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APPENDIX 1 - F.A.R ENLARGED DRAWINGS

APPENDIX 2 - CONVENTIONAL PARKING - CAPACITY ANALYSIS

APPENDIX 3 - FPL - POWER LINES RELOCATION PROPOSAL



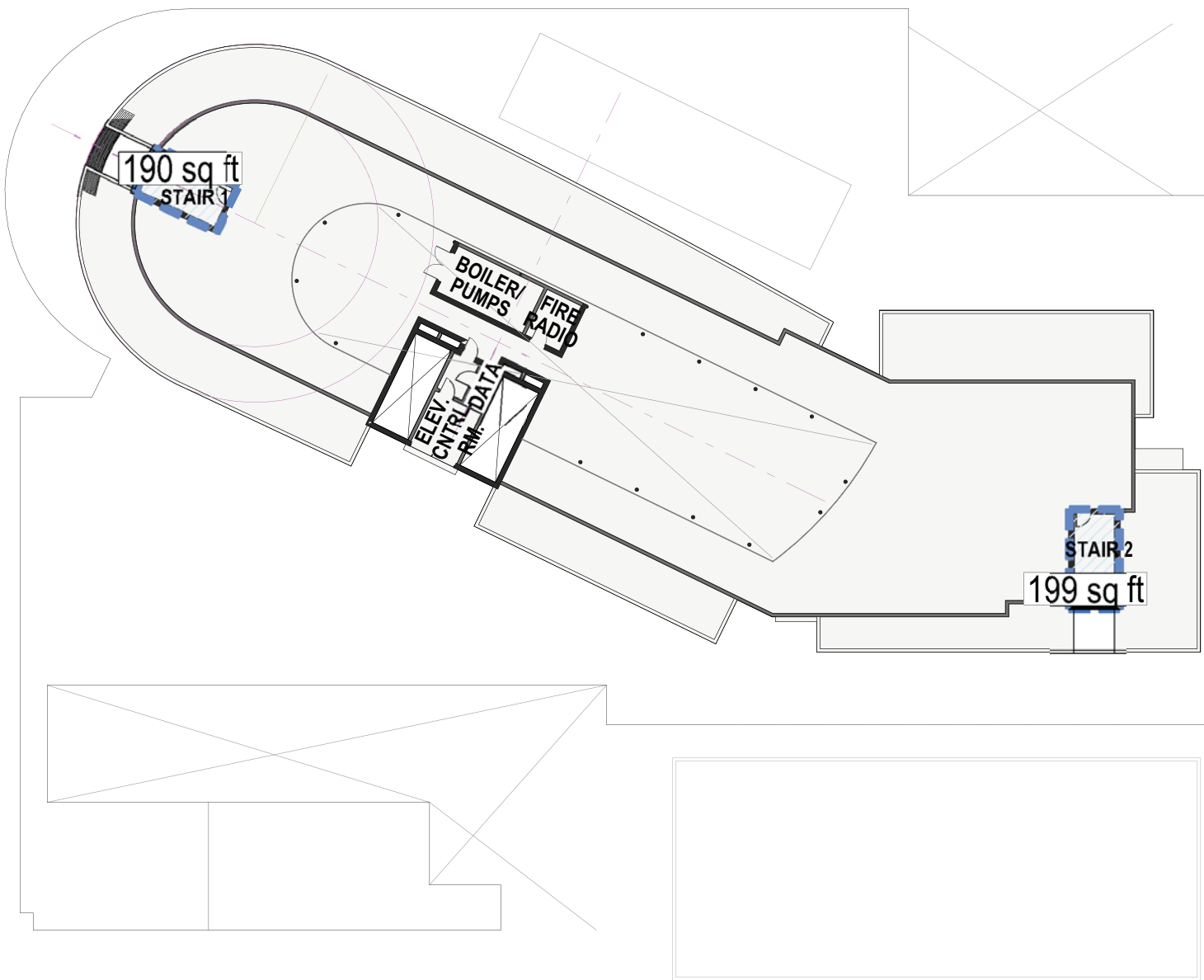
72 + COLLINS HOTEL

7124- 7140 Collins Avenue
MIAMI BEACH, FL. 33139

PLANNING BOARD
FINAL SUBMITTAL

A DEVELOPMENT OF COLLINS & 72nd. DEVELOPERS

