

Waiver 7: Attachment G – Code Excerpt: Section 133-61

Sec. 133-61. - Short frontage standards.

The following regulations shall apply to new construction with nonresidential uses on the ground floor on frontages with a width of 150 feet or less:

- (a) *Sidewalk standards.* Where feasible, sidewalks shall be constructed as follows:
 - (1) *Circulation zone.* The sidewalk shall contain a "circulation zone" with a minimum dimension of ten feet in width, pursuant to the following standards:
 - a. The circulation zone shall be fully illuminated, consistent with the city's street and sidewalk lighting requirements and subject to the review and approval of the public works director.
 - b. The design of the circulation zone shall be consistent with the city's public sidewalk requirements.
 - c. The circulation zone may be constructed in areas of the public right-of-way and required yards that are in front of a building facade.
 - d. The circulation zone shall remain free from obstructions created by landscaping, signage, utilities, and lighting fixtures.
 - e. Pedestrians shall have 24-hour access to the circulation zone.
 - f. The circulation zone shall include a minimum five-foot wide "clear pedestrian path," free from obstructions, including, but not limited to, stairs, ramping, handrails, outdoor cafés, sidewalk cafés, and door swings. The clear pedestrian path shall be delineated by in-ground markers that are flush with the path, including differing pavement tones, differing pavement type, or by another method approved by the planning director.
 - g. An easement providing for perpetual public access shall be provided to the city for portions of the circulation zone that are constructed within the setback area on private property.
 - (2) *Landscape area.* A "landscape area" between the circulation zone and the adjacent automobile parking or vehicle travel lanes shall be provided as follows:
 - a. The landscape area shall be predominantly landscaped, except where there are access paths, public transit stops, valet parking stands, lighting fixtures, pedestrian crossings, or driveways.
 - b. The landscape area shall have a minimum width of five feet.
 - c. Street trees shall be planted within the landscape area.
 - d. Where the landscape area is adjacent to on-street parking, access paths shall be provided between parking spaces so that each parking space has access to the circulation zone generally from either the front end or rear end of the vehicle. Access paths shall be no wider than 36 inches.
 - e. Street and pedestrian lighting fixtures shall be located within the landscape area.

f. The circulation zone may encroach into the landscape area in order to meet adjacent sidewalks and street crossings.

(b) *Setbacks.* The building's ground floor façade, parking areas, and loading areas shall be set back a minimum of 15 feet from the back of curb to provide sufficient area to accommodate the required circulation zone and landscape area in cases where the public right-of-way is not sufficiently wide. If the underlying zoning regulations require a larger setback, the larger setback shall be required.

(c) *Ground floor elevation.* The ground floor shall be located no lower than the future crown of road elevation.

(d) *Ramping and stairs.* Ramping and stairs from the sidewalk elevation to 14 inches below the ground floor elevation may occur on the exterior of the building and encroach into the circulation zone only if within five feet of the façade of the building. Ramping and stairs shall not encroach into the clear pedestrian path. Ramping above 14 inches below the ground floor elevation shall occur within the property and shall not encroach into the public sidewalk or setback areas.

