained by field measurement methods and office calculations of closed geometric figures meets and exceeds the Minimum Technical Standards requirement for Commercial/High Risk area (Linear: 1 foot in 10,000 feet) as defined in Rule 5J-17.051, Florida Administrative Code.

Elevations of well identified features as depicted on the Survey Map were measured to an estimated vertical position accuracy of 1/100 of a foot on hard surfaces and 1/10 of a foot on ground surfaces.

Well identified features as depicted on the Survey Map were measured to an estimated horizontal position accuracy of 1/10 of a foot.

This Map of Survey is intended to be displayed at a scale of One inch equals Twenty feet or smaller.

SECTION 4) SOURCES OF DATA:

North arrow direction is based on an assumed Meridian.

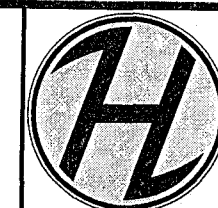
Bearings as shown hereon are based upon the North Boundary line of the subject site with an assumed bearing of N90°00'00"E, said line to be considered a well established and monumented line.

This property appears to be located in Flood Zone "AE" with a Base Flood Elevation of 8.0 Feet, as per Federal Emergency Management Agency (FEMA) Community Number 120650 (City of Miami), Map Panel No. 0326, Suffix L, Map Revised Date: September 11, 2009.

REVISIONS

MAP OF BOUNDARY SURVEY

7140 Collins Avenue, Miami Beach, Florida 33141
for
24-7 RESTAURANT GROUP, INC.




HADONNE
PROFESSIONAL LAND SURVEYORS AND MAPPERS

1985 NW. 88th Court, Suite 202, Doral, Florida, 33172
Phone: 305.266.1188 • Fax: 305.207.6845 • www.hadonne.com

R. No.: 12231
F.B.: FILE
DRAWN BY: MJL
CHECKED BY: JS
1/1

Z:\12231 7140 Collins Avenue\dwg\12231 Update 09-25-12.dwg 9/27/2012 8:16:24 PM EDT

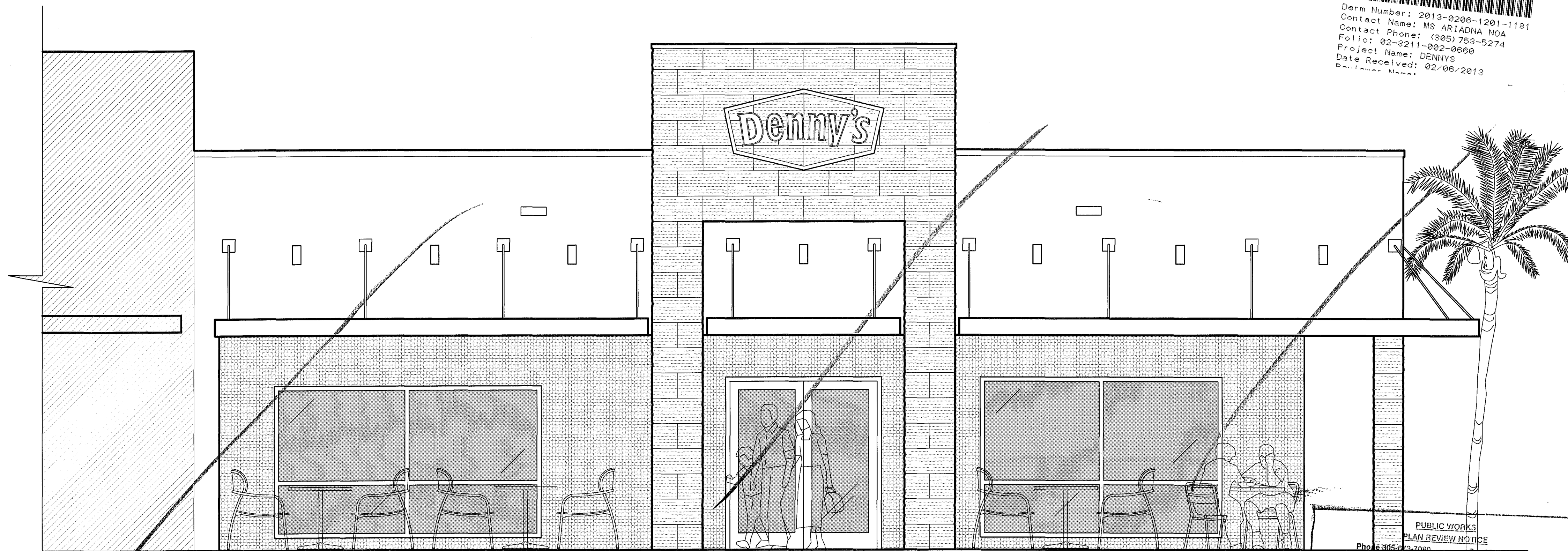
The Denny's logo, featuring the word "Denny's" in a stylized, bold, serif font with a thick black outline, set against a light gray background with a fine grid pattern. The logo is contained within a white-bordered hexagonal shape.

LEGAL DESCRIPTION:

DERM
PLAN REVIEW
FINAL
APPROVAL
DEPARTMENT OF ENVIRONMENTAL
RESOURCES MANAGEMENT

CORE REVIEWER (PRINT) Marya Tol
SIGNATURE Marya Tol DATE 3-13-13

Derm Number: 2013-0206-1201-118
Contact Name: MS ARIADNA NOA
Contact Phone: (305) 753-5274
Folio: 02-3211-002-0660
Project Name: DENNYS
Date Received: 02/06/2013
Developer Name:



PUBLIC WORKS
 PLANNING REVIEW NOTICE
 Photo: 04-14-2008
 Date: 05/17/08

THIS PLAN REVIEW CONSTITUTES APPROVAL FOR
 OBTAINING BUILDING PERMITS ONLY.

All construction and/or use of equipment in the right-of-way and/or
 easements, requires a separate Public Works Department permit prior
to start of construction.

Permit Requirements: Proof of existing sidewalk/curb area conditions
 (pictures) and/or posting of sidewalk/roadway bonds
 (Public Works Inspection of the right-of-way will be required prior to
 final sign-off on the C.C., C.O., or the release of bonds.)

Approved/Reviewed by: *[Signature]* Date: 05/17/08

48 HOURS

CONTRACTOR SHALL CALL FOR LOCATION
 OF UNDERGROUND UTILITIES
 800-ONE CALL 1-800-432-4770
 CITY OF MIAMI BEACH 305-673-7180

ARCHITECT:
RON FAIRCHILD, AR0016263
5980 N.E. 18th TERRACE
FORT LAUDERDALE, FL 33308
954. 547. 4682 phone
954. 776. 4793 fax
fairchildarchitecture@gmail.com
CONTACT PERSON: RON FAIRCHILD

LANDSCAPE ARCHITECT:
KIMBERLY MOYER, RLA
954. 492. 3609

PROJECT TEAM:

STRUCTURAL-ENGINEER:
BRYNTESEN STRUCTURAL ENGINEERS
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954. 568. 1411 phone
954. 568. 9367 fax
luke@bryntesen.com
CONTACT PERSON: LUKE MACGREGOR

MECHANICAL ENGINEER:
BUCHANAN P.E. CONSULTING, INC.
6191 W. ATLANTIC BLVD., SUITE #2
MARGATE, FL 33063
954. 590. 3300 phone
954. 590. 2232 fax
mepengineer@aol.com
CONTACT PERSON: RAJA BUCHANAN

Submittal Dates and Numbers:

DRB Submittal:	10 / 19 / 2012	DRB File Number:	22938
Demolition Permit:	12 / 19 / 2012	Demolition Process No.:	BD130072
Building Permit:	01 / 29 / 2013	Building Permit Number:	To be Determined
Health Department:	01 / 29 / 2013	Health Department:	To be Determined

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING:
ZONING:
DRB/HPB:
CONCURRENCY:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ELEVATOR:

M: 3-20-8
X 3/23/13 ✓ GDBH
X DRB 7/29/13
X 5/23/13
R.N. 4/1/13
~~R.N.~~ 6/10/13 / 10/08/13
Tim 05/17/13
5/21/13
R.N. 5/29/13
GDBH 05/17/13
Tim 6/13/13

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- D-202 DEMOLITION FLOOR PLAN
- D-203 STRUCTURAL SLAB DEMOLITION PLAN
- D-204 DEMOLITION EXTERIOR DETAILS
- A-1-1 PROJECT GENERAL NOTES AND SPECIFICATIONS
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- A-3-1 EXTERIOR ELEVATIONS
- A-4-1 WALL SECTIONS
- A-5-1 ARCHITECTURAL DETAILS
- A-5-2 ARCHITECTURAL DETAILS
- A-5-3 ARCHITECTURAL DETAILS
- A-6-1 FINISH PLAN
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52.1 ROOF FRAMING PLAN and WIND PRESSURES
53.0 STRUCTURAL DETAILS
53.1 STRUCTURAL DETAILS
54.0 STRUCTURAL NOTES and SCHEDULES

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M-2 MECHANICAL DETAILS
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E-3 ELECTRICAL SCHEDULES
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Food Service Equipment Drawings

FOOD SERVICE EQUIPMENT DRAWINGS

PS-1	FOOD SERVICE EQUIPMENT FLOOR PLAN
PS-1a	FOOD SERVICE EQUIPMENT SCHEDULES
PS-2	FOOD SERVICE EQUIPMENT CONDUIT PLAN
PS-3	EQUIPMENT ELECTRICAL CONNECTION POINT PLAN
PS-4	EQUIPMENT FLOOR SINK & PLUMBING CONNECTION POINT PLAN
PS-5	FOOD SERVICE EQUIPMENT HOOD PLAN
PS-6	FOOD SERVICE EQUIPMENT WALK-IN COOLER / FREEZER PLAN

☒ Landscaping

L-1 LANDSCAPE PLAN

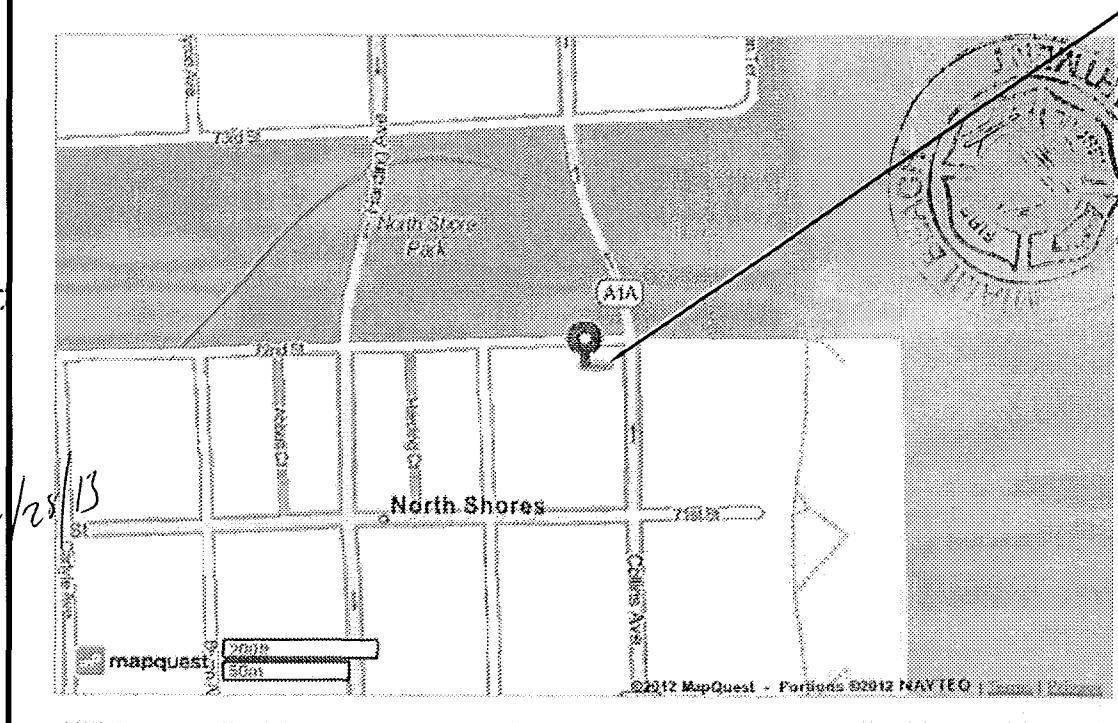
DRAWING REVISION LOG

Drawing Revision	Sheets Revised:	Date:
City Demo Permit Comments	D-0.2	12 /26/2012
County Demo Permit Comments	D-0.2	01/03/2013
General Revision (Windows, and Trees)	D-0.2	01/24/2013

NOTICE: In addition to the requirement of this poster, additional restrictions may apply to this property. The City of Miami Beach does not assume responsibility for the accuracy or completeness of information contained herein. Please refer to the applicable laws, rules, regulations, codes, ordinances, and other documents governing the use of this property.

Drawing Index

Renovation for Denny's at 7140 Collins Avenue, Miami Beach, FL –



Project Location Plan

PROFESSIONAL SEAL

02-01-13

RON FAIRCHILD
AR0016263

Ron
Fairchild
ARCHITECT

PHONE: 954-547-4682
FAX: 954-776-4793
EMAIL: FAIRCHILDARCH@GMAIL.COM

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NOT BE REPRODUCED IN ANY FORM WITHOUT
WRITTEN CONSENT FROM THE ARCHITECT.

Renovation for:

Denny's

7140 Collins Avenue
Miami Beach, Florida, 33141 - 3212

DRAWING REVISION DATES:

COVER SHEET HAS BEEN
DRAWING BOARD
and CODE

SHEET OF

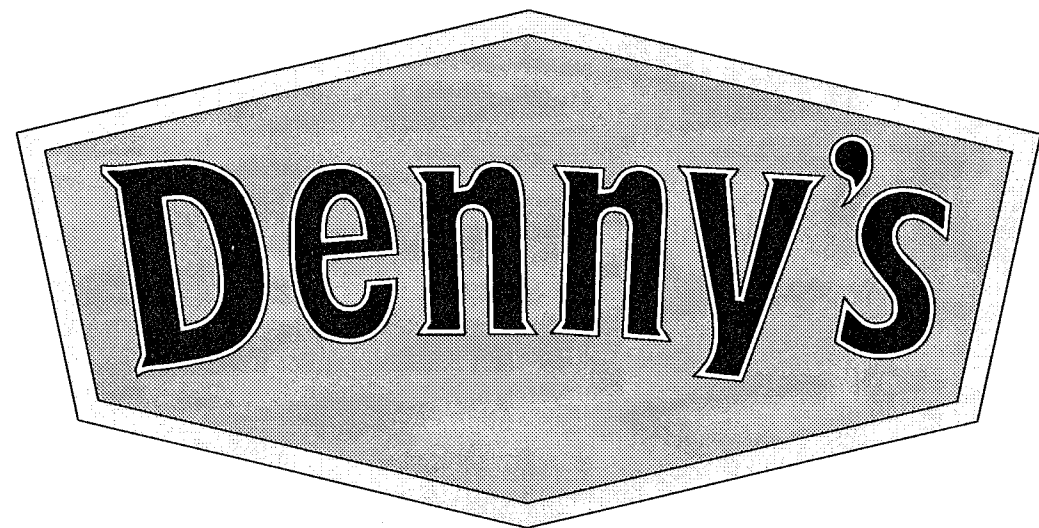


PROJECT: 12008

DATE: 01-31-13
O.D. COVER SHEET (DENNY'S AT COLLINS AVE)

