



455 LINCOLN ROAD, MIAMI BEACH, FL 33139

HISTORIC PRESERVATION BOARD FINAL SUBMITTAL
JULY 6, 2021



OWNER:
LINCOLN DREXEL, LTD AND
LINCOLN DREXEL II, LTD.
3921 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
FORM GROUP, INC.
4300 SW 73 AVE, #106
MIAMI, FL, 33155
PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:

**ANDRÉS
CARNE DE RES**

LINCOLN DREXEL BUILDING
455 LINCOLN ROAD
MIAMI BEACH, FL 33139

REVISIONS:
HPB SUBMITTAL 07-06-21

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FORM GROUP, INC.
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TEL: 305-443-4244 FAX: 305-443-3339
ARCHITECT OF RECORD: OMAR MORALES, AIA
AIA#016851

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PROJECT NO:
19-1007

DATE:
DECEMBER 2, 2019

SCALE:
AS SHOWN

DRAWING NO.:

G-00

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Zoning Information			
1	Address:	455 LINCOLN ROAD, MIAMI BEACH, FL 33139		
2	Board and file numbers :	HPB19-0367		
3	Folio number(s):			
4	Year constructed:	1937	Zoning District / Overlay:	CD-3
5	Based Flood Elevation:	8.0'	Grade value in NGVD:	5.46' NGVD
6	Lot Area:	4,890 S.F	Lot Depth:	47'-3"
7	Lot width:	104'-11"		
8	Minimum Unit Size	N/A	Average Unit Size:	N/A
9	Existing use:	ASSEMBLY	Proposed use:	ASSEMBLY

	Maximum	Existing	Proposed	Deficiencies
10	Height: 50' (1ST 50') THEN 100'	41'-6"	41'-6"	
11	Number of Stories:	N/A	4	
12	FAR:	13,447 S.F.	10,946.71 S.F.	10,909.45 S.F.
13	Gross square footage:	N/A	10,946.71 S.F.	10,946.71 S.F.
14	Square Footage by use:	N/A	10,946.71 S.F. (ASSEMBLY)	10,909.45 S.F. (ASSEMBLY)
15	Number of units Residential:	N/A	N/A	N/A
16	Number of units Hotel:	N/A	N/A	N/A
17	Number of seats:	N/A	342	
18	Occupancy load:	N/A	388	413
19	Density (per Comprehensive Plan):	N/A	N/A	N/A

	Setbacks	Required	Existing	Proposed	Deficiencies
	Subterranean:				
20	Front Setback:	0'-0"	N/A	N/A	
21	Side Setback:	0'-0"	N/A	N/A	
22	Side Setback:	0'-0"	N/A	N/A	
23	Side Setback facing street:	0'-0"	N/A	N/A	
24	Rear Setback:	5'-0"	N/A	N/A	
	At Grade Parking:				
25	Front Setback:	0'-0"	N/A	N/A	
26	Side Setback:	0'-0"	N/A	N/A	
27	Side Setback:	0'-0"	N/A	N/A	
28	Side Setback facing street:	0'-0"	N/A	N/A	
29	Rear Setback:	5'-0"	N/A	N/A	
	Pedestal:				
30	Front Setback:	0'-0"	0.3'	N/A	
31	Side Setback:	0'-0"	N/A	N/A	
32	Side Setback:	0'-0"	N/A	N/A	
33	Side Setback facing street:	0'-0"	0.1'	N/A	
34	Rear Setback:	5'-0"	0.2'	N/A	
	Tower:				
35	Front Setback:	0'-0"	N/A	N/A	
36	Side Setback:	0'-0"	N/A	N/A	
37	Side Setback:	0'-0"	N/A	N/A	
38	Side Setback facing street:	0'-0"	N/A	N/A	
39	Rear Setback:	5'-0	N/A	N/A	

	Parking	Required	Existing	Proposed	Deficiencies
40	Parking district:	N/A			
41	Total number of parking spaces:	N/A	N/A	N/A	
42	Number of parking spaces per use (Provide a separate chart for a breakdown calculation):	N/A	N/A	N/A	
43	Number of parking spaces per level (Provide a separate chart for a breakdown calculation):	N/A	N/A	N/A	
44	Parking Space Dimensions:	N/A	N/A	N/A	
45	Parking Space configuration (45°,60°,90°,Parallel):	N/A	N/A	N/A	
46	ADA Spaces:	N/A	N/A	N/A	
47	Tandem Spaces:	N/A	N/A	N/A	
48	Drive aisle width:	N/A	N/A	N/A	
49	Valet drop off and pick up:	N/A	N/A	N/A	
50	Loading spaces:	N/A	N/A	N/A	
51	Trash collection area:	N/A	N/A	INTERIOR TRASH ROOM	
52	Short-term Bicycle Parking, location and Number of racks:	N/A	N/A	NA	
53	Long-Term Bicycle Parking, location and Number of racks	N/A	N/A	N/A	

	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
54	Type of use:	N/A	ASSEMBLY	ASSEMBLY	
55	Number of seats located outside on private property:	1/ 15 NET	50	54	
56	Number of seats inside:	—	—	288	
57	Total number of seats:	—	—	342	
58	Total number of seats per venue (Provide a separate chart for a breakdown calculation):	N/A	—	GROUND LEVEL: 104 EXTERIOR: 54 THIRD LEVEL: 119 ROOF LEVEL: 65	
59	Total occupant content:	N/A	388	413	
60	Occupant content per venue (Provide a separate chart for a breakdown calculation):	N/A	GROUND LEVEL: 235 MEZZANINE: 66 THIRD LEVEL: 37 ROOF LEVEL: 50	GROUND LEVEL: 192 MEZZANINE: 8 THIRD LEVEL: 141 ROOF LEVEL: 72	

61	Proposed hours of operation:	N/A
62	Is this an NIE? (Neighborhood Impact Establishment, see CMB 141-1361):	
63	Is dancing and/or entertainment proposed? (see CMB 141-1361):	Yes
64	Is this a contributing building?:	N/A
65	Located within a Local Historic District?:	Yes



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PROJECT NO:
19-1007

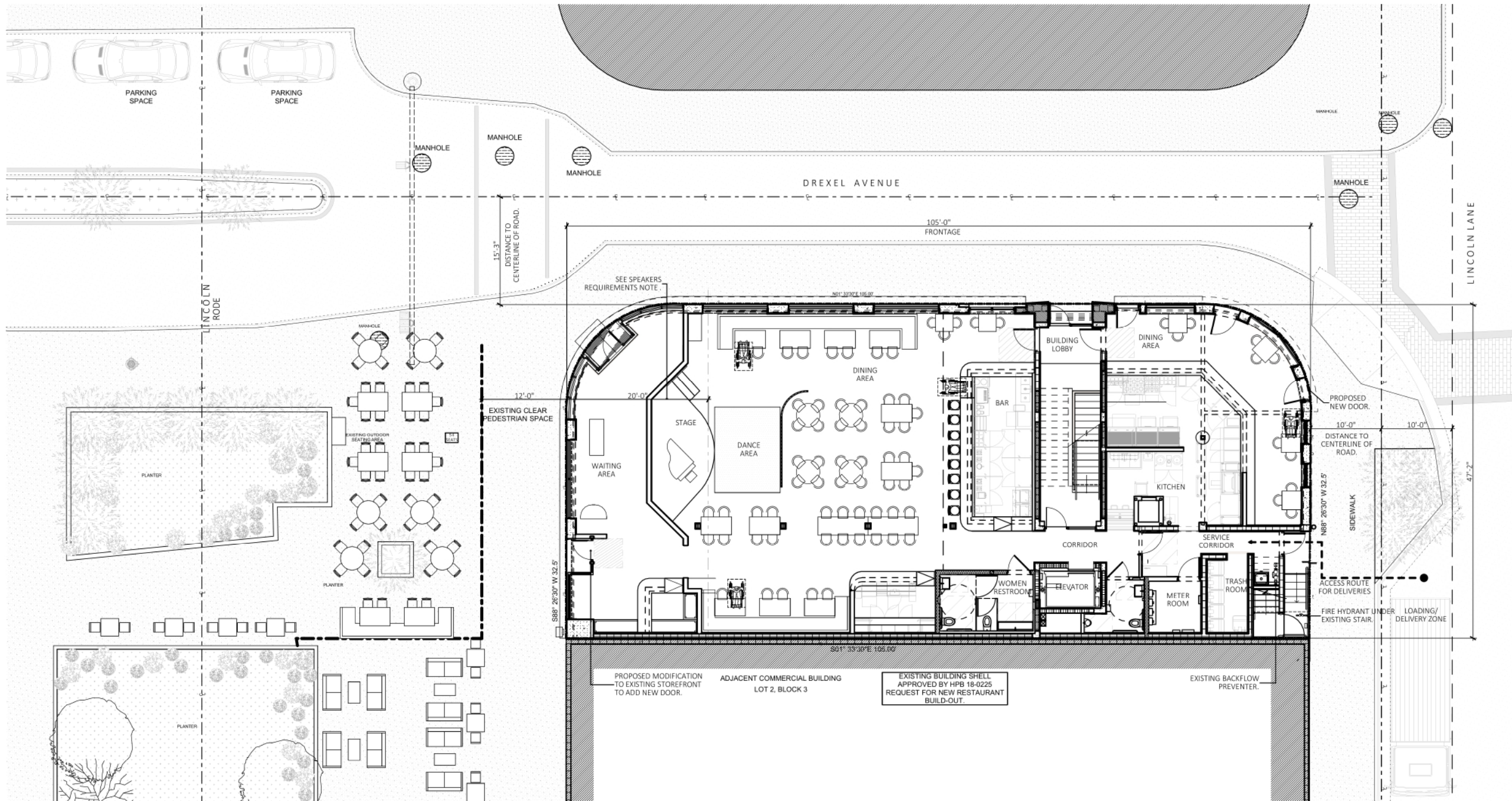
TITLE:
ZONING LEGEND

DATE:
DECEMBER 2, 2019

SCALE:
AS SHOWN

DRAWING NO.:

G-01



A PROPOSED SITE PLAN
SCALE: 1/16" = 1'-0"

SUMMARY OF	OCCUPANCY	SEATING
GROUND FLOOR:	192	104
EXTERIOR:	N/A	54
MEZANINE LEVEL:	8	-
THIRD FLOOR:	141	119
ROOF LEVEL:	72	65
TOTAL	413	342

PROPOSED BUILDING INFORMATION	
MUNICIPALITY:	CITY OF MIAMI BEACH
ZONING DESIGNATION:	CD-3
OCCUPANCY:	LEVEL 1&2 ASSEMBLY (EXISTING) LEVEL 3 ASSEMBLY (EXISTING) LEVEL 4 ROOF-ASSEMBLY (EXISTING)
LOT AREA:	4,890 SF
CONSTRUCTION TYPE:	EXISTING IIIA
PROPOSED AREA CALCULATION:	GROUND LEVEL ASSEMBLY: 4,552 S.F. MEZANINE LEVEL -KITCHEN: 1,698.22 S.F. THIRD LEVEL ASSEMBLY: 4,345.83 S.F. FOURTH LEVEL ASSEMBLY: 313.4 S.F. TOTAL BUILDING: 10,909.45 S.F.



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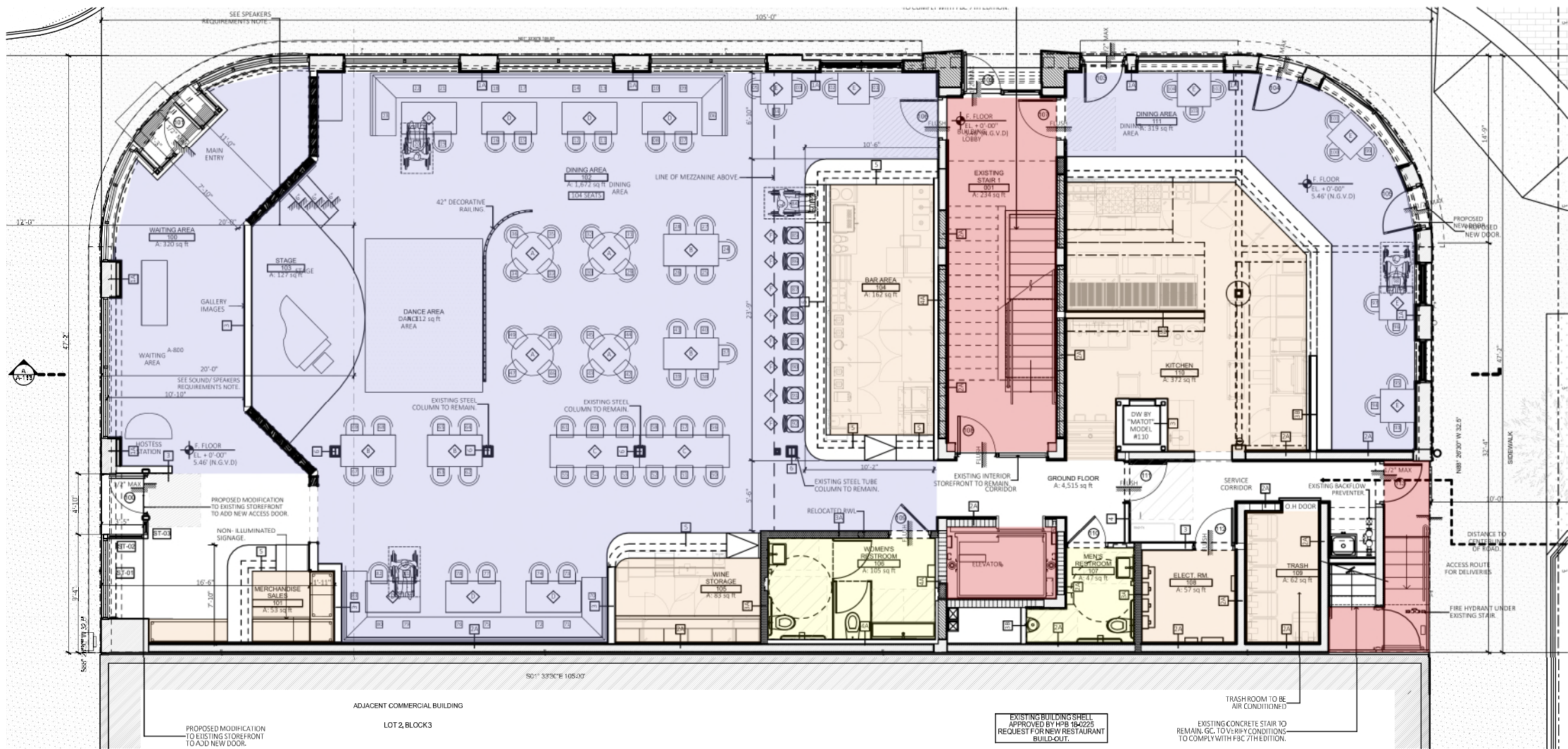
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PROJECT NO.
19-1007
DATE:
DECEMBER 2, 2019
SCALE:
AS SHOWN
TITLE:
PROPOSED SITE PLAN
DRAWING NO.:
A-105



A PROPOSED GROUND FLOOR PLAN
SCALE: 3/32" = 1'-0"



1 PROPOSED TERRAZZO TILE PATTERN- DINING ROOMS
NOT TO SCALE

METHOD OF OPERATION

THE ESTABLISHMENT WILL BE OPERATING AS:
-RESTAURANT / BAR.
-ENTERTAINMENT VENUE

OCCUPANCY LOAD CALCULATIONS

GROUND FLOOR:

DINING: 2,002 S.F. / 15 NET = 134 PERSONS
WAITING AREA: 295 S.F. / 7 NET = 43 PERSONS
KITCHEN: 531 S.F. / 200 GROSS = 3 PERSONS
STAGE AREA: 151 S.F. / 15 NET = 11 PERSONS
STORAGE: 145 S.F. / 300 GROSS = 1 PERSONS
TOTAL = 192 PERSONS

TOTAL BUILDING OCCUPANTS: 413 PERSONS
NUMBER OF EXITS PROVIDED: 6

INTERIOR SEATING COUNT		
QTY.	DESCRIPTION	LOCATION
9	BAR AREA	GROUND
95	DINING AREA	GROUND
104	TOTAL	

TABLE 221.2.1 WHEELCHAIR SPACES IN ASSEMBLY AREAS	
51 TO 150	4

PLAN LEGEND	
	ASSEMBLY AREAS (DINING AREAS).
	KITCHEN / BAR AREAS.
	RESTROOMS.
	STAIR / ELEVATOR / CORRIDORS.

