

## Waiver 8: Attachment H – Code Excerpt: Section 133-62

### Sec. 133-62. - Long frontage standards.

The following regulations shall apply to new construction with nonresidential uses on the ground floor on frontages with a width greater than 150 feet:

(a) *Sidewalk standards.* The sidewalk shall be raised to the future crown of road elevation, except for transition areas and where there are street crossings, intersections, or driveways, as follows:

(1) *Circulation zone.* The sidewalk shall contain a "circulation zone" with a minimum dimension of ten feet wide, pursuant to the following standards:

a. The "circulation zone" shall be fully illuminated, consistent with the city's street and sidewalk lighting requirements and subject to the review and approval of the public works director.

b. The design of the circulation zone shall be consistent with the city's public sidewalk requirements.

c. The circulation zone may be constructed in areas of the public right-of-way and required yards that are in front of a building facade.

d. The circulation zone shall remain free from obstructions created by landscaping, signage, utilities, stairs, ramping, handrails, and lighting fixtures.

e. Pedestrians shall have 24-hour access to the circulation zone.

f. The circulation zone shall include a minimum five-foot wide "clear pedestrian path," free from obstructions, including, but not limited to, outdoor cafés, sidewalk cafés, handrails, and door swings. The clear pedestrian path shall be delineated by in-ground markers that are flush with the path, including differing pavement tones, differing pavement type, or by another method approved by the planning director.

g. An easement providing for perpetual public access shall be provided to the city for portions of the circulation zone that are constructed within the setback area on private property.

(2) *Parallel transition areas.* "Parallel transition areas" between the raised circulation zone and lower level sidewalks, street crossings, intersections, and driveways shall be accommodated within the frontage adjacent to the new development as follows:

a. The parallel transition areas shall not contain steps, switchback ramps, or handrails.

b. The parallel transition areas shall be of the minimum length necessary so as to not require the use of steps, switchback ramps, and handrails between the higher future crown of road elevation and the lower level sidewalk, pedestrian crossing, or driveway elevation.

(3) *Landscape transition areas.* "Landscape transition areas" between the raised circulation zone and the adjacent automobile parking or vehicle travel lanes shall be provided as follows:

a. The landscape transition area shall be predominantly landscaped, except where there are access steps, lighting fixtures, pedestrian crossings, or driveways.

b. The landscape transition area shall have a minimum width of five feet.

c. Street trees shall be planted within the landscape transition area in raised planters or stabilized planting areas that at a minimum match the elevation of the circulation zone.

d. Where the landscape transition area is adjacent to on-street parking, access steps shall be provided between parking spaces so that each parking space has access to the circulation zone generally from either the front end or rear end of the vehicle. Steps shall be no wider than 36 inches, not included handrails.

e. Handrails shall only be permitted for access steps to on-street parking.

f. Street and pedestrian lighting fixtures shall be located within the landscape transition area.

g. The circulation zone may encroach into the landscape transition area in order to meet adjacent sidewalks and street crossings. The encroachment shall be the minimum necessary to comply with the requirements for and shall comply with the requirements of parallel transition areas.

Notwithstanding the standards in subsections a. to g. above, public transit stops and valet parking stands, may be located within the landscape transition area. In the event of a conflict, the provisions in this section shall be superseded by any requirement in the city Code, Miami-Dade County Code, or state law that is applicable to public transit stops or valet parking stands.

(b) *Setbacks.* The building's ground floor facade, parking areas, and loading areas shall be set back a minimum of 15 feet from the back of curb to provide sufficient area to accommodate the required circulation zone and landscape transition areas in cases where the public right-of-way is not sufficiently wide. If the underlying zoning regulations require a larger setback, the larger setback shall be required.

(c) *Driveways.* Driveways to access off-street parking, drop-off, and loading areas shall comply with the following:

(1) Where a development has more than one frontage, driveways should be located facing the street with the lowest traffic volumes.

(2) The number of driveways should be minimized to the greatest extent possible.

(3) Where the circulation zone passes through a driveway, the surface shall be fully horizontal in a direction perpendicular to the facade of a building, so as to provide a safe and comfortable pedestrian environment.

(4) Mountable curbs shall be utilized, where feasible.

(d) *Ground floor elevation.* The ground floor shall be located a minimum elevation of 14 inches above the future crown of road elevation. Ramping and stairs from the sidewalk circulation zone to the ground floor elevation shall occur within the property and not encroach into the circulation zone or setback areas, unless adequate space exists on the exterior.