FRONT

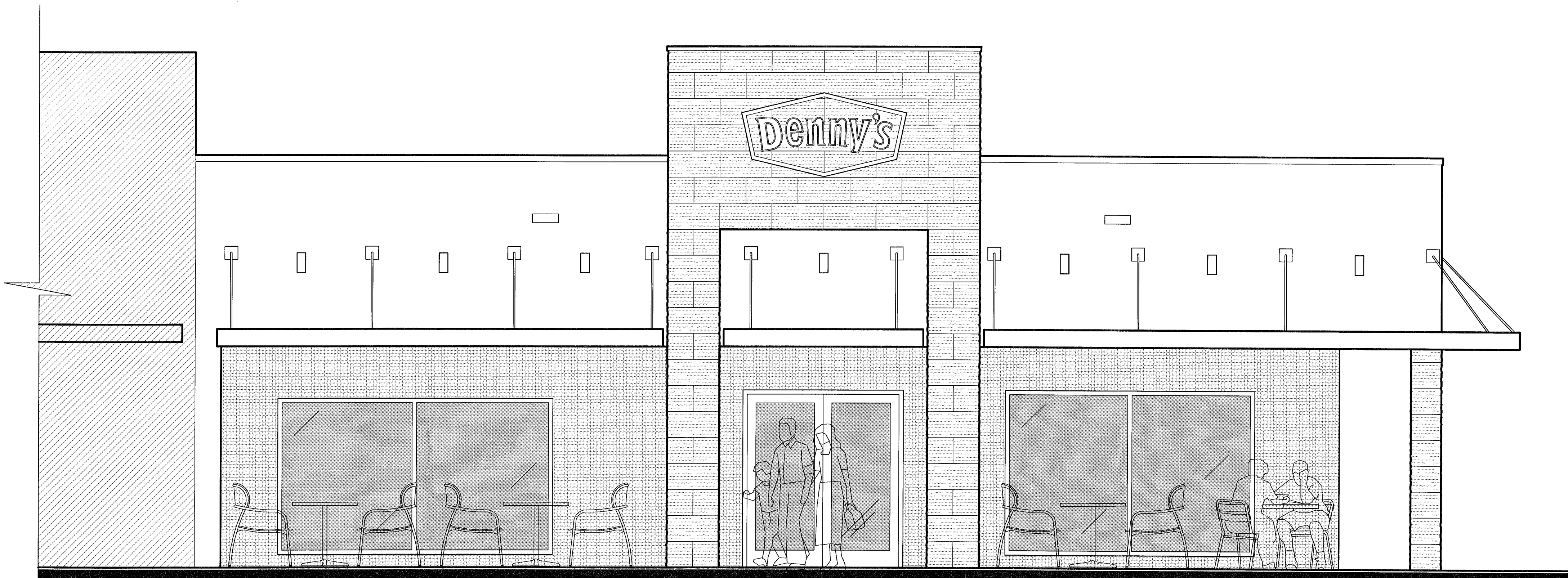
Renovation for:



7140 Collins Avenue, Miami Beach, FL 33141-3212

LEGAL DESCRIPTION:

LOTS 9, 10, 11, AND 12, IN BLOCK 8, "NORMANDY BEACH SOUTH", IN SECTION 2, TOWNSHIP 53 SOUTH, RANGE 42 EAST, CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA; RECORDED IN PLAT BOOK 21, PAGE 54, MIAMI-DADE COUNTY RECORDS



Front (East) Elevation as viewed on Collins Avenue

ARCHITECT:
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5980 N.E. 18th TERRACE
FORT LAUDERDALE, FL 33308
954. 547. 4682 phone
954. 776. 4793 fax
fairchildarchitecture@gmail.com
CONTACT PERSON: RON FAIRCHILD

LANDSCAPE ARCHITECT:
KIMBERLY MOYER, RLA
954. 492. 9603

PROJECT TEAM:

STRUCTURAL ENGINEER:
BRYNTESEN STRUCTURAL ENGINEERS
3045 N. FEDERAL HIGHWAY, BUILDING 80
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luke@bryntesen.com
CONTACT PERSON: LUKE MACGREGOR

MECHANICAL ENGINEER:
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6191 W. ATLANTIC BLVD., SUITE #2
MARGATE, FL 33063
954. 590. 3300 phone
954. 590. 2232 fax
mepengineer@aol.com
CONTACT PERSON: RAJA BUCHANAN, P.E.

Submittal Dates and Numbers:

DRB Submittal: 10 / 19 / 2012
Demolition Permit: 12 / 19 / 2012
Building Permit: 01 / 29 / 2013
Health Department: 01 / 29 / 2013

DRB File Number: 22938
Demolition Process No.: BD130072
Building Permit Number: B1302198
Log Number: HQ-13-3372 (App. Nmbr. 723692)

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D-0.4 DEMOLITION ELEVATIONS
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A-1.1 PROJECT SITE PLAN with Zoning Data Tabulation
A-2.0 LIFE SAFETY PLAN
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A-7.1 WINDOW and DOOR SCHEDULES

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S2.1 ROOF FRAMING PLAN and WIND PRESSURES
S3.0 STRUCTURAL DETAILS
S3.1 STRUCTURAL DETAILS
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FS-2 FOOD SERVICE EQUIPMENT CONDUIT PLAN
FS-3 EQUIPMENT ELECTRICAL CONNECTION POINT PLAN
FS-4 EQUIPMENT FLOOR SINK & PLUMBING CONNECTION POINT PLAN
FS-5 FOOD SERVICE EQUIPMENT WALK-IN COOLER / FREEZER PLAN
Q101625 WALK-IN COOLER and FREEZER SHOP DRAWINGS (ATTACHMENT)

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HOOD-2 HOOD DUCT DETAILS, AND ELECTRICAL WIRING DIAGRAM
FS-5 FOOD SERVICE EQUIPMENT HOOD PLAN
HOOD-4 ANSUL PLAN and DETAILS

Landscaping

L-1 LANDSCAPE PLAN

Irrigation

IR-1.1 IRRIGATION PLAN

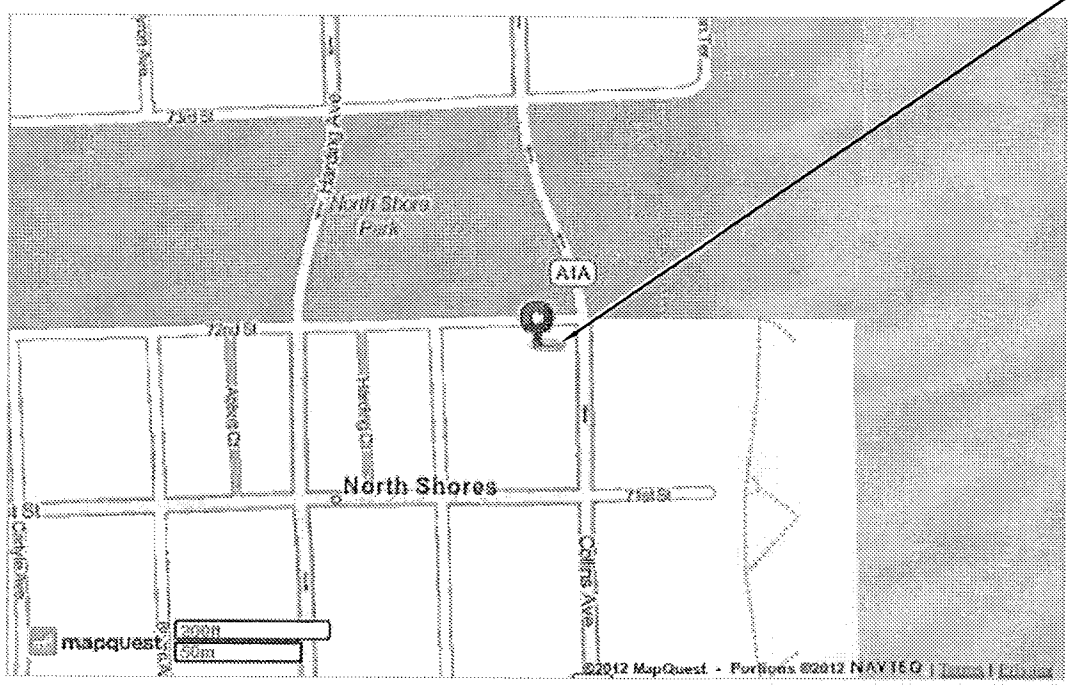
ADDED EXHAUST DUCT DUGS,
WALK-IN COOLER DUG, AND
IRRIGATION PLAN

DRAWING REVISION LOG

Drawing Revision	Sheets Revised:	Date:
City Demo Permit Comments	D-0.2	12 /26/2012
County Demo Permit Comments	D-0.2	01/03/2013
General Revision (Windows, and Trees)	D-0.2	01/24/2013
Permit Revisions: New Street Trees along 72nd St., Bike Rack, Revised roof equipment locations, Roof Equipment Screening, misc. permit revisions.	D-0.1, D-0.2, A-0.0, A-1.1, A-2.0, A-2.1, A-2.2, A-2.3, A-2.4, A-3.1, A-4.1, A-6.4, S1.0, S2.0, S2.1, S3.0, S3.1, S4.0, M-1, E-2, E-3, P-1, P-2, P-3, PH-1, FS-5, HOOD-1, HOOD-2, FS-5, HOOD-3, L-1, AND IR-1.1.	03/14/2013
Denny's Revisions: Added finish notes for quarry tile, and FRP. Added stained wood trim around windows, and 1x2 stained wood cap at ceilings of dining room. Restroom doors to be stain grade.	A-0.0, A-5.1, A-6.1, A-6.2, A-6.3, A-6.4, and A-7.1	03/25/2013
Permit Revisions (2nd Round): Lowered lunch counter to be HC accessible (05 / A-5.3). Removed blocked-up windows. Changed bike rack to Public Works Specs (06 / A-5.3).	A-0.0, A-1.1, A-2.0, A-2.1, A-3.1, A-4.1, A-5.1, A-5.3, A-6.2, A-6.3, A-7.1, E-1.1, FS-1, FS-1a, FS-2, FS-3, FS-4, HOOD-4.	04/12/2013

Drawing Index

Renovation for Denny's at 7140 Collins Avenue, Miami Beach, FL



Project Location Plan

PROFESSIONAL SEAL

05.14.13
RON FAIRCHILD
AR0016263

Ron Fairchild
ARCHITECT

PHONE: 954-547-4682
FAX: 954-776-4793
EMAIL: FAIRCHILDARCH@GMAIL.COM

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PLANS APPROVED
City of Miami Beach
Division of Planning

Renovation for:
Denny's at Collins Avenue
7140 Collins Avenue
Miami Beach, Florida, 33141 - 3212

DRAWING REVISION DATES:

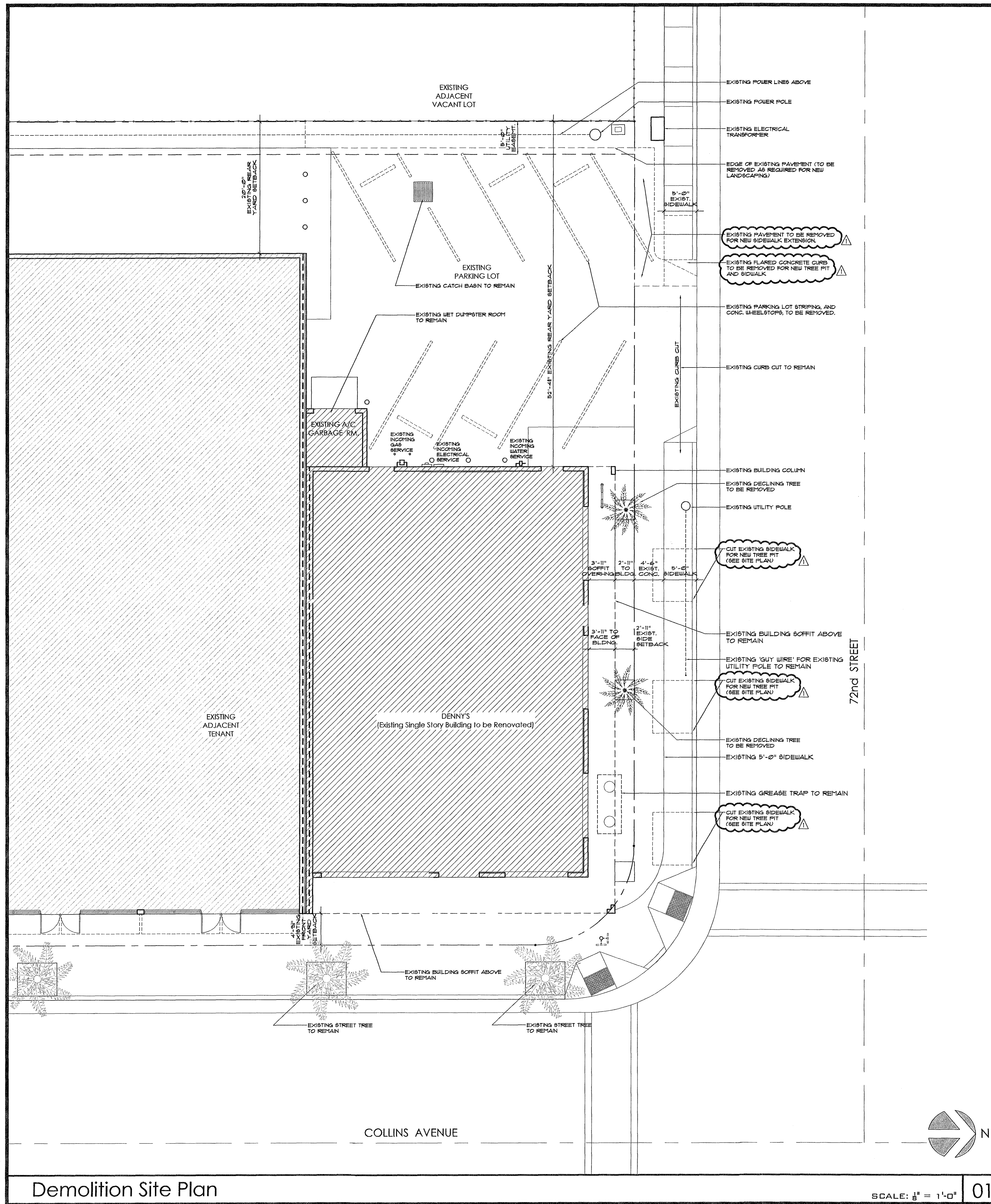
PERMIT REVISION
03/14/2013

COVER SHEET,
DRAWING INDEX,
and CODE DATA

SHEET

0.0

PROJECT: 12008
DATE: 01-31-13
D:\COVER SHEET\DENNY'S AT COLLINS AVE



Demolition Site Plan

SCALE: 1/8" = 1'-0" 01

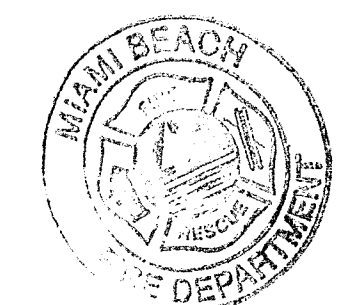
Demolition Notes

- D1. BEFORE STARTING DEMOLITION ALL AFFECTED UTILITIES SHALL BE DISCONNECTED UNLESS OTHERWISE INDICATED OR DIRECTED.
- D2. PROGRESS OF THE WORK.
- D3. THE WORK SHALL PROCEED IN SUCH MANNER AS TO MINIMIZE THE SPREAD OF DUST AND FLYING PARTICLES AND TO PROVIDE SAFE WORKING CONDITIONS FOR PERSONNEL.
- D4. PRECAUTIONS SHALL BE TAKEN TO:
- D5. CONTRACTOR SHALL CONFIRM THAT NONE OF THE EXISTING PARTITIONS TO BE REMOVED ARE LOAD BEARING. ANY QUESTIONS IN REGARD TO THIS SHALL BE DIRECTED TO THE ARCHITECT.
- D6. EXISTING PLUMBING VENTS, STUB OUTS, AND/OR PIPING SHALL BE PROPERLY 'CAPPED OFF' AFTER INITIAL DEMOLITION.
- D7. EXISTING ELECTRICAL WIRES AND/OR CONDUITS SHALL BE PROPERLY TAPED OR 'CAPPED OFF' AFTER INITIAL DEMOLITION.
- D8. PROPER SEQUENCING OF THE DEMOLITION WORK IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- D9. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE ANY NECESSARY FENCING, AND PROTECTIVE BARRIERS, BETWEEN THE WORK AREA AND THE EXISTING PUBLIC SIDEWALK.
- D10. PRIOR TO STARTING DEMOLITION, THE GENERAL CONTRACTOR SHALL REQUEST A COPY OF THE EXISTING BUILDING PLANS FROM THE ARCHITECT. UPON REQUEST, THE ARCHITECT SHALL EMAIL THE G.C. 'PDF' COPIES OF THE EXISTING PLANS FOR REFERENCE.

Demolition Permit

A SEPARATE DEMOLITION PERMIT WAS ISSUED FOR THIS PROJECT. THE DEMOLITION PERMIT NUMBER FOR THIS PROJECT IS BD130072.

City of Miami Beach
Fire Prevention Division
PLANS APPROVED



PROFESSIONAL SEAL

03-20-2013
RON FAIRCHILD
AR0016263

Ron Fairchild
ARCHITECT

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NOT BE REPRODUCED IN ANY FORM OR BY
ANY MEANS WITHOUT THE WRITTEN
CONSENT FROM THE ARCHITECT.

