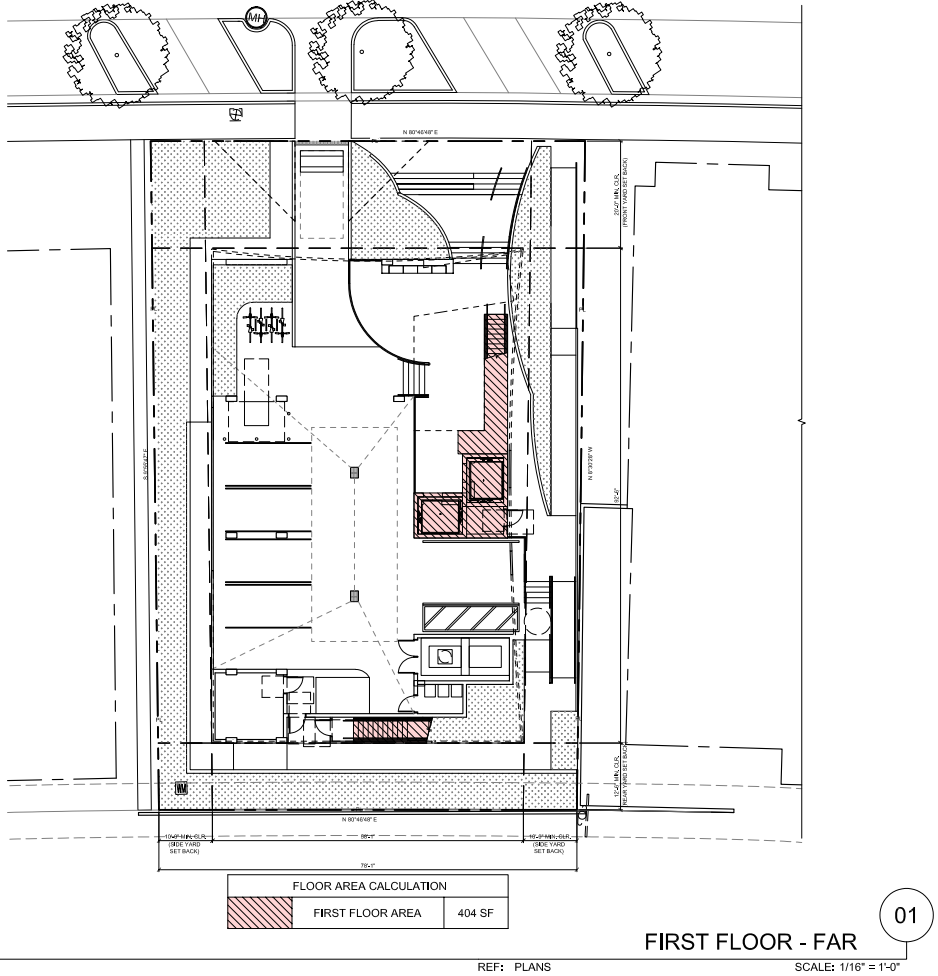
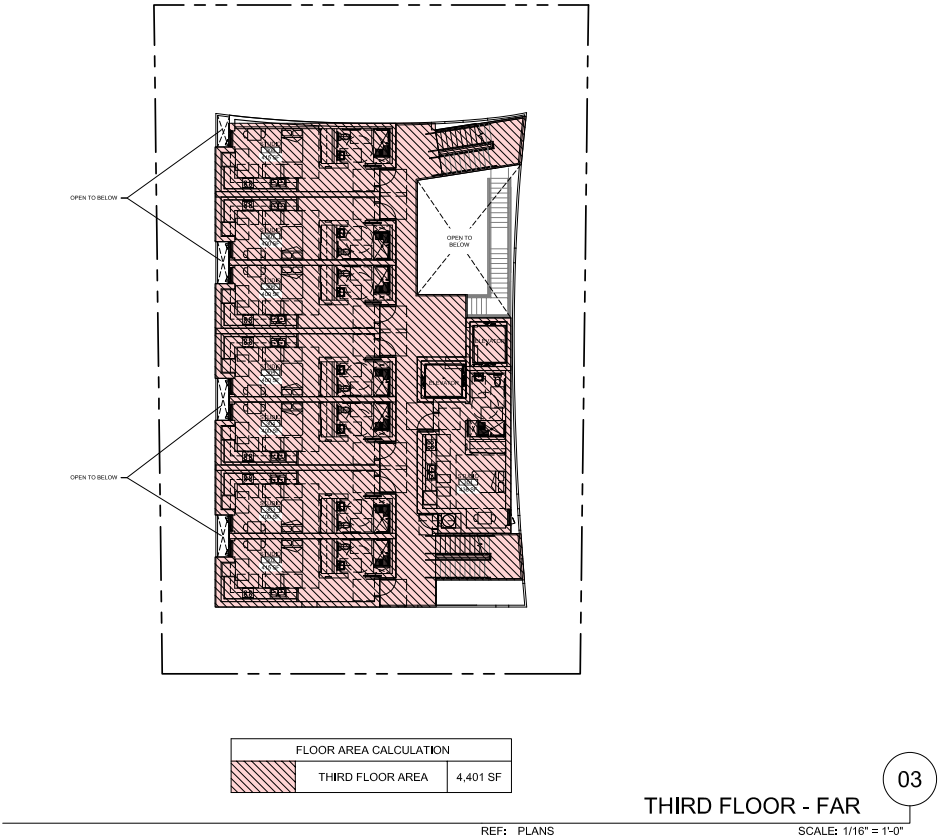
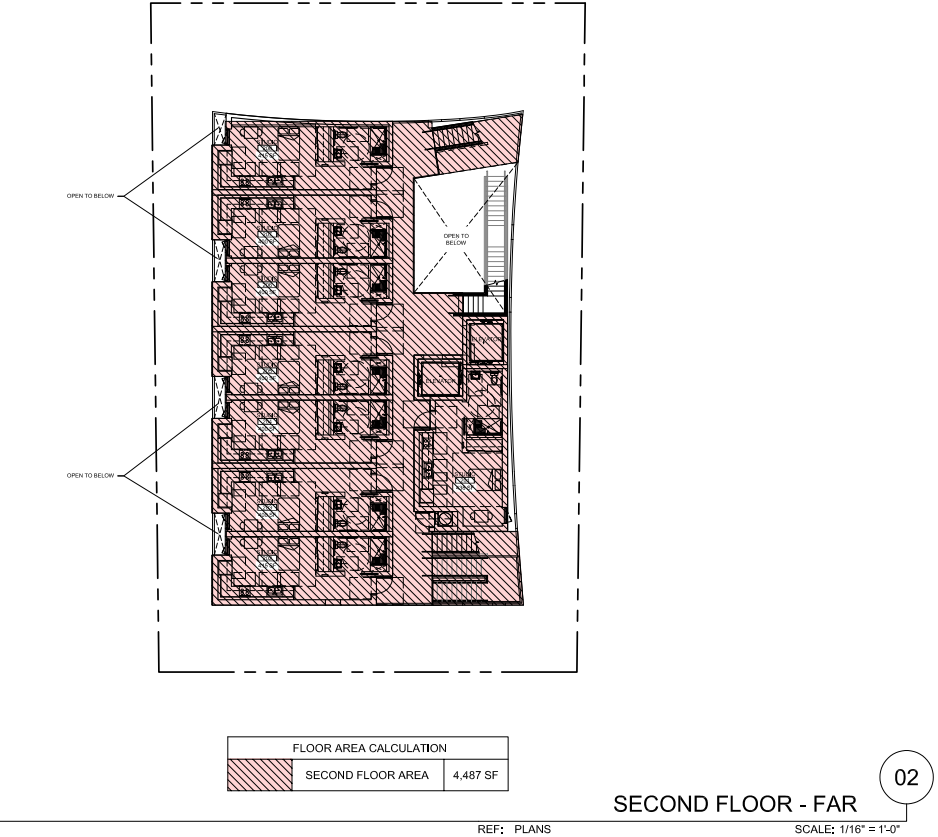
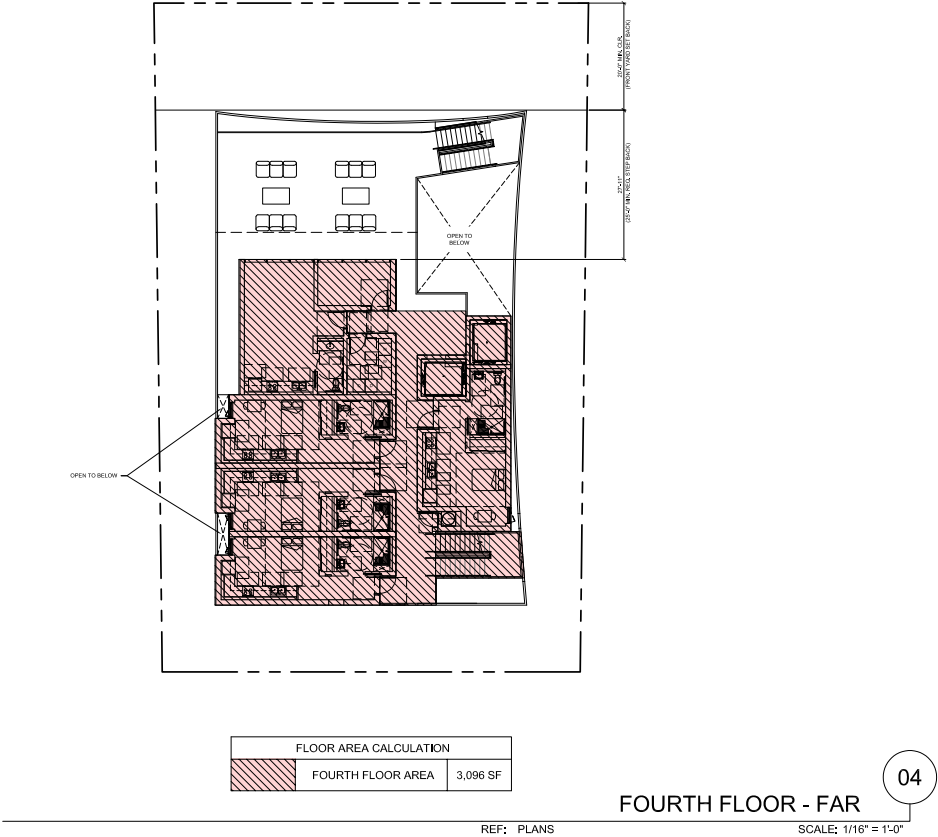


DESIGN / STREET VIEW



DESIGN / FAR DIAGRAMS



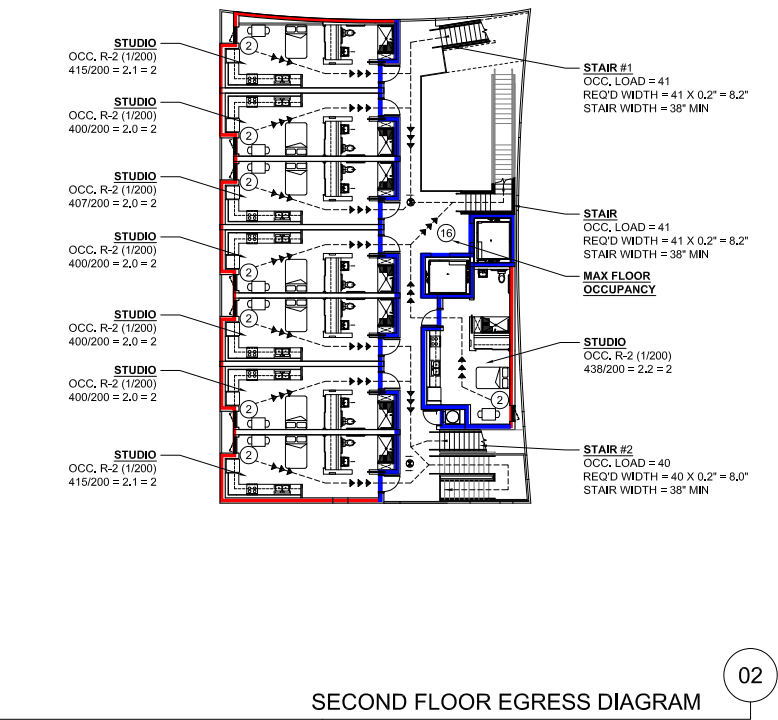
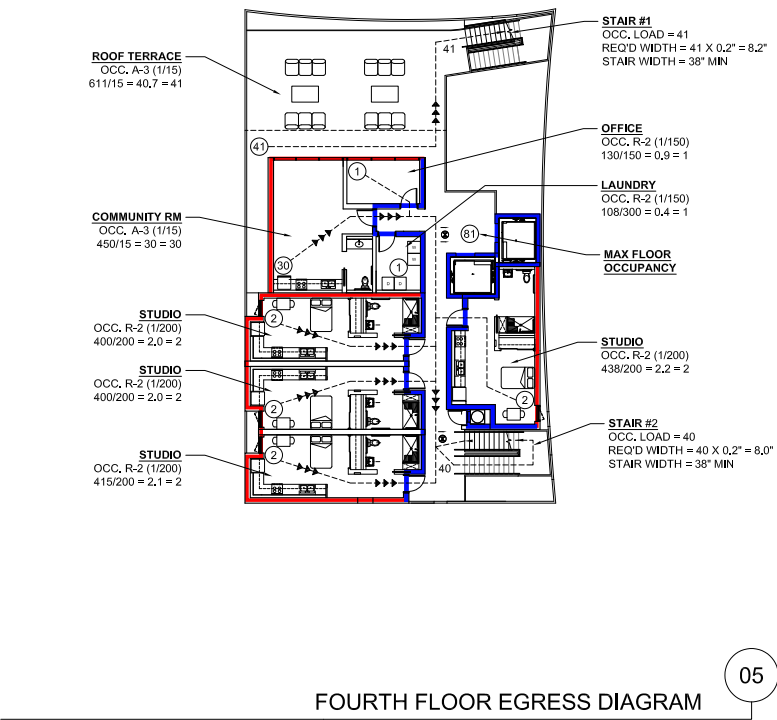
FLOOR AREA RATIO (FAR): MAX 1.25 (LOT SIZE OF 9,955.7 SF BY EXTRAPOLATION OF SURVEY), X 1.25 = 12,444.62 SF MAX ALLOWABLE AREA

FLOOR AREA CALCULATIONS:

FLOOR	GROSS AREA
FIRST FLOOR	404 SF
SECOND FLOOR	4,487 SF
THIRD FLOOR	4,401 SF
FOURTH FLOOR	3,096 SF
TOTAL:	12,388 SF

12,388 SF < 12,444.62 SF MAX ALLOWABLE AREA

DESIGN / FIRE & LIFE SAFETY DIAGRAM



GENERAL NOTES

EXIT SIGN LOCATIONS & DIRECTION SHOWN PER SYMBOLS ON SHEET A0.00.

