

NEW SINGLE-FAMILY RESIDENCE AT
803 2ND STREET

HISTORIC PRESERVATION BOARD
FINAL SUBMITTAL
07/04/2021

803 2ND STREET

MIAMI BEACH, FLORIDA



CLIENT

STEPHEN AND GERRI HELFMAN
819 2ND STREET
MIAMI BEACH, FL 33139

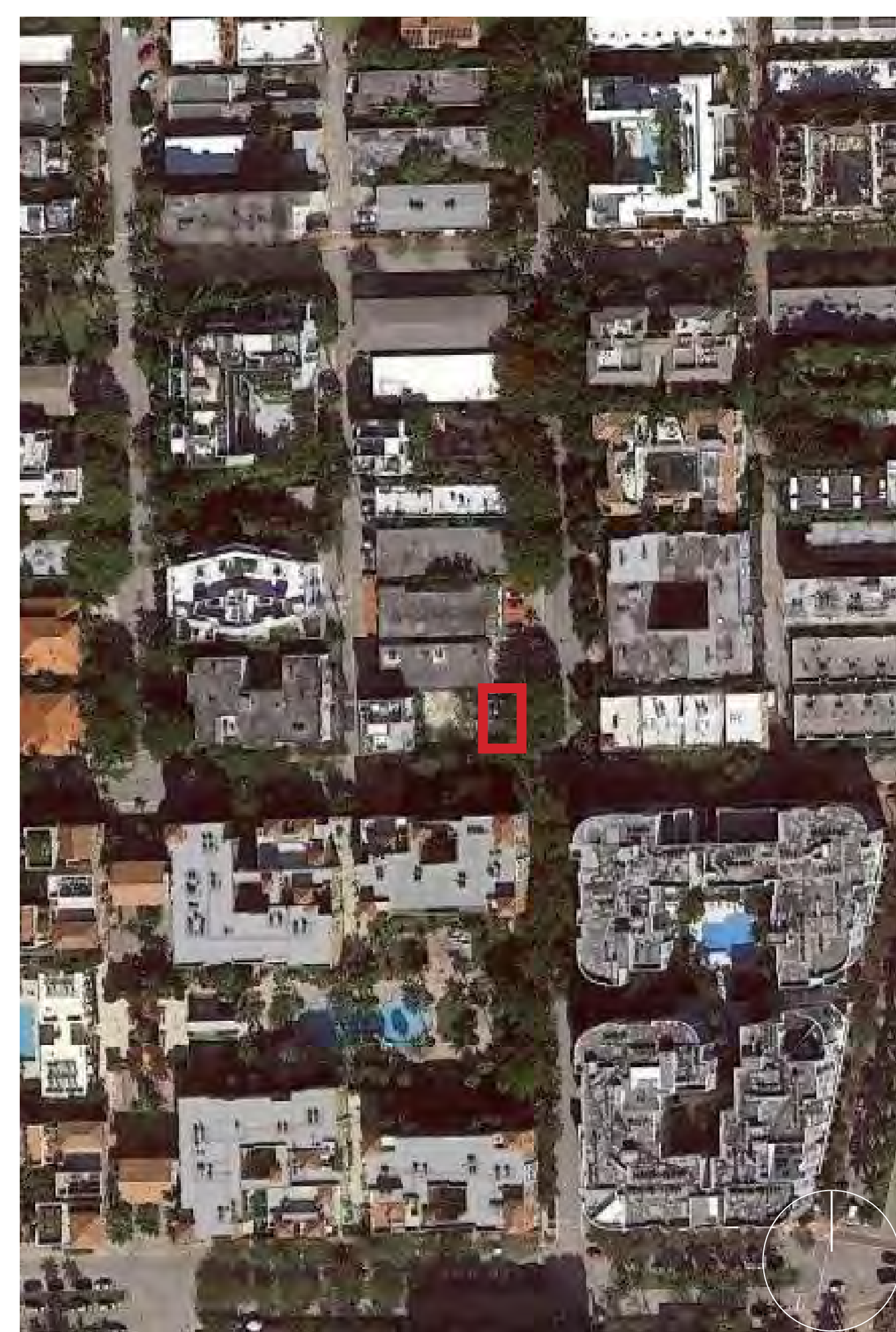
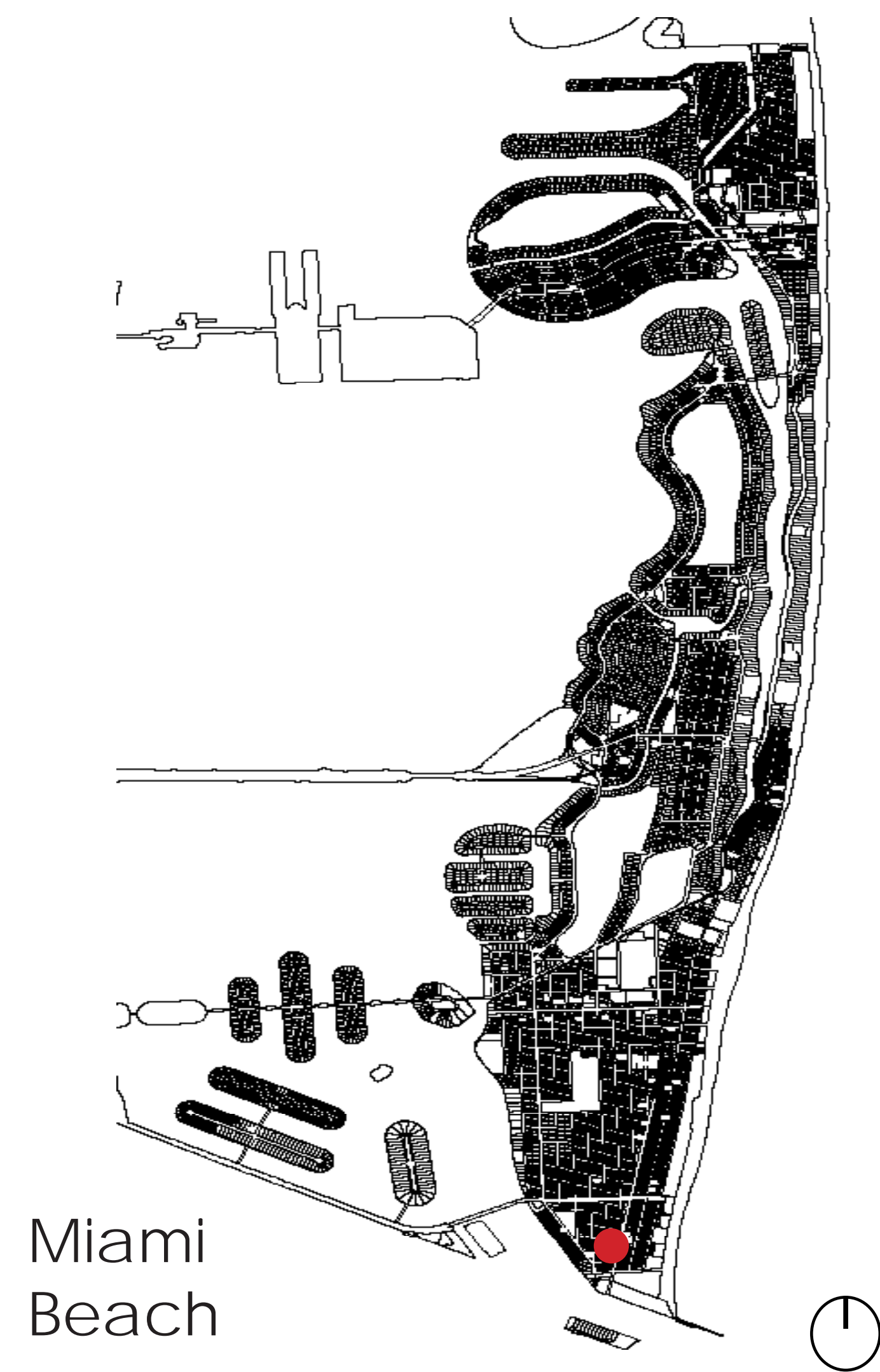
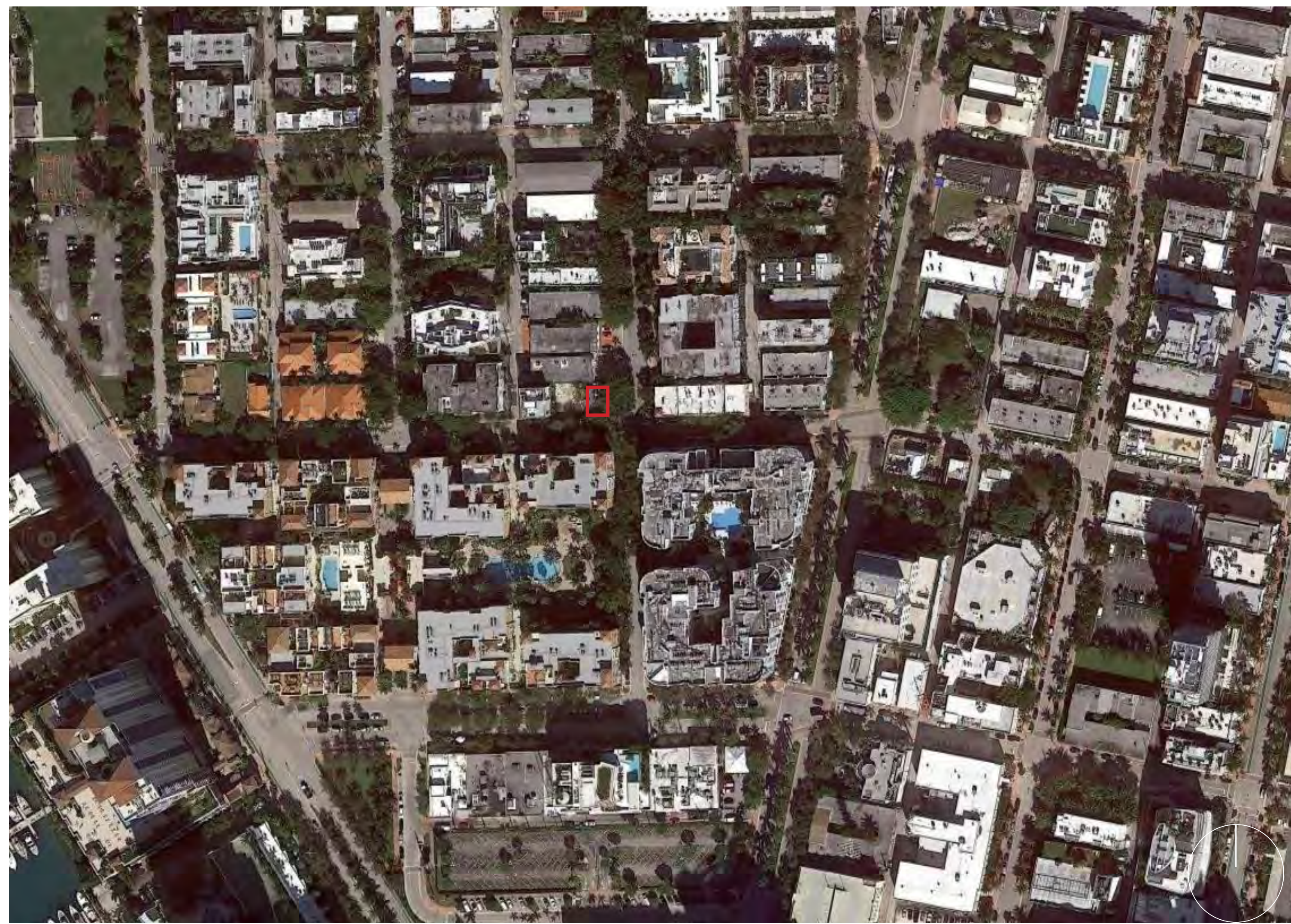
ARCHITECT

CHOEFF LEVY FISCHMAN
ARCHITECTURE + DESIGN
8425 BISCAYNE BLVD. SUITE 201
MIAMI, FL 33138
(305) 434-8338

LANDSCAPE ARCHITECT

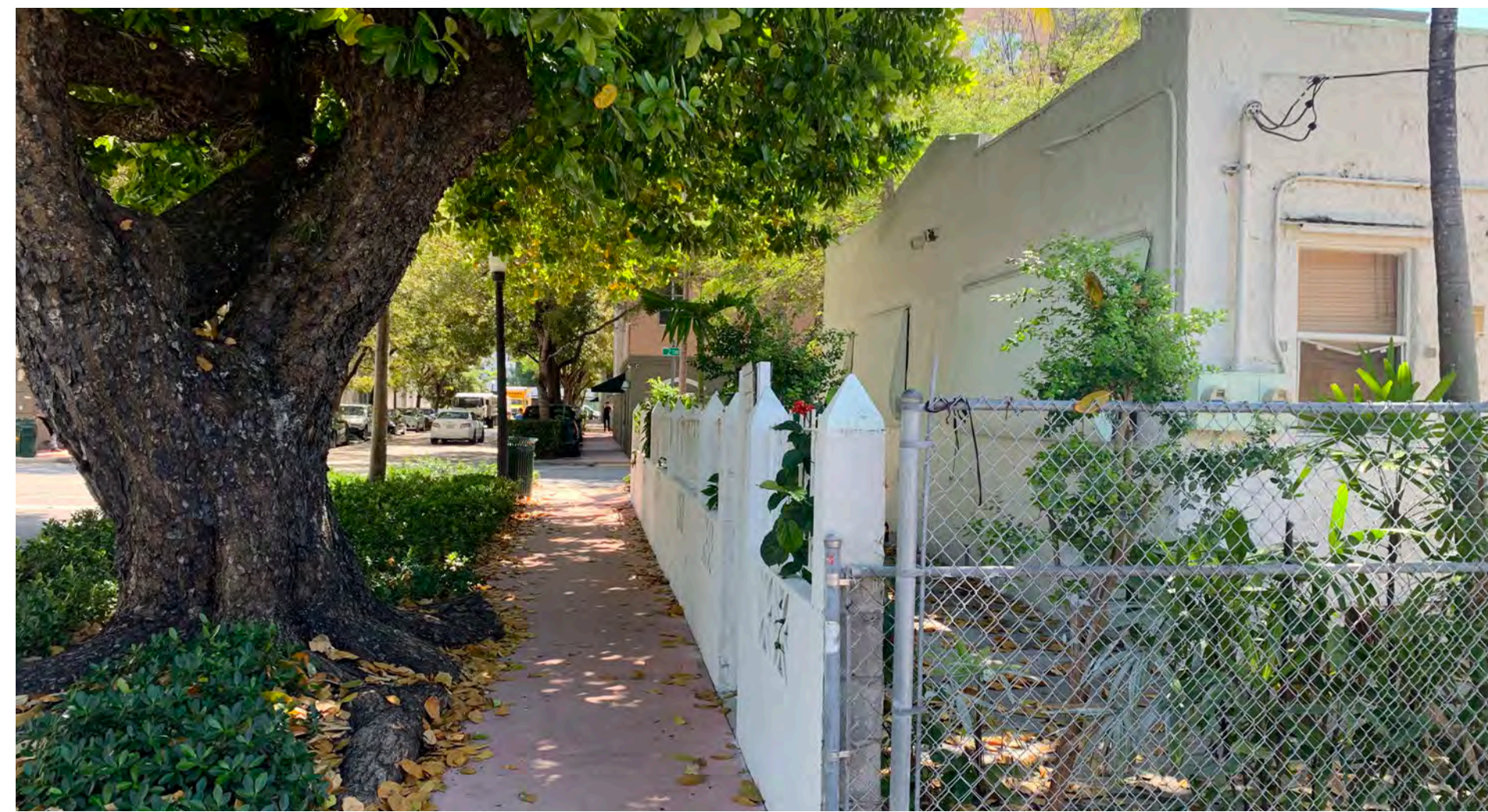
CHRISTOPHER CAWLEY LANDSCAPE ARCHITECTURE LLC
180 NE 69TH ST. STE 1106
MIAMI, FL 33138
(305) 979-1585