FURNITURE LEGEND	
	ROUND TABLE (3'-4")- 4 PERSONS (MOBILE FURNITURE)
	TABLE (2'-6"x4'-4")- 4-5 PERSONS (MOBILE FURNITURE)
	TABLE (2'-6"x7'-0")- 6 PERSONS (MOBILE FURNITURE)
	TABLE (2'-6"x4'-4") AND BANQUET. 4 PERSONS
	TABLE (2'-6"x2'-6")- 2 PERSONS (MOBILE FURNITURE)
	BARSTOOL (MOBILE FURNITURE)
	SOFA- 2 PERSONS (MOBILE FURNITURE)

FLOOR FINISH SHCHEDULE	
1. DINING AREAS:	TERRAZZO TILE (SEE IMAGE)
2. BAR / KITCHENS:	EPOXY FLOORING
3. RESTROOMS:	PORCELAIN TILE
4. BOH SPACES:	EPOXY FLOORING



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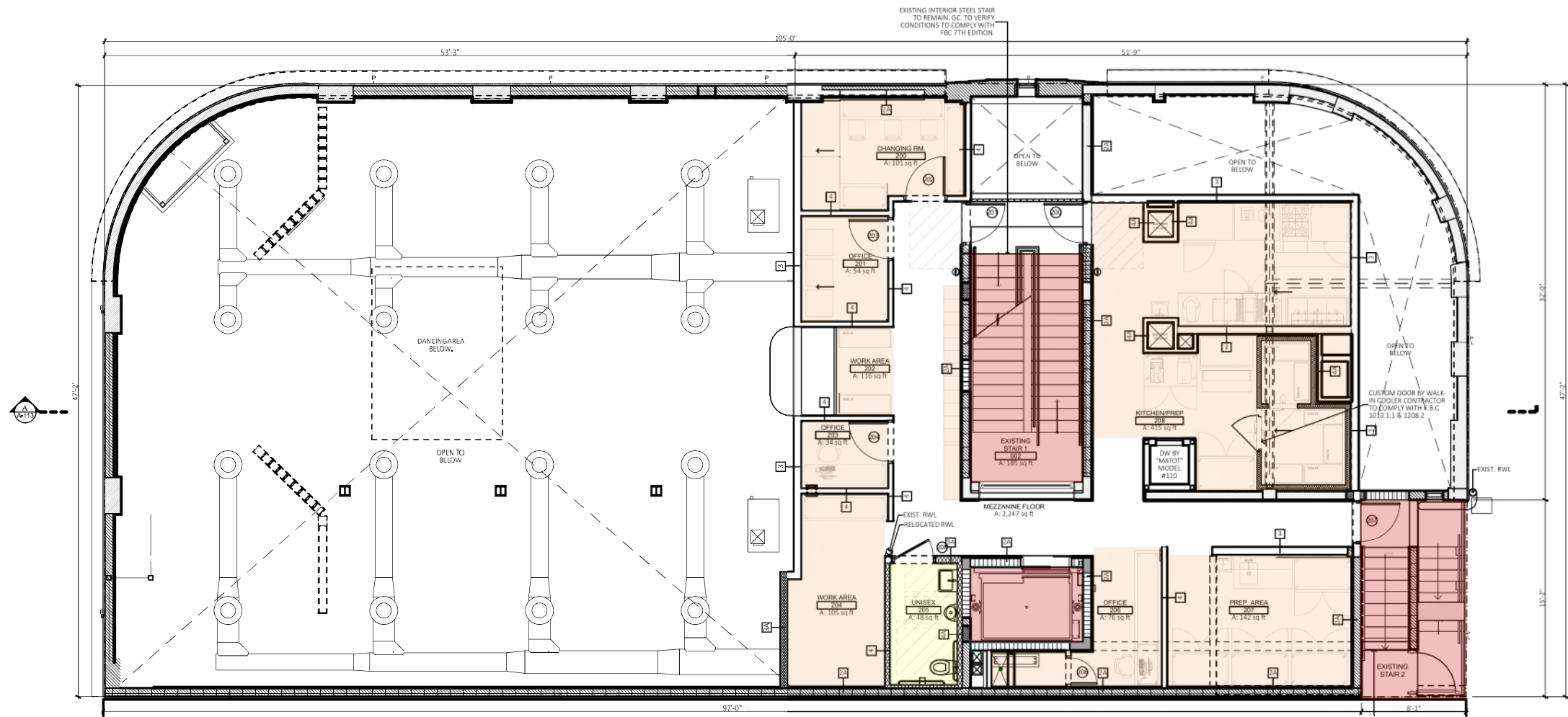
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PROJECT NO:
19-1007
DATE:
DECEMBER 2, 2019
SCALE:
AS SHOWN

TITLE:
PROPOSED GROUND
FLOOR PLAN
DRAWING NO.:
A-106



A PROPOSED MEZZANINE FLOOR PLAN
SCALE: 3/32" = 1'-0"

METHOD OF OPERATION

THE ESTABLISHMENT WILL BE OPERATING AS:
-RESTAURANT / BAR,
-ENTERTAINMENT VENUE

OCCUPANCY LOAD CALCULATIONS

MEZZANINE FLOOR:

OFFICE:	228 S.F. / 100 GROSS	= 3 PERSONS
KITCHEN:	415 S.F. / 200 GROSS	= 3 PERSONS
STORAGE:	387 S.F. / 300 GROSS	= 2 PERSONS
TOTAL		= 8 PERSONS

TOTAL BUILDING OCCUPANTS: 413 PERSONS
NUMBER OF EXITS PROVIDED: 6

PLAN LEGEND

- ASSEMBLY AREAS (DINING AREAS).
- KITCHEN / BAR AREAS.
- RESTROOMS.
- STAIR / ELEVATOR / CORRIDORS.

FURNITURE LEGEND

A	ROUND TABLE (3'-4")- 4 PERSONS (MOBILE FURNITURE)
B	TABLE (2'-6"x4'-4")- 4-5 PERSONS (MOBILE FURNITURE)
C	TABLE (2'-6"x7'-0")- 6 PERSONS (MOBILE FURNITURE)
D	TABLE (2'-6"x4'-4") AND BANQUET. 4 PERSONS
E	TABLE (2'-6"x2'-6")- 2 PERSONS (MOBILE FURNITURE)
F	BARSTOOL (MOBILE FURNITURE)
G	SOFA- 2 PERSONS (MOBILE FURNITURE)



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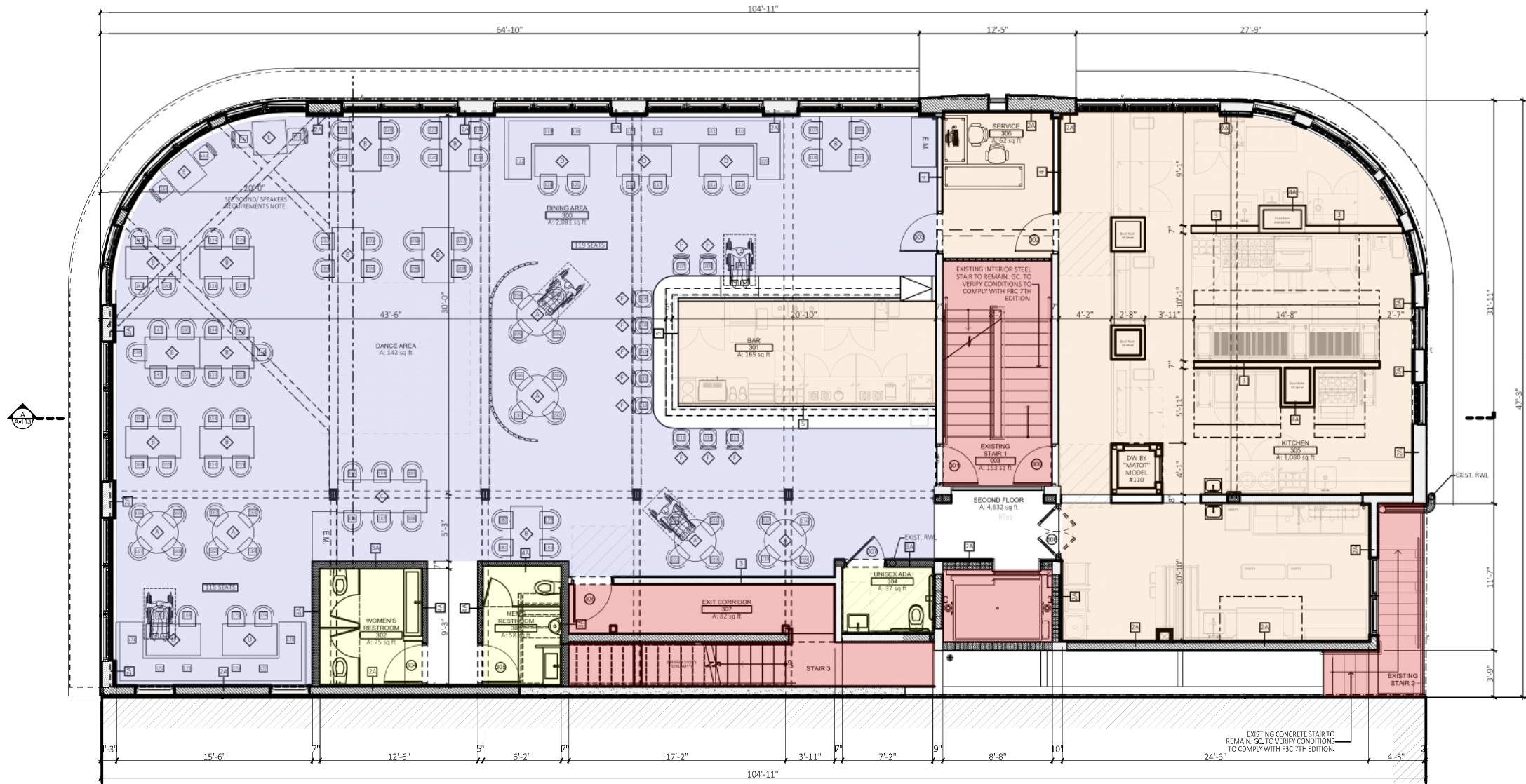
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PROJECT NO.
19-1007
DATE:
DECEMBER 2, 2019
SCALE:
AS SHOWN

TITLE:
PROPOSED MEZZANINE
FLOOR PLAN
DRAWING NO.:
A-107



A PROPOSED THIRD FLOOR PLAN
SCALE: 3/32" = 1'-0"

METHOD OF OPERATION

THE ESTABLISHMENT WILL BE OPERATING AS:
-RESTAURANT / BAR.
-ENTERTAINMENT VENUE

OCCUPANCY LOAD CALCULATIONS

THIRD FLOOR:

DINING:	1,995 S.F. / 15 NET	= 133 PERSONS
KITCHEN:	1,226 S.F. / 200 GROSS	= 7 PERSONS
STORAGE:	102 S.F. / 300 GROSS	= 1 PERSONS
TOTAL		= 141 PERSONS

TOTAL BUILDING OCCUPANTS: 413 PERSONS

INTERIOR SEATING COUNT

QTY.	DESCRIPTION	LOCATION
119	DINING AREA	THIRD
119	TOTAL	

TABLE 221.2.1 WHEELCHAIR SPACES IN ASSEMBLY AREAS

51 TO 150	4
TOTAL	4

PLAN LEGEND

- ASSEMBLY AREAS (DINING AREAS).
- KITCHEN / BAR AREAS.
- RESTROOMS.
- STAIR / ELEVATOR / CORRIDORS.

NOTE

NO ROOFTOP ENTERTAINMENT PROPOSED.
PROPOSED SOUND OR MUSIC PLAYED WILL NOT
INTERFERE WITH NO-ENTERTAINMENT AREAS.