1. EXIT SIGNS SHALL CONFORM TO THE REQUIREMENTS OF FBC 2017 SECT 1011. EXIT SIGNS SHALL BE VISIBLE FROM ANY DIRECTION OF APPROACH. NO POINT SHALL BE MORE THAN 100' FROM THE NEAREST VISIBLE EXIT SIGN.

2. INTERIOR WALL AND CEILING FINISH REQUIREMENTS BASED ON OCCUPANCY PER FBC 2017 T803.13

3. PER CBC 2019 SECT 1013.4 'RAISED CHARACTER AND BRAILLE EXIT SIGNS', PROVIDE TACTILE EXIT SIGNS AT THE FOLLOWING LOCATIONS:

COMMON PATH OF EGRESS TRAVEL (PER 2017 FBC):
THAT PORTION OF THE EXIT ACCESS TRAVEL DISTANCE MEASURED FROM THE MOST REMOTE POINT WITHIN A STORY TO THAT POINT WHERE THE OCCUPANTS HAVE SEPARATE ACCESS TO TWO EXITS OR EXIT ACCESS DOORWAYS.

MAXIMUM EXIT ACCESS TRAVEL DISTANCE PER 2017 FBC 1017.2
FOR: R2 = 250'-0"
A' = 250'-0"

MAXIMUM COMMON PATH OF EGRESS TRAVEL PER 2017 FBC 1006.3.2(2)
FOR: R2 = 125'-0"
A' = 75'-0"

LEGEND - EGRESS EXITING

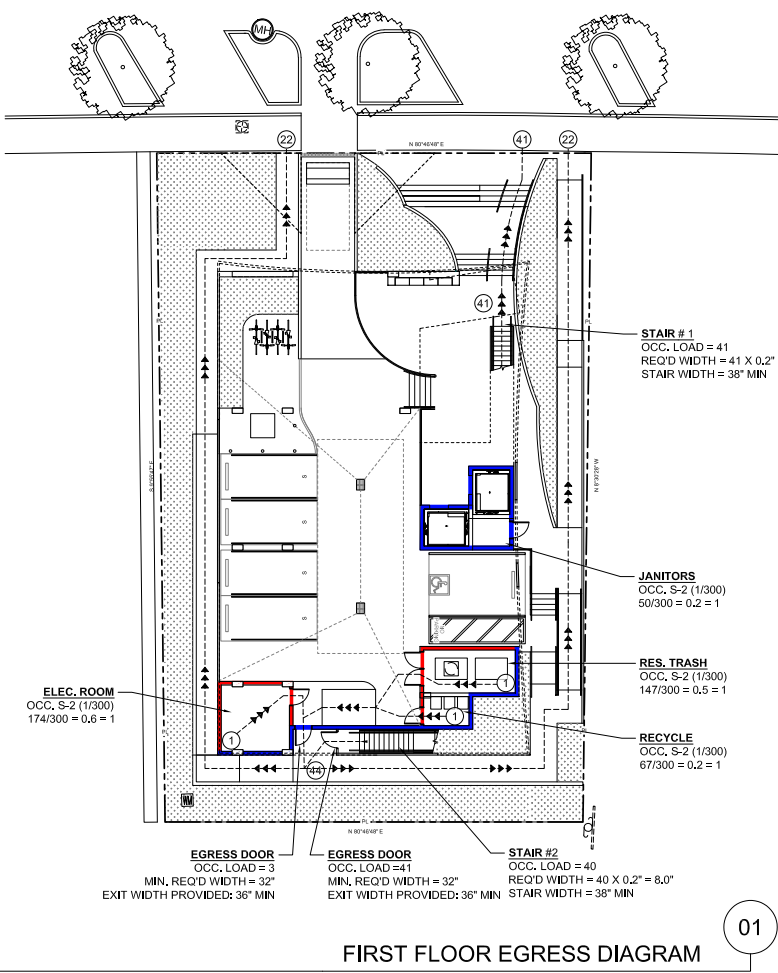
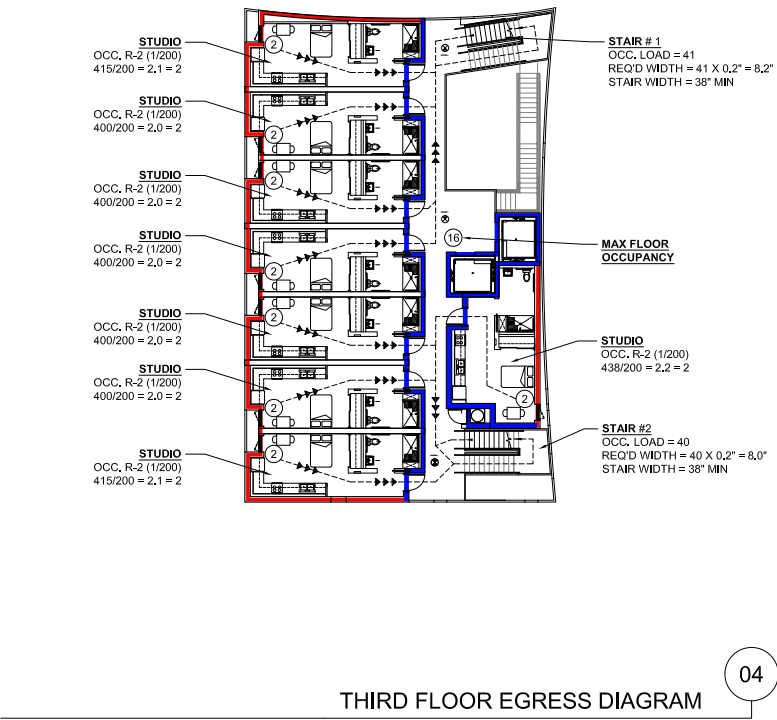
EXIT PATH OF TRAVEL

OCCUPANT LOAD

1 HR FIRE RATED WALL

2 HR FIRE RATED WALL

OCCUPANT LOAD TABLE						
LEVEL	ROOM NAME	ROOM NO.	AREA	OCC. TYPE	OCC. LOAD FACTOR	# OF OCCUPANTS
01	RECYCLE ROOM	101	67 SF	S-2	300 GROSS	1
	TRASH ROOM	102	147 SF	S-2	300 GROSS	1
	JANITORS CLOSET	103	103 SF	S-2	300 GROSS	1
	ELECTRICAL ROOM	104	174 SF	S-2	300 GROSS	1
002	RESIDENTIAL	201 - 208	3,315 SF	R-2	200 GROSS	16
003	RESIDENTIAL	301 - 308	3,315 SF	R-2	200 GROSS	16
004	RESIDENTIAL	401 - 404	1,672 SF	R-2	200 GROSS	8
	LAUNDRY	405	106 SF	R-2	300 GROSS	1
	OFFICE	406	130 SF	R-2	150 GROSS	1
	COMMUNITY ROOM	407	450 SF	A-3	15 NET	30
	ROOF TERRACE	-	611 SF	A-3	15 NET	41
TOTAL			10,090	TOTAL		117

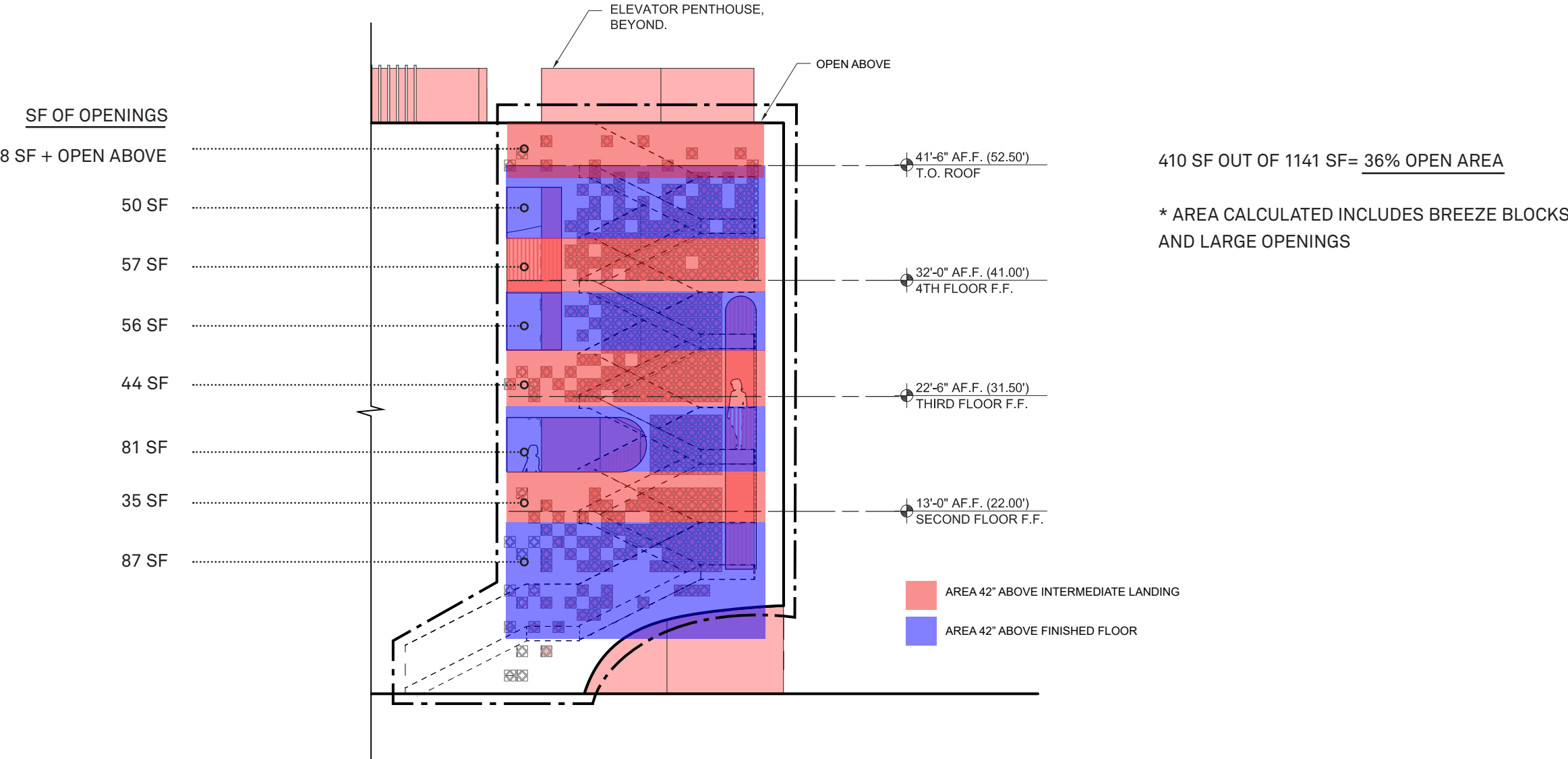


FIRE AND LIFE SAFETY NARRATIVE:

PROPOSED BUILDING IS A NEW 4-STORY, ELDERLY AFFORDABLE HOUSING PROJECT LOCATED IN A RM-1 RESIDENTIAL, MULTIFAMILY LOW INTENSITY ZONE. BUILDING WILL BE TYPE V-A CONSTRUCTION AND WILL BE FULLY SPRINKLERED. THE TOTAL OCCUPANCY OF THE PROJECT IS 117 OCCUPANTS (R-2 RESIDENTIAL GROUP).