seal





PHOTOGRAPH 1



PHOTOGRAPH 2



PHOTOGRAPH 3



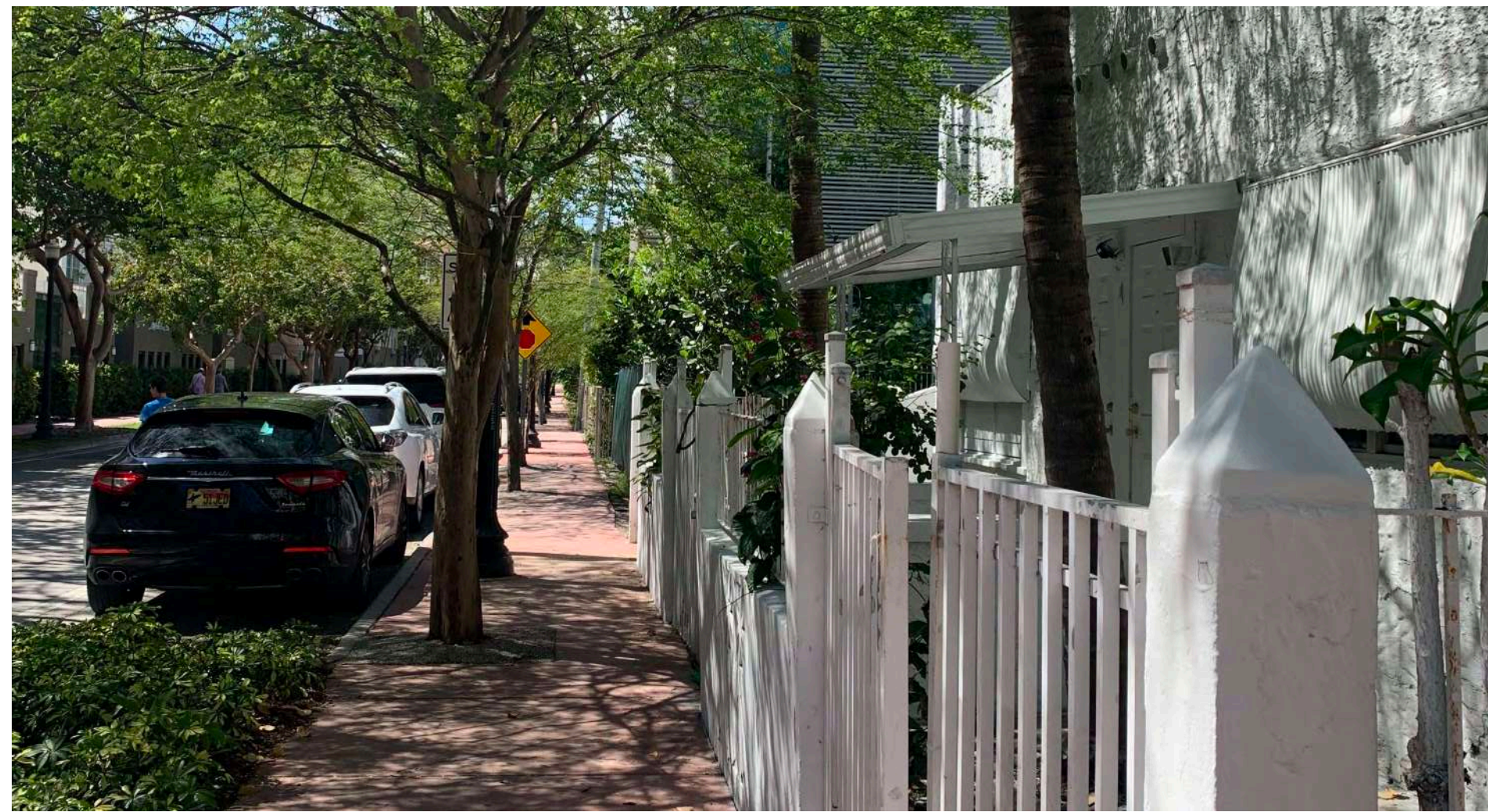
PHOTOGRAPH 4



PHOTOGRAPH 5



PHOTOGRAPH 6



PHOTOGRAPH 7



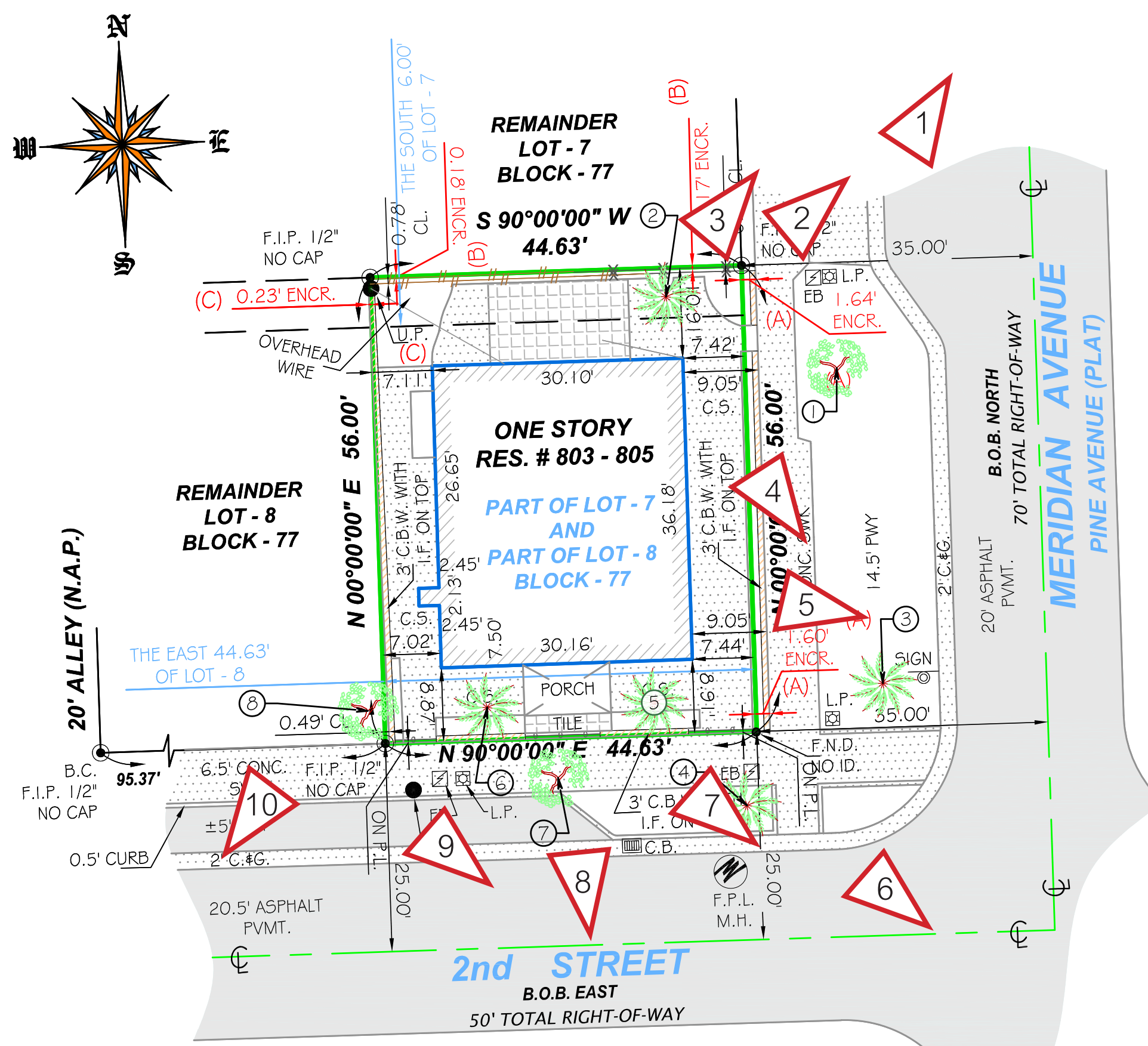
PHOTOGRAPH 8



PHOTOGRAPH 9



PHOTOGRAPH 10





SITE



RESIDENCE 1



RESIDENCE 2



RESIDENCE 3



RESIDENCE 4



RESIDENCE 5



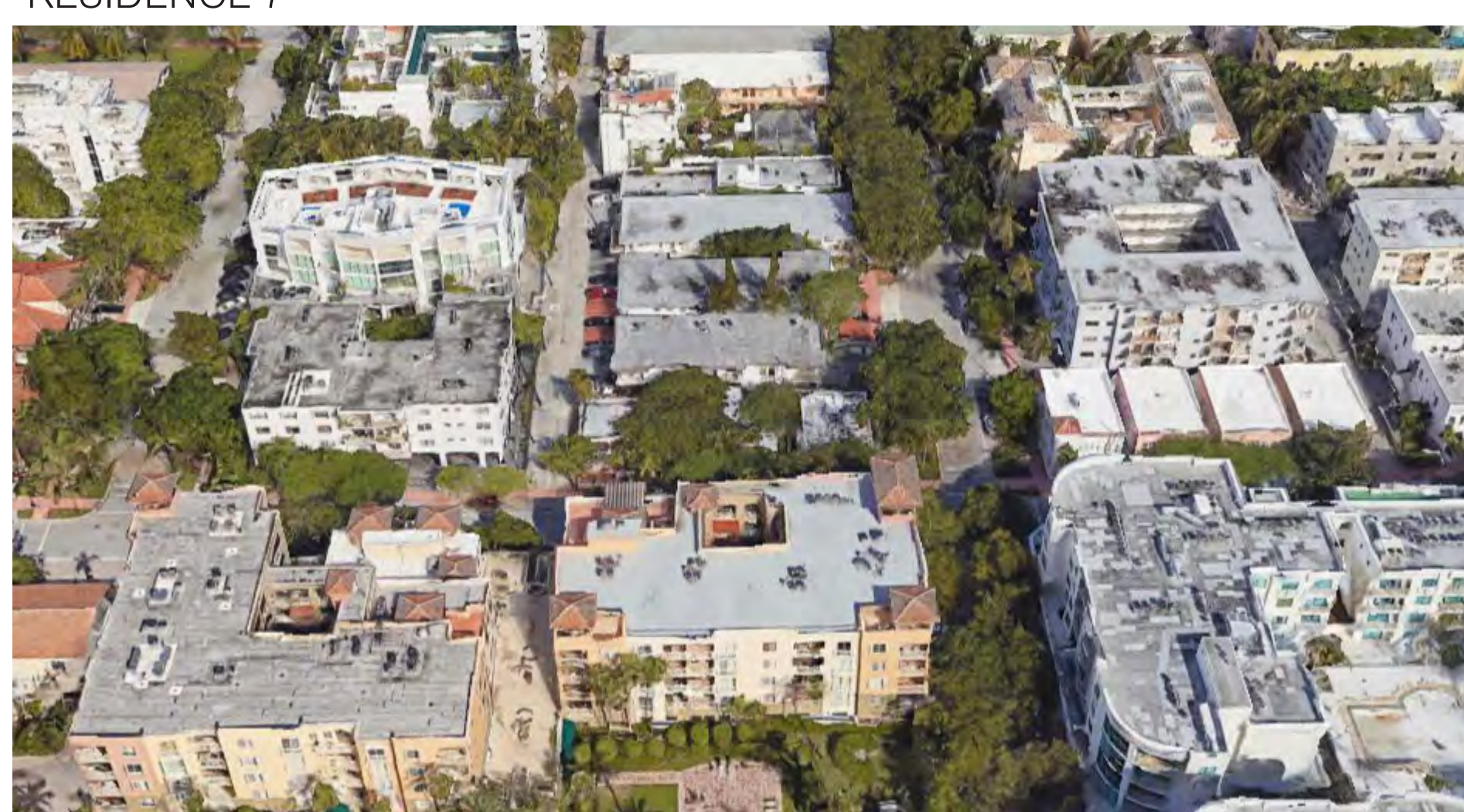
RESIDENCE 6



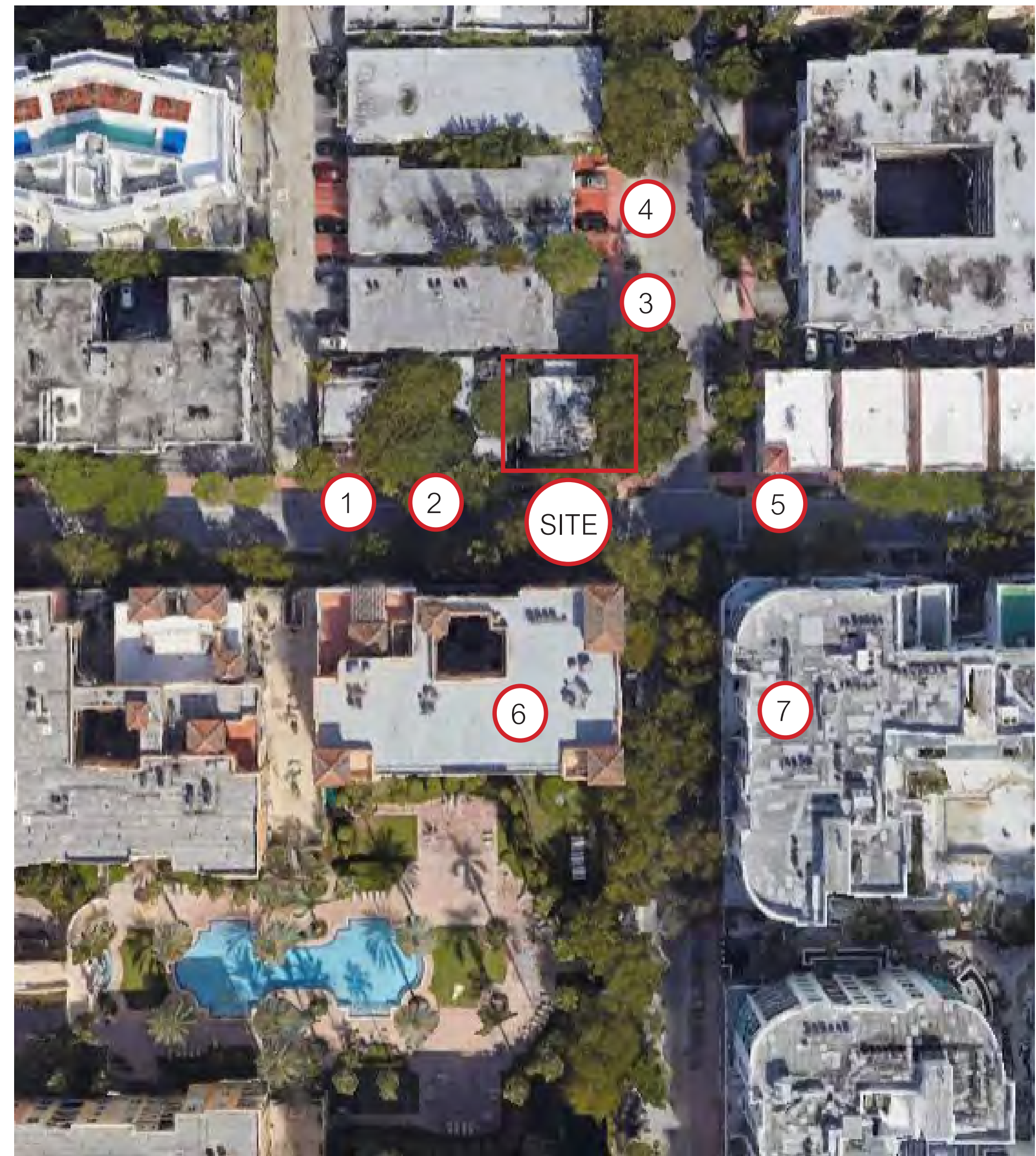
RESIDENCE 7



AERIAL PHOTOGRAPH OF PROPERTY AND SURROUNDING PROPERTIES



AERIAL PHOTOGRAPH OF PROPERTY AND SURROUNDING PROPERTIES



AERIAL PLAN OF PROPERTY AND SURROUNDING PROPERTIES



SUBJECT PROPERTY 1 (520 LAKEVIEW COURT)



RESIDENCE 2



RESIDENCE 5



AERIAL PHOTOGRAPH WITH PROPOSED RESIDENCE INSERTED



seal

Rafael Levy
Registered Architect
AR0094779
AA26003009

comm no.
2123

date:
04/21/2021

revised:

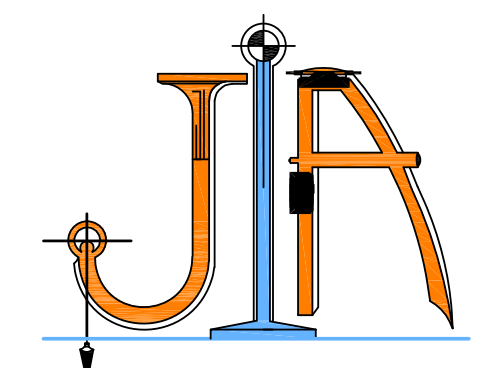
JOHN IBARRA & ASSOCIATES, INC.

Professional Land Surveyors & Mappers

777 N.W. 72nd AVENUE
SUITE 3025
MIAMI, FLORIDA 33126
PH: (305) 262-0400
FAX: (305) 262-0401

www.IBARRALANDSURVEYORS.COM

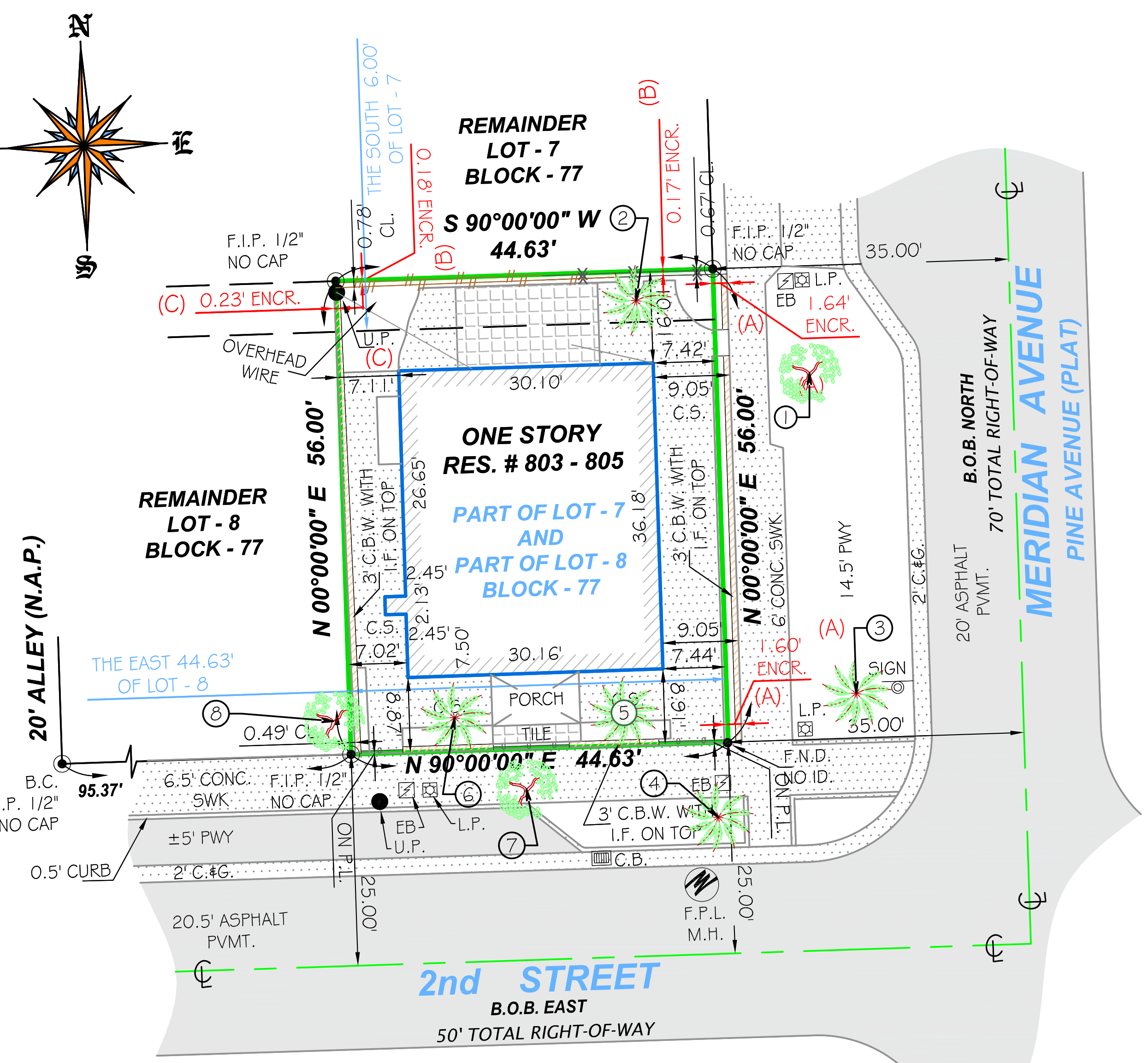
3725 DEL PRADO BLVD. S.
SUITE B
CAPE CORAL, FL 33904
PH: (239) 540-2660
FAX: (239) 540-2664



ABBREVIATIONS AND MEANINGS

- A = ARC
- AC = AIR CONDITIONER PAD
- A.E. = ANCHOR EASEMENT
- AR = ALUMINUM ROOF
- AS = ALUMINUM SHED
- ASPH = ASPHALT
- B.C. = BLOCK CORNER
- B.C.R. = BROWARD COUNTY RECORDS
- BLDG = BUILDING
- B.M. = BENCH MARK
- B.O.B. = BASIS OF BEARINGS
- B.S.L. = BUILDING SETBACK LINE
- C = CALCULATED
- C.B. = CATCH BASIN
- C.B.S. = CONCRETE BLOCK STRUCTURE
- CBW = CONCRETE BLOCK WALL
- CH = CHORD
- CH.B. = CHORD BEARING
- CL = CLARK
- C.L.F. = CHAIN LINK FENCE
- C.M.E. = CANAL MAINTENANCE EASEMENTS
- CONC. = CONCRETE
- C.P. = CONC. PORCH
- C.S. = CONC. SLAB
- C.U.P. = CONC. UTILITY POLE
- C.W. = CONCRETE WALK
- D.E. = DRAINAGE EASEMENT
- D.M.E. = DRAINAGE MAINTENANCE EASEMENTS
- DRIVE = DRIVEWAY
- E = EAST
- EB = ELECTRIC BOX
- E.T.P. = ELECTRIC TRANSFORMER PAD
- ELEV. = ELEVATION
- ENCR. = ENCROACHMENT
- F.H. = FIRE HYDRANT
- F.I.P. = FOUND IRON PIPE
- F.I.R. = FOUND IRON ROD
- F.F.E. = FINISHED FLOOR ELEVATION
- F.N.D. = FOUND NAIL & DISK
- FR = FRAME
- FT = FEET
- F.N.I. = FEDERAL NATIONAL INSURANCE
- F.N.M. = FOUND NAIL
- H. = HIGH (HEIGHT)
- I.C.V. = IRRIGATION CONTROL VALVE
- I.F. = IRON FENCE
- I.N. & E.G. = INGRESS AND EGRESS EASEMENT
- L.B. = Certificate of Authorization LB #7806
- L.P. = LIGHT POLE
- L.F.E. = LOWEST FLOOR ELEVATION
- L.M.E. = LAKE MAINTENANCE EASEMENT
- M = MINUTES
- M. = MEASURED DISTANCE
- MB = MAIL BOX
- M.D.C.R. = MIAMI DADE COUNTY RECORDS
- M.E. = MAINTENANCE EASEMENTS
- MON. = MONUMENT LINE
- MH = MAINHOLE
- M.L. = MONUMENT LINE
- N.A.P. = NOT A PART OF
- NGVD = NATIONAL GEODETIC VERTICAL DATUM
- N. = NORTH
- N.T.S. = NOT TO SCALE
- #NO. = NUMBER
- O.S. = OFFSET
- O.U.L. = OVERHEAD UTILITY LINES
- O.H.L. = OVERHEAD UTILITY LINES
- O.R.B. = OFFICIAL RECORDS BOOK
- OVH = OVERHANG
- P.V.M.T. = PAVEMENT
- PL = PLANTER
- PL = PROPERTY LINE
- P.C.C. = POINT OF COMPOUND CURVE
- P.C. = POINT OF CURVE
- PT. = POINT OF TANGENCY
- P.O.C. = POINT OF COMMENCEMENT
- P.O.B. = POINT OF BEGINNING
- P.R.C. = POINT OF REVERSE CURVE
- P.B. = PLAT BOOK
- PG. = PAGE
- P.W. = PARKWAY
- PRM. = PERMANENT REFERENCE MONUMENT
- P.L.S. = PROFESSIONAL LAND SURVEYOR
- R. = RECORDED DISTANCE
- RR = RAIL ROAD
- R25 = RESIDENCE
- PROP. CO. = PROPERTY CORNER
- R.W. = RIGHT-OF-WAY
- R.P. = RADIUS POINT
- RGE. = RANGE
- SEC. = SECTION
- STY. = STORY
- SWK. = SIDEWALK
- S.I.P. = SET IRON PIPE L.B. #7806
- S.P. = SCREENED PORCH
- S. = SOUTH
- S. = SECONDS
- T = TANGENT
- TB = TELEPHONE BOOTH
- T.U.E. = TECHNOLOGY UTILITY EASEMENT
- T.S.B. = TRAFFIC SIGNAL BOX
- T.S.P. = TRAFFIC SIGNAL POLE
- TWP. = TOWNSHIP
- UTIL. = UTILITY
- U.P. = UTILITY POLE
- W.M. = WATER METER
- W.F. = WOOD FENCE
- W.R. = WOOD ROOF
- W.M. = WATER METER
- W.F. = WOOD FENCE
- W.R. = WOOD ROOF
- W.S. = WOOD SHED
- W. = WEST
- CL = CENTER LINE
- CA = CENTRAL ANGLE
- ∠ = ANGLE