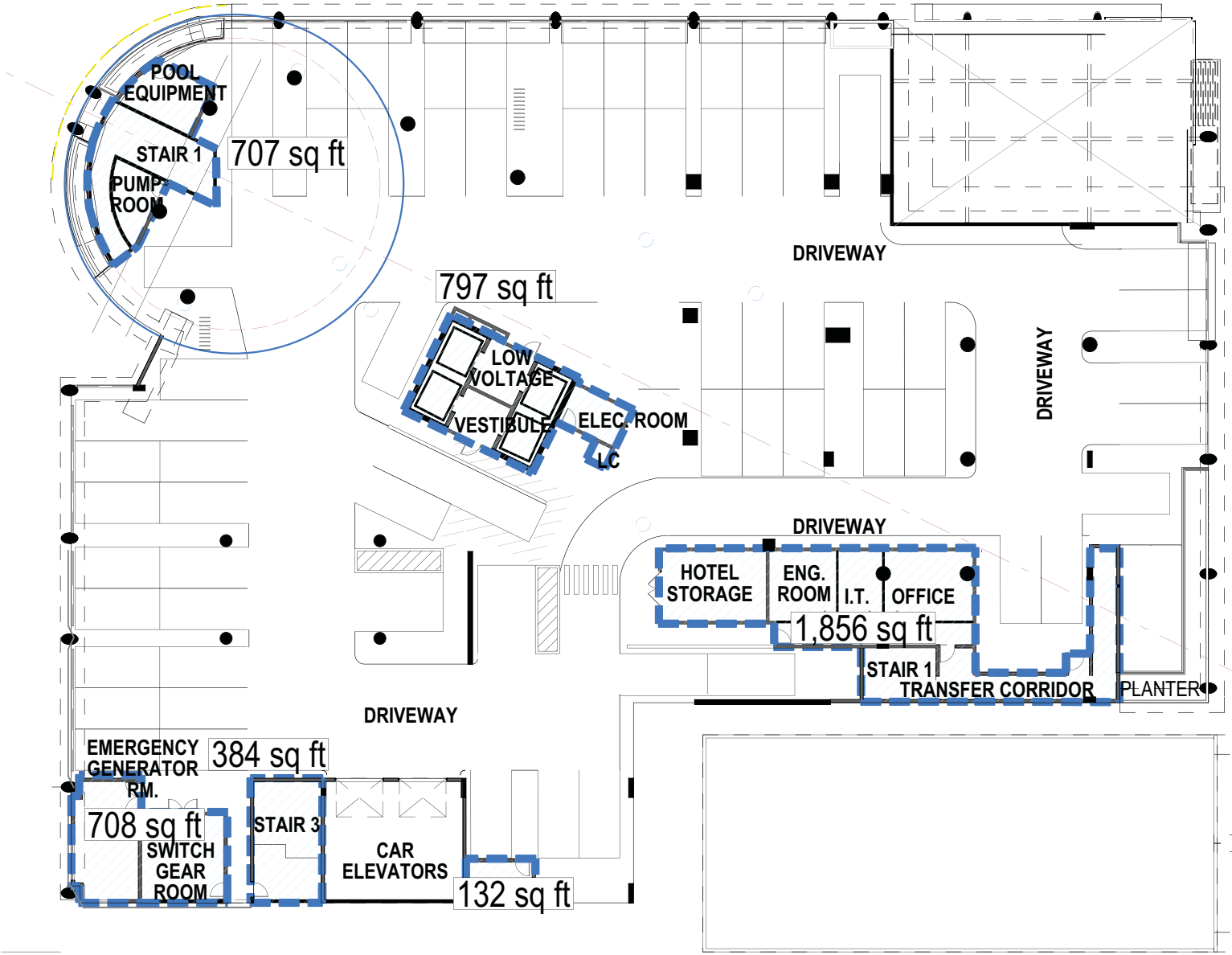
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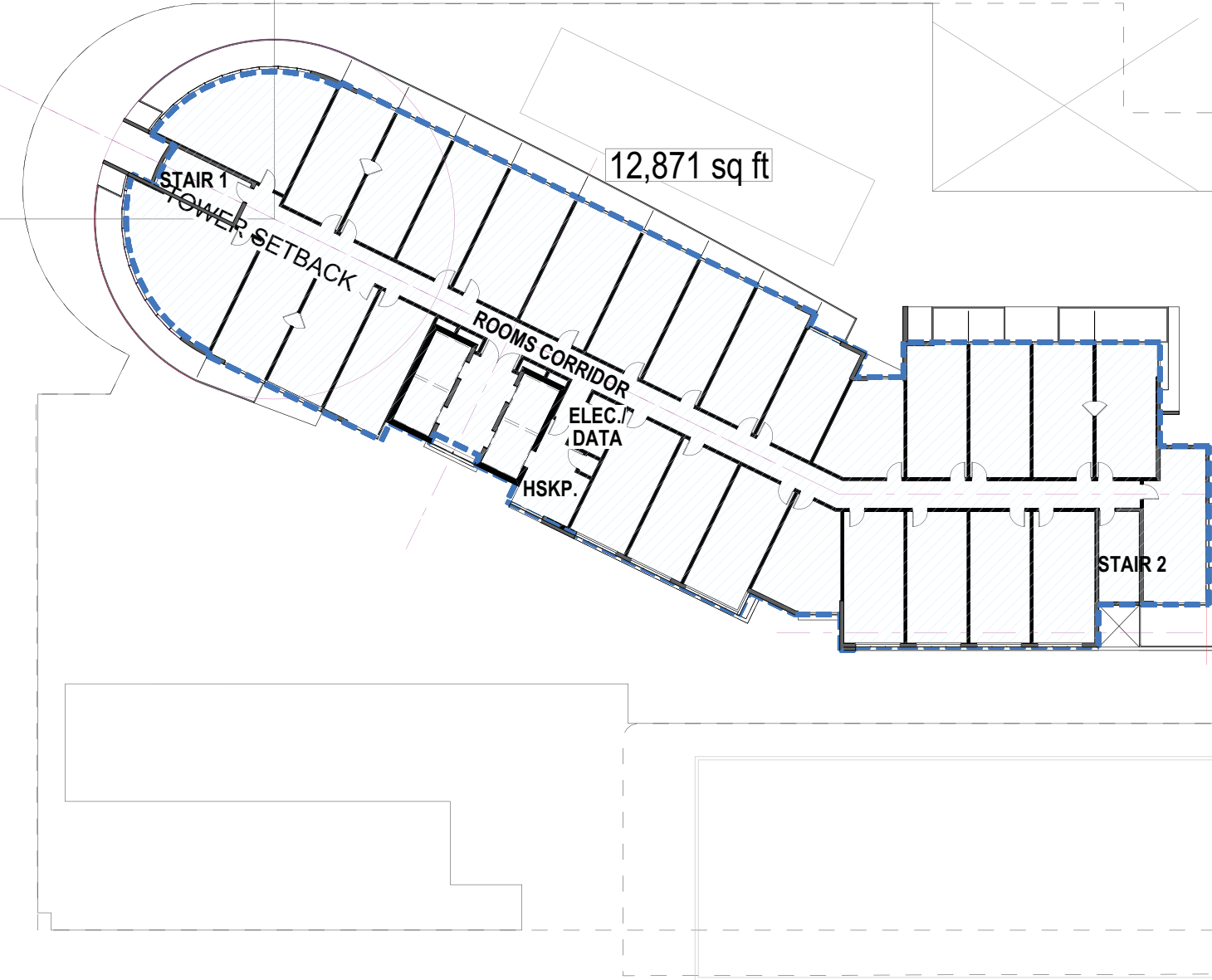
LEVEL ROOF | 6
Total FAR= 389 sq ft



