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APPENDIX 1 - F.A.R ENLARGED DRAWINGS

APPENDIX 2 - CONVENTIONAL PARKING - CAPACITY ANALYSIS

APPENDIX 3 - FPL - POWER LINES RELOCATION PROPOSAL

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72 + COLLINS HOTEL

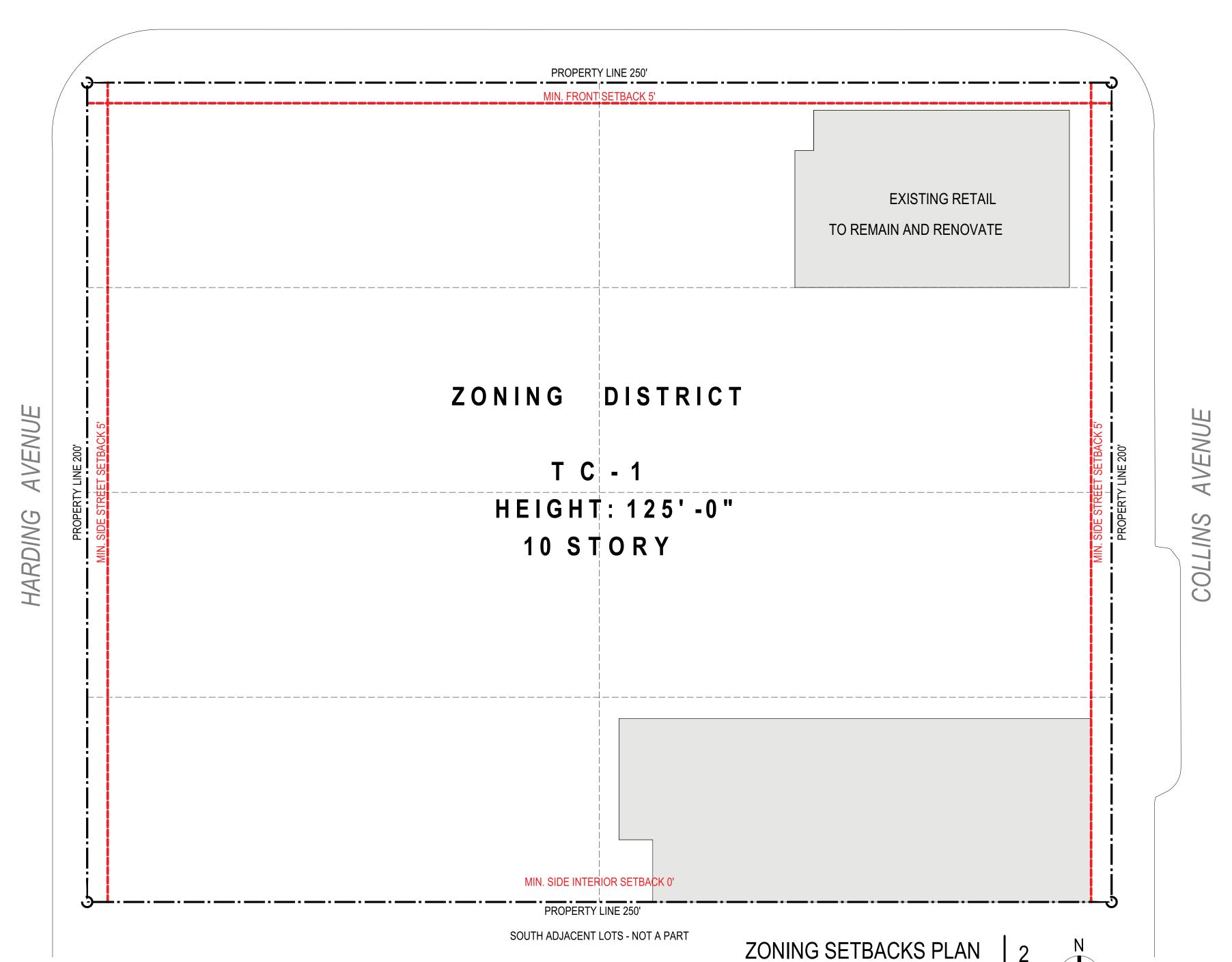
7124-7140 Collins Avenue MIAMI BEACH, FL. 33139