FURNITURE LEGEND

A	ROUND TABLE (3'-4")- 4 PERSONS (MOBILE FURNITURE)
B	TABLE (2'-6"x4'-4")- 4-5 PERSONS (MOBILE FURNITURE)
C	TABLE (2'-6"x7'-0")- 6 PERSONS (MOBILE FURNITURE)
D	TABLE (2'-6"x4'-4") AND BANQUET. 4 PERSONS
E	TABLE (2'-6"x2'-6")- 2 PERSONS (MOBILE FURNITURE)
F	BARSTOOL (MOBILE FURNITURE)
G	SOFA- 2 PERSONS (MOBILE FURNITURE)



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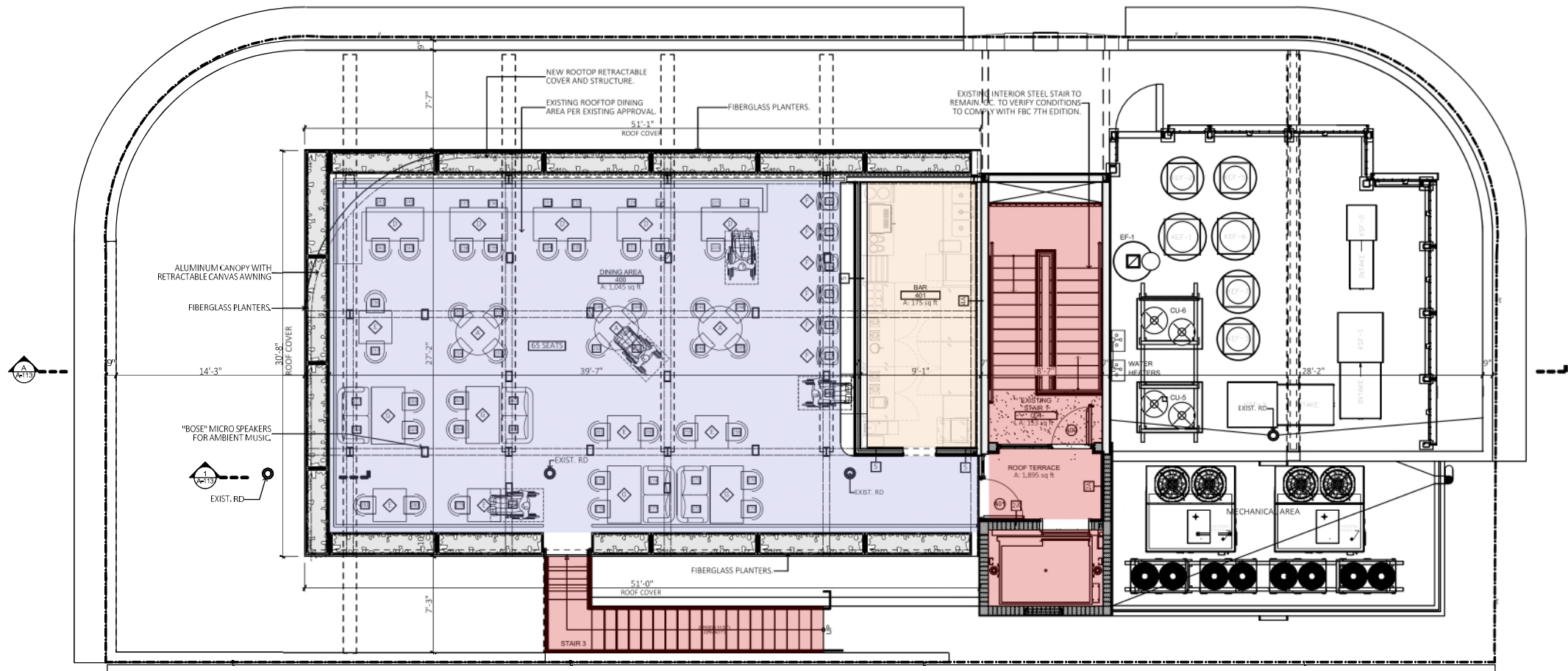
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19-1007
DATE:
DECEMBER 2, 2019
SCALE:
AS SHOWN

TITLE:
PROPOSED THIRD FLOOR
PLAN
DRAWING NO.:
A-108



A PROPOSED ROOF TERRACE PLAN
SCALE: 3/32" = 1'-0"

METHOD OF OPERATION

THE ESTABLISHMENT WILL BE OPERATING AS:
-RESTAURANT / BAR.
-ENTERTAINMENT VENUE

OCCUPANCY LOAD CALCULATIONS

ROOF TERRACE:

DINING:	1,046 S.F. / 15 NET	= 70 PERSONS
BAR:	168 S.F. / 200 GROSS	= 2 PERSONS
TOTAL		= 72 PERSONS

TOTAL BUILDING OCCUPANTS: 413 PERSONS

INTERIOR SEATING COUNT

QTY.	DESCRIPTION	LOCATION
65	DINING AREA	ROOF
65	TOTAL	

TABLE 221.2.1 WHEELCHAIR SPACES IN ASSEMBLY AREAS

51 TO 150	4
TOTAL	4

PLAN LEGEND

- ASSEMBLY AREAS (DINING AREAS).
- KITCHEN / BAR AREAS.
- RESTROOMS.
- STAIR / ELEVATOR / CORRIDORS.

NOTE

NO ROOFTOP ENTERTAINMENT PROPOSED.
PROPOSED SOUND OR MUSIC. PLAYED WILL NOT
INTERFERE WITH NO-ENTERTAINMENT AREAS.

FURNITURE LEGEND

A	ROUND TABLE (3'-4")- 4 PERSONS (MOBILE FURNITURE)
B	TABLE (2'-6"x4'-4")- 4-5 PERSONS (MOBILE FURNITURE)
C	TABLE (2'-6"x7'-0")- 6 PERSONS (MOBILE FURNITURE)
D	TABLE (2'-6"x4'-4") AND BANQUET. 4 PERSONS
E	TABLE (2'-6"x2'-6")- 2 PERSONS (MOBILE FURNITURE)
F	BARSTOOL (MOBILE FURNITURE)
G	SOFA- 2 PERSONS (MOBILE FURNITURE)



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TITLE:
PROPOSED ROOF FLOOR
PLAN

DRAWING NO.:

A-109



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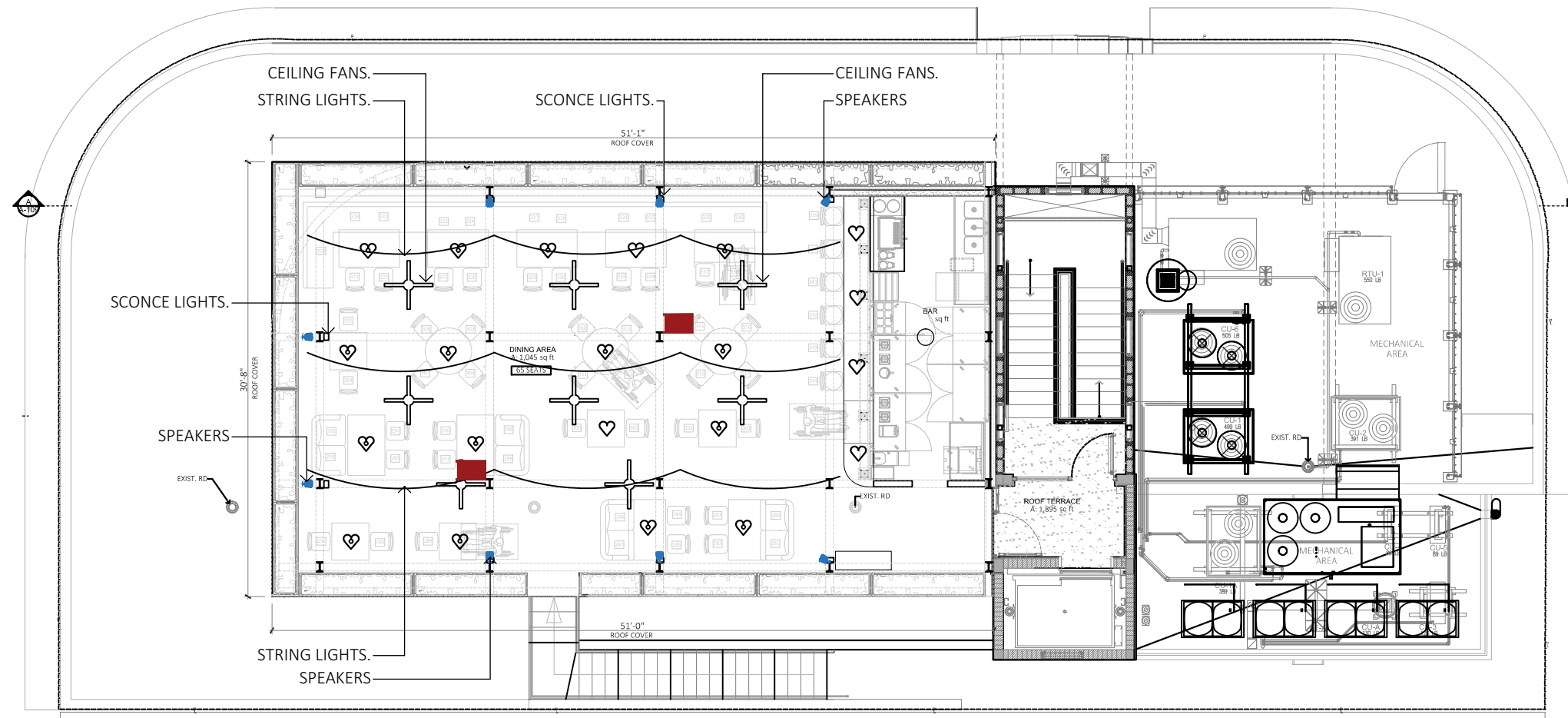
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FORM GROUP, INC.
4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155
TEL. 305.443.4244 FX. 305.443.3338
ARCHITECT OF RECORD: OMAR MORALES, AIA
AA-0014851

PROJECT NO. 19-1007
DATE: 11/1/19
TITLE: PROPOSED ROOF-LIGHTING PLAN

SCALE: AS SHOWN DRAWING NO.: **A-109.1**



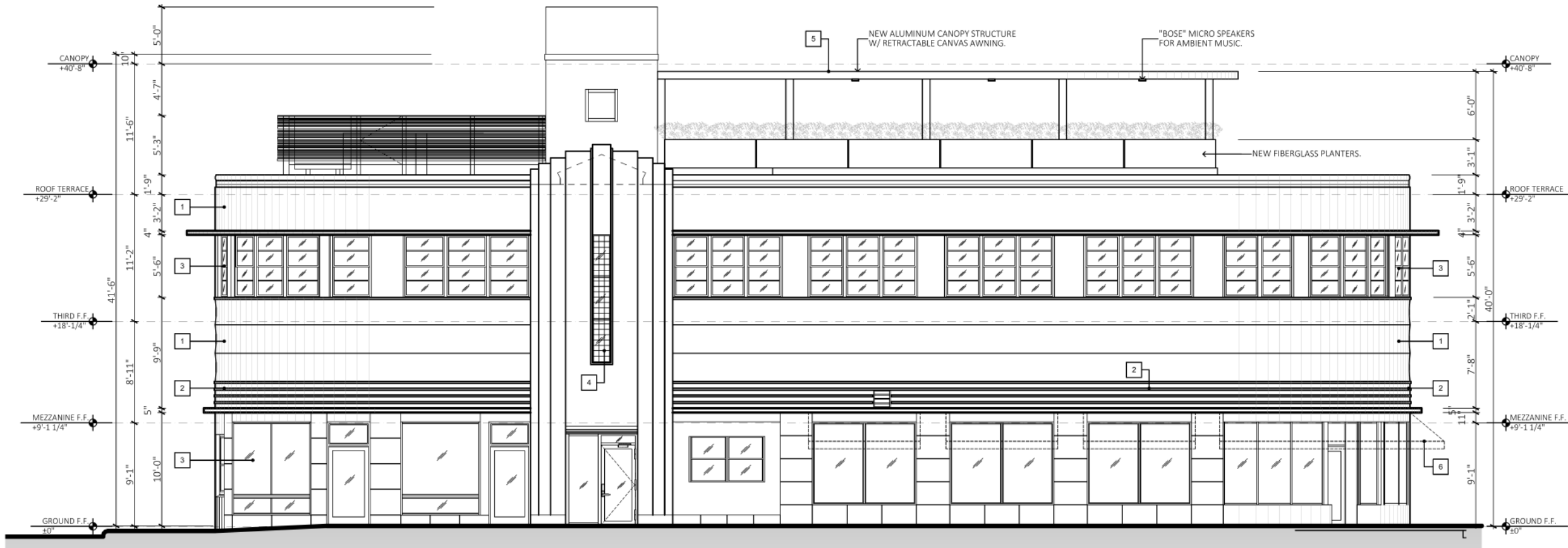
A PROPOSED ROOF TERRACE CEILING PLAN
SCALE: 1/4" = 1'-0"



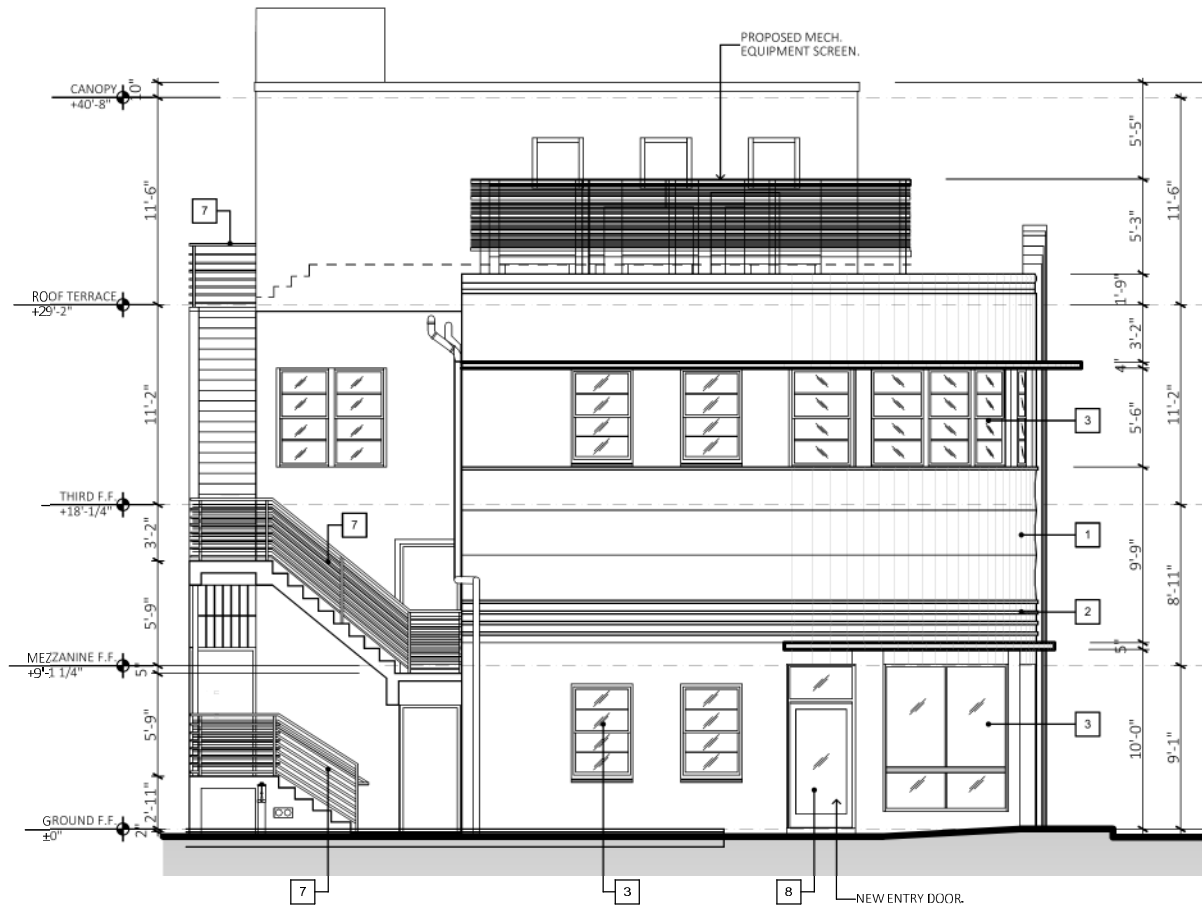
NOTES:

ALL LIGHTING FIXTURES, CEILING FANS, ETC. IN CANOPY STRUCTURE WILL BE PERMANENTLY AFFIXED TO THE STRUCTURE.