Renovation for:
Denny's at Collins Avenue

7140 Collins Avenue
Miami Beach, Florida, 33141 - 3212

DRAWING REVISION DATES:

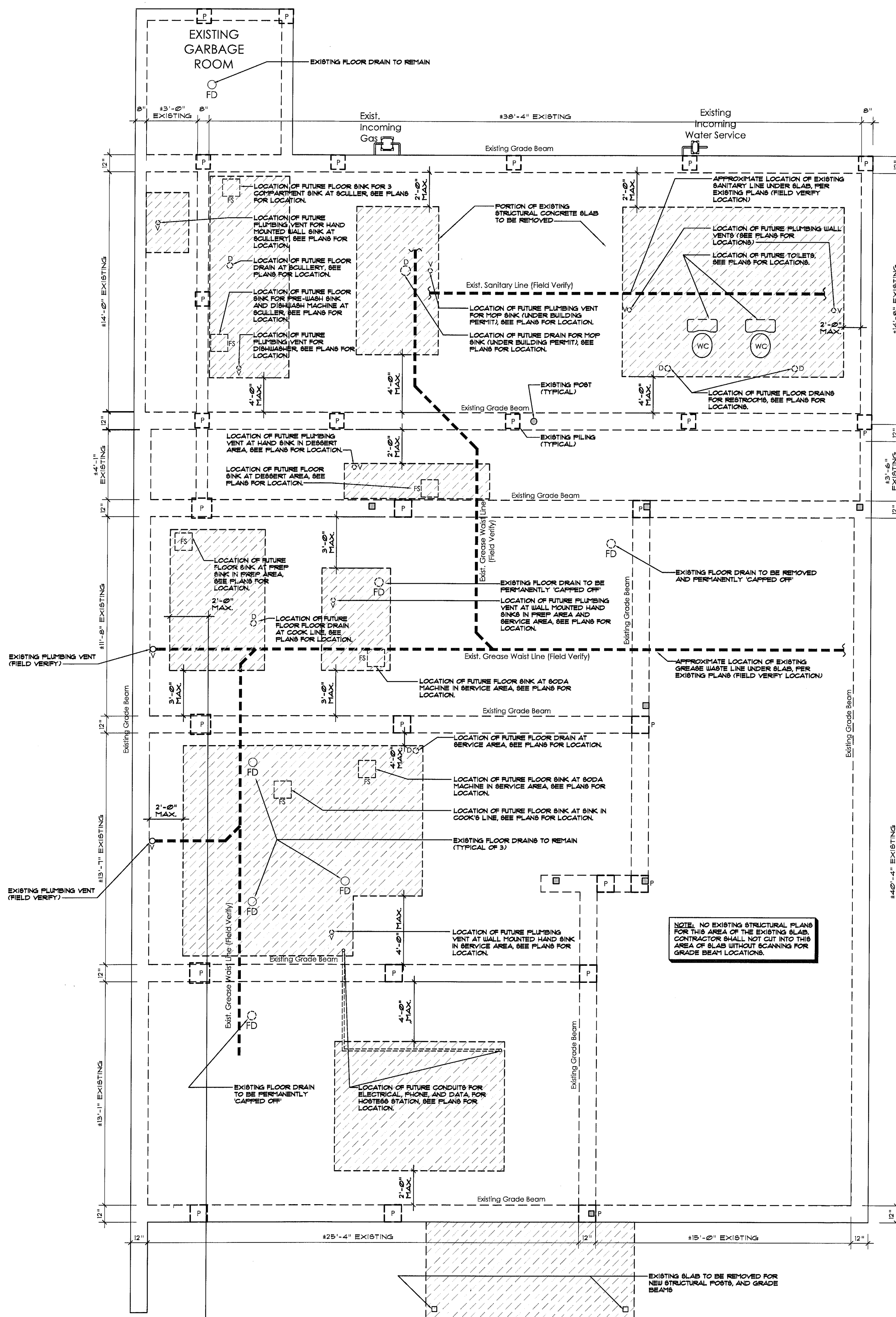
DRB REVISION	02/13/2013

Demolition
Site Plan

SHEET

D-0.1

PROJECT: 12008
DATE: 01-31-13
D-0.1 DEMO SITE PLAN (DENNY'S AT COLLINS)



Slab Demolition Notes

91. GENERAL CONTRACTOR SHALL OBTAIN A SET OF THE EXISTING BUILDING RECORD PLANS FROM THE ARCHITECT PRIOR TO DEMOLITION.
92. GENERAL CONTRACTOR SHALL OBTAIN A SET OF THE NEW CONSTRUCTION PLAN FROM THE ARCHITECT, PRIOR TO ANY DEMOLITION. THIS PLAN SHALL BE USED FOR REFERENCE ONLY, TO LOCATE FUTURE DRAINS, FLOOR SINKS, AND VENTS. NO NEW WORK IS TO BE DONE UNTIL A BUILDING PERMIT IS RECEIVED.
93. USING THE RECORD PLANS, AND THIS PLAN, THE GENERAL CONTRACTOR SHALL FIELD LOCATE THE EXISTING GRADE BEAMS (USING A METALLISCANNER, OR SIMILAR METHOD), PRIOR TO CUTTING OF THE SLAB.
94. GENERAL CONTRACTOR SHALL AVOID CUTTING OF ANY EXISTING GRADE BEAM, OR PILING CAP.
95. LOCATION OF SLAB CUTS SHOWN ARE APPROXIMATE. IT SHALL BE UP TO THE GENERAL CONTRACTOR TO FIELD COORDINATE THE ACTUAL EXTENTS OF EACH SLAB CUT OUT WITH THE APPROPRIATE SUB-CONTRACTORS. THE ARCHITECT SHALL BE NOTIFIED OF ANY MAJOR DEVIATIONS FROM THIS SLAB DEMOLITION PLAN.

PROFESSIONAL SEAL

02-01-13

RON FAIRCHILD
AR0016263

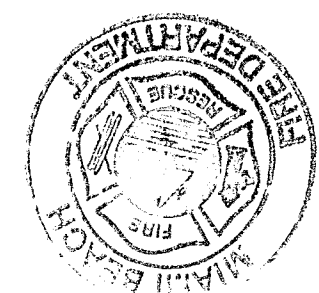
Ron Fairchild
ARCHITECT

PHONE: 954-547-4682
FAX: 954-776-4793
EMAIL: FAIRCHILDARCH@GMAIL.COM

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Renovation for:
Denny's at Collins Avenue
7140 Collins Avenue
Miami Beach, Florida, 33141 - 3212

City of Miami Beach
Fire Prevention Division
PLANS APPROVED



DRAWING REVISION DATES:

Existing Slab
Demolition Plan

SHEET

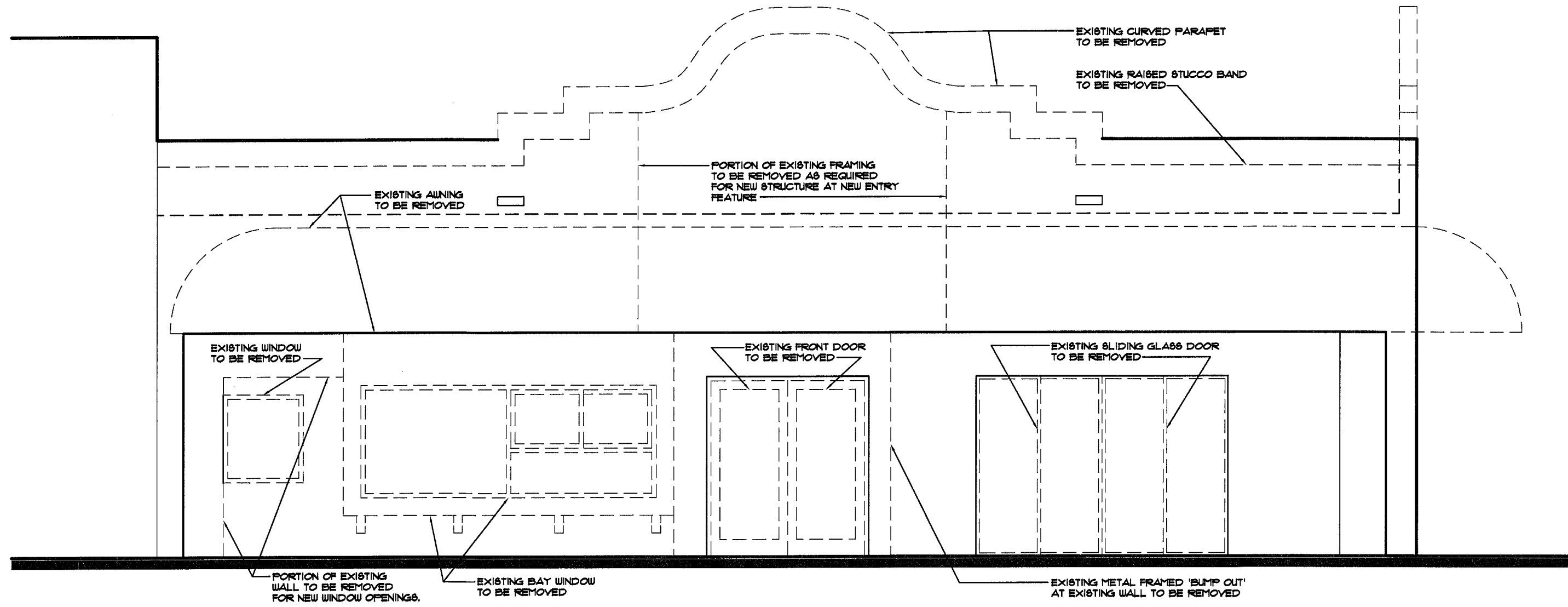
D-0.3

PROJECT: 12008
DATE: 01-31-13
D-0.3 SLAB DEMO LOCATIONS AT COLLINS AVE

Existing Slab Demolition Plan

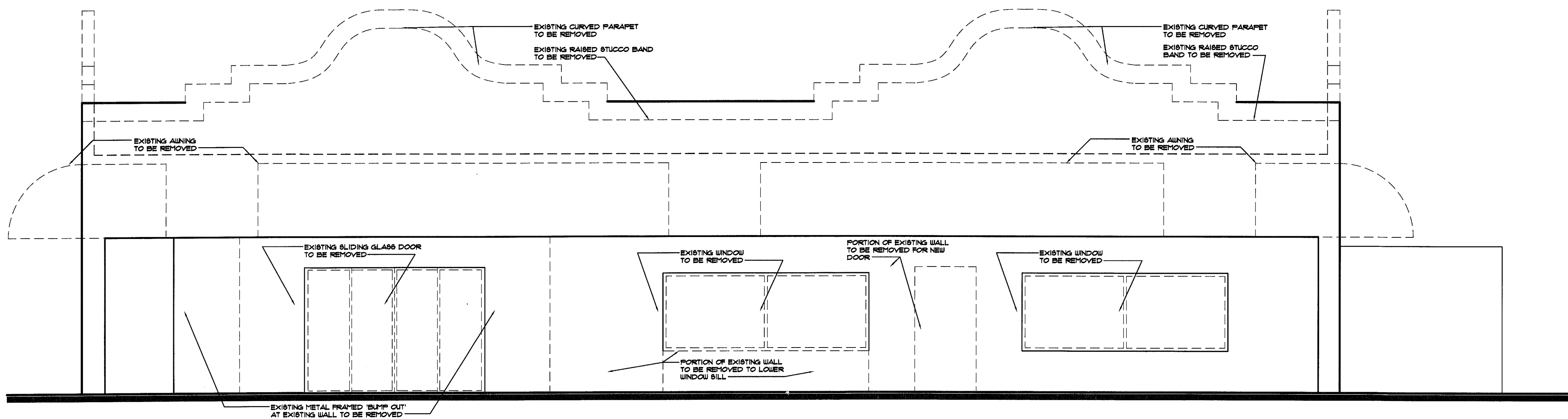
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01



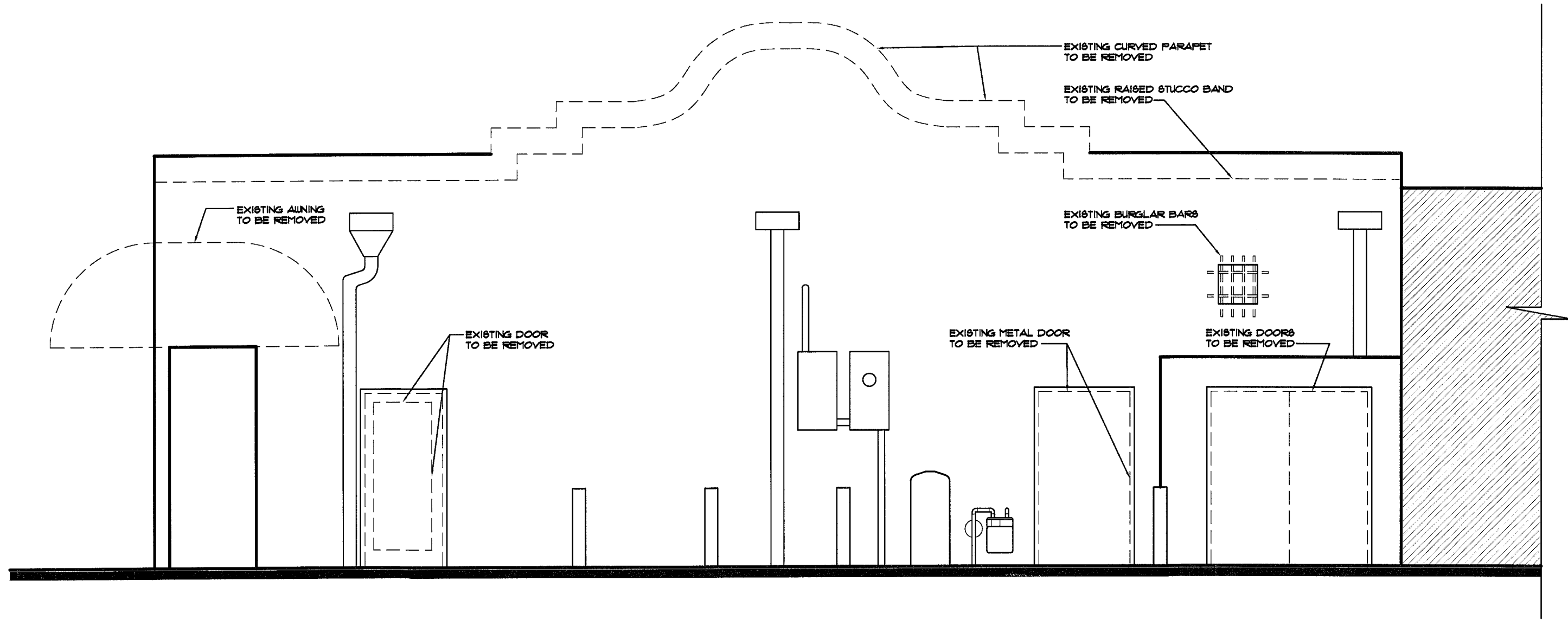
Front (East) Demolition Elevation

SCALE: 1/4" = 1'-0" 01



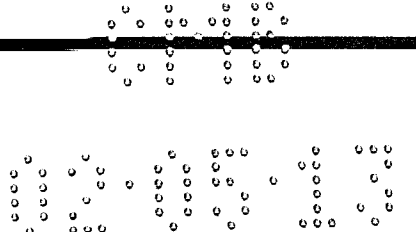
Side (North) Demolition Elevation

SCALE: 1/4" = 1'-0" 02



Rear (West) Demolition Elevation

SCALE: 1/4" = 1'-0" 03



PROFESSIONAL SEAL

Ron Fairchild

02-01-13

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Renovation for:

Denny's at Collins Avenue

7140 Collins Avenue
Miami Beach, Florida, 33141 - 3212

City of Miami Beach
Fire Prevention Division
PLANS APPROVED



DRAWING REVISION DATES:

Demolition
Elevations

SHEET

D-0.4

PROJECT: 12008
DATE: 01-31-13
D-0.4 DEMO ELEVATIONS (DENNY'S)