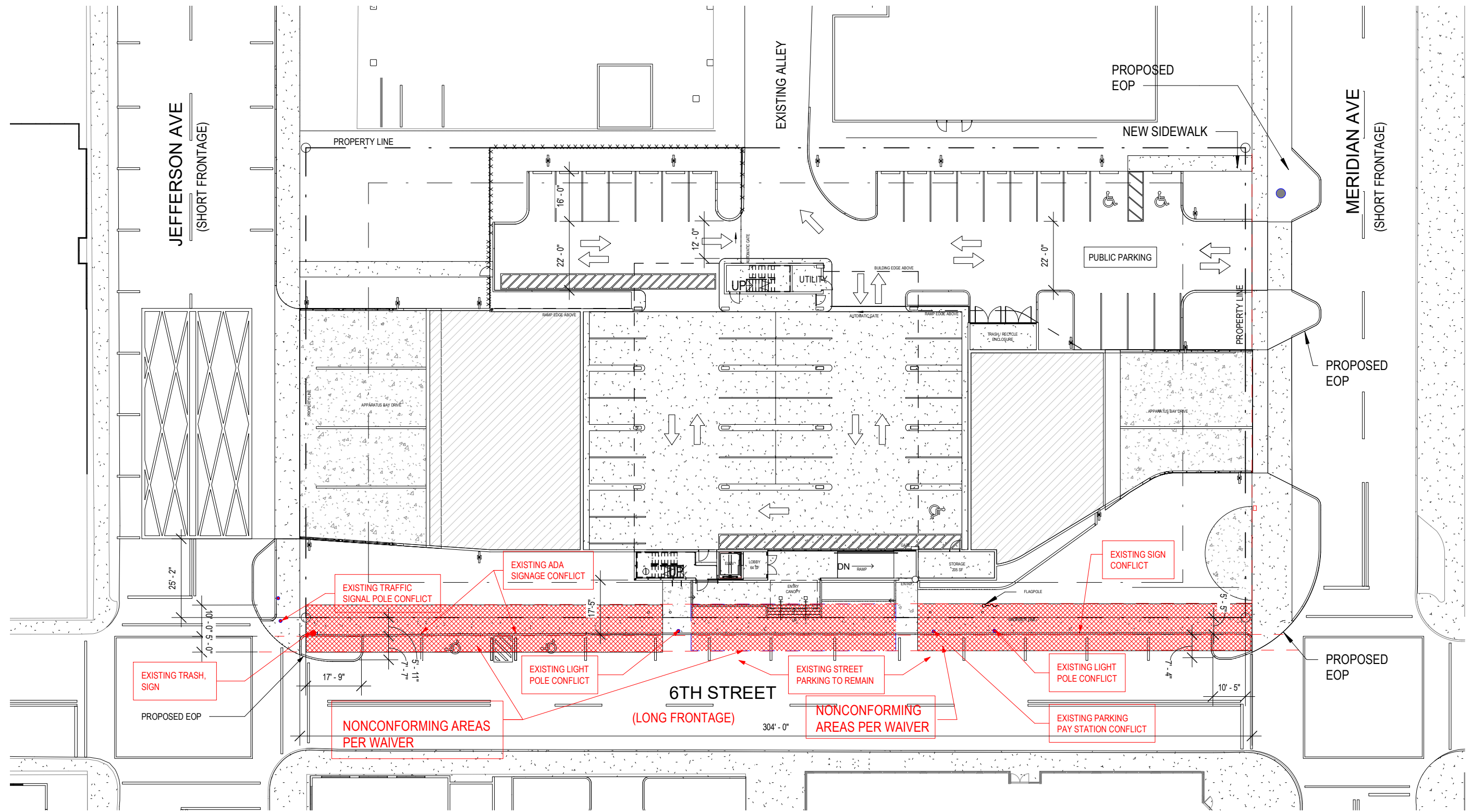
(e) *Knee wall.* Except where there are doors, facades shall have a knee wall with a minimum height of two feet, six inches above the future crown of road elevation. Such knee walls shall include any required flood barrier protection. The planning director or designee may waive this knee wall requirement if the applicant can substantiate that the proposed glass

storefront system satisfies all applicable Florida Building Code requirements for flood barrier protection.

(f) *Flood damage-resistant materials.* Ground floors, walls system, partitions and doors shall utilize water flood damage resistant materials in accordance with all applicable Florida Building Code, FEMA regulations and American Society of Civil Engineer (ASCE) - Flood Resistant Design and Construction Standard, for a minimum of the first two feet, six inches above the ground floor elevation.

(g) *Flood panels.* Flood panels for doorways shall be permanently stored adjacent to all doorways, except when in use.

(h) *Waivers.* Where implementation of the regulations in this section is unfeasible or incompatible with the environment and adjacent structures, they may be waived to the minimum extent necessary by the historic preservation board (HPB) or design review board (DRB), in accordance with the certificate of appropriateness review criteria or design review



**1** LONG FRONTAGE DEVELOPMENT WAIVER 133-62  
 1/32" = 1'-0"