EXIT DISCHARGE FROM STAIRS/GROUND FLOOR TO (2) PRIMARY ADA ACCESSIBLE MEANS OF EGRESS PROVIDES TRAVEL IN OPPOSITE DIRECTIONS TO REACH PUBLIC WAY. 2HR FIRE RATED WALLS ARE PROVIDED ALONG EGRESS PATH, TRASH CHUTE AND VESTIBULES. 1HR FIRE RATED WALLS ARE PROVIDED AT DEMISING WALLS. REQUIRED EXIT SIGNS, EMERGENCY POWER AND LIGHTING TO BE PROVIDED AS PROJECT IS DEVELOPED FURTHER

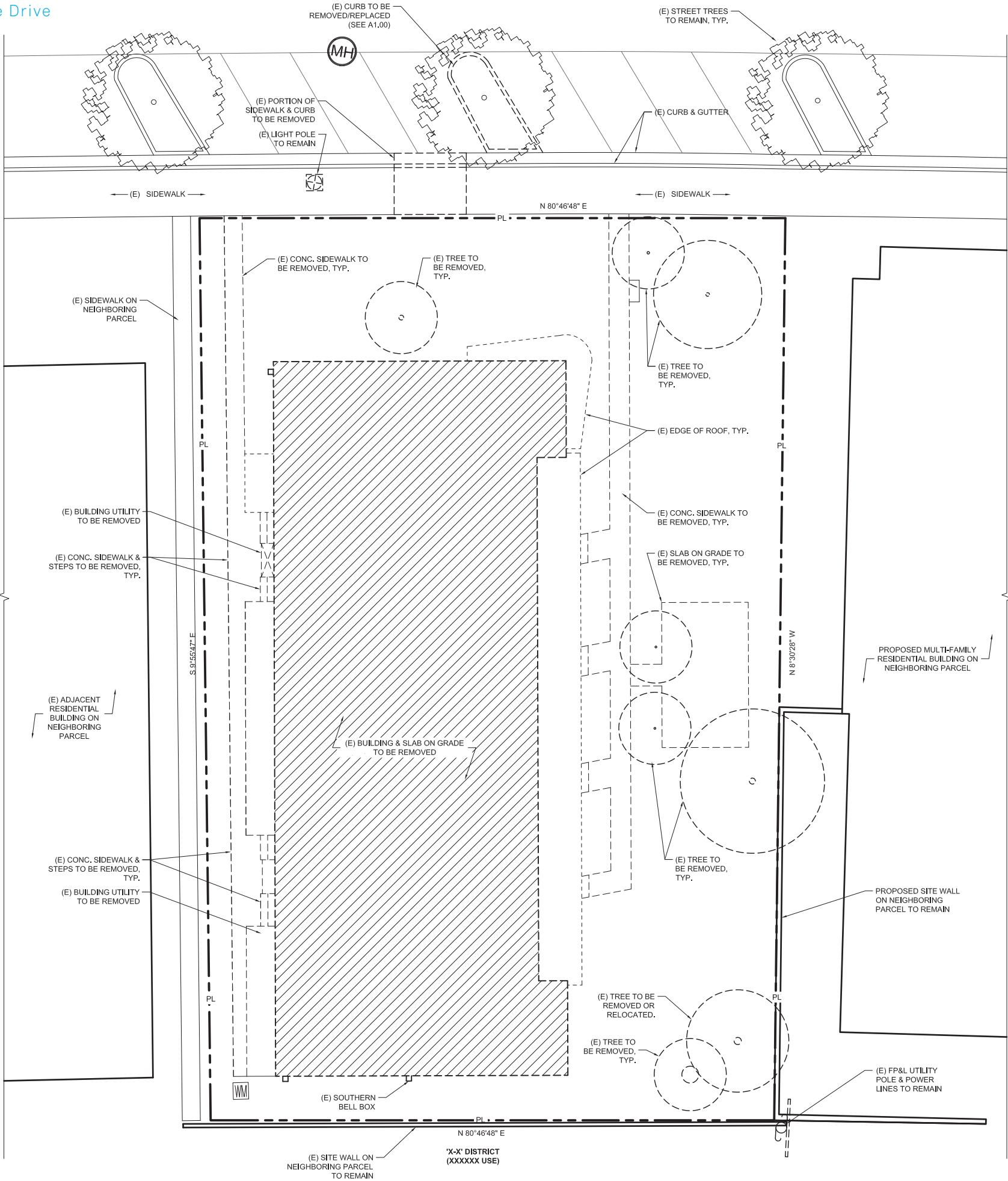
DESIGN/ OPEN STAIR CALCULATIONS



SOUTH EAST STAIRWAY

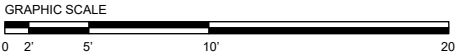


DESIGN/ FLOOR PLANS

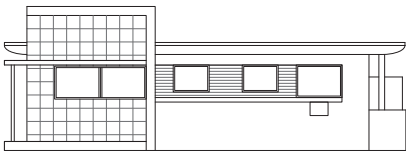


SITE DEMO PLAN

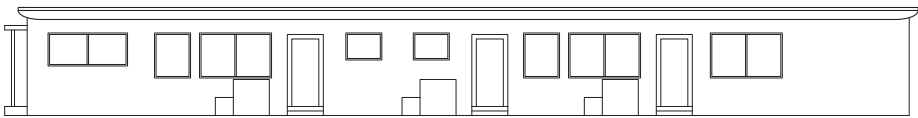
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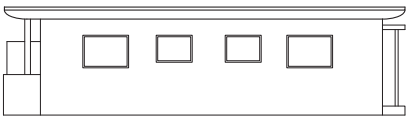
DESIGN/ EXISTING SITE CONDITIONS



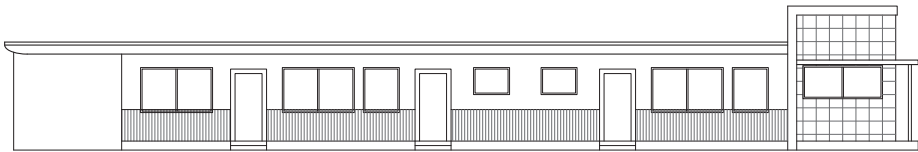
NORTH ELEVATION



WEST ELEVATION



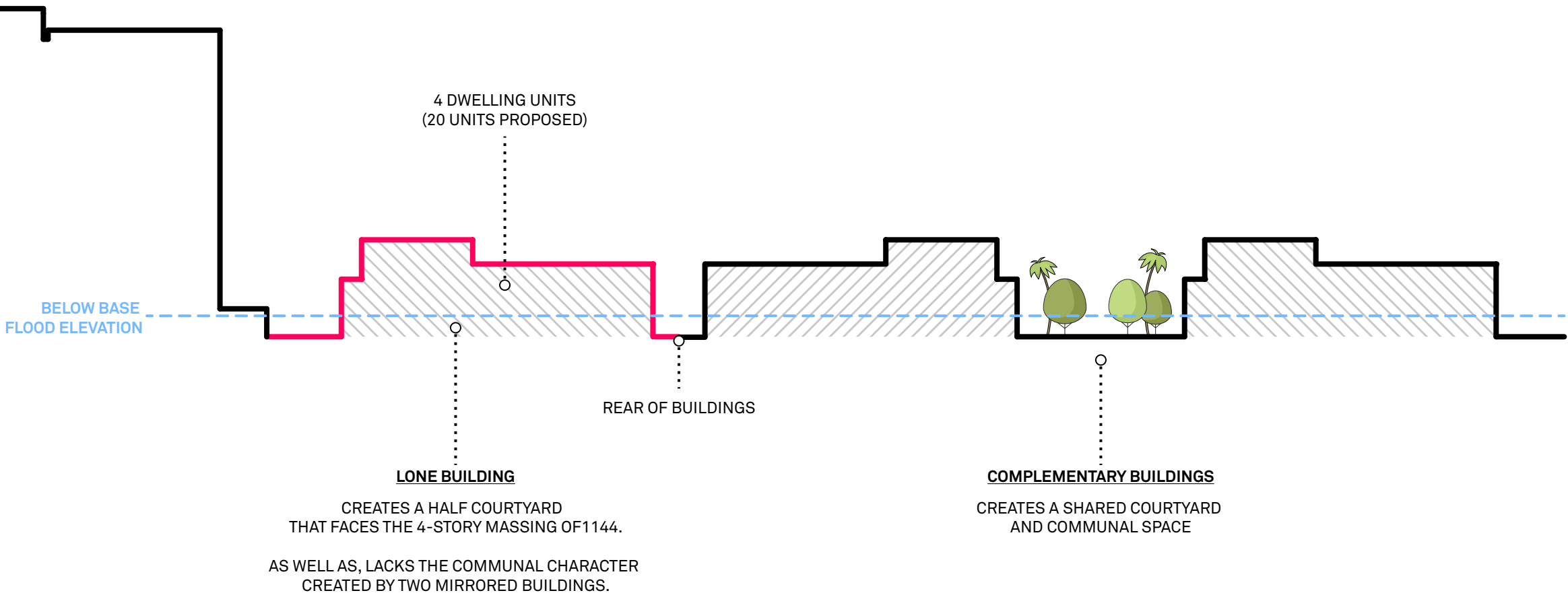
SOUTH ELEVATION



EAST ELEVATION

Argument for Demolition:

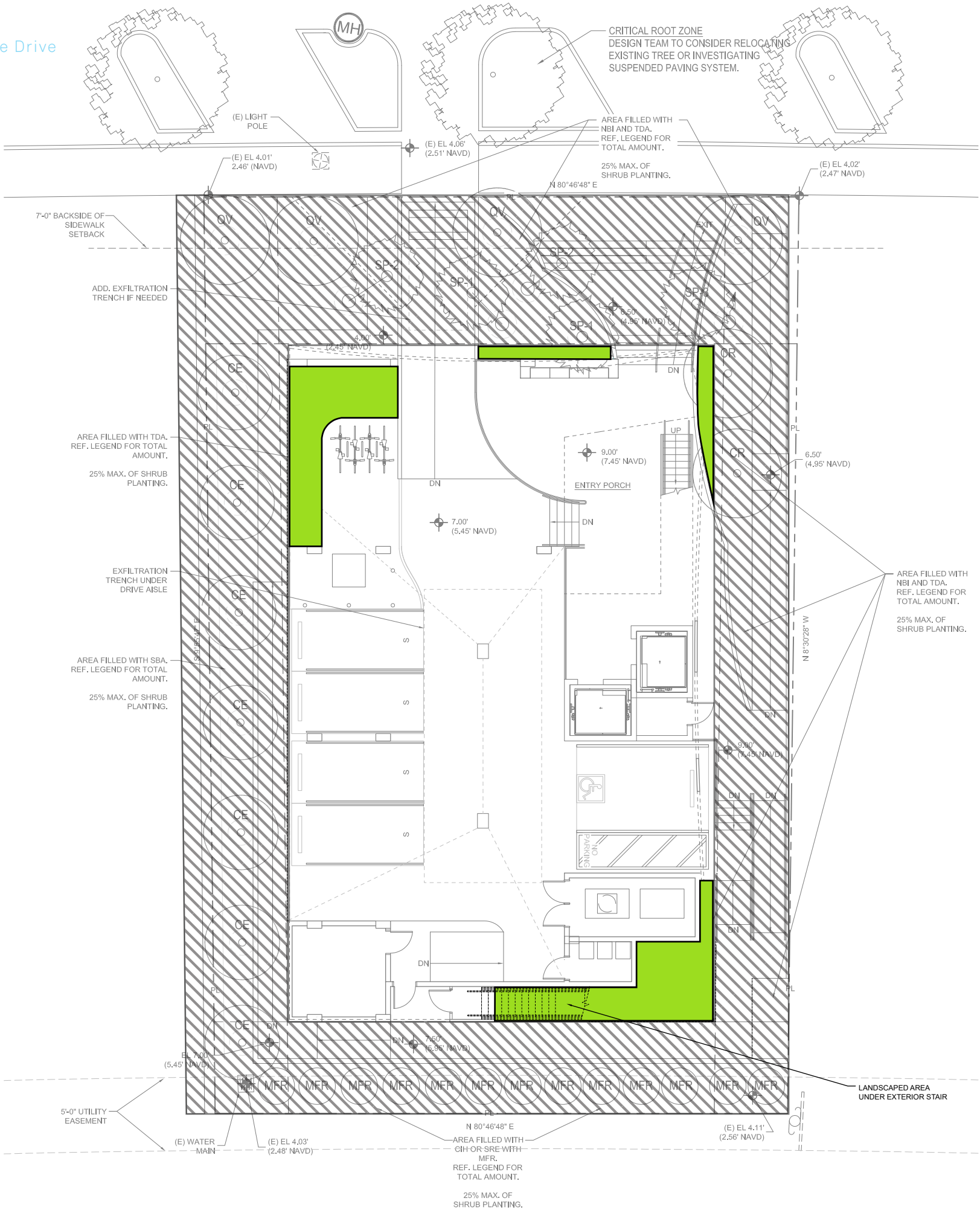
The current building has outlived the greater use of the subject property and its service to the community in provision of affordable housing options. Currently it only serves to provide 4 affordable housing units, the proposed design will provide 20 affordable housing units. Furthermore the architectural character is minimal and the proposed design provides significant MIMO notions while projecting a new enhanced architectural aesthetic for Miami Beach and the Normandy Isles area. The current structure includes some pole columns, eyebrows, and textured wall components, but these do not arise to a significant architectural statement. More so and most important, the existing structure was intended to have a complementary building mirrored opposite of it like the two structures to the west. This configuration creates a collaborative courtyard that adds to the urban design and streetscape character, however, the subject property does not have a mirrored sister, thus missing a significant courtyard. Additionally, the subject property is five feet below Design Flood Elevation making it significantly difficult to bring up to current regulations. The structural integrity of the existing structure is also a challenge, especially to be able to add more floors since the property has a slab on grade foundation that is experiencing significant settling issues that will continue as rising seas and groundwater place greater hydrologic pressure on the structure. Due to these issues, the developer and design team request to demolish the existing structure and are committed to adding a valuable and architecturally significant design to replace the structure.



SITE PLAN



DESIGN/ FLOOR PLANS



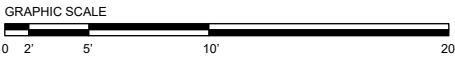
SECTION: 142-870.17(d)

NEW CONSTRUCTION SHALL BE DESIGNED TO INCORPORATE NATURALLY LANDSCAPED AREAS AT THE GROUND LEVEL, IN ADDITION TO THE MINIMUM SETBACK REQUIREMENTS, WHICH IS EQUAL TO OR GREATER THAN FIVE PERCENT OF THE TOTAL LOT AREA.