01000 GENERAL PROJECT NOTES

- 01001 ALL CONSTRUCTION METHODS, MATERIALS, INSTALLATIONS, ETC. SHALL MEET OR EXCEED ANY AND ALL APPLICABLE BUILDING CODES, INDUSTRY STANDARDS, AND LOCAL ORDINANCES.
- 01002 ALL SUBCONTRACTORS SHALL PROVIDE A COMPLETE AND OPERATING INSTALLATION INCLUDING ALL OBVIOUSLY NECESSARY ITEMS, EVEN THOUGH SUCH ITEMS MAY NOT BE INDICATED WITHIN THE CONSTRUCTION DOCUMENTS.
- 01003 ALL SUBCONTRACTORS SHALL MAKE A MANDATORY, PROPER EXAMINATION OF THE PROJECT SITE TO BECOME FAMILIARIZED WITH EXISTING CONDITIONS, AND CAREFULLY EXAMINE THE MOST RECENT/CURRENT CONSTRUCTION DOCUMENTS. THE ARCHITECT SHALL BE PROMPTLY NOTIFIED THROUGH THE GENERAL CONTRACTOR, OF ANY AMBIGUITY, INCONSISTENCY, OR ERROR WHICH MAY BE DISCOVERED UPON EXAMINATION OF THE CONSTRUCTION DOCUMENTS, OR OF THE SITE AND LOCAL CONDITIONS. NO EXTRA PAYMENTS SHALL BE APPROVED DUE TO ERRORS AND/OR OMISSIONS AFTER CONSTRUCTION HAS COMMENCED.
- 01004 IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS TO BID AND BUILD FROM THE MOST CURRENT, UP-TO-DATE, COMPLETE SET OF CONSTRUCTION DOCUMENTS. THE RELEASE AND USE OF PARTIAL SETS OF CONSTRUCTION DOCUMENTS DURING BIDDING AND/OR CONSTRUCTION SHALL NOT RELIEVE THE SUBCONTRACTOR'S RESPONSIBILITY FOR HIS WORK, OR COORDINATION OF WORK BY OTHER TRADES.
- 01005 WRITTEN DIMENSIONS GOVERN. DO NOT SCALE DRAWINGS. IF REQUIRED DIMENSIONS ARE NOT INDICATED, OR DIMENSIONS CONFLICT OR SEEM TO BE IN ERROR, PROMPTLY NOTIFY THE ARCHITECT FOR RESOLUTION.
- 01006 IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUBCONTRACTORS TO BE AWARE OF ALL REVIEW COMMENTS AND CORRECTIONS MADE TO THE DRAWINGS BY THE JURISDICTIONAL BUILDING DEPARTMENT UPON THE OFFICIAL SIGNED AND SEALED CONSTRUCTION DOCUMENTS PROJECT FIELD SET, AND SHALL INCORPORATE SAME WITHIN THE SCOPE OF WORK. IT SHALL ALSO BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY AND ALL FIELD CHANGES ORDERED BY JURISDICTIONAL INSPECTORS.
- 01006 ANY AND ALL SUBSTITUTIONS TO THE CONSTRUCTION DOCUMENTS, AND SPECIFICATIONS, MUST BE EQUAL IN PERFORMANCE AND APPEARANCE, AND MUST BE SUBMITTED TO THE ARCHITECT IN THE FORM OF AN ALTERNATE TO THE CONSTRUCTION DOCUMENTS. LETTER STATING EACH ITEM TO BE SUBSTITUTED, ALONG WITH CUT SHEETS FOR BOTH THE SPECIFIED PRODUCT AND ALTERNATE, ALLOW (10) DAYS REVIEW PERIOD FROM ARCHITECT'S RECEIPT OF SUBSTITUTION SUBMITTAL. APPROVAL OF SUBSTITUTIONS MUST BE OBTAINED PRIOR TO SUBMITTAL FOR SHOP DRAWING REVIEW. THE SUBCONTRACTOR BEARS ALL ADDITIONAL COSTS OF UNACCEPTABLE SUBSTITUTION IF USED IN ORIGINAL BID. THE SUBCONTRACTOR BEARS ALL ADDITIONAL COSTS FOR REMEDY IF UNAPPROVED SUBSTITUTION IS UTILIZED, AND DISCOVERED UNACCEPTABLE.
- 01007 SUBMIT (6) COPIES OF ALL SHOP DRAWINGS, OR SUBMITTALS, ARCHITECT AND ENGINEER SHALL RETAIN (1) COPY EACH OF REVIEWED SHOP DRAWINGS. (4) REVIEWED COPIES SHALL BE RETURNED TO THE GENERAL CONTRACTOR. IF MORE THAN (4) REVIEWED COPIES ARE REQUIRED FOR FIELD COORDINATION AND/OR SUBMITTALS TO THE CITY, THE GENERAL CONTRACTOR SHALL PROVIDE ADDITIONAL COPIES. GENERAL CONTRACTOR SHALL BE BILLED DIRECTLY FOR ADDITIONAL COPIES REQUIRED. TEN (10) WORKING DAYS SHOULD BE ESTIMATED FOR PROPER REVIEW OF SHOP DRAWINGS AND SUBMITTALS.
- 01008 THE FOLLOWING SHOP DRAWINGS WILL BE REQUIRED FROM THE SUBCONTRACTOR CONTRACTED FOR INSTALLATION (THE PRODUCTION OF THE REQUIRED SHOP DRAWING SHALL NOT BE CONSIDERED AN 'EXTRA').
- STRUCTURAL STEEL (POSTS, BEAMS)
- 01009 THE FOLLOWING SUBMITTAL CUT-SHEETS WILL BE REQUIRED FOR REVIEW FROM SUBCONTRACTORS CONTRACTED FOR INSTALLATION:
- PLUMBING FIXTURES
 - HVAC EQUIPMENT (INCLUDING REQUIRED CURBS)
 - ROOF MEMBRANE, AND FLASHINGS (W/ REQUIRED N.O.A.)
 - ROOF ASSEMBLIES (W/ REQUIRED N.O.A.)
 - DOORS AND HARDWARE
 - WINDOWS
 - COUNTERTOPS
 - CABINETRY AND MILLWORK
- 01010 IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO REVIEW ALL SHOP DRAWINGS AND SUBMITTALS PRIOR TO SUBMITTING SAME TO THE ARCHITECT. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ACTUAL/EXISTING CONDITIONS RELATING TO SHOP DRAWINGS AND/OR SUBMITTALS.
- 01011 NO RELATED WORK WILL BEGIN WITHOUT RELATED SHOP DRAWINGS AND/OR SUBMITTALS BEING APPROVED. THE SUBCONTRACTOR BEARS ALL COSTS IF CHANGES ARE REQUIRED OF WORK IN PLACE BECAUSE OF AFTER-THE-FACT REVIEW AND CHANGES IN SHOP DRAWINGS AND/OR SUBMITTALS.
- 01012 SUBSTITUTIONS WILL NOT BE CONSIDERED DUE TO SUBCONTRACTORS LACK OF PROPER AND TIMELY ORDERING, SCHEDULING AND/OR PLANNING.

02000 SITE WORK

- 02001 LOAD-BEARING FILL SHALL BE AS SCHEDULED IN THE STRUCTURAL DRAWINGS, AND GEO-TECHNICAL ENGINEER'S REPORT. ANY CONFLICTS OR DISCREPANCIES BETWEEN THESE SHALL BE BROUGHT TO ATTENTION OF THE ARCHITECT IMMEDIATELY.
- 02003 THE SOIL UNDER ALL INTERIOR FLOOR SLABS, AND ANY EXTERIOR SLABS WITHIN 12" OF THE BUILDING, SHALL RECEIVE AN APPLIED SOIL POISONING TREATMENT TO PREVENT THE INFESTATION OR SUBTERRANEAN TERMITES. THE SUB-CONTRACTOR WHO PROVIDES THIS SOIL PRE-TREATMENT SHALL PROVIDE ANY NECESSARY DOCUMENTATION TO THE JURISDICTIONAL AUTHORITY, IF REQUIRED.
- 02004 FINAL GRADING OF LANDSCAPED AREAS SHALL BE A COORDINATED EFFORT BETWEEN THE LANDSCAPE DESIGN INTENT AND CIVIL REQUIREMENTS. ANY CONFLICTS OR ERRORS BETWEEN THESE TWO DISCIPLINES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- 02005 FINISH GRADE SHALL ALWAYS SLOPE AWAY FROM THE BUILDING, UNLESS NOTED OTHERWISE.

03000 CONCRETE

- 03001 REFER TO THE CONSTRUCTION DOCUMENTS (STRUCTURAL, AND ARCHITECTURAL DRAWINGS) FOR REQUIREMENTS AND STANDARDS.
- 03002 INTERIOR CONCRETE FLOOR SLABS SHALL HAVE A SMOOTH STEEL TROQUEL FLAT FINISH WITH HARDENERS AND/OR SEALED IF INDICATED ON PLANS.
- 03003 EXTERIOR CONCRETE SLABS SHALL RECEIVE A LIGHT BROOK FINISH AND SHALL BE SLOPED AWAY FROM THE BUILDING FOR DRAINAGE.
- 03004 CONCRETE CONSTRUCTION JOINTS SHALL BE IN A MANNER CONSISTENT WITH INDUSTRY STANDARDS.
- 03005 EXPANSION JOINT FILLER SHALL BE INSTALLED AS PER APPLICABLE INDUSTRY STANDARDS.
- 03006 CONCRETE COVERAGE OVER REINFORCING STEEL SHALL BE AS STATED IN THE STRUCTURAL DRAWINGS.
- 03007 NO CONCRETE SHALL BE POURED IN FREEZING WEATHER, WHEN TEMPERATURE IS 40° F. AND FALLING, OR WHEN AMBIENT TEMPERATURE IS EXPECTED TO FALL BELOW FREEZING WITHIN 24 HOURS.
- 03008 REFER TO FIRE ASSEMBLY DETAILS IN THE ARCHITECTURAL DRAWINGS FOR ADDITIONAL CONCRETE REQUIREMENTS. ANY DISCREPANCY BETWEEN FIRE ASSEMBLY AND STRUCTURAL DRAWING REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

04000 MASONRY (C.M.U.)

- 04001 ALL CONCRETE MASONRY UNITS (CMU) SHALL COMPLY WITH GOVERNING CODES AND CURRENT ANSI REQUIREMENTS FOR MASONRY CONSTRUCTION. CONSULT STRUCTURAL DRAWINGS AND DETAILS FOR SPECIFIC INSTALLATION REQUIREMENTS.
- 04002 PROVIDE AND INSTALL ALL CONCRETE MASONRY UNITS (CMU), HORIZONTAL AND VERTICAL REINFORCEMENT, LINTELS, SILLS, AND RELATED MATERIALS REQUIRED FOR A COMPLETE AND OPERABLE INSTALLATION. REFER TO STRUCTURAL DRAWINGS FOR SPECIFIC INSTALLATION REQUIREMENTS.
- 04003 ALL MATERIALS USED SHALL BE NEW, AND SUITABLE FOR THE INTENDED USE, AND INSTALLED IN ACCORDANCE WITH INDUSTRY STANDARDS.
- 04004 LAY NO MASONRY IN FREEZING WEATHER, WHEN TEMPERATURE IS 40° F. AND FALLING, OR WHEN AMBIENT TEMPERATURE IS EXPECTED TO FALL BELOW FREEZING WITHIN 24 HOURS.
- 04005 PROVIDE MATERIALS AND CONSTRUCTION IDENTICAL TO FIRE RATED ASSEMBLIES, WHERE CMU CONSTRUCTION IS REQUIRED TO PROVIDE A FIRE RATING. SEE ARCHITECTURAL DRAWINGS FOR FIRE RATED ASSEMBLIES USED ON THIS PROJECT.

05000 METALS

- 05001 PROVIDE ALL STRUCTURAL STEEL, MISCELLANEOUS METALS, PLATES, BOLTS, ETC., REQUIRED FOR THIS WORK AS DESCRIBED IN THE CONSTRUCTION DOCUMENTS, OR REQUIRED FOR A COMPLETE AND OPERABLE FACILITY.
- 05002 ALL METALS SHALL BE NEW, SUITABLE FOR THE INTENDED USE, AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, AND THE APPROVED SHOP DRAWING.
- 05003 ALL METALS EXPOSED TO THE ELEMENTS SHALL BE GALVANIZED, OR FINISH AND PAINTED IN AN INDUSTRY STANDARD MANNER FOR EXTERIOR USE.
- 05004 CARE SHALL BE TAKEN BY THE SUBCONTRACTORS AND CONTRACTOR TO PREVENT GALVANIC ACTION/DETERIORATION FROM OCCURRING BETWEEN METAL(S) AND ADJACENT ASSEMBLIES/MATERIALS.
- 05005 ALL METAL STUDS (INTERIOR AND EXTERIOR) SHALL BE GALVANIZED, AND AS PER THE RANGE INDICATED ON THE ARCHITECTURAL AND STRUCTURAL DRAWINGS. ANY CONFLICTS BETWEEN THE ARCHITECTURAL AND STRUCTURAL DRAWINGS, AND INDUSTRY STANDARDS, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- 05006 SOLID METAL TRACK RUNNERS SHALL BE USED AT THE TOP AND BOTTOM OF ALL METAL STUD PARTITIONS.
- 05007 METAL STUD PARTITIONS SHALL BE BRACED FROM TOP OF THE PARTITION TO STRUCTURE ABOVE WITH CONTINUOUS METAL STUDS, OR A VERTICAL STUD BRACE AT 3'-0" O.C. AT A MINIMUM.
- 05008 ALL EXTERIOR METAL STUD WALL/SOFFIT ASSEMBLIES SHALL BE INSTALLED AS DETAILED IN THE ARCHITECTURAL OR STRUCTURAL DRAWINGS. A REQUEST FOR CLARIFICATION SHALL BE SUBMITTED TO THE ARCHITECT FOR ANY EXTERIOR METAL FINISHED ASSEMBLY WHICH IS NOT ADEQUATELY DETAILED IN THE DRAWINGS.

06000 WOOD

- 06001 PROVIDE ALL WOOD, NAILS, BOLTS, SCREWS, FRAMING ANCHORS, HURRICANE STRAPPING/ATTACHMENTS, AND OTHER HARDWARE NEEDED FOR FINISHED CARPENTRY, AS DESCRIBED IN THE CONSTRUCTION DOCUMENTS, OR REQUIRED FOR A COMPLETE AND OPERABLE FACILITY.
- 06002 ALL WOOD AND ASSOCIATED MATERIALS SHALL BE NEW, AND SUITABLE FOR THE INTENDED USE.
- 06003 ALL WOOD USED IN CONNECTION WITH ROOFING, FLASHING, AND WATERPROOFING SHALL BE PRESSURE TREATED.
- 06004 ALL WOOD IN CONTACT WITH MASONRY, METAL, OR LESS THAN 24" ABOVE THE GROUND SHALL BE PRESSURE TREATED.
- 06005 SECURELY ATTACH CARPENTRY WORK TO SUBSTRATES BY ANCHORING AND FASTENING AS INDICATED ON THE ARCHITECTURAL OR STRUCTURAL DRAWINGS, OR AS RECOGNIZED BY INDUSTRY STANDARDS.
- 06006 ALL EXTERIOR WOOD ASSEMBLIES SHALL HAVE HURRICANE STRAPPING/ATTACHMENTS, OR SHALL HAVE FASTENERS WITH MINIMUM SPACING AND PENETRATION AS INDICATED ON THE ARCHITECTURAL OR STRUCTURAL DRAWINGS. IF ANY EXTERIOR WOOD ASSEMBLIES ARE NOT ADEQUATELY DETAILED, PLEASE CONTACT THE ARCHITECT.
- 06007 ALL FASTENERS (NAILS, SCREWS, STRAPS, ETC.) USED IN THE ROOF ASSEMBLY, OR EXTERIOR SOFFITS, SHALL BE GALVANIZED.
- 06008 PROVIDE P.T. WOOD STUDS AT EACH SIDE OF DOOR JAMBS. CONSULT DOOR MANUFACTURER'S INSTALLATION REQUIREMENTS FOR POSSIBLE VARIATIONS FROM NORMAL INSTALLATION(S).
- 06009 PROVIDE WOOD GROUND, NAILERS, AND SLEEPERS WHERE INDICATED ON THE ARCHITECTURAL, STRUCTURAL, ELECTRICAL DRAWINGS, OR AS REQUIRED TO PROVIDE A COMPLETE AND OPERABLE FACILITY.