PLANNING BOARD FINAL SUBMITTAL

A DEVELOPMENT OF COLLINS & 72nd. DEVELOPERS

NOVEMBER 02,2016

72nd STREET



revuelta architecture international p.a. 7140 COLLINS AV. - ZONING SUMMARY 7140, 7134, 7124, 7121, 7118 Collins Avenue, and 3 additional lots (no address provided) Lot Area Acres Net Lot Area 49,890 1.145 Legal Description LOTS 1, 2 AND 3, BLOCK 8, NORMANDY BEACH SOUTH, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 21 AT PAGE 54 OF THE PUBLIC RECORDS OF MIAMI-LOT 4 BLOCK 8, NORMANDY BEACH SOUTH, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 21 AT PAGE 54 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. LOTS 9, 10, 11 AND 12, BLOCK 8, NORMANDY BEACH SOUTH, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 21 AT PAGE 54 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. Per Survey 161128 performed by Fortyn, Leavy, Skyles, Inc. - Original date: 10/3/16 Flood Elevation This property lies n Flood Zone AE, Base Flood Elevation 8', as per Flood Insurance Rate Map. Applicable Codes Code of Ordinances City of Miami Beach, Florida. 2014 (Fifth edition) Florida Building Code NFPA 101 - Life safety Code Zoning Classification TC-1 Section 142-734 (a) Town Center Core District 1 **Building Use** Hotel & Ground Level Retail Minimum Room Size No Minimum requirement for any use. Setbacks TC-1 - All lots From North Side From East side From West side From South side From property Line 72nd St. (Front). Adjacent Lots (side interior) Harding Av. (Side street) Collins Av. (Side street) Provided Provided Provided Required Provided Required Required 0'-0" on East Parcel TC-1 - All lots 10'-0" on West Parcel F.A.R. Calculation **AREA** F.A.R. SF 2.75 PROVIDED ALLOWED Total Assemblage 137,198 49,890 Minus area used by Lot 7118/7122 5,075 Minus area used by Lot 7140 (Denny's Restaurant) 2,695 7,770 TOTAL F.A.R. 129,428 129,337 Maximum Building Height **ALLOWED** PROVIDED Measured from Base Floor Elevation (BFE) = + 8'-0" N.G.V.D. + Freeboard (1'-0") = + 9'-0" N.G.V.D. 124'-8" Projections into Setbacks Maximum Encroachment Front Yard Balcony Side Yard Balcony Rear Yard Balcony PROPOSED Open Space Requirements for 179 Units Hotel REQUIRED TC-1 All lots (if total over 20,000 sf) 5% of lot area. 2,495 SF 3,309 SF Parking Space Requirements - Parking District #4 (Sec. 130-31 (a) (4) REQUIRED **PROPOSED** 0.5 spaces per room, up to 100 units and 1 space per unit for all units Hotel use in excess of 100 60 sf of floor area, minus 15 sf/room Meeting Rooms & Gym -319.00 2,685 Bar Lounge 1 space per 4 seats minus 1 seat for every 2 Units 134 Seats Ground Level Parking Parking Level 2 138 **Total Parking Spaces** 141 141 Total Handicap Spaces Loading Zone Requirements: Size: 10' by 20' each loading bay More than 100 Rooms, but less than 200 Commercial spaces Total loading spaces required: Bicycle Parking Requirements (Sec. 130-33 (b) (7) Required Proposed 1/10 rooms