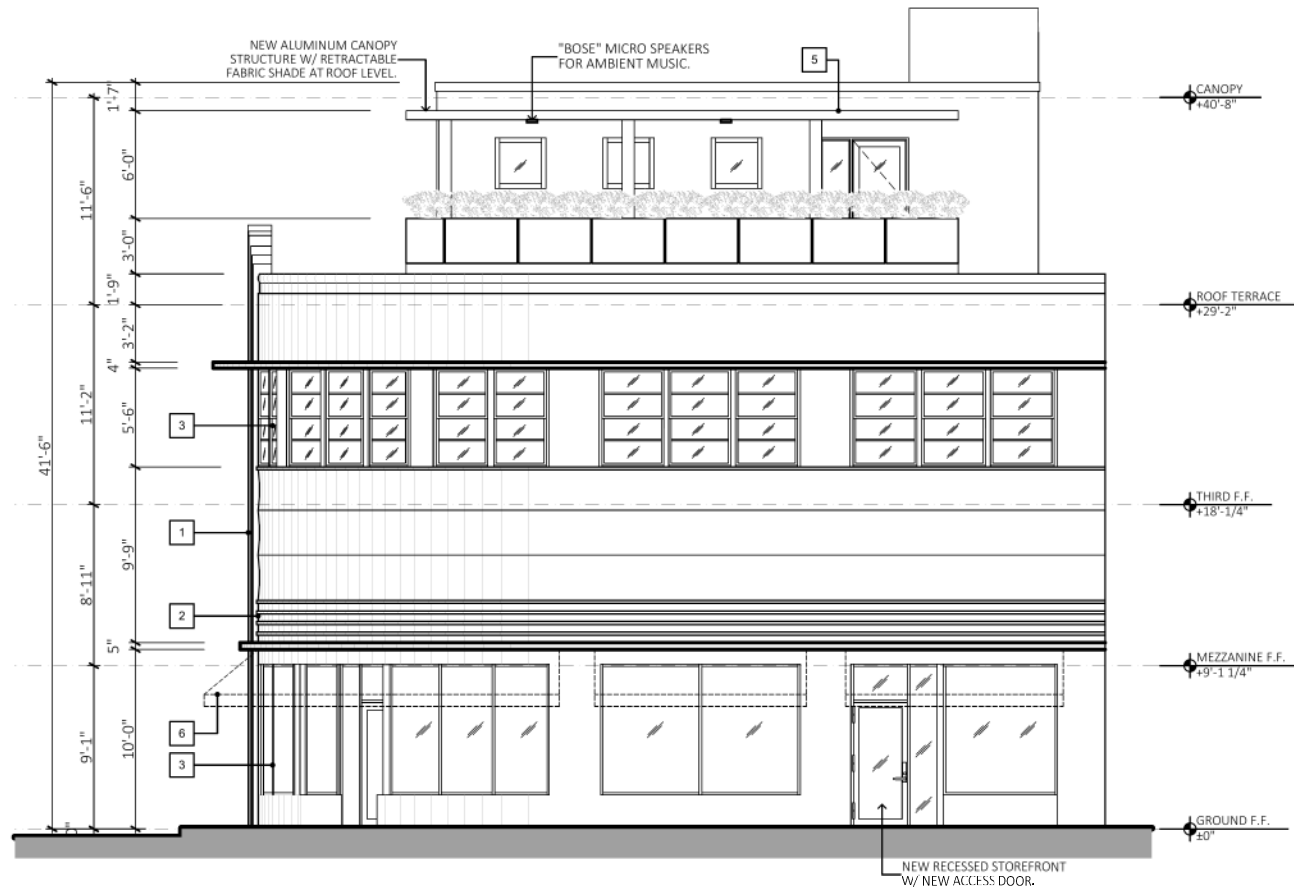
- FINISH NOTES:**
1. EXISTING STUCCO TO BE PATCHED AND REPAIRED. PAINTED.
 2. EXISTING STUCCO BANDING TO REMAIN.
 3. EXISTING WINDOWS TO REMAIN.
 4. EXISTING GLASS BLOCK DETAIL TO REMAIN.
 5. NEW ALUMINUM CANOPY WHITE ESP FINISH.
 6. NEW CANVAS AWNINGS TO MATCH EXISTING.
 7. EXISTING STAIR RAILINGS TO BE PAINTED WHITE.
 8. NEW ALUMINUM/GLASS ENTRY DOOR TO MATCH EXISTING.



1 PROPOSED WEST ELEVATION
SCALE: 3/32" = 1'-0"



3 PROPOSED NORTH ELEVATION
SCALE: 3/32" = 1'-0"



2 PROPOSED SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



OWNER:
LINCOLN DREXEL, LTD AND
LINCOLN DREXEL II, LTD
3921 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
FORM GROUP, INC.
4300 SW 73 AVE, #106
MIAMI, FL, 33155
PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:

**ANDRÉS
CARNE DE RES**

LINCOLN DREXEL BUILDING
455 LINCOLN ROAD
MIAMI BEACH, FL 33139

REVISIONS:
HPB SUBMITTAL 07-06-21

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FORM GROUP, INC.
4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155
TEL 305.443.4244 FAX 305.443.3338
ARCHITECT OF RECORD: OMAR MORALES, AIA
AA-0014861

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PROJECT NO. 19-1007 TITLE: PROPOSED ELEVATION

DATE: DECEMBER 2, 2019

SCALE: AS SHOWN DRAWING NO.: A-111



OWNER:
LINCOLN DREXEL, LTD AND
LINCOLN DREXEL II, LTD.
3921 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
FORM GROUP, INC.
4300 SW 73 AVE, #106
MIAMI, FL, 33155
PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:

**ANDRÉS
CARNE DE RES**

LINCOLN DREXEL BUILDING
455 LINCOLN ROAD
MIAMI BEACH, FL 33139

REVISIONS:
HPB SUBMITTAL 07-06-21

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FORM GROUP, INC.
4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155
TEL: 305.443.4244 FAX: 305.443.3339
ARCHITECT OF RECORD: OMAR MORALES, AIA
AIA#014851

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PROJECT NO:
19-1007

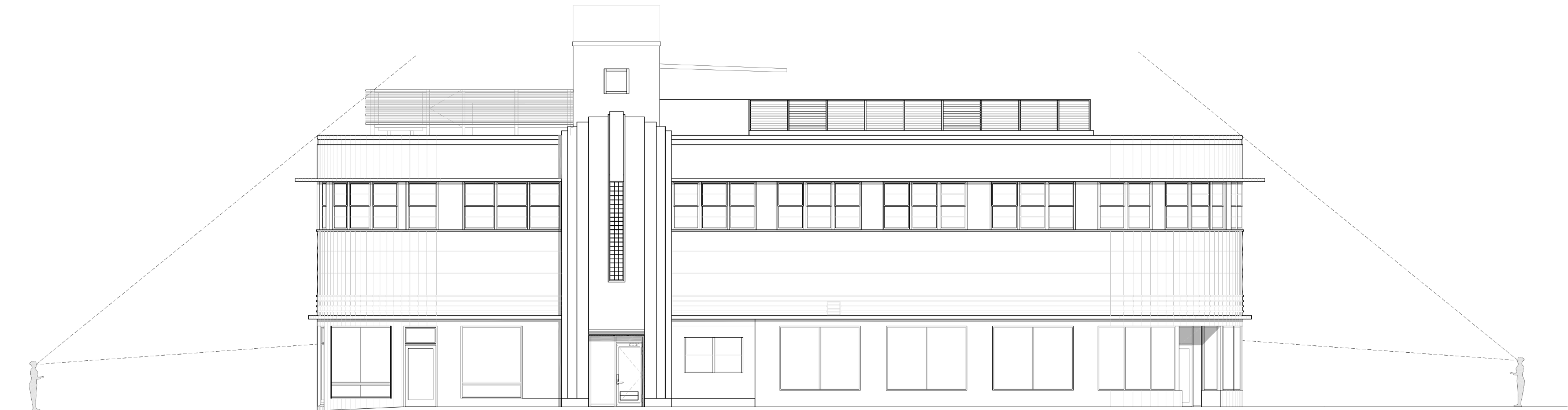
TITLE:
VIEW ANGLES

DATE:
DECEMBER 2, 2019

SCALE:
AS SHOWN

DRAWING NO.:

A-112



1 WEST ELEVATION- VIEW ANGLE
SCALE: 1:1.80



2 LINCOLN ROAD AND DREXEL AVENUE- 3D VIEW
NOT TO SCALE

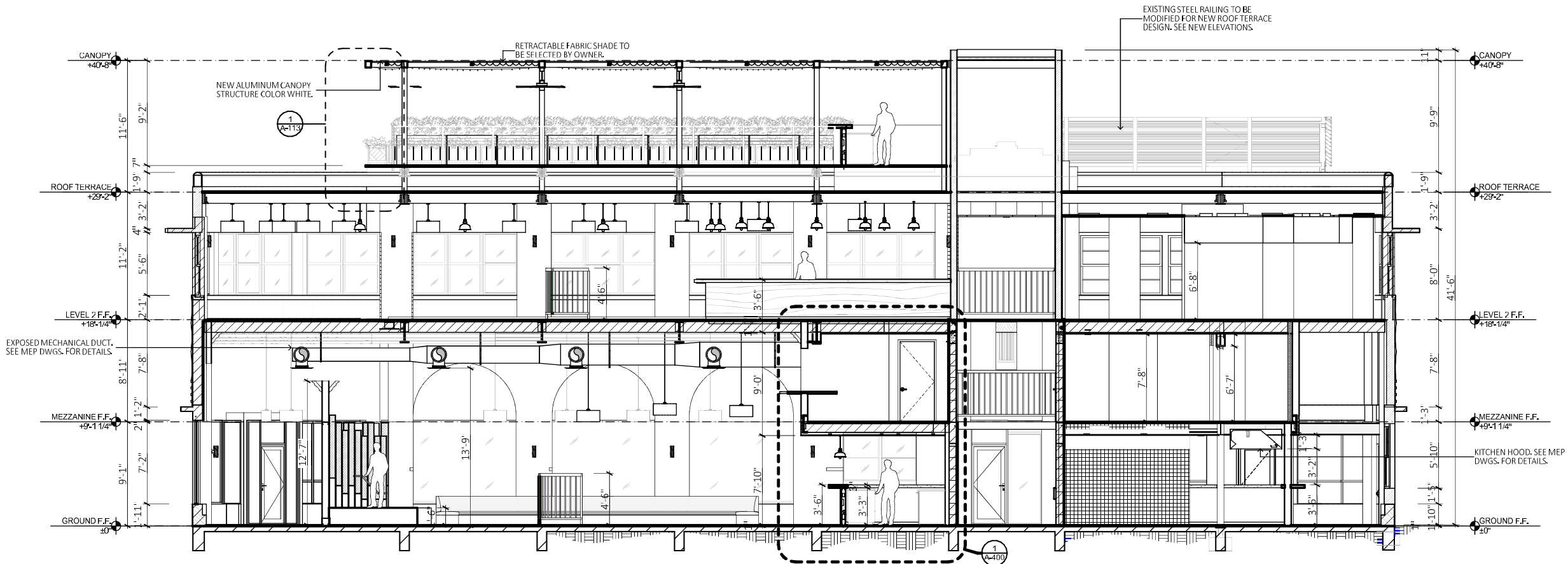


1 DREXEL AVENUE- 3D VIEW
NOT TO SCALE

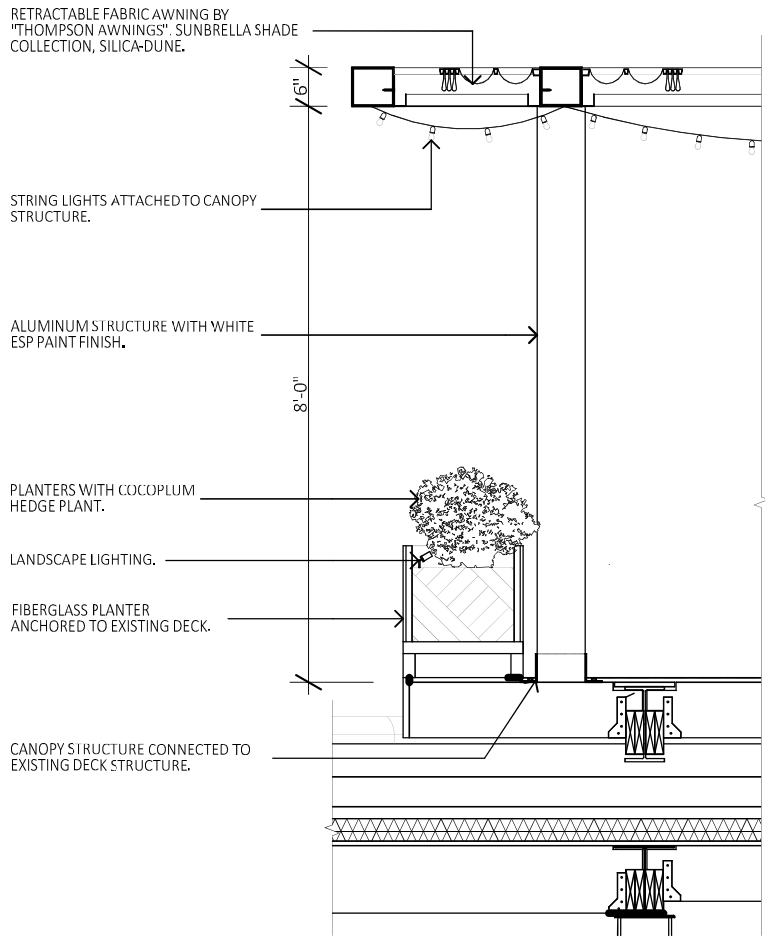
NOTES:

ALL LIGHTING FIXTURES, CEILING FANS, ETC. IN CANOPY STRUCTURE WILL BE PERMANENTLY AFFIXED TO THE STRUCTURE.