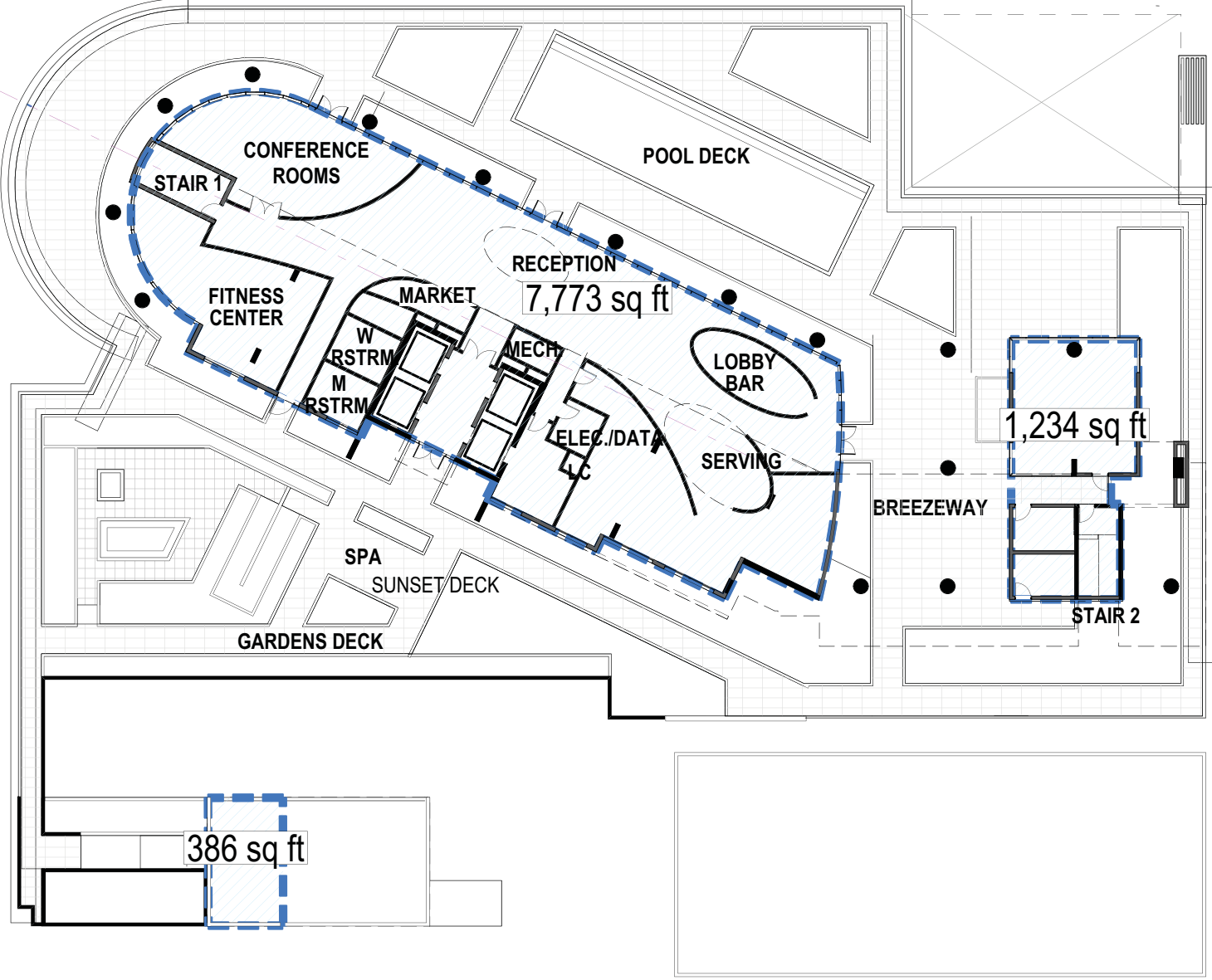
LEVEL 4 - LOBBY AMENITIES / ROOMS | 4
Total FAR= 7,270 sq ft