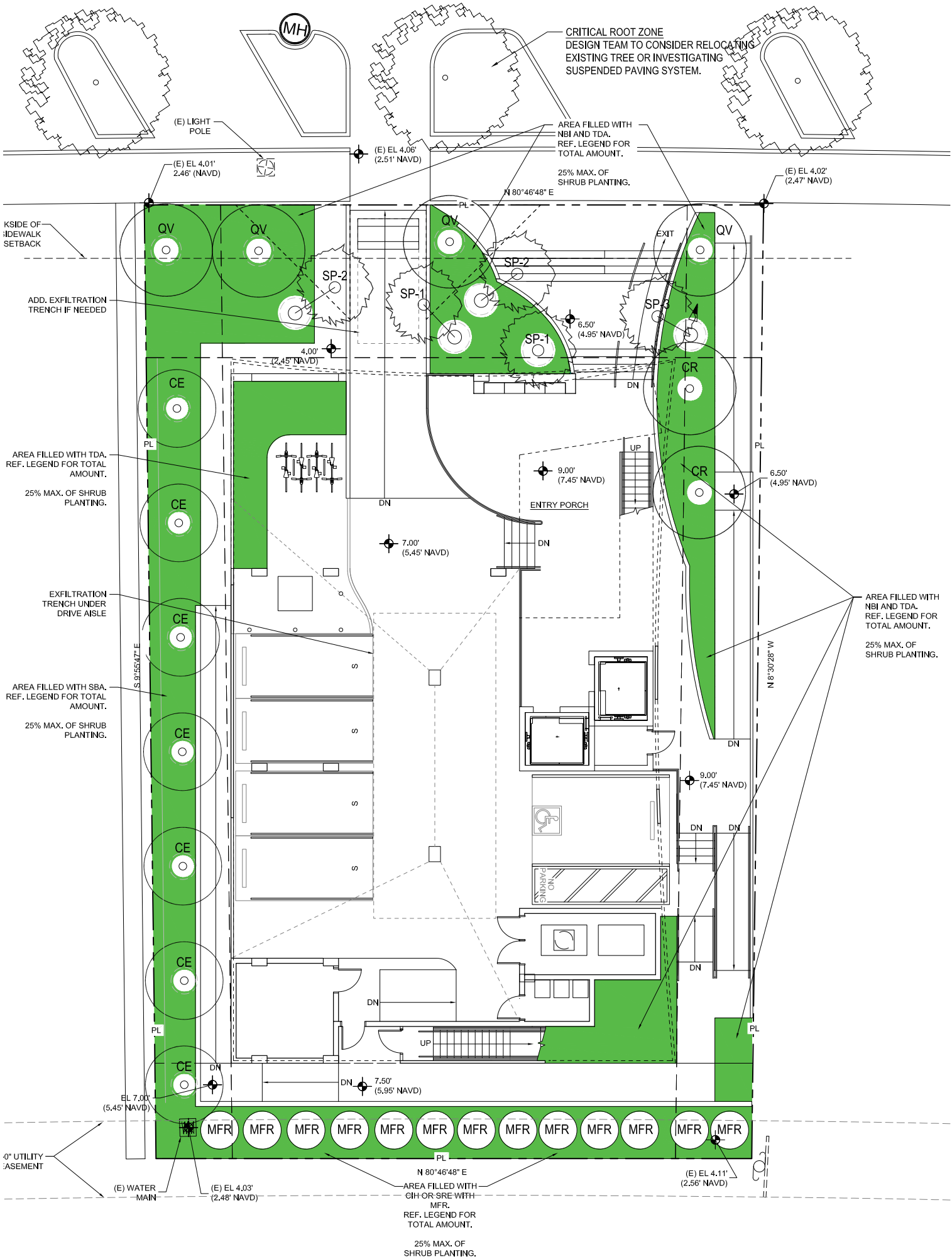
TOTAL LOT AREA: 9,955.7 SF

9,955.7 SF X 5%= 497.7 SF

LANDSCAPE 5% DIAGRAM
SCALE: 1/8"=1'-0" (SCALED TO FIT) 01/A1.00



DESIGN/ FLOOR PLANS

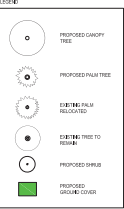


PLANTING LEGEND				
_* Denotes Florida Native Species				
_ Plants Installed pursuant to this Code shall conform to, or exceed, the minimum standards for Florida Number One as provided in the most current edition of "Grades and Standards for Nursery Plants, Part I and II," prepared by the State of Florida Department of Agriculture and Consumer Services.				
_ Plant quantities are provided for convenience. When discrepancies arise between the planting plans and plant list occur the planting plan shall take precedence.				
_ Contractor shall coordinate on-site planting layout visits with the Landscape Architect two (2) weeks prior to installation.				
_ Landscape Architect to locate Relocated palms not listed in Plant List on property, location TBD				
_ See Landscape Specifications and Notes for Contractor Sample Photograph Submittal Requirements				
QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
PALMS				
2	SP-1	* SABAL PALMETTO	FLORIDA SABAL PALM	28-30' CLEAR-TRUNK, HEAVY SLICK TRUNK, CHARACTER TRUNK
2	SP-2	* SABAL PALMETTO	FLORIDA SABAL PALM	24' CLEAR-TRUNK, HEAVY SLICK TRUNK, CHARACTER NO STRAIGHT TRUNKS
1	SP-3	* SABAL PALMETTO	FLORIDA SABAL PALM	18' CLEAR TRUNK, HEAVY SLICK TRUNK, CHARACTER NO STRAIGHT TRUNKS
TREES				
2	CR	* CLUSIA ROSIA	AUTOGRAPH TREE	45 GALLON 3" CAL., 12' PLANTED HT. MIN. X 6" SP. MIN., MULTI-TRUNK, BUSH FORM
6	CE	* CONOCARPUS ERECTUS 'GREEN'	GREEN BUTTWOOD	45 GALLON 3" CAL., 12' PLANTED HT. MIN. X 6" SP. MIN.
4	QV	* QUERCUS VIRGINIANA	LIVE OAK	45 GALLON 3" CAL., 12' PLANTED HT. MIN. X 6" SP. MIN.
SMALL TREES AND LARGE SHRUBS (ST)				
13	MFR	* MYRCIANTHES FRAGRANS	SIMPSON'S STOPPER	25 GALLON, 6' PLANTED HT. MIN. X 4-5' SPREAD, BUSH FORM, FULL TO BASE
SHRUBS (S)				
33	SBA	* SAVIA BAHAMENSIS	MAIDEN BUSH	7 GALLON, 24" HT. X 24" SP. MIN., BUSH FORM, FULL TO BASE, 36" OC.
33	SRE	* SERENOA REPENS 'CINEREA'	SILVER SAW PALMETTO	7 GALLON 18" HT. X 20" SP. MIN., FULL TO BASE
GROUND COVER				
33	CIH	* CHRYSOBALANUS ICACO 'HORIZONTAL'	HORIZONTAL COCOPLUM	7 GALLON 18" SPREAD MIN., FULL ROUNDED HEAD 30" OC.
FERNS				
33	NBI	* NEPHROLEPIS BISERRATA 'MACHO'	MACHO FERN	3 GALLON, 30" HT. X 22-24" SP. MIN., FULL TO BASE, 36" OC.
ORNAMENTAL GRASS				
33	TDA	* TRIPSACUM DACTYLOIDES	FAKAHATCHEE GRASS	3 GALLON 30" PLANTED HT. MIN., HEAVY FULL
MISCELLANEOUS				
TBD		RECYCLED MULCH		RECYCLED MULCH, NO CYPRESS OR DYES, QTY. CALCULATED BY CONTRACTOR

TREE MITIGATION LIST				
ITEM	SCIENTIFIC NAME	COMMON NAME	DBH IN.	TREE CATEGORY
1	QUERCUS VIRGINIANA	LIVE OAK	6	NON-SPECIMEN
TOTAL DBH REPLACEMENT			6	(2) 2" DBH TREES OR (1) 4" DBH TREES

*NOTE: MITIGATION MAY ALSO BE SATISFIED BY CONTRIBUTING TO THE TREE TRUST FUND OR SEEK APPROVAL FROM THE CITY TO PLANT ON PUBLIC PROPERTY, SEC 125-6 (Ord. No. 2016-4042, § 1, 10-19-16; Ord. No. 2018-4183, § 1, 4-11-18)

CITY OF MIAMI BEACH LANDSCAPE AREA CALCULATIONS						
ZONING DISTRICT:		RM-1	LOT AREA:	9,955.7	ACRES:	.23
OPEN SPACE		REQUIRED		PROVIDED		
A	SQUARE FEET OF REQUIRED OPEN SPACE AS INDICATED ON SITE PLAN: LOT AREA (30%)	2,987 SF		4,128 SF		
LAWN AREA CALCULATION						
A	SQUARE FEET OF LANDSCAPED OPEN SPACE REQUIRED: MAXIMUM LAWN AREA PERMITTED (30%)	866 SF		N/A		
TREES						
A	NUMBER OF TREES REQUIRED PER LOT OR NET LOT ACRE, LESS EXISTING NUMBER OF TREES MEETING MINIMUM REQUIREMENTS = 28 PER LOT	7	7			
B	% NATIVES REQUIRED: NUMBER OF TREES PROVIDED X 30%	2	7			
C	% LOW MAINTENANCE / DROUGHT AND SALT TOLERANT REQUIRED: NUMBER OF TREES PROVIDED X 50%	4	7			
D	STREET TREES (MAX. AVE. SPACING OF 20' O.C.): 80 LF	4	4			
E	TOTAL TREES REQUIRED (LOT AND STREET)	11	11			
SHRUBS						
A	NUMBER OF SHRUBS REQUIRED: SUM OF LOT AND STREET TREES X 12	132	132 MIN.			
B	% NATIVE SHRUBS REQUIRED: NUMBER OF SHRUBS PROVIDED X 50%	66	66 MIN.			
LARGE SHRUBS OR SMALL TREES						
A	NUMBER OF LARGE SHRUBS OR SMALL TREES REQUIRED: NUMBER OF REQUIRED SHRUBS (132) X 10%	13	13			
B	% NATIVE LARGE SHRUBS OR SMALL TREES REQUIRED: NUMBER OF LARGE SHRUBS OR SMALL TREES PROVIDED (13) X 50%	7	13			



RESPONSE TO URBAN FORESTER TO SELECTION OF GREEN BUTTWOOD:

GREEN BUTTWOOD WE FEEL IS A GREAT CHOICE. PROVIDES DARK GREEN DENSE EVERGREEN CANOPY, GROWS MODERATELY, EASY TO PROCURE, HIGHLY SALT AND WIND TOLERANT, CAN WITHSTAND MANY SOIL AND LIGHT CONDITIONS. MINIMAL LEAF LITTER. ALSO PROVIDES SIGNIFICANT FOOD AND COVER FOR BIRDS AND OTHER WILDLIFE.

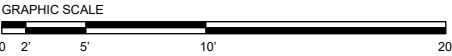
HOWEVER, DESIGN TEAM HAS MADE ADJUSTMENTS TO THE SPACING APPROPRIATE TO THE SPECIES AND CHARACTER.

TREE EVALUATION REPORT COMMENT RESPONSE:

THE TEAM REQUEST THE STANDARD TREE EVALUATION REPORT BE WAIVED DUE TO THE FOLLOWING:

1. THE PROJECT IS AN AFFORDABLE ELDERLY HOUSING PROJECT AND THE COSTS ASSOCIATED WITH SUCH A REPORT WOULD CREATE A FINANCIAL BURDEN ON PROJECT.
2. PER THE TREE DISPOSITION PLAN AND MITIGATION CHART THERE ARE NO MAJOR TREES OR HERITAGE TREES LOCATED ON SITE WHICH WOULD REQUIRE A TREE EVALUATION REPORT TO BE CONDUCTED. THE DEVELOPMENT TEAM RESPECTFULLY REQUEST THAT WE BE WAIVED OF THIS REQUIREMENT.