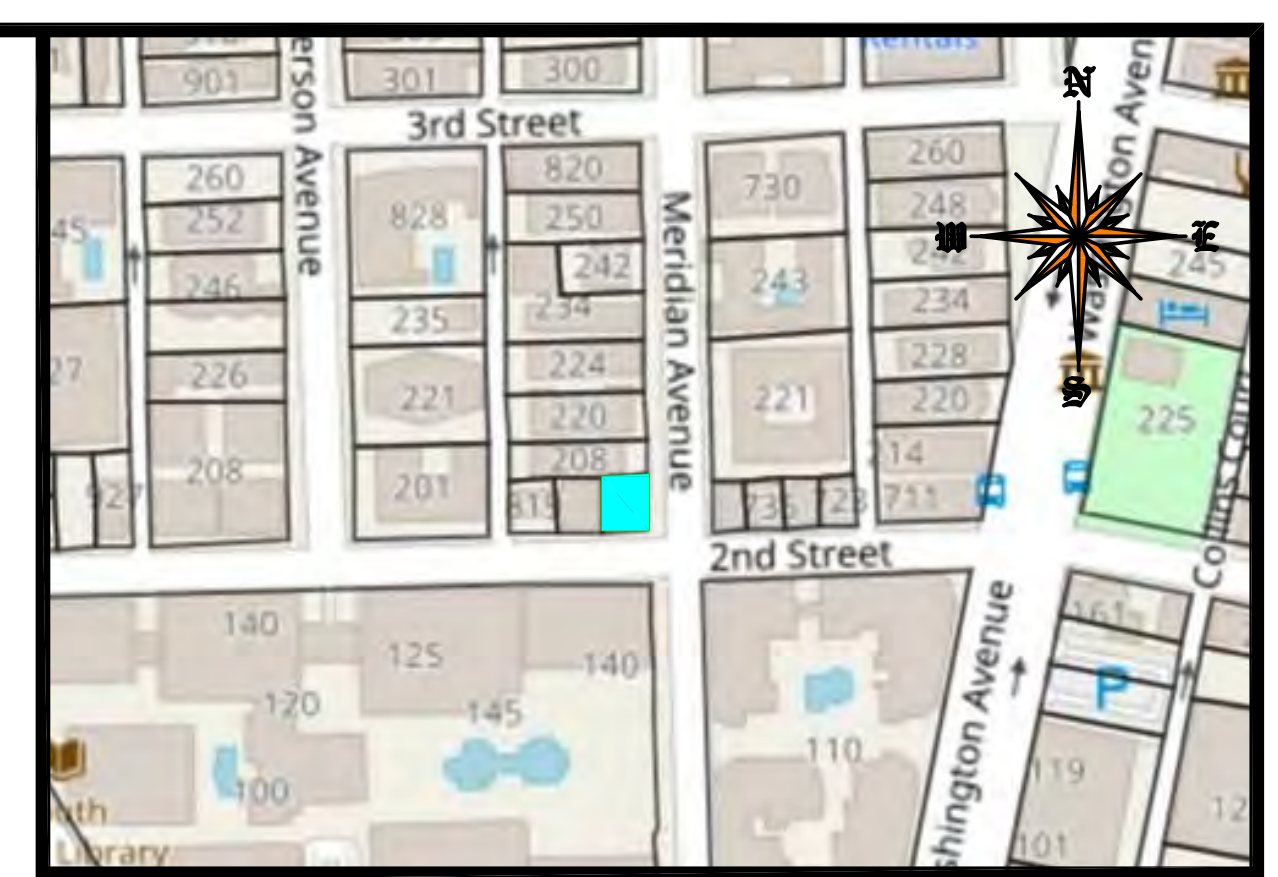
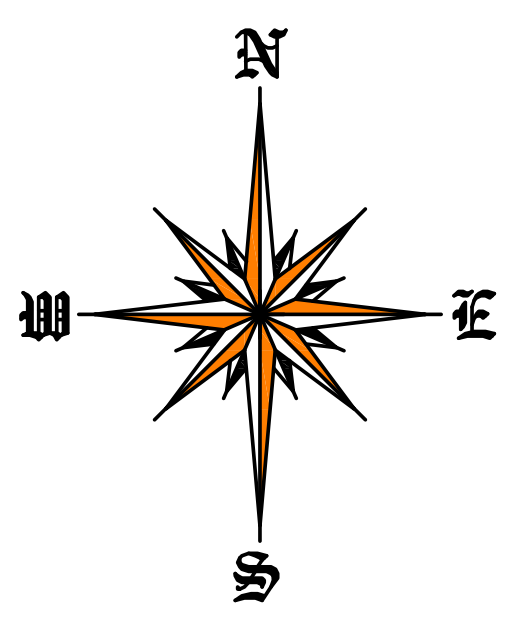
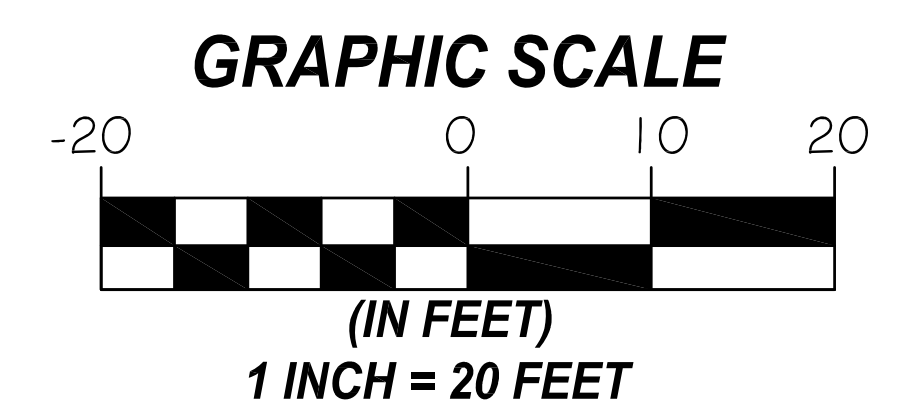
- ### LEGEND
- OH— = OVERHEAD UTILITY LINES
 - CBW— = CONCRETE BLOCK WALL
 - CLF— = CHAIN LINK FENCE
 - IF— = IRON FENCE
 - WF— = WOOD FENCE
 - BSL— = BUILDING SETBACK LINE
 - UE— = UTILITY EASEMENT
 - LA— = LIMITED ACCESS RW
 - NVA— = NON-VEHICULAR ACCESS RW
 - E— = EXISTING ELEVATIONS
- × 0.00



ENCROACHMENT NOTES:
A. EAST SIDE OF THE SUBJECT PROPERTY, CONCRETE BLOCK WALL IS ENCROACHING INTO THE RIGHT OF WAY OF MERIDIAN AVENUE.
B. NORTH SIDE OF THE SUBJECT PROPERTY, NEIGHBOR'S WOOD FENCE IS ENCROACHING INTO THE SUBJECT PROPERTY.
C. WEST SIDE OF THE SUBJECT PROPERTY, CONCRETE BLOCK WALL IS ENCROACHING INTO THE NEIGHBOR'S PROPERTY AND UTILITY POLE IS ENCROACHING INTO THE SUBJECT PROPERTY.

MAP OF BOUNDARY SURVEY

803 2nd STREET, MIAMI BEACH, FLORIDA 33139



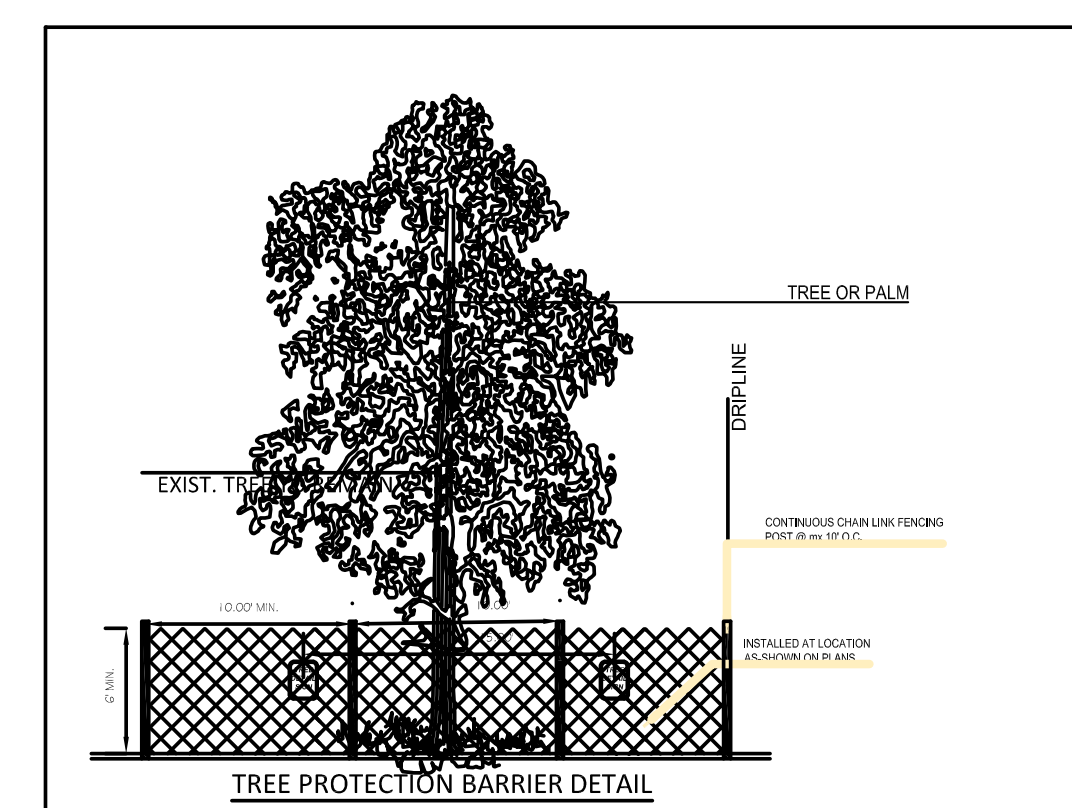
LOCATION SKETCH
SCALE = N.T.S.

CERTIFICATION:
TBD GROUP LLC

LEGAL DESCRIPTION:
THE SOUTH 6 FEET OF THE EASTERLY 44.63 FEET OF LOT 7 AND THE EASTERLY 44.63 FEET OF LOT 8, BLOCK 77 OF OCEAN BEACH ADDITION NUMBER THREE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 81, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

TREE TABLE				
No.	Name	Diameter (Ft.)	Height (Ft.)	Spread (Ft.)
1	TREE	5	45	65
2	PALM	2.50	25	20
3	PALM	0.75	40	20
4	PALM	0.60	25	15
5	PALM	0.70	40	15
6	PALM	0.60	40	15
7	TREE	1.10	25	30
8	SEAGRAPE	0.60	15	8

SURVEYOR'S NOTE:
AN ARBORIST MUST CONFIRM ALL THE TREE NAMES, CONDITION AND SPECIES. WHAT IS SHOWN ON THE SURVEY MAY NOT BE THE CORRECT NAME OF THE TREES. LAND SURVEYORS ARE NOT ARBORIST.



- NOTE:
BARRIER TO BE CONTINUOUS AROUND THE TREE OR GROUP OF TREES.
- MINIMUM SIX (6) FOOT HIGH TEMPORARY CHAIN LINK FENCE SHALL BE PLACED AT THE CRITICAL ROOT ZONE OR DESIGNATED LIMIT OF DISTURBANCE OF THE TREE TO BE SAVED. FENCE SHALL COMPLETELY ENIRCLE TREES. INSTALL FENCE POSTS USING PIER BLOCK ONLY. AVOID POST OR STAKES INTO MAJOR ROOTS. MODIFICATIONS TO FENCING MATERIAL AND LOCATION MUST BE APPROVED BY PLANNING OFFICIAL.
 - TREATMENT OF ROOTS EXPOSED DURING CONSTRUCTION FOR ALL ROOTS OVER ONE (1) INCH IN DIAMETER DAMAGED DURING CONSTRUCTION. MAKE A CLEAN STRAIGHT CUT TO REMOVE DAMAGED PORTION OF ROOT. ALL EXPOSED ROOTS SHALL BE TEMPORARILY COVERED WITH DAMP BURLAP TO PREVENT DRYING AND COVERED WITH SOIL AS SOON AS POSSIBLE.
 - NO STOCKPILING OF MATERIALS, VEHICULAR TRAFFIC, OR STORAGE OF EQUIPMENT OR MACHINERY SHALL BE ALLOWED WITHIN THE LIMIT OF THE FENCING. FENCING SHALL NOT BE MOVED OR REMOVED UNLESS APPROVED BY THE CITY PLANNING OFFICIAL. WORK WITHIN PROTECTION FENCE SHALL BE DONE MANUALLY UNDER THE SUPERVISION OF THE ON-SITE ARBORIST AND WITH PRIOR APPROVAL BY THE CITY PLANNING OFFICIAL.
 - FENCING SIGNAGE AS DETAILED ABOVE MUST BE POSTED EVERY FIFTEEN (15) ALONG THE FENCE.

LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY:

- THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY.
- EXAMINATIONS OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY.
- THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD.
- LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.
- BOUNDARY SURVEY MEANS A DRAWING AND/OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE; THE WALLS OR FENCES MAY BE EXAGGERATED FOR CLARITY PURPOSES.
- EASEMENTS AS SHOWN ARE PER PLAT BOOK, UNLESS DEPICTED OTHERWISE.
- THE TERM "ENCROACHMENT" MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS.
- ARCHITECTS SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS, SETBACKS AND WILL BE RESPONSIBLE FOR SUBMITTING.
- PLOT PLANS WITH CORRECT INFORMATION FOR "APPROVAL FOR AUTHORIZATION" TO THE PROPER AUTHORITIES IN NEW CONSTRUCTION.
- UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS.
- FENCE OWNERSHIP NOT DETERMINED.
- THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON, THE CERTIFICATE
- DOES NOT EXTEND TO ANY UNNAMED PARTY.

FLOOD ZONE INFORMATION:

THE MFP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN:
FLOOD ZONE: X
BASE FLOOD ELEVATION: 8.00 FT.
COMMUNITY: 120851
PANEL: 0319
SUFFIX: L
DATE OF FIRM: 09/11/2009
 THE SUBJECT PROPERTY LIES IN A SPECIAL FLOOD HAZARD AREA.

SURVEYOR'S NOTES:

- IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY. IF NOT, BEARINGS ARE THEN REFERRED TO COUNTY, TOWNSHIP MAPS.
- THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT.
- CERTIFICATE OF AUTHORIZATION LB # 7806.

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THIS "BOUNDARY SURVEY" OF THE PROPERTY DESCRIBED HEREON, HAS RECENTLY BEEN SURVEYED AND DRAWN UNDER MY SUPERVISION, AND COMPLIES WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

Digitally signed by JOHN A IBARRA
 Date: 2021.03.31 15:58:23 -04'00'
 Adobe Acrobat version: 2021.001.20145
03/23/2021

PROFESSIONAL LAND SURVEYOR NO.: 5204 STATE OF FLORIDA

REVISED ON: _____
 REVISED ON: _____

DRAWN BY:	LK
FIELD DATE:	03/23/2021
SURVEY NO.:	15-004089-2
SHEET:	1 OF 1

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Zoning Information			
1	Address:	803 2nd Street, Miami Beach, FL 33139		
2	Board and file numbers:			
3	Folio number(s):	02-4203-009-5373		
4	Year constructed:	1923	Zoning District:	R-PS2
5	Based Flood Elevation:	+8'-0"	Grade value in NGVD:	4.50' NGVD
6	Adjusted grade (Flood+Grade/2):	+6'-9" NGVD	Lot Area:	2,499.28 sq. ft.
7	Lot width:	44.63'	Lot Depth:	56.00'
8	Minimum Unit Size:	N/A	Average Unite Size:	N/A
9	Existing use:	Duplex Residential	Proposed use:	Single Family Residence

		Maximum	Existing	Proposed	Deficiencies
10	Height:	40'-0"		39'-6"	
11	Number of Stories	4	1	3	
12	FAR	1.5	0.43	1.46	
13	Gross square footage	3,748.92 SF	1,080 SF	3,652 SF	
14	Square Footage by use	N/A			
15	Number of units Residential	N/A			
16	Number of units Hotel	N/A			
17	Number of seats	N/A			
18	Occupancy load	N/A			

	Setbacks	Required	Existing	Proposed	Deficiencies
	Subterranean:				
19	Front Setback:	N/A			
20	Side Setback:	N/A			
21	Side Setback:	N/A			
22	Side Setback facing street:	N/A			
23	Rear Setback:	N/A			
	At Grade Parking:				
24	Front Setback:	N/A			
25	Side Setback:	N/A			
26	Side Setback:	N/A			
27	Side Setback facing street:	N/A			
28	Rear Setback:	N/A			
	Pedestal:				
29	Front Setback:	5'-0"	8'-11"	5'-0"	
30	Side Setback:	5'-0"	7'-0"	5'-0"	
31	Side Setback:	N/A	N/A	N/A	
32	Side Setback facing street:	5'-0"	7'-5"	5'-0"	
33	Rear Setback:	5'-0"	10'-11"	5'-7"	
	Tower:				
34	Front Setback:	N/A			
35	Side Setback:	N/A			

	Setbacks	Required	Existing	Deficiencies
36	Side Setback:	N/A		
37	Side Setback facing street:	N/A		
38	Rear Setback:			

	Parking	Required	Existing	Proposed	Deficiencies
39	Parking district				
40	Total # of parking spaces	2	0	2	
41	Number of parking spaces per use (Provide a separate chart for a breakdown calculation)	N/A			
42	Number of parking spaces per level (Provide a separate chart for a breakdown calculation)	N/A			
43	Parking Space Dimensions	N/A			
44	Parking space configuration (45o, 60o, 90o, Parallel)	N/A			
45	ADA spaces	N/A			
46	Tandem Spaces	N/A			
47	Drive aisle width	N/A			
48	Valet drop off and pick up	N/A			
49	Loading zones and Trash collection areas	N/A			
50	racks	N/A			

	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51	Type of use	N/A			
52	Number of seats located outside on private property	N/A			
53	Number of seats inside	N/A			
54	Total number of seats	N/A			
55	Total number of seats per venue (Provide a separate chart for a breakdown calculation)	N/A			
56	Total occupant content	N/A			
57	Occupant content per venue (Provide a separate chart for a breakdown calculation)	N/A			
58	Proposed hours of operation	N/A			
59	Is this an NIE? (Neighborhood Impact establishment, see CMB 141-1361)	NO			
60	Is dancing and/or entertainment proposed? (see CMB 141-1361)	NO			
61	Is this a contributing building?	YES			
62	Located within a Local Historic District?	YES			

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 www.clfarchitects.com

HELFMAN RESIDENCE
 803 2ND STREET, MIAMI BEACH, FL 33139

seal

Rafael Levy
 Registered Architect
 AR0094779
 AA26003009

comm no.
2123

date:
 04/21/2021

revised:

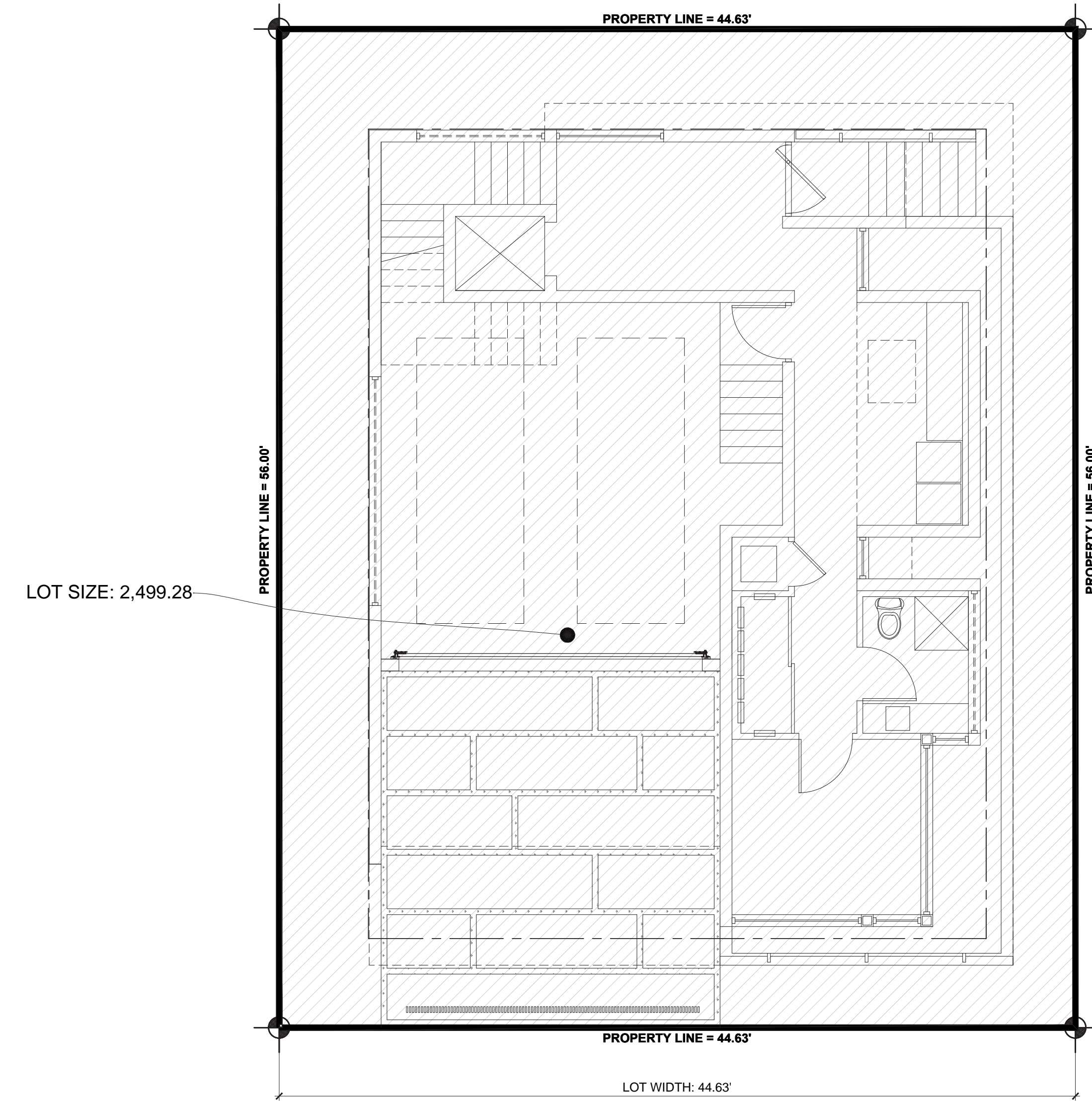
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A-0.06

VARIANCES

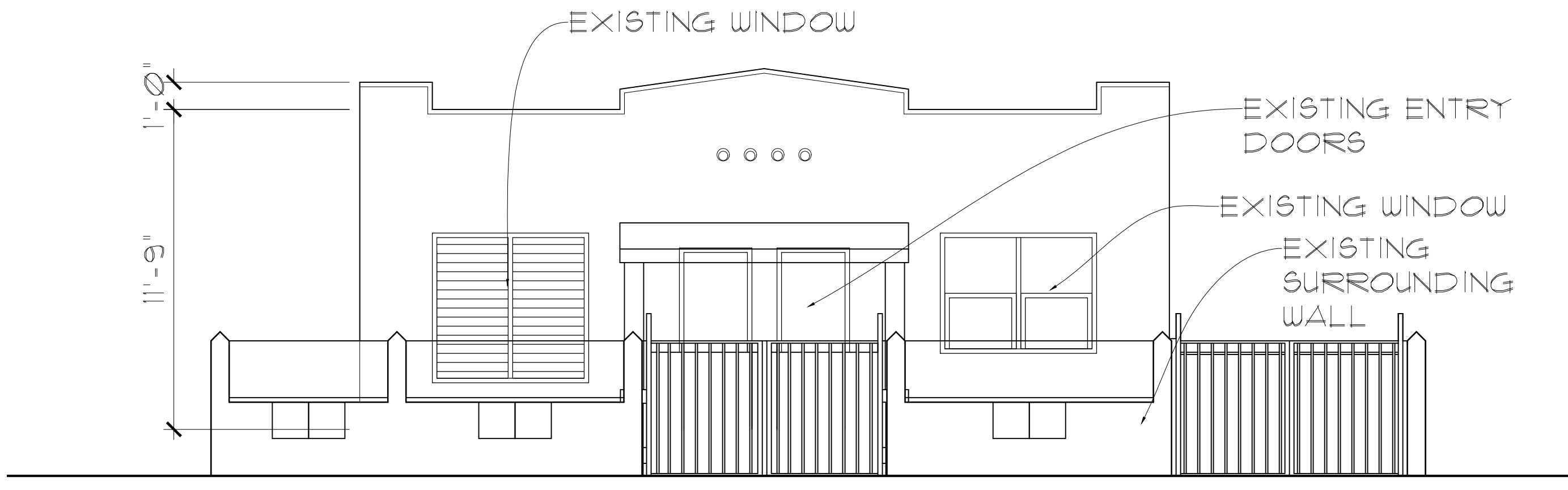
1. REQUEST TO PERMIT A LOT SIZE SMALLER THAN THE MINIMUM REQUIRED BY CODE, PER SEC. 142-696. THE EXISTING LOT IS SMALLER THAN 5,750 SQFT MINIMUM. THE EXISTING LOT SIZE IS 2,499.28 SQFT.