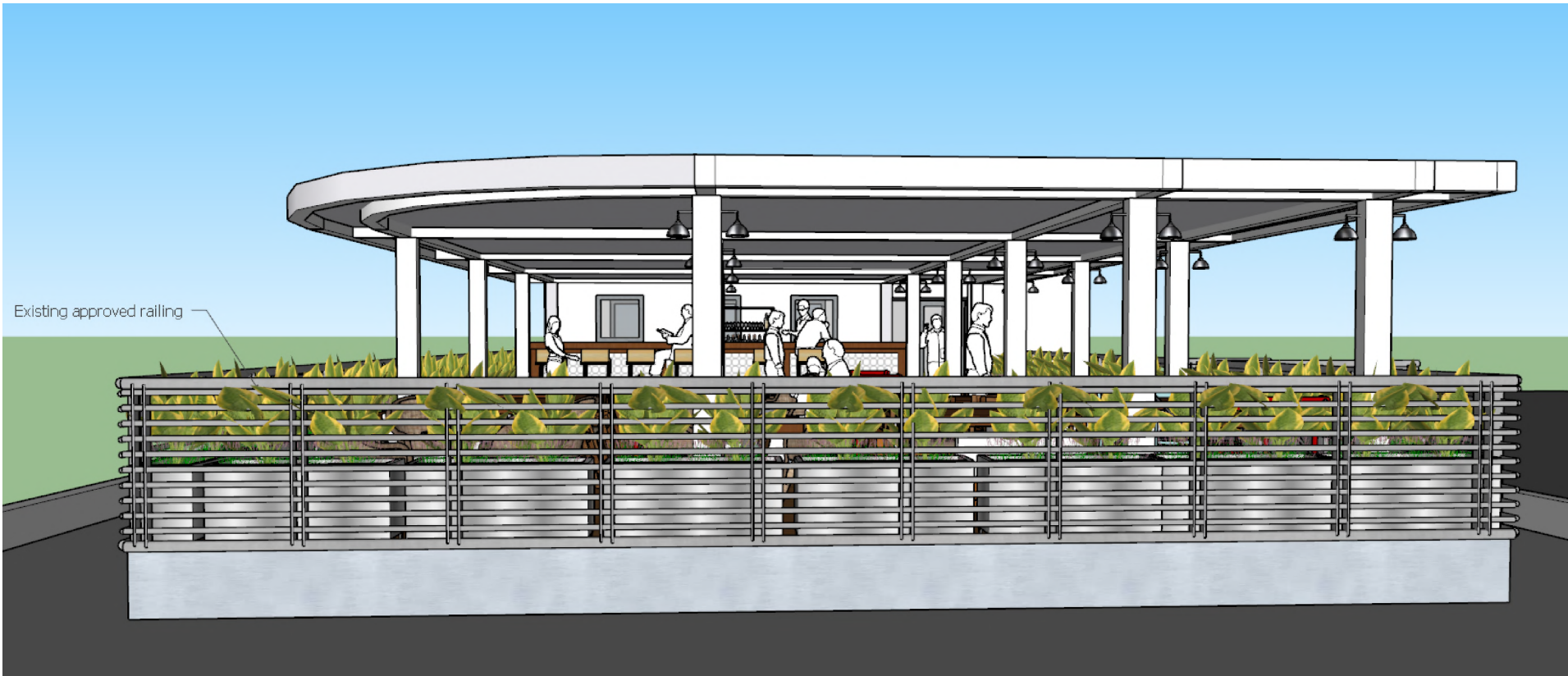
- FINISH NOTES:**
1. EXISTING STUCCO TO BE PATCHED AND REPAIRED. PAINTED.
 2. EXISTING STUCCO BANDING TO REMAIN.
 3. EXISTING WINDOWS TO REMAIN.
 4. EXISTING GLASS BLOCK DETAIL TO REMAIN.
 5. NEW ALUMINUM CANOPY WHITE ESP FINISH.
 6. NEW CANVAS AWNINGS TO MATCH EXISTING.
 7. EXISTING STAIR RAILINGS TO BE PAINTED WHITE.
 8. NEW ALUMINUM/GLASS ENTRY DOOR TO MATCH EXISTING.



A PROPOSED BUILDING SECTION
SCALE: 3/32" = 1'-0"



1 ROOF CANOPY- SECTION DETAIL
SCALE: 3/8" = 1'-0"



B CANOPY @ ROOF TERRACE - 3D VIEW
NOT TO SCALE



OWNER:
LINCOLN DREXEL, LTD AND
LINCOLN DREXEL II, LTD.
3921 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
FORM GROUP, INC.
4300 SW 73 AVE, #106
MIAMI, FL, 33155
PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:

**ANDRÉS
CARNE DE RES**

LINCOLN DREXEL BUILDING
455 LINCOLN ROAD
MIAMI BEACH, FL 33139

REVISIONS:
HPB SUBMITTAL 07-06-21



FORM GROUP, INC.
4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155
TEL: 305.443.4244 FAX: 305.443.5339
ARCHITECT OF RECORD: OMAR MORALES, AIA
AIA#014851

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PROJECT NO. 19-1007 **TITLE:** PROPOSED SECTION
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN **DRAWING NO.:** A-113



CANOPY- CONCEPT.



RETRACTABLE AWNINGS
FABRIC- SILICA DUNE.



STRING LIGHT-TERRACE
LIGHING CONCEPT.



FIBERGLASS PLANTER- CONCEPT.



LIGHTING FOR PLANTER. CONCEPT.



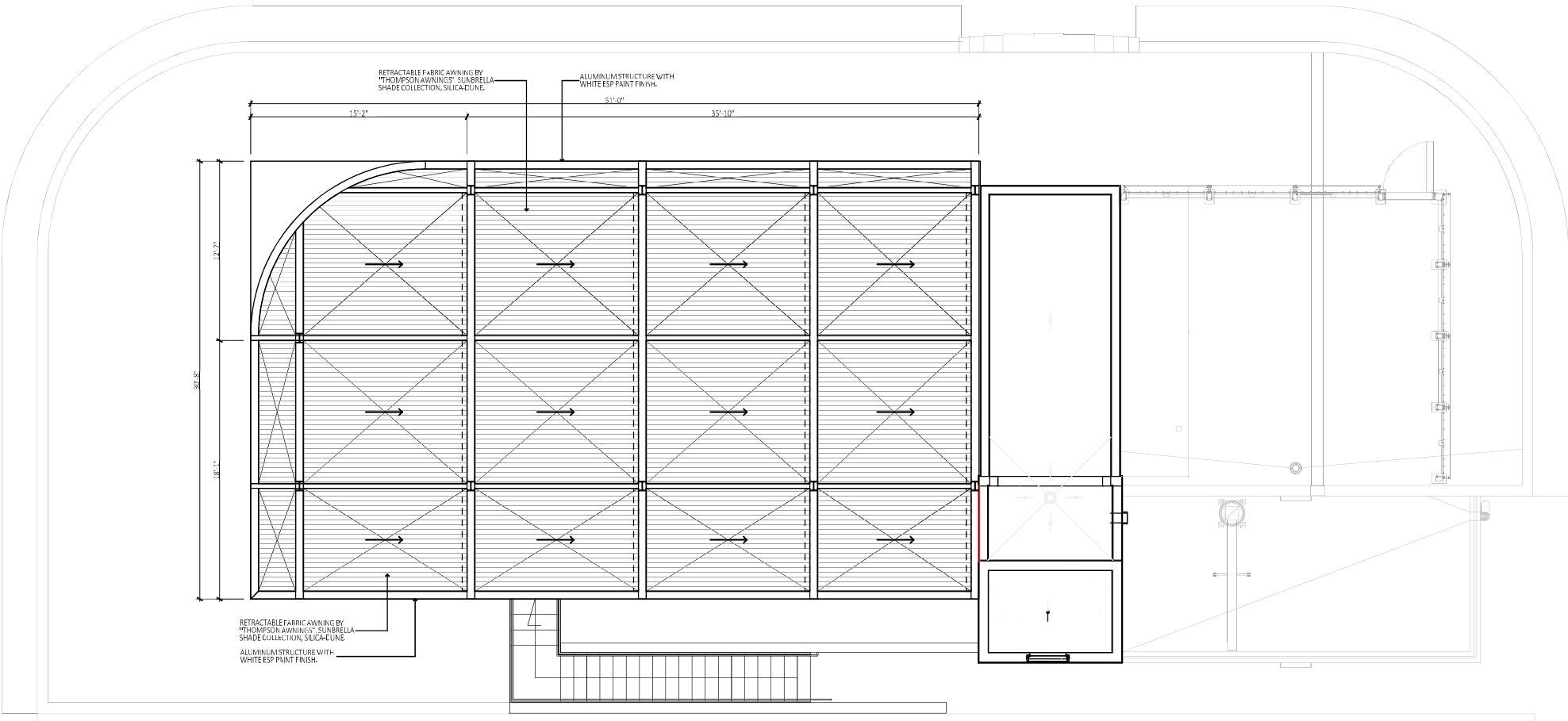
CEILING FANS- CONCEPT.



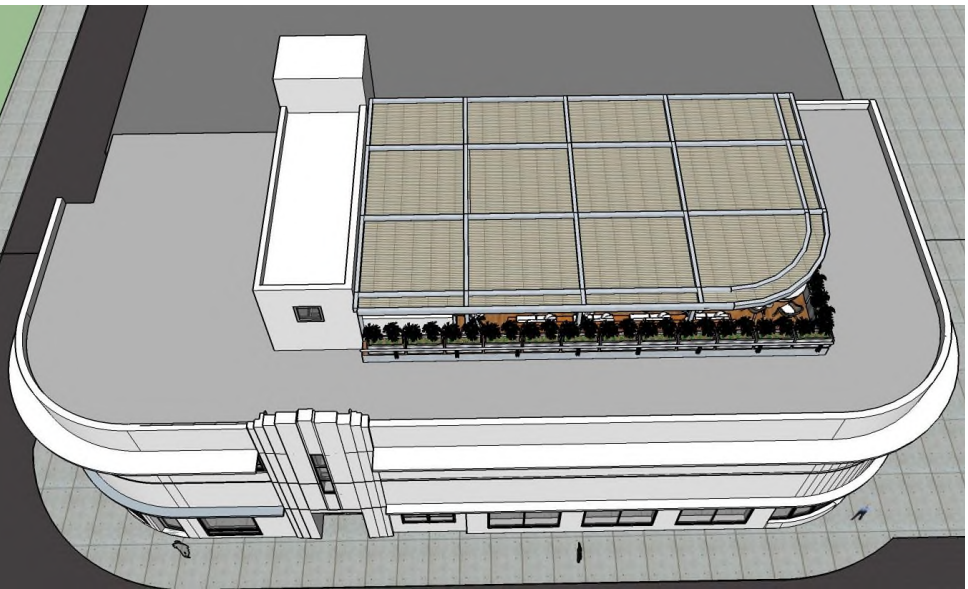
COCOPLUM EDGE-
LANDSCAPING CONCEPT.



ROOF/TERRACE- LIGHTING CONCEPT.



A PROPOSED CANOPY @ ROOF TERRACE
SCALE: 3/32" = 1'-0"



2 CANOPY@ ROOF TERRACE- 3D VIEW
NOT TO SCALE



3 CANOPY@ ROOF TERRACE- 3D VIEW
NOT TO SCALE



OWNER:
LINCOLN DREXEL, LTD AND
LINCOLN DREXEL II, LTD.
3921 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
FORM GROUP, INC
4300 SW 73 AVE, #106
MIAMI, FL, 33155
PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:

**ANDRÉS
CARNE DE RES**

LINCOLN DREXEL BUILDING
455 LINCOLN ROAD
MIAMI BEACH, FL 33139

REVISIONS:
HPB SUBMITTAL 07-06-21

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TEL: 305.443.4244 FAX: 305.443.5339
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AIA#014851