LANDSCAPE PLAN
SCALE: 1/8"=1'-0" (SCALED TO FIT) 01/L1.10



DESIGN/ LANDSCAPE PALETTE

LARGE CANOPY
TREES/PALMS



Florida Sabal Palm
Sabal Palmetto



Green Buttonwood
Conocarpus erectus



Live Oak
Quercus virginiana



Autograph Tree
Clusia Rosea

SMALL UNDERSTORY
TREES/LARGE SHURBS



Spanish Stopper
Eugenia Foetida



Simpson's Stopper
Myrcianthes Fragrans

LOW SHURBS/
GRASSES



Sword Fern
Nephrolepis exaltata



Fakahatchee Grass
Tripsacum dactyloides



Macho Fern
Nephrolepis biserrata



Coontie
Zamia integrifolia



Wart Fern
Phymatosorus scolopendria



12.4W LED Accent Light
Kichler



12V LED Accent Light
Kichler

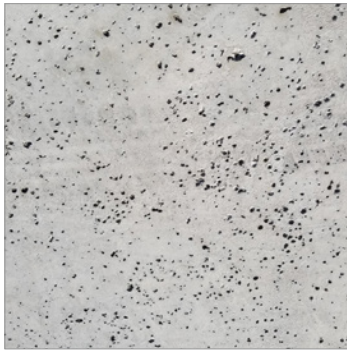
HARDSCAPE



Miami Beach Red
Concrete



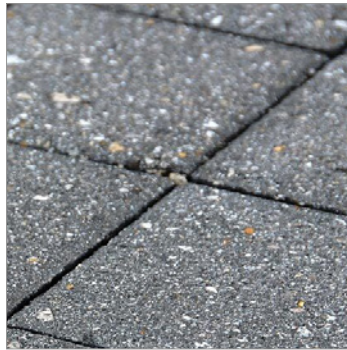
Miami Beach Red
Concrete Sidewalk



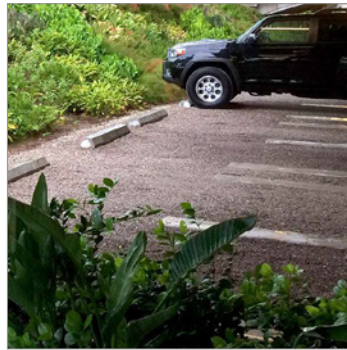
Rock Salt Concrete
Finish



Acid Etch Concrete Finish



Asphalt Block Pavers

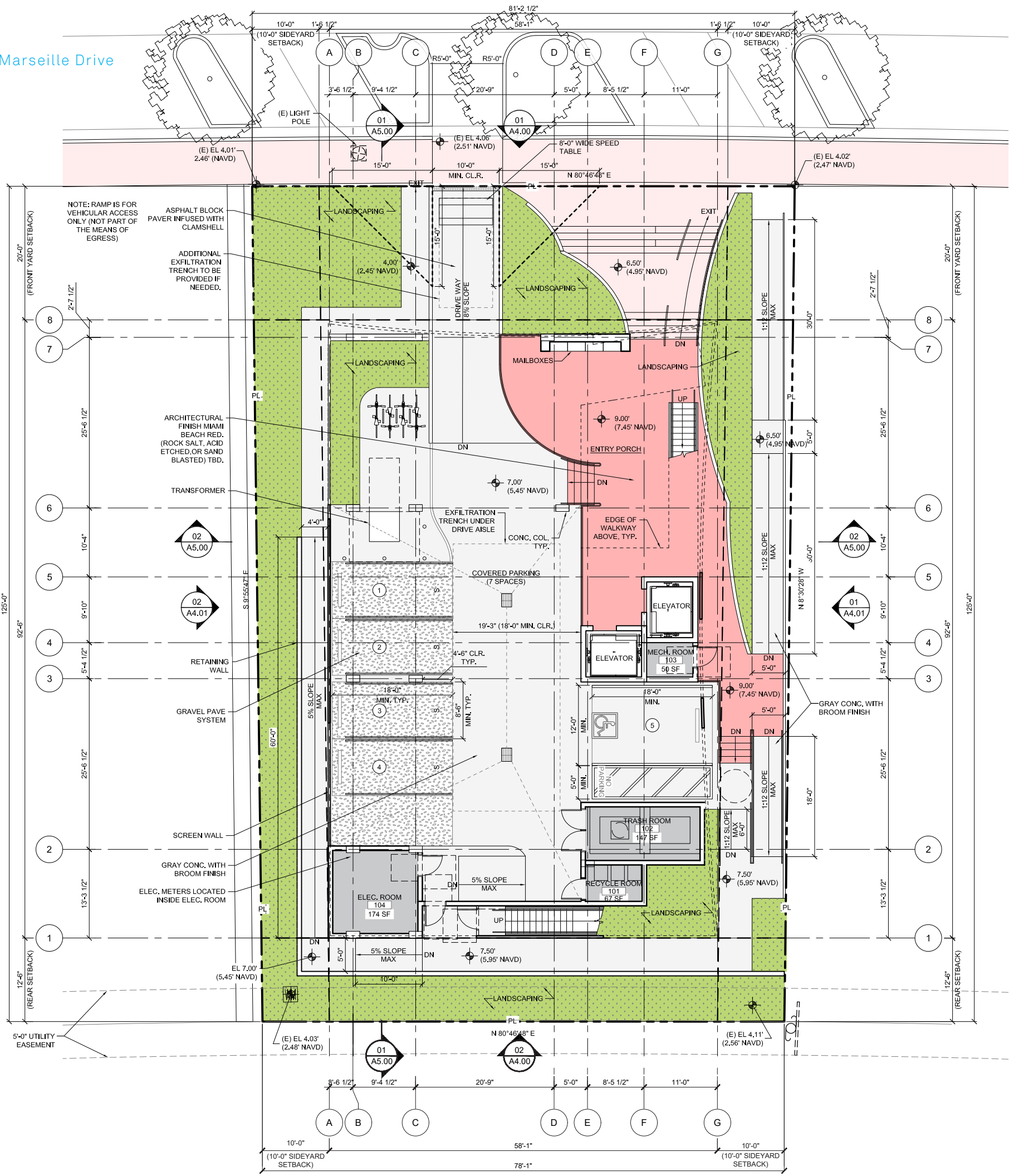


Gravel Pave System



Atala Butterfly
Eumaeus atala

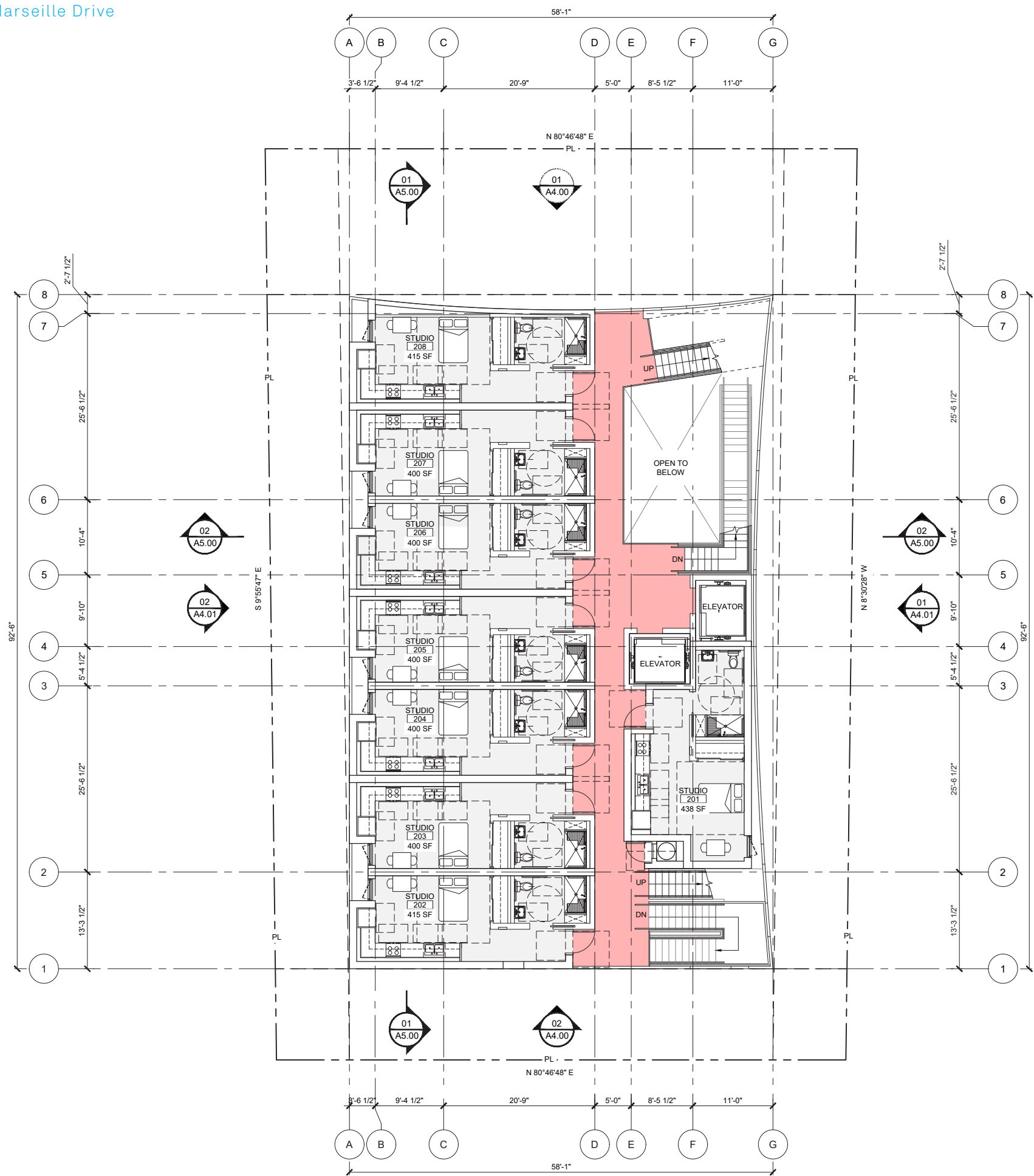
DESIGN/ FLOOR PLANS



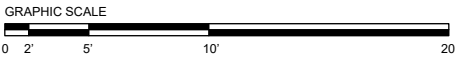
FIRST FLOOR
SCALE: 1/8"=1'-0" (SCALED TO FIT) 01/A3.10

GRAPHIC SCALE
0 2' 5' 10' 20'

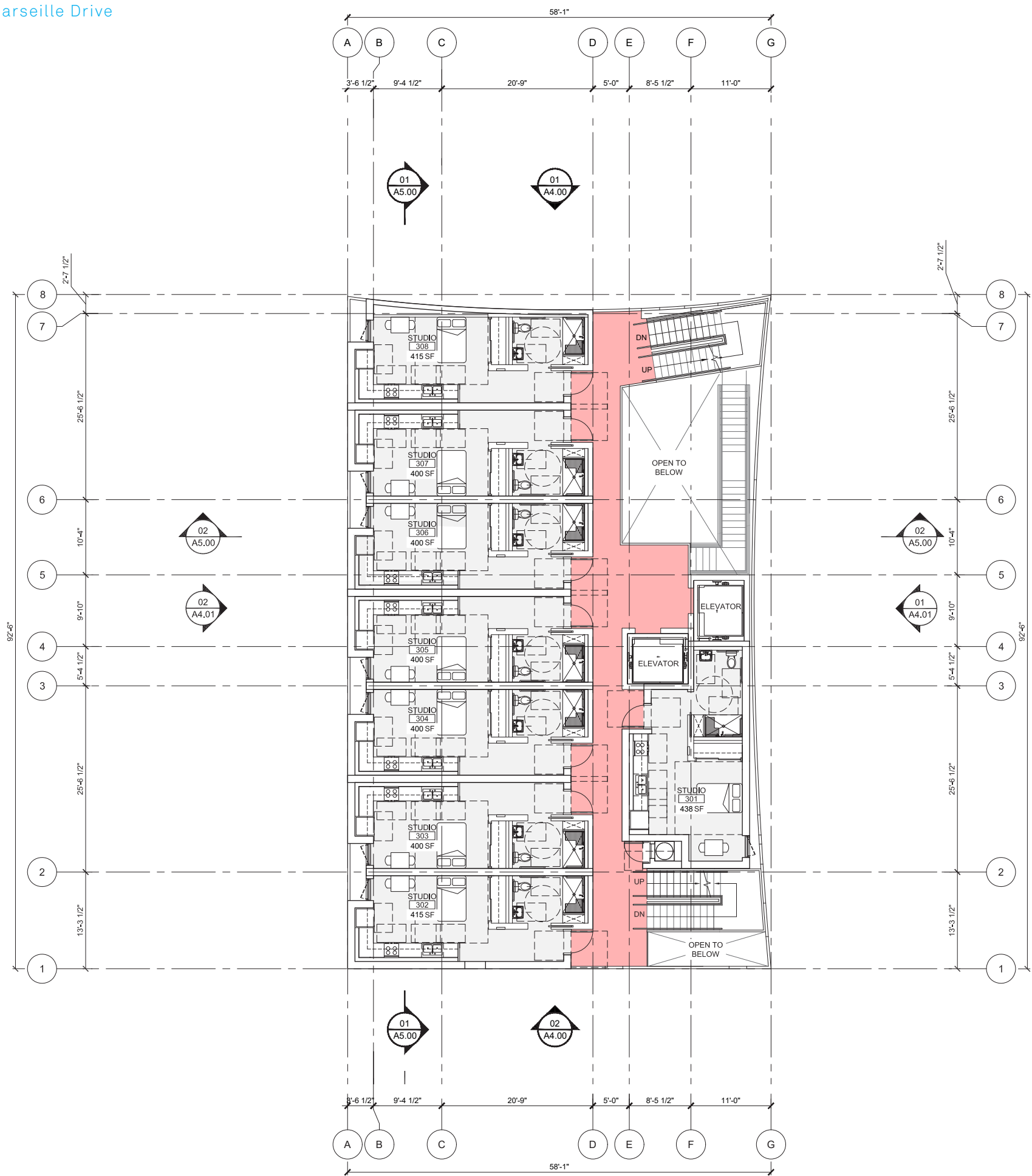
DESIGN/ FLOOR PLANS



SECOND FLOOR
SCALE: 1/8"=1'-0" (SCALED TO FIT) 01/A3.20



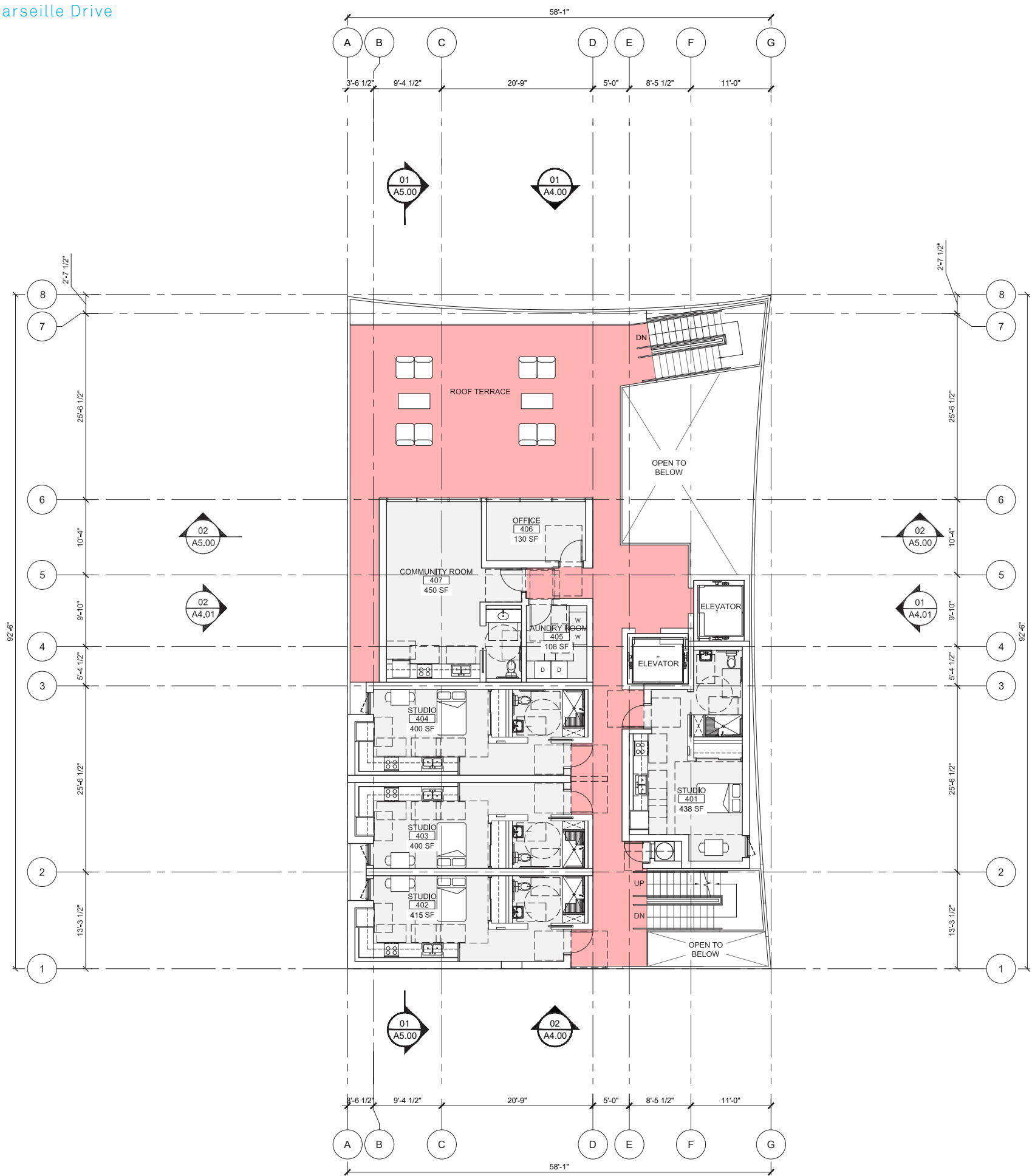
DESIGN/ FLOOR PLANS



THIRD FLOOR
SCALE: 1/8"=1'-0" (SCALED TO FIT) 01/A3.30

GRAPHIC SCALE
0 2' 5' 10' 20'