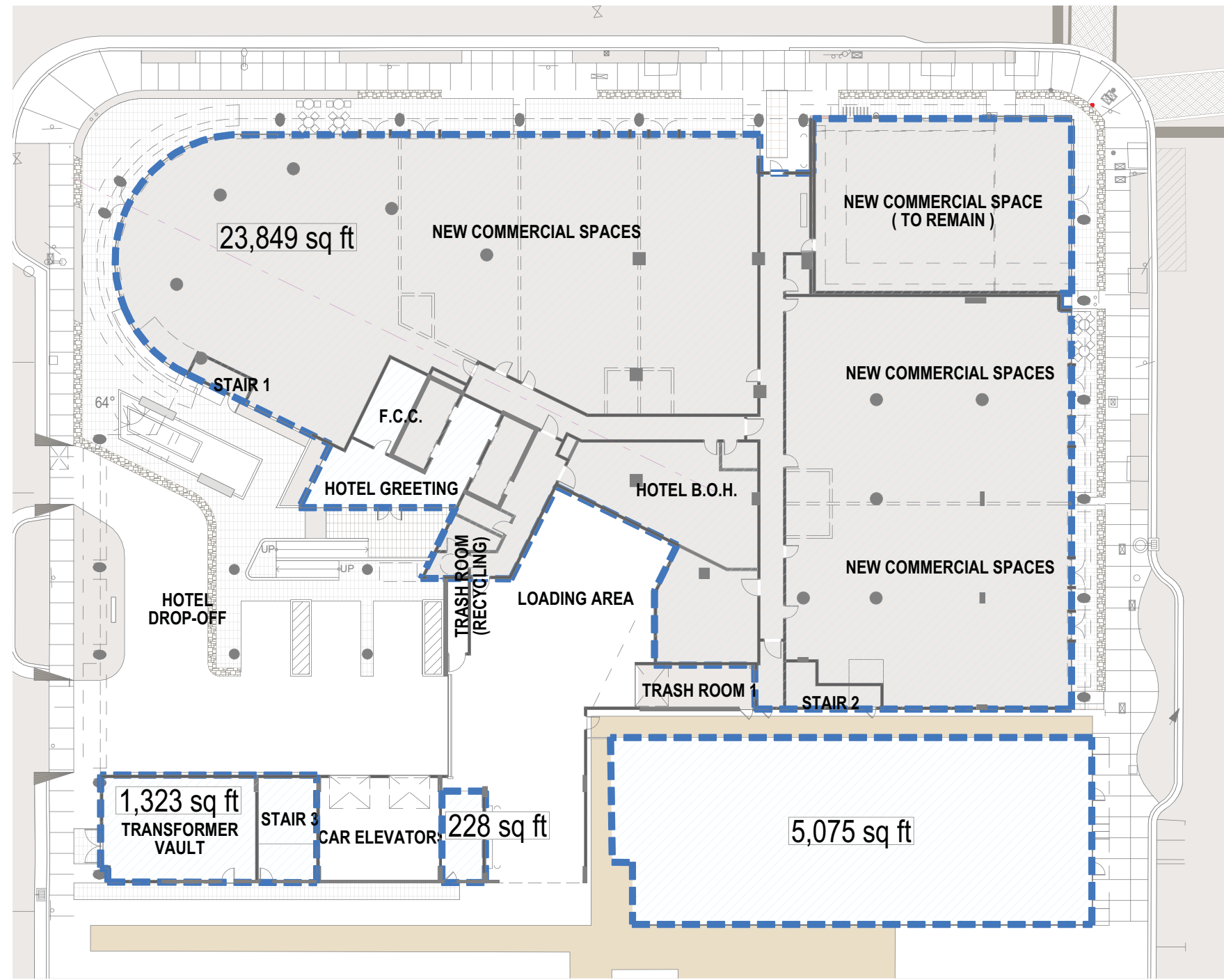
LEVEL 2 - PARKING / BOH | 2
Total FAR= 4,584 sq ft