2. REQUEST TO PERMIT A LOT WIDTH SMALLER THAN THE MINIMUM REQUIRED BY CODE, PER SEC. 142-696. THE EXISTING PLAT HAS A LOT WIDTH LESS THAN THE 50' MINIMUM. THE EXISTING LOT WIDTH IS 44.63'.

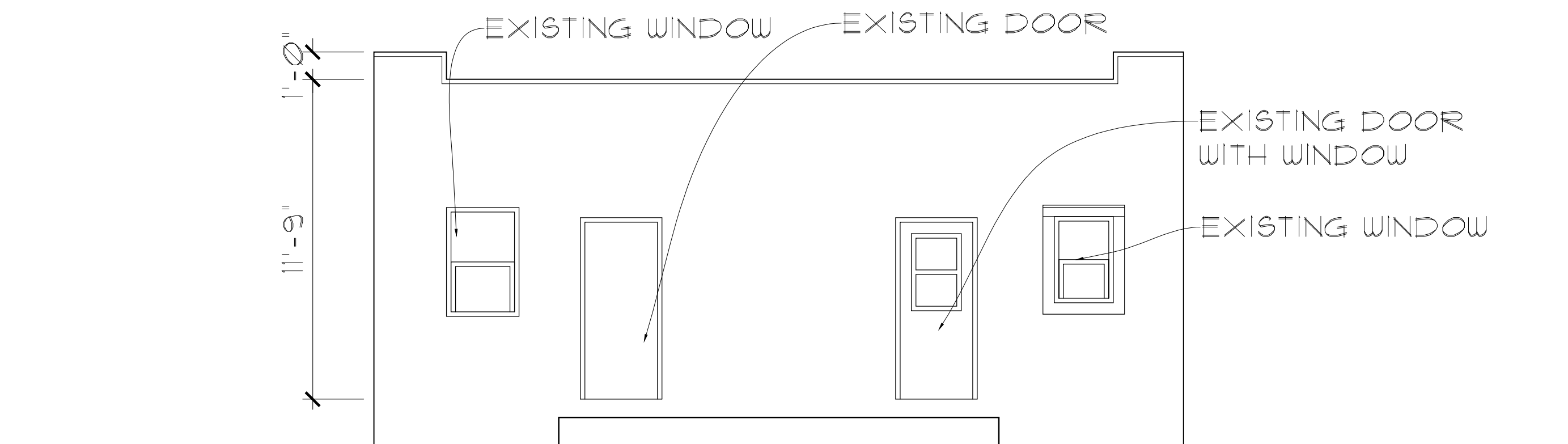


1 FIRST FLOOR
SCALE

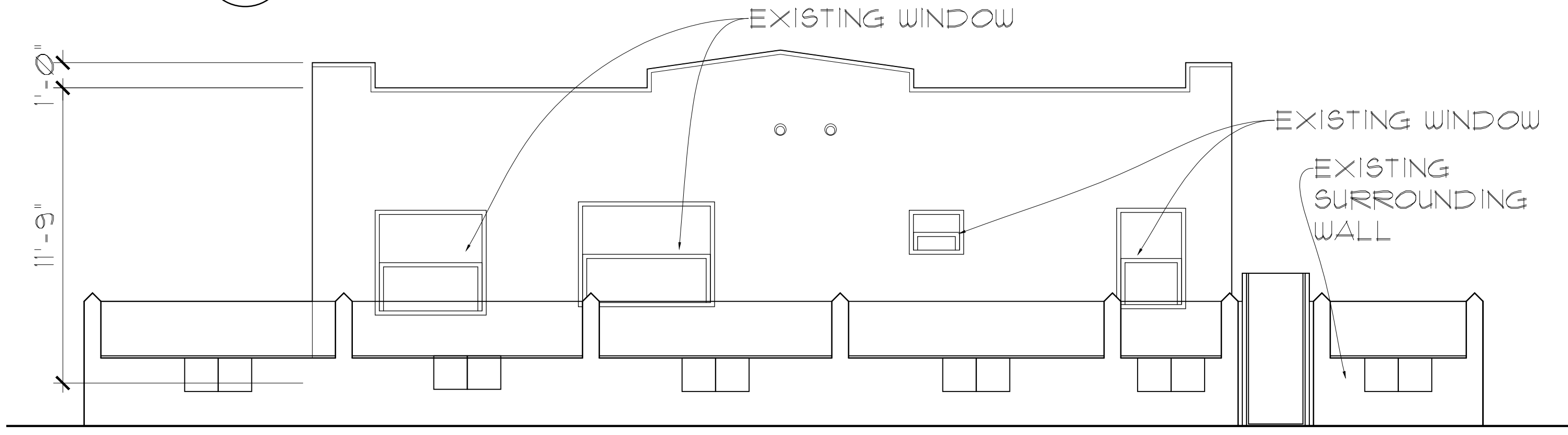
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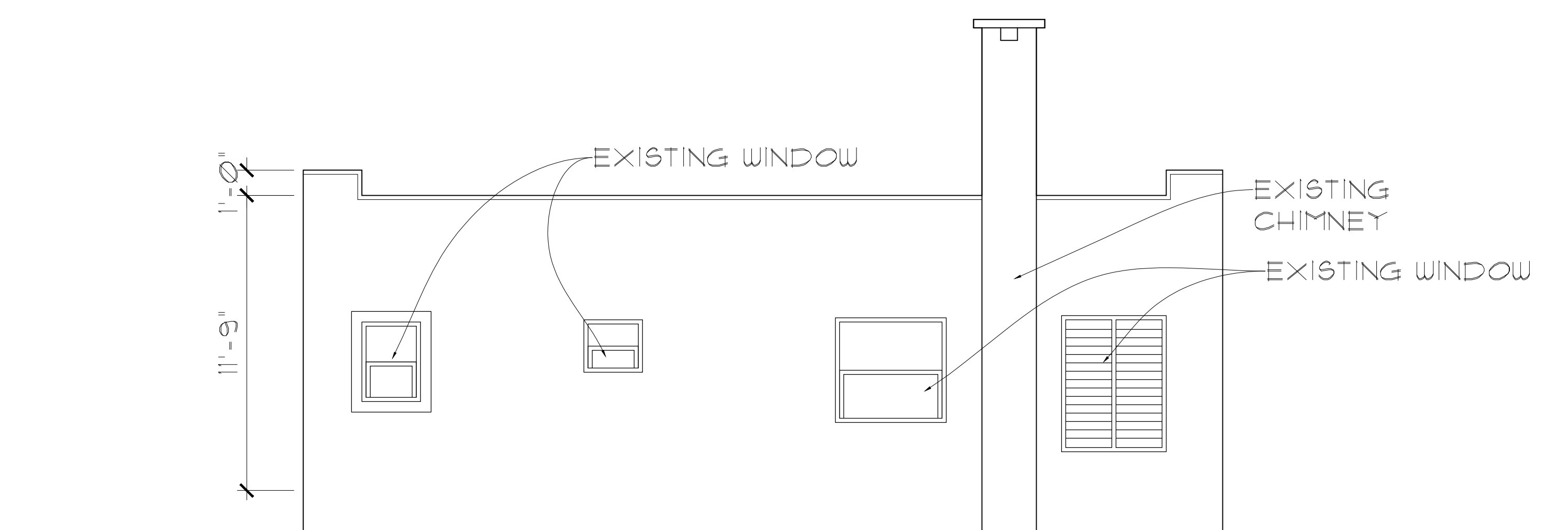
1 EXISTING SOUTH SIDE EXTERIOR ELEVATION (FRONT)
SCALE: 1/4" = 1'-0"



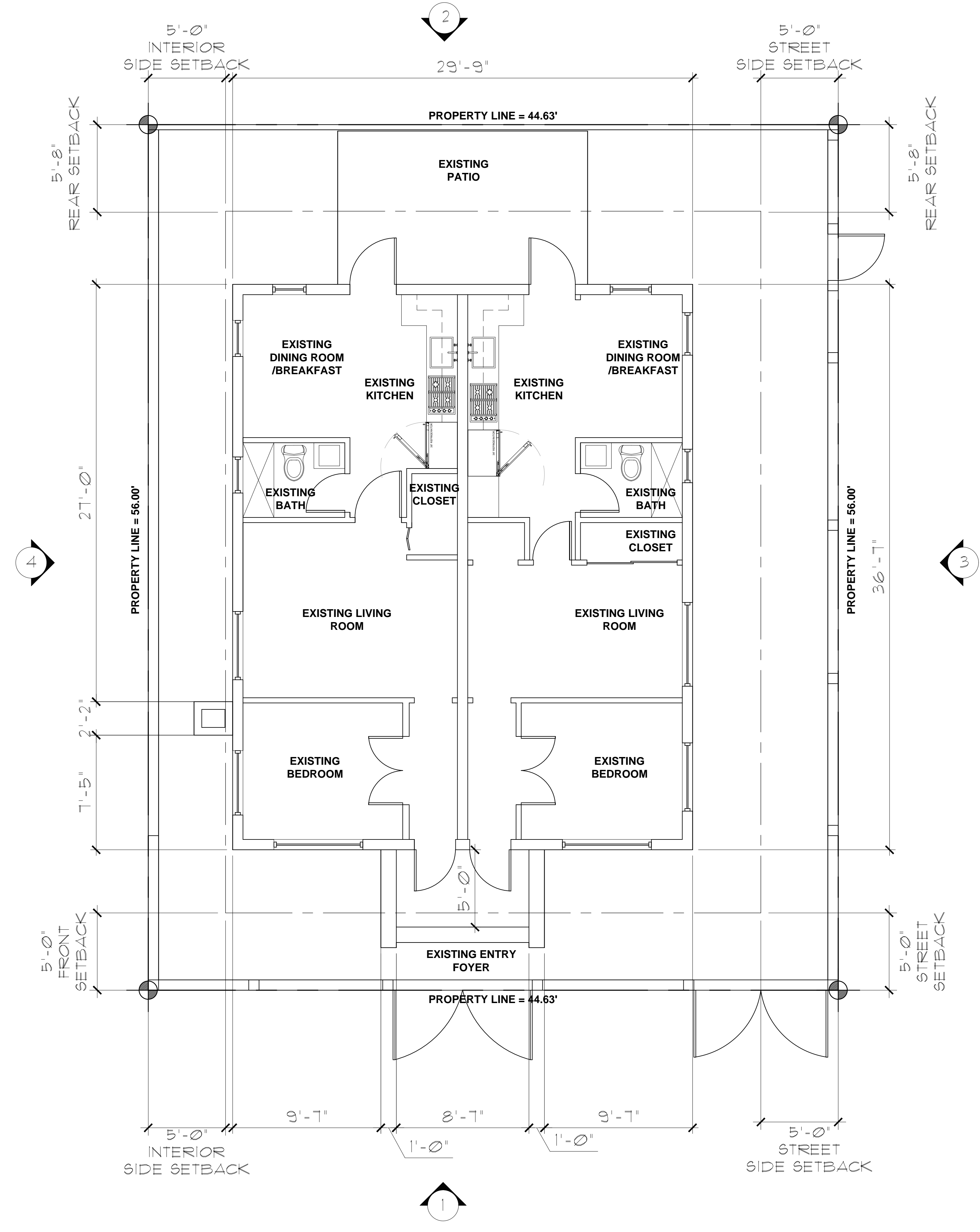
2 EXISTING NORTH SIDE EXTERIOR ELEVATION (REAR)
SCALE: 1/4" = 1'-0"



3 EXISTING EAST SIDE EXTERIOR ELEVATION (RIGHT)
SCALE: 1/4" = 1'-0"



4 EXISTING WEST SIDE EXTERIOR ELEVATION (LEFT)
SCALE: 1/4" = 1'-0"



EXISTING GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"

DEMOLITION NOTES :

1.- ALL EXISTING STRUCTURES AND SITE IMPROVEMENTS SHALL BE DEMOLISHED.

OCCUPANCY :

2.- ALL PORTIONS OF BUILDINGS SHALL BE VACATED PRIOR TO STAR DEMOLITION. THE BUILDING SHALL NOT BE OCCUPIED DURING DEMOLITION OR CONSTRUCTION UNTIL TCO OR CO HAS BEEN ISSUED BY THE CITY OF MIAMI BEACH FLORIDA. CONTRACTOR SHALL COORDINATE AND SCHEDULE STAR OF DEMOLITION WITH OWNER / TENANTS.

3.- CONDITION OF STRUCTURES :

OWNER ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITION OF ITEMS OR STRUCTURES TO BE DEMOLISHED.

4.- PARTIAL DEMOLITION AND REMOVAL :

ITEMS INDICATED TO BE REMOVED BUT OF SALVABLE VALUE TO CONTRACTOR MAY BE REMOVED FROM STRUCTURE AS WORK PROGRESSES. TRANSPORT SALVAGED ITEMS FROM SITE AS THEY ARE REMOVED.

5.- STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED.

6.- PROTECTION :

PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT OWNER'S PERSONNEL AND GENERAL PUBLIC FROM INJURY DUE TO SELECTIVE DEMOLITION WORK.

1.- PROVIDE PROTECTIVE MEASURES AS REQUIRED TO PROVIDE FREE AND SAFE PASSAGE OF OWNER PERSONNEL AND GENERAL PUBLIC TO AND FROM OCCUPIED PORTION OF BUILDING.

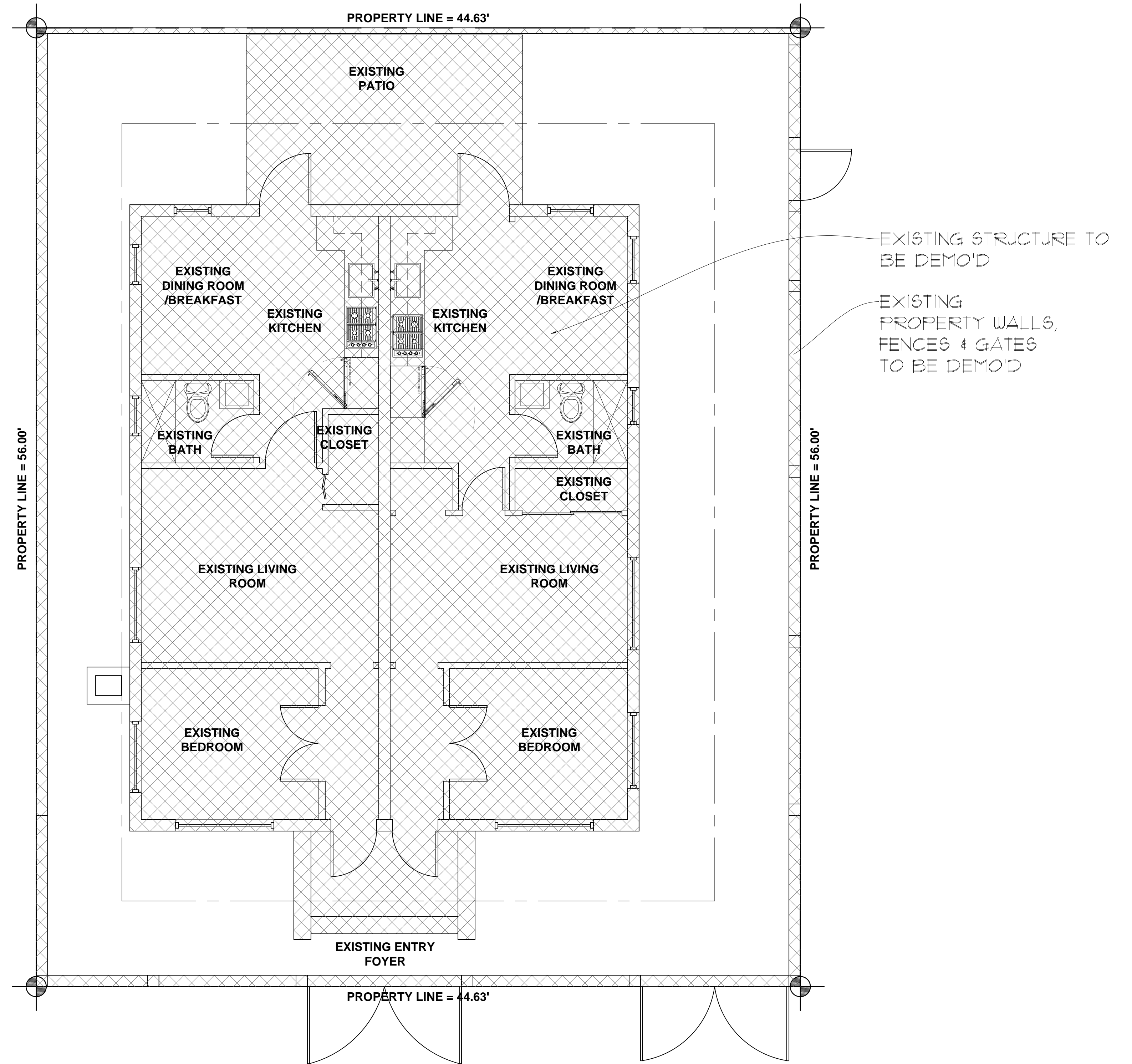
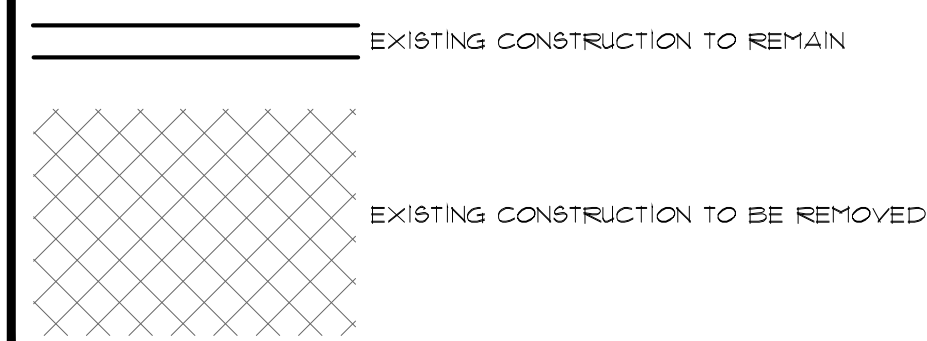
2.- ERECT TEMPORARY COVERED PASSAGEWAYS AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.

3.- PROTECT FROM DAMAGE EXISTING FINISH WORK THAT IS TO REMAIN PLACE AND BECOME EXPOSED DURING DEMOLITION OPERATIONS.

4.- PROTECT FLOOR WITH SUITABLE COVERING WHEN NECESSARY.

5.- CONSTRUCT TEMPORARY INSULATED SOLID DUSTPROOF PARTITIONS WHERE REQUIRED TO SEPARATED AREAS WHERE NOISY OR EXTENSIVE DIRT OR DUST OPERATION ARE PERFORMED. EQUIP PARTITIONS WITH DUSTPROOF DOORS AND SECURITY LOCK ARE REQUIRED.

LEGEND:



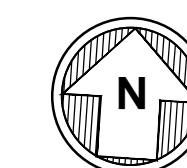
seal

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comm no.
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04/21/2021

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GROUND FLOOR DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

sheet no.

DEMO PLAN

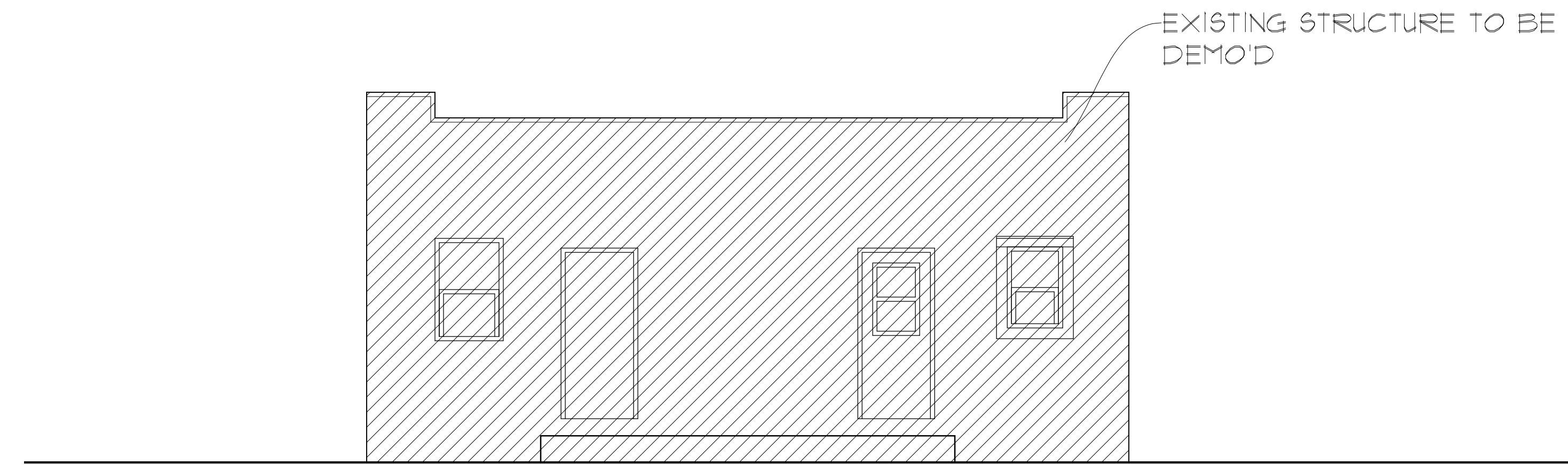
LEGEND:

EXISTING CONSTRUCTION TO REMAIN

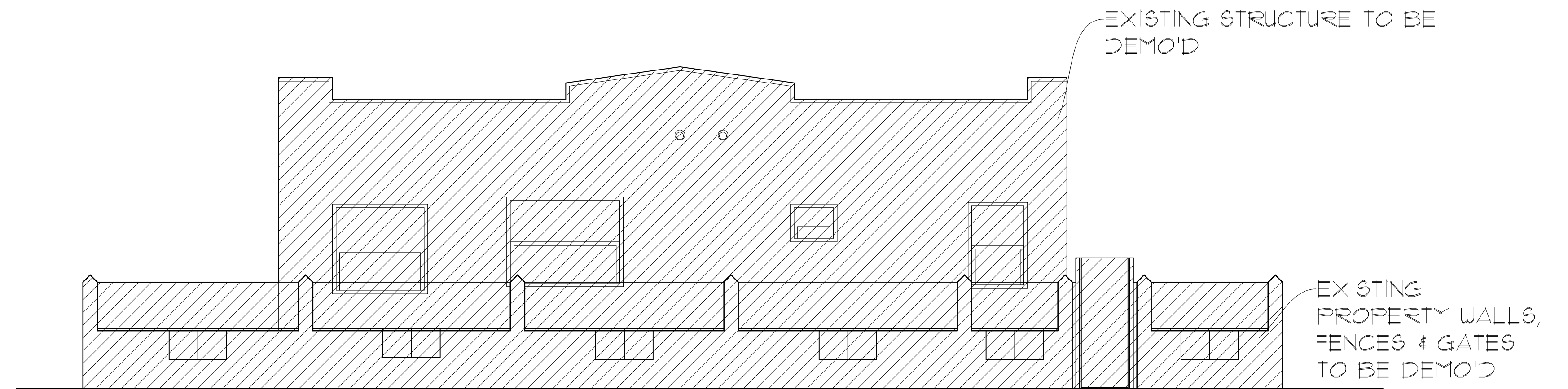
EXISTING CONSTRUCTION TO BE REMOVED

DEMOLITION NOTES :