DESIGN/ FLOOR PLANS

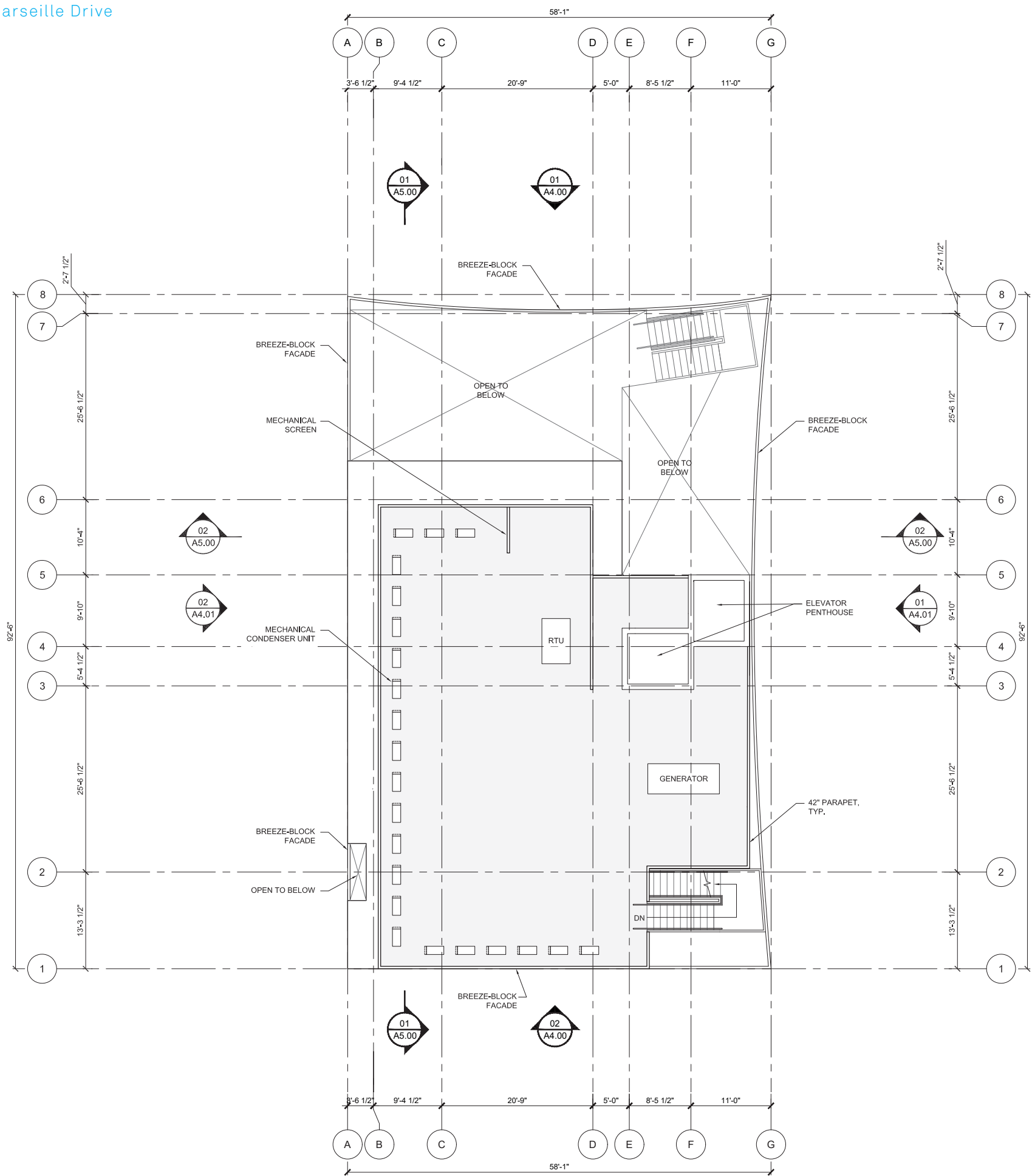


FOURTH FLOOR
SCALE: 1/8"=1'-0" (SCALED TO FIT) 01/A3.40

GRAPHIC SCALE
0 2' 5' 10' 20'

DESIGN/ FLOOR PLANS

SCALE: 1/8"=1'-0" (SCALED TO FIT)

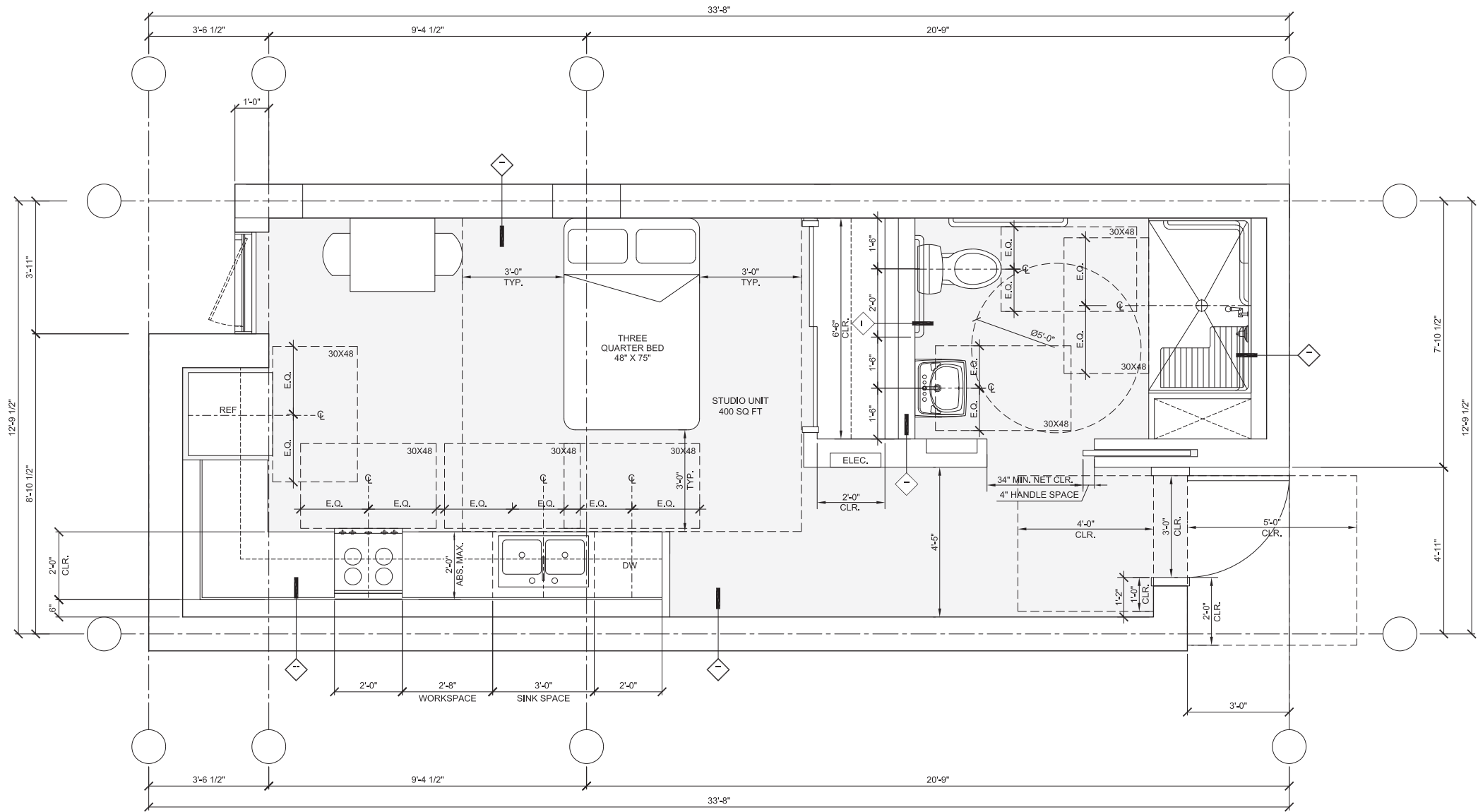


ROOF PLAN
SCALE: 1/8"=1'-0" (SCALED TO FIT) 01/A3.50

GRAPHIC SCALE
0 2' 5' 10' 20'

DESIGN / STUDIO LAYOUT

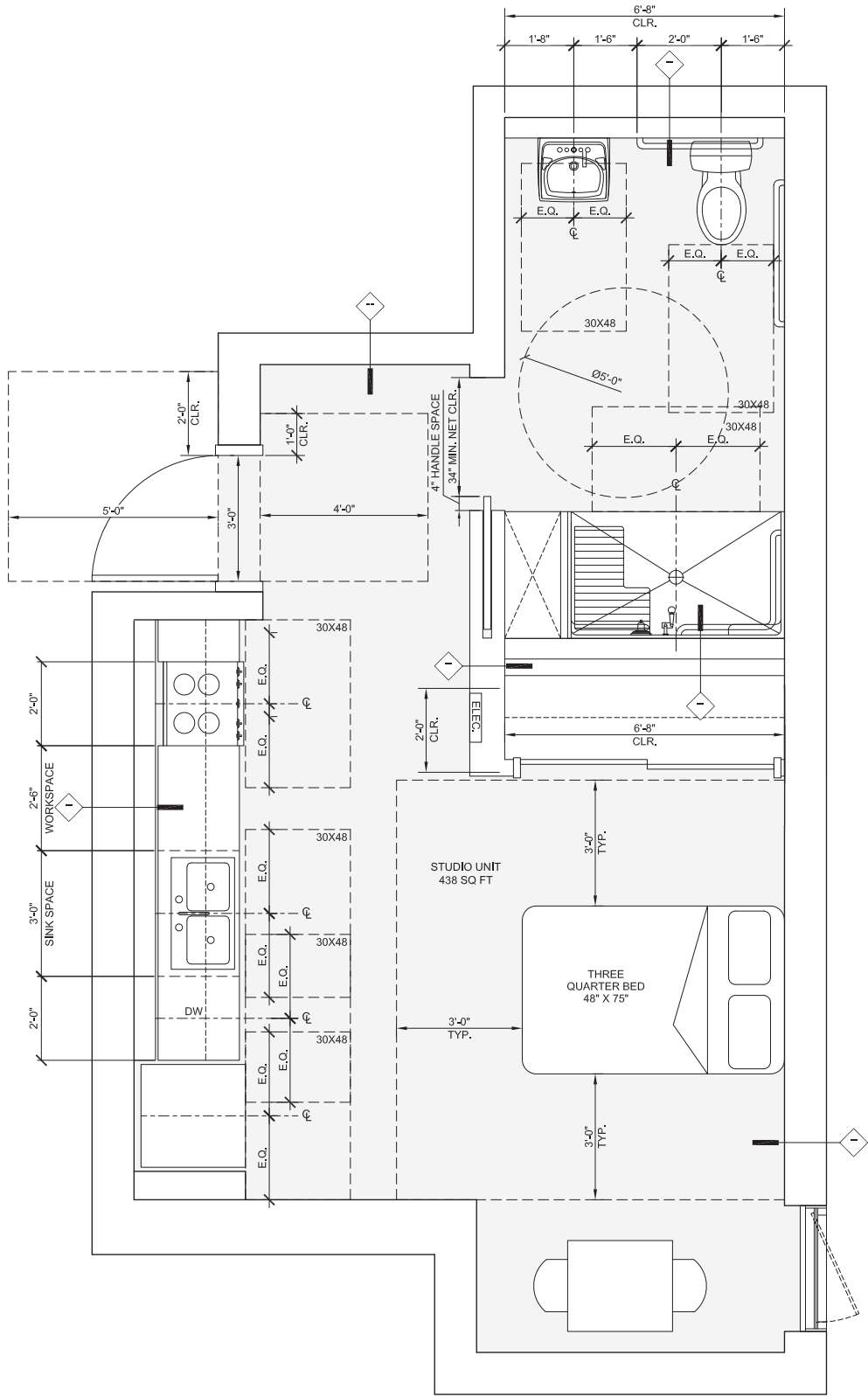
SCALE: 1/2"=1'-0" (SCALED TO FIT)



UNIT A
01/A3.60

DESIGN / STUDIO LAYOUT

SCALE: 1/2"=1'-0" (SCALED TO FIT)