07000 THERMAL AND MOISTURE PROTECTION

- 07001 VAPEL BARRIER SHALL BE 6 mil. (MINIMUM) 'VISQUEEN' (OR APPROVED EQUAL) POLYETHYLENE AND LOCATED BELOW ALL INTERIOR FLOOR SLABS.
- 07002 ALL INSULATION SPECIFIED HEREIN SHALL BE INSTALLED TO ACHIEVE THE R-VALUE, AND THICKNESS (IF APPLICABLE), AS SPECIFIED WITHOUT GAPS OR VOIDS, USING NEW, UNDAMAGED MATERIALS ONLY.
- 07003 PARAPET FLASHING FOR MODIFIED BITUMEN ROOFING: FLASHING SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS. FLASHING SHEET METAL AND COUNTER FLASHING SHALL BE AS DESCRIBED HEREIN: 16-GAUGE GALVANIZED METAL 26-GAUGE MINIMUM AND SET IN APPROVED PLASTIC CEMENT AT ALL JOINTS, FASTEN PER F.B.C. AND MANUFACTURER'S RECOMMENDATION.
- 07004 AT NEW PARAPETS AT ENTRANCE FEATURE, PROVIDE 4" FIBER CANT STRIPS 1/2 ROLL HEIGHT OF SBS MEMBRANE.
- 07005 SEALANTS AND CAULKING AS WELL AS ALL RELATED ACCESSORY COMPONENTS SHALL BE PROVIDED AT LOCATIONS DESCRIBED HEREIN AND WHERE REQUIRED FOR WATERPROOF CONDITIONS, INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS FOR EACH PARTICULAR INSTALLATION AND SHALL ACHIEVE A TWENTY (20) YEAR LIFE EXPECTANCY.

08000 DOORS and WINDOWS

- 08001 REFER TO WINDOW AND DOOR SCHEDULE FOR SPECIFIC WINDOW AND DOOR TYPES. ALL WINDOWS AND DOORS SHALL BE IMPACT RATED, AND MEET WIND REQUIREMENTS AS SPECIFIED ON THE DOOR/WINDOW SCHEDULES, AND THE STRUCTURAL DRAWINGS.
- 08002 WOOD DOORS AND FRAMES SHALL BE AS DESCRIBED ON THE ARCHITECTURAL DOOR SCHEDULE, WITH HARDWARE AND RELATED ACCESSORIES. WOODWORK SHALL MEET ARCHITECTURAL WOODWORK INSTITUTE STANDARDS.

09000 FINISHES

- 09001 STUCCO, WHEN APPLIED OVER CONCRETE MASONRY UNITS (CMU), PROVIDE (2) COATS, 3/8" THICK MINIMUM. PROVIDE NECESSARY CONTROL JOINTS, OR EXPANSION JOINTS, PER INDUSTRY STANDARDS.
- OVER WOOD OR METAL FRAMING, PROVIDE (3) COATS, 3/8" THICK MINIMUM, APPLIED OVER SELF FURRING GALV. METAL LATH, OVER (1) LAYER OF 15" ROOFING FELT W/ IMPREGNATED ASPHALT.
- 09002 EXTERIOR METALS: ALL EXPOSED EXTERIOR METAL SHALL BE GALVANIZED, FIRE FINISHED, OR SHALL RECEIVE (2) COATS EXTERIOR ENAMEL, OR ONE (1) COAT IF INSTALLED WITH SHOP APPLIED PRIME COAT.
- 09003 INTERIOR DRYWALL: ALL INTERIOR DRYWALL SHALL BE AS DESCRIBED HEREIN AND INCLUDE ALL MATERIALS AND RELATED ACCESSORIES NEEDED FOR A COMPLETE AND PROPER INSTALLATION. WALLBOARD SHALL BE AS DESCRIBED AND DESCRIBED AND INSTALLED WITH ALL RELATED AND REQUIRED GALVANIZED CORNER REINFORCING, BEADS, ETC. APPLY GYPSUM WALLBOARD TO METAL FURRING OR STUDS, MINIMUM 25 GA. END JOINTS OVER FURRING OR STUDS, AS PER CODE. PROVIDE 2" TAPE EMBED, THREE COATS SPACKLING, SANDED SMOOTH AS PER MANUFACTURER'S STANDARDS FOR A UNIFORMLY SMOOTH, PAINTABLE SURFACE.
- 09004 INTERIOR FINISHES:
- A. ALL INTERIOR FINISHES SHALL MEET OR EXCEED THE REQUIREMENTS OF THE FLORIDA BUILDING CODE. THE GENERAL CONTRACTOR SHALL VERIFY THAT EACH FINISH MEETS OR EXCEEDS THESE REQUIREMENTS, PRIOR TO ORDERING, OR INSTALLATION.
- AS PER THE FLORIDA FIRE PREVENTION CODE (NFPA 101) SEC. 12.3.3, AND PER TABLE 603.5, THE MINIMUM INTERIOR FINISH CLASSIFICATIONS SHALL BE AS FOLLOWS:
- EXIT PASSAGEWAYS: CLASS 'A'
- EXIT ACCESS: CLASS 'A' OR 'B'
- ROOMS AND ENCLOSED SPACES: CLASS 'A', 'B', OR 'C'
- SEE FINISH PLAN AND INTERIOR ELEVATIONS FOR FINISH TYPES
- B. ALL INTERIOR FINISHES SHALL COMPLY WITH FLORIDA BUILDING CODE 2010 ED., CHAPTER 8, SECTION 803, FOR FINISH CLASSIFICATION, AND CLASSIFIED IN ACCORDANCE TO ASTM 84. FINISH TYPES SHALL BE AS FOLLOWS:
- CLASS 'A' FLAME SPREAD 0-25
- CLASS 'B' FLAME SPREAD 26-75
- CLASS 'C' FLAME SPREAD 76-200
- C. CHANGES IN LEVEL AT DOOR THRESHOLDS, OR AT TRANSITIONS BETWEEN FLOORING MATERIALS SHALL BE NO GREATER THAN 1/4 INCH WITH A BEVELED EDGE (WITH A SLOPE NO GREATER THAN 1:2). CHANGES IN LEVEL UP TO 1/4 INCH MAY BE VERTICAL, AND WITHOUT EDGE TREATMENT.
- D. ALL FINISHES MUST BE SMOOTH, NON-ABSORBANT, AND EASILY CLEANABLE. CURVED AND SEALED COVE BASE IS REQUIRED AT THE FLOOR/WALL JUNCTURE, EXCEPT THE DRAINING AREA.
- SEE INTERIOR ELEVATIONS, FINISH PLAN, AND THE FINISH SCHEDULE.
- E. BATHROOM WALLS, AND FLOORS, SHALL HAVE SMOOTH, HARD, NON-ABSORBANT FINISHES.

10000 KITCHEN EQUIPMENT

- 10001 REFER TO KITCHEN EQUIPMENT PLANS IN THIS SET OF DRAWINGS FOR NECESSARY CONNECTIONS (MECHANICAL, ELECTRICAL, PLUMBING, AND GAS).

11000 PLUMBING FIXTURES

- 11001 REFER TO PLUMBING FIXTURE LEGEND FOR ALL PLUMBING FIXTURE MANUFACTURER'S, MODELS, COLORS, AND INSTALLATION REQUIREMENTS.

12000 ELECTRICAL FIXTURES

- 12001 REFER TO THE REFLECTED CEILING PLAN FIXTURE LEGEND FOR ALL LIGHTING AND ELECTRICAL EQUIPMENT MANUFACTURER'S, MODELS, COLORS. ALSO REFER TO THE ELECTRICAL PLANS FOR FIXTURE REQUIREMENTS.

13000 MECHANICAL EQUIPMENT

- 13001 MECHANICAL (A/C) EQUIPMENT, DUCTWORK, AND DIFFUSERS SHALL BE AS PER THE MECHANICAL LEGEND AND NOTES IN THE MECHANICAL DRAWINGS. ANY ALTERNATES MUST BE SUBMITTED TO THE ARCHITECT AND ENGINEER FOR APPROVAL.

Abbrev./

Mark

ABV.

AFB.

AFG.

AGF.S.

ALUM.

AR.V.

BFF.

B.O.

BM.

CE

CMU.

CONC.

C/U

DIAM.

EXH.

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Description

- ABOVE
- ABOVE FINISHED FLOOR
- ABOVE FINISHED GRADE
- ABOVE GROUND FLOOR SLAB
- ALUMINUM
- ATTIC ROOF VENT
- BELOW FINISHED FLOOR
- BOTTOM OF
- BEAM
- CENTERLINE
- CONCRETE MASONRY UNITS (MASONRY)
- CONCRETE
- CONDENSING UNIT (CONDENSOR)
- DIAMETER
- EXHAUST
- EXTERIOR
- FLORIDA ACCESSIBILITY CODE
- FLORIDA BUILDING CODE
- FOOT (FEET)
- GALVANIZED
- GYPSUM (WALLBOARD)
- HIGH POINT
- INCH (INCHES)
- LOW POINT
- MASONRY OPENING
- METAL
- ON CENTER(S)
- TOP OF
- RADIUS
- REINFORCED
- RIGHT OF WAY
- RAIN WATER LEADER
- SCUPPER
- UNLESS NOTED OTHERWISE
- WITH
- WALLBOARD (GYPSUM)
- WALLTYPE INDICATOR
- DETAIL/SECTION INDICATOR
- SECTION MARK: INDICATES 'CUT LINE' FOR WALL SECTION. SEE SECTION NUMBER (TOP NUMBER) ON SHEET INDICATED (BOTTOM NUMBER).
- TARGET / ELEVATION MARK
- STEEL COLUMN: INDICATES STRUCTURAL STEEL COLUMN LOCATION, AND NUMBER. VERIFY STRUCTURAL DWGS FOR LAYOUT. REFER TO STRUCTURAL DWGS AND DETAILS FOR FOOTING AND CAP SIZE AND REINFORCEMENT.
- NEW WINDOW INDICATOR: NEW WINDOW NUMBER - SEE WINDOW SCHEDULE FOR DIMENSIONS AND REQUIRED WIND PRESSURES.
- NEW DOOR INDICATOR: NEW DOOR NUMBER - SEE DOOR SCHEDULE FOR DIMENSIONS AND REQUIRED WIND PRESSURES.
- ELEVATION CHANGE IN FLOOR SLAB/CEILING PLANE

City of Miami Beach
Fire Prevention Division
PLANS APPROVED



PROFESSIONAL SEAL

02.01.13

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AR0016263

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CONSENT: I, RON FAIRCHILD, ARCHITECT, HEREBY CONSENT TO THE REPRODUCTION OF THIS DOCUMENT IN ANY FORM WITHOUT WRITTEN CONSENT FROM THE ARCHITECT.

Renovation for:
Denny's at Collins Avenue
7140 Collins Avenue
Miami Beach, Florida, 33141 - 3212

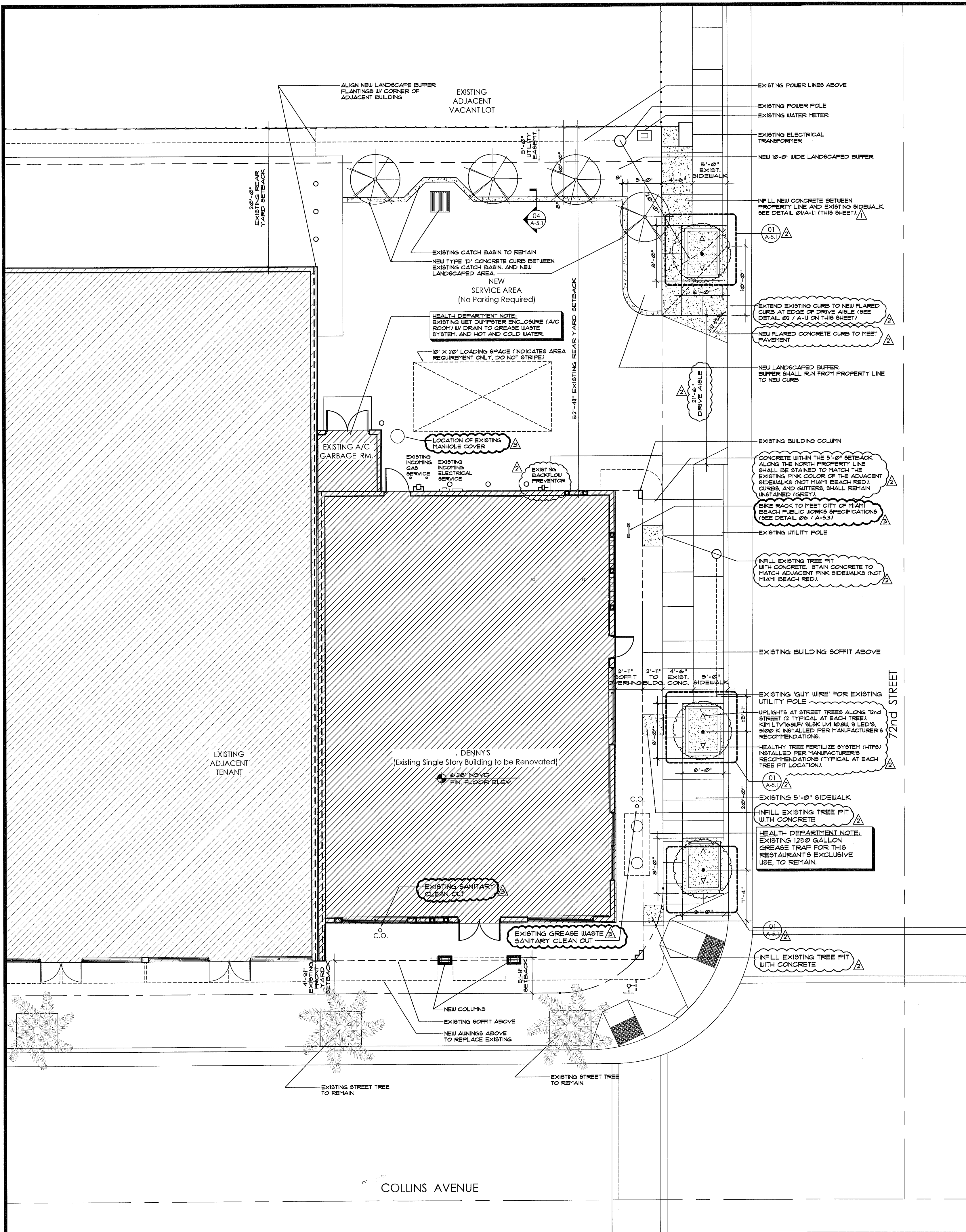
DRAWING REVISION DATES:

PROJECT GLOSSARY
and SPECIFICATIONS

SHEET

A-0.1

PROJECT: 1200B
DATE: 01-31-13
1200B_A-0.1_SPEGS



EXISTING SITE and USE DATA
EXISTING LOT (SITE) AREA: 24,952 S.F. (0.57 ACRES)
EXISTING ZONING DESIGNATION: TC-1
EXISTING LOT (SITE) USE: EXISTING RESTAURANT
CONCLUSION: THIS EXISTING USE IS ALLOWED IN ZONING DISTRICT TC-1, AS PER ZONING CODE SECTION 142-134

ZONING REQUIREMENTS for TC-1:
THE FOLLOWING ARE THE ZONING DIMENSIONAL REQUIREMENTS (PER ZONING SECTION 142-134):

Requirements	Required for TC-1	Provided for this Project
MAXIMUM FLOOR AREA RATIO (F.A.R.)	2.25 (FOR LOTS LESS THAN 45,000 S.F.)	.72
MAXIMUM BUILDING HEIGHT	75'-0"	13'-0" (EXISTING)
MAXIMUM NUMBER OF STORIES	1 STORY	1 STORY
MINIMUM LOT AREA	NONE (FOR COMMERCIAL)	N/A
MINIMUM LOT WIDTH	NONE (FOR COMMERCIAL)	N/A
MINIMUM APARTMENT UNIT SIZE	N/A (FOR COMMERCIAL)	N/A
AVERAGE APARTMENT UNIT SIZE	N/A (FOR COMMERCIAL)	N/A
MINIMUM FRONT YARD SETBACK	5'-0"	4'-3 1/4" EXISTING FRONT YARD SETBACK
MINIMUM SIDE SETBACK (FACING A STREET)	5'-0"	2'-11" EXISTING SIDE YARD SETBACK
MINIMUM INTERIOR SIDE SETBACK	0'-0"	N/A
MINIMUM REAR SETBACK	10'-0"	52'-4 3/4" EXISTING REAR YARD SETBACK

Project Scope and Area:
THE SCOPE FOR THIS PROJECT IS AS FOLLOWS:
1. INTERIOR RENOVATION OF THE EXISTING BUILDING. SEE ARCHITECTURAL, STRUCTURAL, AND M/E/P DRAWINGS FOR SPECIFICS.
2. MODIFICATION OF THE EXISTING BUILDING FACADE. SEE ARCHITECTURAL ELEVATIONS, AND THE STRUCTURAL PLANS FOR SPECIFICS.
3. THE EXISTING BUILDING ENTRANCE, AT THE EXTERIOR, IS TO BE MODIFIED AND RENOVATED. SEE THE ARCHITECTURAL, AND STRUCTURAL PLANS FOR SPECIFICS.
4. THE EXISTING PARKING AREA IS TO BE CHANGED INTO A SERVICE AREA. THE PAVED AREA IS TO BE REDUCED, AND NEW LANDSCAPED AREA, AND A CONCRETE CURB ARE TO BE ADDED.
5. THE EXISTING SIDEWALK TREE PITS ARE TO BE RENOVATED AS PER CITY OF MIAMI BEACH REQUIREMENTS.
THE AREA OF WORK FOR THIS PROJECT IS AS FOLLOWS:
AREA OF WORK:
EXISTING BUILDING GROSS AREA TO BE RENOVATED: 2,611 S.F.
COVERED ENTRANCE AT EXTERIOR TO BE RENOVATED: 12 S.F.
PAVED AREA TO BE REMOVED FOR NEW GREEN AREA: 559 S.F.
AREA OF SIDEWALK TREE PITS TO BE RENOVATED: 27 S.F.
TOTAL AREA OF INTERIOR AND EXTERIOR RENOVATIONS: 3,339 S.F.