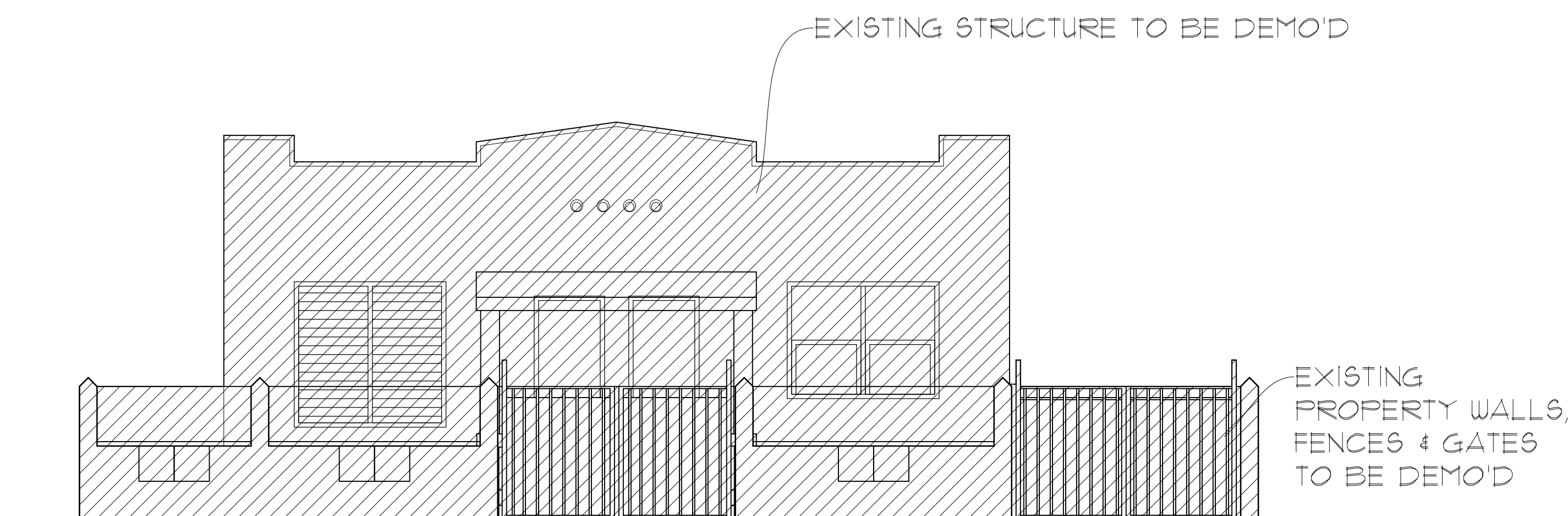
- 1.- EXTENT OF SELECTIVE DEMOLITION WORK IS INDICATED ON DRAWINGS.
- 2.- TYPES OF SELECTIVE DEMOLITION NOTES :
DEMOLITION REQUIRES THE SELECTIVE REMOVAL AND SUBSEQUENT OFFSITE DISPOSAL OF THE FOLLOWING:
A- PORTION OF PARTITIONS AS INDICATED ON DRAWINGS.
B- REMOVAL OF DOORS AND FRAMES INDICATED.
C- REMOVAL OF PLUMBING FIXTURES INDICATED.
- 3.- RELATED WORK SPECIFIED ELSEWHERE :
OCCUPANCY :
ALL PORTIONS OF BUILDINGS SHALL BE VACATED PRIOR TO STAR DEMOLITION. THE BUILDING SHALL NOT BE OCCUPIED DURING DEMOLITION OR CONSTRUCTION UNTIL TCO OR CO HAS BEEN ISSUED BY THE CITY OF MIAMI BEACH FLORIDA. CONTRACTOR SHALL COORDINATE AND SCHEDULE STAR OF DEMOLITION WITH OWNER / TENANTS.
- 4.- CONDITION OF STRUCTURES :
OWNER ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITION OF ITEMS OR STRUCTURES TO BE DEMOLISHED.
- 5.- PARTIAL DEMOLITION AND REMOVAL :
ITEMS INDICATED TO BE REMOVED BUT OF SALVABLE VALUE TO CONTRACTOR MAY BE REMOVED FROM STRUCTURE AS WORK PROGRESSES. TRANSPORT SALVAGED ITEMS FROM SITE AS THEY ARE REMOVED.
- 6.- STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED.
- 7.- PROTECTION :
PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT OWNER'S PERSONNEL AND GENERAL PUBLIC FROM INJURY DUE TO SELECTIVE DEMOLITION WORK
- 8.- PROVIDE PROTECTIVE MEASURES AS REQUIRED TO PROVIDE FREE AND SAFE PASSAGE OF OWNER PERSONNEL AND GENERAL PUBLIC TO AND FROM OCCUPIED PORTION OF BUILDING.
- 9.- ERECT TEMPORARY COVERED PASSAGEWAYS AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- 10.- PROTECT FROM DAMAGE EXISTING FINISH WORK THAT IS TO REMAIN PLACE AND BECOME EXPOSED DURING DEMOLITION OPERATIONS.
- 11.- PROTECT FLOOR WITH SUITABLE COVERING WHEN NECESSARY.
- 12.- CONSTRUCT TEMPORARY INSULATED SOLID DUSTPROOF PARTITIONS WHERE REQUIRED TO SEPARATED AREAS WHERE NOISY OR EXTENSIVE DIRT OR DUST OPERATION ARE PERFORMED. EQUIP PARTITIONS WITH DUSTPROOF DOORS AND SECURITY LOCK ARE REQUIRED.



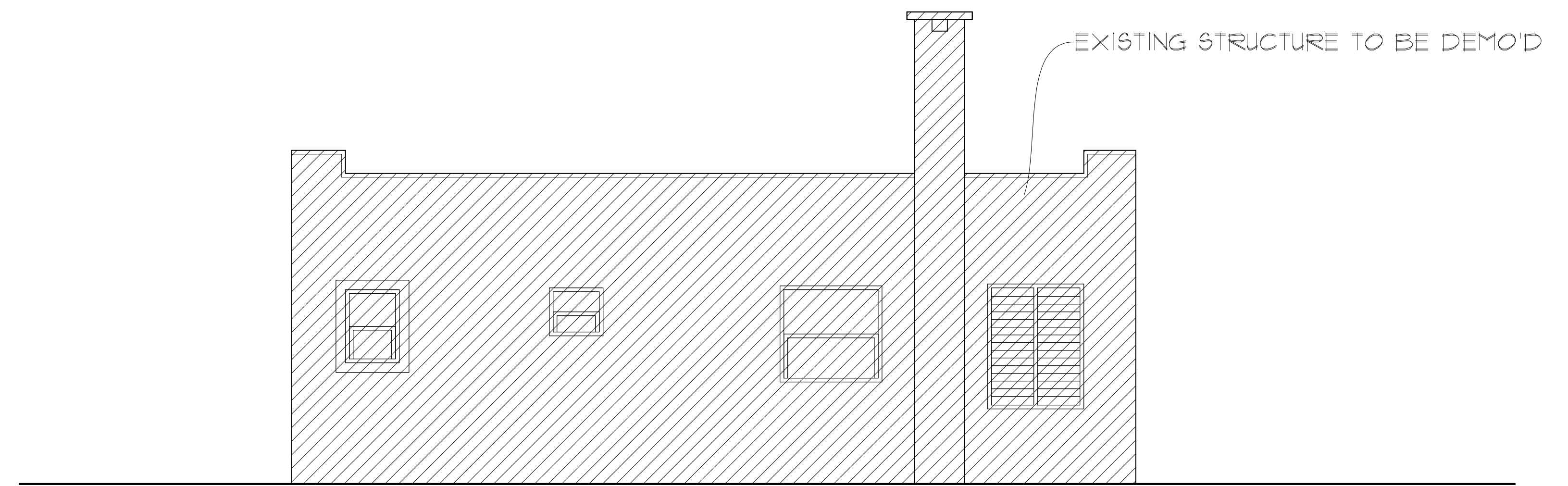
2 DEMOLITION NORTH SIDE EXTERIOR ELEVATION (REAR)
SCALE: 1/4" = 1'-0"



3 DEMOLITION EAST SIDE EXTERIOR ELEVATION (RIGHT)
SCALE: 1/4" = 1'-0"



1 DEMOLITION SOUTH SIDE EXTERIOR ELEVATION (FRONT)
SCALE: 1/4" = 1'-0"



4 DEMOLITION WEST SIDE EXTERIOR ELEVATION (LEFT)
SCALE: 1/4" = 1'-0"

seal

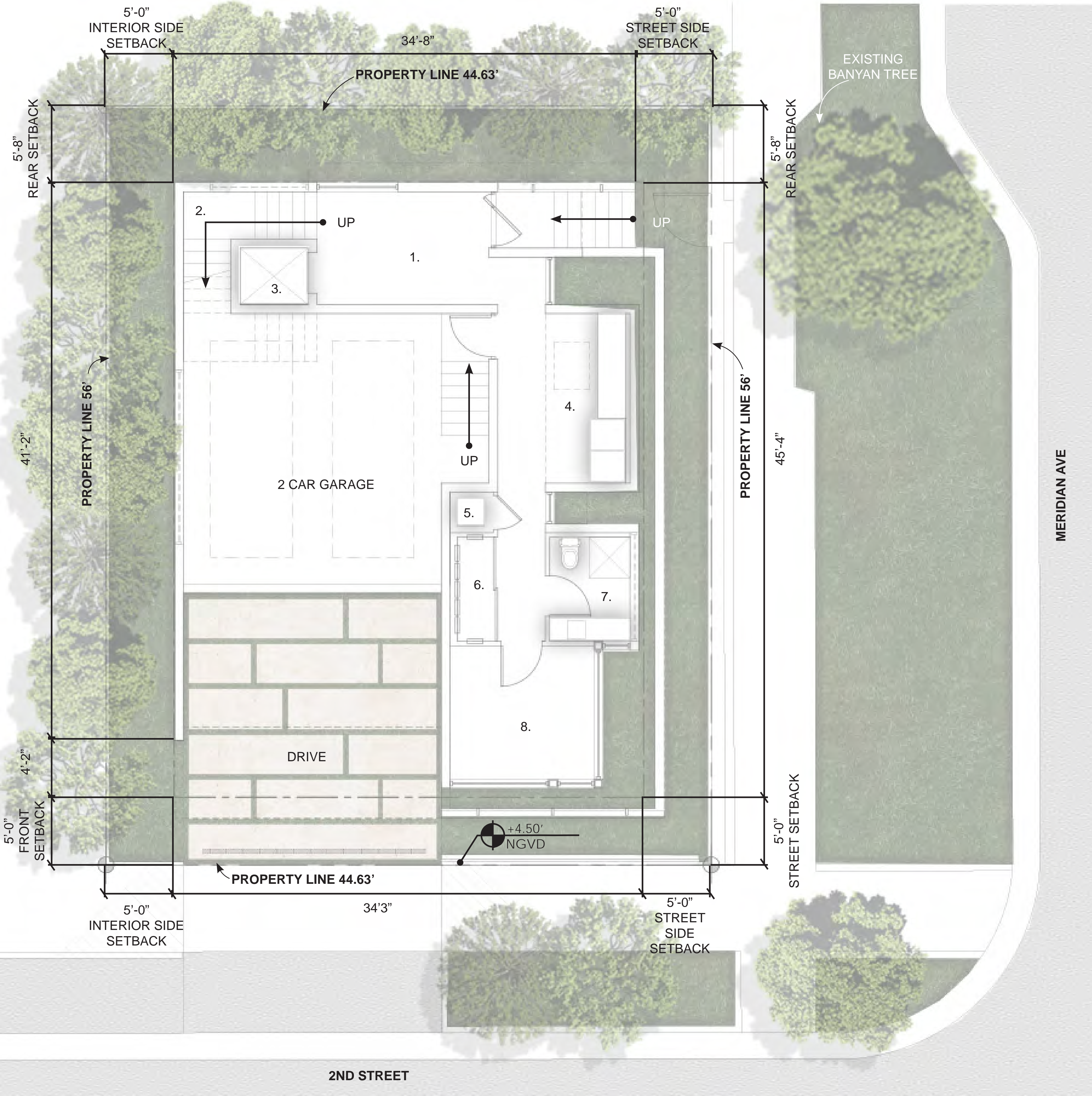
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04/21/2021

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sheet no.



LEGEND
(approx dimensions)

1. Entry Foyer
2. Stair
3. Elevator
4. Laundry
5. A/V Racks
6. IT/Elec.
7. Powder Room
8. Gym

seal

 **Site/ First Floor Plan**

FAR DIAGRAMS

LOT AREA: 2,499.28 SQFT
 MAX. FAR: 1.5, 3,748.92 SQFT

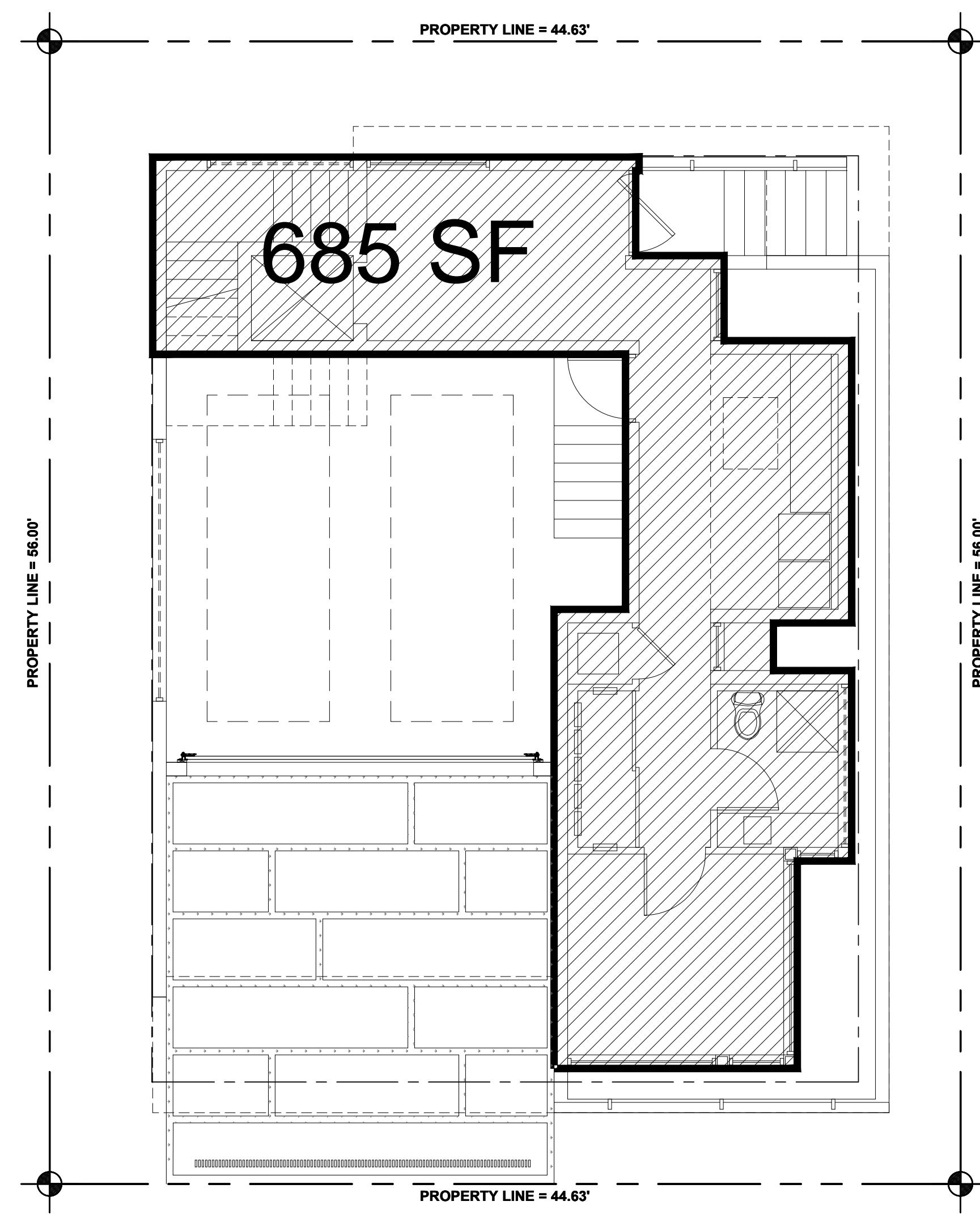
1ST FLOOR:
 ENCLOSED 685 SQFT

2ND FLOOR:
 ENCLOSED 1,351.3 SQFT
 BALCONIES 161 SQFT

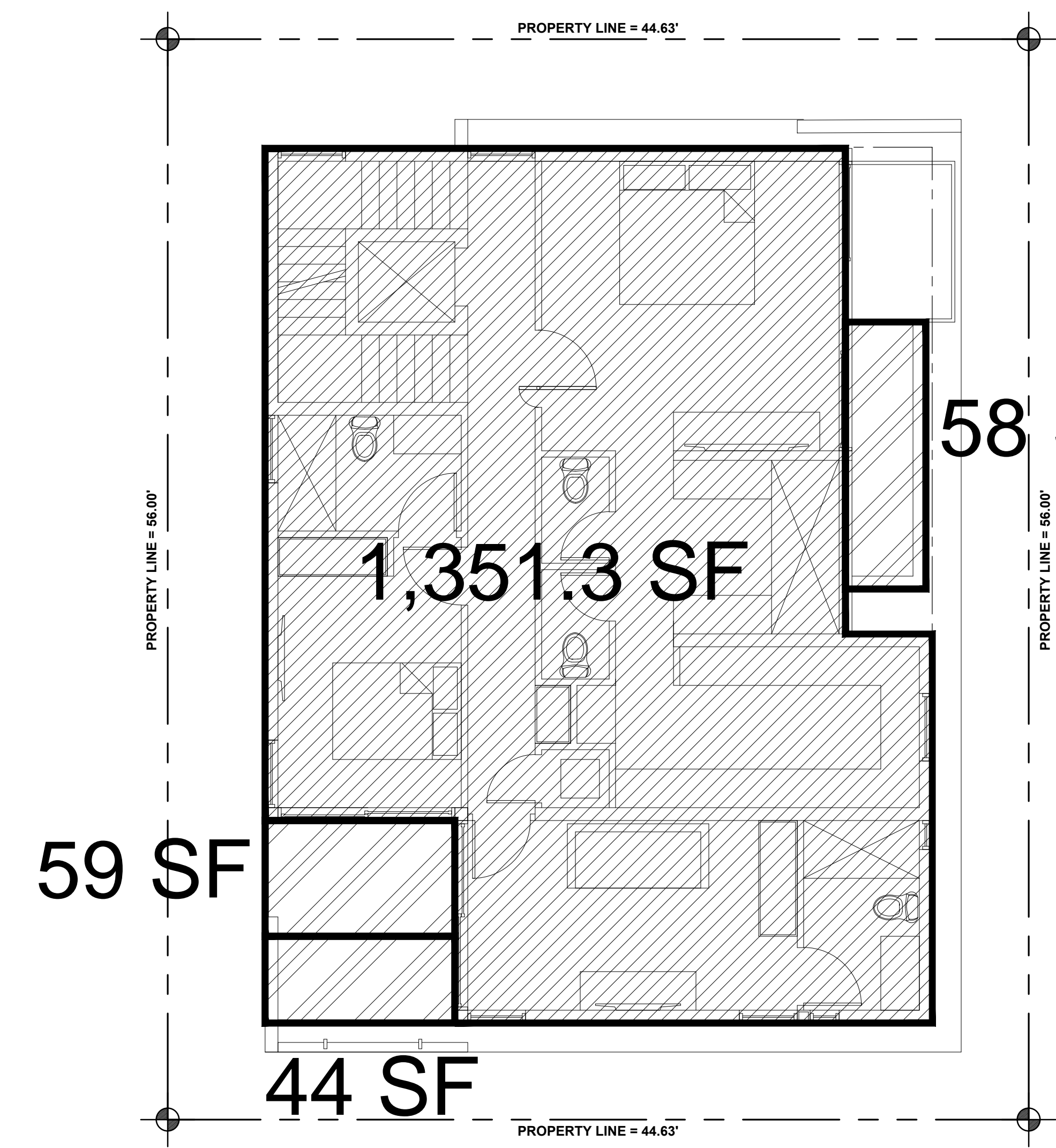
3RD FLOOR:
 ENCLOSED 1,134.7 SQFT
 BALCONIES 320 SQFT