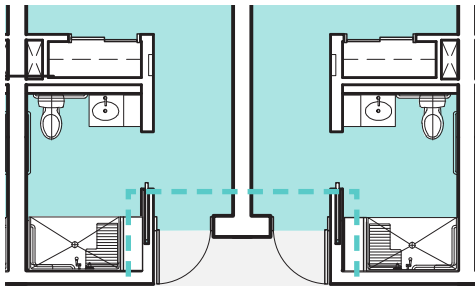
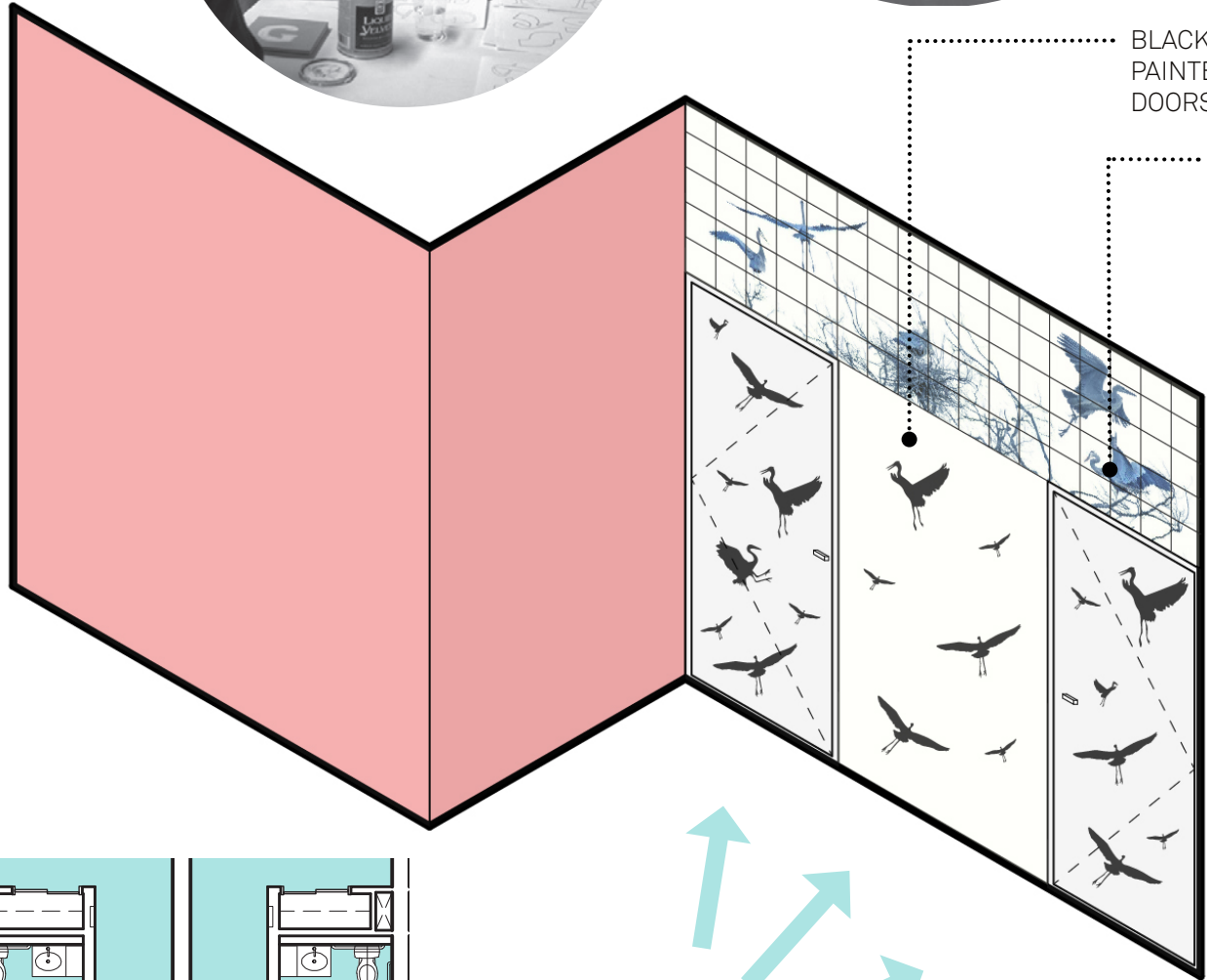
UNIT B
01/A3.61

DESIGN / UNIT ENTRY



BLACK AND WHITE
PAINTED HERON ON
DOORS + WALLS

CUSTOM TILE GRAPHIC
OF HERON OVER UNIT
DOORS

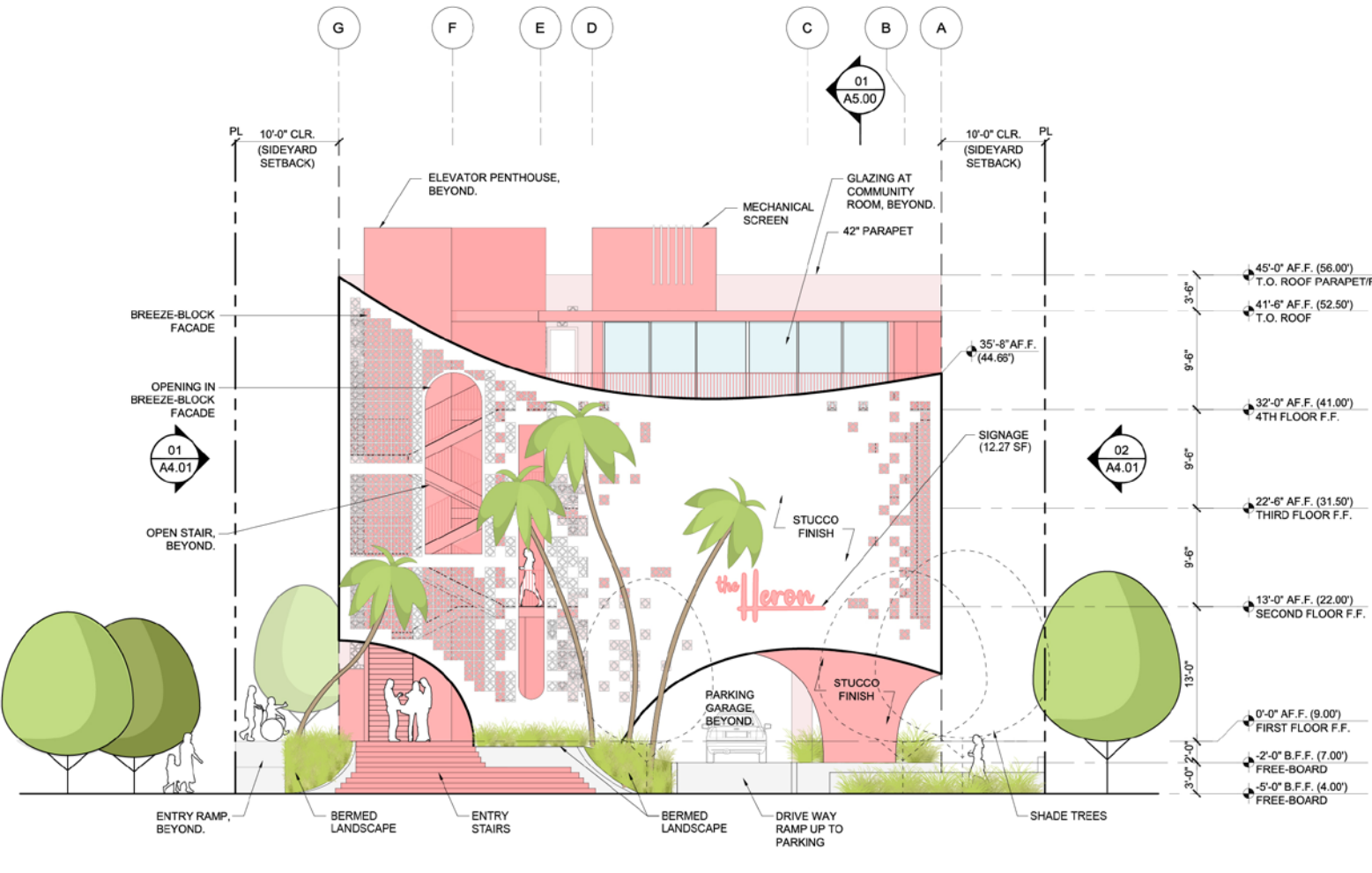


UNIT ENTRY VIEW

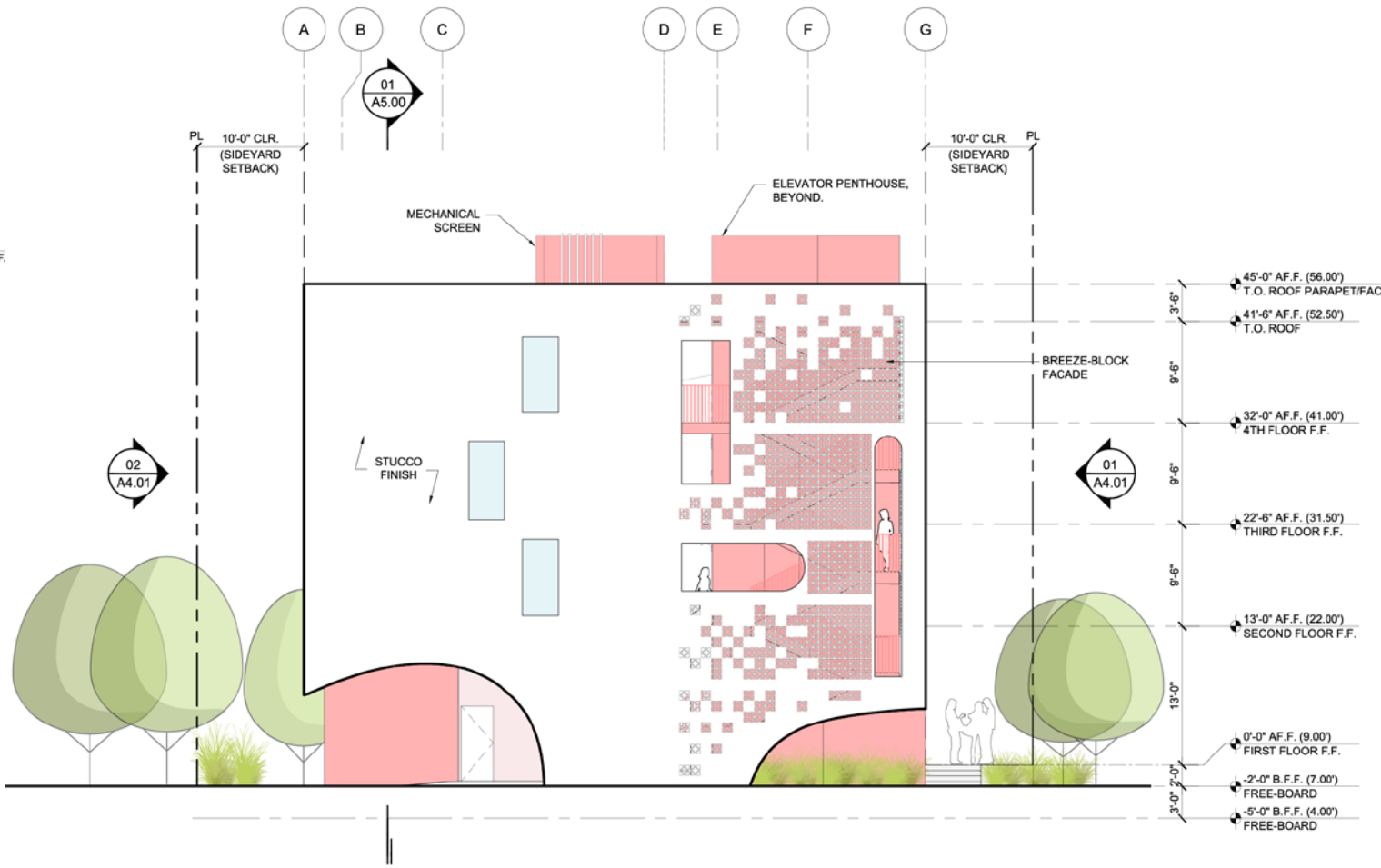


DESIGN / ELEVATIONS

SCALE: 1/8"=1'-0" (SCALED TO FIT)