ADDED RENOVATION SCOPE AND RENOVATION AREA

Building Code:
THE BUILDING CODE IN EFFECT FOR THIS PROJECT IS THE FLORIDA BUILDING CODE, EXISTING 2010.

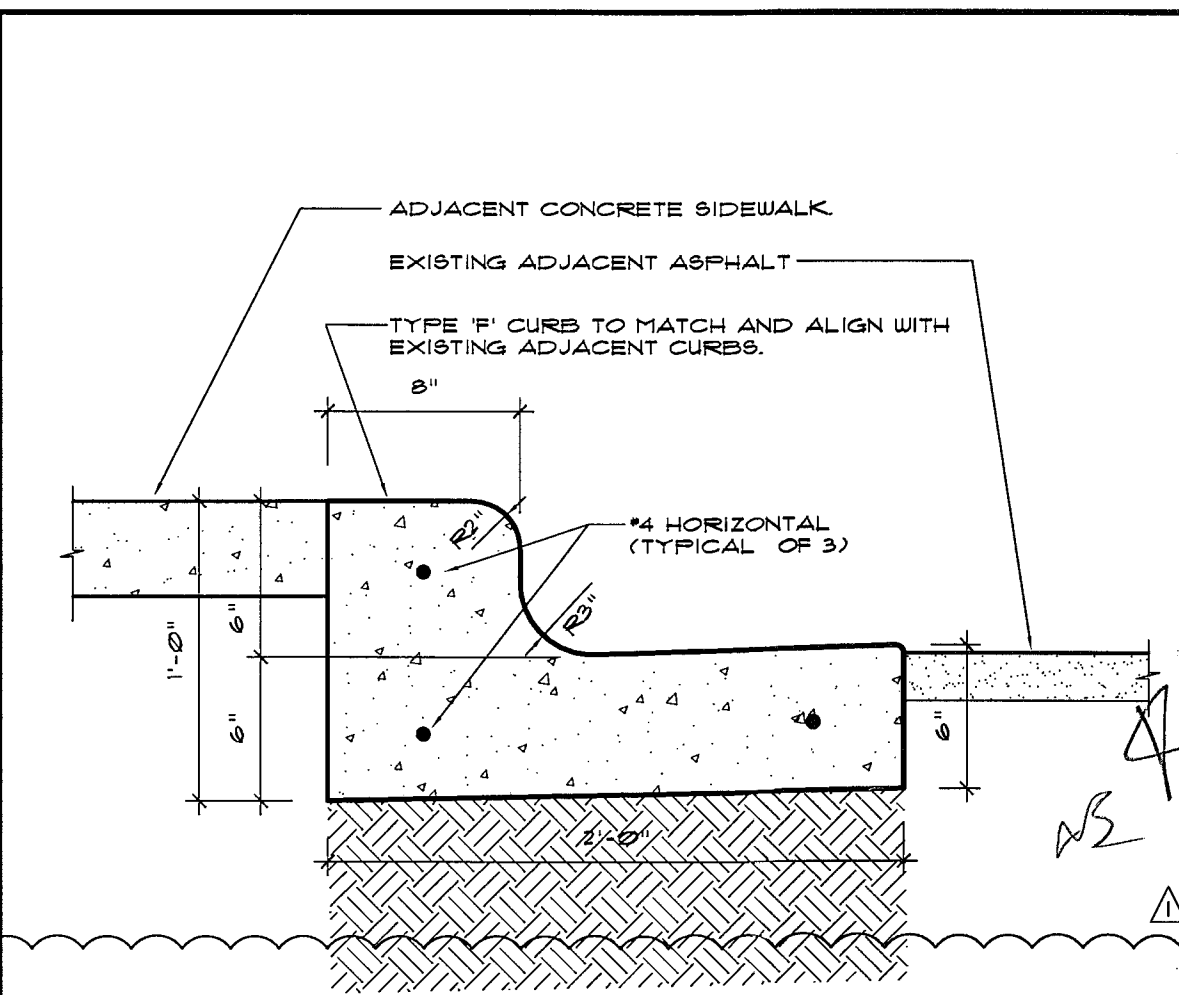
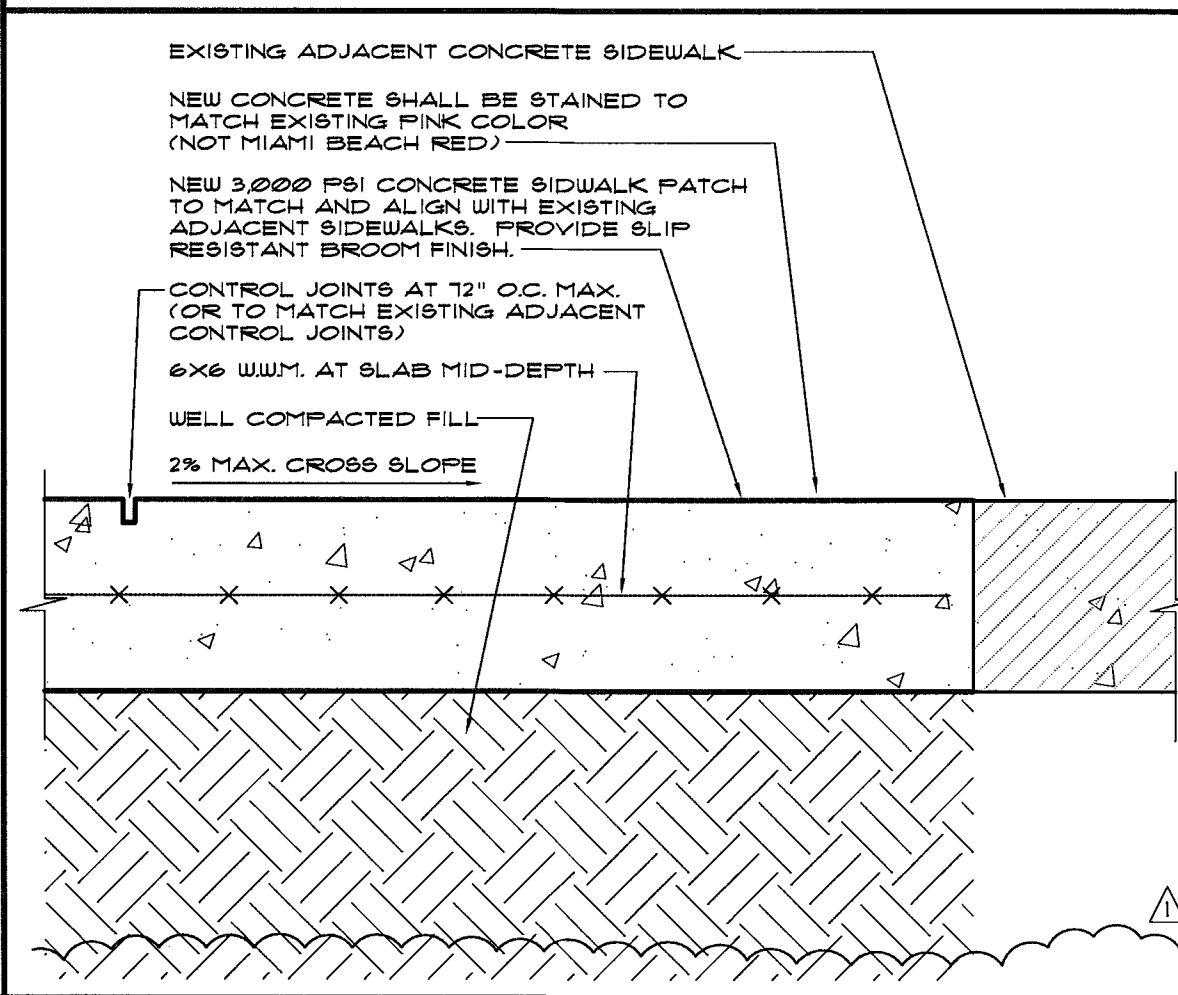
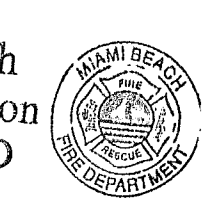
Tabulation of Pertinent Zoning Data:
THE FOLLOWING ARE THE ZONING DIMENSIONAL REQUIREMENTS (PER ZONING SECTION 142-134):

Pertinent Zoning Data	Required for TC-1	Provided for this Project
a. TOTAL NUMBER OF DWELLING UNITS:	N/A	N/A (NO DWELLING UNITS)
TOTAL AMOUNT OF OFFICE AREA:	N/A	N/A (NO OFFICE AREA)
TOTAL AMOUNT OF RETAIL/COMMERCIAL AREA:	N/A	17,853 S.F. OF SINGLE STORY RETAIL/RESTAURANT SPACE
MINIMUM/AVERAGE UNIT SIZE CALCULATION:	N/A	N/A (NO RESIDENTIAL UNITS)
b. TOTAL NUMBER OF PARKING SPACES/LOADING SPACES:	NO PARKING SPACES REQUIRED	NO PARKING SPACES (NONE REQUIRED)
	1 LOADING SPACE REQUIRED	1 LOADING SPACE
c. SETBACKS:		
FRONT:	5'-0" FRONT YARD SETBACK	4'-3 1/4" EXISTING FRONT YARD SETBACK
SIDE:	5'-0" SIDE YARD SETBACK (FACING STREET)	2'-11" EXISTING SIDE YARD SETBACK
REAR:	10'-0" REAR YARD SETBACK	52'-4 3/4" EXISTING REAR YARD SETBACK
d. BUILDING HEIGHT:		
HEIGHT TO TOP OF ROOF:	75'-0" ALLOWED	13'-0" TO TOP OF ROOF
HEIGHT TO HIGHEST NON-HABITABLE PROJECTION:	75'-0" ALLOWED	20'-0" TO TOP OF PARAPET
TOTAL NUMBER OF STORIES:	1 STORY ALLOWED	1 STORY EXISTING
e. FOR NEW CONSTRUCTION, PROVIDE F.A.R. CALCULATIONS, AND PLANS, FOR EACH FLOOR:	N/A	NOT APPLICABLE, EXISTING SINGLE STORY BUILDING. NO NEW CONSTRUCTION.
f. OPEN SPACE CALCULATIONS, IF APPLICABLE:	N/A	N/A (NOT APPLICABLE)

Site Area Tabulation (Pervious Area)

EXISTING PROPERTY AREA: (125.00' D. X 200.00' W. EXCL. 15' RAD.)	24,952 S.F. (0.57 ACRES)
SITE AREA TABULATION:	
EXISTING BUILDING AREA:	17,853 S.F. 71.5% OF SITE
LOADING AREA:	1,811 S.F. 7.6% OF SITE
CONCRETE SIDEWALKS AND CURBS:	4,046 S.F. 16.2% OF SITE
LANDSCAPED / PERVIOUS AREA	1,182 S.F. 4.7% OF SITE
TOTAL SITE AREA:	24,952 S.F. 100.0% OF SITE

City of Miami Beach
Fire Prevention Division
PLANS APPROVED



Project Site Plan

Sidewalk Patch Detail

Type 'F' Curb Patch Detail

PROFESSIONAL SEAL
05.14.13
RON FAIRCHILD
AR0016263

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ARCHITECT

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Renovation for:
Denny's at Collins Avenue
7140 Collins Avenue
Miami Beach, Florida, 33141 - 3212

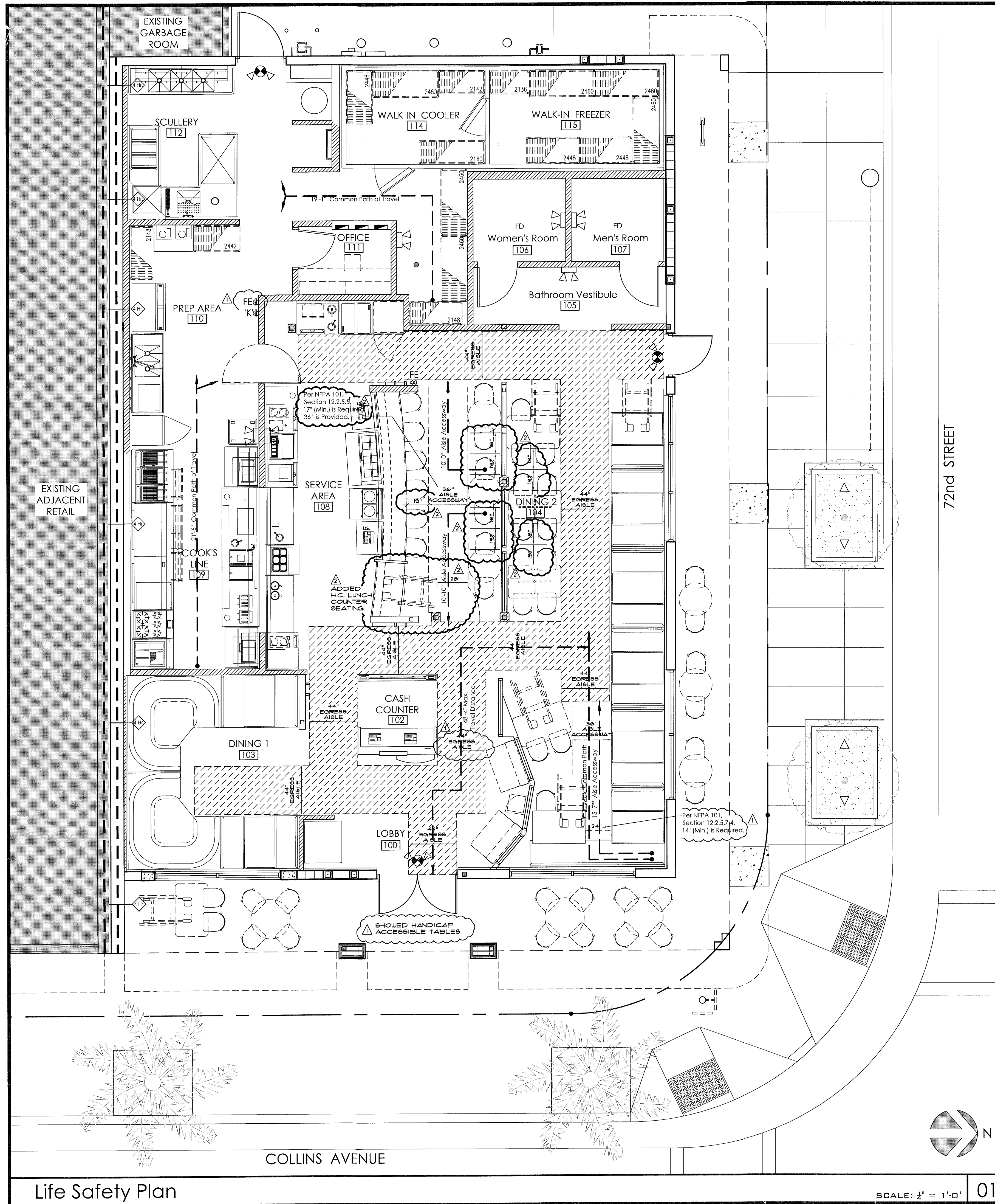
DRAWING REVISION DATES:

PERMIT REVISION	02/14/2013
DES REVISIONS	02/13/2013
PERMIT REVISION	04/12/2013

Project Site Plan

SHEET
A-1.1

PROJECT: 12008
DATE: 01-31-13
X1-1, SITE PLAN (DESIGNED BY COLLINS AVENUE)



LIFE SAFETY PLAN LEGEND

- EGRESS AISLE:**
INDICATES REQUIRED MEANS OF EGRESS
- EGRESS AISLE ACCESSWAY:**
INDICATES AISLE ACCESSWAY LEADING TO EGRESS AISLE
- EXISTING 4 HOUR RATED FIRE WALL:**
SEE U.L. DETAIL 01 / A-5.3.
THERE ARE NO EXISTING PENETRATIONS THROUGH THIS WALL, AND, NO NEW PENETRATIONS ARE TO BE MADE FOR THIS PROJECT.
- NEW WALL, OR CEILING, MOUNTED EXIT SIGN WITH 90 MINUTE BATTERY BACK-UP:**
PROVIDE DIRECTIONAL ARROWS WHERE INDICATED ON PLAN.
- NEW WALL, OR CEILING, MOUNTED EXIT SIGN W/ EMERGENCY LIGHT, AND 90 MINUTE BATTERY BACK-UP:**
PROVIDE DIRECTIONAL ARROWS WHERE INDICATED ON PLAN.
- CEILING / WALL MOUNTED EMERGENCY LIGHT W/ 90 MINUTE BATTERY BACK-UP:**
- WALL MOUNTED FIRE EXTINGUISHER (5 lb. ABC SERIES):**
- WALL MOUNTED 'K' SERIES FIRE EXTINGUISHER:**

FINISH CLASSIFICATIONS

ALL INTERIOR FINISHES SHALL MEET OR EXCEED THE REQUIREMENTS OF THE FLORIDA BUILDING CODE. THE GENERAL CONTRACTOR SHALL VERIFY THAT EACH FINISH MEETS OR EXCEEDS THESE REQUIREMENTS, PRIOR TO ORDERING, OR INSTALLATION.