ROOF: 0 SQFT

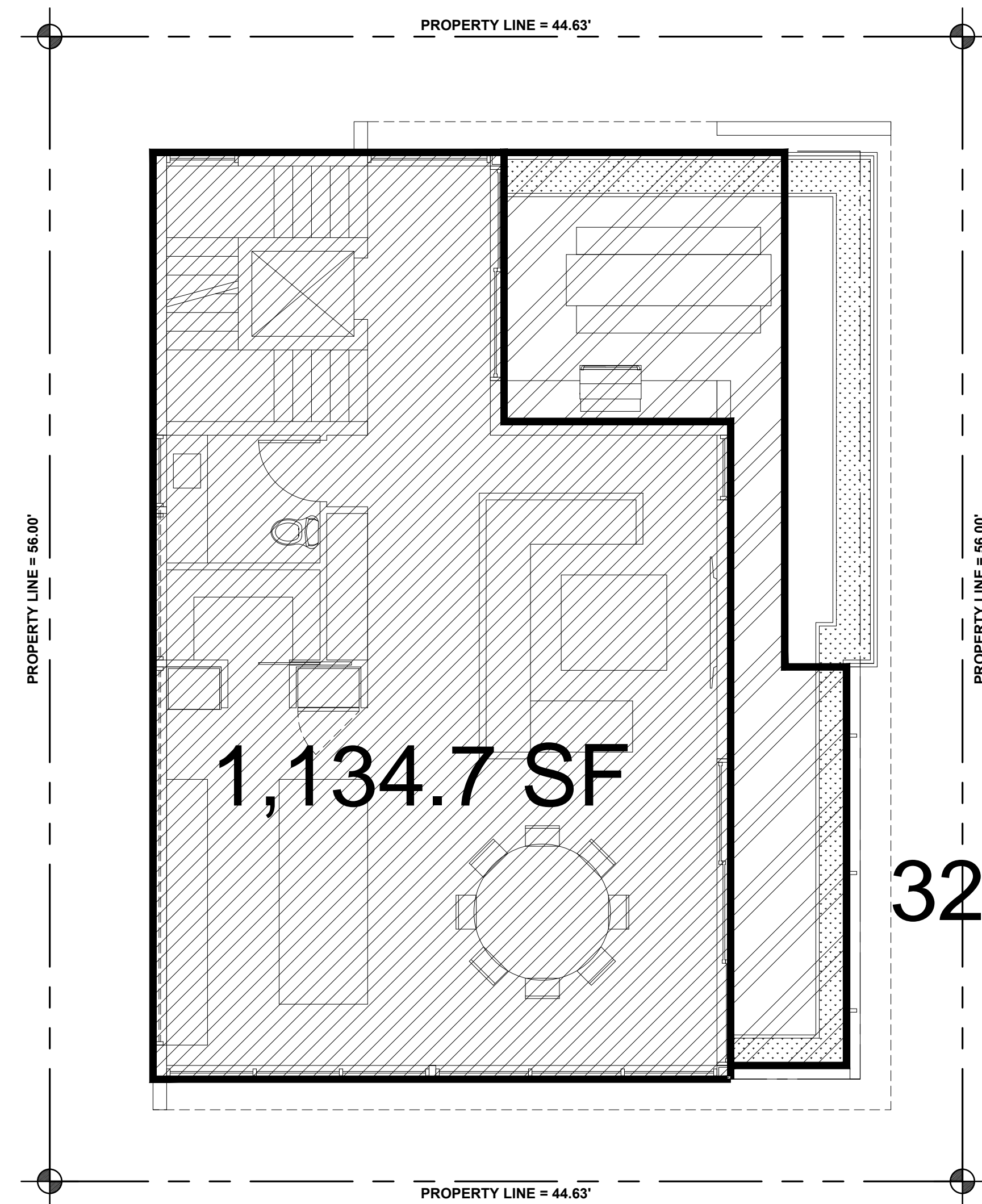
TOTAL: 3,652 SQFT
 F.A.R: 1.46



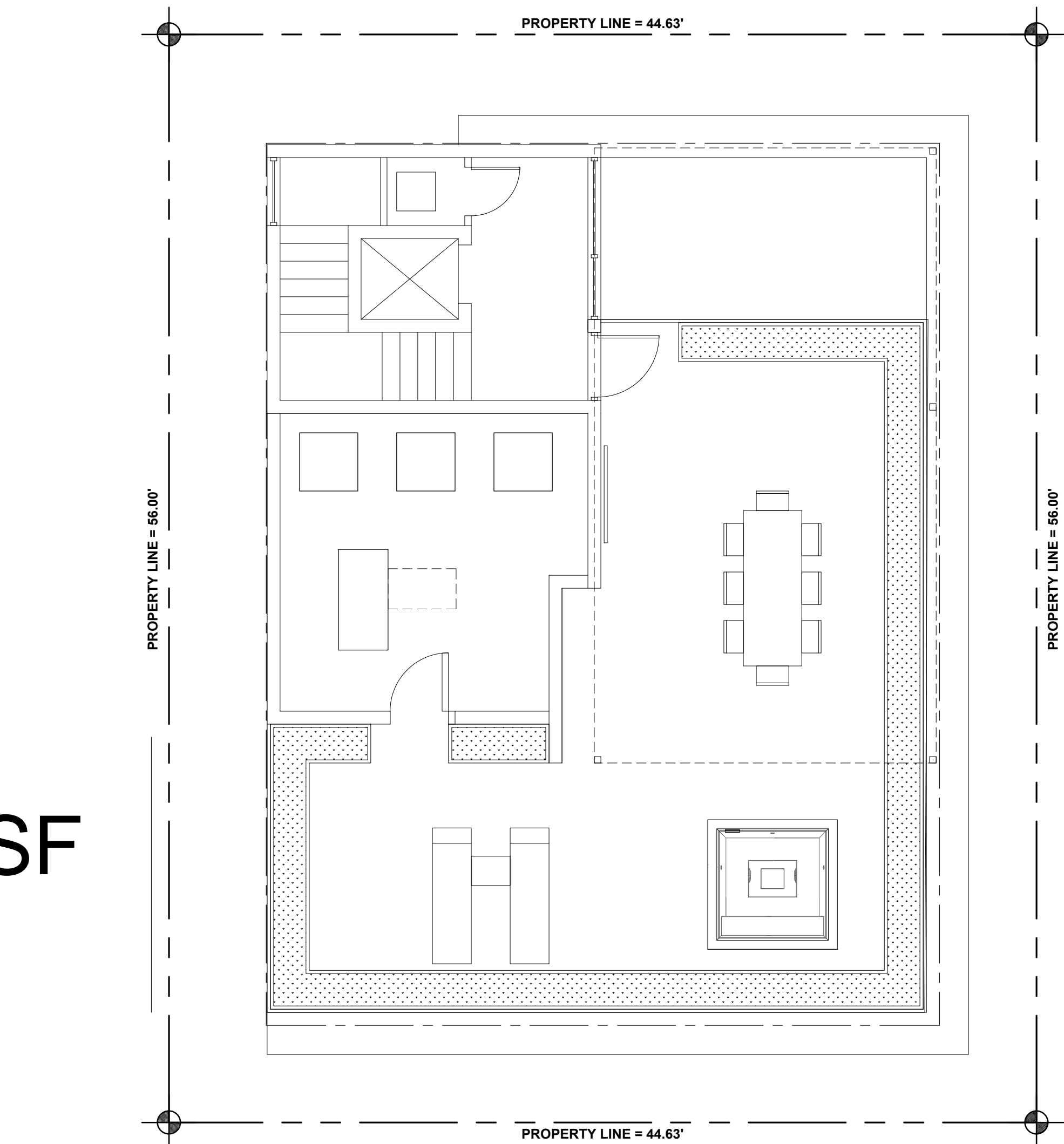
1 FIRST FLOOR
 SCALE



2 SECOND FLOOR
 SCALE



3 THIRD FLOOR
 SCALE



4 ROOF PLAN
 SCALE

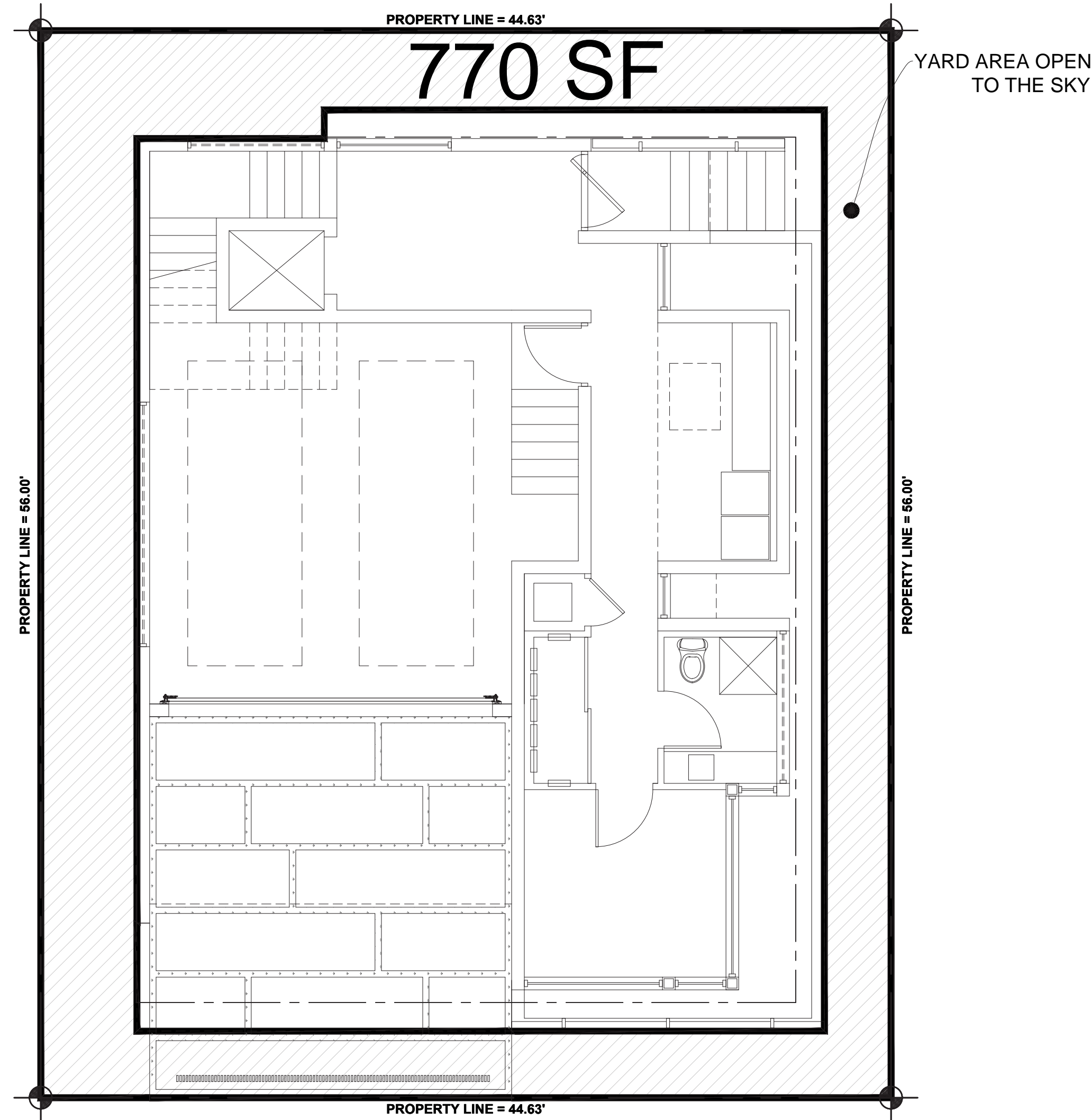
seal

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 04/21/2021
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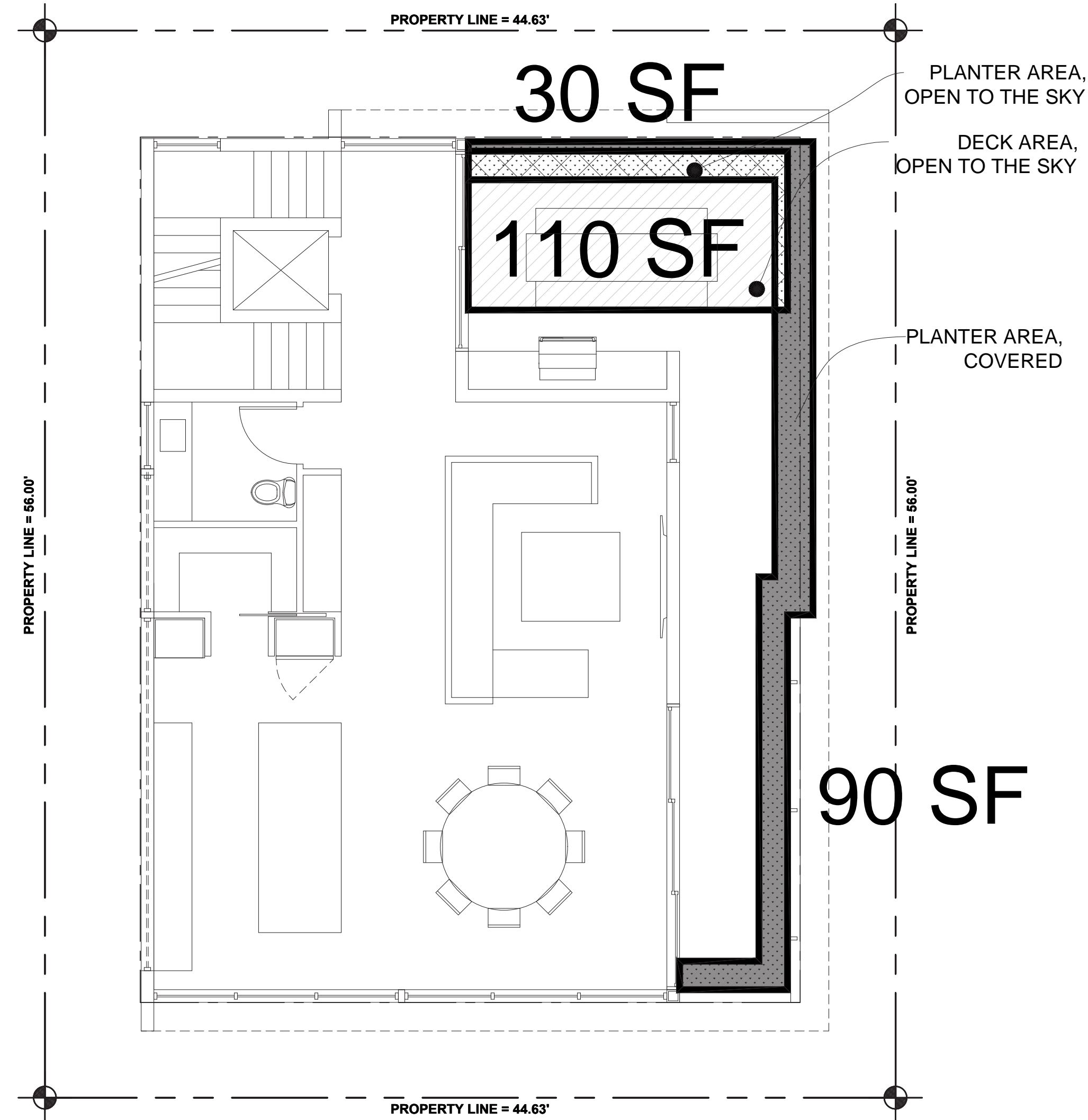
OPEN SPACE DIAGRAMS

LOT AREA: 2,499.28 SQFT
 MIN. OPEN SPACE: 0.65, 1,624.5 SQFT
 PROPOSED OPEN SPACE: 0.70, 1,758 SQFT

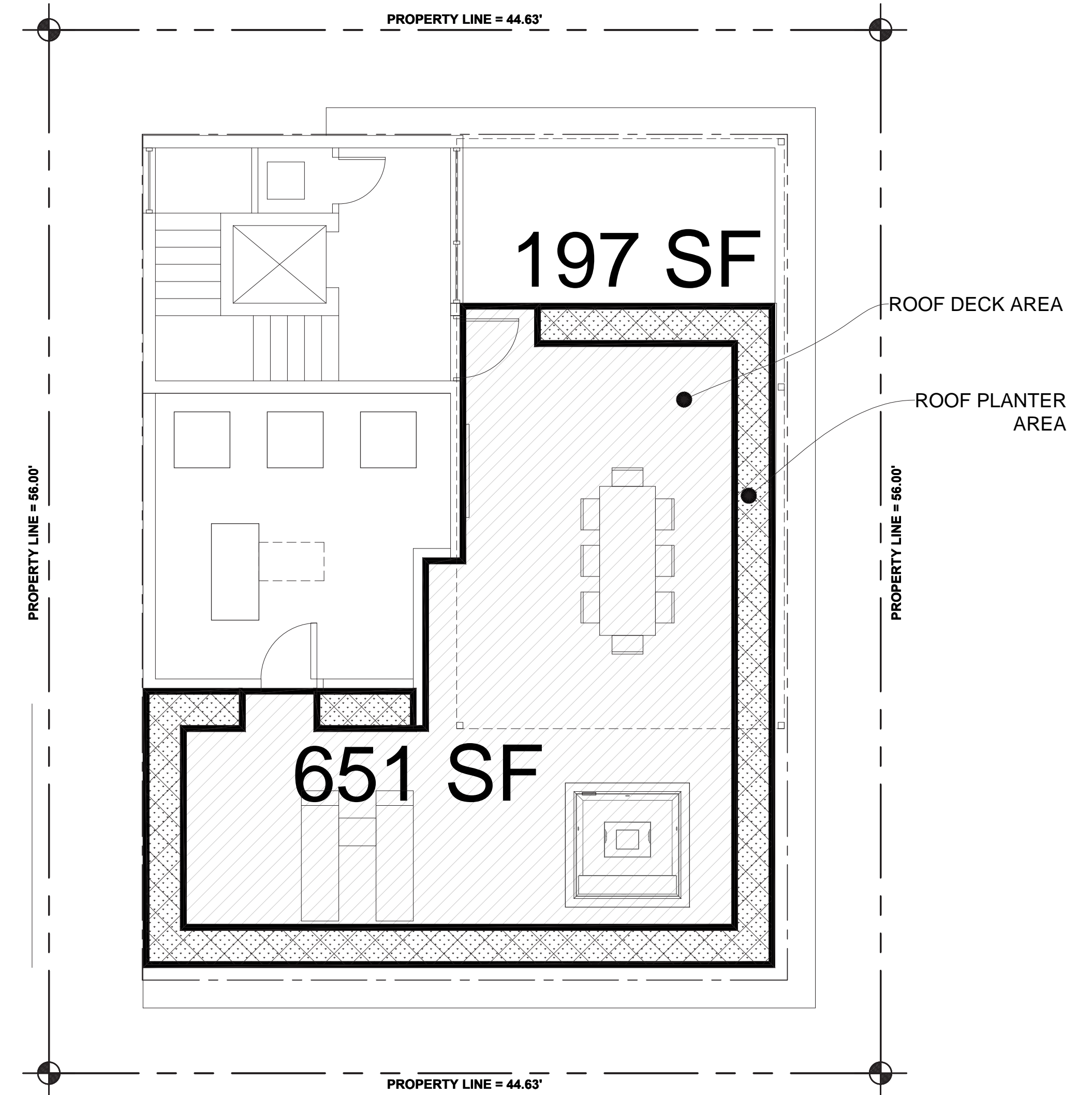
ROOF DECK AREA: 1,092 SQFT
 ROOF LANDSCAPING REQ'D: 25%, 273 SQFT
 ROOF LANDSCAPING PROVIDED: 29%, 317 SQFT
 @ ROOF LEVEL: 197 SQFT
 @ 3RD FLOOR BALCONY: 120 SQFT



A OPEN SPACE AT GRADE
 A-003 SCALE 3/16" = 1'-0"



B OPEN SPACE AT 3rd FLOOR
 A-003 SCALE 3/16" = 1'-0"



C OPEN SPACE AT ROOF
 A-003 SCALE 3/16" = 1'-0"