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PROJECT NO.
19-1007

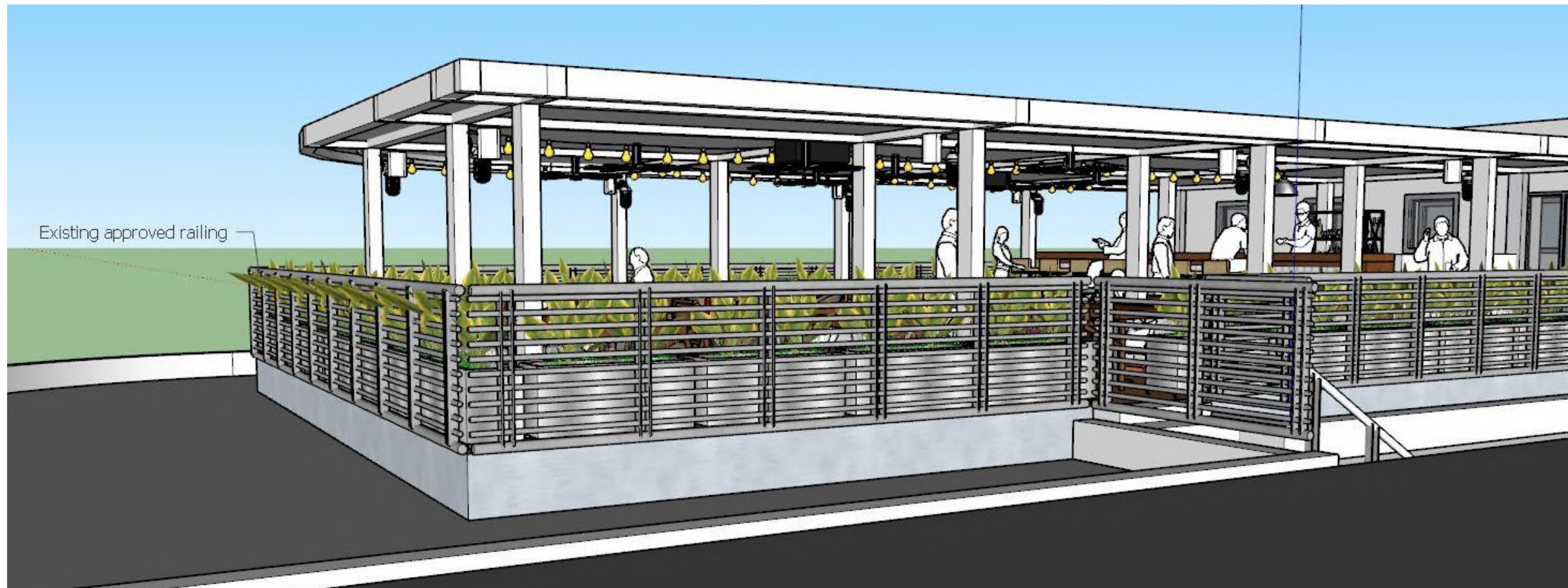
TITLE:
PROPOSED CANOPY

DATE:
DECEMBER 2, 2019

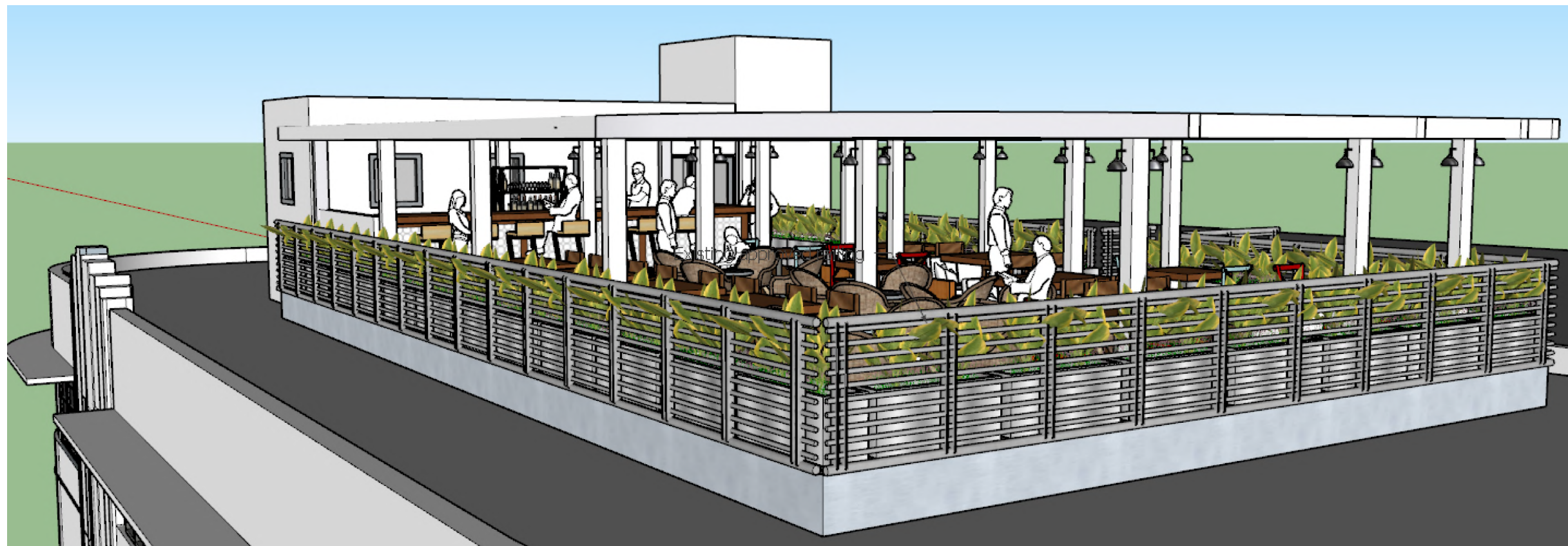
SCALE:
AS SHOWN

DRAWING NO.:

A-114



1 PROPOSED ROOFTOP CANOPY- 3D VIEW
NOT TO SCALE



2 PROPOSED ROOFTOP CANOPY- 3D VIEW
NOT TO SCALE



OWNER:
LINCOLN DREXEL, LTD AND
LINCOLN DREXEL II, LTD.
3921 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
FORM GROUP, INC.
4300 SW 73 AVE, #106
MIAMI, FL, 33155
PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:

**ANDRÉS
CARNE DE RES**

LINCOLN DREXEL BUILDING
455 LINCOLN ROAD
MIAMI BEACH, FL 33139

REVISIONS:

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ARCHITECT OF RECORD: OMAR MORALES, AIA
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PROJECT NO:

19-1007

DATE:

DECEMBER 2, 2019

SCALE:

AS SHOWN

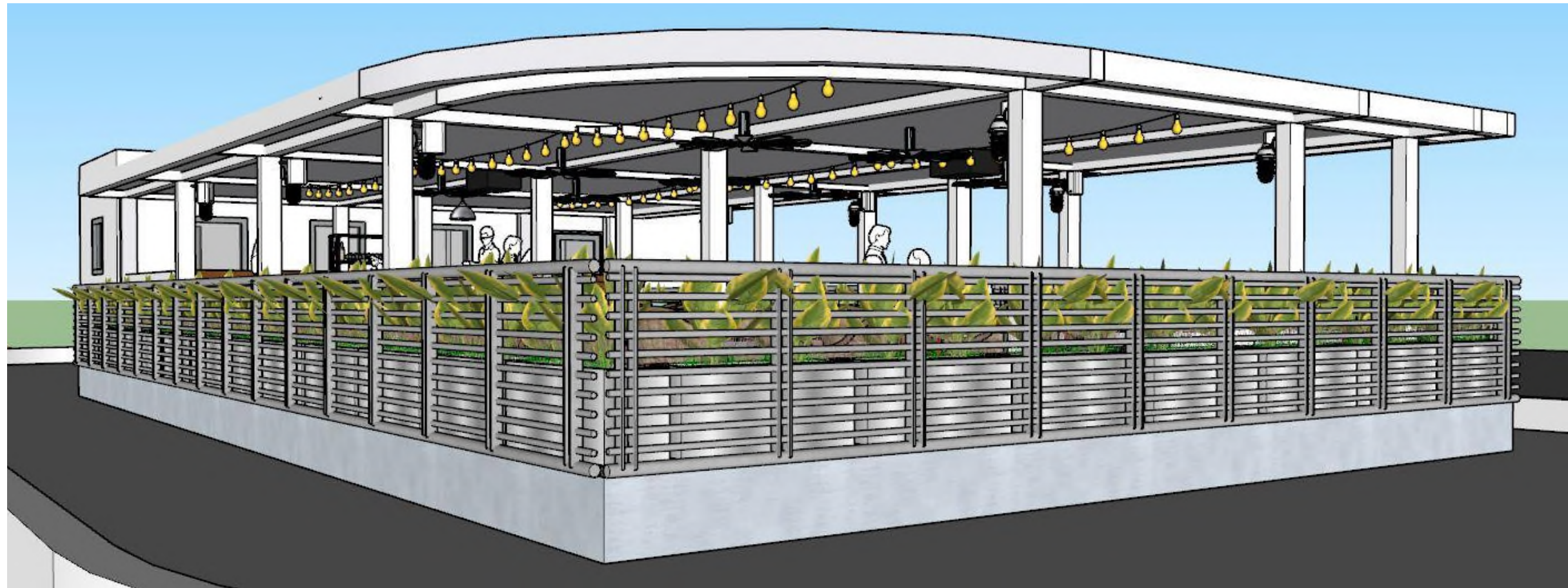
TITLE:

PROPOSED CANOPY- 3D

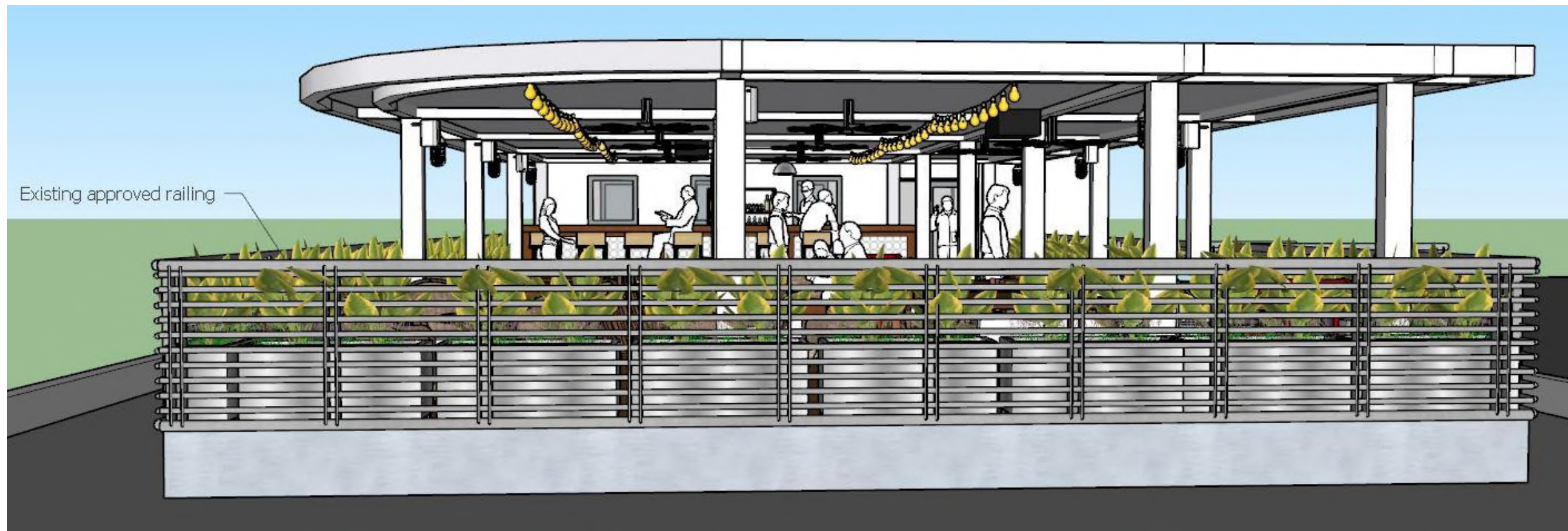
VIEW

DRAWING NO.:

A-114a



1 PROPOSED ROOFTOP CANOPY- 3D VIEW
NOT TO SCALE



2 PROPOSED ROOFTOP CANOPY- 3D VIEW
NOT TO SCALE



OWNER:
LINCOLN DREXEL, LTD AND
LINCOLN DREXEL II, LTD.
3921 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
FORM GROUP, INC.
4300 SW 73 AVE, #106
MIAMI, FL, 33155
PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:

**ANDRÉS
CARNE DE RES**

LINCOLN DREXEL BUILDING
455 LINCOLN ROAD
MIAMI BEACH, FL 33139

REVISIONS:

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PROJECT NO:
19-1007

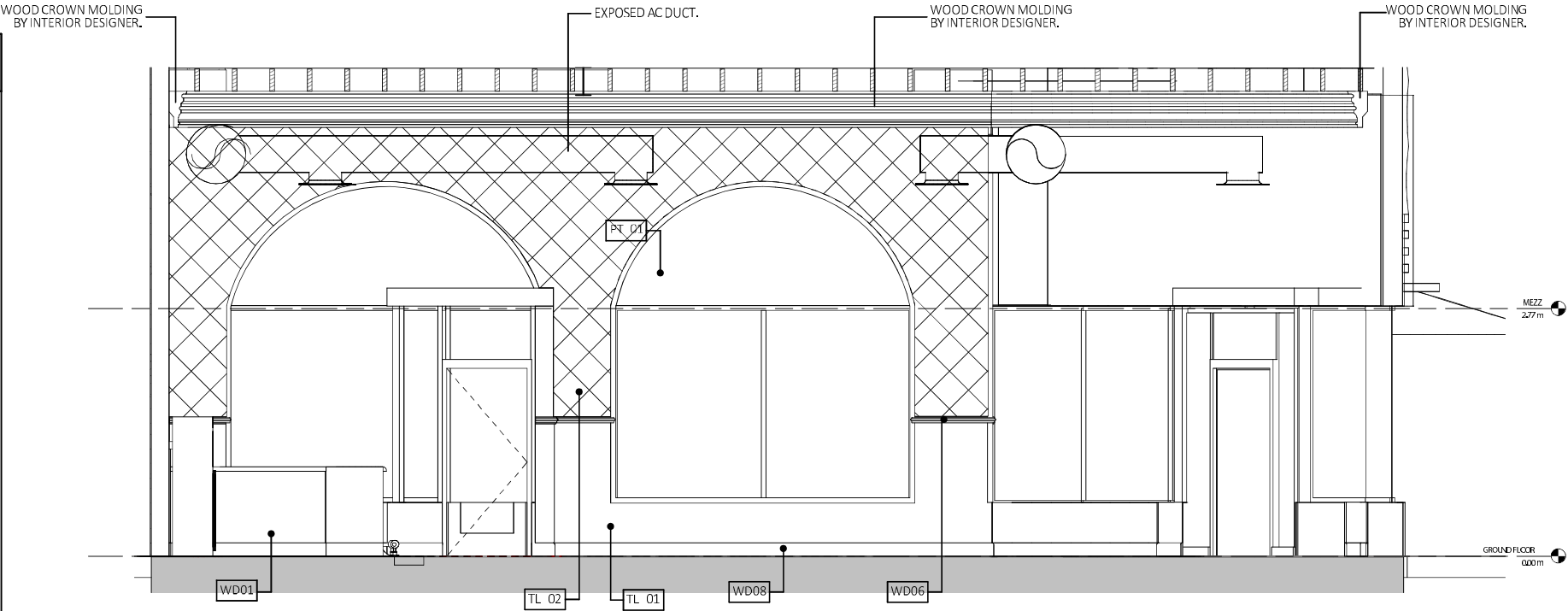
TITLE:
PROPOSED CANOPY- 3D
VIEW

DATE:
DECEMBER 2, 2019

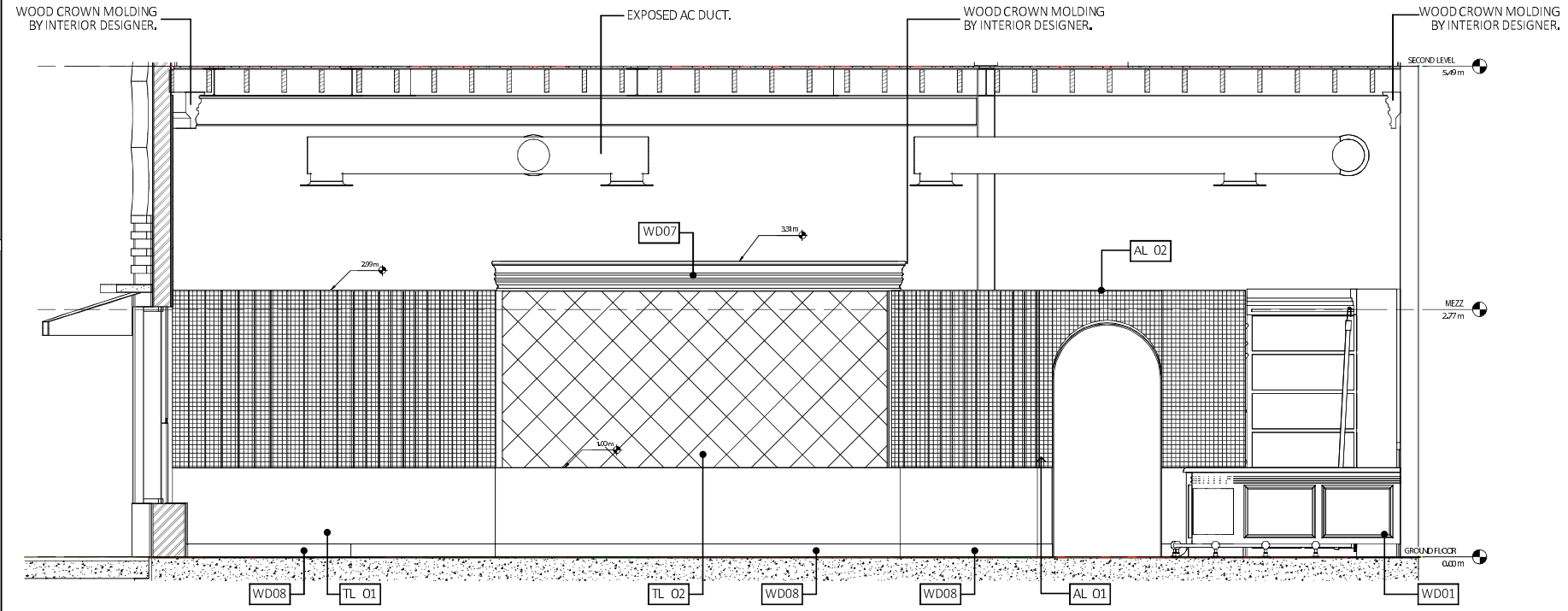
SCALE:
AS SHOWN

DRAWING NO.:
A-114b

WALL FINISHES LEGEND	
AL01	ALUMINUM WIRED SCREEN. METAL SCREEN TO BE PAINTED COLOR BLACK MATTE.
AL02	ALUMINUM MILLWORK CORNER. METAL SCREEN TO BE PAINTED COLOR BLACK MATTE.
FR01	FRP PANEL. COLOR BLACK
FR02	FRP PANEL. COLOR WHITE (KITCHEN AREAS)
FB01	EPOXY FLOOR BASE. COLOR WHITE
FB02	CERAMIC FLOOR BASE. COLOR DARK BLUE.
PT01	SMOOTH GYP. BD TO BE PAINTED. COLOR LIGHT GREY.
PT02	SMOOTH GYP. BD TO BE PAINTED (EPOXY @RESTROOMS). COLOR TO BE SELECTED BY INTERIOR DESIGNER.
SS01	STAINLESS STEEL PANELS. SEE WALL TYPES FOR DETAILS.
ST01	STONE. COUNTER MARBLE. CALACATTA LINCOLN MARBLE HONE BY STONE SOURCE, OVER PLYWOOD BACKER BOARD.
ST02	STONE. COUNTER QUARTZ. WHITE MATTE BY CAMBRIA QUARTZ, OVER PLYWOOD BACKER BOARD.
TL01	CERAMIC TILE. CUSTOM MOSAIC COLOR BLUE. SAMPLE TO BE PROVIDED BY I.D.
TL02	CERAMIC TILE. MARBLE TILE COLOR WHITE.
TL03	CERAMIC TILE. (@ RESTROOMS). COLOR AND SIZE TO BE SELECTED BY INTERIOR DESIGNER.
WD01	WOOD PANEL. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
WD02	WOOD BEAM. NATURAL MATTE FINISH.
WD03	6" WOOD BASE. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
WD04	WOOD PLANK. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
WD05	WOOD CABINET. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
WD06	3" WOOD TRIM. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
WD07	WOOD MOLDING. PAINTED COLOR LIGHT GREY.
WD08	4" WOOD BASE. PAINTED COLOR DARK GREY
WP01	WALLPAPER. CUSTOM WALLPAPER OVER A SMOOTH PLASTER FINISH. SAMPLE TO BE PROVIDED FOR INTERIOR DESIGNER.
WP02	WALLPAPER. CUSTOM WALLPAPER OVER A SMOOTH PLASTER FINISH. SAMPLE TO BE PROVIDED FOR INTERIOR DESIGNER.
WP03	WALLPAPER. CUSTOM WALLPAPER OVER A SMOOTH PLASTER FINISH. SAMPLE TO BE PROVIDED FOR INTERIOR DESIGNER.



A WAITING AREA- INTERIOR ELEVATION.
SCALE: 3/16" = 1'-0"



B WAITING AREA- INTERIOR ELEVATION.
SCALE: 3/16" = 1'-0"



OWNER:

DEVELOPER:

ARCHITECT:
FORM GROUP,INC
4300 SW 73 AVE, #106
MIAMI, FL, 33155
PH: 305-4434244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:

ANDRÉS
CARNE DE RES

LINCOLN DREXEL BUILDING
455 LINCOLN ROAD
MIAMI BEACH, FL 33139

REVISIONS:

HPB SUBMITTAL 07-06-21

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FORM GROUP, INC.
4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155
TEL: 305-4434244 FX: 305-4432338
ARCHITECT OF RECORD: LAMAR MUKALES, AIA
05-00-10001

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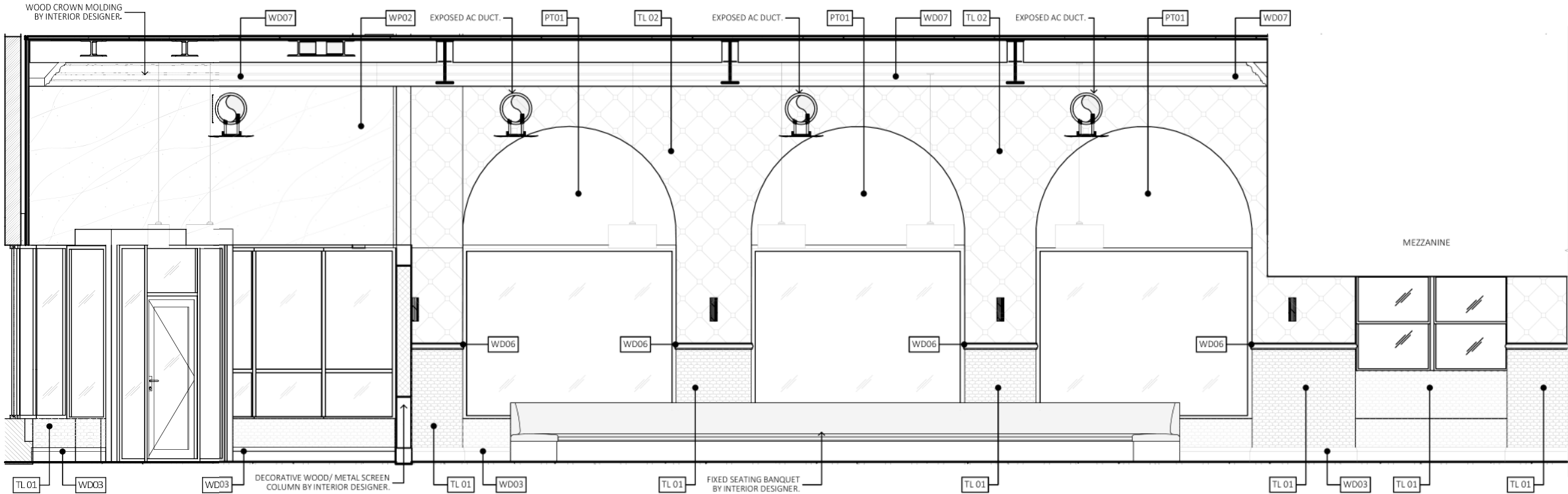
PROJECT NO. TITLE:

DATE:
DECEMBER 2, 2019
SCALE:

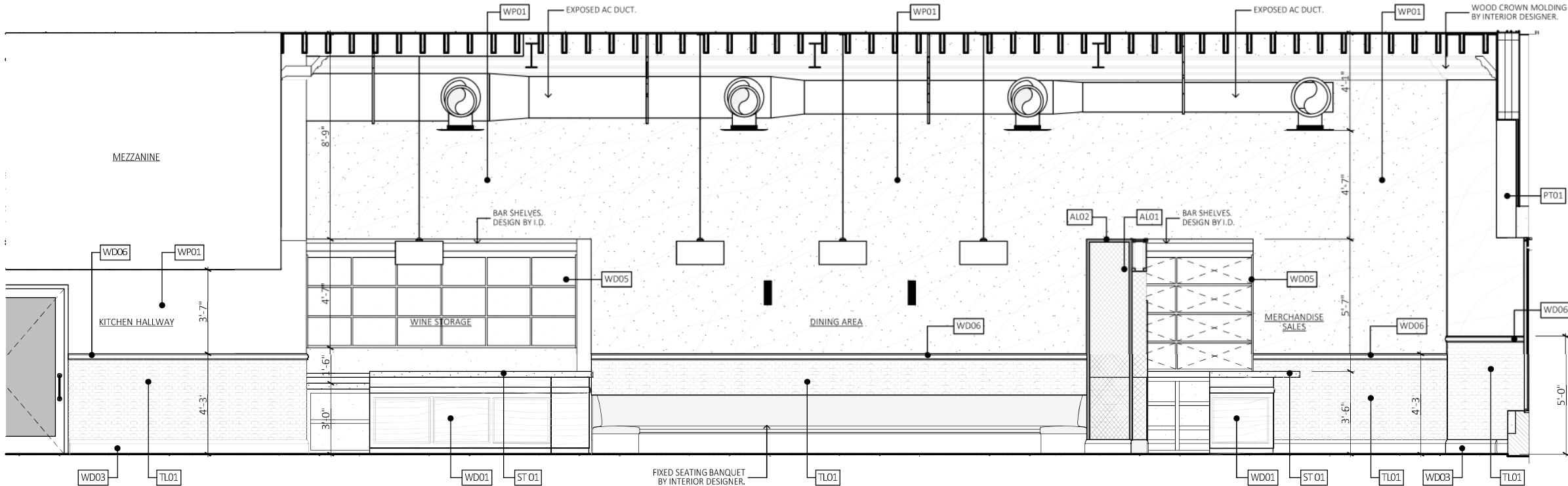
DRAWING NO.:

A-115

WALL FINISHES LEGEND	
AL01	ALUMINUM WIRED SCREEN. METAL SCREEN TO BE PAINTED COLOR BLACK MATTE.
AL02	ALUMINUM MILLWORK CORNER. METAL SCREEN TO BE PAINTED COLOR BLACK MATTE.
FR01	FRP PANEL. COLOR BLACK
FR02	FRP PANEL. COLOR WHITE (KITCHEN AREAS)
FB01	EPOXY FLOOR BASE. COLOR WHITE
FB02	CERAMIC FLOOR BASE. COLOR DARK BLUE.
PT01	SMOOTH GYP. BD TO BE PAINTED. COLOR LIGHT GREY.
PT02	SMOOTH GYP. BD TO BE PAINTED (EPOXY @RESTROOMS). COLOR TO BE SELECTED BY INTERIOR DESIGNER.
SS01	STAINLESS STEEL PANELS. SEE WALL TYPES FOR DETAILS.
ST01	STONE. COUNTER MARBLE. CALACATTA LINCOLN MARBLE HONE BY STONE SOURCE, OVER PLYWOOD BACKER BOARD.
ST02	STONE. COUNTER QUARTZ. WHITE MATTE BY CAMBRIA QUARTZ, OVER PLYWOOD BACKER BOARD.
TL01	CERAMIC TILE. CUSTOM MOSAIC COLOR BLUE. SAMPLE TO BE PROVIDED BY I.D.
TL02	CERAMIC TILE. MARBLE TILE COLOR WHITE.
TL03	CERAMIC TILE. (@ RESTROOMS). COLOR AND SIZE TO BE SELECTED BY INTERIOR DESIGNER.
WD01	WOOD PANEL. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
WD02	WOOD BEAM. NATURAL MATTE FINISH.
WD03	6" WOOD BASE. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
WD04	WOOD PLANK. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
WD05	WOOD CABINET. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
WD06	3" WOOD TRIM. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
WD07	WOOD MOLDING. PAINTED COLOR LIGHT GREY.
WD08	4" WOOD BASE. PAINTED COLOR DARK GREY
WP01	WALLPAPER. CUSTOM WALLPAPER OVER A SMOOTH PLASTER FINISH. SAMPLE TO BE PROVIDED FOR INTERIOR DESIGNER.
WP02	WALLPAPER. CUSTOM WALLPAPER OVER A SMOOTH PLASTER FINISH. SAMPLE TO BE PROVIDED FOR INTERIOR DESIGNER.
WP03	WALLPAPER. CUSTOM WALLPAPER OVER A SMOOTH PLASTER FINISH. SAMPLE TO BE PROVIDED FOR INTERIOR DESIGNER.