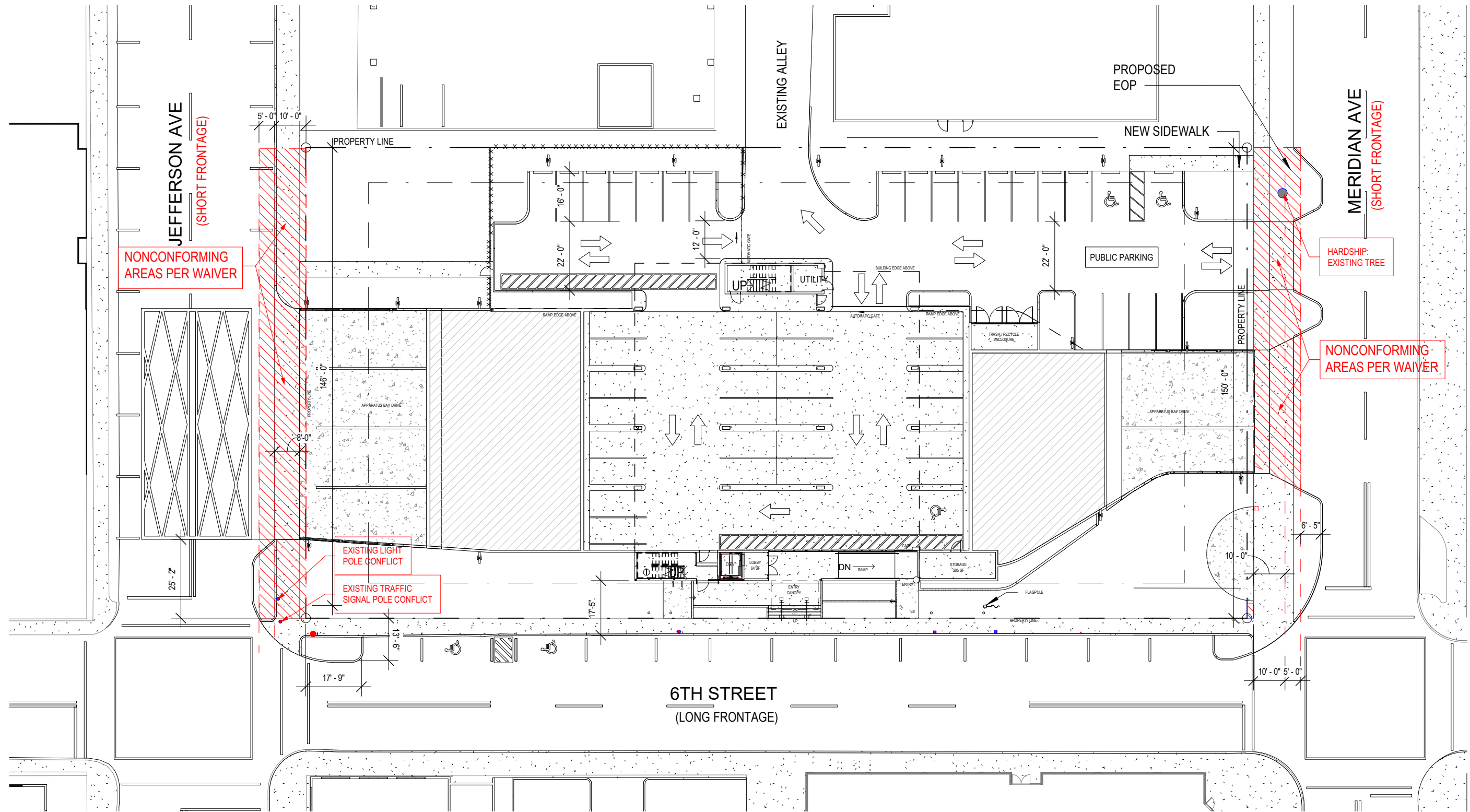
(e) *Knee wall.* Except where there are doors, facades shall have a knee wall with a minimum height of two feet, six inches above the sidewalk elevation. Such knee walls shall include any required flood barrier protection. The planning director or designee may waive this knee wall requirement if the applicant can substantiate that the proposed glass storefront system satisfies all applicable Florida Building Code requirements for flood barrier protection or if the finished floor meets the minimum freeboard requirements of the city Code.

(f) *Flood damage-resistant materials.* Ground floors shall utilize water resistant materials for a minimum of two feet six inches above the floor elevation.

(g) *Flood panels.* Flood panels for doorways shall be permanently stored next to doorways, except when in use.

(h) *Multiple frontages.* For developments that contain more than one frontage, and where one such frontage is greater than 150 feet, the requirements of [section 133-62](#) shall apply.

(i) *Waivers.* Where implementation of the regulations in this section is unfeasible or incompatible with the environment and adjacent structures, they may be waived to the minimum extent necessary by the historic preservation board (HPB) or design review board (DRB), in accordance with the certificate of appropriates review criteria or design review criteria, as applicable; however, an applicant may be required to consider alternative approaches for adequate mitigation of flooding.



1 SHORT FRONTAGE DEVELOPMENT WAIVER 133-61
 1/32" = 1'-0"