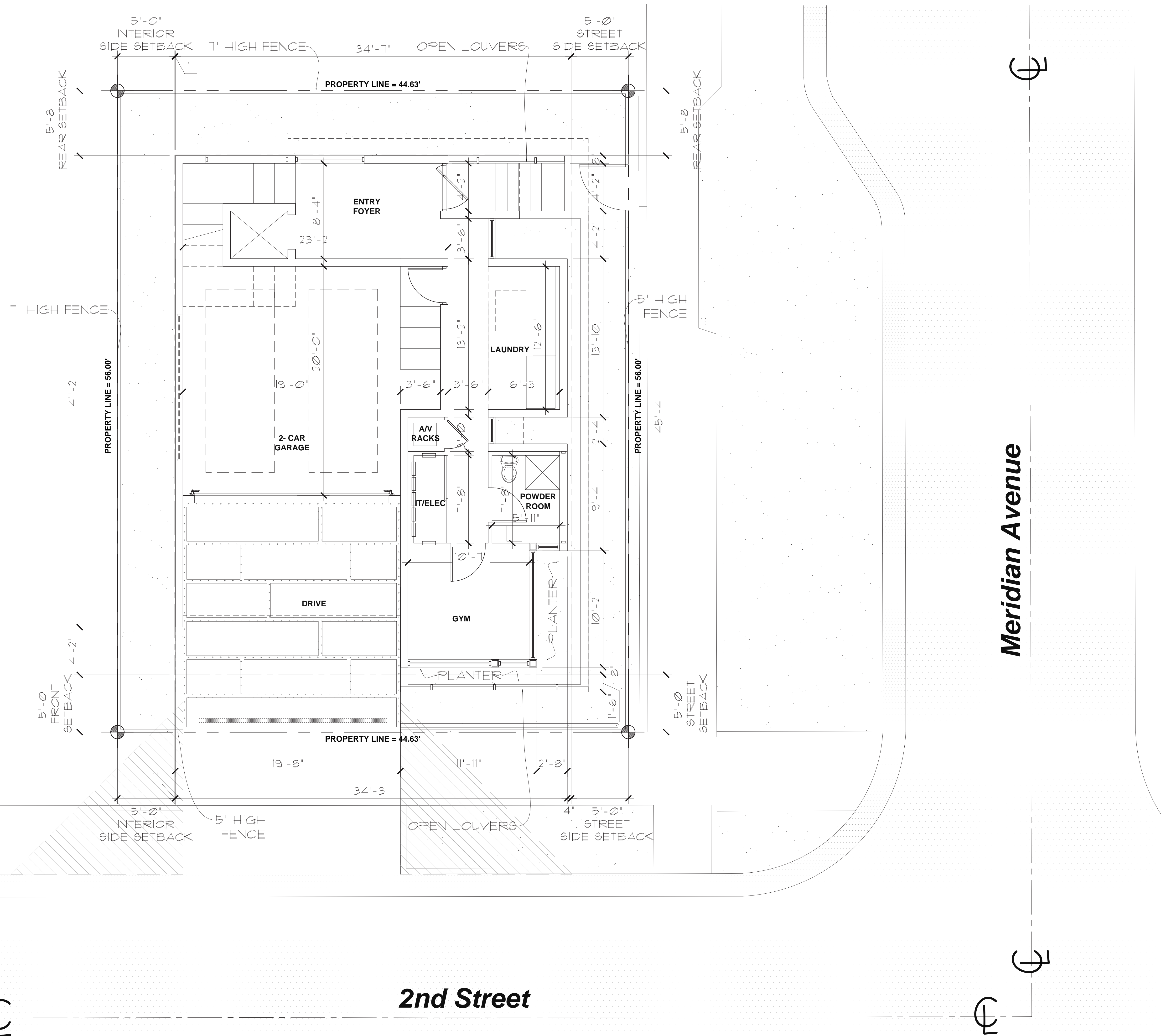
seal

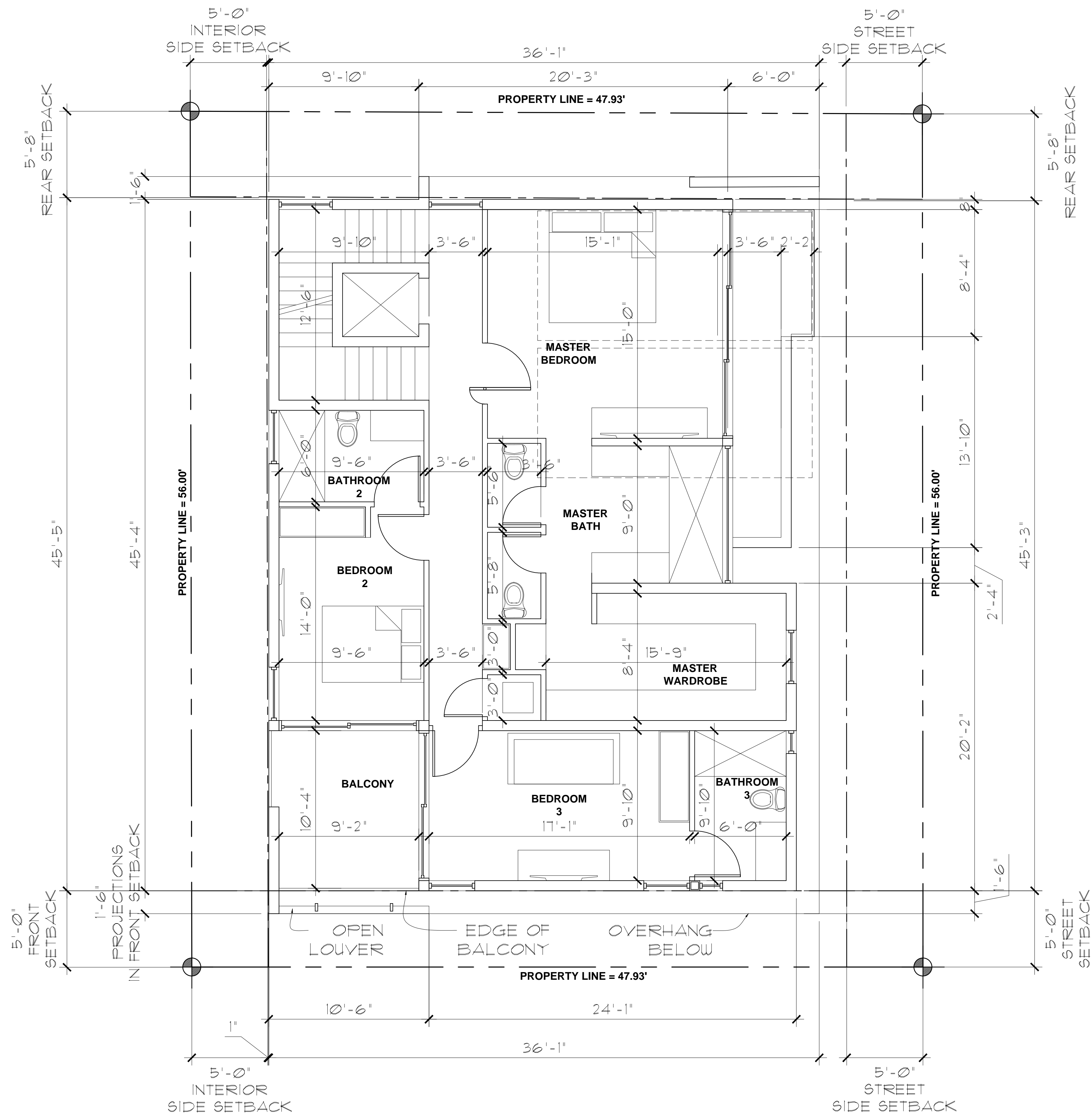
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seal

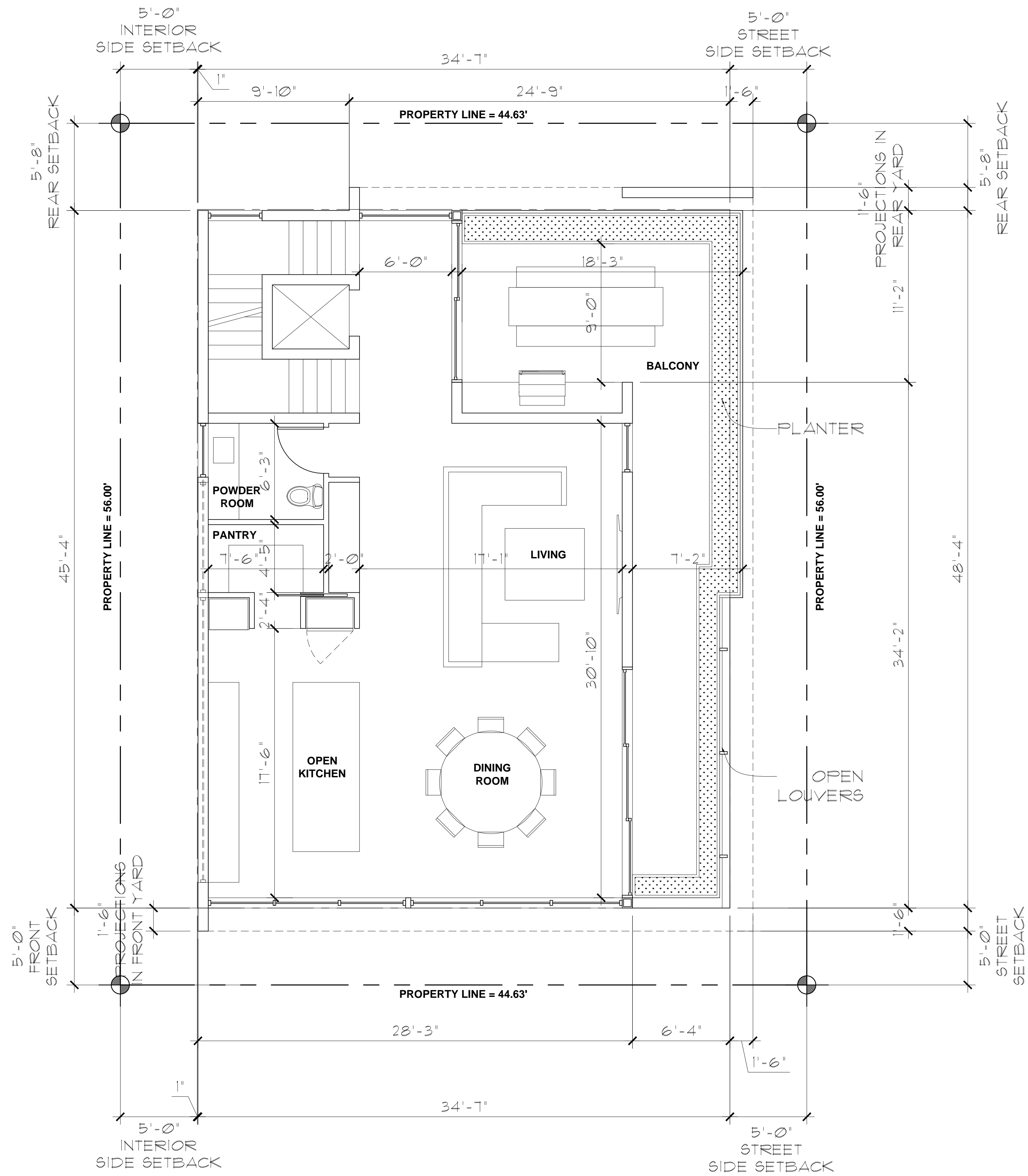
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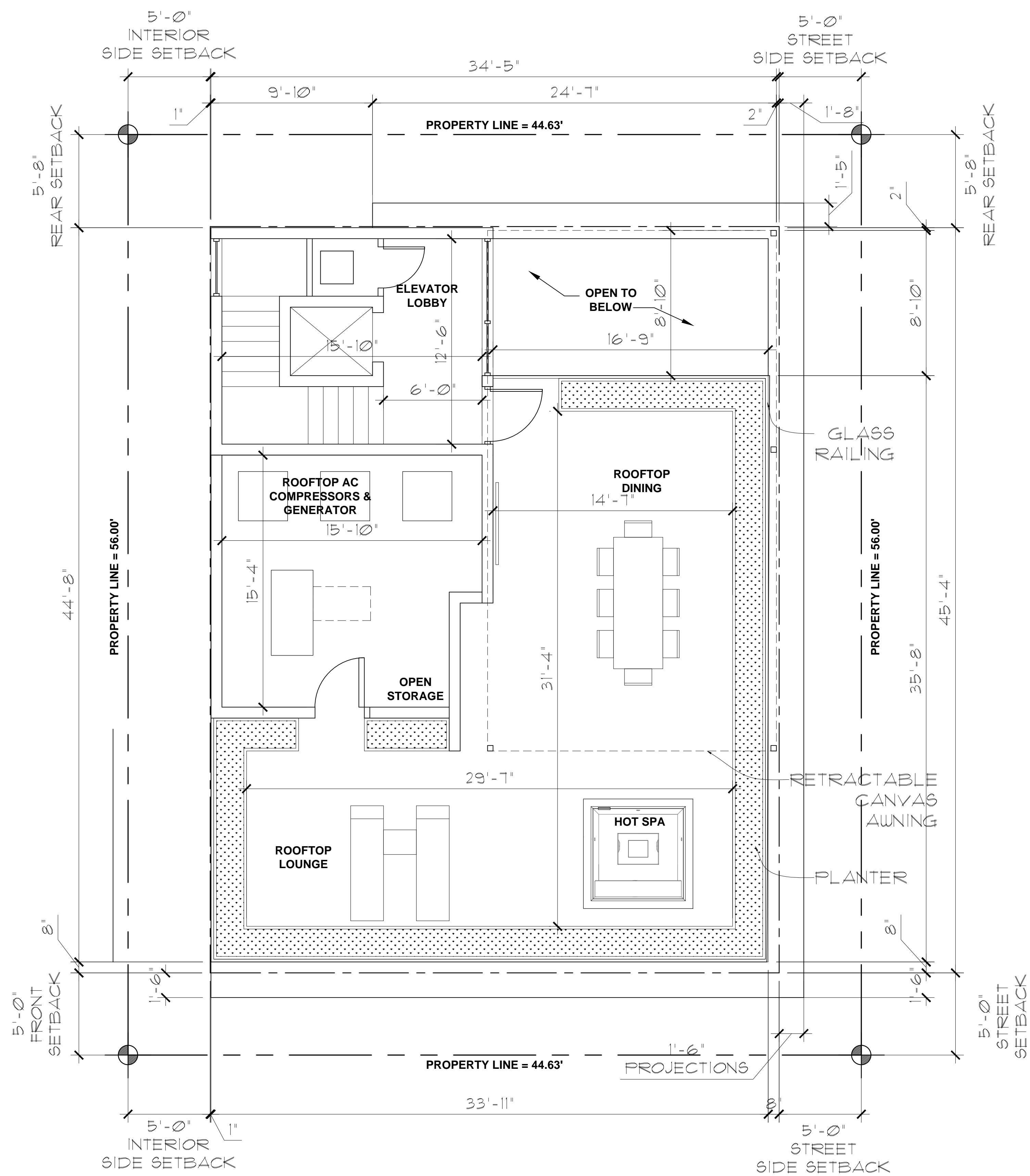
seal

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(305) 892-5292

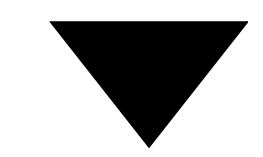
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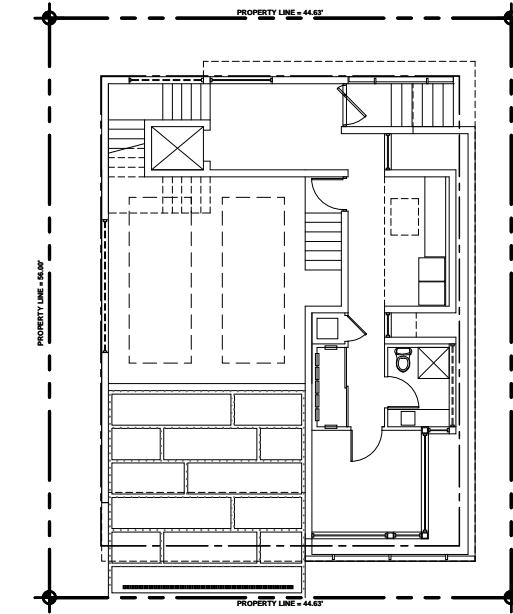
sheet no.
A-1.3

seal

NORTH
SIDE VIEW



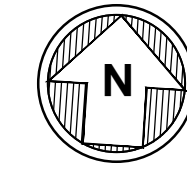
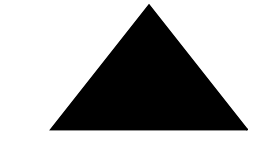
REAR
VIEW



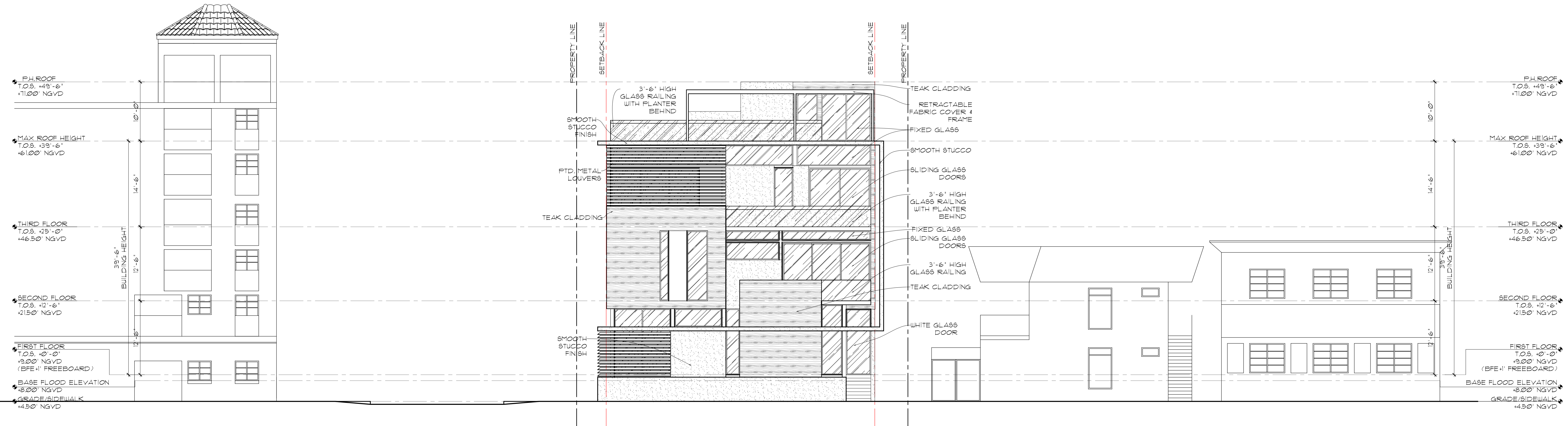
FRONT
VIEW



SOUTH
SIDE VIEW

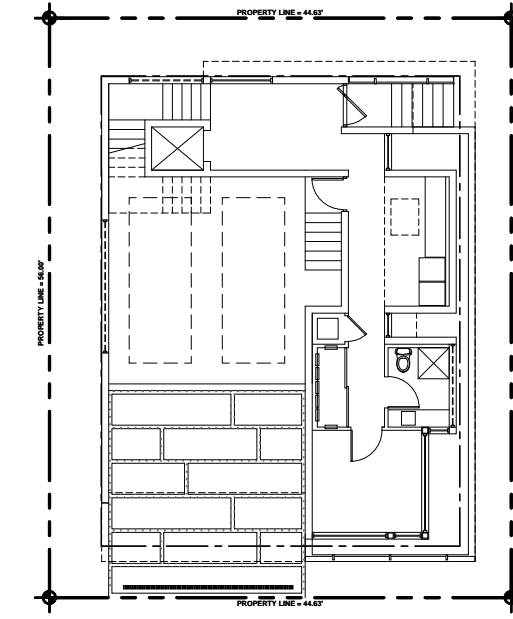
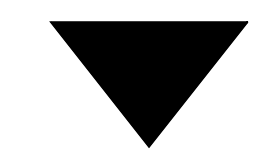


KEY MAP
 NT6



EAST (FRONT) CONTEXT ELEVATION
 SCALE: 1/8" = 1'-0"

NORTH
SIDE VIEW



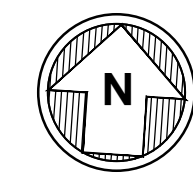
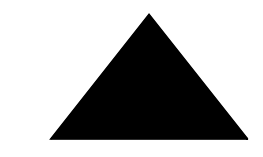
REAR
VIEW