AS PER THE FLORIDA FIRE PREVENTION CODE (NFPA 101) SEC. 12.3.3, AND FBC TABLE 803.5, THE MINIMUM INTERIOR FINISH CLASSIFICATIONS SHALL BE AS FOLLOWS:

EXIT PASSAGEWAYS: CLASS 'A'

EXIT ACCESS: CLASS 'A' OR 'B'

ROOMS AND ENCLOSED SPACES: CLASS 'A', 'B', OR 'C'

SEE FINISH PLAN AND INTERIOR ELEVATIONS FOR FINISH TYPES

ALL INTERIOR FINISHES SHALL COMPLY WITH FLORIDA BUILDING CODE 2010 ED. CHAPTER 9, SECTION 903, TABLE 803.5 AND CLASSIFIED IN ACCORDANCE TO ASTM E-84. FINISH TYPES SHALL BE AS FOLLOWS:

CLASS 'A' FLAME SPREAD 0-25

CLASS 'B' FLAME SPREAD 26-75

CLASS 'C' FLAME SPREAD 76-200

ALL INTERIOR FINISHES SHALL COMPLY WITH NFPA 101 TABLE A-10.2.2 2009 EDITION.

CODES AND EDITIONS USED:

THE CODES AND EDITIONS, USED FOR THE DESIGN OF THESE PLANS ARE AS FOLLOWS:

NFPA 101 - 2009 Edition

NFPA 1009

NFPA 96 2008 Edition

This Work Complies with the Florida Fire Prevention Code 2010 Edition

Signs to be Posted at all Exits:

SIGNS SHALL BE POSTED BESIDE ALL 3 EXIT DOORS WHICH READ AS FOLLOWS:

Exit doors shall remain unlocked while the building is occupied

NUMBER OF OCCUPANTS BY AREA:

AREA	SQ. FEET	SQ. FT. per OCCUPANT	OCCUPANTS
INDOOR DINING AREA	551 S.F.	15 S.F. NET	38
SERVICE COUNTER	17'-0" L. 4 X 17'-0" / 1 = 3.7		10
SERVICE AREAS	295 S.F.	100 S.F.	3
WAITING AREA	12 S.F.	3 S.F. NET	24
EGRESS AISLES	634 S.F.	N/A	0
BATHROOMS/VESTIBULE	105 S.F.	N/A	0
OCCUPANTS OF DINING ROOM BY AREA			75
COOK / PREP AREA	531 S.F.	100 S.F. NET	6
STORAGE AREA	291 S.F.	300 S.F.	3
OFFICE	49 S.F.	100 S.F. NET	1
OCCUPANTS OF FOOD PREP BY AREA			10
TOTAL NUMBER OF OCCUPANTS BY AREA			85

NUMBER OF OCCUPANTS BY SEATS:

NUMBER OF SEATS BY TABLE TYPE:	OCCUPANTS:
(4) INDOOR 4 TOP TABLES	16
(3) INDOOR 2 TOP TABLES	6
(8) INDOOR BOOTHS - SEATING 4 PERSONS EACH	36
(2) INDOOR BOOTHS - SEATING 8 PERSONS EACH	16
(8) BAR SEATS AT SERVICE AREA COUNTER	8
(2) LOVE SEATS AT WAITING AREA	4
TOTAL NUMBER OF SEATS AT INTERIOR DINING AREA	86
TOTAL NUMBER OF OUTDOOR SEATS	22
TOTAL NUMBER OF EMPLOYEES	12

LIFE SAFETY REQUIREMENTS:

TOTAL GROSS AREA FOR THIS PROJECT:	2,708 S.F.
TOTAL NUMBER OF OCCUPANTS: (at INTERIOR BY SEATS and EMPLOYEES)	98
FIRE SPRINKLERS PROVIDED:	NO
FIRE ALARM REQUIRED:	NO
NUMBER OF MEANS OF EGRESS REQUIRED:	(2)
NUMBER OF MEANS OF EGRESS PROVIDED:	(2)
MAXIMUM TRAVEL DISTANCE ALLOWED:	150'-0"
MAX. TRAVEL DISTANCE for THIS PROJECT:	51'-8"
MAXIMUM 'COMMON PATH' ALLOWED:	
FOR AREAS WITH MORE THAN 50 PERSONS	20'-0"
FOR AREAS WITH LESS THAN 50 PERSONS	75'-0"
MAX. COMMON PATH FOR THIS PROJECT:	21'-5"
MAXIMUM 'DEAD END' ALLOWED:	20'-0"
MAX. 'DEAD END' for THIS PROJECT:	N/A (NO DEAD ENDS)
MIN. EGRESS AISLE WIDTH REQUIRED:	44"
MIN. EGRESS AISLE WIDTH PROVIDED:	44"
FIRE EXTINGUISHERS REQUIRED: (1 F.E. PER 2,500 S.F.)	2,708 S.F. / 2,500 = 1.1 = (2) F.E.
NUMBER OF FIRE EXTINGUISHERS PROVIDED:	(2) F.E.

FIRE EXTINGUISHER CALCULATIONS:

FIRE EXTINGUISHERS REQUIRED:
(1 F.E. PER 2,500 S.F.) TOTAL AREA 2,708 S.F. = 1.1 F.E.

NUMBER OF FIRE EXTINGUISHERS PROVIDED: (2)

NOTE: (1) TYPE 'K' FIRE EXTINGUISHER SHALL BE PROVIDED AT THE FOOD PREP AREA

City of Miami Beach
Fire Prevention Division
PLANS APPROVED



PROFESSIONAL SEAL

05.19.13
RON FAIRCHILD
ARCHITECT

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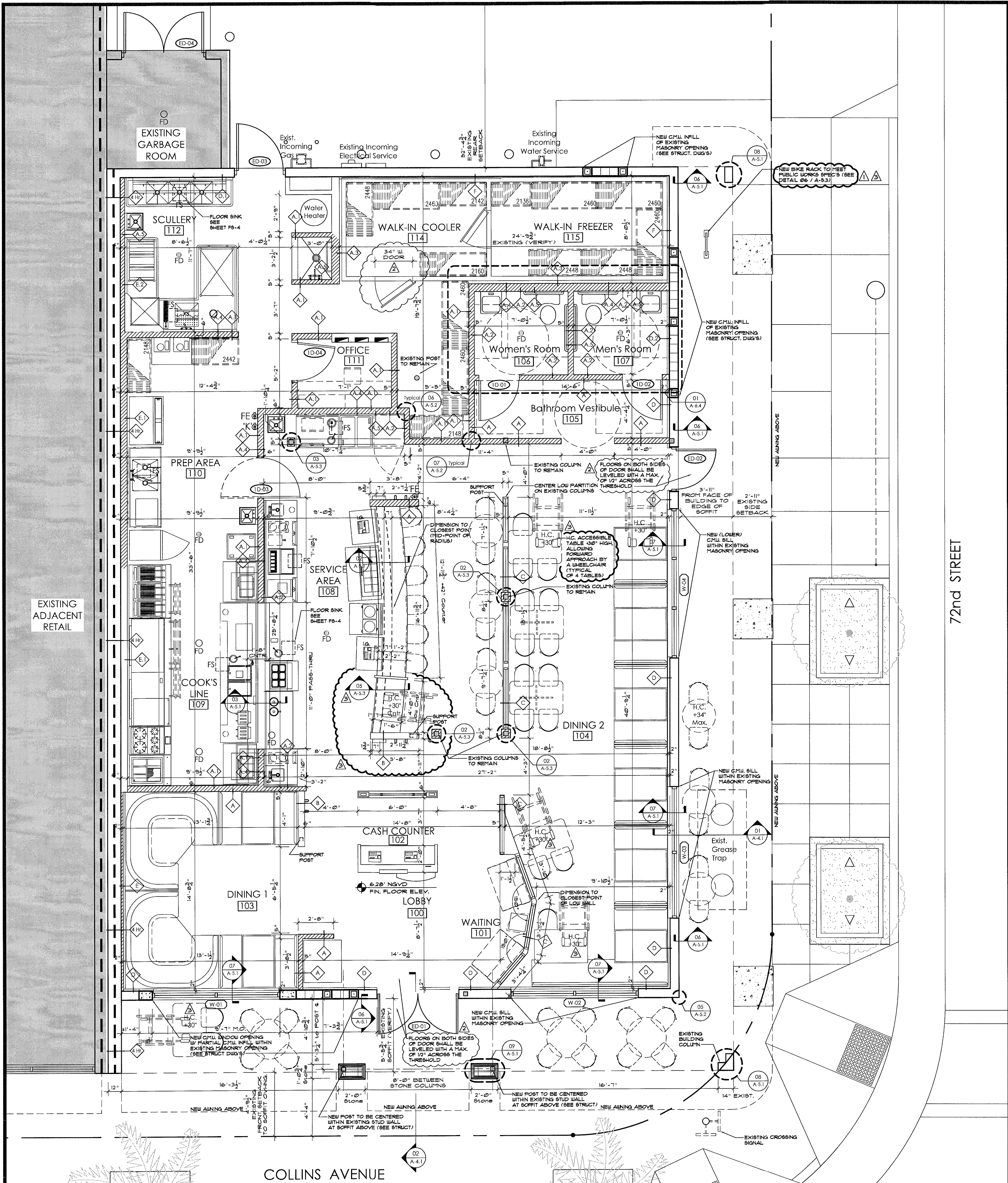
Renovation for:
Denny's at Collins Avenue
7140 Collins Avenue
Miami Beach, Florida, 33141 - 3212

DRAWING REVISION DATES:
△ PERMIT REVISION
07/06/2013
△ PERMIT REVISION
04/12/2013

Life Safety Plan

SHEET
A-2.0

PROJECT: 12008
DATE: 01-31-13
A-2.0 LIFE SAFETY PLAN (DENNY'S)



PLAN LEGEND

EXISTING MASONRY (CMU) WALL TO REMAIN

NEW CMU INFILL AT EXISTING MASONRY OPENING (SEE STRUCTURAL DRAWINGS)

EXISTING 4 HOUR RATED FIRE WALL (SEE ULL DETAIL 01 / A-53) THERE ARE NOT ANY EXISTING PENETRATIONS THROUGH THIS WALL. AND, NO NEW PENETRATIONS ARE TO BE MADE THROUGH THIS WALL FOR THIS PROJECT.

NEW TYPICAL PARTITION: GALV. METAL STUDS AT 16" O.C. (MAX) WITH CONT. GALV. METAL TRACKS AT TOP AND BOTTOM, BRACED TO STRUCTURE ABOVE. SEE PARTITION DETAIL 02 / A-52 AND FINISH PLAN FOR INTERIOR FINISHES.

LOW PARTITION: 6" GALV. METAL STUDS AT 16" O.C. WITH CONT. GALV. METAL TRACKS AT TOP AND BOTTOM, BRACED TO STRUCTURE ABOVE. SEE PARTITION DETAIL 02 / A-52 AND FINISH PLAN FOR INTERIOR FINISHES.

LOW PARTITION W/ HERITAGE GAP SHEET METAL DIVIDER: LOW PARTITION W/ HERITAGE GAP SHEET METAL DIVIDER, TUBE SUPPORT FRAME, AND BRUSHED ALUMINUM SHEET METAL CUT INTO A ZIG-ZAG PATTERN. SEE PARTITION DETAIL 03 / A-52 AND INTERIOR ELEVATIONS.

FURRING AND DRYWALL AT EXTERIOR WALL: GALV. METAL FURRING STRIPS AT 24" O.C. (MAX) WITH INSULATION, AND FINISHED DRYWALL AT INTERIOR SIDE. SEE PARTITION DETAIL 04 / A-52 AND FINISH PLAN.

FURRING AT EXISTING MASONRY WALL FOR NEW PLUMBING VENT: GALV. METAL STUDS TO BE INSTALLED AGAINST EXISTING MASONRY WALL FOR NEW PLUMBING VENT AND WATER PIPING. SEE PLAN FOR THICKNESS OF FURRING. SEE PARTITION DETAIL 05 / A-52.

PROVIDE INSULATION AT INSIDE FACE OF EXISTING MASONRY WALL: PROVIDE R-42 INSULATION AT INSIDE FACE OF EXISTING CMU WALLS AT AREAS TO BE CONCEALED AT NEW WALK-IN COOLERS.

WINDOW INDICATOR: INDICATES NEW OR EXISTING WINDOW UNDER PREVIOUS SEPARATE PERMIT. SEE WINDOW / DOOR SCHEDULE ON THIS SHEET.

DOOR INDICATOR: INDICATES NEW OR EXISTING DOOR UNDER PREVIOUS SEPARATE PERMIT. SEE WINDOW / DOOR SCHEDULE ON THIS SHEET.

DETAIL NUMBER: SEE DETAIL NUMBER ON SHEET INDICATED.

DRAWING SHEET

PLUMBING and ELECTRICAL CONNECTIONS:

REFER TO THE FOLLOWING DRAWING SHEETS TO COORDINATE WATER, SEWER, ELECTRICAL, AND SODA CONNECTION POINTS:

CONNECTION TYPE:	SHEET:
EQUIPMENT FULL BOX LOCATIONS	FS-2
EQUIPMENT ELECTRICAL CONNECTIONS	FS-3
EQUIPMENT WATER AND FLOOR SINK LOCATIONS	FS-4
WALK-IN COOLER / FREEZER CONNECTIONS	FS-6
OFFICE and CONVENIENCE OUTLET LOCATIONS	E-1
FLOOR DRAIN LOCATIONS	P-1

NOTE: THE EXISTING CONCRETE SLAB IS A STRUCTURAL SLAB, WITH GRADE BEAMS AND PILING. GENERAL CONTRACTOR SHALL FIELD LOCATE EXISTING GRADE BEAM LOCATIONS, PRIOR TO MAKING ANY SLAB CUTS.

INSULATION REQUIRED for this Project

PLEASE REFER TO THE MECHANICAL CALCULATIONS PREPARED BY BUCHANAN P.E. CONSULTANTS FOR THIS PROJECT. INSULATION FOR THE BUILDING ASSEMBLIES ARE AS FOLLOWS:

Existing Exterior Walls (where renovated): R-4.1
WHERE EXISTING EXTERIOR MASONRY WALLS ARE BEING RENOVATED, NEW R-4.1 INSULATION SHALL BE INSTALLED BETWEEN EXISTING FURRING STRIPS.

Existing Roof Deck: R-38
THE EXISTING ROOF DECK IS TO BE SPRAYED WITH NEW FOAM INSULATION.

BUILDING CONSTRUCTION TYPE:

MAXIMUM HEIGHT AND ALLOWABLE AREA (PER FBC TABLE 603)

OCCUPANCY CLASSIFICATION: (PER SECTION 303.1, FBC 2010 ed.) 'A-2'

BUILDING CONSTRUCTION TYPE: 'V-B'

MAXIMUM ALLOWABLE NUMBER OF STORIES: 1

MAXIMUM ALLOWABLE BUILDING AREA: 6,000 SF.