LEVEL 5th thru 10 - ROOMS | 5
Total FAR= 77,226 sq ft



LEVEL 3 - LOBBY/AMENITIES | 3
Total FAR= 9,393 sq ft



GROUND LEVEL - DROP OFF / RETAIL | 1
Total FAR= 30,475 sq ft

NOTES:
PER MIAMI BEACH CODE, MECHANICAL EQUIPMENT ROOMS LOCATED ABOVE MAIN ROOF DECK ARE EXCLUDED FROM F.A.R.
FOR F.A.R. ENLARGED DRAWINGS, REFER TO APPENDIX I

F.A.R. CALCULATION

	S.F.	RATIO	S.F.
LOT AREA	49,890	2.75	137,198
MINUS AREA USED BY LOT 7118/7122			5,075
MINUS AREA USED BY LOT 7140			2,695

F.A.R. AVAILABLE 129,428

F.A.R. BREAKDOWN	
LEVEL	AREA (SQ. FT.)
GROUND LEVEL	
	228
	1,323
	5,075
	23,849
	30,475 sq ft
LEVEL 2 - PARKING / BOH	
	132
	384
	707
	708
	797
	1,856
	4,584 sq ft
LEVEL 3 - LOBBY / AMENITIES	
	386
	1,234
	7,773
	9,393 sq ft
LEVEL 4 - ROOMS / AMENITIES	
	7,270
	7,270 sq ft
LEVEL 5	
	12,871
	12,871 sq ft
LEVEL 6	
	12,871
	12,871 sq ft
LEVEL 7	
	12,871
	12,871 sq ft
LEVEL 8	
	12,871
	12,871 sq ft
LEVEL 9	
	12,871
	12,871 sq ft
LEVEL 10	
	12,871
	12,871 sq ft
ROOF	
	190
	199
	389 sq ft
TOTAL F.A.R.	129,337 sq ft

FAR NOT USED 52 sq ft

F.A.R. CALCULATION SUMMARY | 1
N.T.S.



Project

72+ COLLINS HOTEL
7140 Collins Avenue
Miami Beach, FL 33141

Permit Revisions

Owner Information

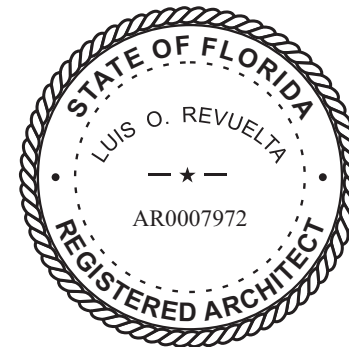
RETI

9537 Harding Avenue
Surfside, Florida 33154

(305) 867-6344

Consultant

Design by



Luis O. Revuelta
AR-0007972

ZONING REVISION

Date
10.17.16

Scale

AS SHOWN

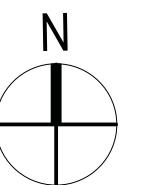
Project No.
1505

Sheet Name

F.A.R.

Sheet No.

A-007



SCALE 1/8"=1'-0"

ELEVATION = +31'-0" NGVD

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