1/10 % employees

Employees

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Project

COLLINS HOTEL

Permit Revisions

Owner Information RETI 9537 Harding Avenue Surfside, Florida 33154

Concultant

(305) 867-6344

Design by

SOL REVUE

AR0007972

Luis O. Revuelta
AR-0007972

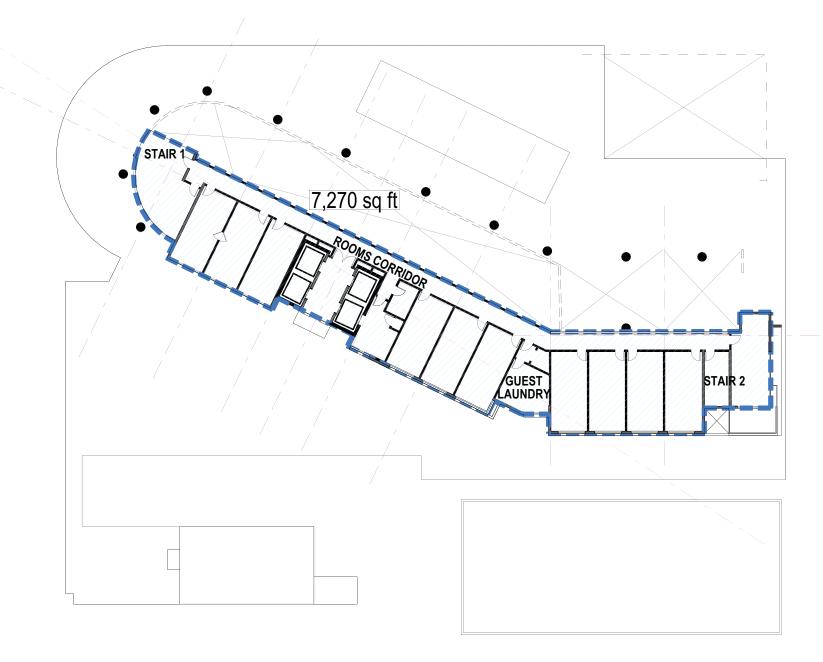
ZONING REVISION

10.17.16

Scale
AS SHOWN
Project No.
1505
Sheet Name
DATA SHEET
Sheet No.
A-006

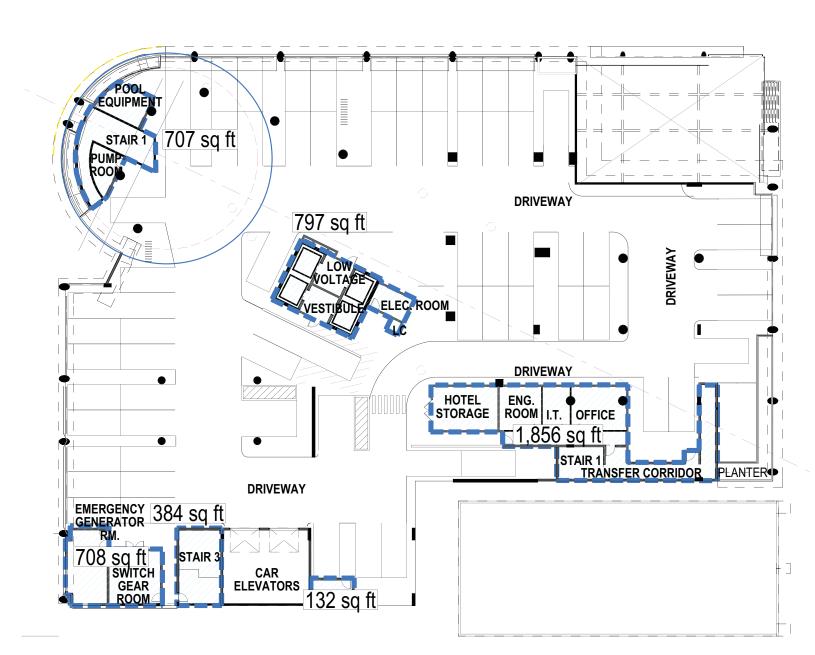
PROJECT DATA

LEVEL ROOF 6
Total FAR= 389 sq ft



LEVEL 4 - LOBBY AMENITIES / ROOMS 4

Total FAR= 7,270 sq ft



LEVEL 2 - PARKING / BOH 2

Total FAR= 4,584 sq ft

NEW COMMERCIAL SPACE (TO REMAIN)

NEW COMMERCIAL SPACES

12,871 sq ft

12,871 sq ft

Supply Serious Controls

Acoust Controls

Acou

LEVEL 5th thru 10 - ROOMS 5

Total FAR= 77,226 sq ft

CONFERENCE ROOMS

FITNESS MARKET 7,773 SQ ft

RECEPTION

LEVEL 3 - LOBBY/AMENITIES 3

Total FAR= 9,393 sq ft

TRANSFORMER VAULT 5,075 sq ft

GROUND LEVEL - DROP OFF / RETAIL 1

Total FAR= 30,475 sq ft

NOTES:

PER MIAMI BEACH CODE, MECHANICAL EQUIPMENT ROOMS LOCATED ABOVE MAIN ROOF DECK ARE EXCLUDED FROM F.A.R.

FOR F.A.R. ENLARGED DRAWINGS, REFER TO APPENDIX I

F.A.R. CALCULATION

 S.F.
 RATIO
 S.F.

 LOT AREA
 49,890
 2.75
 137,198

 MINUS AREA USED BY LOT 7118/7122
 5,075

 MINUS AREA USED BY LOT 7140
 2,695

F.A.R. AVAILABLE

129,428

F.A.R. AVAILABLE	129,428
	EAKDOWN
CROUND LEVEL	AREA (SQ. FT.)
GROUND LEVEL	228
	1,323
	5,075
	23,849
	30,475 sq ft
LEVEL 2 - PARKING / BOH	30,170 34 10
	132
	384
	707
	708
	797
	1,856
	4,584 sq ft
LEVEL 3 - LOBBY / AMENITIES	
	386
	1,234
	7,773
	9,393 sq ft
LEVEL 4 - ROOMS / AMENITIES	
	7,270
	7,270 sq ft
LEVEL 5	10.071
	12,871 12,871 sq ft
LEVEL 6	12,07 1 34 11
	12,871
	12,871 sq ft
LEVEL 7	,
	12,871
	12,871 sq ft
LEVEL 8	
	12,871
	12,871 sq ft
LEVEL 9	
	12,871
	12,871 sq ft
LEVEL 10	
	12,871
ROOF	12,871 sq ft
	190
	199
	389 sq ft
TOTAL F.A.R.	129,337 sq ft

FAR NOT USED

F.A.R. CALCULATION SUMMARY

52 sq ft

1 A

architecture international

revuelta

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Santiago, Chile
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2950 SW 27TH AVE. SUITE 110 MIAMI, FL 33133 T. 305.590.5000 F. 305.590.5040

Project

OLLINS HOTEL
7140 Collins Avenue
Aliami Beach, FL. 33141

Permit Revisions

Owner Information
RETI
9537 Harding Avenue
Surfside, Florida 33154

(305) 867-6344

Design by Some Property of the Control of the Contr

Luis O. Revuelta
AR-0007972
ZONING REVISION

Scale
AS SHOWN

Scale
AS SHOWN
Project No.
1505
Sheet Name
F.A.R.
Sheet No.

A-007

