

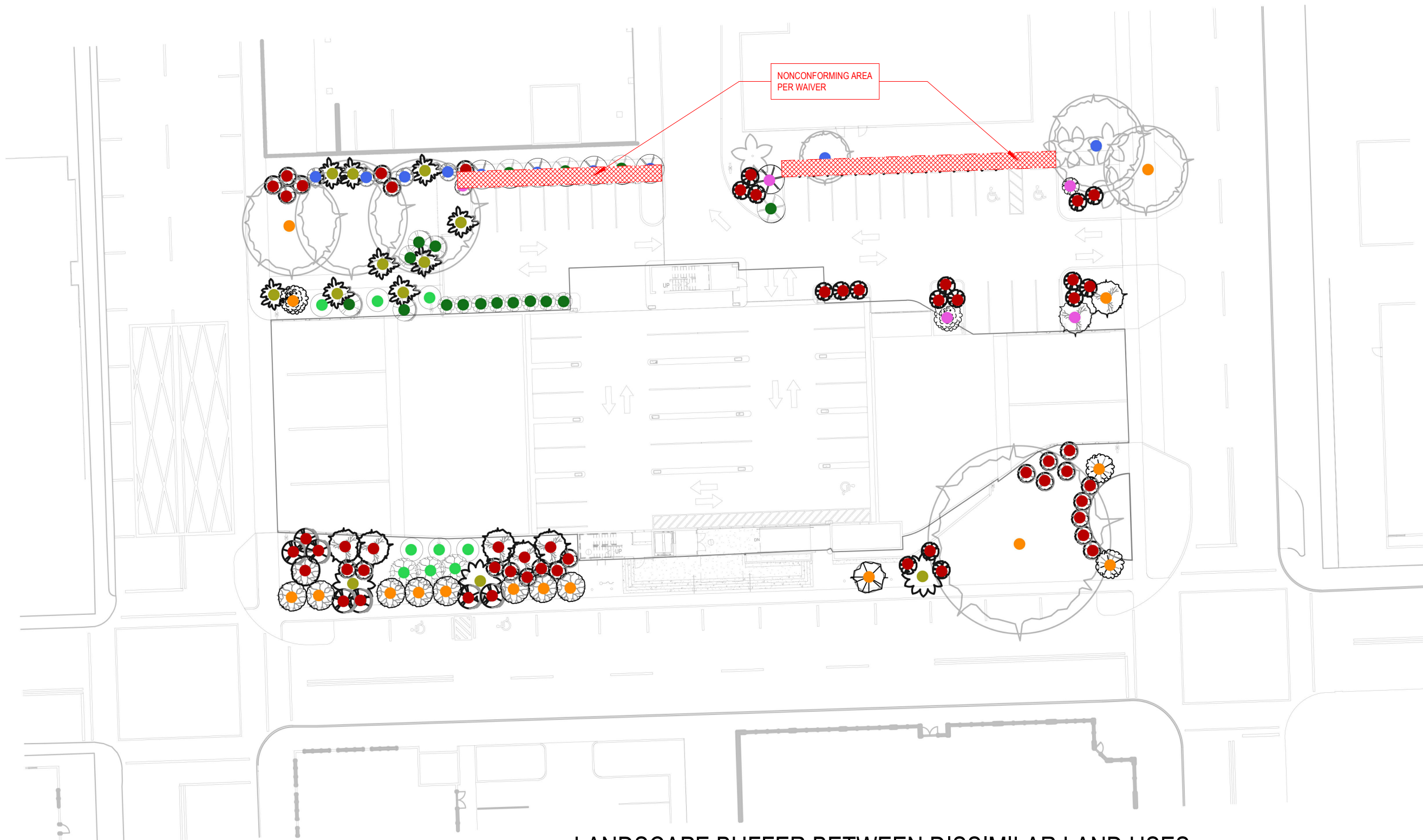
Waiver 9: Attachment I – Code Excerpt: Section 126-10(a) and (b)

Sec. 126-10. - Buffers between dissimilar land uses.

Where a nonresidential zoning district abuts a residential zoning district, and where such areas will not be entirely visually screened by an intervening building or structure from the abutting property, the abutting property line shall be provided by the nonresidential property if applying for new construction with a buffer consisting of the following:

(a) A landscaped buffer strip shall consist of trees with understory evergreen shrubs and groundcovers within a minimum five-foot wide landscaped strip.

(b) Trees with a minimum height of 12 feet shall be planted at a maximum average spacing of 20 feet on center.



- TREES - STREET REQ.
- TREES - BUFFER REQ.
- PROPOSED PALMS
- PROPOSED TREES
- TREES - PARKING REQ.
- PALM MITIGATION
- TREE MITIGATION

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LANDSCAPE BUFFER BETWEEN DISSIMILAR LAND USES -

126-10 (a) & (b)

1" = 40'-0"