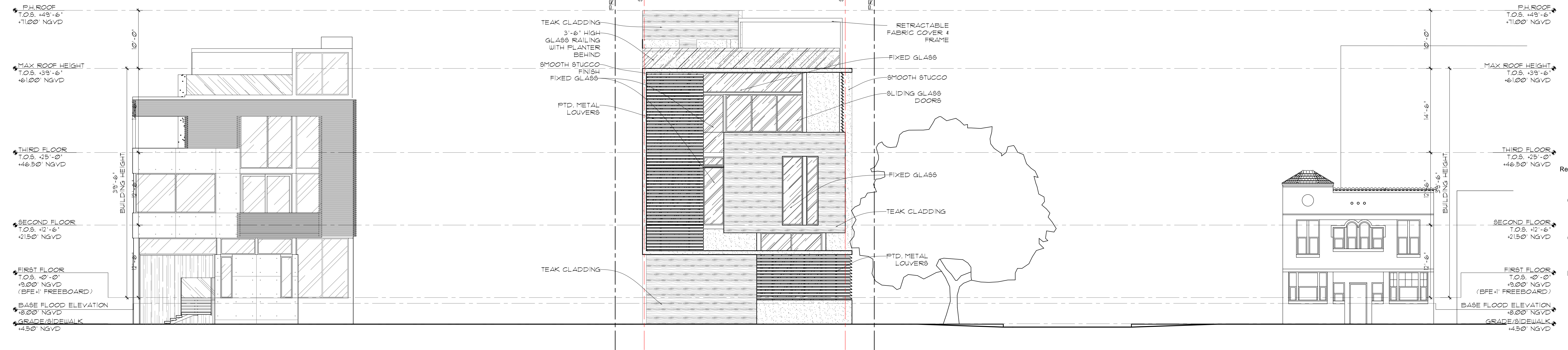
FRONT
VIEW



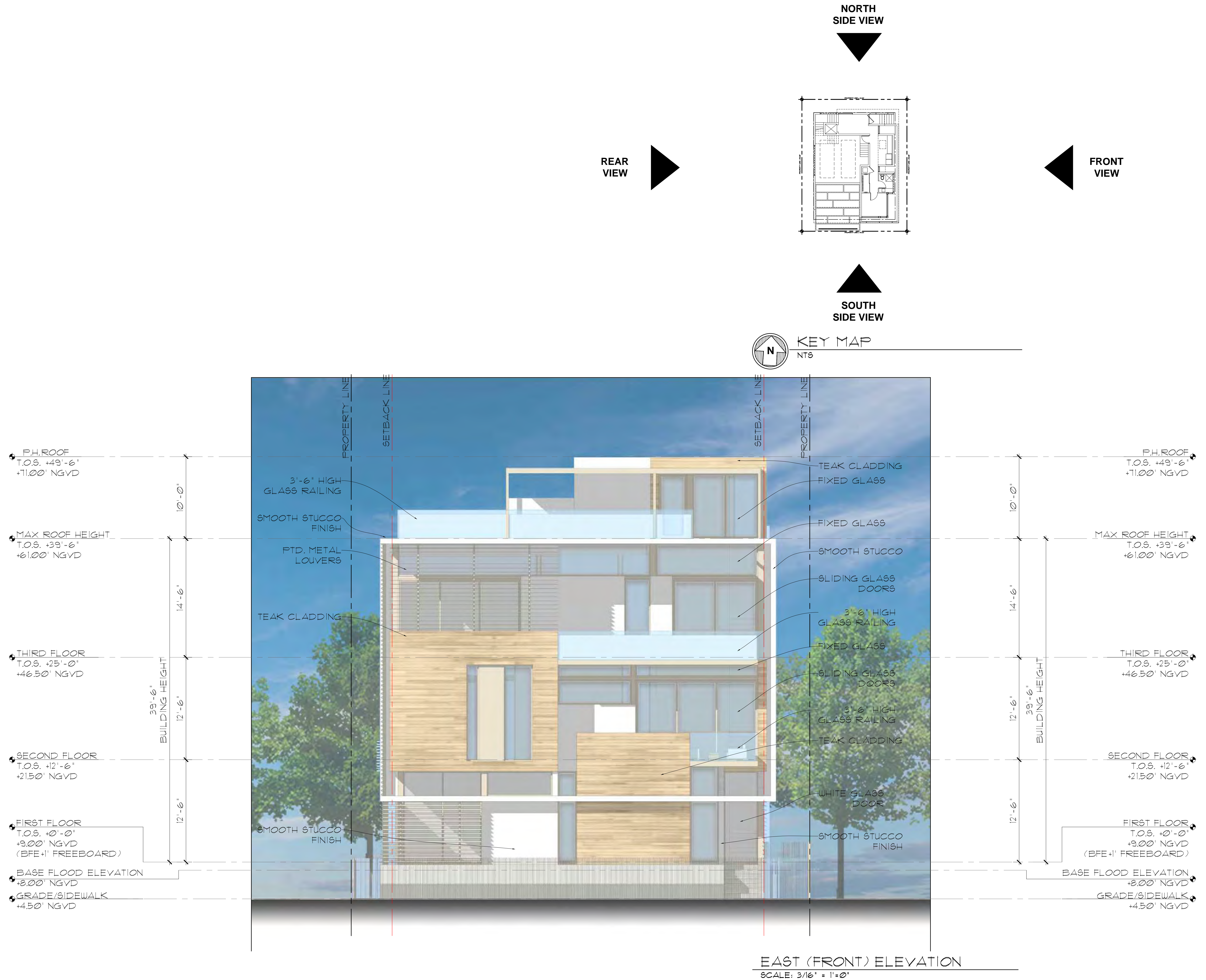
SOUTH
SIDE VIEW

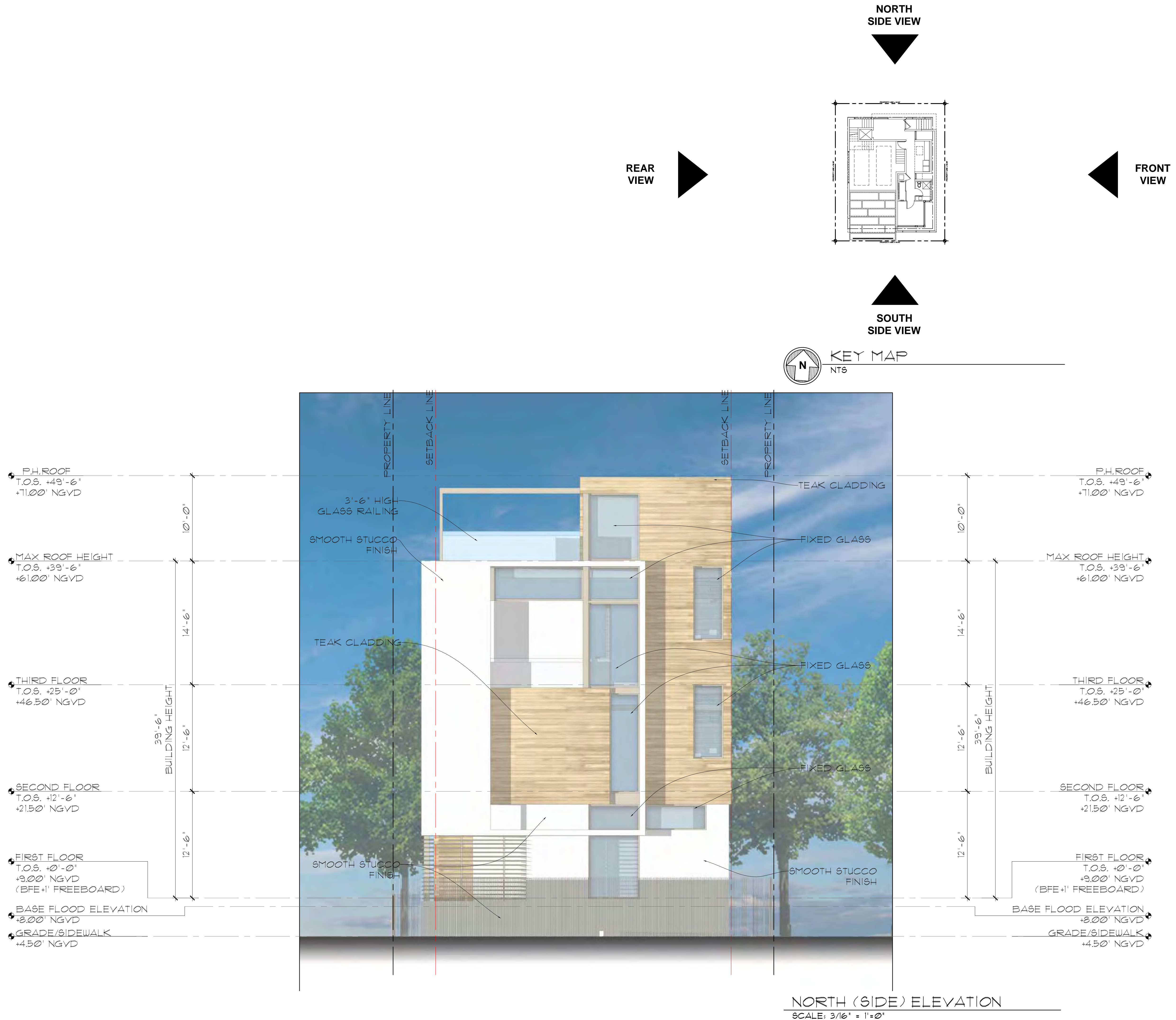


KEY MAP
 NT6

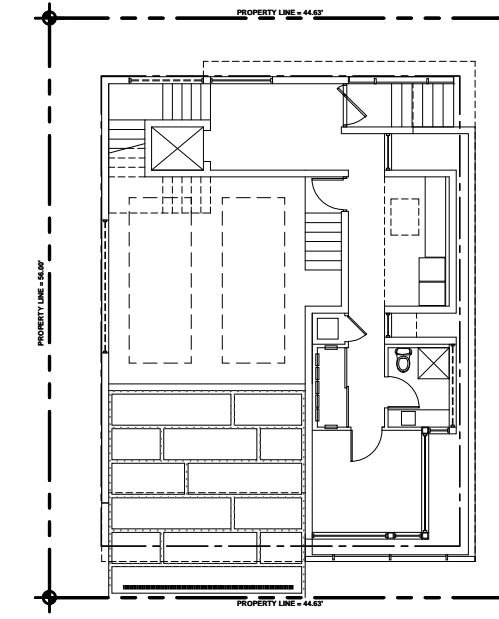
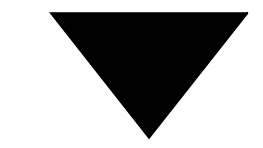


SOUTH (SIDE) CONTEXT ELEVATION
 SCALE: 1/8" = 1'-0"

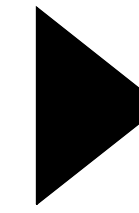




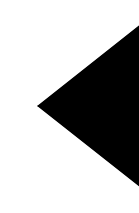
NORTH
SIDE VIEW



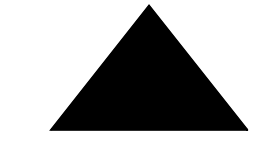
REAR
VIEW



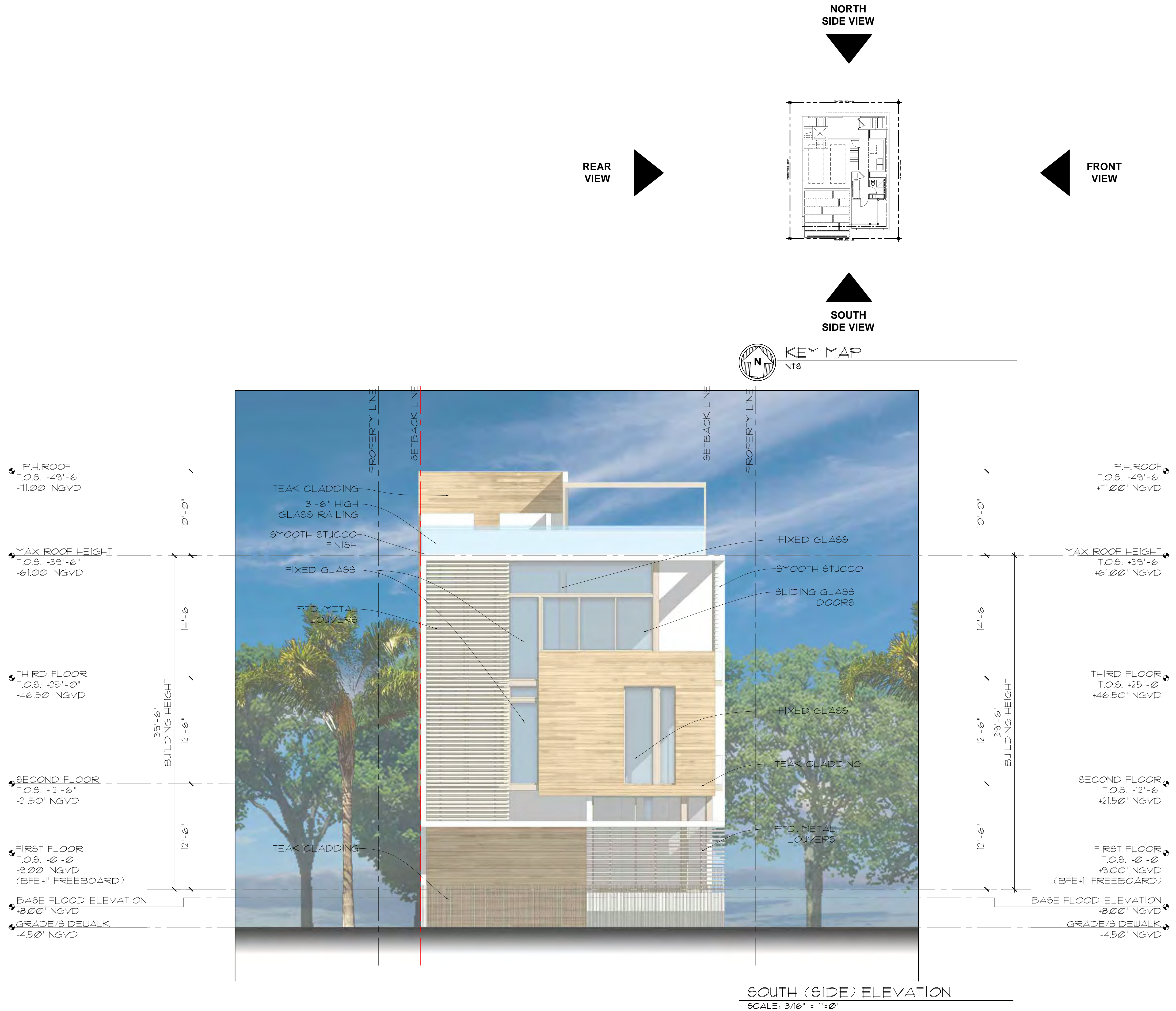
FRONT
VIEW



SOUTH
SIDE VIEW



WEST (REAR) ELEVATION
 SCALE: 3/16" = 1'-0"



seal

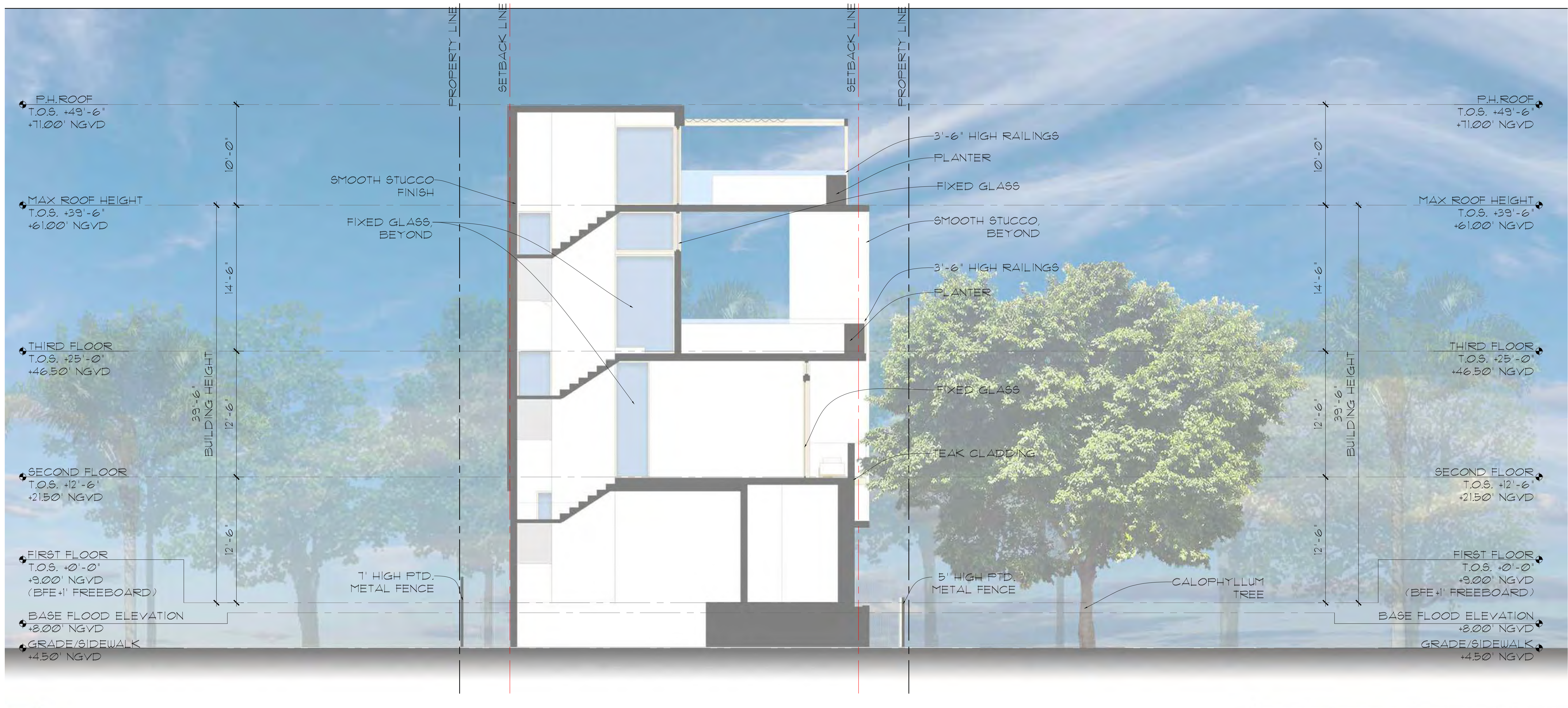
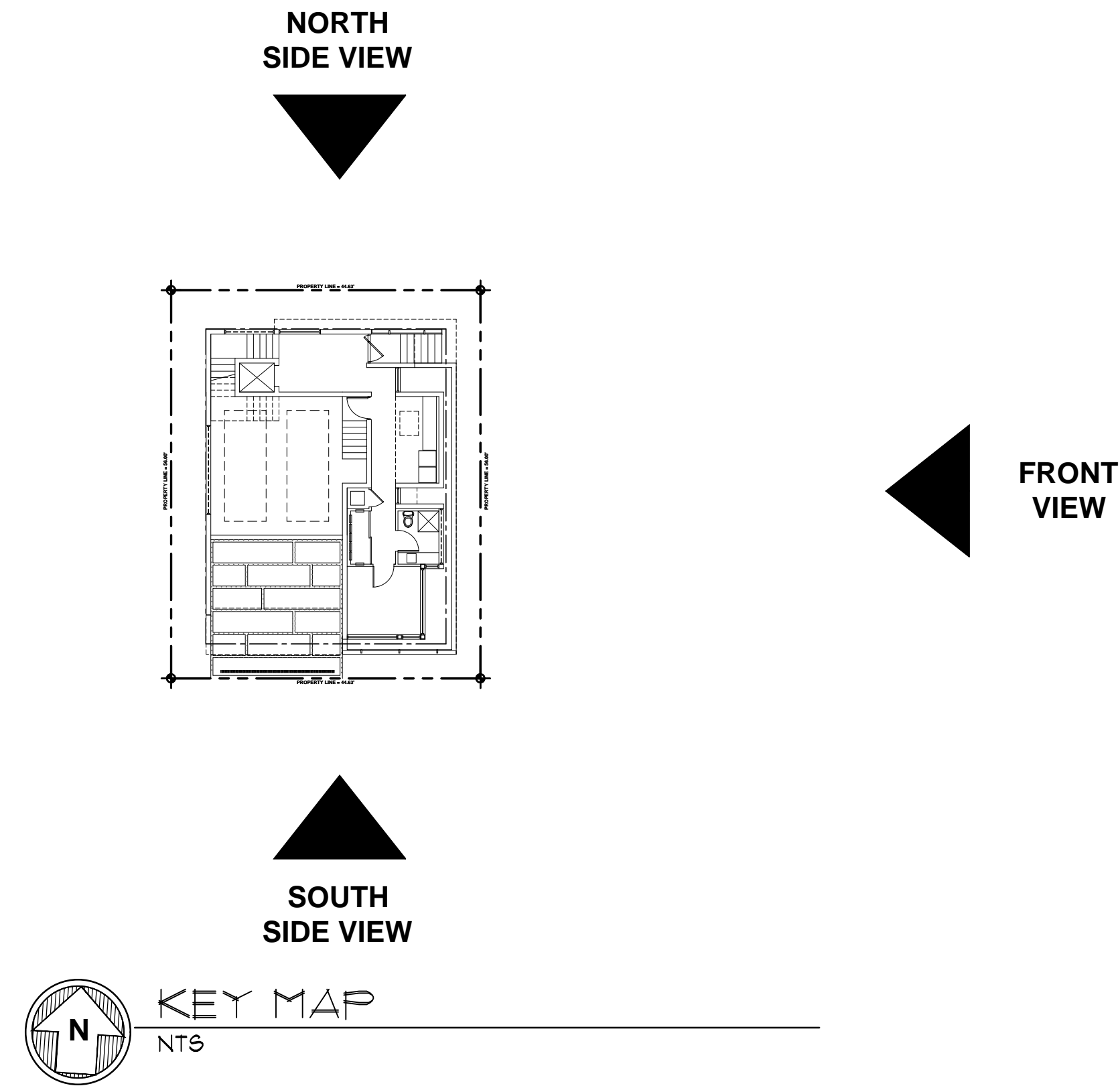
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sheet no.
A-4.0



RENDERED SECTION
 SCALE: 3/16" = 1'-0"



SOUTHWEST BIRD'S EYE LEVEL VIEW



SOUTHEAST BIRD'S EYE LEVEL VIEW



NORTHEAST BIRD'S EYE LEVEL VIEW



NORTHWEST BIRD'S EYE LEVEL VIEW

seal

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PAINTED STUCCO

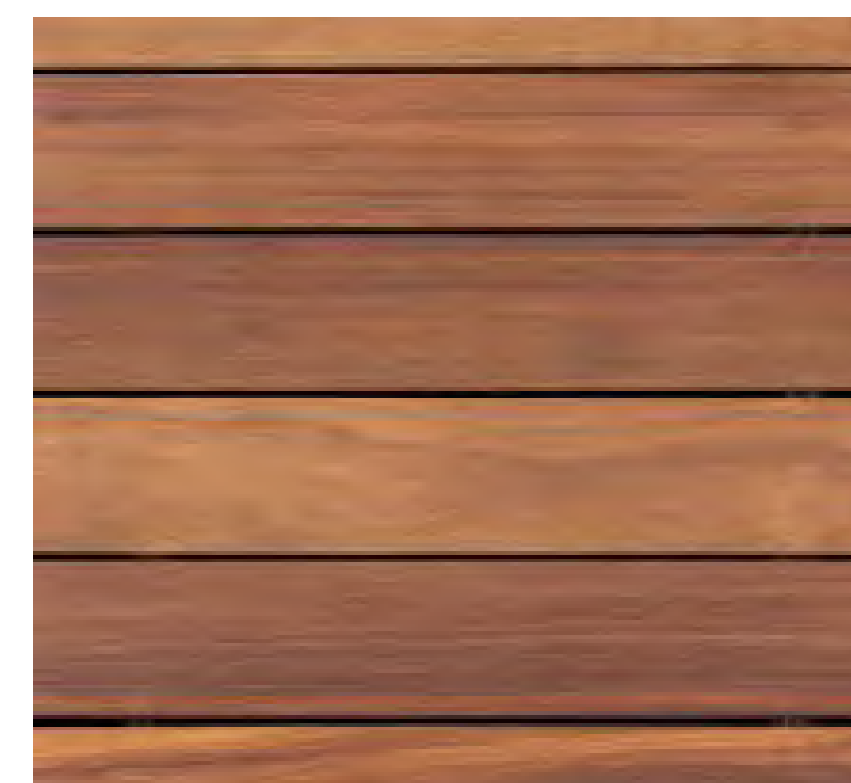
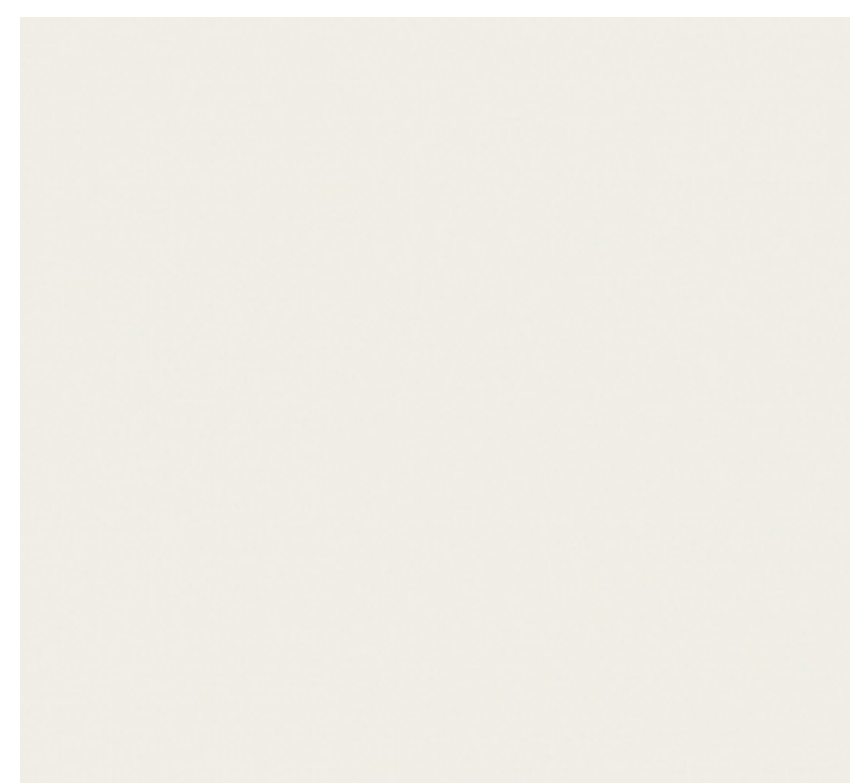
ALUMINUM CLADDING

GLAZING

WOOD FINISHED STONE

CONCRETE PAVER

GRAY GRAVEL



EXTERIOR PAINT

DOORS, WINDOWS, &
LOUVERS

WINDOWS & GLASS
RAILINGS

FEATURE WALLS

PAVING

ENTRY GROUND COVER

seal

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seal

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Front Corner Rendering (Southeast)



seal

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Front Rendering (East)



seal

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date:
04/21/2021
revised:

Side Rendering (South)



seal

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Rear Rendering (West)



seal

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revised:

Side Rendering (North)



seal

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Aerial Rendering