A WAITING & DINING AREA- INTERIOR ELEVATION.
SCALE: 3/16" = 1'-0"



B WAITING & DINING AREA- INTERIOR ELEVATION.
SCALE: 3/16" = 1'-0"



OWNER:
LINCOLN DREXEL, LTD AND
LINCOLN DREXEL II, LTD.
3921 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
FORM GROUP, INC.
4300 SW 73 AVE, #106
MIAMI, FL, 33155
PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:
ANDRÉS
CARNE DE RES

LINCOLN DREXEL BUILDING
455 LINCOLN ROAD
MIAMI BEACH, FL 33139

REVISIONS:
HPB SUBMITTAL 07-06-21

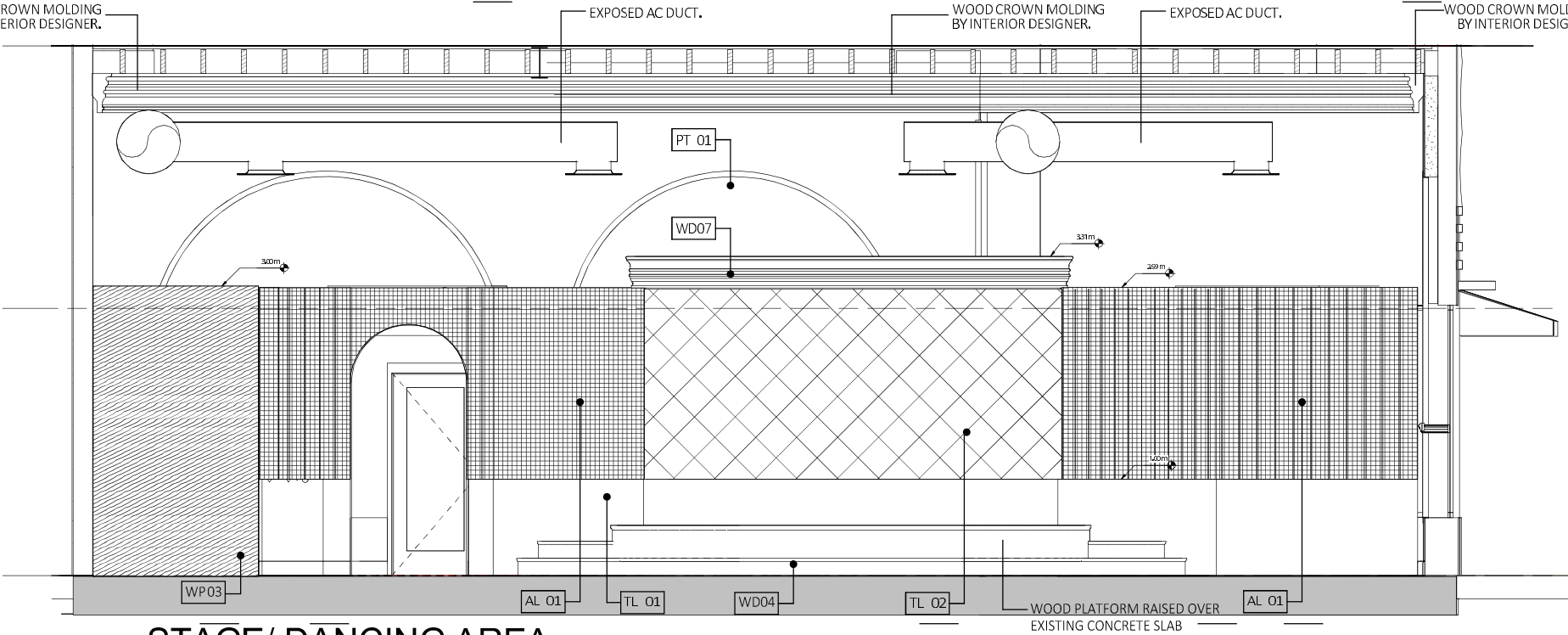


FORM GROUP, INC.
4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155
TEL: 305.443.4244 FAX: 305.443.3339
ARCHITECT OF RECORD: OMAR MORALES, AIA
AIA014851

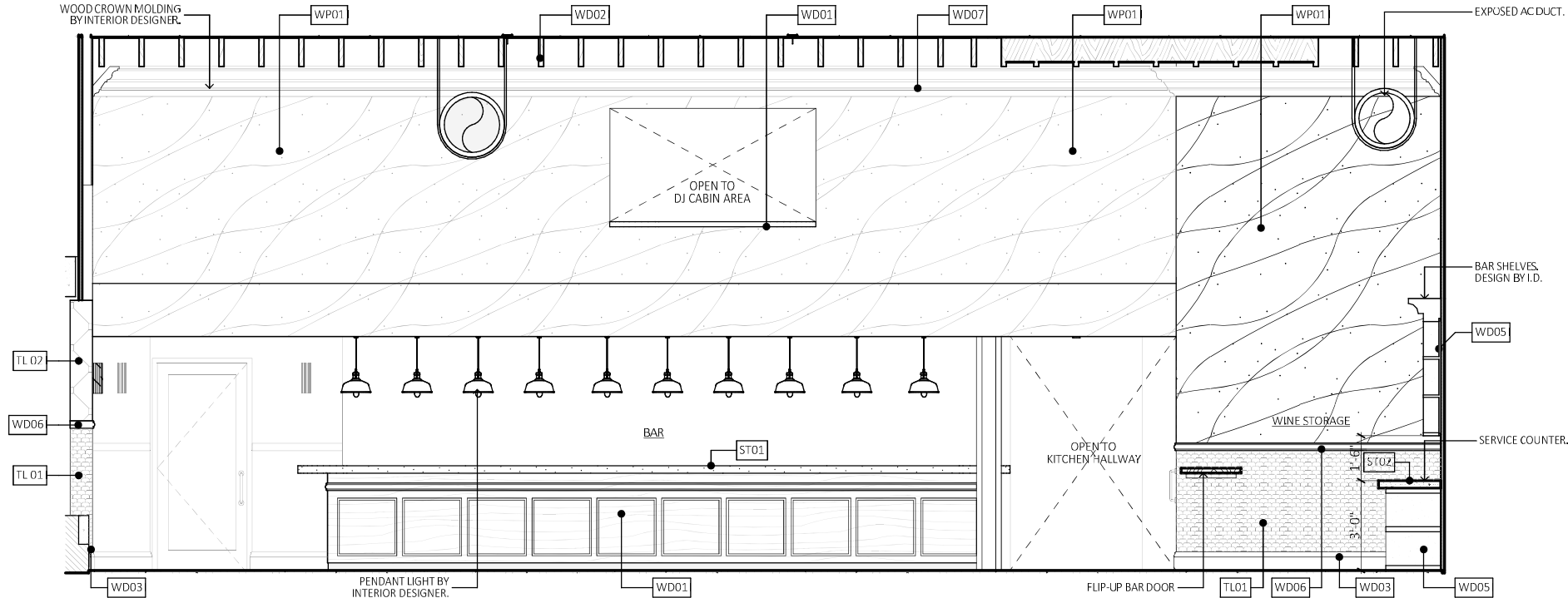
THE CLIENT HEREBY REPRESENTS AND WARRANTS THAT THE PROPERTY SHOWN HEREON IS HIS OR HER OWN AND NO PART THEREOF SHALL BE COPIED, REPRODUCED OR USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

PROJECT NO. 19-1007 TITLE: INTERIOR ELEVATION
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO.: A-116

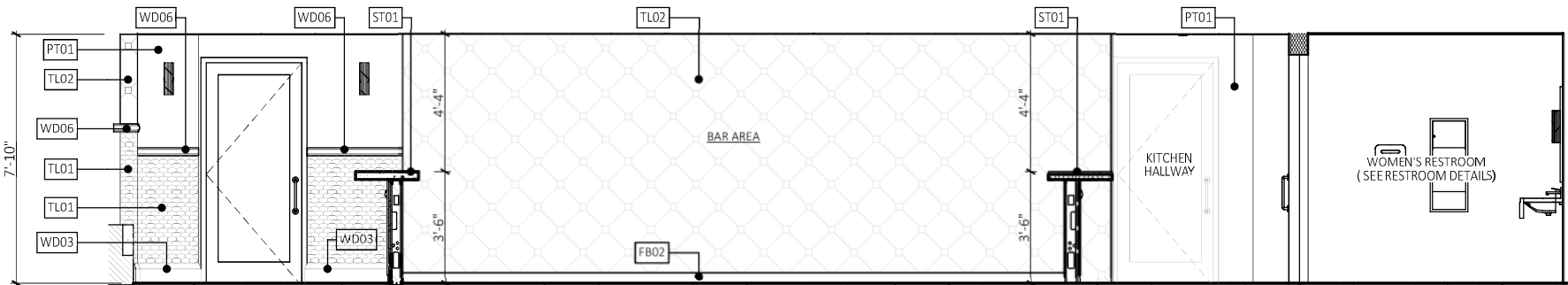
WALL FINISHES LEGEND	
AL01	ALUMINUM WIRED SCREEN. METAL SCREEN TO BE PAINTED COLOR BLACK MATTE.
AL02	ALUMINUM MILLWORK CORNER. METAL SCREEN TO BE PAINTED COLOR BLACK MATTE.
FR01	FRP PANEL. COLOR BLACK
FR02	FRP PANEL. COLOR WHITE (KITCHEN AREAS)
FB01	EPOXY FLOOR BASE. COLOR WHITE
FB02	CERAMIC FLOOR BASE. COLOR DARK BLUE.
PT01	SMOOTH GYP. BD TO BE PAINTED. COLOR LIGHT GREY.
PT02	SMOOTH GYP. BD TO BE PAINTED (EPOXY @RESTROOMS). COLOR TO BE SELECTED BY INTERIOR DESIGNER.
SS01	STAINLESS STEEL PANELS. SEE WALL TYPES FOR DETAILS.
ST01	STONE. COUNTER MARBLE. CALACATTA LINCOLN MARBLE HONE BY STONE SOURCE, OVER PLYWOOD BACKER BOARD.
ST02	STONE. COUNTER QUARTZ. WHITE MATTE BY CAMBRIA QUARTZ, OVER PLYWOOD BACKER BOARD.
TL01	CERAMIC TILE. CUSTOM MOSAIC COLOR BLUE. SAMPLE TO BE PROVIDED BY I.D.
TL02	CERAMIC TILE. MARBLE TILE COLOR WHITE.
TL03	CERAMIC TILE. (@ RESTROOMS). COLOR AND SIZE TO BE SELECTED BY INTERIOR DESIGNER.
WD01	WOOD PANEL. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
WD02	WOOD BEAM. NATURAL MATTE FINISH.
WD03	6" WOOD BASE. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
WD04	WOOD PLANK. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
WD05	WOOD CABINET. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
WD06	3" WOOD TRIM. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
WD07	WOOD MOLDING. PAINTED COLOR LIGHT GREY.
WD08	4" WOOD BASE. PAINTED COLOR DARK GREY
WP01	WALLPAPER. CUSTOM WALLPAPER OVER A SMOOTH PLASTER FINISH. SAMPLE TO BE PROVIDED FOR INTERIOR DESIGNER.
WP02	WALLPAPER. CUSTOM WALLPAPER OVER A SMOOTH PLASTER FINISH. SAMPLE TO BE PROVIDED FOR INTERIOR DESIGNER.
WP03	WALLPAPER. CUSTOM WALLPAPER OVER A SMOOTH PLASTER FINISH. SAMPLE TO BE PROVIDED FOR INTERIOR DESIGNER.



A STAGE/ DANCING AREA
SCALE: 3/16" = 1'-0"



B DINING- BAR AREA ELEVATION
SCALE: 3/16" = 1'-0"



C BACK BAR ELEVATION
SCALE: 3/16" = 1'-0"



OWNER:
LINCOLN DREXEL LTD AND
LINCOLN DREXEL II, LTD.
3921 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
FORM GROUP INC.
4300 SW 73 AVE. #106
MIAMI, FL, 33156
PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:

**ANDRÉS
CARNE DE RES**

LINCOLN DREXEL BUILDING
455 LINCOLN ROAD
MIAMI BEACH, FL 33139

REVISIONS:
HPB SUBMITTAL 07-06-21

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FORM GROUP, INC.
4300 SW 73 AVE, SUITE 106, MIAMI, FL 33156
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ARCHITECT OF RECORD: OMAR MORALES, AIA
AIA#014851

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PROJECT NO. 19-007 **TITLE:** INTERIOR ELEVATION

DATE: DECEMBER 2, 2019

SCALE: AS SHOWN **DRAWING NO.:** A-117



B DREXEL AVENUE -EXTERIOR RENDERING
NOT TO SCALE



A DREXEL AVENUE -EXTERIOR RENDERING
NOT TO SCALE



OWNER:
LINCOLN DREXEL, LTD AND
LINCOLN DREXEL II, LTD.
3921 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
FORM GROUP, INC
4300 SW 73 AVE, #106
MIAMI, FL, 33155
PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:

**ANDRÉS
CARNE DE RES**

LINCOLN DREXEL BUILDING
455 LINCOLN ROAD
MIAMI BEACH, FL 33139

REVISIONS:
HPB SUBMITTAL 07-06-21



FORM GROUP, INC.
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PROJECT NO:
19-1007

TITLE:
EXTERIOR RENDERINGS

DATE:
DECEMBER 2, 2019

SCALE:
AS SHOWN

DRAWING NO.:
A-119



(C) EXISTING RESTAURANT
NOT TO SCALE



(B) EXISTING RESTAURANT
NOT TO SCALE



(A) EXISTING RESTAURANT
NOT TO SCALE



(F) PROPOSED RESTAURANT
NOT TO SCALE



(E) PROPOSED RESTAURANT
NOT TO SCALE



(D) PROPOSED RESTAURANT
NOT TO SCALE



OWNER:
LINCOLN DREXEL, LTD AND
LINCOLN DREXEL II, LTD.
3921 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
FORM GROUP, INC.
4300 SW 73 AVE, #106
MIAMI, FL, 33155
PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:

ANDRÉS
CARNE DE RES

LINCOLN DREXEL BUILDING
455 LINCOLN ROAD
MIAMI BEACH, FL 33139

REVISIONS:
HPB SUBMITTAL 07-06-21

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PROJECT NO:
19-1007
DATE:
DECEMBER 2, 2019
SCALE:
AS SHOWN
TITLE:
EXISTING & PROPOSED
RENDERING
DRAWING NO.:
G-4