NORTH ELEVATION
01/A4.00

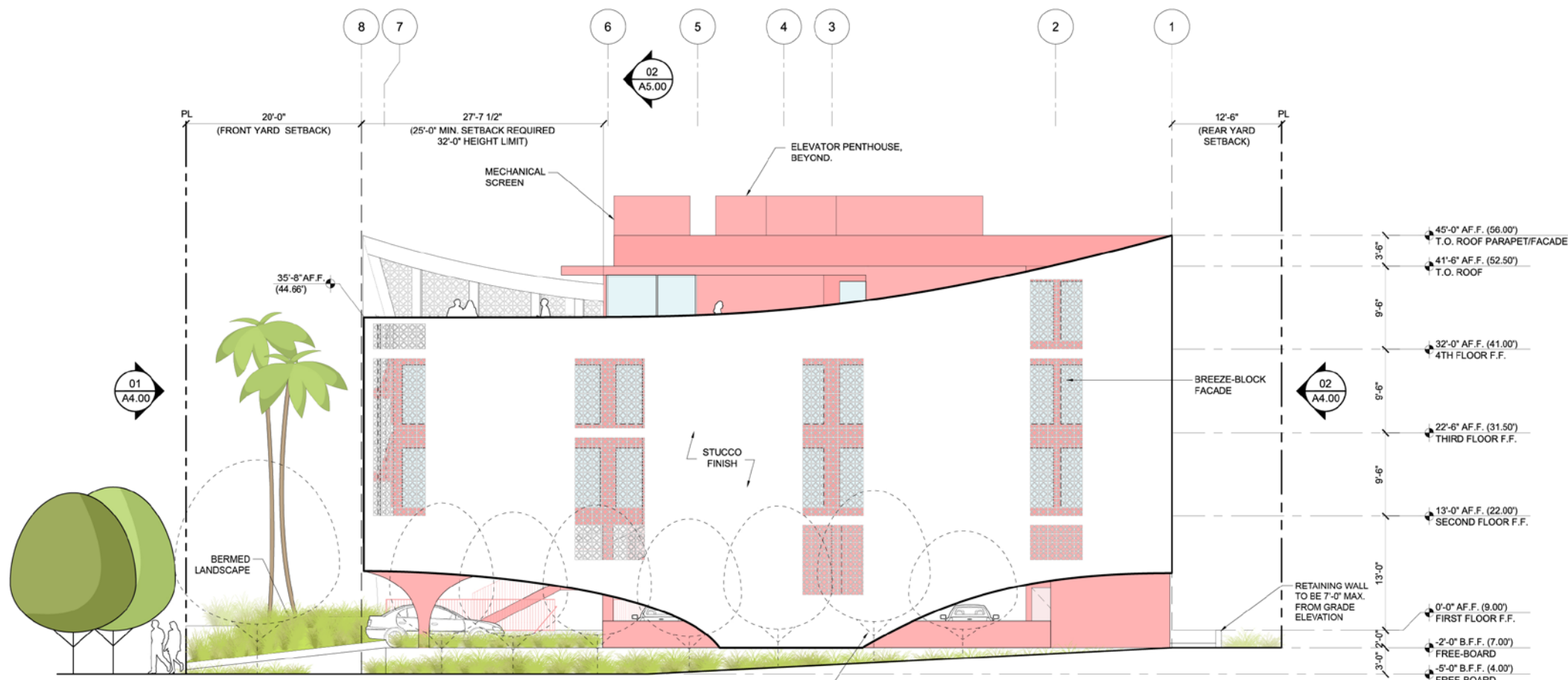


SOUTH ELEVATION
02/A4.00



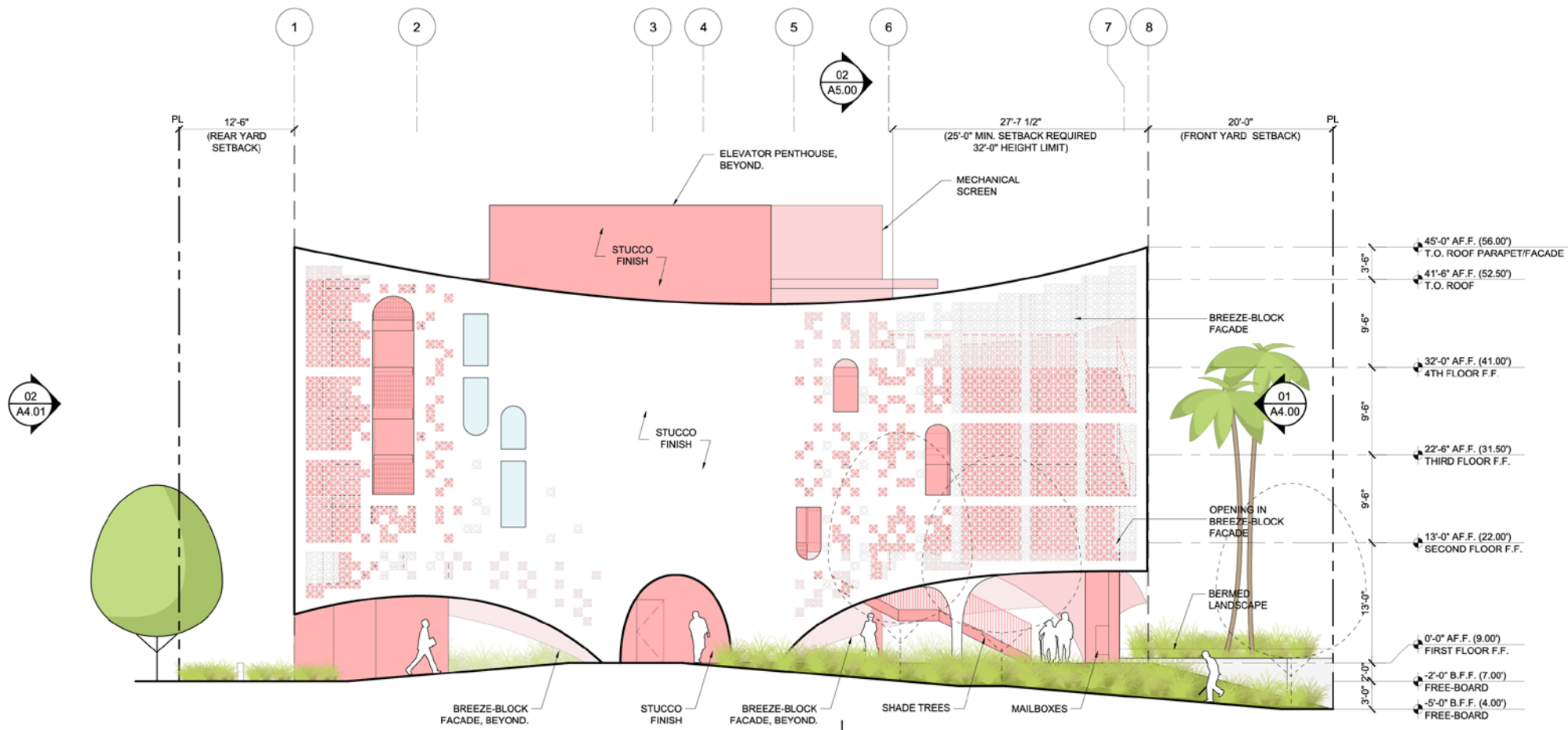
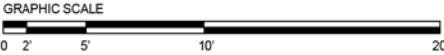
DESIGN / ELEVATIONS

SCALE: 1/8"=1'-0" (SCALED TO FIT)



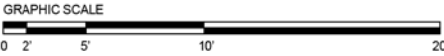
WEST ELEVATION

02/A4.01



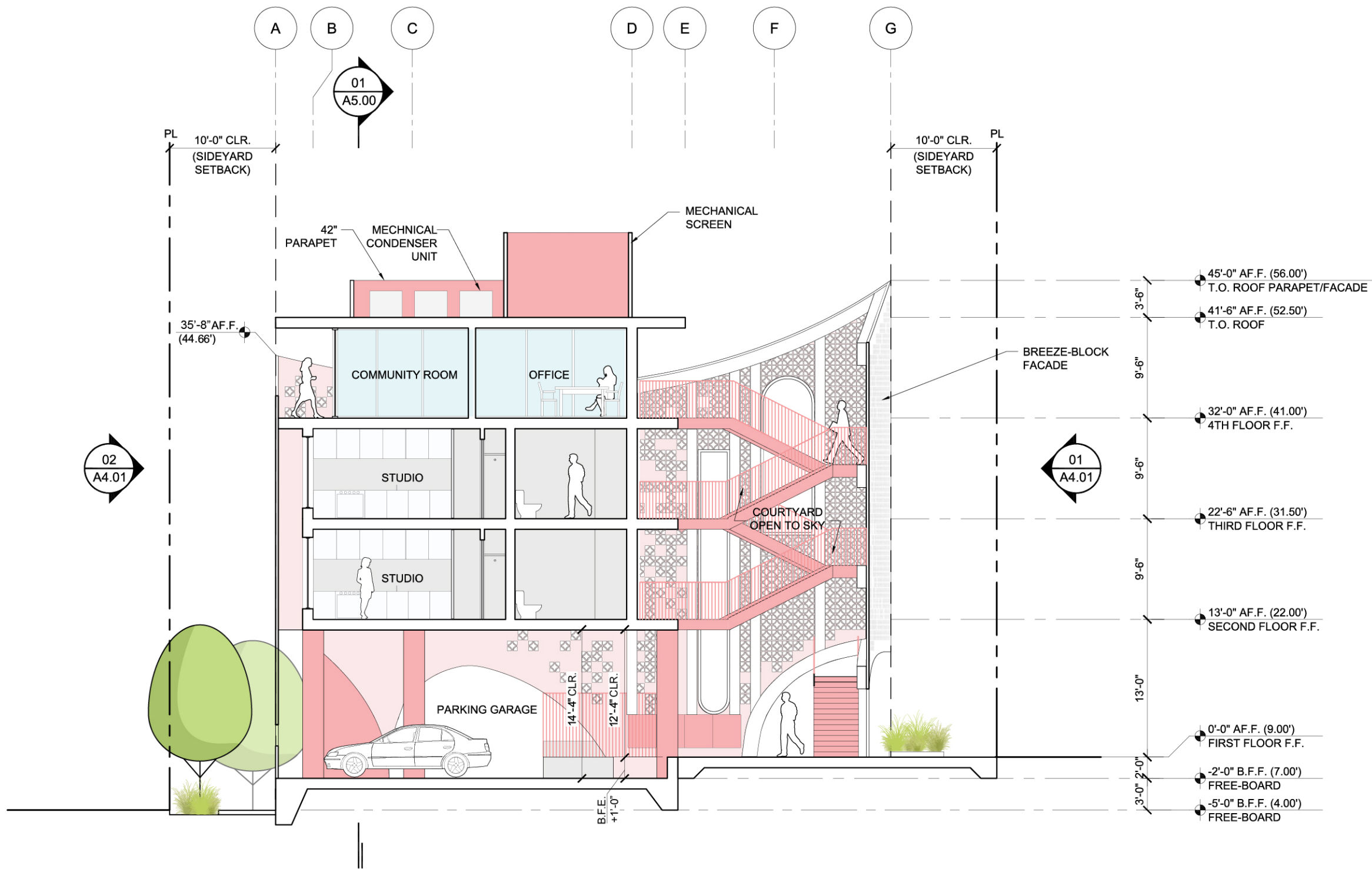
EAST ELEVATION

01/A4.01

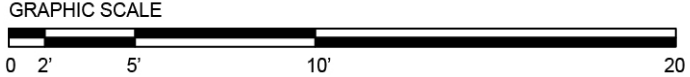


DESIGN / SECTIONS

SCALE: 1/8"=1'-0" (SCALED TO FIT)

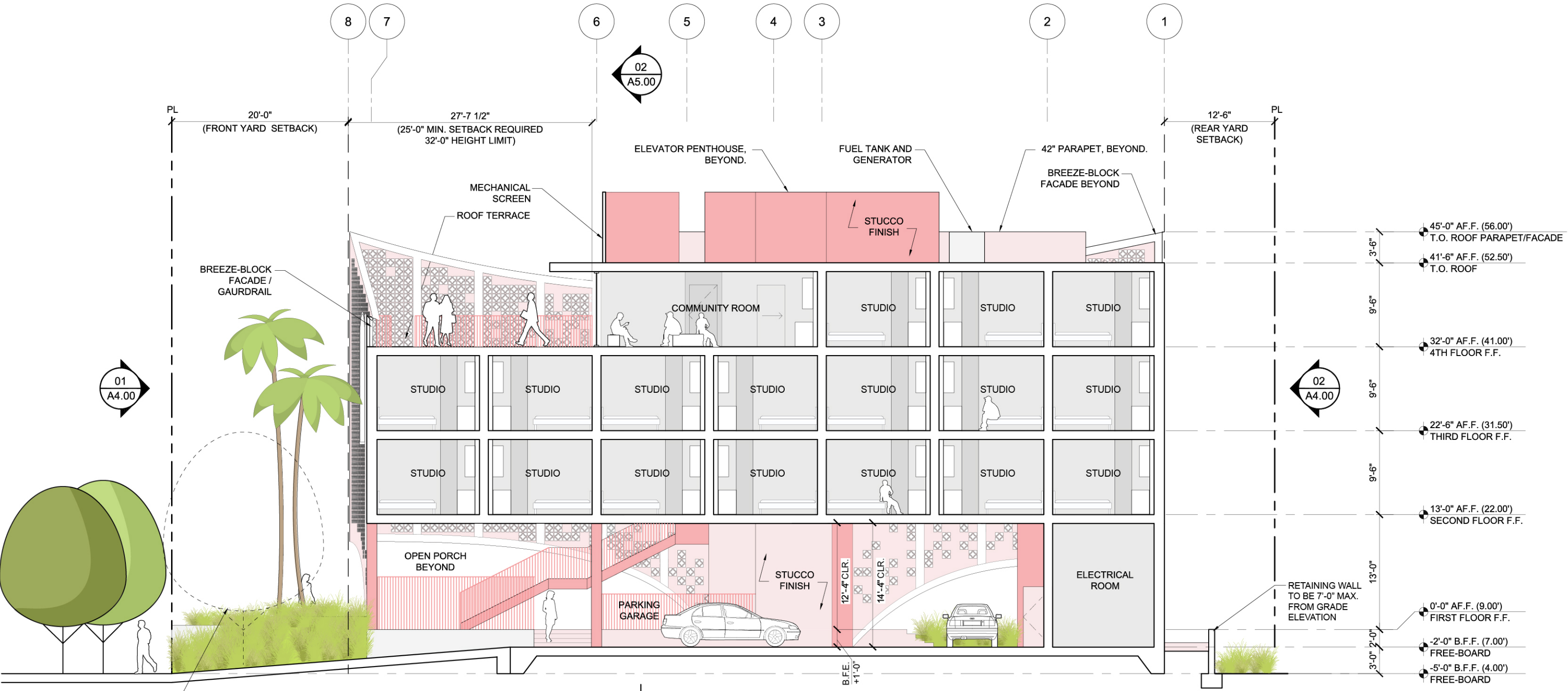


CROSS SECTION AT COURTYARD
02/A5.00



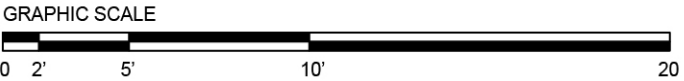
DESIGN / SECTIONS

SCALE: 1/8"=1'-0" (SCALED TO FIT)



LONGITUDINAL SECTION AT TYPICAL UNITS

01/A5.00



DESIGN / N.W. AXONOMETRIC VIEW