MAXIMUM HEIGHT (PER FBC) 40'-0"

NOTE: PER FBC, TABLE 601, NO FIRE RESISTANCE RATINGS ARE REQUIRED FOR BUILDING ELEMENTS

REQUIRED FIRE ASSEMBLIES:

FIRE ASSEMBLY REQUIREMENTS FOR TYPE 'V-B' CONSTRUCTION (PER TABLE 601 FBC, 2010 ed.)

STRUCTURAL ELEMENTS	FIRE RATING REQUIRED	FIRE RATING PROVIDED
STRUCTURAL FRAME (COLUMNS, GIRDERS, TRUSSES)	0	0 (EXISTING)
BEARING WALLS: EXTERIOR	0	0 (EXISTING)
INTERIOR	0	0 (EXISTING)
NON-BEARING INTERIOR PARTITIONS	0	0 (EXISTING)
FLOOR/CEILING ASSEMBLIES:	0	N/A
ROOF/CEILING ASSEMBLIES:	0	0 (EXISTING)
OCCUPANCY SEPARATIONS:	2 HR.	4 HR. (EXISTING) EXISTING BUILDING SEPARATION

Classification of Work:

AS PER THE EXISTING BUILDING PORTION OF THE EXISTING BUILDING CODE (2010 ED.), THE WORK FOR THIS PROJECT IS CLASSIFIED AS FOLLOWS:

ALTERATION - LEVEL 3

PLUMBING FIXTURE CALCULATIONS:

NUMBER OF OCCUPANTS: (BASED ON INDOOR and OUTDOOR SEATING) 120

PLUMBING FIXTURES REQUIRED:

60 MEN (1) WC, (1) LAV, (1) SERVICE SINK

60 WOMEN (1) WC, (1) LAV

NOTE: A DRINKING FOUNTAIN IS NOT REQUIRED, PER FBC SECTION 410.1

PLUMBING FIXTURES PROVIDED:

60 MEN (1) WC, (1) LAV, (1) SERVICE SINK

60 WOMEN (1) WC, (1) LAV

City of Miami Beach
Fire Prevention Division
PLANS APPROVED



PROFESSIONAL SEAL

05.14.13

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Renovation for:

Denny's at Collins Avenue

7140 Collins Avenue
Miami Beach, Florida, 33141 - 3212

DRAWING REVISION DATES:

DRB REVISION	01/13/2013
PERMIT REVISION	01/06/2013
PERMIT REVISION	04/12/2013

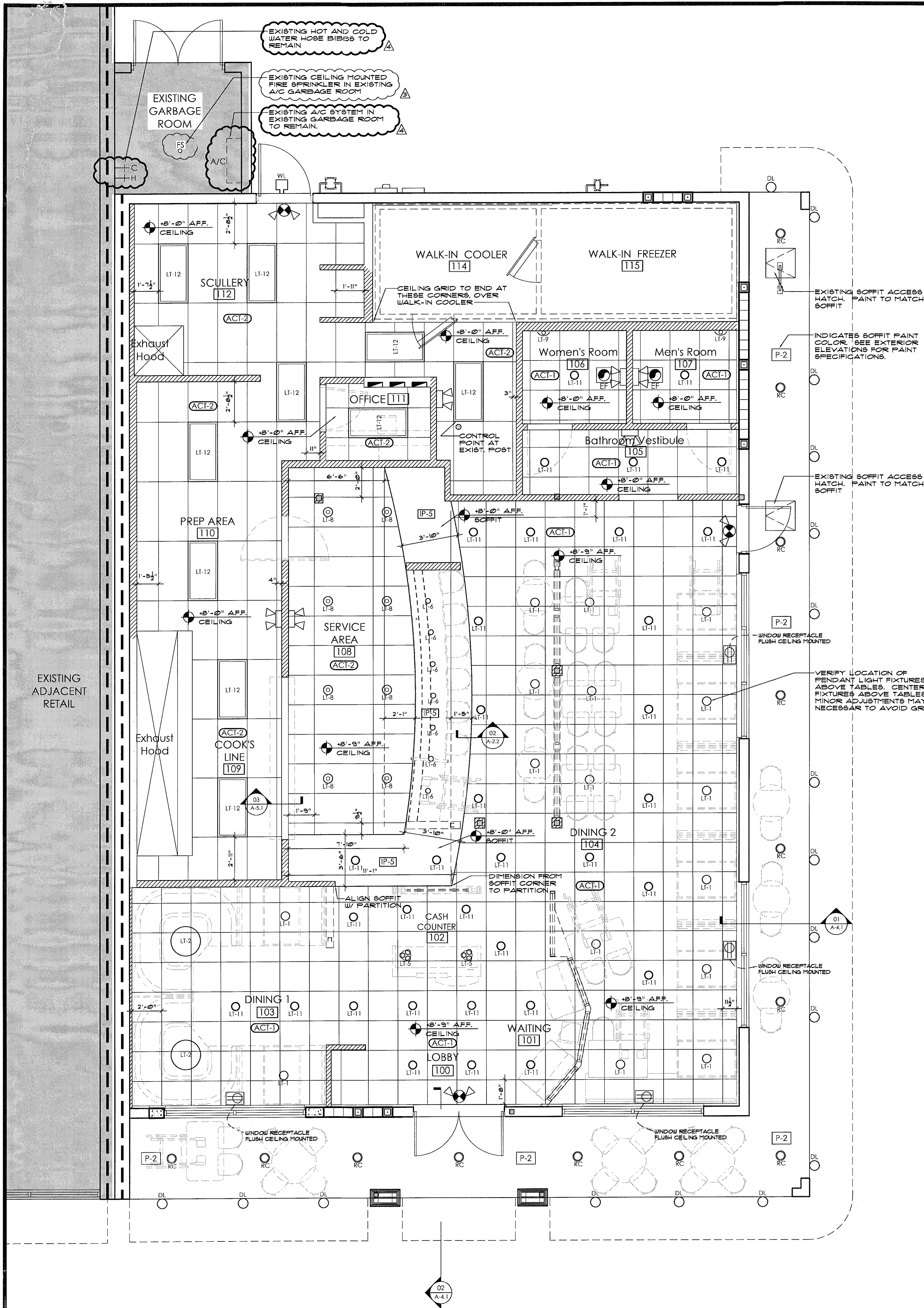
Floor Plan

SHEET

A-2.1

PROJECT: 12008
DATE: 01-31-13
A-2.1 - FLOOR PLAN (DENNY'S AT COLLINS AVENUE)

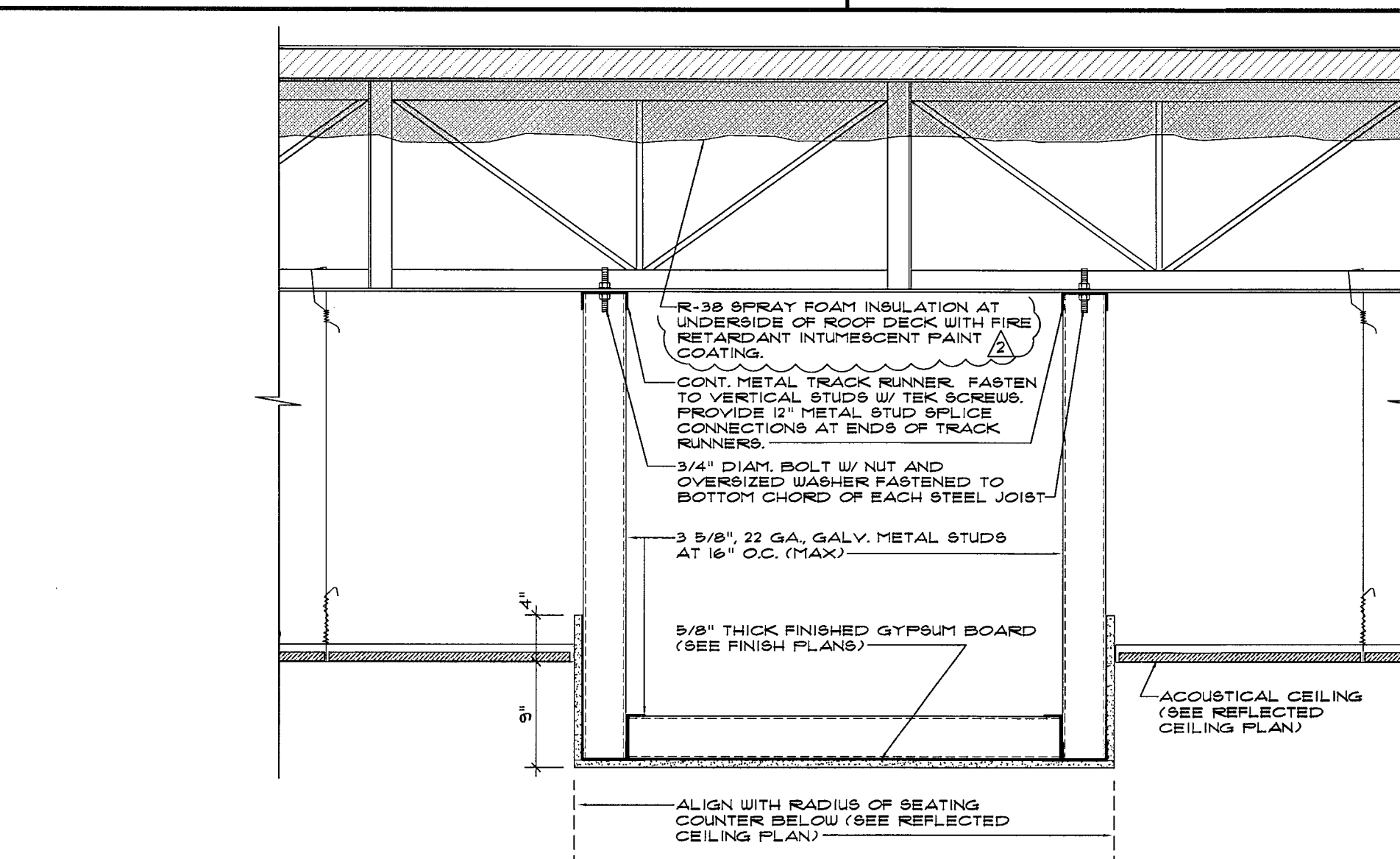
Floor Plan



Reflected Ceiling Plan

SCALE: 1/4" = 1'-0" 01

Mark	Light Fixture Specification
ACT-1	ACOUSTICAL CEILING TILE. MANUFACTURER: USG PRODUCT: OLYMPIA MICRO CLIMAFLEX 42" SQUARE EDGE 2" X 2" COLOR/FINISH: WHITE CONTACT: G. BRIAN LEE (615) 538-6644 LOCATION: DINING AREA
ACT-2	MOISTURE RESISTANT ACOUSTICAL CEILING TILE. MANUFACTURER: USG PRODUCT: CLEAN ROOM CLIMA FLEX COLOR/FINISH: WHITE, SMOOTH TEXTURED PANEL CONTACT: USG, BRIAN LEE (615) 538-6644 LOCATION: KITCHEN AND FOOD PREP AREA
DL	WALL MOUNTED DOWN LITE AT FACE OF EXISTING FACADE. MANUFACTURER: ATLANTIC LIGHTING PRODUCT: W/642-CC VERTICAL COMPACT 49 WATTS COLOR/FINISH: DENNY'S ROCKWOOD RED POWDERCOAT FINISH CONTACT: RED MOUNTAIN LIGHTING, BRUCE SWEENEY (602) 549-5117 LOCATION: WALL MOUNT ABOVE AWNINGS
RC	EXTERIOR RECESSED DOWNLIGHT TO REPLACE EXISTING LIGHTS UNDER EXTERIOR BUILDING SOFFIT. MANUFACTURER: CREE PRODUCT: R95 6" LED DOWNLIGHT 10 1/2 WATTS COLOR/FINISH: RED MOUNTAIN LIGHTING, BRUCE SWEENEY (602) 549-5117 LOCATION: UNDER EXISTING BUILDING SOFFIT / TO REPLACE EXISTING LIGHTS
WL	WALL MOUNTED LED LIGHT. MANUFACTURER: RAIS LIGHTING PRODUCT: W/LED22 22 WATTS COLOR/FINISH: RED MOUNTAIN LIGHTING, BRUCE SWEENEY (602) 549-5117 LOCATION: WALL MOUNTED OVER PERSONNEL DOOR
LT-1	CEILING MOUNTED PENDANT LIGHT. MANUFACTURER: ARCHITECTURAL CUSTOM PRODUCT: RABBIT-CASE 11" X 12" W/ CAGED AMBER, BROWN RUBY GLASS PENDANT 20 WATT FLUORESCENT BULB ADJ. CLEAR CORD, SATIN NICKEL CONTACT: ARCHITECTURAL CUSTOM (851) 215-8850 LOCATION: PERIMETER BOOTHS - SEE CEILING PLAN
LT-2	CEILING MOUNTED DRUM PENDANT. MANUFACTURER: ARCHITECTURAL CUSTOM PRODUCT: DRUM PENDANT 24" DIAMETER X 14" H. (3) 23 WATT FLUOR. BULBS + 69 WATTS COLOR/FINISH: AMBER SHADE, SATIN NICKEL CONTACT: ARCHITECTURAL CUSTOM (851) 215-8850 LOCATION: LARGE BOOTHS - SEE CEILING PLAN
LT-3	CEILING MOUNTED TRIPLE PENDANT LIGHTS. MANUFACTURER: ARCHITECTURAL CUSTOM PRODUCT: TRIPLE LT-4 135040-ACAB (3) 14 WATT BULBS + 42 WATTS COLOR/FINISH: CAGED AMBER, BROWN, RUBY GLASS ADJ. CORDS, SATIN NICKEL CONTACT: ARCHITECTURAL CUSTOM (851) 215-8850 LOCATION: OVER CASH AREA - SEE CEILING PLAN
LT-4	CEILING MOUNTED PENDANT LIGHT. MANUFACTURER: ARCHITECTURAL CUSTOM PRODUCT: RABBIT-CASE 11" X 12" W/ CAGED AMBER, BROWN, RUBY GLASS 14 WATTS COLOR/FINISH: CAGED AMBER, BROWN, RUBY GLASS ADJ. CLEAR CORD, SATIN NICKEL CONTACT: ARCHITECTURAL CUSTOM (851) 215-8850 LOCATION: OVER EATING COUNTER - SEE CEILING PLAN
LT-5	CEILING MOUNTED PENDANT LIGHT. MANUFACTURER: JUNG LIGHTING PRODUCT: RECESSED DOWNLIGHT IC22 60 TO VERIFY MODEL W/ 9324-8C TRIM COLOR/FINISH: SATIN CHROME, PROTECTED GLASS, 1-8" DIAM. WATTAGE: 50W PAR 30/6500K-50 CONTACT: JUNG LIGHTING GROUP, RICHARD KOSTECKA (844) 924-3224 LOCATION: SERVICE AREA - SEE CEILING PLAN
LT-9	WALL SCONCE. MANUFACTURER: TECH LIGHTING PRODUCT: MINI LARKSPUR WALL SCONCE 13 WATTS COLOR/FINISH: BEACH AMBER GLASS CONTACT: BEACH AMBER GLASS SIZE: 5.5" X 10.2" X 3.5" LAMPING: 18U 20X1 BASE TWIN-TUBE CFL LIGHTING 4 CONTROLS (847) 410-4400 LOCATION: BATHROOMS
LT-11	RECESSED LED LIGHT FIXTURE. MANUFACTURER: CREE PRODUCT: RC6 6" X 6" INCH RECESSED HOUSING W/ CR6 10 1/2 WATTS COLOR/FINISH: RECESSED LED DOWNLIGHT CONTACT: RED MOUNTAIN LIGHTING, BRUCE SWEENEY (602) 549-5117 LOCATION: DINING AREA AND BATHROOMS
LT-12	2" X 4" FLUORESCENT CEILING GRID LIGHT FIXTURE. MANUFACTURER: CREE PRODUCT: CR24 2'X4' RECESSED TROFFER 44 WATTS COLOR/FINISH: WHITE CONTACT: RED MOUNTAIN LIGHTING, BRUCE SWEENEY (602) 549-5117 LOCATION: COOK LINE / PREP AREA / DRY STORAGE



Ceiling Soffit Detail

SCALE: 1" = 1'-0" 02

Hangar Wires

NOT TO SCALE 03

PROFESSIONAL SEAL

05.23.13
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Ron Fairchild
ARCHITECT

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Renovation for:
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DRAWING REVISION DATES:
PERMIT REVISION
02/06/2013
PERMIT REVISION
04/12/2013
ENGINEERING REVISION
05/20/2013

Reflected Ceiling
Plan

SHEET
A-2.2

PROJECT: 12008
DATE: 01-31-13
A-2.2-REFLECTED CEILING PLAN (SHEET)

